

ELEVATION A - FRONT

LOT: **XXXX** DATE: XX/XX/XXXX Homes (2019) Limited I<u>, Dan Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM * THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER TEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. XTERIOR FINISH LEGEND: B - BRICK (MAIN) B1 - BRICK SOLDIER COURSE (ACCENT)
B2 - BRICK SOLDIER COURSE (ACCENT)
+ 20mm PROUD
B3 - BRICK SLEEPER COURSE 20 - BRICK 20mm RECESSED
- SIDING (HORIZONTAL)
- STONE VENEER
- TRIM 200mm COVE SIDING
- ALUMINUM FASCIA
- ALUMINUM FASCIA
- ALUMINUM BAND
- 48" ALUMINUM BAND
- ASPHALT SHINGLES
- FLASHING V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 MAD NO. DESCRIPTION DATE BY

DRAWING:

ELEVATION A - FRONT

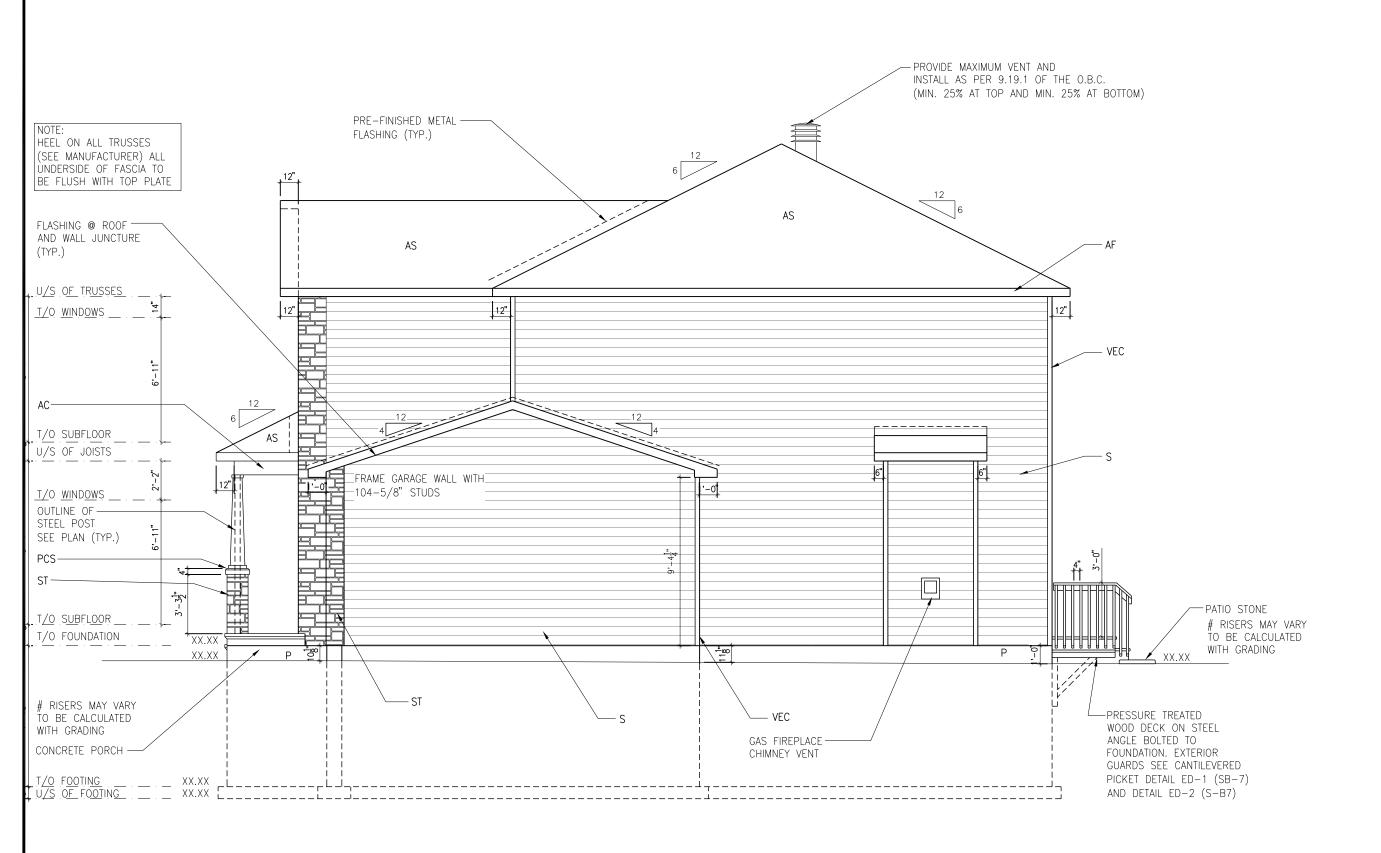
DDRESS: XX

SCALE: 3/16" = 1'-0"

1035 - THE MORROW 2022 FOOTPRINT

PC - PARGING
PCH10 - PRECAST HEADER 10"
PCH8 - PRECAST HEADER 8"
PCS - PRECAST SILL
PCB - PRECAST BAND
VS - VINYL SHAKES

VEC - SIDING (VERTICAL CORNER)



ELEVATION A - RIGHT

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ST - STONE VENEER
T - TRIM 200mm COVE SIDING
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VEC - SIDING (VERTICAL CORNER) 2012 O.B.C. DRAWINGS

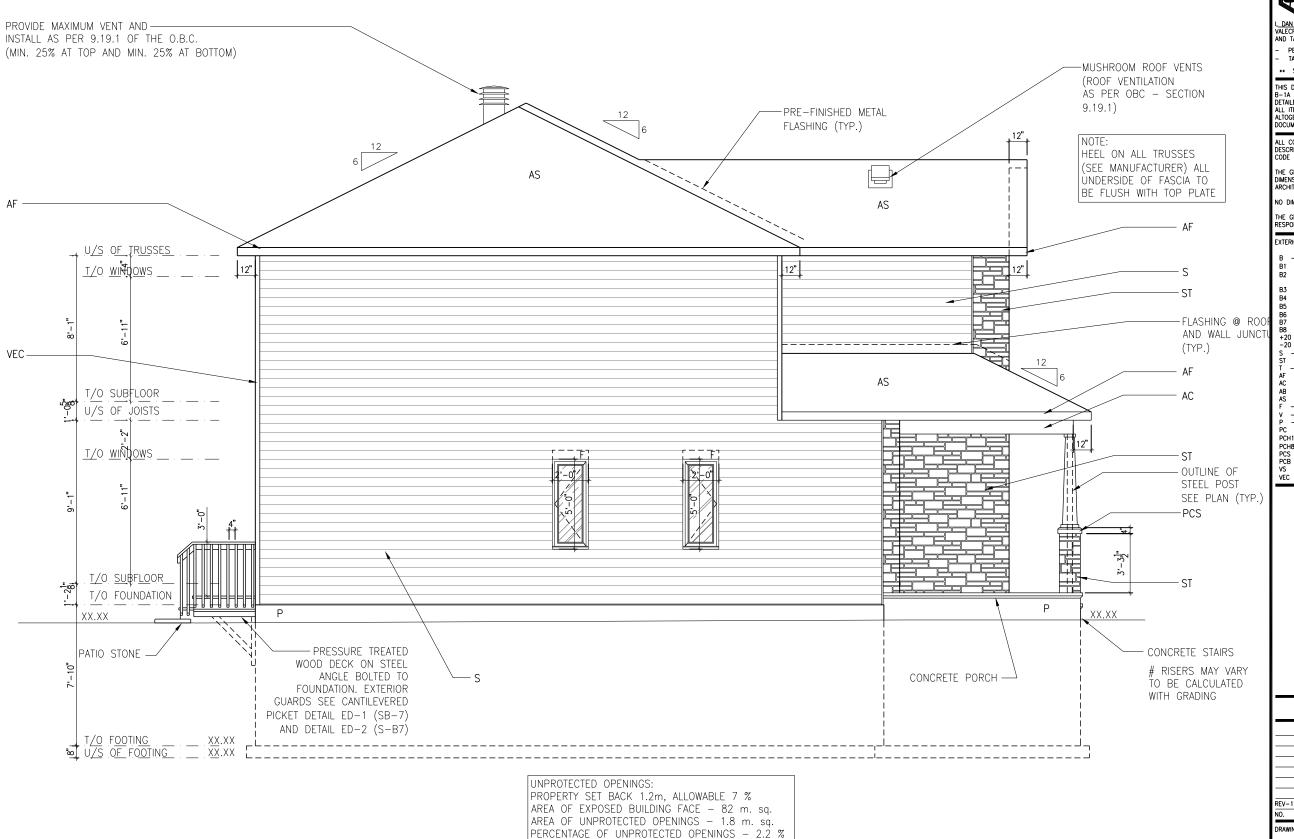
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- BRICK ROW LOCK (ACCENT)
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2012 O.B.C. DRAWINGS

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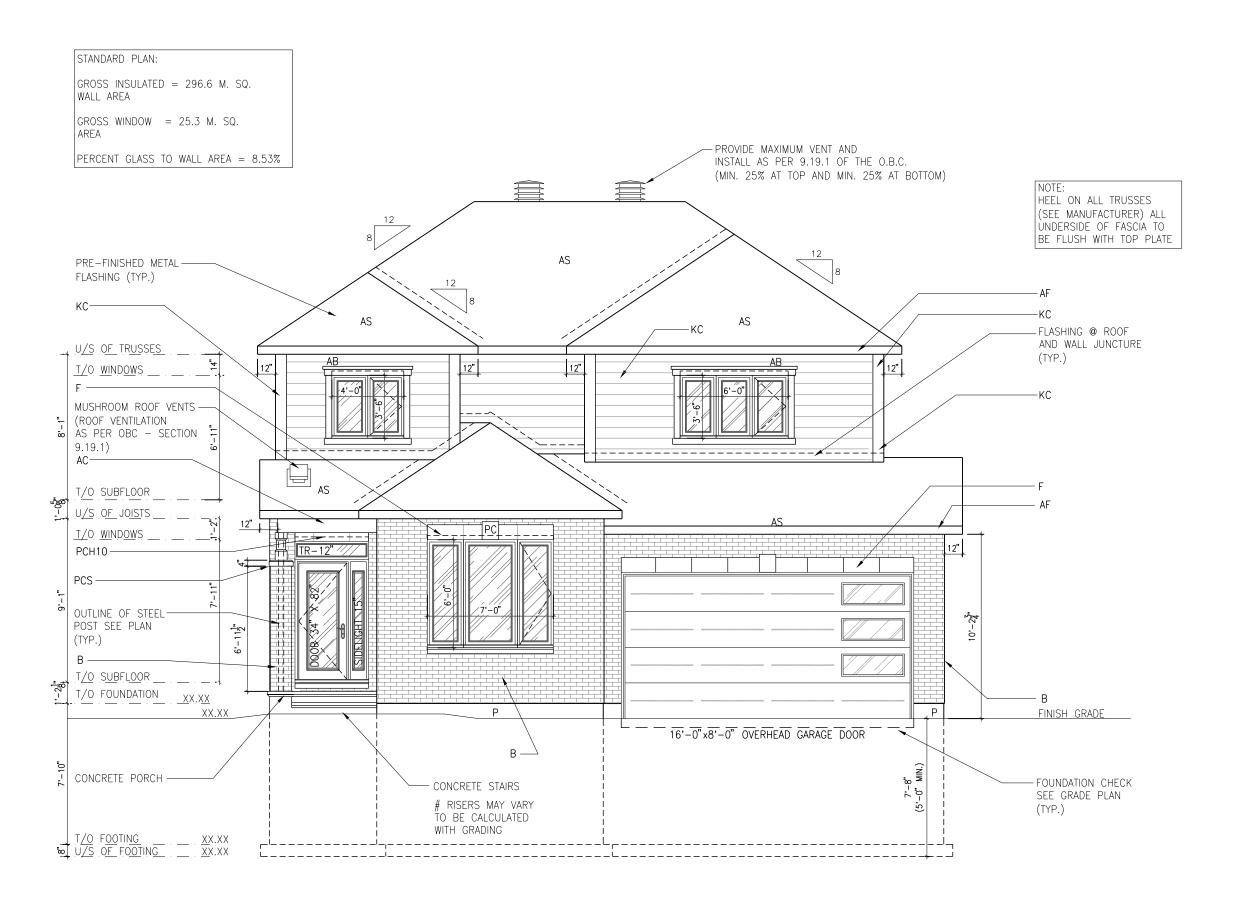
(STANDARD DRAWINGS)

ELEVATION A - LEFT

RESS: | SCALE: | DATE: | XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

A3a



ELEVATION B - FRONT

SCALE: 3/16" = 1'-0"

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B2 - BRICK SOLDIER COURSE (ACCENT)
+ 20mm PROUD
B3 - BRICK SLEEPER COURSE

-20 - BRICK 20mm RECESSED
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DOCUMENT

B - BRICK (MAIN)

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 MAD NO. DESCRIPTION

ELEVATION B - FRONT

SCALE: 3/16" = 1'-0"

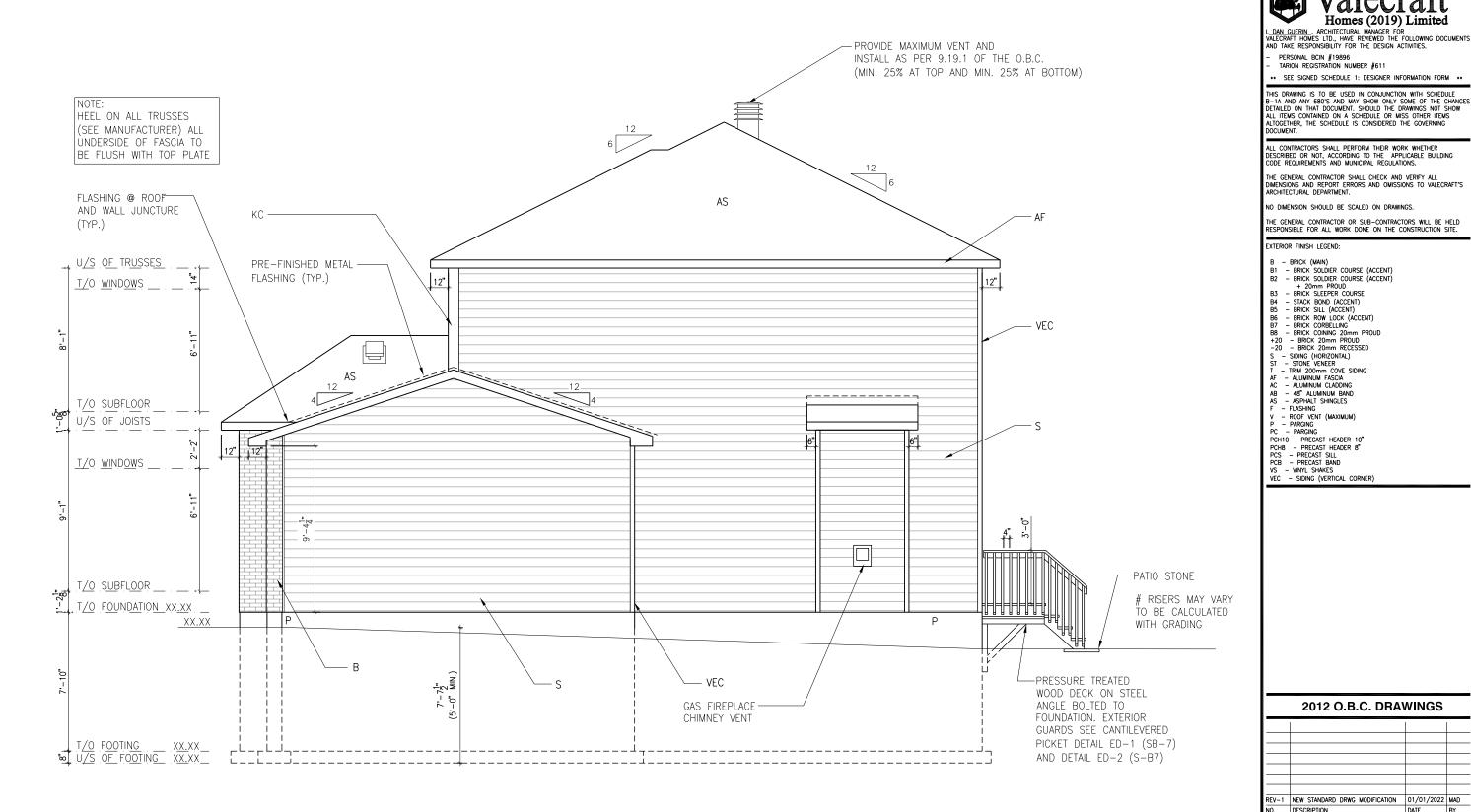
XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

