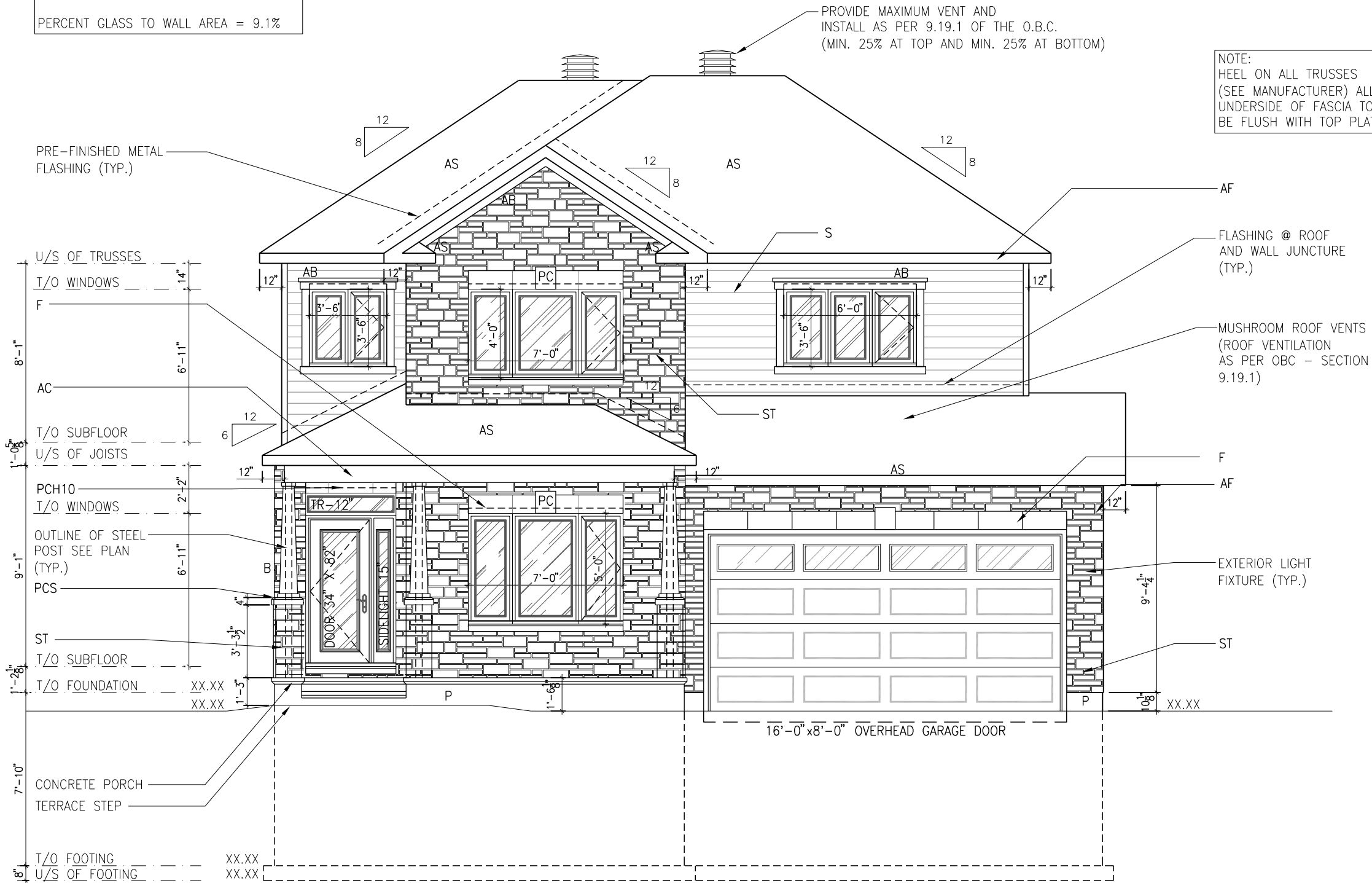


STANDARD PLAN:

GROSS INSULATED = 296.6 M. SQ.
WALL AREA

GROSS WINDOW = 27.08 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 9.1%



NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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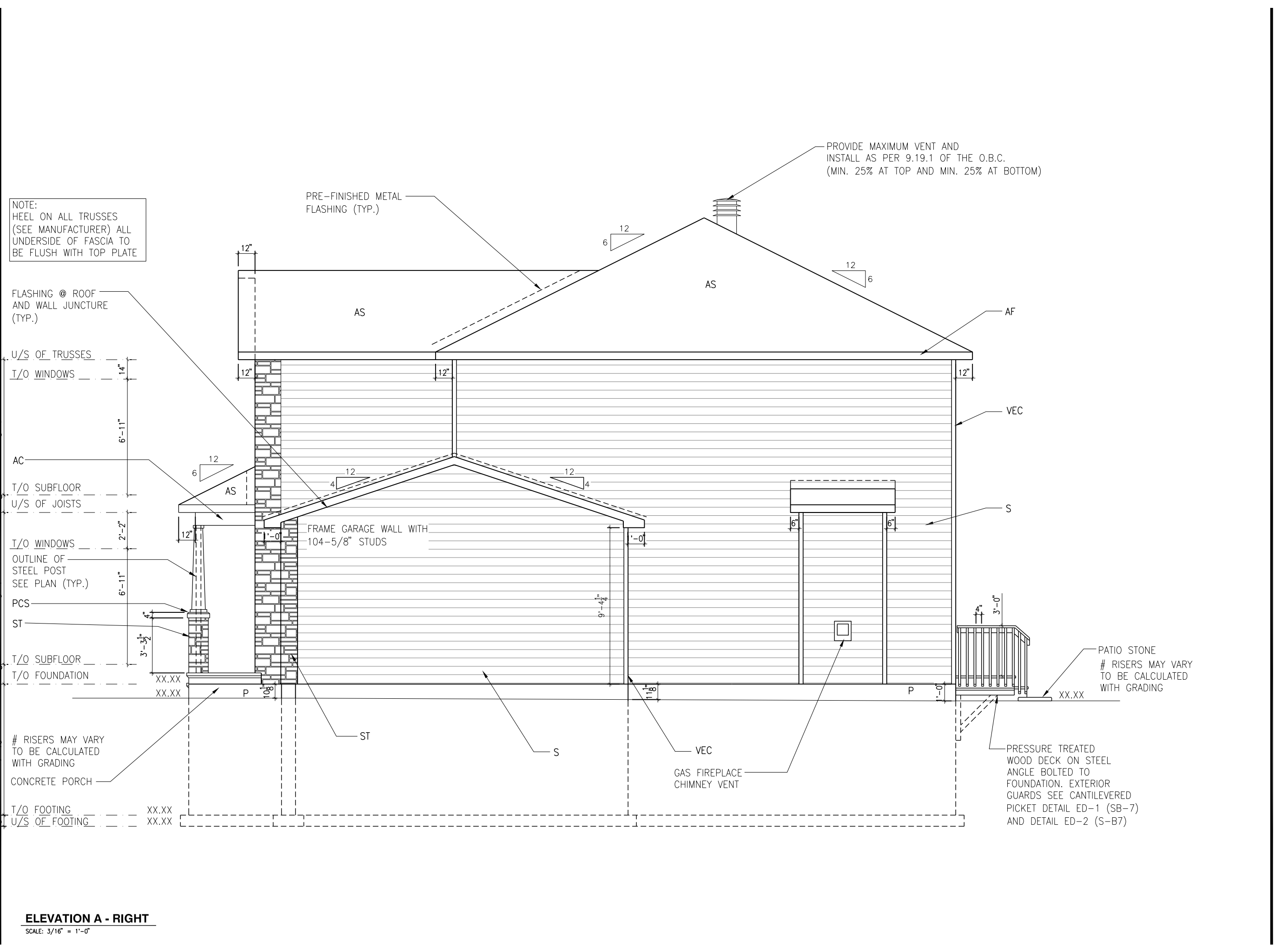
- EXTERIOR FINISH LEGEND:
- B - BRICK (MAIN)
 - B1 - BRICK SOLDIER COURSE (ACCENT)
 - B2 - BRICK SOLDIER COURSE (ACCENT)
+ 20mm PROUD
 - B3 - BRICK SLEEPER COURSE
 - B4 - STACK BOND (ACCENT)
 - B5 - BRICK SILL (ACCENT)
 - B6 - BRICK ROW LOCK (ACCENT)
 - B7 - BRICK CORBELLING
 - B8 - BRICK COINING 20mm PROUD
 - +20 - BRICK 20mm PROUD
 - 20 - BRICK 20mm RECESSED
 - S - SIDING (HORIZONTAL)
 - ST - STONE VENEER
 - T - TRIM 200mm COVE SIDING
 - AF - ALUMINUM FASCIA
 - AC - ALUMINUM CLADDING
 - AB - 48\"/>

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION			01/01/2022	MAD


DRAWING: ELEVATION A - FRONT

ADDRESS: xx SCALE: 3/16\"/>



LOT: **XXXX**

DATE: **XX/XX/XXXX**



Valecraft
Homes (2019) Limited

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+ 20mm PROUD

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B5 - BRICK SILL (ACCENT)

B6 - BRICK ROW LOCK (ACCENT)

B7 - BRICK CORBELLING

B8 - BRICK COINING 20mm PROUD

+20 - BRICK 20mm PROUD

-20 - BRICK 20mm RECESSED

S - SIDING (HORIZONTAL)

ST - STONE VENEER

T - TRIM 200mm COVE SIDING

AF - ALUMINUM FASCIA

AC - ALUMINUM CLADDING

AB - 48" ALUMINUM BAND

AS - ASPHALT SHINGLES

F - FLASHING

V - ROOF VENT (MAXIMUM)

P - PARGING

PC - PARGING

PCH10 - PRECAST HEADER 10"

PCH8 - PRECAST HEADER 8"

PCS - PRECAST SILL

PCB - PRECAST BAND

VS - VINYL SHAKES

VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV-1

NEW STANDARD DRWG MODIFICATION

01/01/2022

MAD

NO.

DESCRIPTION

DATE

BY

DRAWING: **ELEVATION A - RIGHT**

ADDRESS: **xx**

SCALE: **3/16" = 1'-0"**

DATE: **xx/xx/xxxx**

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

A2a

[illegible]

SCALE: 3/16" = 1'-0"

SHEET:
A3a



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Homes (2019) Limited

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- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PC110 - PRECAST HEADER 10"
- PC8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)

[illegible]

DRAWING: _____

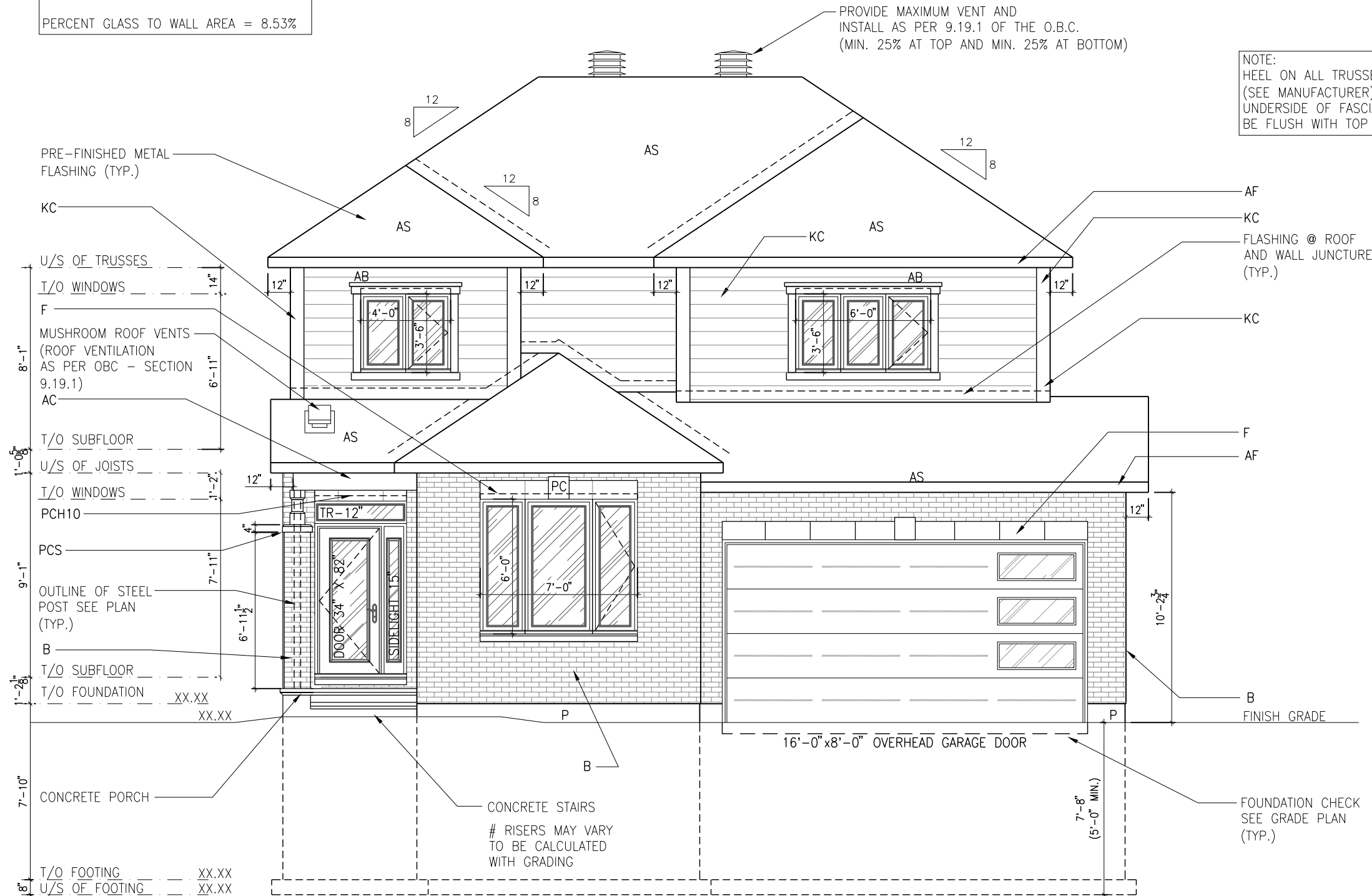
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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1035 - THE MORROW
2022 FOOTPRINT
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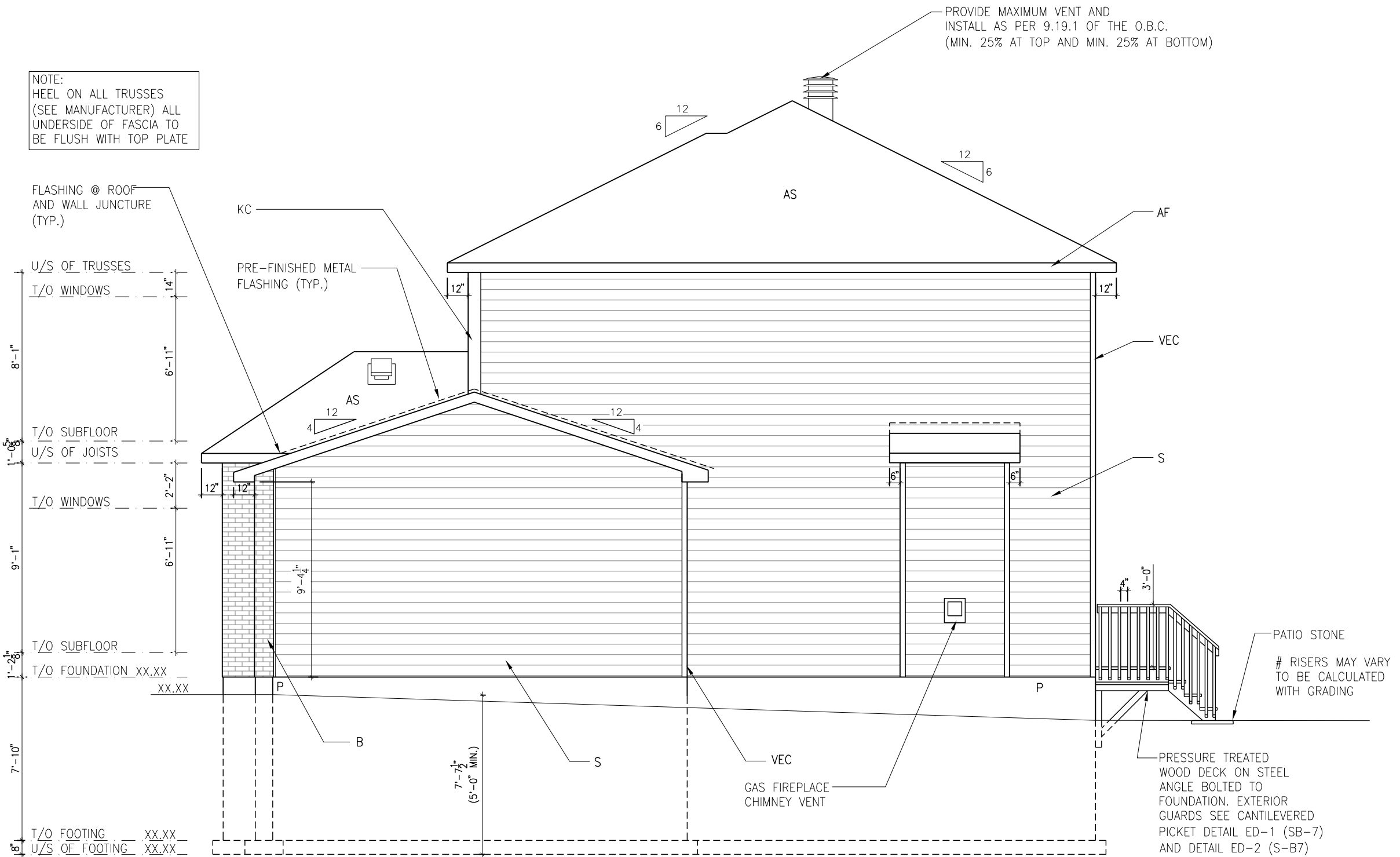
PERCENT GLASS TO WALL AREA = 8.53%

— PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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 - VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	MAD
NO.	DESCRIPTION	DATE	BY

ELEVATION B - RIGHT

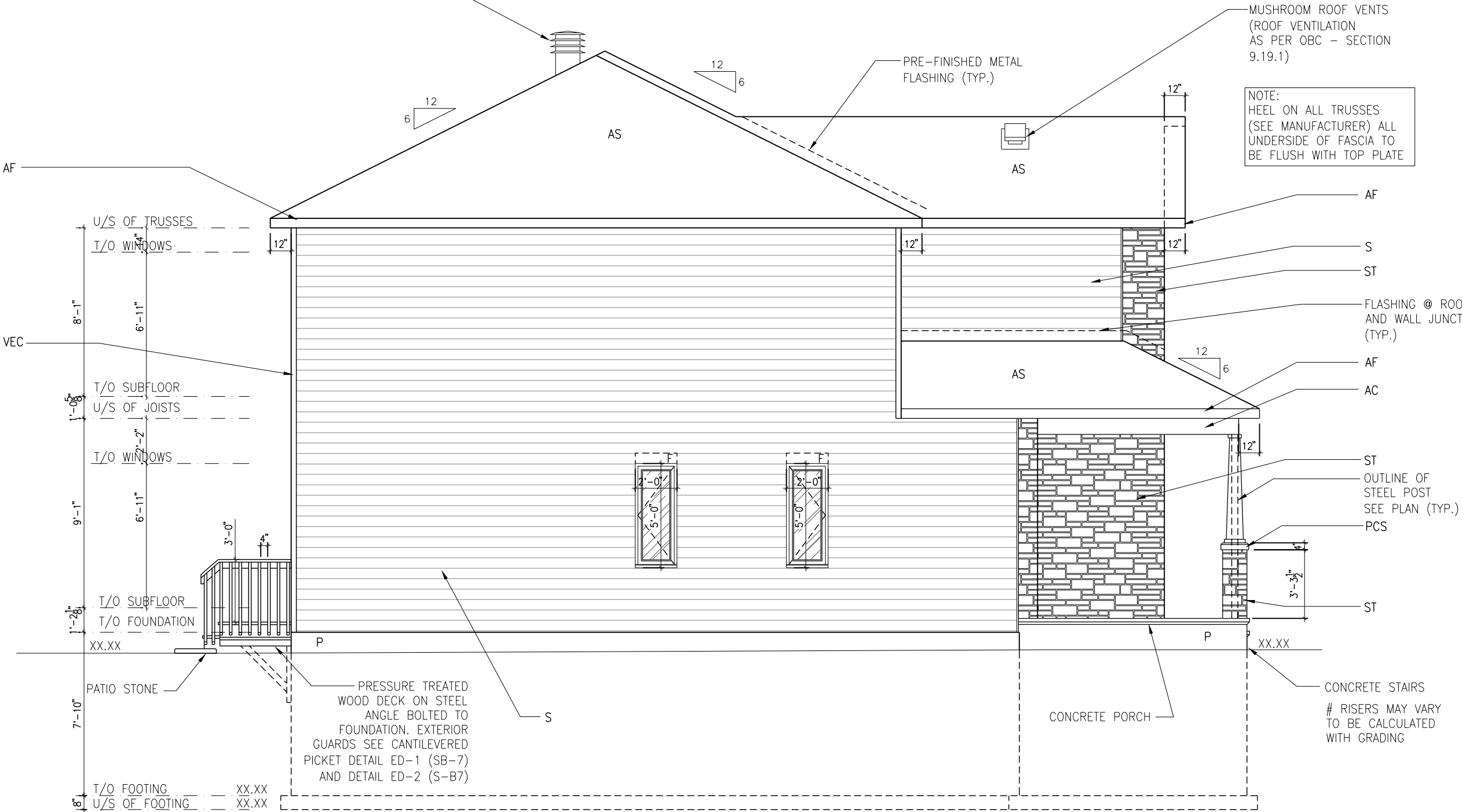
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A2b

ELEVATION B - RIGHT
SCALE: 3/16" = 1'-0"

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 82 m. sq.
AREA OF UNPROTECTED OPENINGS - 1.8 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 2.2 %

LOT: XXXX
DATE: XX/XX/XXXX



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 - PCB - PRECAST BAND
 - VS - VINYL SHAKES
 - VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: ELEVATION B - LEFT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A3b

ELEVATION B - LEFT
SCALE: 3/16" = 1'-0"

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

FLASHING @ ROOF
AND WALL JUNCTURE
(TYP.)

U/S OF TRUSSES

T/O WINDOWS

U/S OF JOISTS

U/S OF TRUSSES

T/O WINDOWS

U/S OF JOISTS

U/S OF TRUSSES

T/O WINDOWS

U/S OF JOISTS

U/S OF TRUSSES

T/O WINDOWS

U/S OF JOISTS

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T/O WINDOWS

U/S OF JOISTS

U/S OF TRUSSES

T/O WINDOWS

U/S OF JOISTS

U/S OF TRUSSES

T/O WINDOWS

ELEVATION CORNER LOT - RIGHT

SCALE: 3/16" = 1'-0"

PRE-FINISHED METAL
FLASHING (TYP.)

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

AS

AF

VEC

S

P

P

PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

PATIO STONE

RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

GAS FIREPLACE
CHIMNEY VENT

LOT: XXXX
DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING:
ELEVATION CORNER LOT - RIGHT

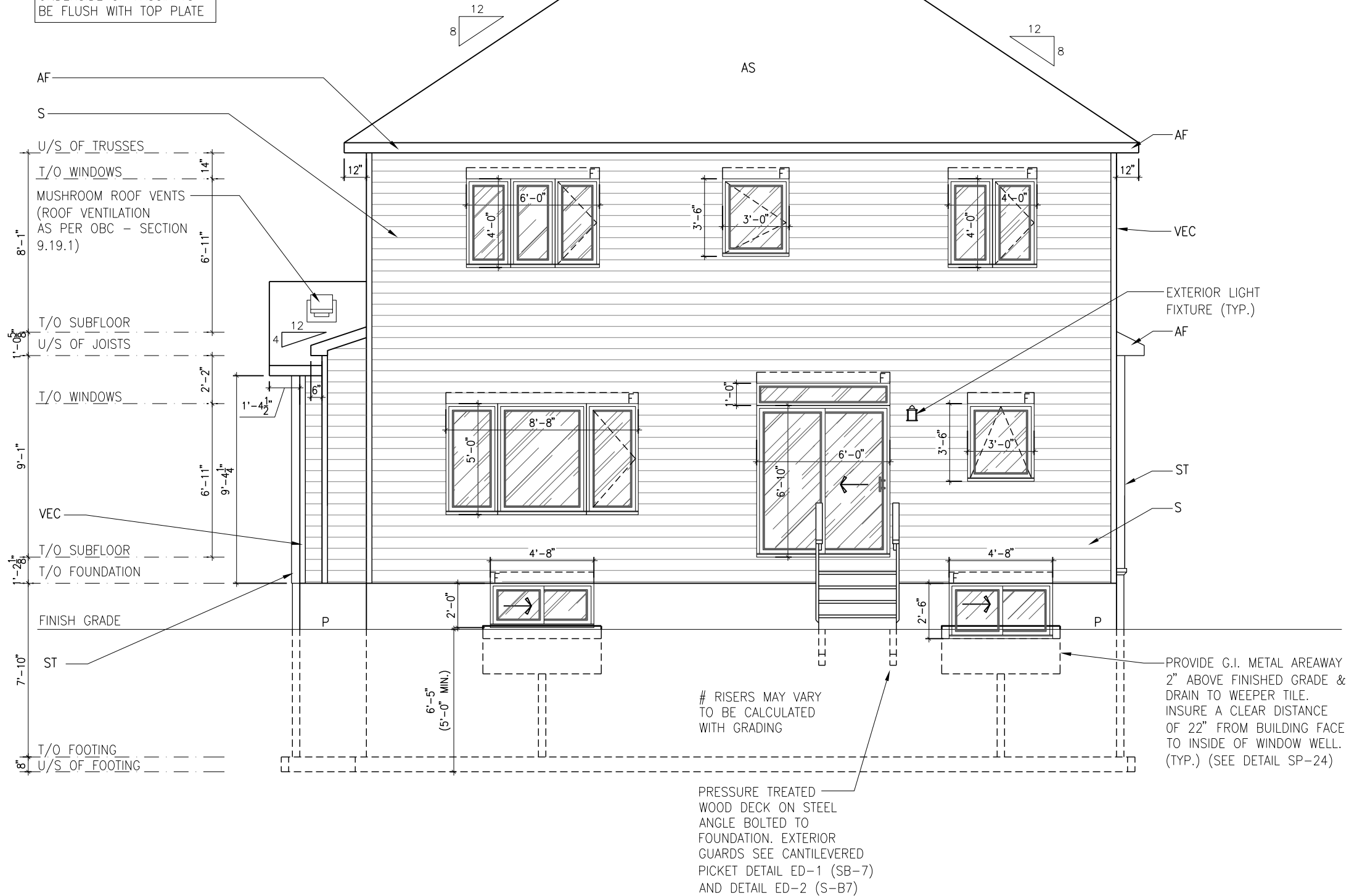
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1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A2c