A₁b

SHEET



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited

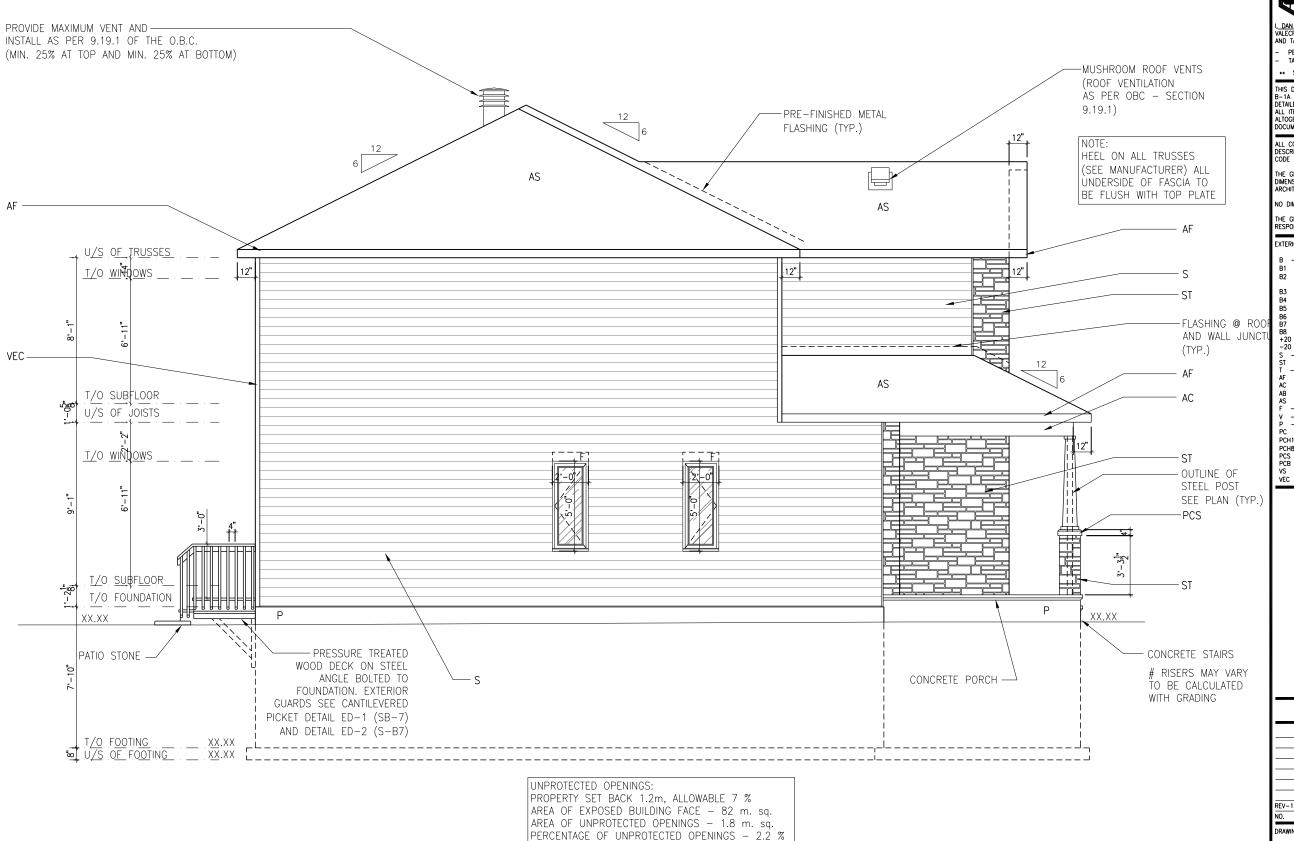
2012 O.B.C. DRAWINGS

ELEVATION B - RIGHT

XX/XX/XXXX

A2b

SCALE: 3/16" = 1'-0"



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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 MAD

NO. DESCRIPTION

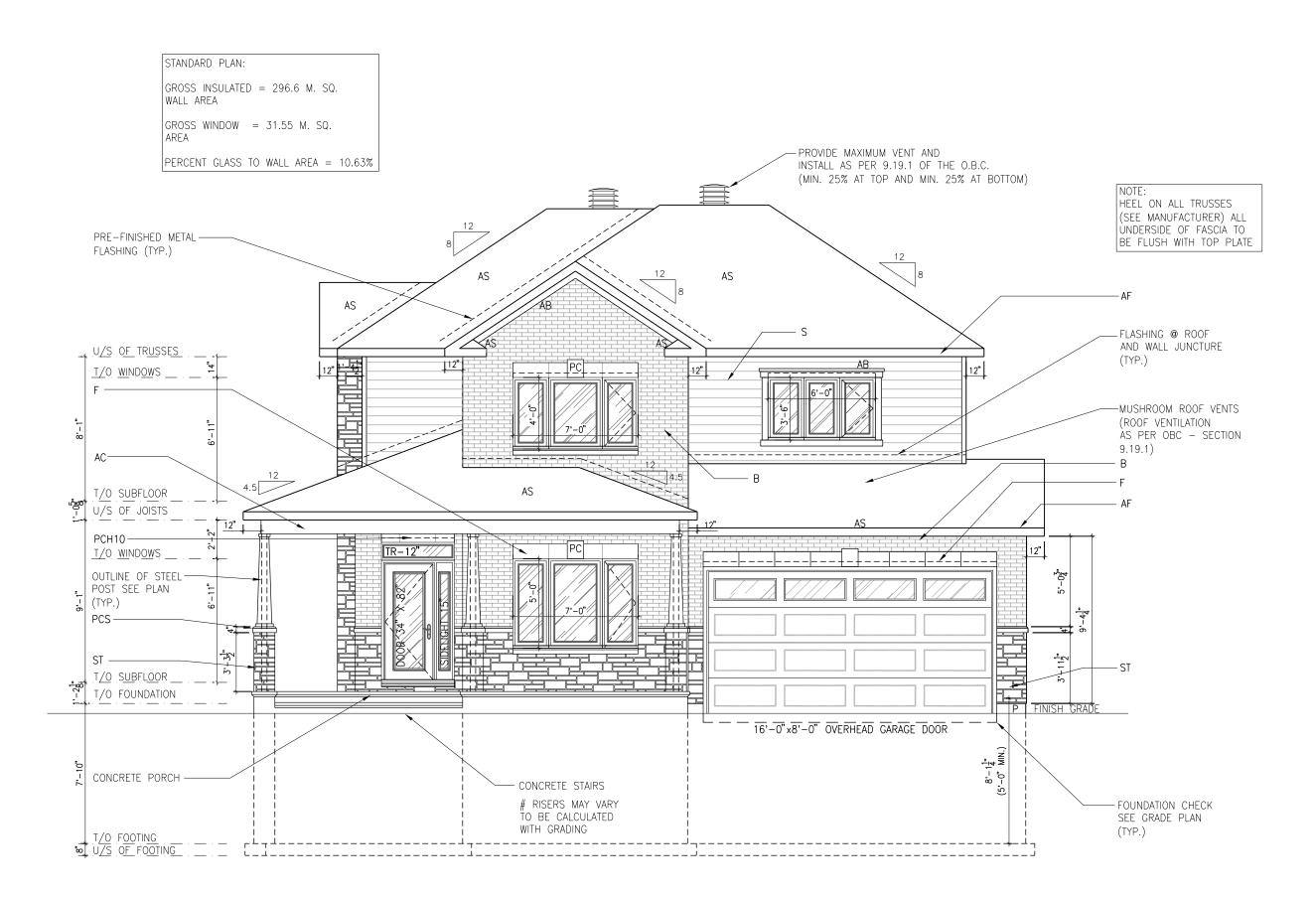
ELEVATION B - LEFT

SCALE: 3/16" = 1'-0"

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

XX/XX/XXXX



2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 MAD

ELEVATION CORNER LOT - FRONT

SCALE: 3/16" = 1'-0"

XX/XX/XXXX SHEET

A₁c

1035 - THE MORROW

2022 FOOTPRINT

NO. DESCRIPTION

LOT:

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

DATE:

DOCUMENT

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XX/XX/XXXX

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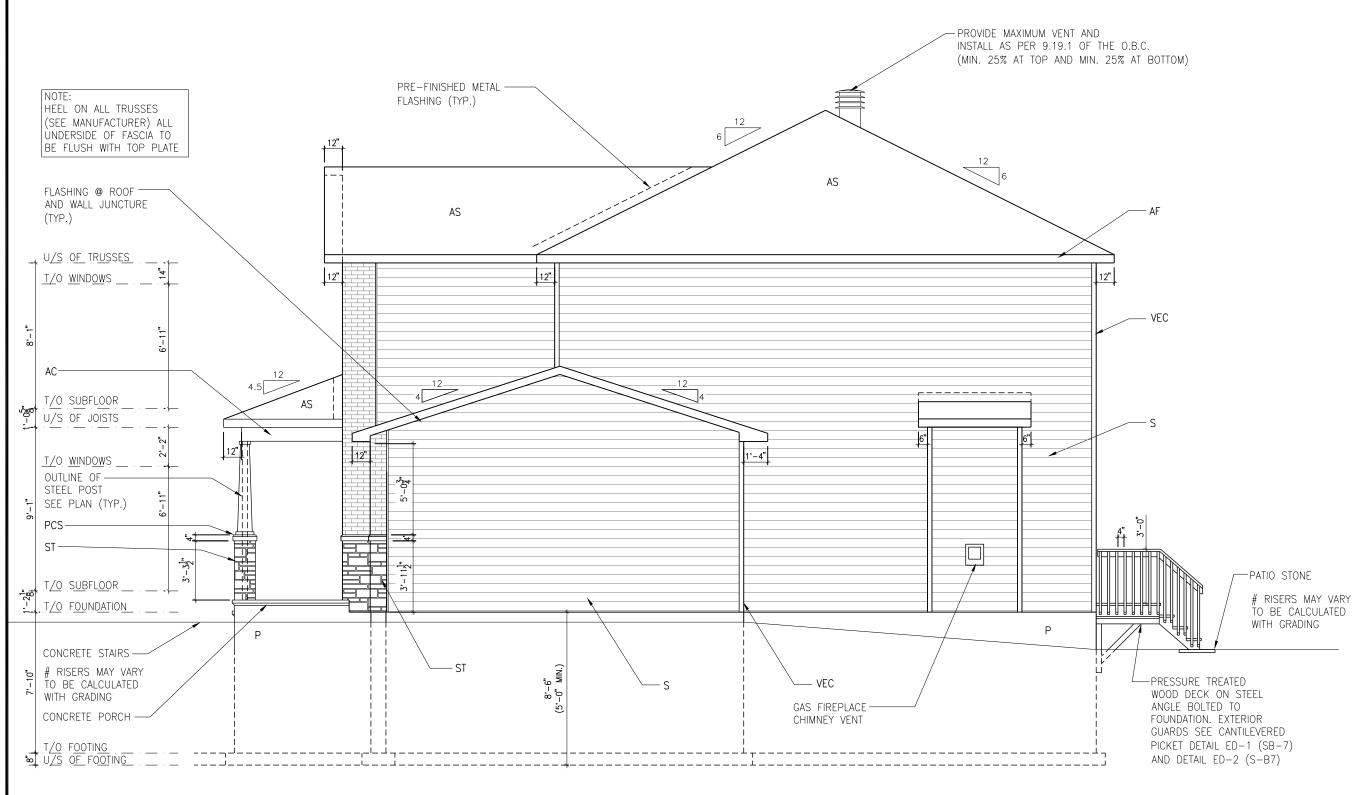
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VS - VIN'TL SHAKES
VEC - SIDING (VERTICAL CORNER)

XTERIOR FINISH LEGEND:

B - BRICK (MAIN)

ELEVATION CORNER LOT - FRONT



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(STANDARD DRAWINGS)

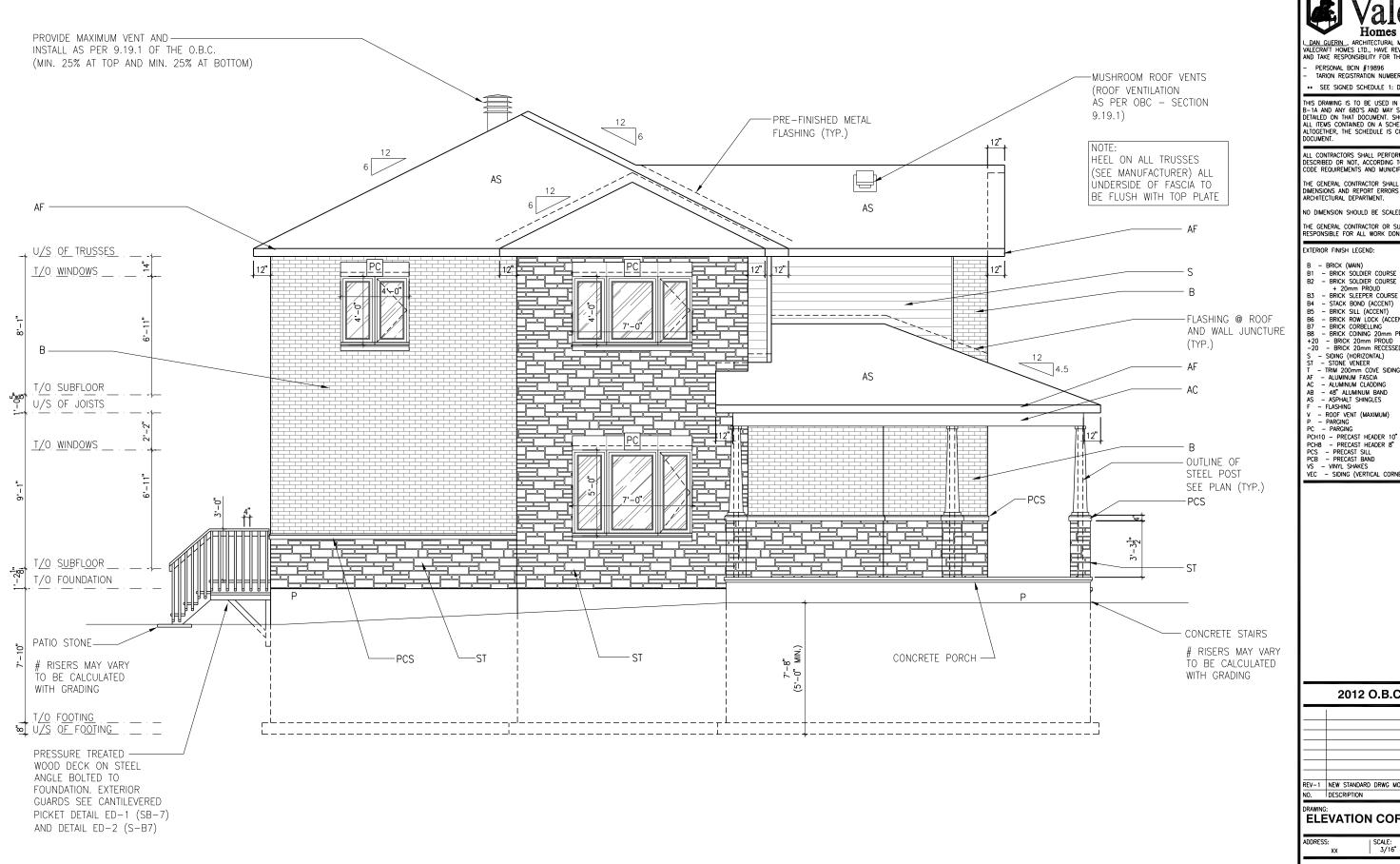
ELEVATION CORNER LOT - RIGHT

SCALE: 3/16" = 1'-0"