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LOT: XXXX
DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: **ELEVATION A-B - REAR**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

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2022 FOOTPRINT
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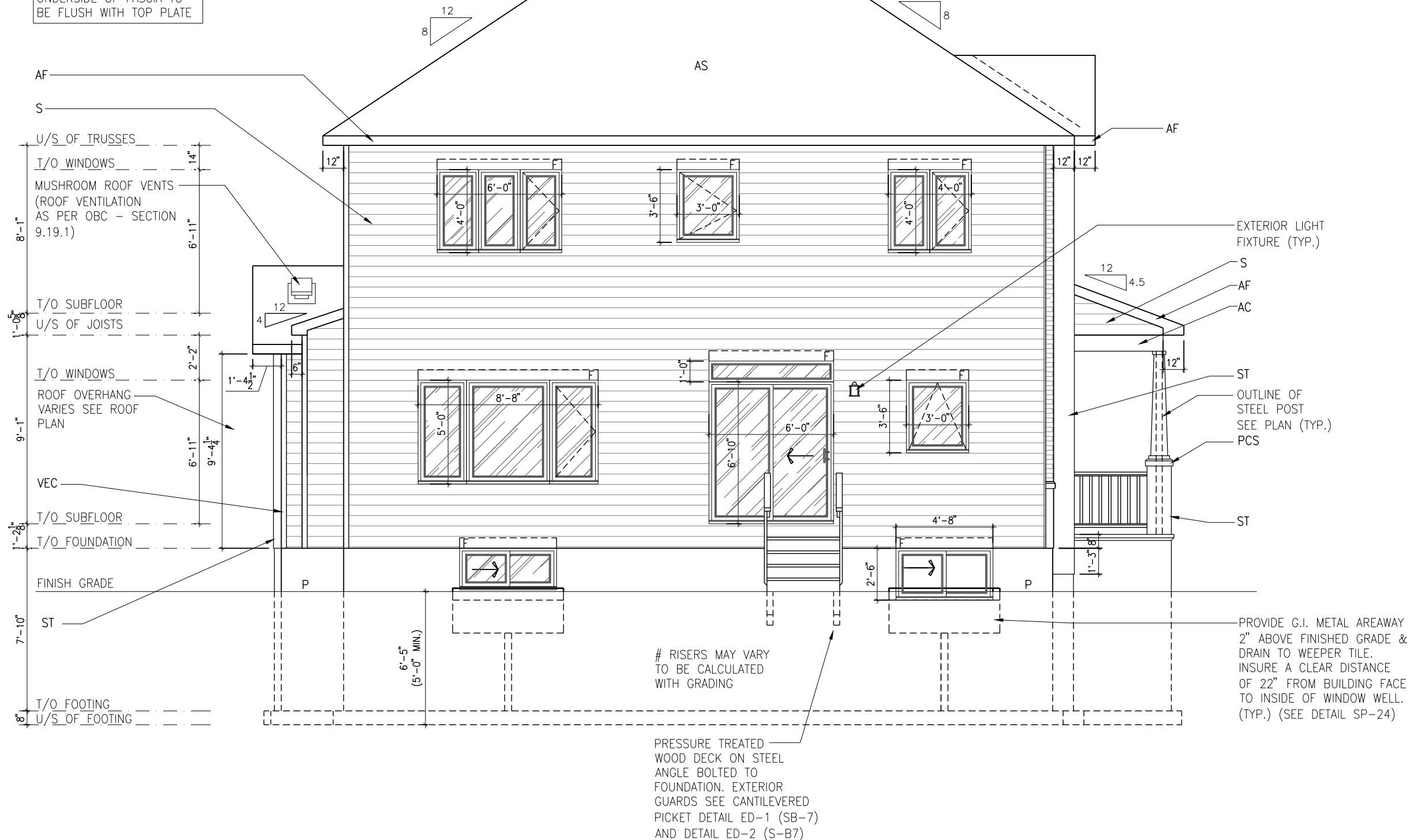
SHEET:
A4a

ELEVATION A-B-C - REAR

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ELEVATION CORNER LOT - REAR
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- VS - VINYL SHAKES
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	MAD
NO.	DESCRIPTION	DATE	BY

ELEVATION CORNER LOT - REAR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A4b

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

DOUBLE BAFFLE EACH
TRUSS TO CREATE A 2"
AIR SPACE

AF

PRE-ENGINEERED ROOF
TRUSSES @ 24" o/c
(SEE MANUFACTURER)
PRE-ENGINEERED
CONTINUOUS BRACING
(SEE MANUFACTURER)

PRE-ENGINEERED GIRDER
TRUSS (SEE MANUFACTURER)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

U/S OF TRUSSES
T/O WINDOWS
8'-1"
6'-11"
T/O SUBFLOOR
U/S OF JOISTS
1'-0 3/8"
T/O WINDOWS
2'-2"
9'-1"
6'-11"
T/O SUBFLOOR
T/O FOUNDATION
1'-2 3/8"
7'-10"
T/O FOOTING
U/S OF FOOTING
8"

BATH

STAIRS

R-22 BATT
INSULATION

DINETTE

LIVING ROOM

STAIRS

(2) R-22 BATT
INSULATION

BASEMENT
UNFINISHED AREA

SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
CLEARANCE BETWEEN HANDRAIL AND WALL 2" MIN.
HEADROOM = 6'-5" MIN

4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

4" Ø PERFORATED WEEPING
TILE WITH SOCK C/W 6"
CRUSHED STONE COVER

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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ARCHITECTURAL DEPARTMENT.

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
- + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 45° ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)

OUTLINE OF
STEEL POST
SEE PLAN (TYP.)
PCS

ST

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: **BUILDING SECTION
ELEVATION A**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

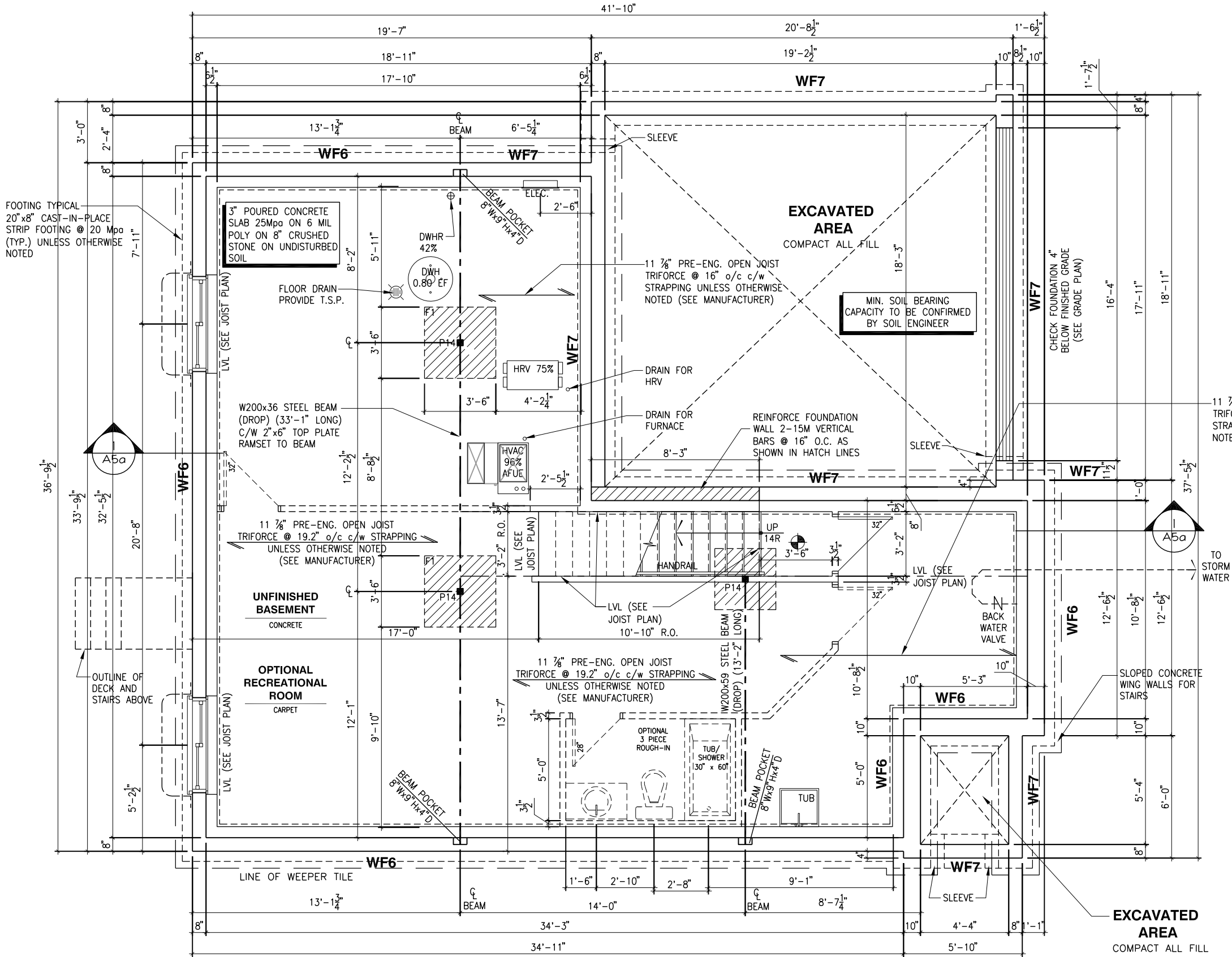
1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A5a

BUILDING SECTION - ELEVATION A
SCALE: 3/16" = 1'-0"

BASEMENT FLOOR PLAN - ELEVATION B, C

SCALE: 3/16" = 1'-0"



NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m² (3.8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

S1	= L 90x90x6
S2	= L 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1	= 2-2x10 + P2 ON BOTH SIDES
L2	= 3-2x10 + P3 ON BOTH SIDES
L3	= 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
L4	= 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1	= 3" ADJUSTABLE STEEL COLUMN
P1a	= HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2	= 2-2x4 OR 2-2x6
P3	= 3-2x4 OR 3-2x6
P4	= 4-2x4 OR 4-2x6
P5	= 5-2x4 OR 5-2x6
P6	= 6-2x4 OR 6-2x6
P13	= HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14	= HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15	= HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16	= HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17	= HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*)	= 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

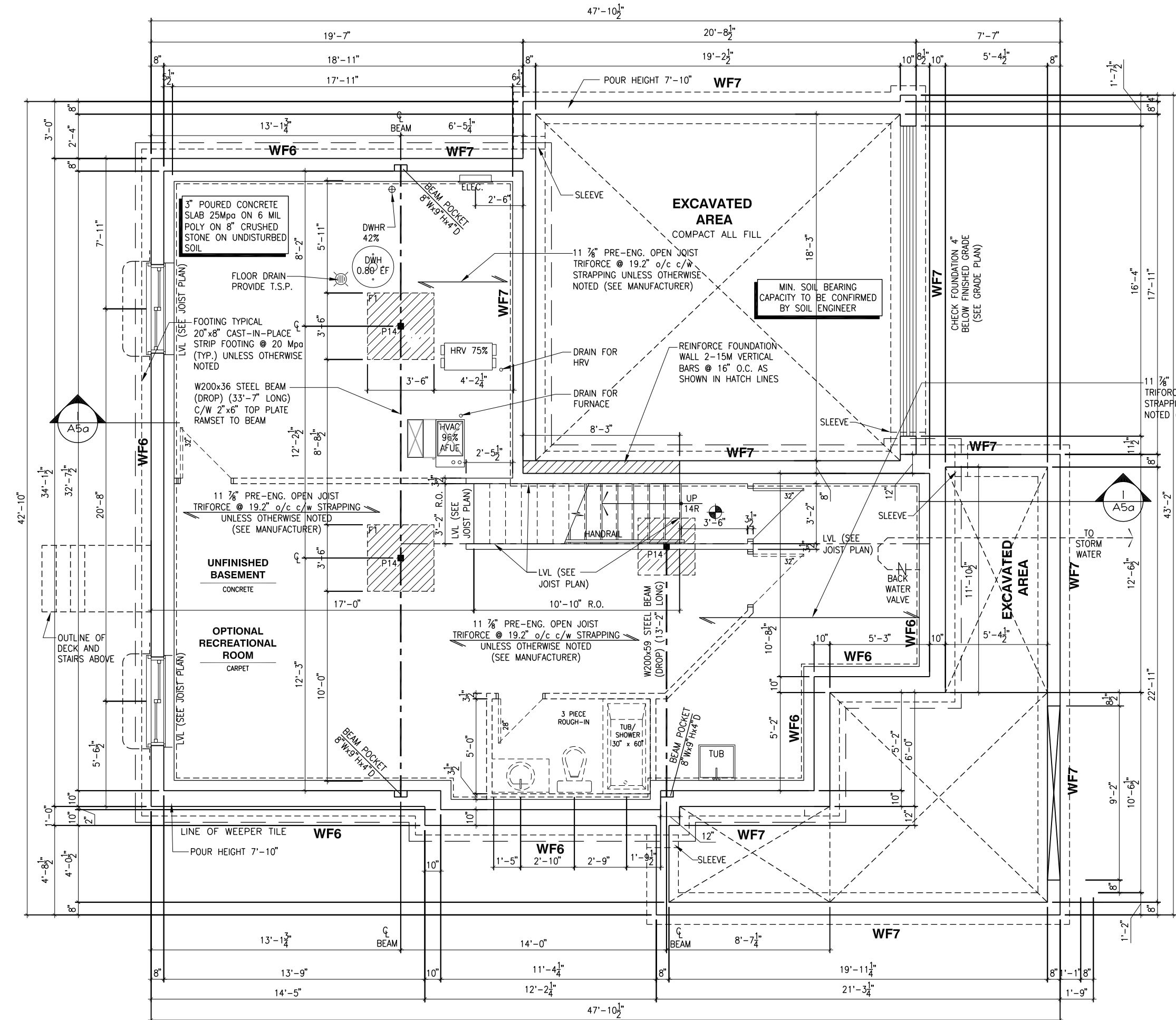
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: BASEMENT FLOOR PLAN
ELEVATION B