1035 - THE MORROW 2022 FOOTPRINT

SHEET: A₂c

XX/XX/XXXX



ELEVATION CORNER LOT - LEFT

LOT: XXXX DATE: XX/XX/XXXX

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- BRICK SLEEPER COURSE
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- BRICK SILL (ACCENT)
- BRICK CORBELLING
- BRICK CONBIGE 20mm PROUD
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- SINING (ADPIZIONAL)

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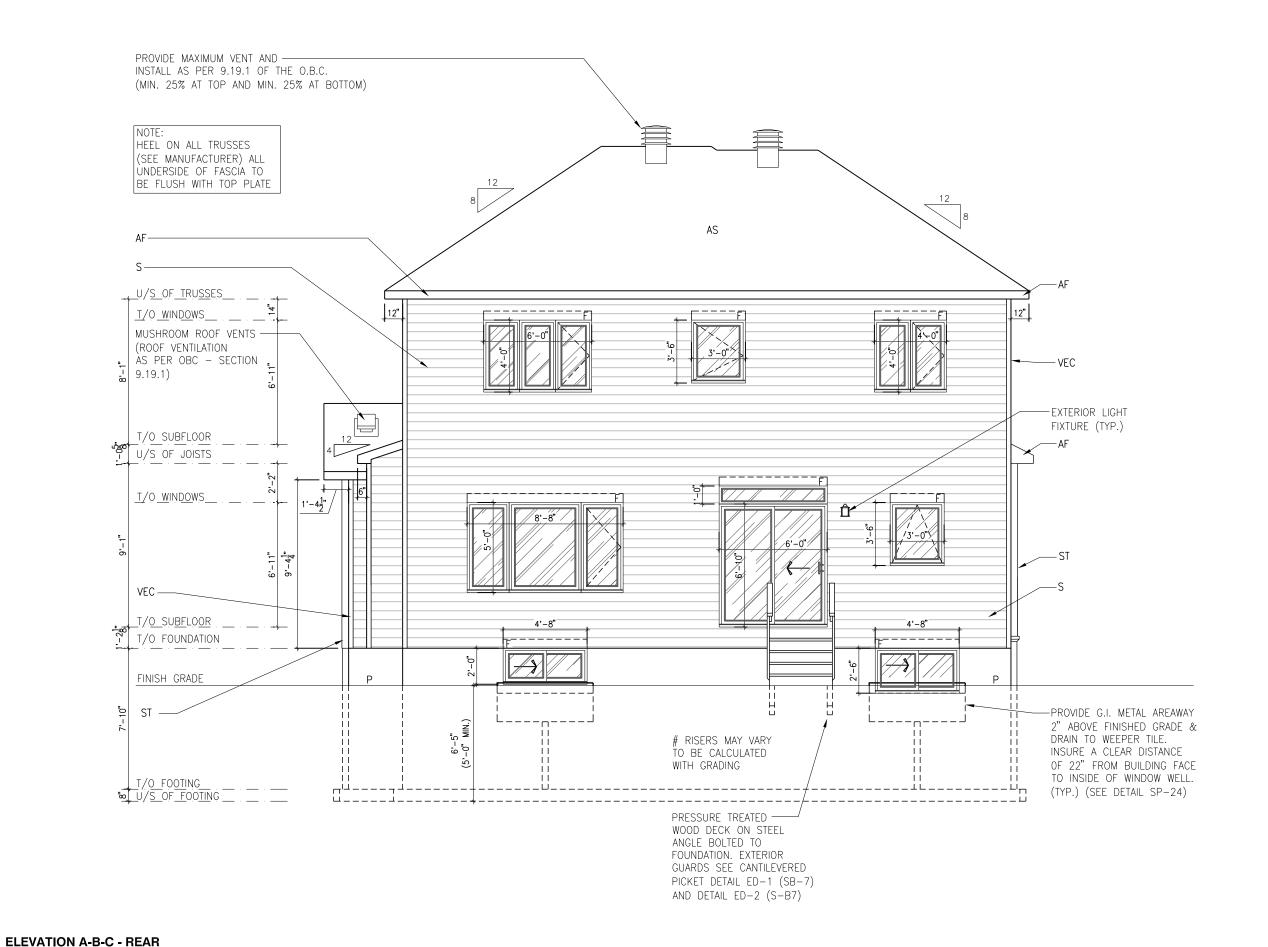
ELEVATION CORNER LOT - LEFT

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XX/XX/XXXX SHEET

1035 - THE MORROW 2022 FOOTPRINT

A3c



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PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

DOCUMENT

B - BRICK (MAIN)

Homes (2019) Limited

2012 O.B.C. DRAWINGS

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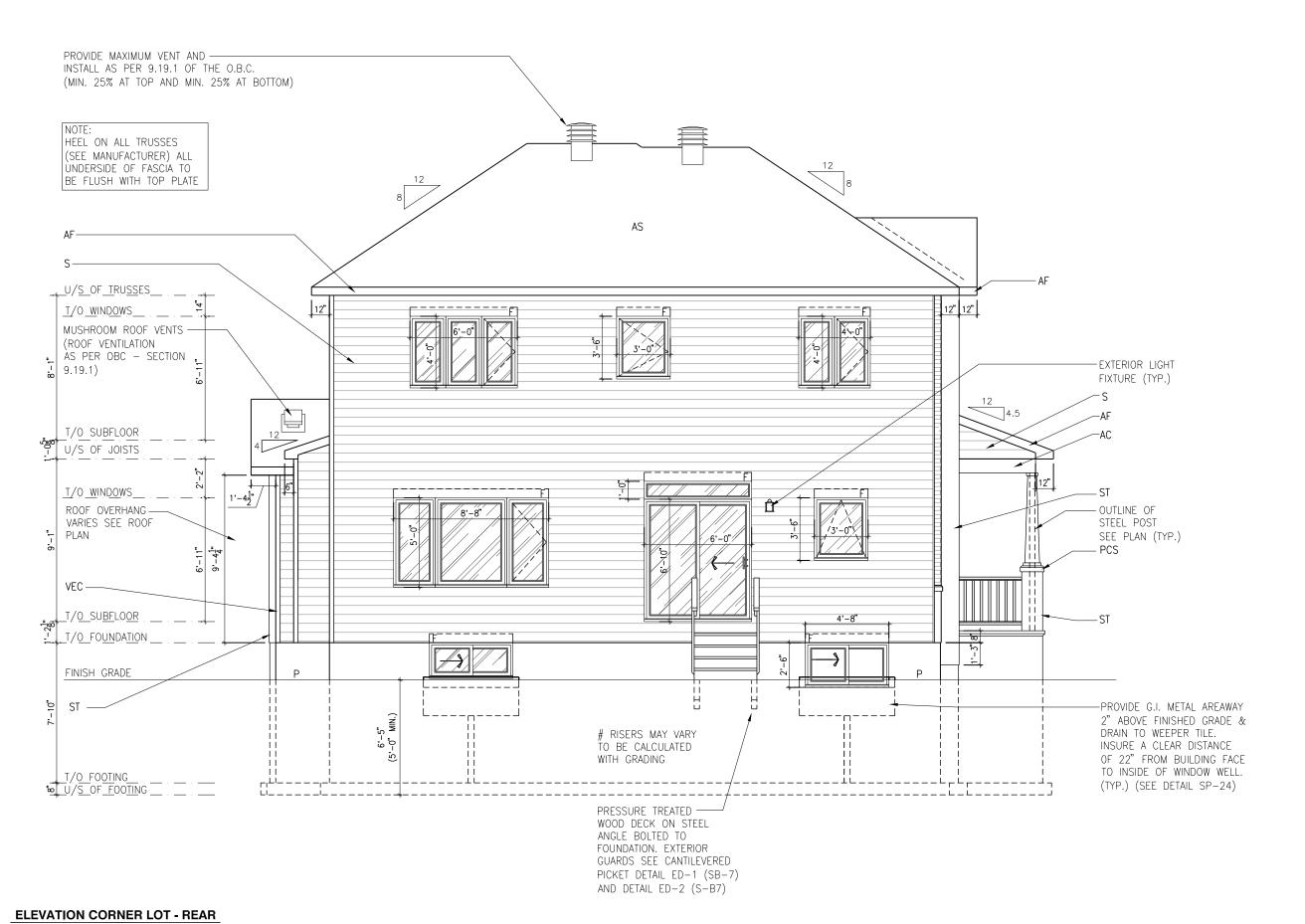
ELEVATION A-B - REAR

XX/XX/XXXX SHEET

A4a

SCALE: 3/16" = 1'-0"

NO. DESCRIPTION



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- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611

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	DECCRIPTION	DATE	DV

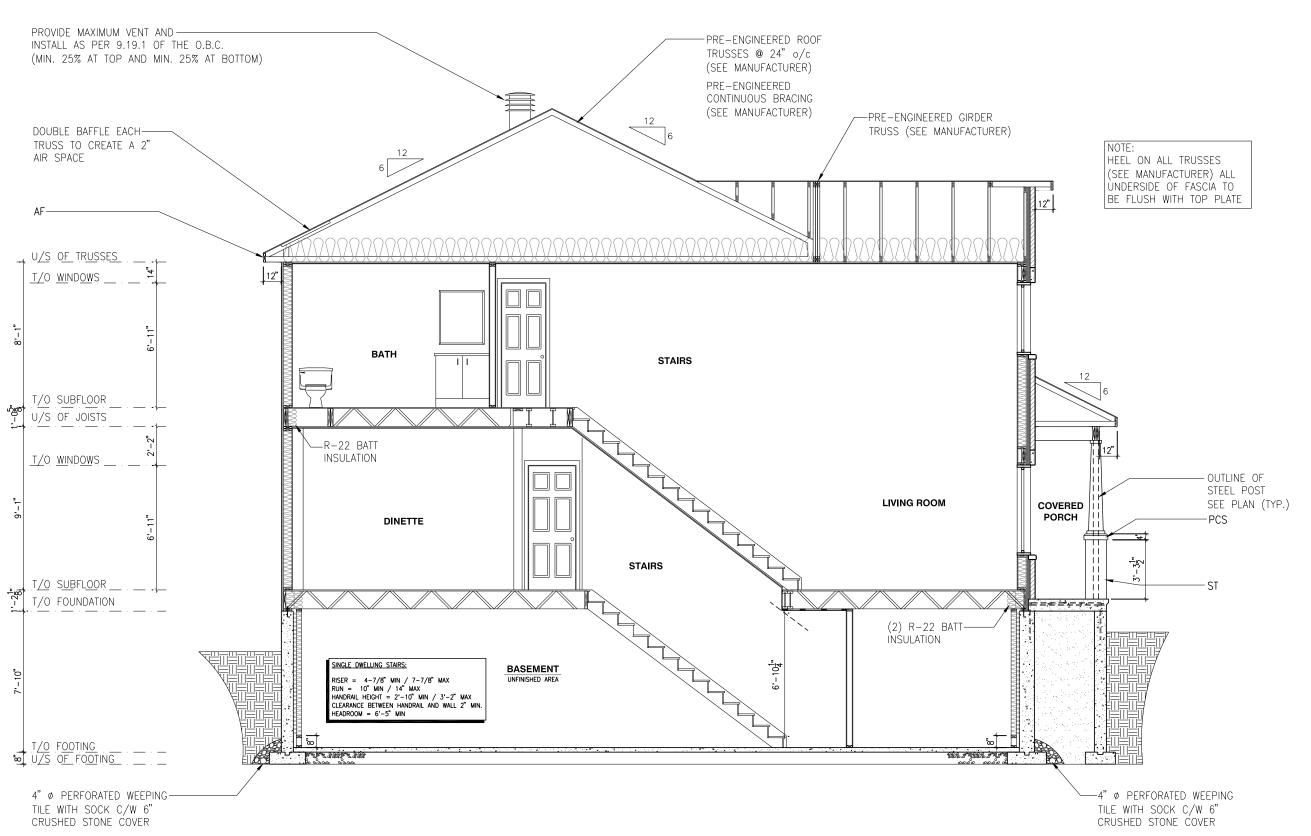
ELEVATION CORNER LOT - REAR

SCALE: 3/16" = 1'-0"

XX/XX/XXXX SHEET

A4b

1035 - THE MORROW 2022 FOOTPRINT



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I<u>, DAN GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM * THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. XTERIOR FINISH LEGEND: B - BRICK (MAIN) B1 - BRICK SOLDIER COURSE (ACCENT)
B2 - BRICK SOLDIER COURSE (ACCENT)
+ 20mm PROUD
B3 - BRICK SLEEPER COURSE -20 - BRICK 20mm RECESSED S - SIDING (HORIZONTAL) ST - STONE VENEER T - TRIM 200mm COVE SIDING AF - ALUMINUM FASCIA AC - ALUMINUM CLADDING AB - 48" ALUMINUM BAND AS - ASPHALT SHINGLES F - FLASHING V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING PC - PARGING
PCH10 - PRECAST HEADER 10"
PCH8 - PRECAST HEADER 8"
PCS - PRECAST SILL
PCB - PRECAST BAND
VS - VINYL SHAKES VEC - SIDING (VERTICAL CORNER) 2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	MAD

DESCRIPTION

BUILDING SECTION ELEVATION A

SCALE: 3/16" = 1'-0"

1035 - THE MORROW 2022 FOOTPRINT

ADDRESS:

(STANDARD DRAWINGS)

SHEET: A5a

XX/XX/XXXX

		FOOTING SC	HEDULE		
	ALLOWABLE SOIL BEA	ARING CAPACITY / BEARING RESISTANCE AT SLS FO	R «SITE CLASS:D»		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"×8" DP. 2−15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg	40"x8" DP. 15M(B)x36"Lg	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	N/A
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3−15M(B) LONG.	N/A
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3−15M(B) LONG.	N/A
WF4	24"×8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	N/A
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	N/A
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	52"×10" with 5-15M bars longitudinal bars are transverse 15M bars @ 16"o.c.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"×10" with 3−15M bars longitudinal bars are transverse 15M bars @ 16"o.c.
		PAD FOOTING SCHEDULE			
	ALLOWABLE SOIL BEA	ARING CAPACITY / BEARING RESISTANCE AT SLS FO	R «SITE CLASS:D»		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	40"x40"x10" DP.3-15M (B)x34" LG.EW.	44"x44"x10" DP. 3-15M (B)x38" LG.EW	48"x48"x10" DP. 4-15M (B)x42" LG.EW	52"x52"x10" DP. 4-15M (B)x46" LG.EW	64"x64"x12" WITH 5-15M BARS IN BOTH DIRECTION
F2	24"x24"x10" DP.	24"×24"×10" DP.	24"×24"×10" DP.	28"x28"x12" DP.	34"x34"x12" WITH 3-15M BARS IN BOTH DIRECTION