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A6b



BASEMENT FLOOR PLAN - ELEVATION CORNER LOT

SCALE: 3/16" = 1'-0"

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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
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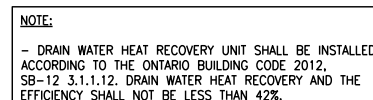
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	vh
NO.	DESCRIPTION	DATE	BY

**DRAWING: BASEMENT FLOOR PLAN
ELEVATION CORNER LOT**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

2012 O.B.C. DRAWINGS

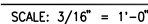
SHEET:
A7a



SCALE: 3/16" = 1'-0"

FLOOR	SQARE FOOT
GROUND FLOOR	1042
SECOND FLOOR (WITHOUT OPEN TO BELOW)	910
GARAGE	378
TOTAL	1952 378

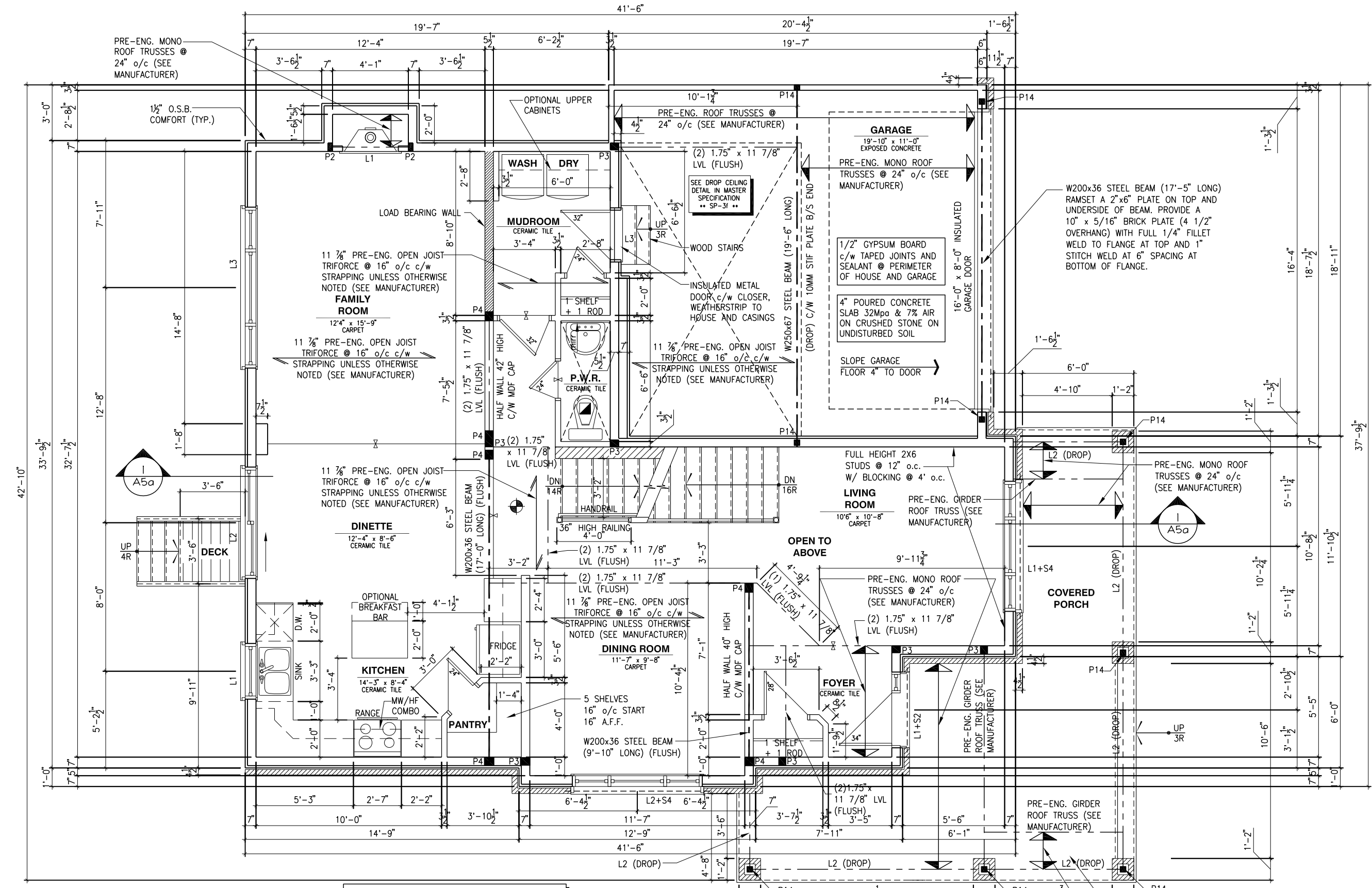
1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)



NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

FLOOR	SQARE FOOT	
GROUND FLOOR	1042	
SECOND FLOOR (WITHOUT OPEN TO BELOW) GARAGE	921	378
TOTAL	1963	378



GROUND FLOOR PLAN - ELEVATION CORNER LOT

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

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GROUND FLOOR	1042
SECOND FLOOR (WITHOUT OPEN TO BELOW)	910
GARAGE	378
TOTAL	1952 378

PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 7" SLOPED TO 6" POURED CONCRETE 32 Mpa W/ 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS @ 16" o/c WALL TO SLAB. SLAB TO BEAR ON FOUNDATION WALLS.

PRE-ENG. MONO ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH

DRAWING: **GROUND FLOOR PLAN ELEVATION CORNER LOT**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A7c

NOTES:

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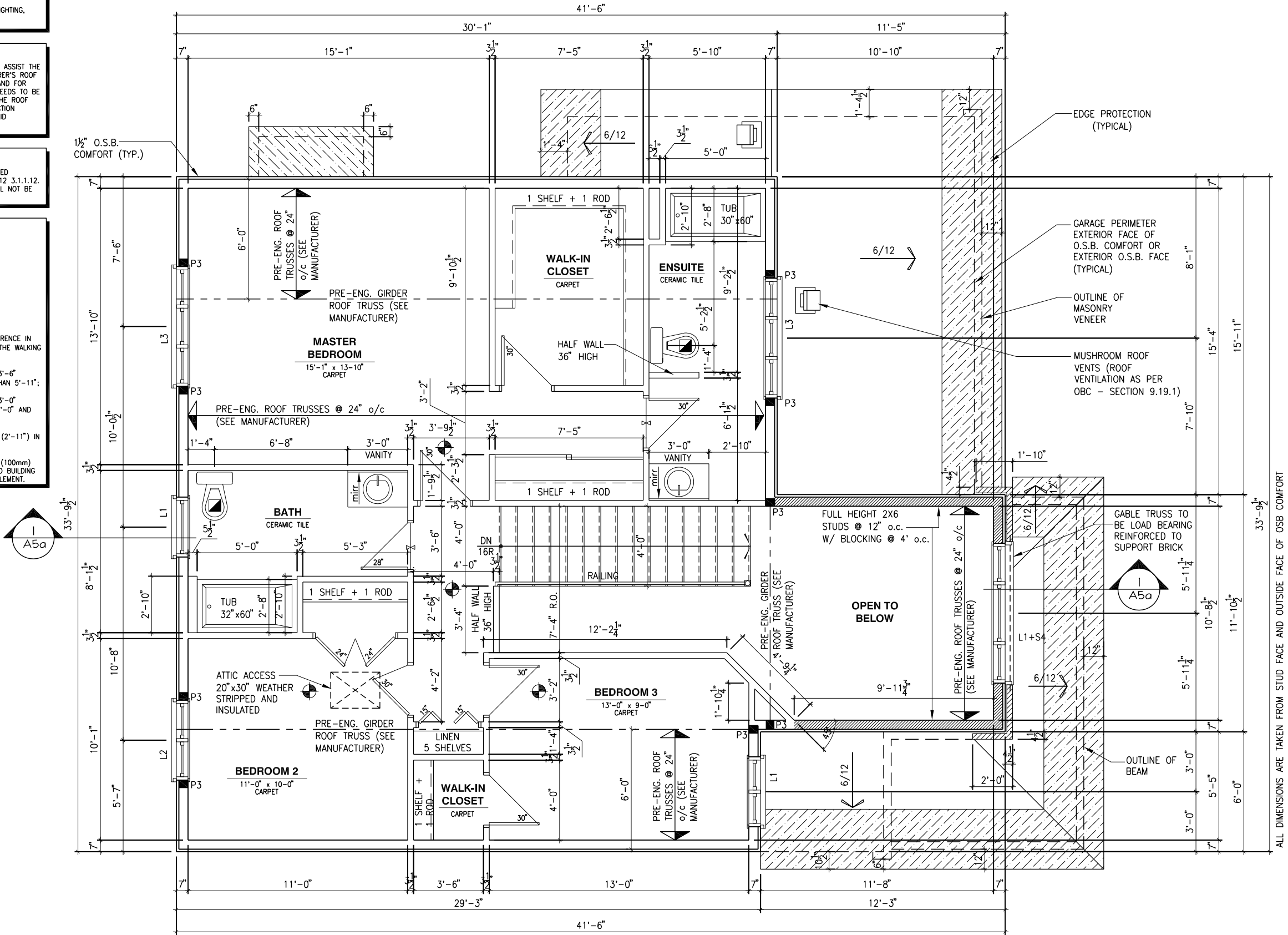
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NOTE:

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STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:
- RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
- RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
- TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
- WIDTH: MIN 860mm (2'-10")
- HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
- LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



SECOND FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

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S2 = L 90x90x8
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 VH
NO. DESCRIPTION DATE BY

DRAWING: SECOND FLOOR PLAN
ELEVATION A

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A8a

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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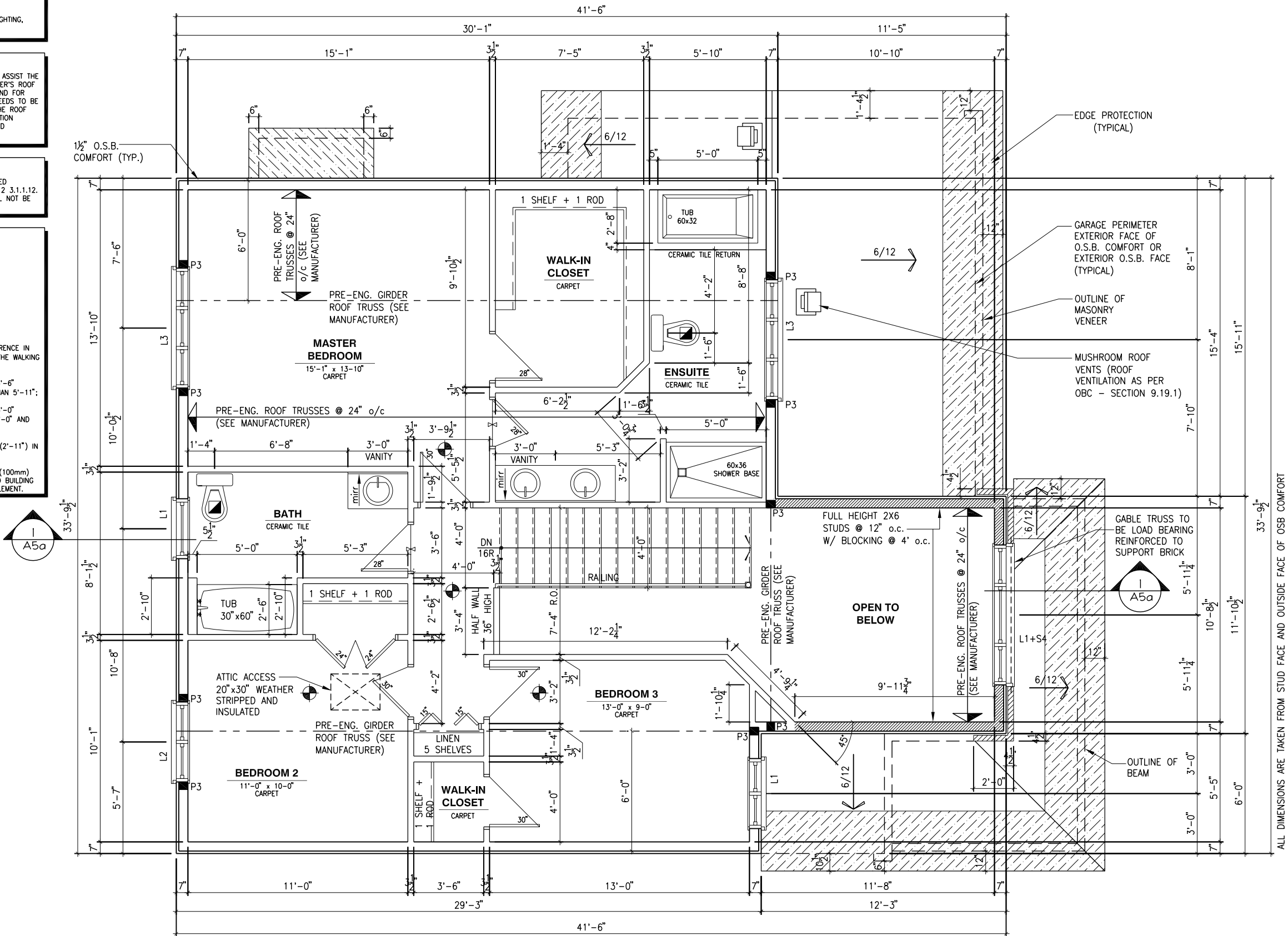
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LOT: XXXX
DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH

DRAWING: SECOND FLOOR - ELEV. A (ENSUITE UPGRADE)

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

SHEET: A8a

SECOND FLOOR PLAN - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

NOTES:

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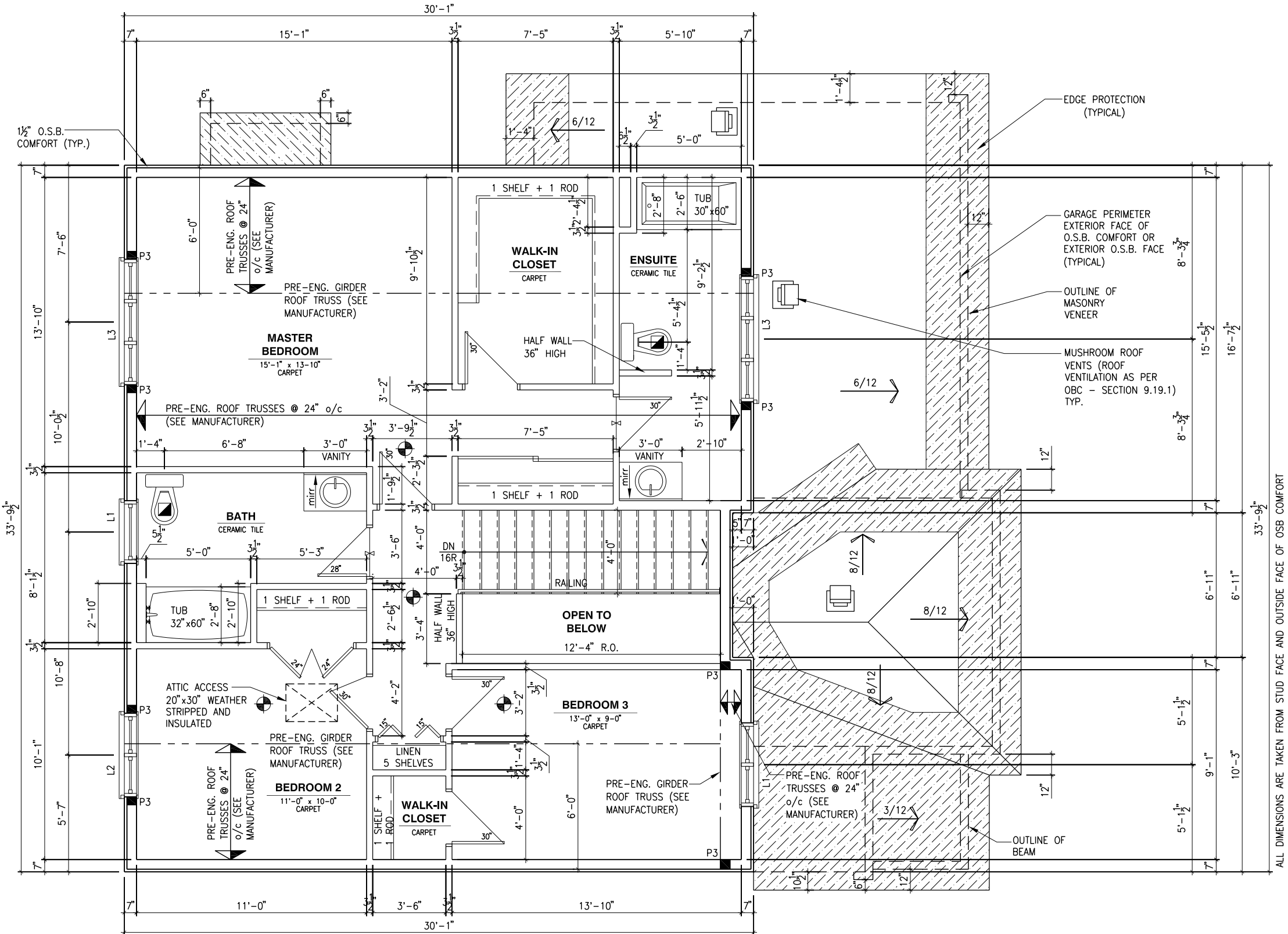
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SECOND FLOOR PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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NO. DESCRIPTION DATE BY

DRAWING: SECOND FLOOR PLAN

ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW

2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A8b

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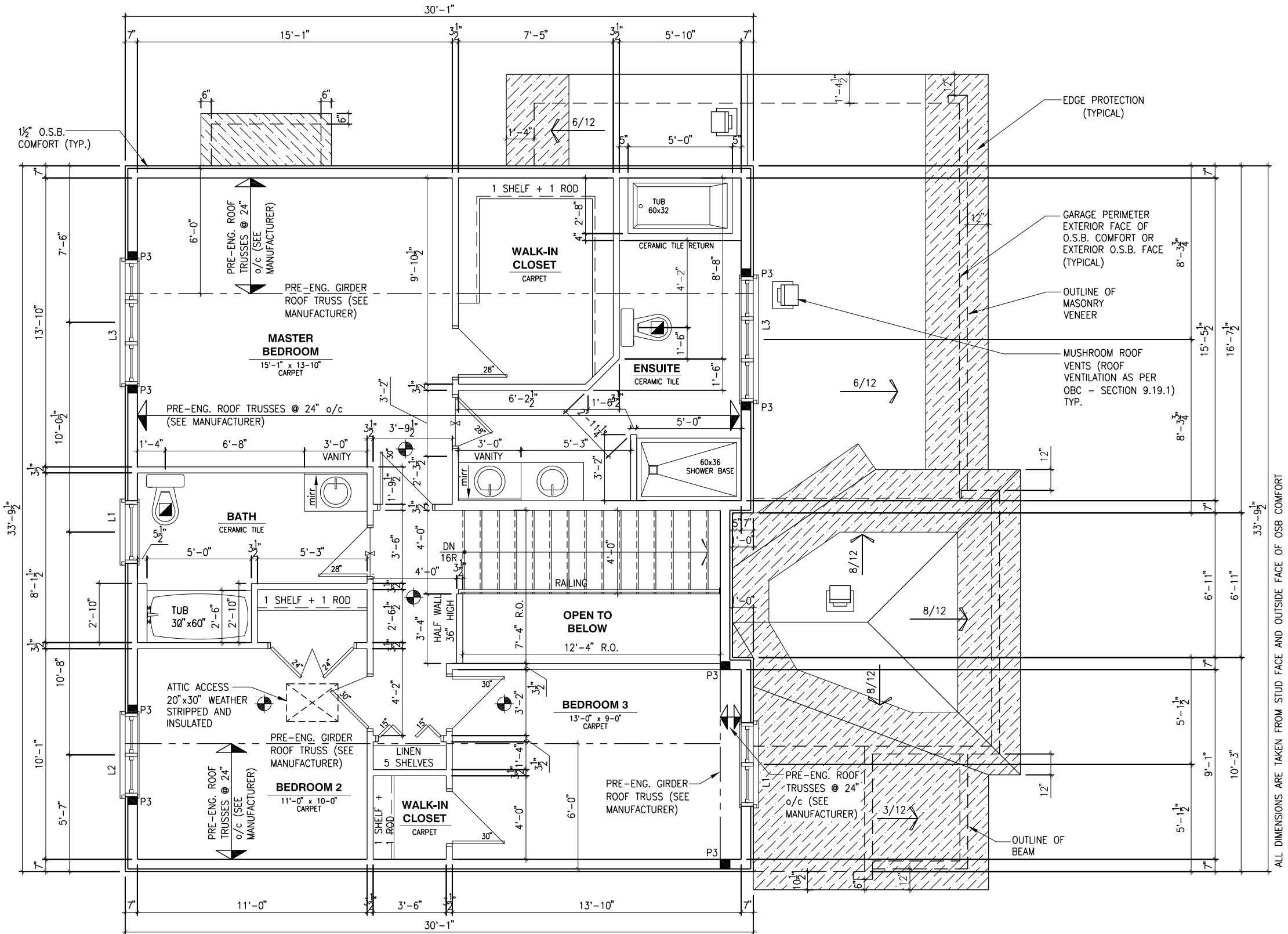
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1035 - THE MORROW 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A8b

SECOND FLOOR PLAN - ELEVATION B (ENSUITE UPGRADE)

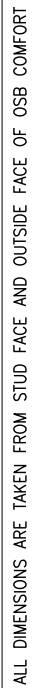
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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



SCALE: 3/16" = 1'-0"

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

* POST ARE ALL JACK c/w STUD

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A - P2

• = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
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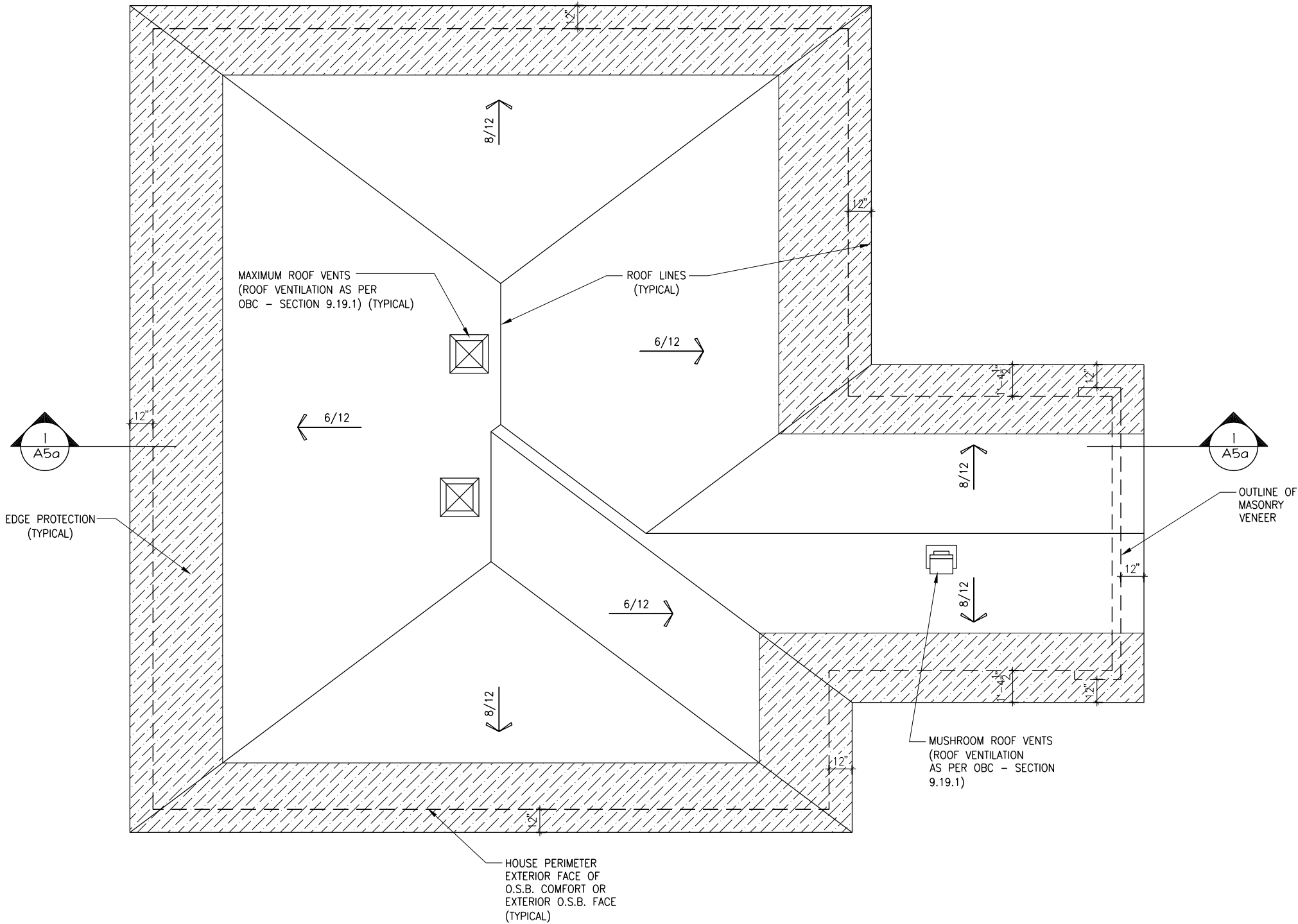
 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