FOOTING TABLE

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX



- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. DOCUMENT

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NOTES:		
STEFI	H	

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- PT = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-2x4 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P5 = 5-2x4 OR 5-2x6
 P13 = HSS 88.9x8.9x3.18 + 100x200x12 T&B PL. (*)
 P14 = HSS 88.9x8.9x3.18 + 100x200x12 T&B PL. (*)
 P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
 P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
 P17 = HSS 73 0.D.x4.8 + 100x180x12 T&B PL. (*)
 P17 = HSS 73 0.D.x4.8 + 100x180x12 T&B PL. (*)
 P1 = 130x160x10 TOP PL. (*)
 (*) = 2-12e ANCH. (WHERE ANCH. PL. NOT USED)
- POST ARE ALL JACK c/w STUD
 (EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

 SHALL HAVE A VISUAL SIGNALING DEVICE;

 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

1	1		1
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VΗ
NO.	DESCRIPTION	DATE	BY

DRAWING:

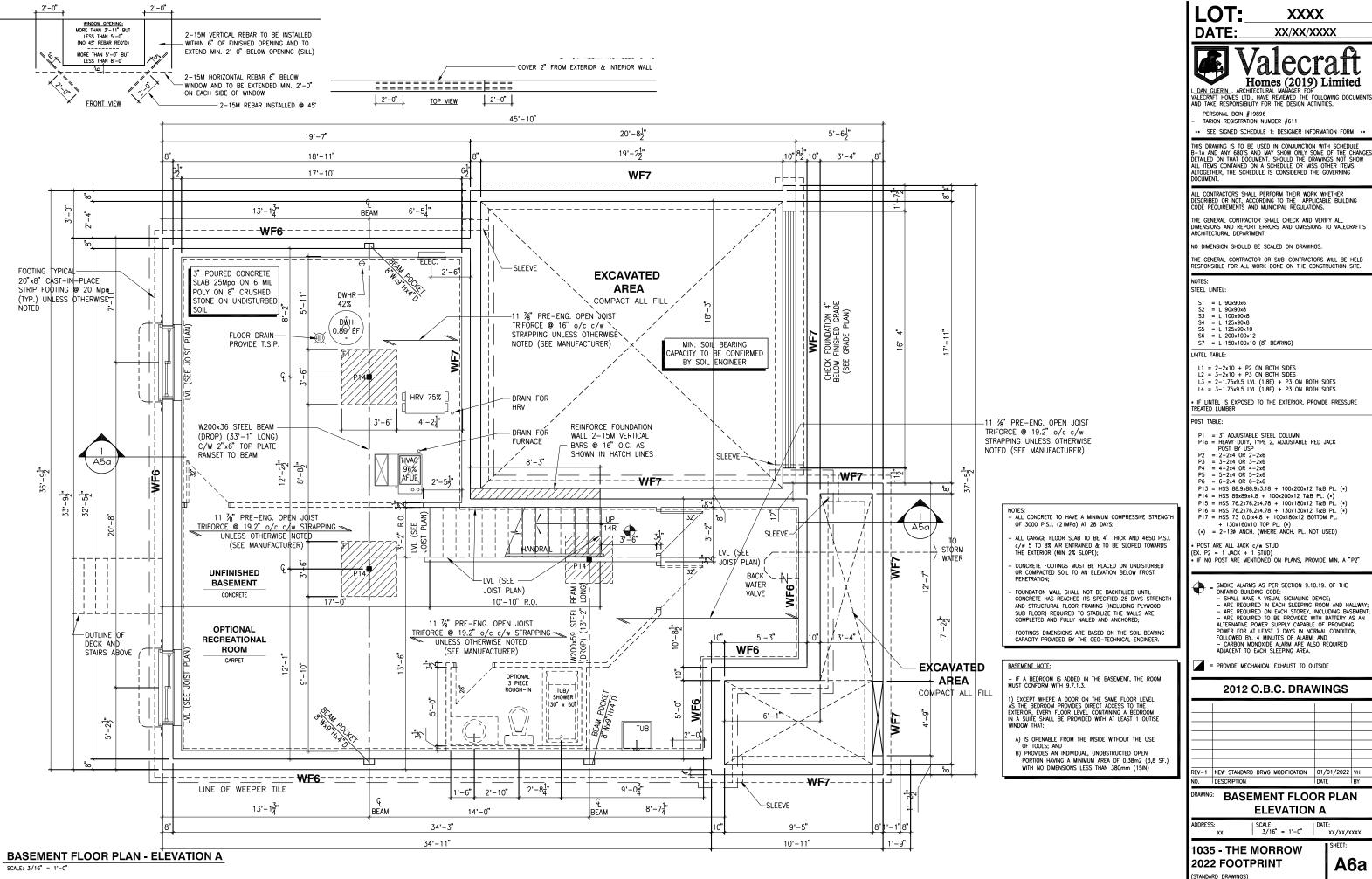
FOOTING TABLE

ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

SHEET

A6



XXXX XX/XX/XXXX



I<u>, Dan Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

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- $L3 = 2-1.75 \times 9.5$ LVL (1.8E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

DATE **BASEMENT FLOOR PLAN**

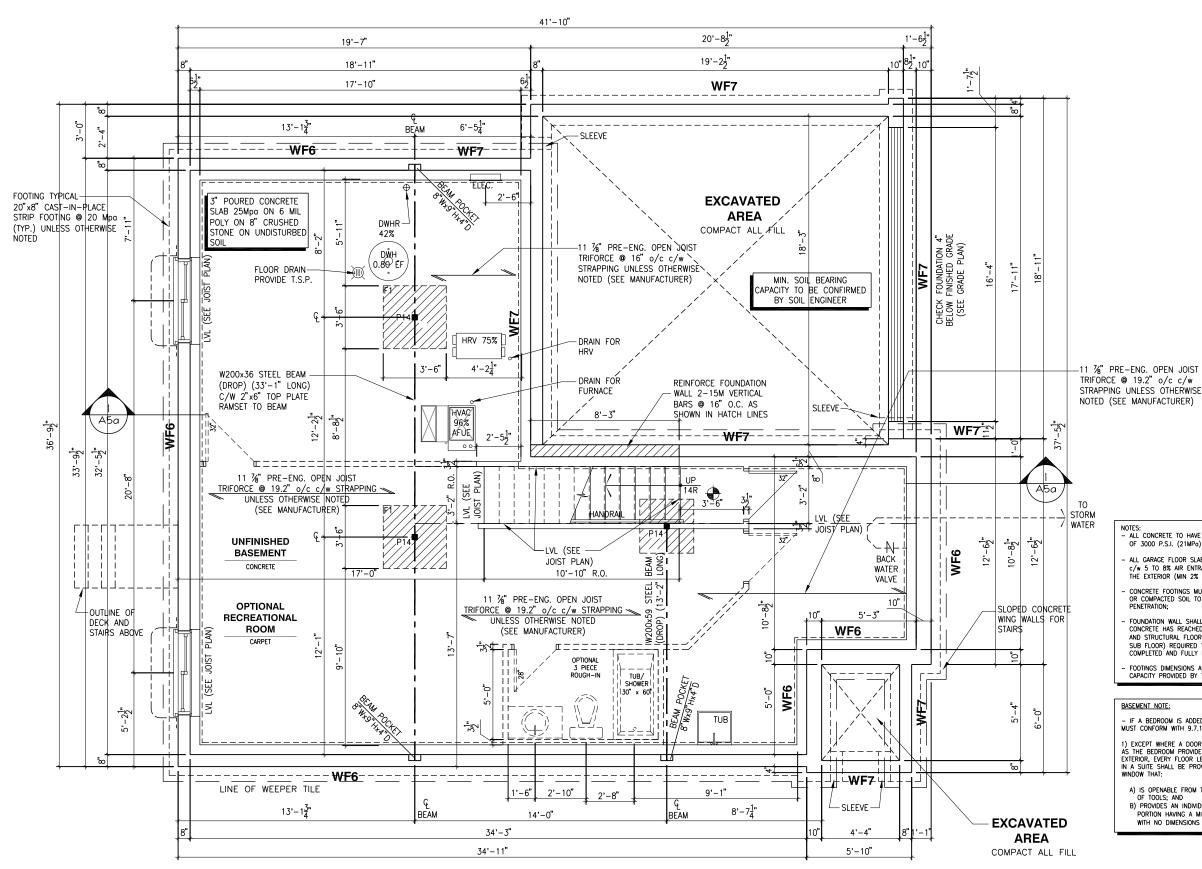
3/16" = 1'-0"

1035 - THE MORROW 2022 FOOTPRINT

A6a

SHEET

XX/XX/XXXX



- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND

B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: DATE:

XXXX XX/XX/XXXX



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INTEL TABLE:

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- \bullet IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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POST BY USP
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P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88 0x88 0x 18 x 100x200x12 T&B P1

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

EV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VΗ
0.	DESCRIPTION	DATE	BY

RAWING: BASEMENT FLOOR PLAN **ELEVATION B**

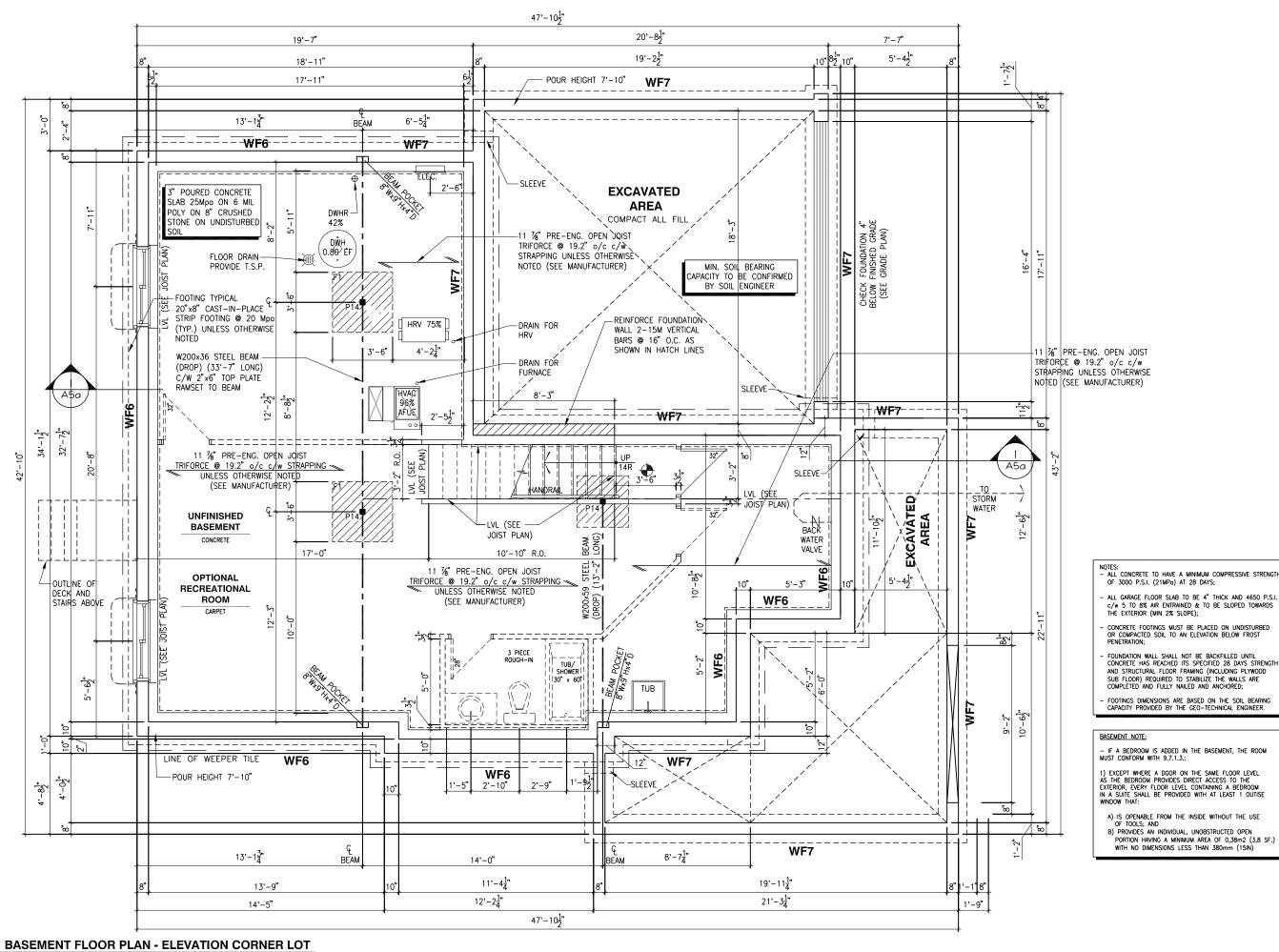
SCALE: 3/16" = 1'-0" XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

A6b (STANDARD DRAWINGS)

SHEET

BASEMENT FLOOR PLAN - ELEVATION B. C



LOT: DATE:

XXXX XX/XX/XXXX

Homes (2019) Limited

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NOTES:

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 VH

BASEMENT FLOOR PLAN ELEVATION CORNER LOT

3/16" = 1'-0"