(STANDARD DRAWINGS)

A8c

ROOF AND FLOOR LAYOUT NOTES:

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ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
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- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
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POST TABLE:

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- P2 = 2-2x4 OR 2-2x6
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- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: **ROOF PLAN
ELEVATION A**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1035 - THE MORROW
2022 FOOTPRINT

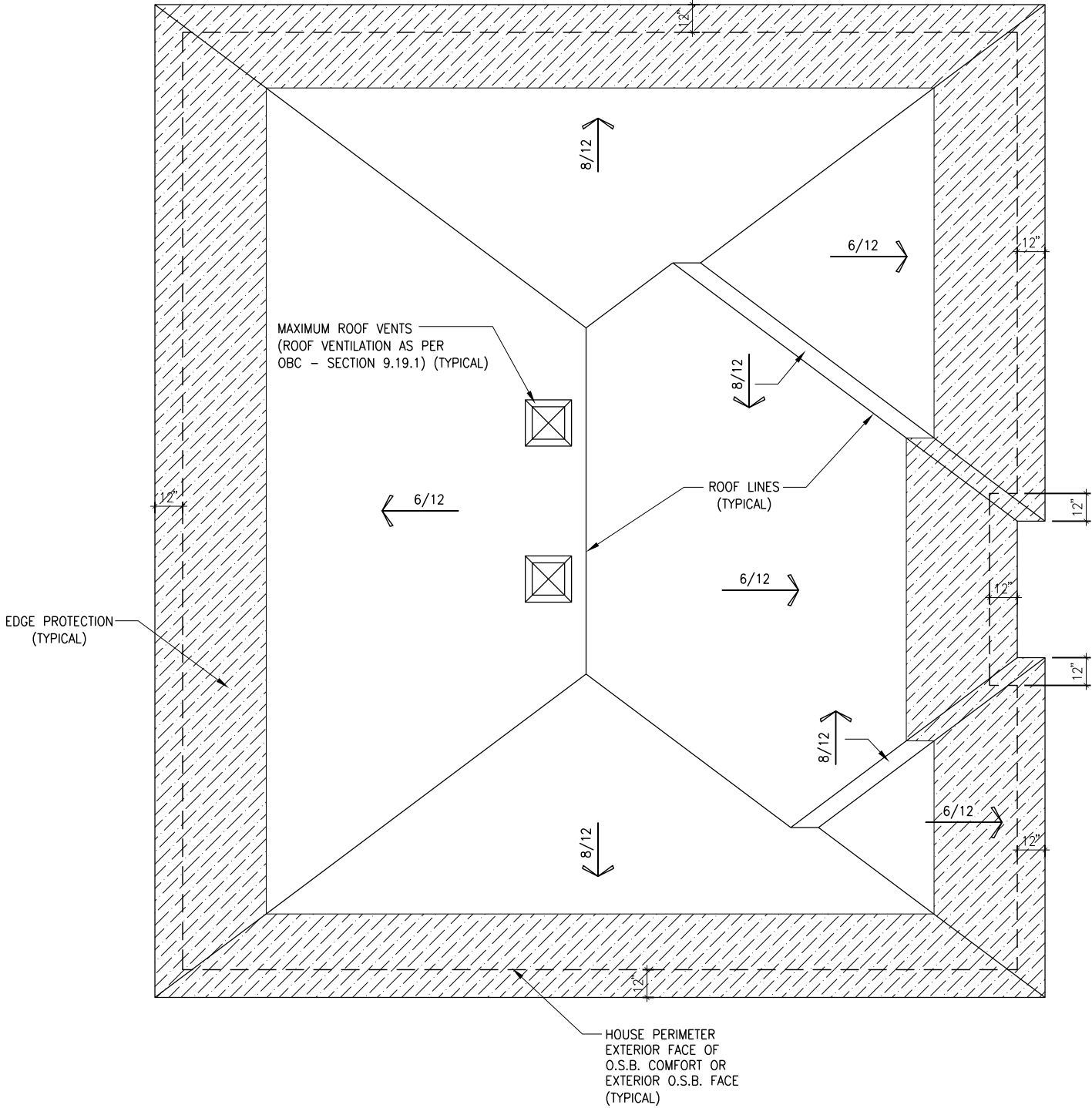
(STANDARD DRAWINGS)

SHEET:

A9a

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ROOF PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: ROOF PLAN
ELEVATION B

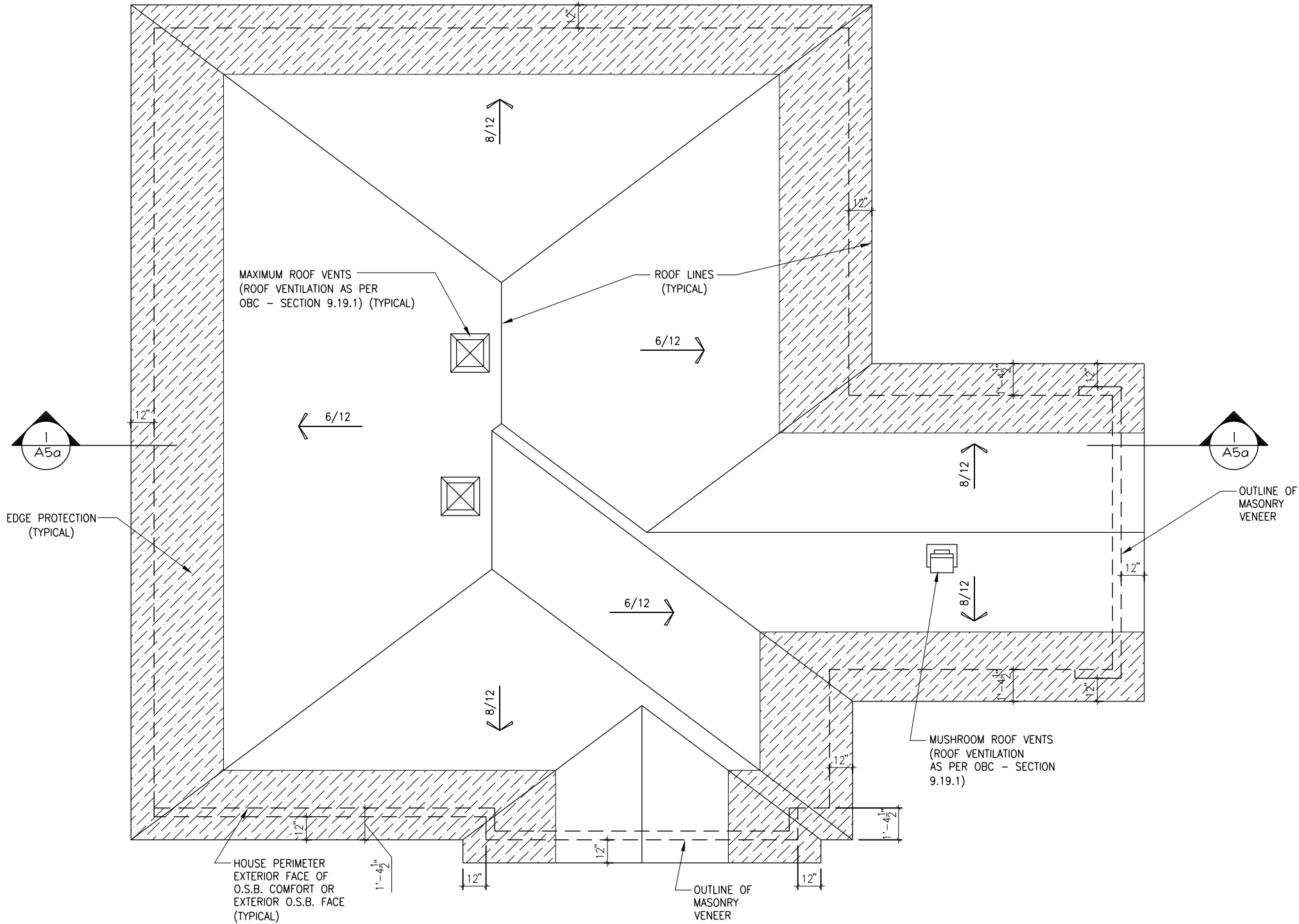
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A9b

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ROOF PLAN - ELEVATION CORNER LOT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: ROOF PLAN
ELEVATION CORNER LOT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

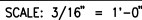
A9c

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A10a

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

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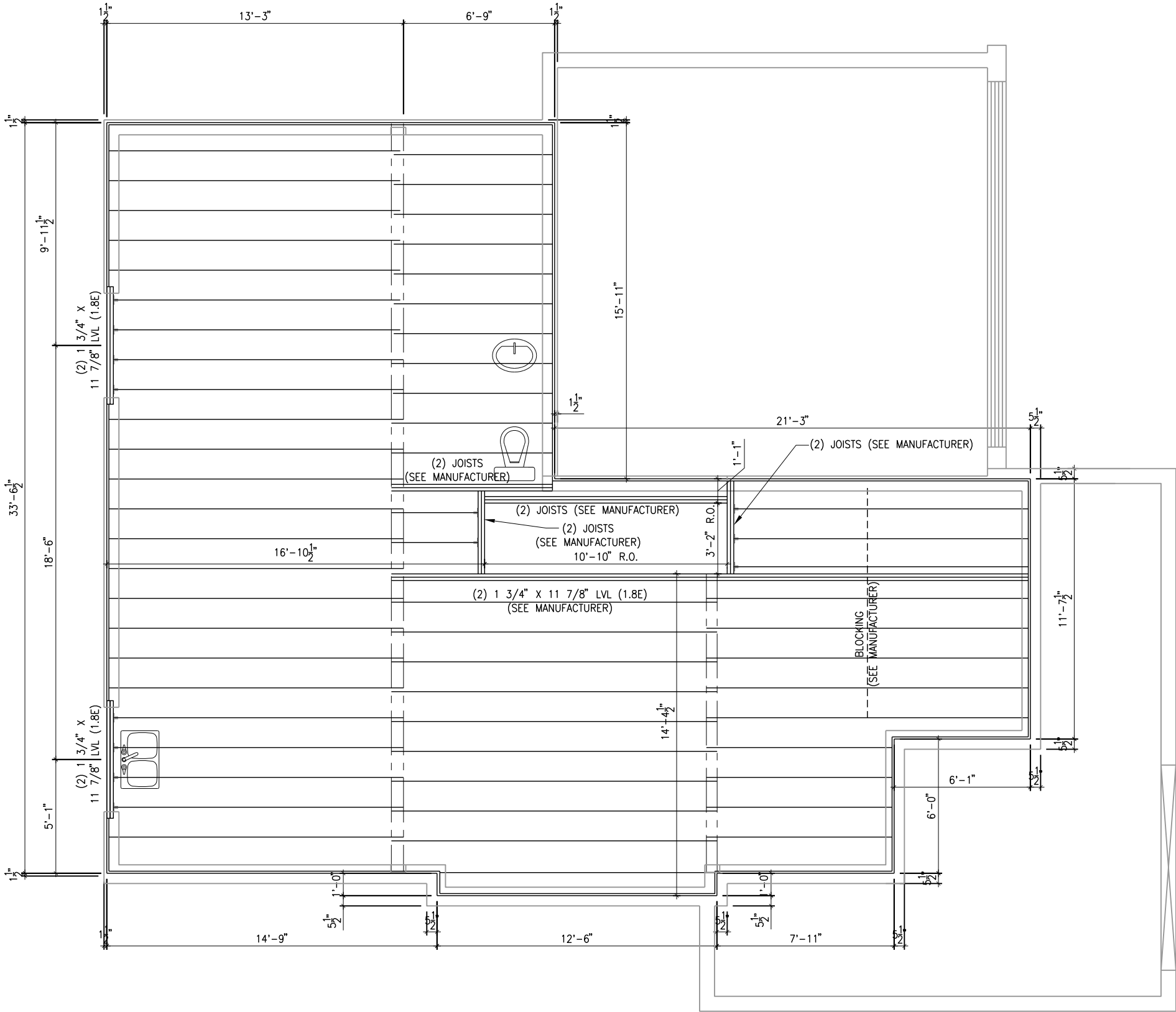
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STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



GROUND FLOOR - JOIST PLAN - CORNER LOT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: **GROUND FLOOR**
JOIST PLAN - CORNER LOT

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A10b

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

STAIRS AND RAILINGS:

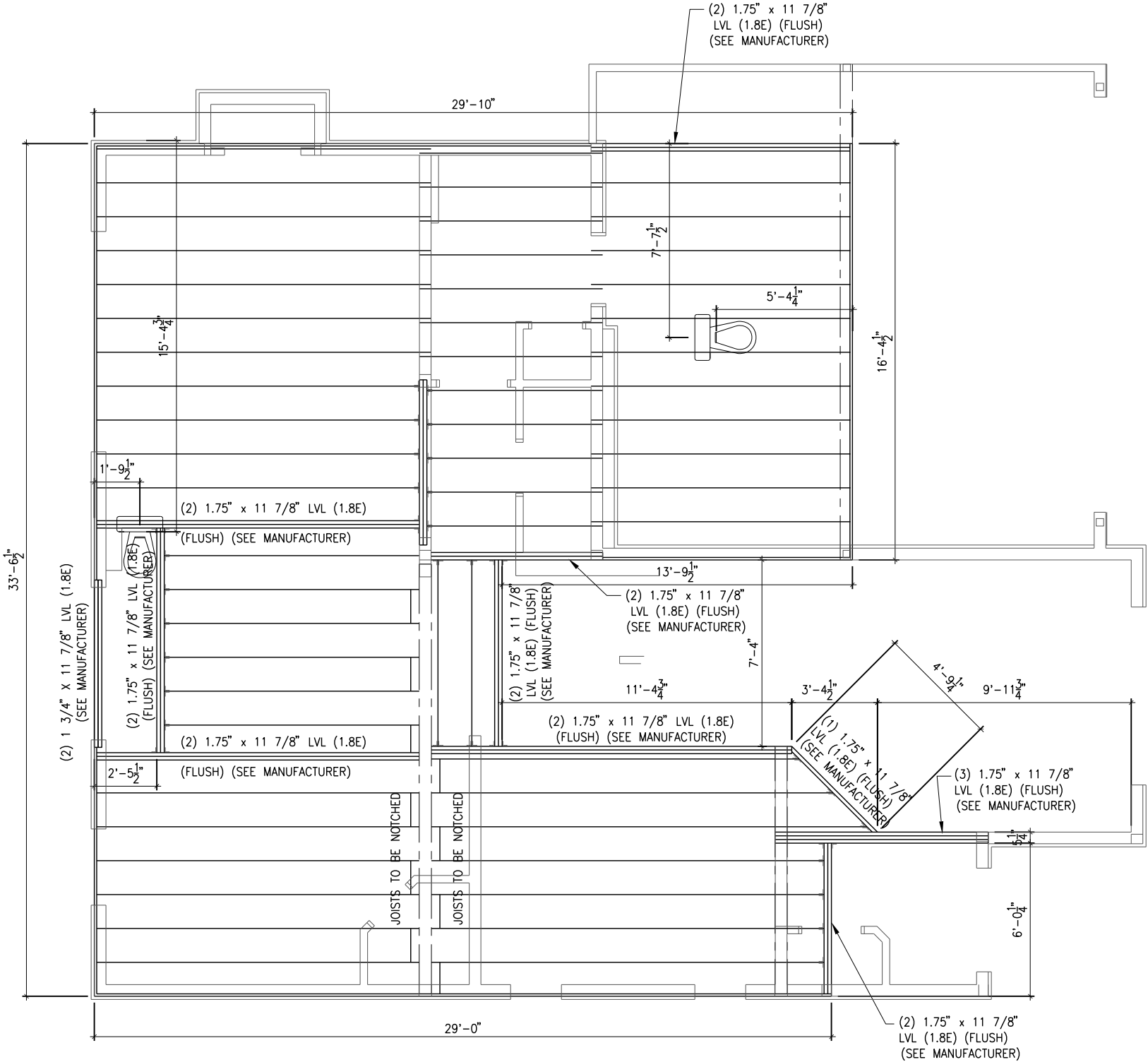
- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
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SECOND FLOOR - JOIST PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
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POST BY USP
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P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
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▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR
JOIST PLAN - ELEVATION A**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A11a

NOTES:

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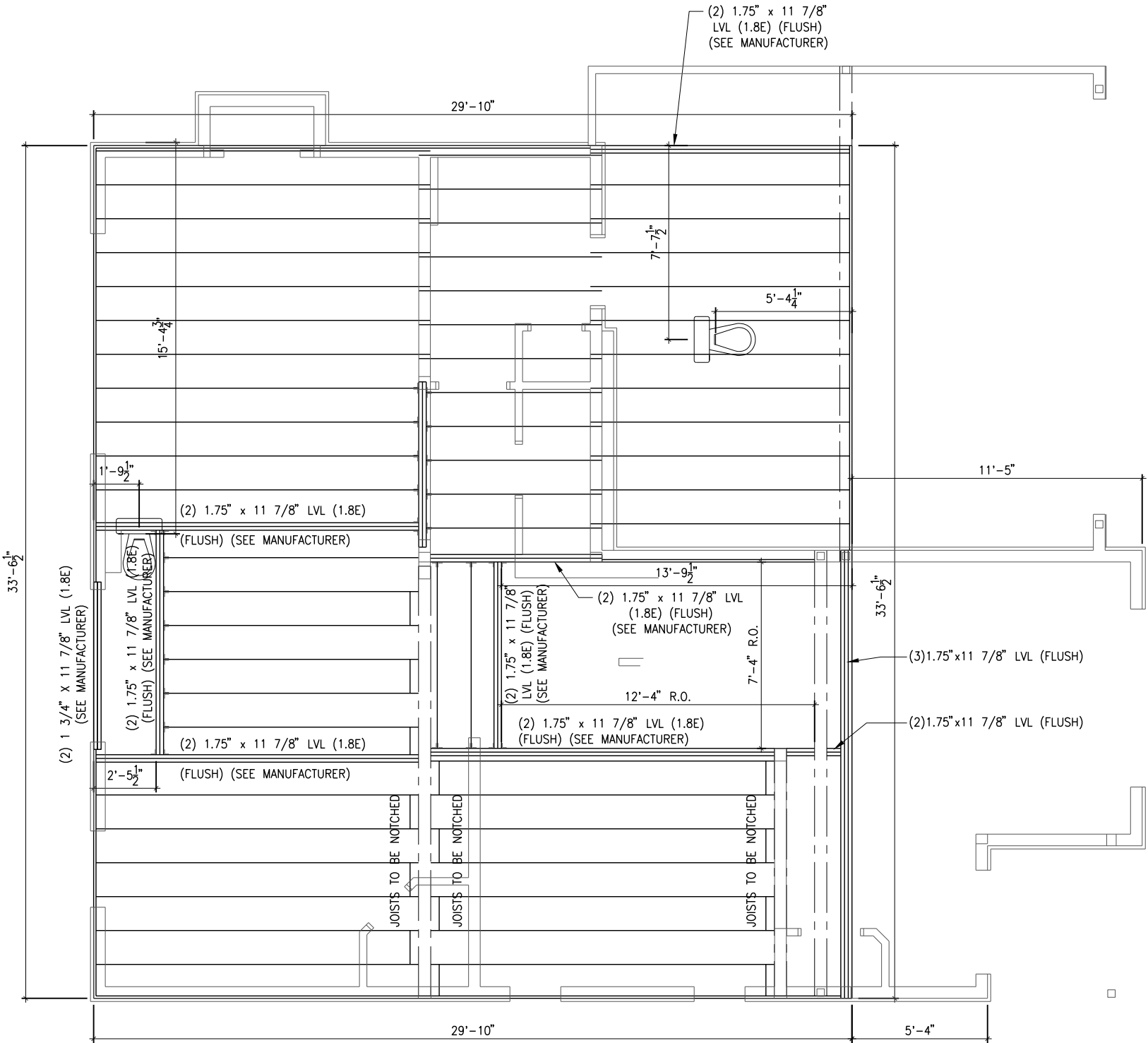
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GROUND FLOOR - JOIST PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR**
JOIST PLAN - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A11b

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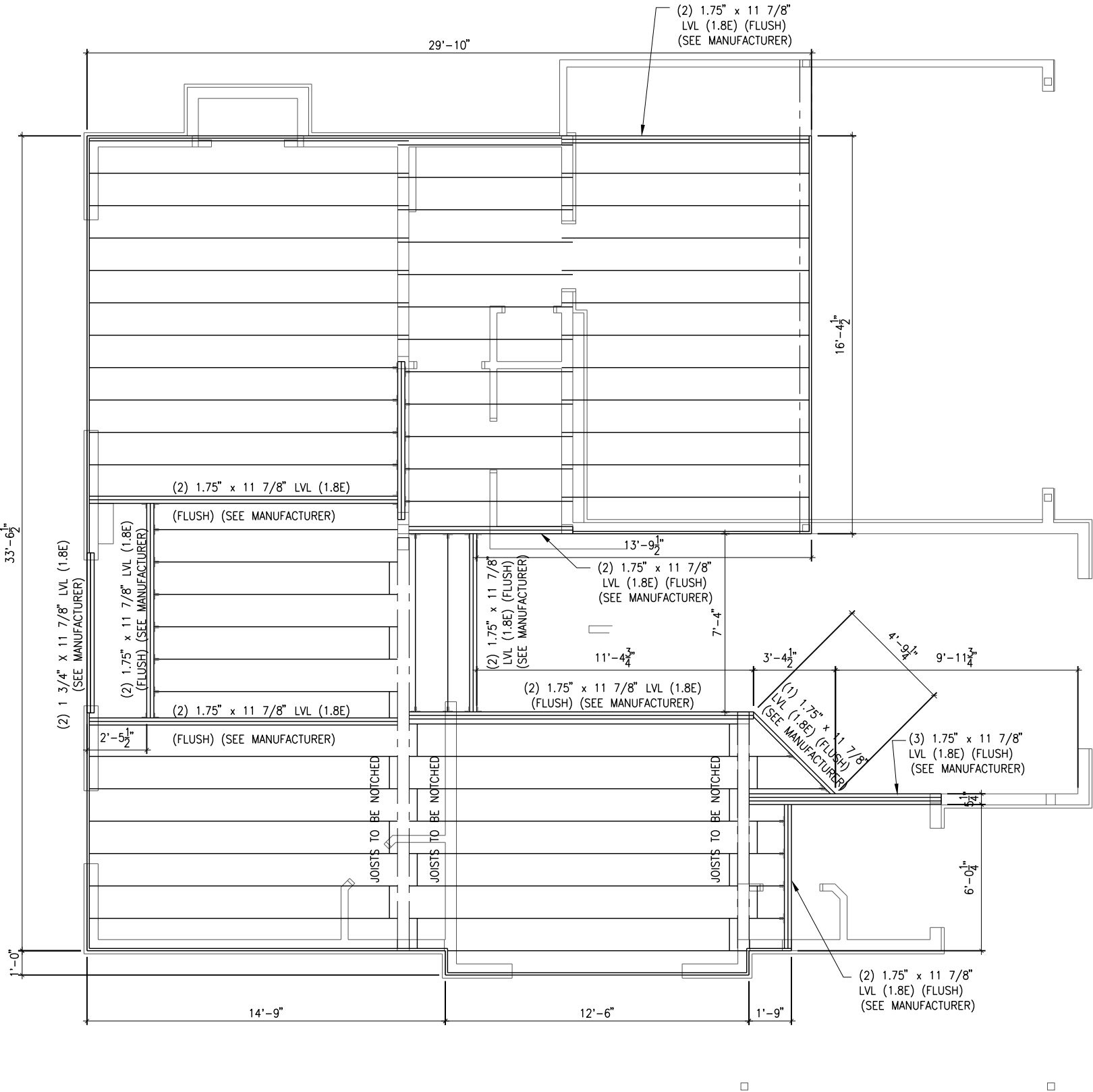
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GROUND FLOOR - JOIST PLAN - CORNER LOT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

SECOND FLOOR JOIST PLAN - CORNER LOT

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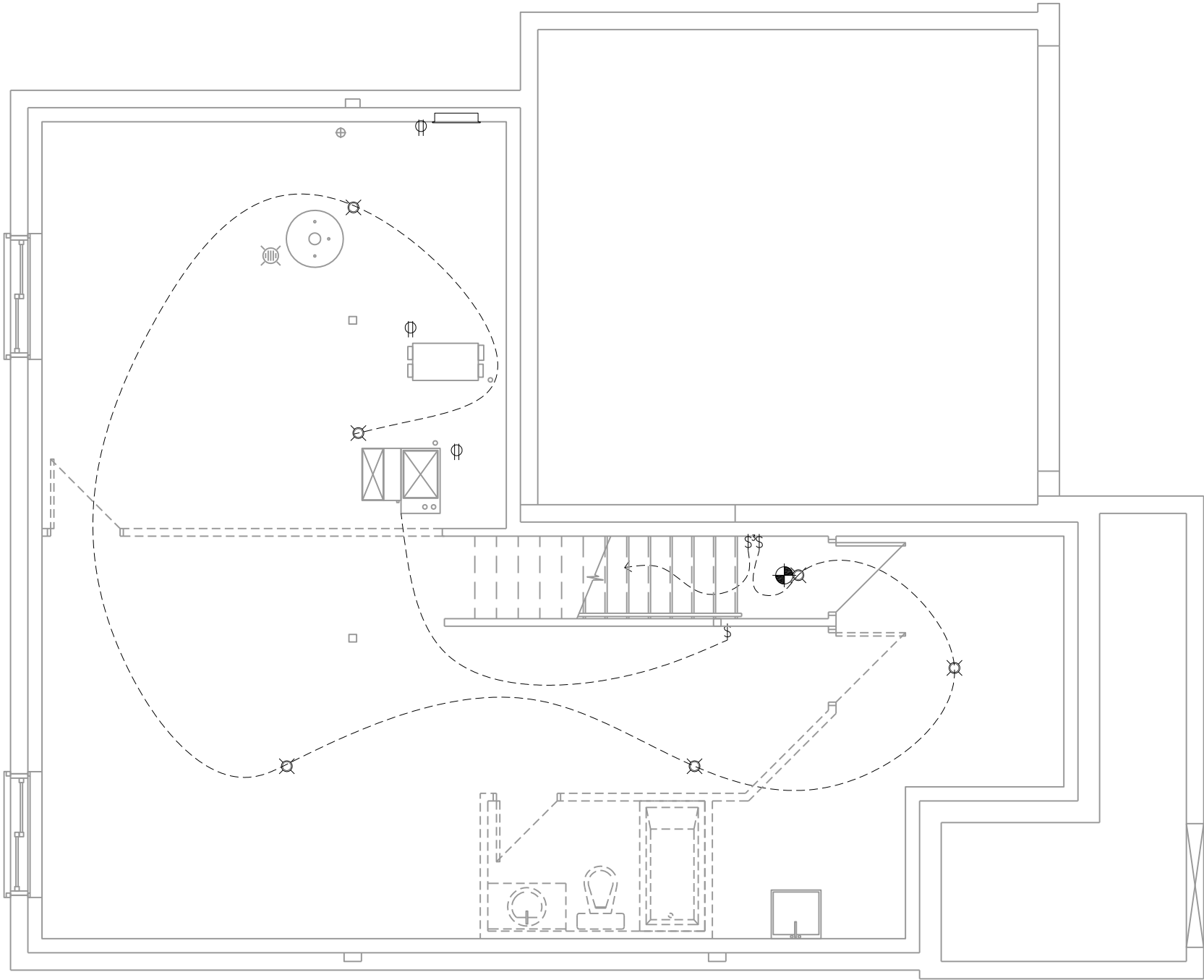
1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A11c