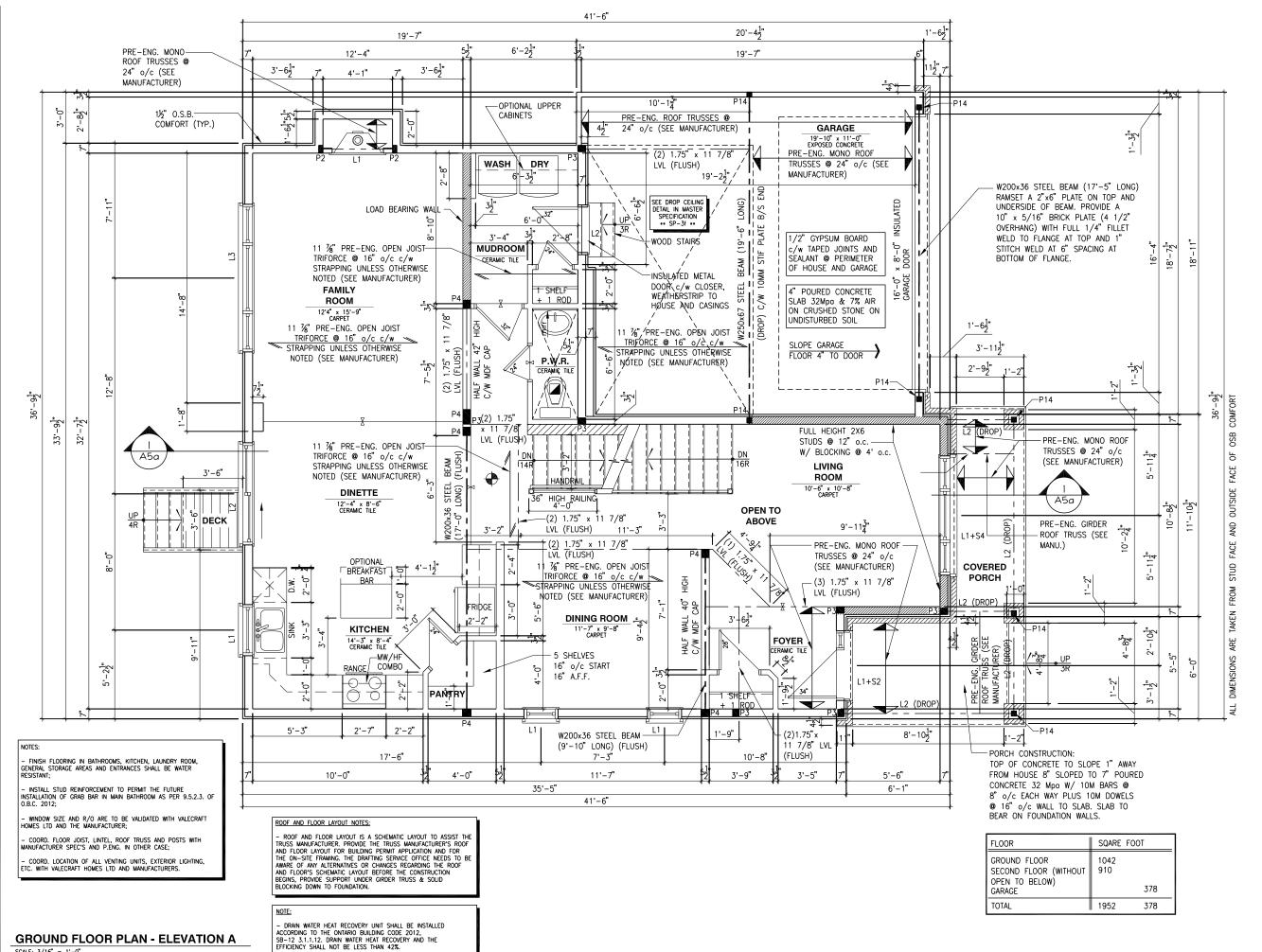
NO. DESCRIPTION

XX/XX/XXXX 1035 - THE MORROW

SHEET

A6c

2022 FOOTPRINT



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RAWING: GROUND FLOOR PLAN

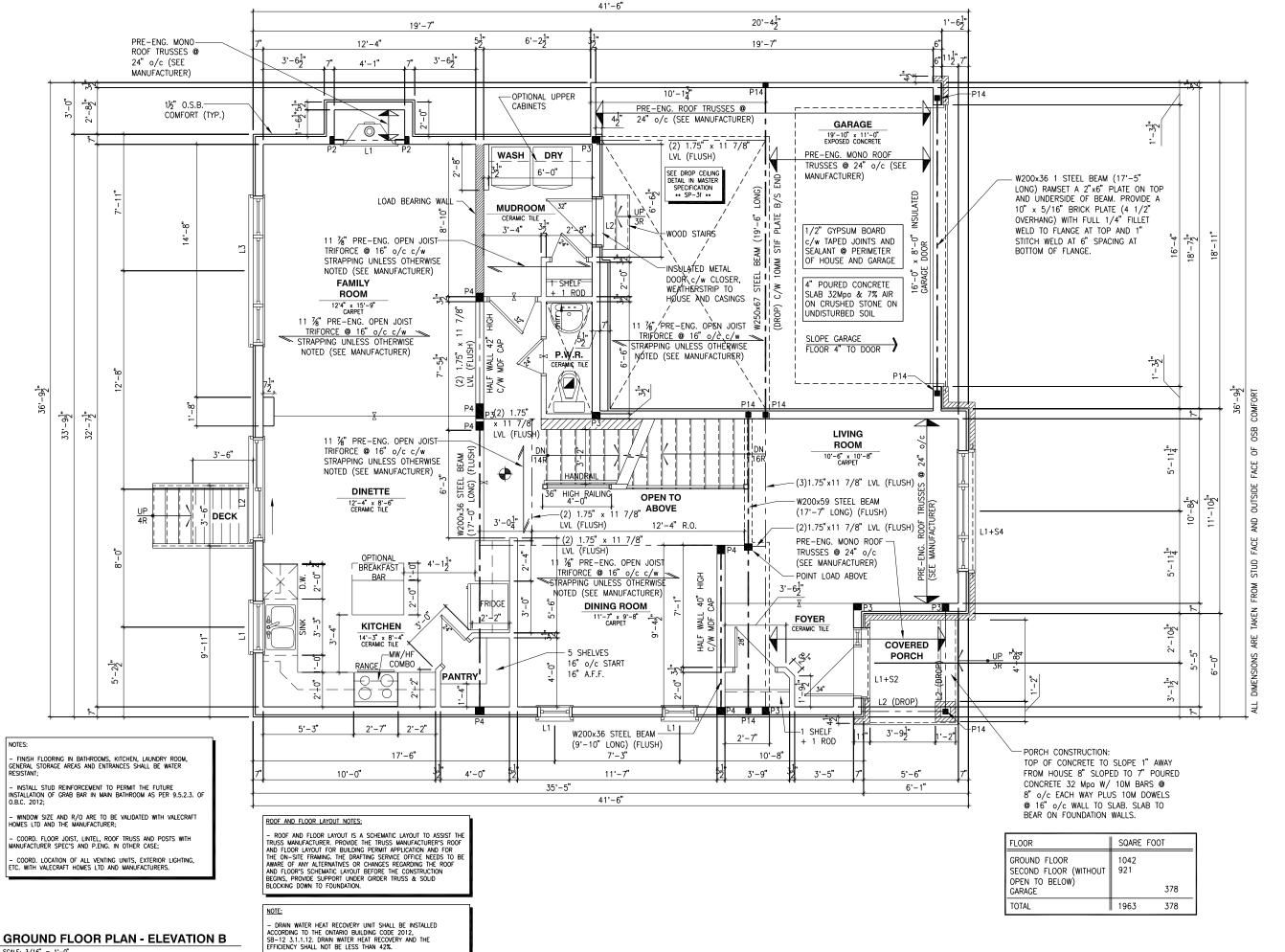
ELEVATION A ADDRESS

3/16" = 1'-0" XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A7a



SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX Homes (2019) Limited <u>, DAN GUERIN</u>, ARCHITECTURAL MAÑAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS IND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 .. SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE BETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 S7 = L 150x100x10 (8" BEARING) INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES $L3 = 2-1.75 \times 9.5$ LVL (1.8E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.8E) + P3 ON BOTH SIDES • IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED) * POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2" SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 SHALL HAVE A VISUAL SIGNALING DEVICE;
 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA. = PROVIDE MECHANICAL EXHAUST TO OUTSIDE 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 VH NO. DESCRIPTION

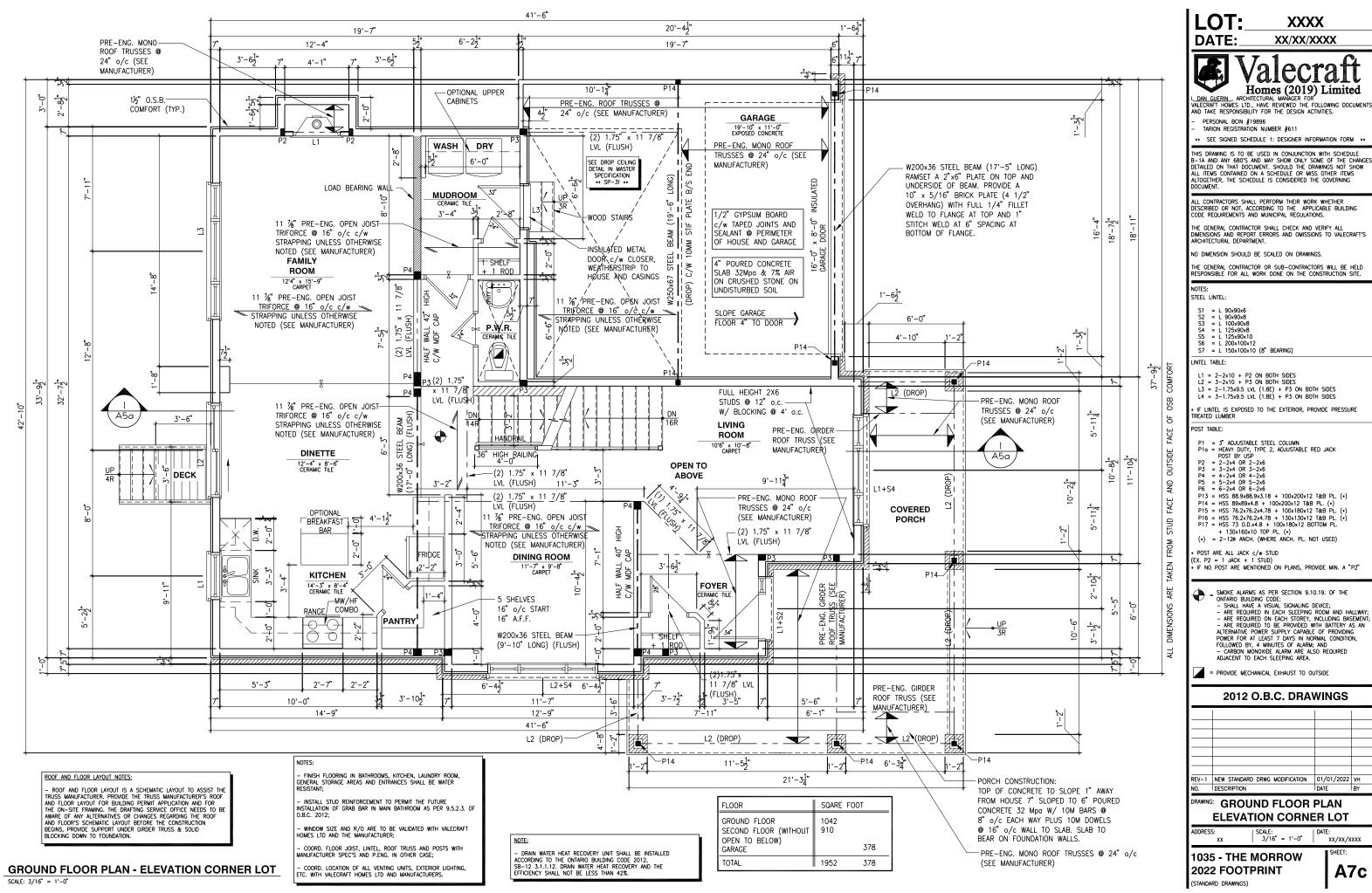
RAWING: GROUND FLOOR PLAN **ELEVATION B**

3/16" = 1'-0" XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A7b



A7c



FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

 ${\sf -}$ Coord. Location of all venting units, exterior lighting, etc. With valecraft homes LTD and manufacturers.

ROOF AND FLOOR LAYOUT NOTES:

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NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14") WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5") ANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

HANDRAILS: MIN 860mm (34") - MAX 900mm (36"):

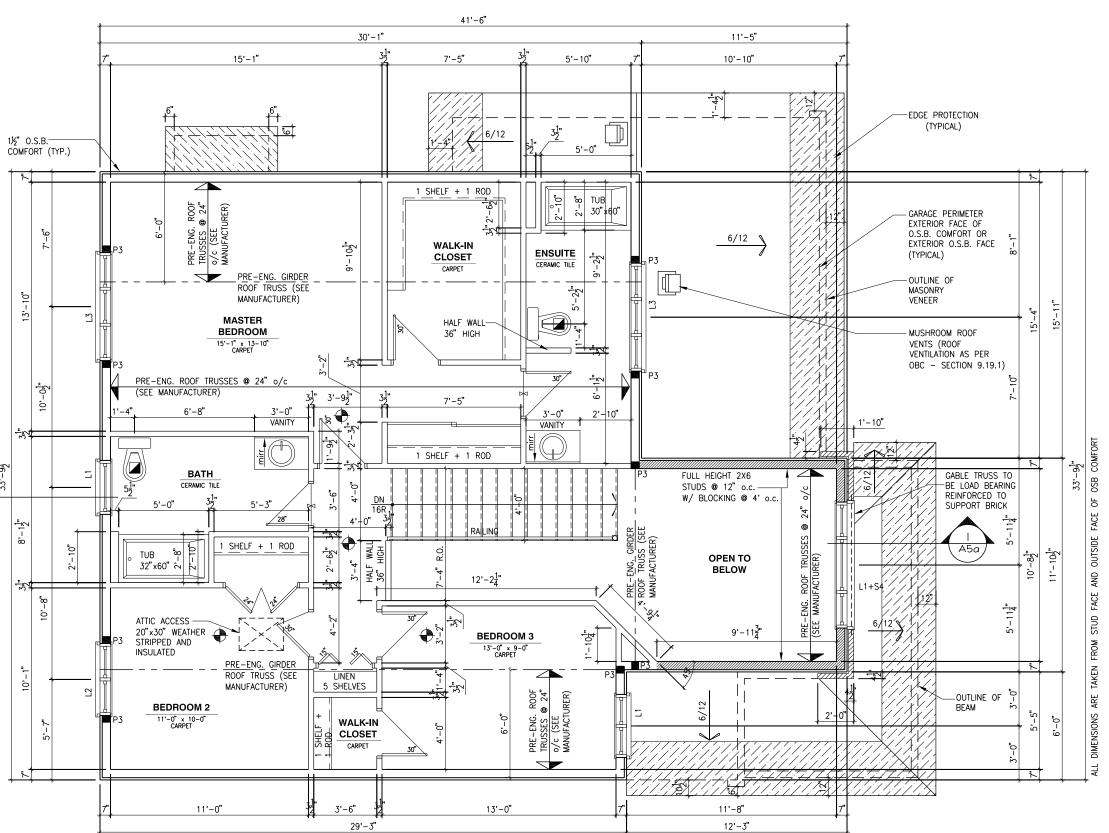
GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11"

- FXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN

- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



41'-6"

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited I<u>, Dan Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BOIN #19896

TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE -1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

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NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 VH NO. DESCRIPTION

PRAWING: SECOND FLOOR PLAN **ELEVATION A**

ADDRESS: 3/16" = 1'-0"

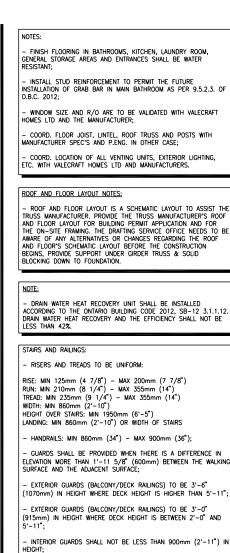
XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

A8a

SHEET



 MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

41'-6" 30'-1" 11'-5" 15'-1" 7'-5" 5'-10" 10'-10" -EDGE PROTECTION (TYPICAL) 6/12 1½" O.S.B.-5'-0" COMFORT (TYP.) 60×32 GARAGE PERIMETER EXTERIOR FACE OF O.S.B. COMFORT OR 6/12 CERAMIC TILE RETUR EXTERIOR O.S.B. FACE WALK-IN 0<u>1</u> (TYPICAL) CLOSET PRE-ENG. GIRDER OUTLINE OF ROOF TRUSS (SEE MASONRY MANUFACTURER) VENEER MASTER **BEDROOM** MUSHROOM ROOF 15'-1" x 13-10" CARPET VENTS (ROOF ENSUITE VENTILATION AS PER CERAMIC TILE ±24 OBC - SECTION 9.19.1) $6'-2\frac{1}{2}$ PRE-ENG. ROOF TRUSSES @ 24" o/c ₽ (SEE MANUFACTURER) $3\frac{1}{2}$ " $3'-9\frac{1}{2}$ " VANITY VANITY 60×36 SHOWER BAS BATH FULL HEIGHT 2X6 GARLE TRUSS TO CERAMIC TILE STUDS @ 12" o.c. -BE LOAD BEARING W/ BLOCKING @ 4' o.c. REINFORCED TO DN 16R 뇽 SUPPORT BRICK FACE 1 SHELF + 1 ROD A5a TUB 50 28→ OPEN TO 30"x60" ☆ ☆ BELOW 12'-2<u>1</u>" ATTIC ACCESS -STUD 20"×30" WEATHER $9'-11\frac{3}{4}"$ **BEDROOM 3** STRIPPED AND 13'-0" x 9-0" CARPET INSULATED PRE-ENG. GIRDER TAKEN ROOF TRUSS (SEE LINEN MANUFACTURER) 5 SHELVES -OUTLINE OF ARE. BEDROOM 2 BEAM WALK-IN CLOSET CARPET 11'-8' 11'-0" 13'-0" 29'-3" 12'-3"

41'-6"

SECOND FLOOR PLAN - ELEVATION A (ENSUITE UPGRADE)

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 VH SECOND FLOOR - ELEV. A (ENSUITE UPGRADE)

ADDRESS: 3/16" = 1'-0" XX/XX/XXXX SHEET

1035 - THE MORROW 2022 FOOTPRINT

A8a

NO. DESCRIPTION

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

DATE:

DOCUMENT

STEEL LINTEL:

INTEL TABLE:

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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

XXXX

XX/XX/XXXX

Homes (2019) Limited

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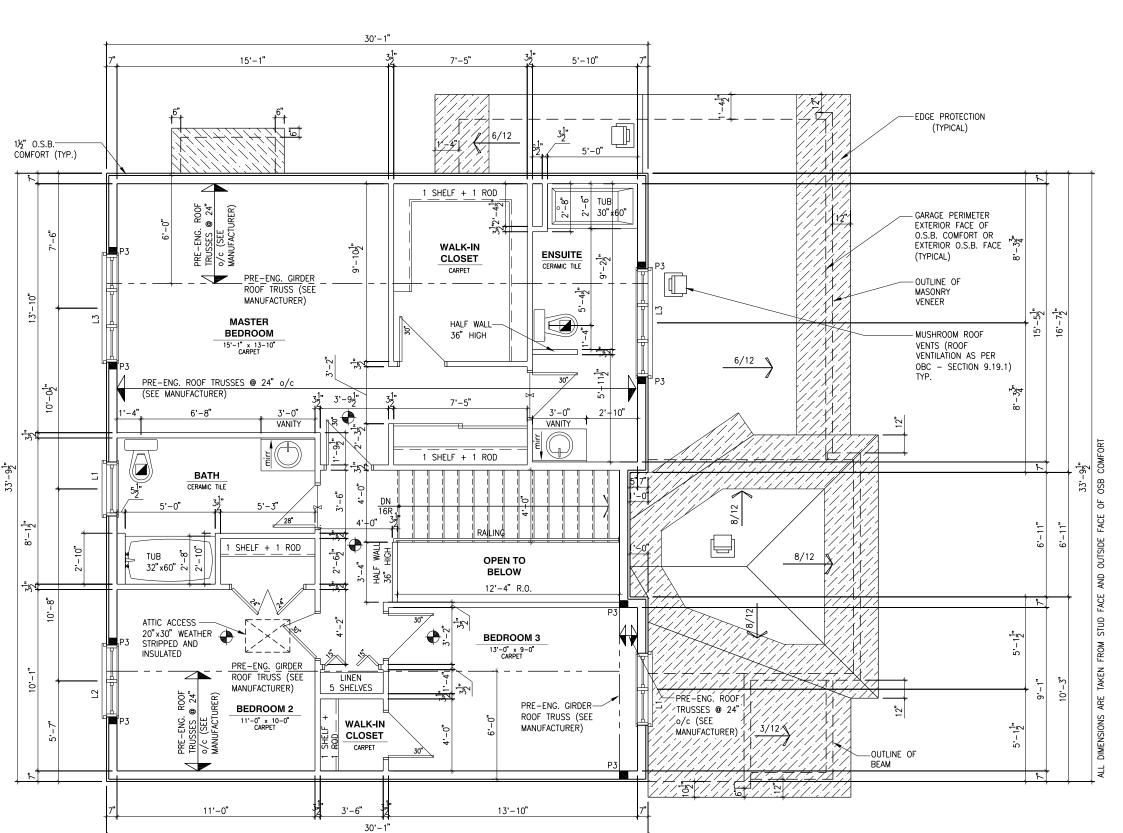
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LOT: **XXXX** DATE:

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	2012 O.B.C. DRA	WINGS	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY
DDAWN			

SECOND FLOOR PLAN **ELEVATION B**

3/16" = 1'-0"

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A8b

XX/XX/XXXX

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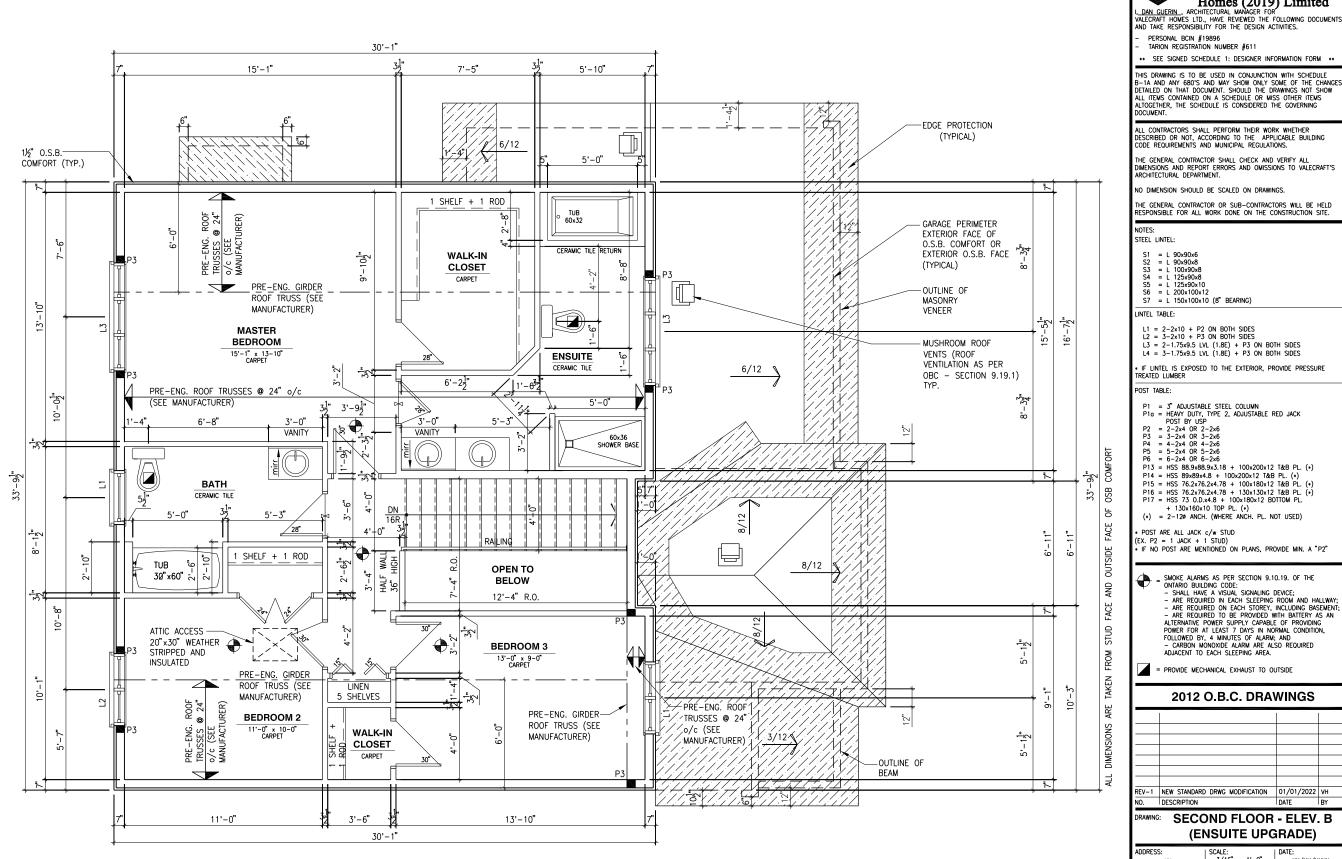
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(STANDARD DRAWINGS)

LOT:

DATE:

XXXX

XX/XX/XXXX

Homes (2019) Limited

SECOND FLOOR - ELEV. B (ENSUITE UPGRADE)

3/16" = 1'-0"

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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

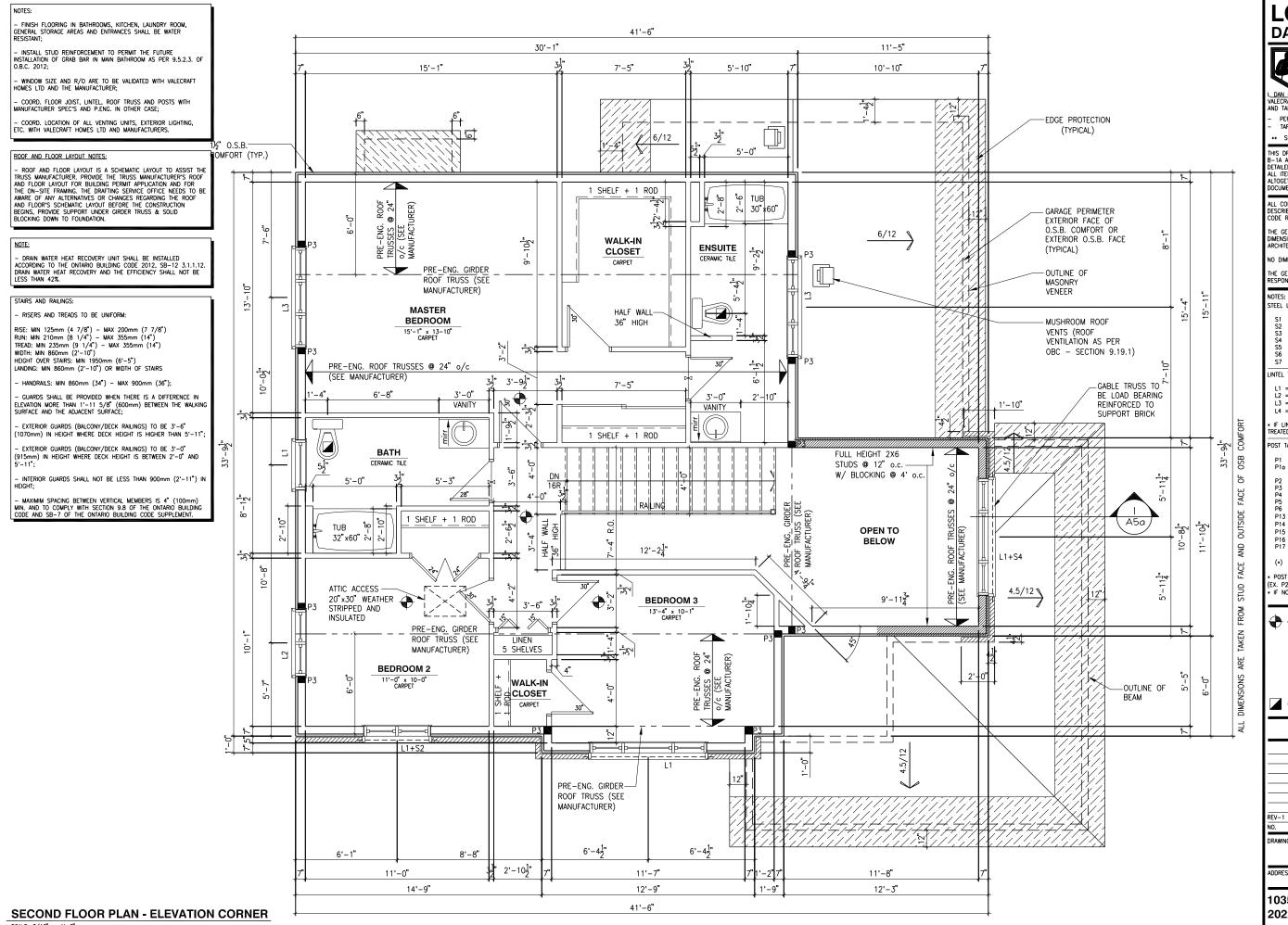
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

1035 - THE MORROW 2022 FOOTPRINT

SHEET A8b

XX/XX/XXXX



LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited I<u>, Dan Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

This drawing is to be used in conjunction with schedule B-1A and any 680's and May show only some of the Change Detailed on that document, should the drawings not show All ITEMS Contained on a schedule or Miss other ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING) LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

 $L4 = 3-1.75 \times 9.5$ LVL (1.8E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-246
P3 = 3-244 OR 3-226

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 VH NO. DESCRIPTION

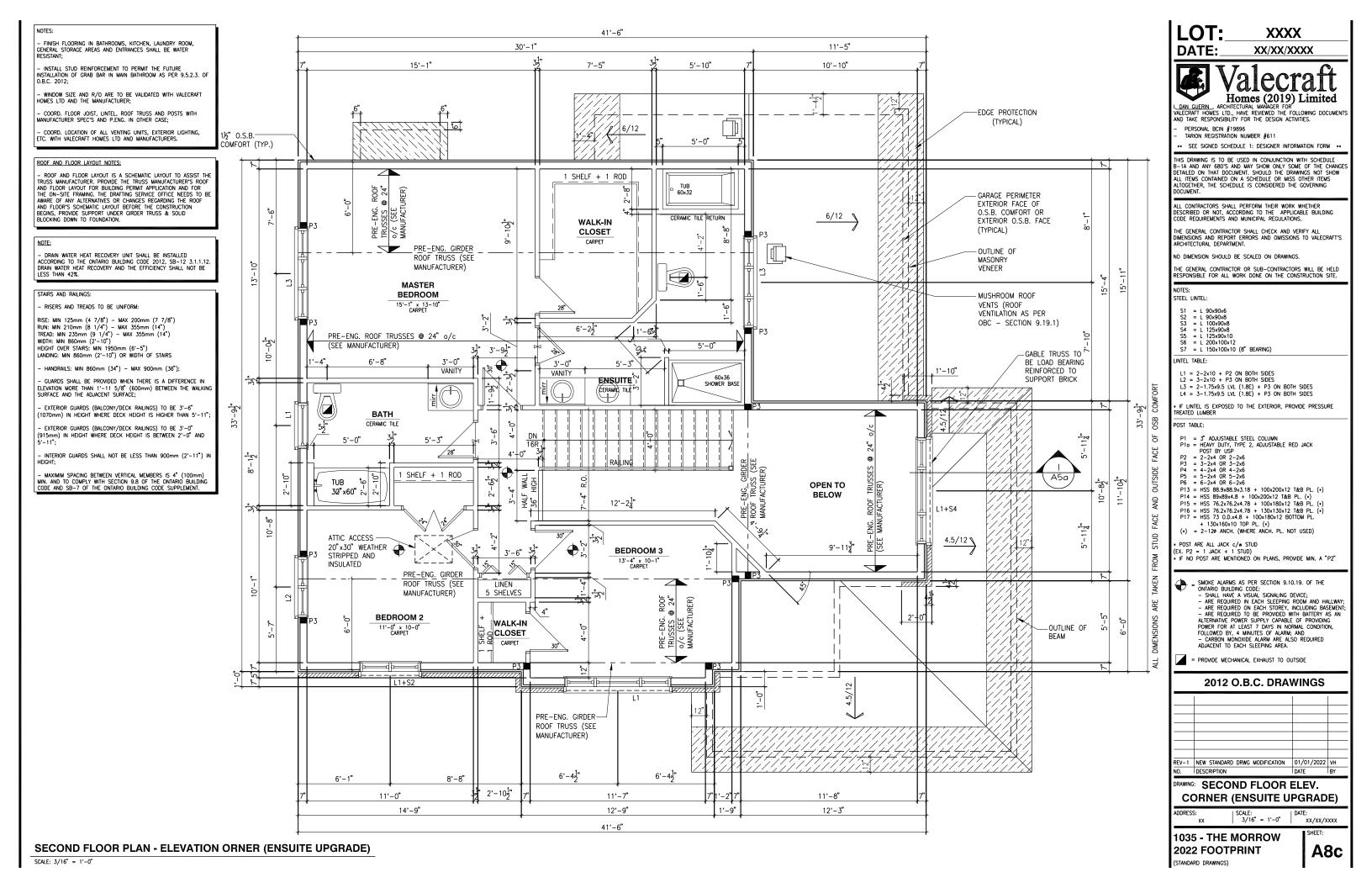
SECOND FLOOR PLAN ELEVATION CORNER

3/16" = 1'-0"