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BASEMENT ELECTRICAL

SCALE: 3/16" = 1'-0"

LOT: XXXX
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- POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING:

BASEMENT ELECTRICAL

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT

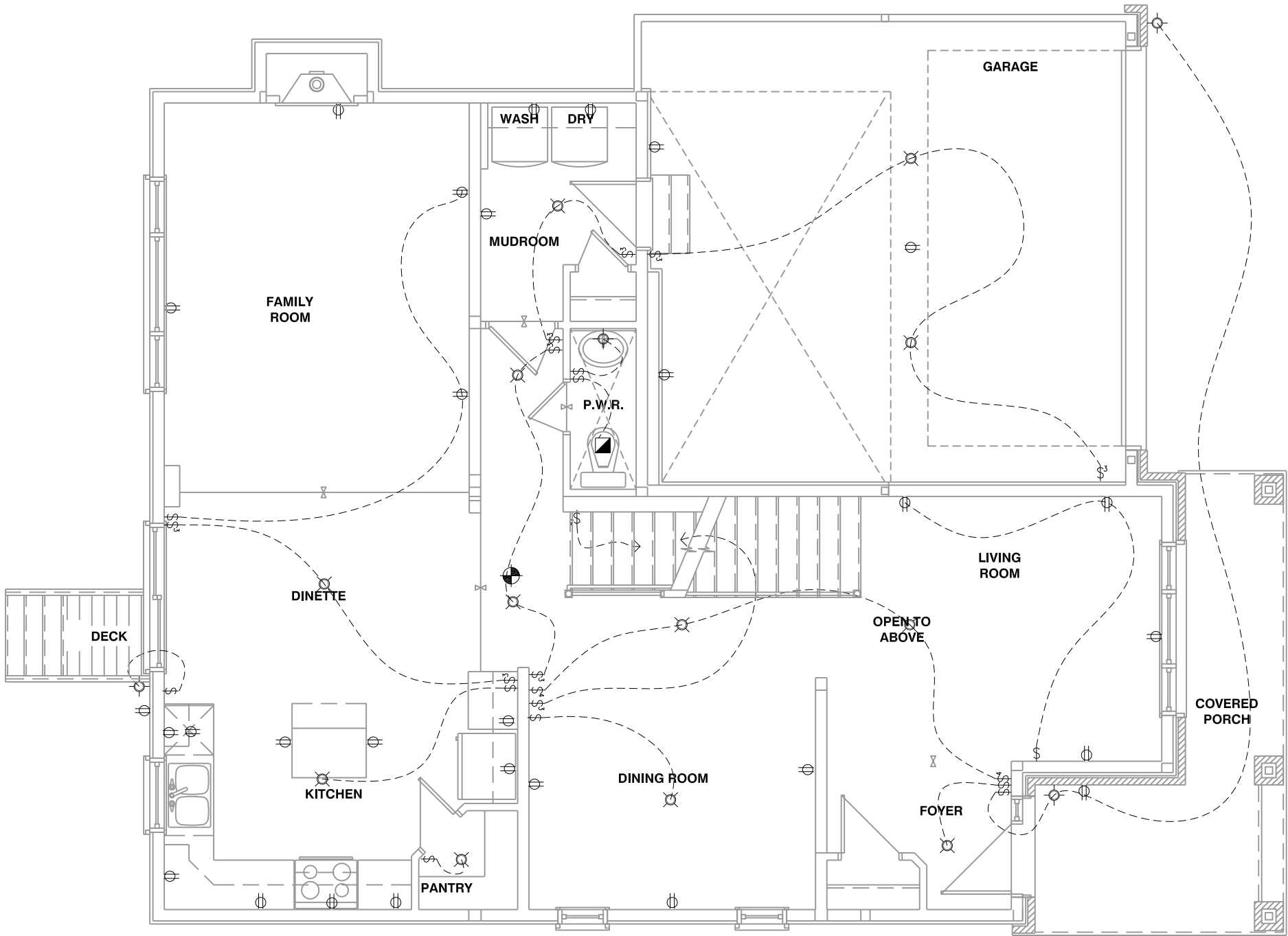
(STANDARD DRAWINGS)

SHEET:

E1

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



GROUND FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)

- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR ELECTRICAL

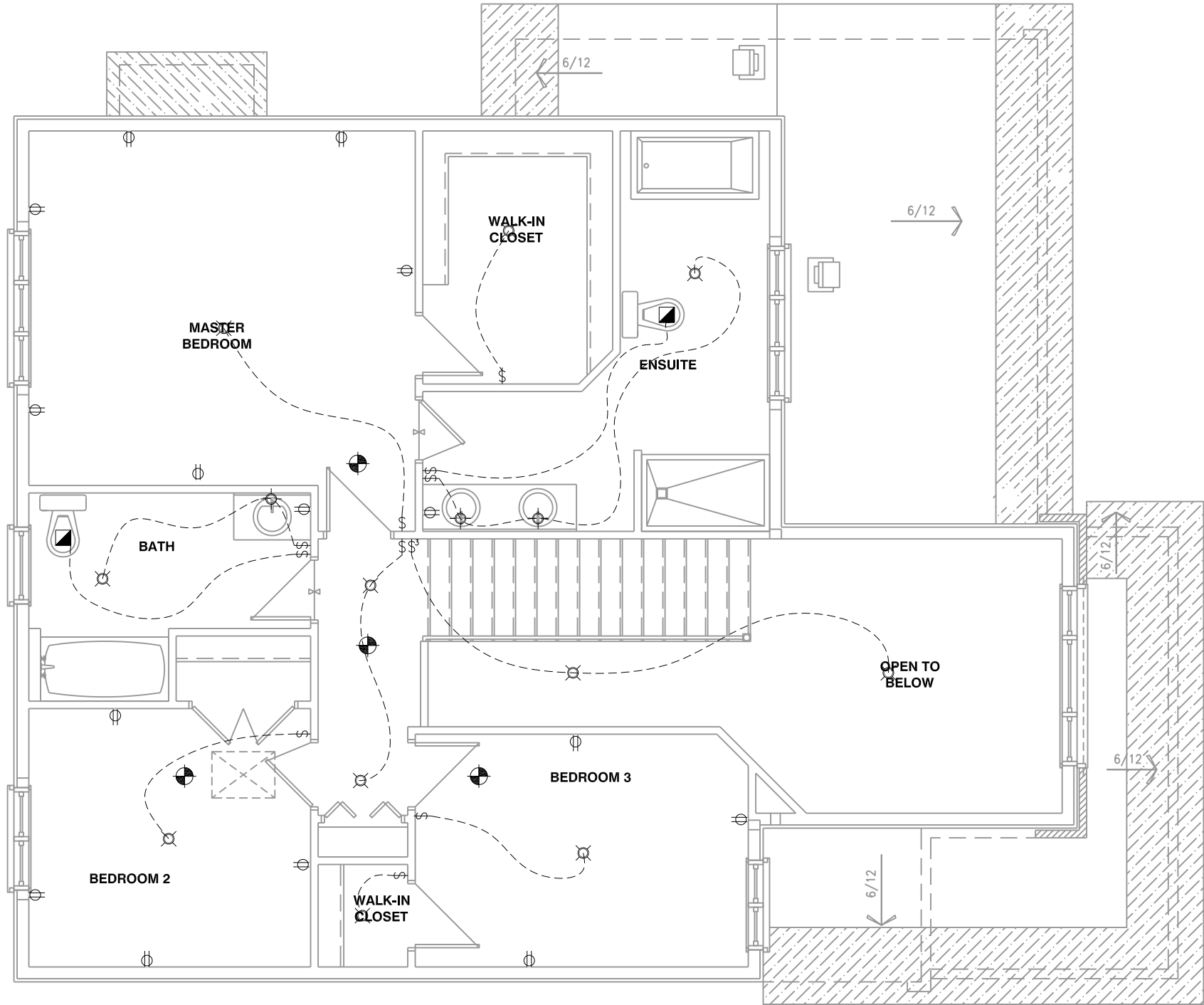
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: E2

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



SECOND FLOOR ELECTRICAL - ENSUITE UPGRADE

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NOTES:
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- S6 = L 200x100x12
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LINTEL TABLE:
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR ELECTRICAL

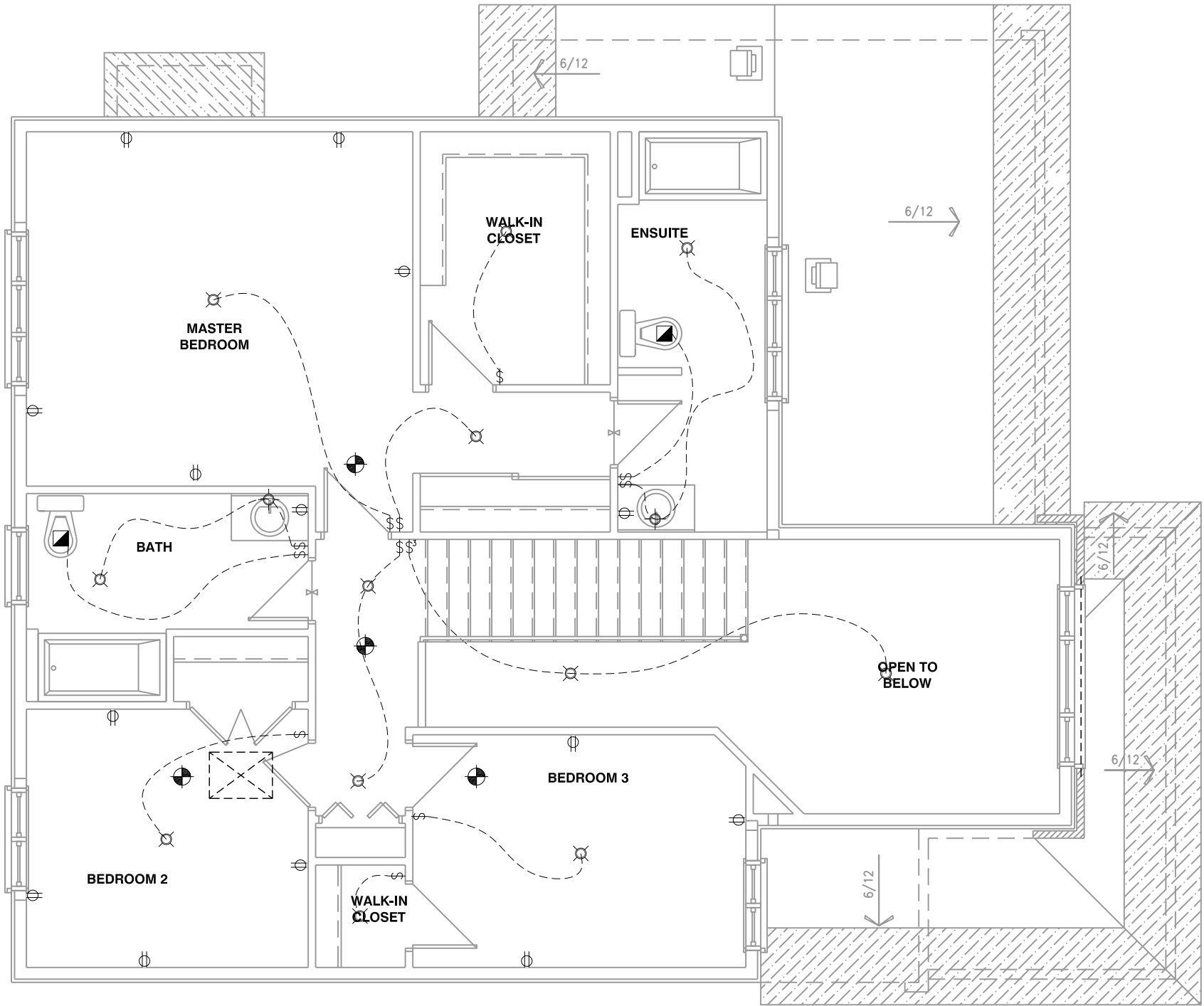
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: E3

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SECOND FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR ELECTRICAL

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1035 - THE MORROW
2022 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: E4