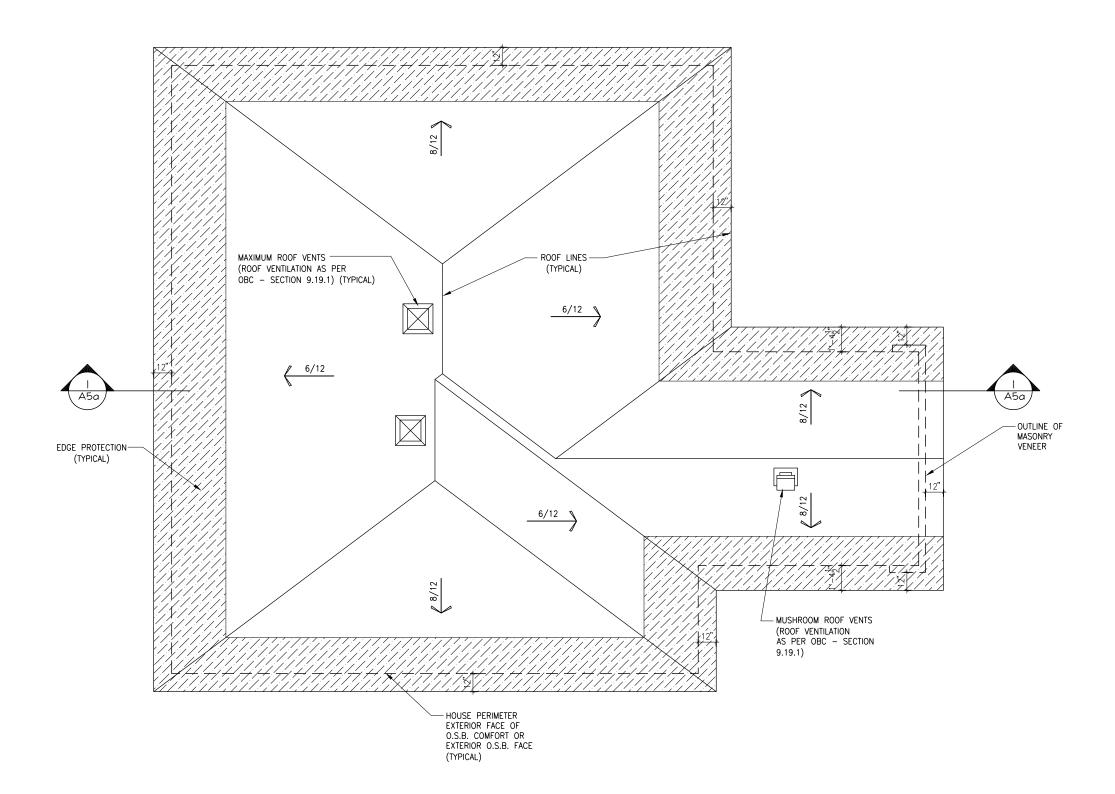
1035 - THE MORROW 2022 FOOTPRINT

XX/XX/XXXX

SHEET



- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



ROOF PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX



Homes (2019) Limited

I, DAN CUERIN . ARCHITECTURAL MANAGER FOR VALEGRATH HOMES LID., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
- •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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NOTES: STEEL LINTEL:

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 POST BY USP
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 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P13 = HSS 88.98948.94.8.18 + 100x200x12 T&B PL. (*)
 P14 = HSS 89x994.8 + 100x200x12 T&B PL. (*)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	٧H
NO	DESCRIPTION	DATE	RY

ROOF PLAN ELEVATION A

ADDRESS:

SCALE: 3/16" = 1'-0"

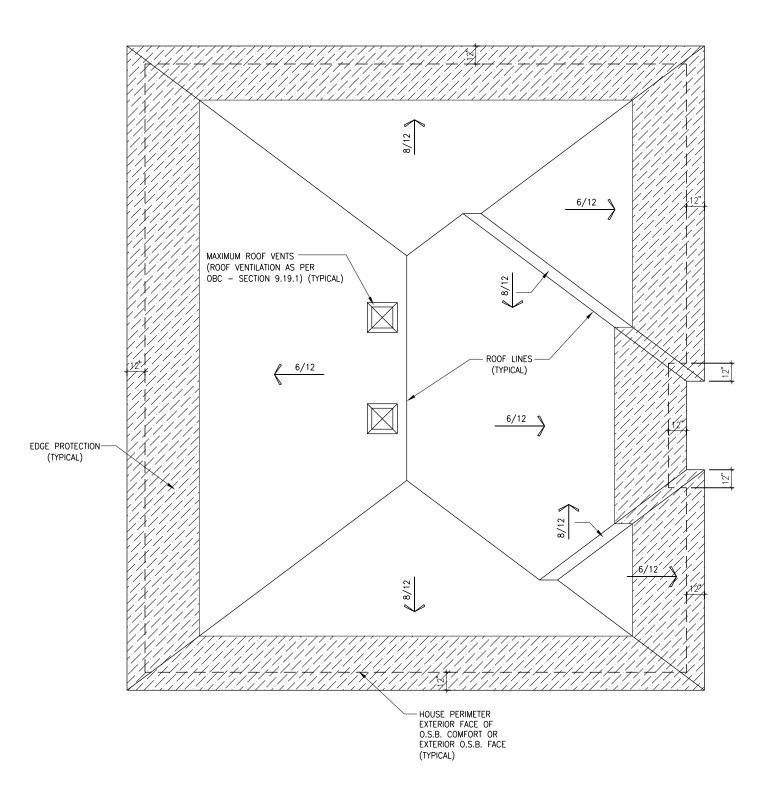
1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)



XX/XX/XXXX

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ROOF PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX



Homes (2019) Limited

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 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
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 P14 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL (*)

- P13 = HSS 88.9894.8. + F 100x200x12 T&B PL. (*)
 P14 = HSS 88x994.8. + F 100x200x12 T&B PL. (*)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

ROOF PLAN ELEVATION B

ADDRESS:

SCALE: 3/16" = 1'-0"

XX/XX/XXXX

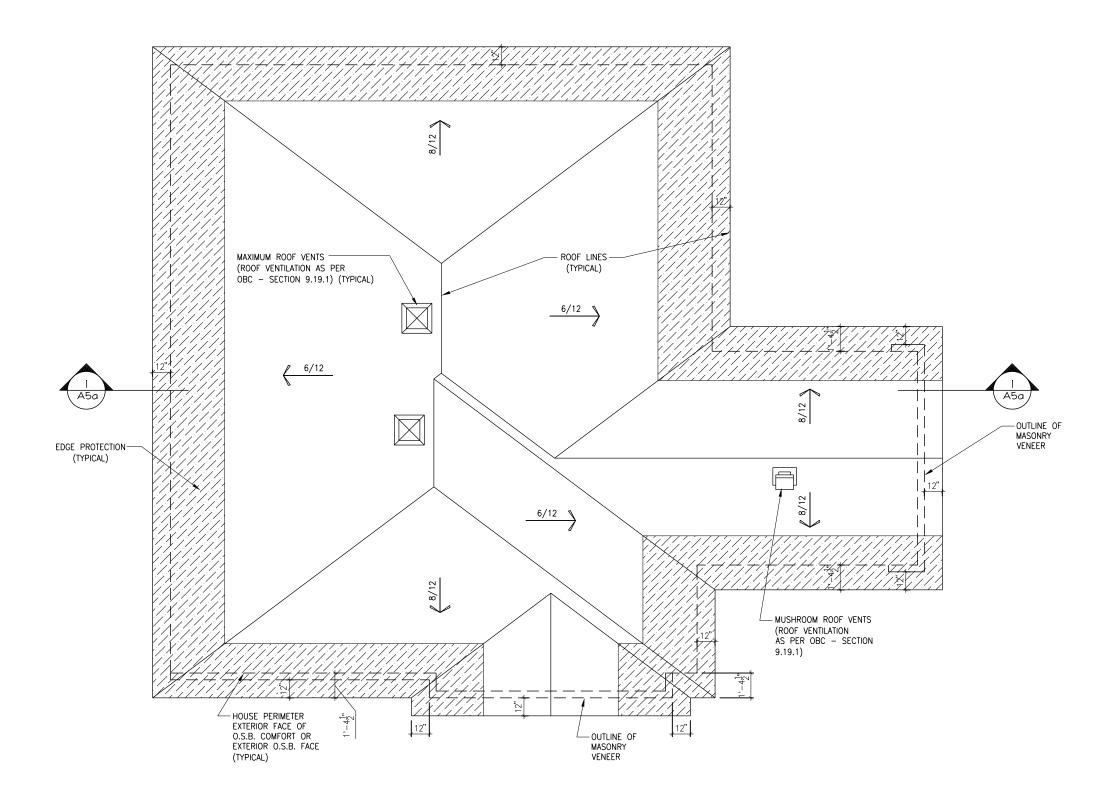
1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

A9b

SHEET

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ROOF PLAN - ELEVATION CORNER LOT

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX



Homes (2019) Limited

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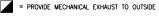
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- P13 = HSS 88.98948.94.8.18 + 100x200x12 T&B PL. (*)
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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	٦
NO.	DESCRIPTION	DATE	Ī

ROOF PLAN ELEVATION CORNER LOT

SCALE: 3/16" = 1'-0" XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

A9c

SHEET

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR I AND FLOUR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING, THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

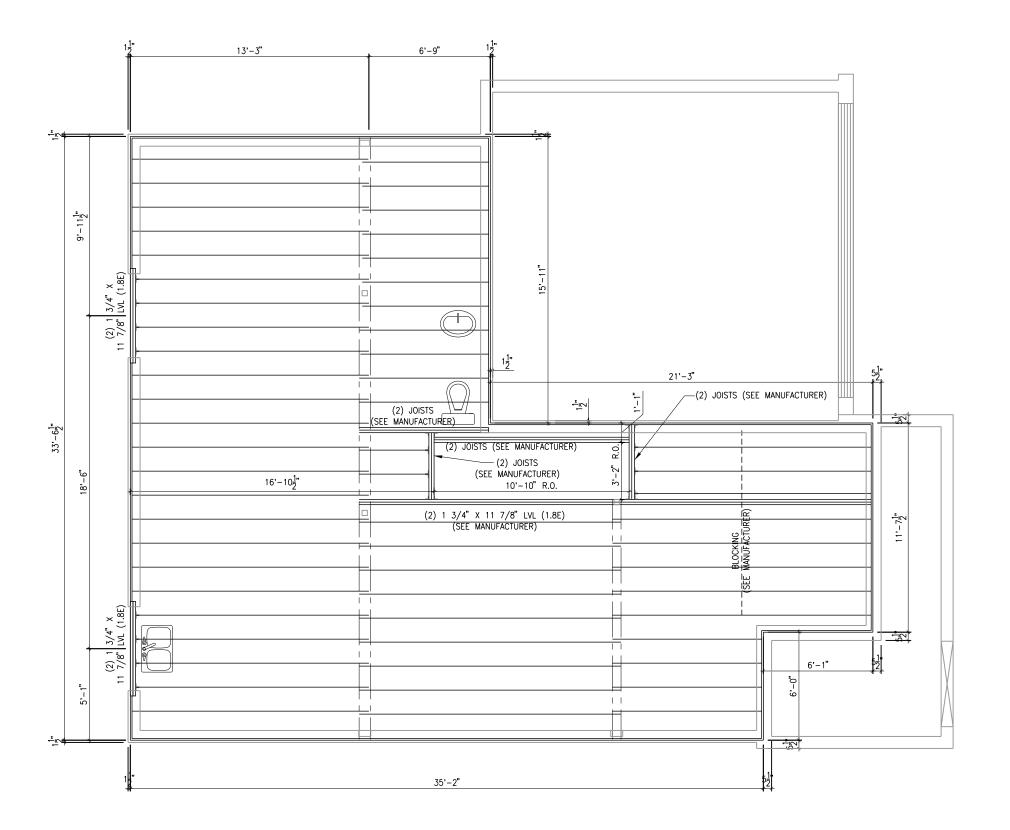
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14") WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5") LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") MAX 900mm (36"):
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- FXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN
- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



GROUND FLOOR - JOIST PLAN

LOT: DATE:

XXXX

XX/XX/XXXX

Homes (2019) Limited

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NOTES:			
STEEL LIN	TEL:		
C1 _	1 00006		

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
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P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

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	_	SMOKE	ALARMS	AS	PER	SECTION	9.10.19.	0
v		ONTARIO	BUILDII	NG	CODE	:		

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- SHALL HAVE A VISUAL SIGNALING DEVICE;

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VH
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - JOIST PLAN

SCALE: 3/16" = 1'-0"XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

SHEET A10a

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

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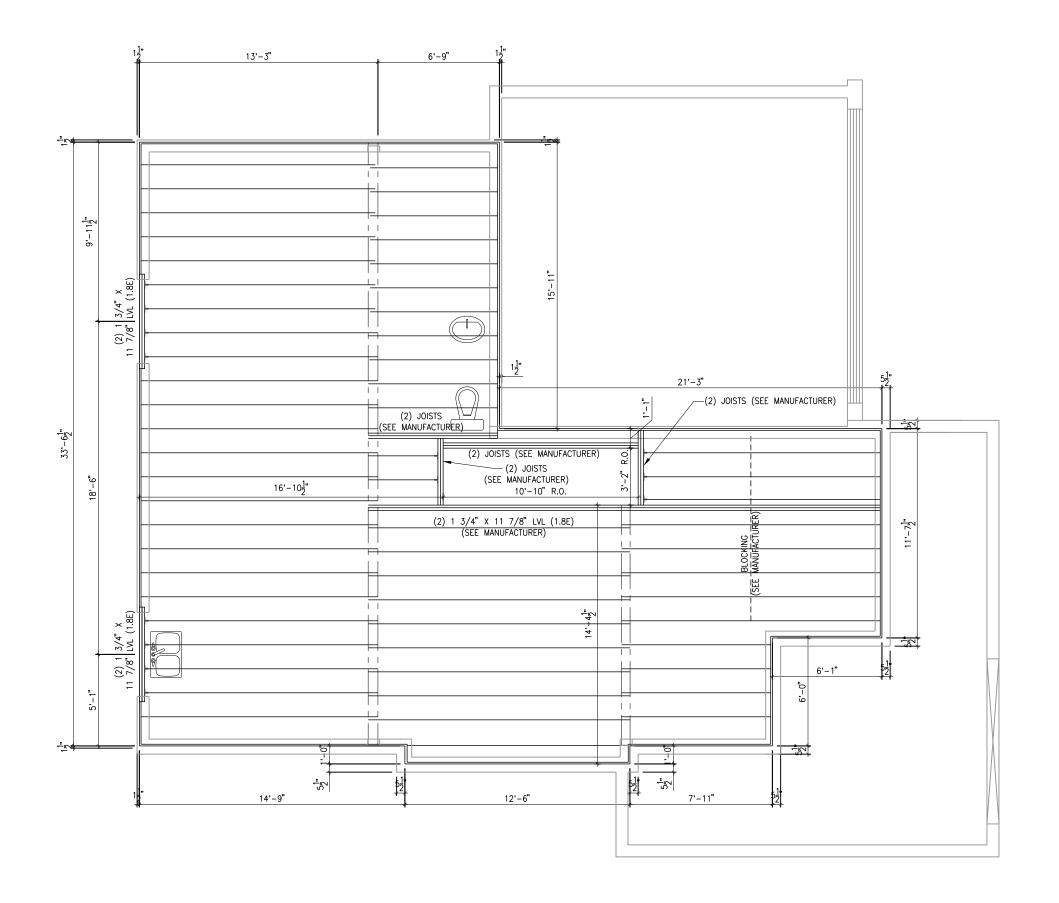
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STAIRS AND RAILINGS:

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GROUND FLOOR - JOIST PLAN - CORNER LOT

LOT: DATE:

XXXX XX/XX/XXXX



I<u>, DAN GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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NOTES:	
STEEL	LINTEL

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- $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.8E) + P3 ON BOTH SIDES
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POST TABLE:

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 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

		1	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VΗ
NO.	DESCRIPTION	DATE	BY
			_

GROUND FLOOR

JOIST PLAN - CORNER LOT SCALE: 3/16" = 1'-0"

1035 - THE MORROW 2022 FOOTPRINT

A10b

XX/XX/XXXX SHEET

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

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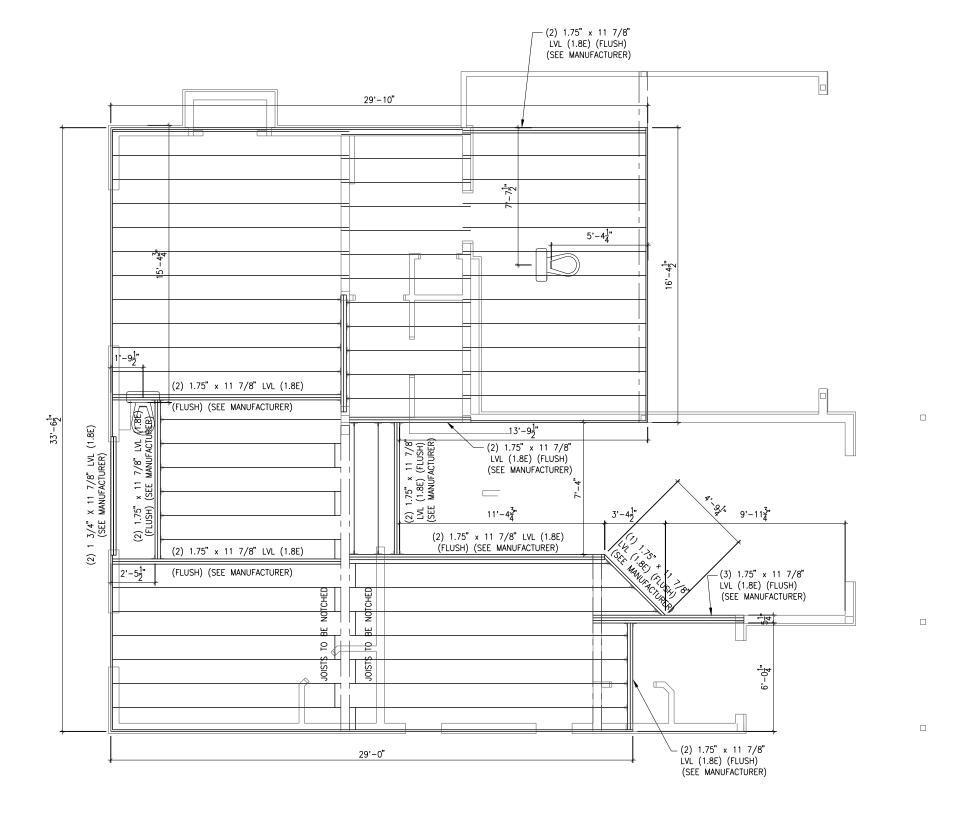
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SECOND FLOOR - JOIST PLAN - ELEVATION A

LOT: DATE:

XXXX XX/XX/XXXX



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REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 VH NO. DESCRIPTION

SECOND FLOOR JOIST PLAN - ELEVATION A

ADDRESS: 3/16" = 1'-0" XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT



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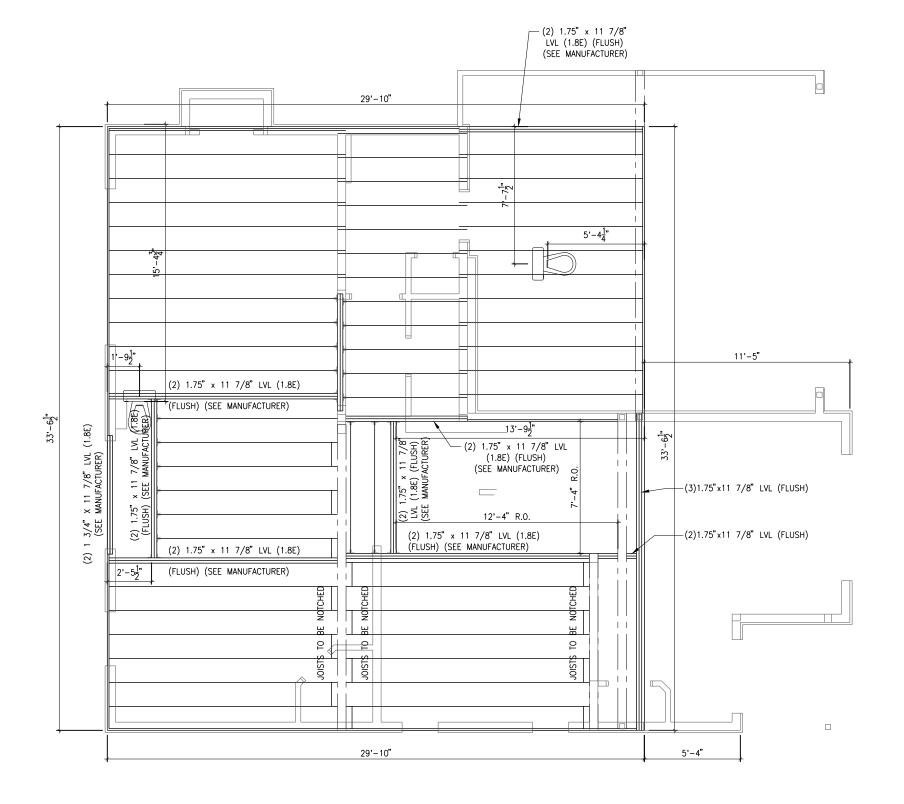
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GROUND FLOOR - JOIST PLAN - ELEVATION B

LOT: DATE:

XXXX XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VΗ
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR

JOIST PLAN - ELEVATION B

SCALE: 3/16" = 1'-0"

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

A11b

XX/XX/XXXX SHEET

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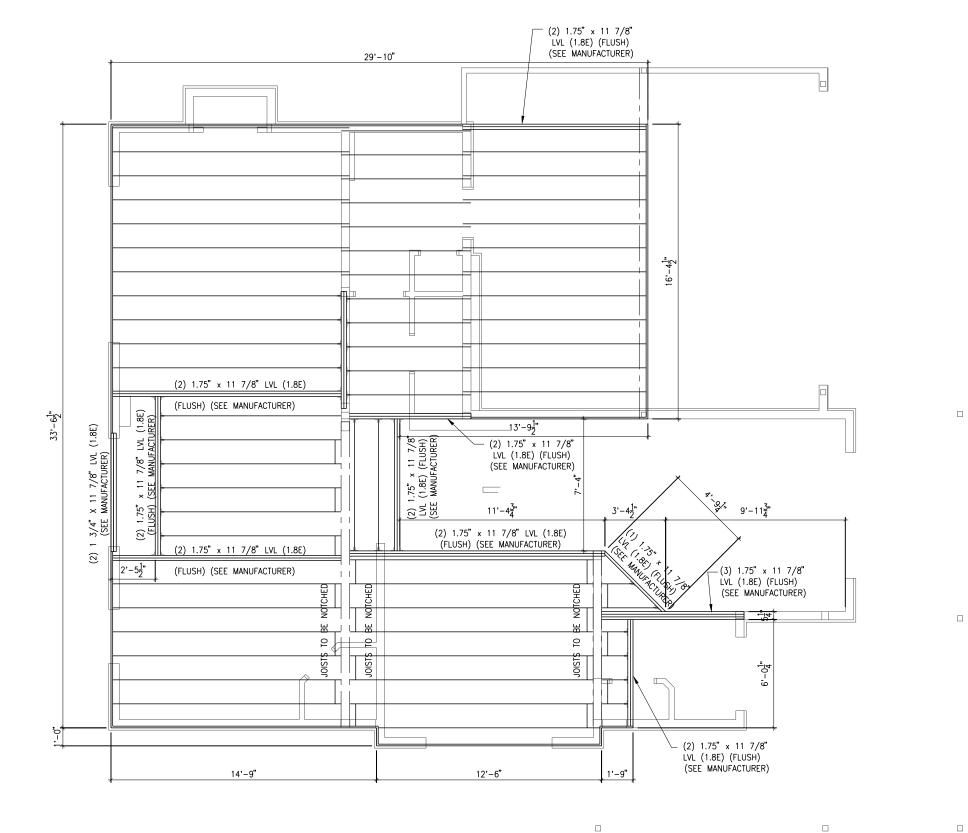
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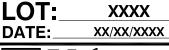
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GROUND FLOOR - JOIST PLAN - CORNER LOT

SCALE: 3/16" = 1'-0"



Homes (2019) Limited

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 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x46.2x4.78 + 130x130x12 T&B PL. (*)
 P17 = HSS 73 .0.x4.8 + 100x180x12 B0TTOM PL.
 + 130x160x10 TOP PL. (*)
 (*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
 (EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING ALTERNATIVE PURPLY SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VΗ
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR

JOIST PLAN - CORNER LOT

SCALE: 3/16" = 1'-0"

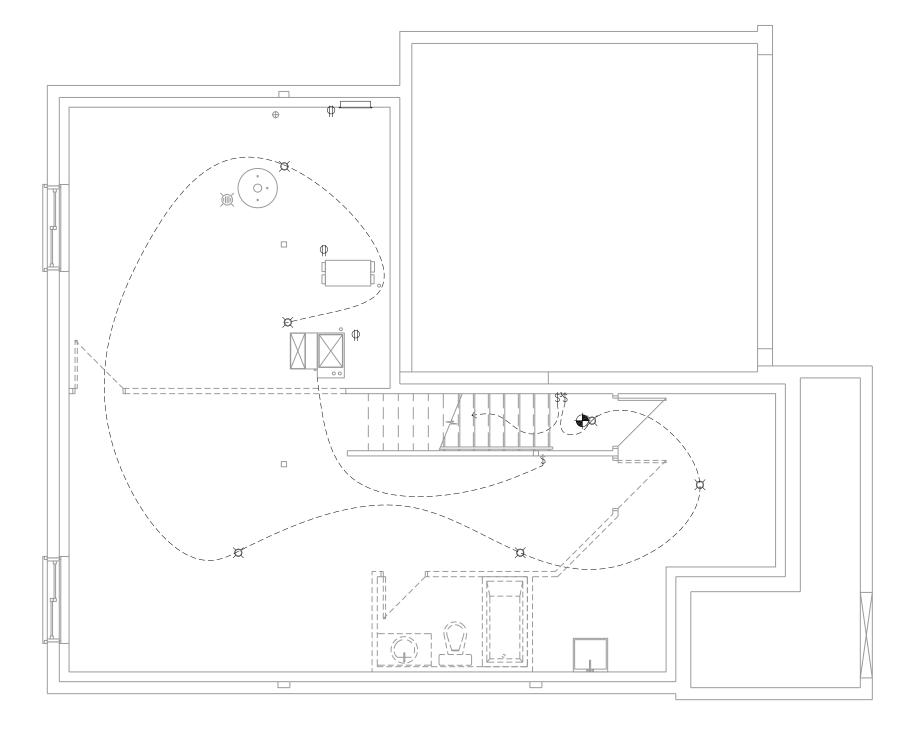
1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

A11c

XX/XX/XXXX SHEET

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



BASEMENT ELECTRICAL

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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NOTES:	
STEEL	LIN

S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
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P13 = HSS 88,9x88,9x18 + 100x200x12 T&B PL (*)

P13 = HSS 88.9894.8. + F 100x200x12 T&B PL. (*)
P14 = HSS 88x994.8. + F 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)
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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VΗ
NO.	DESCRIPTION	DATE	BY

BASEMENT ELECTRICAL

SCALE: 3/16" = 1'-0" XX/XX/XXXX

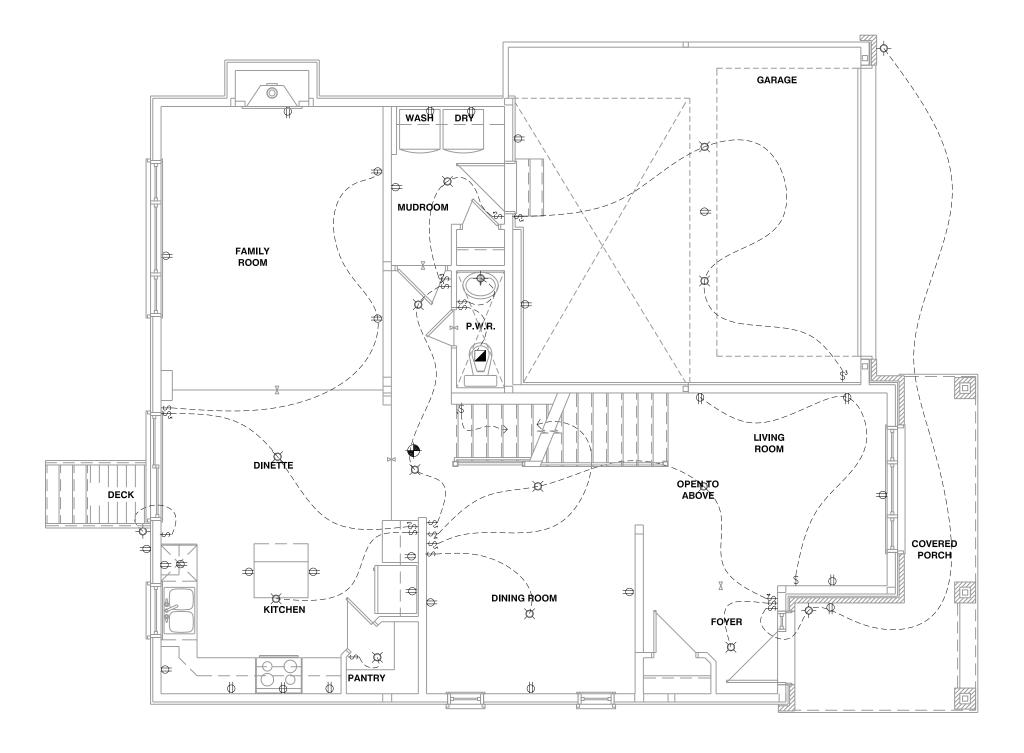
1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

E1

SHEET

ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE - ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-STIE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



GROUND FLOOR ELECTRICAL

LOT: XXXX DATE: XX/XX/XXXX



PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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STEEL LINTEL: S1 = L 90×90×6	
S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12 S7 = L 150x100x10 (8° BEARING)	

LINTEL TABLE:

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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POST BY USP
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P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P13 = HSS 88.98948.94.8.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x994.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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+ 130x160x10 TOP PL. (*)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VΗ
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR ELECTRICAL

ADDRESS:

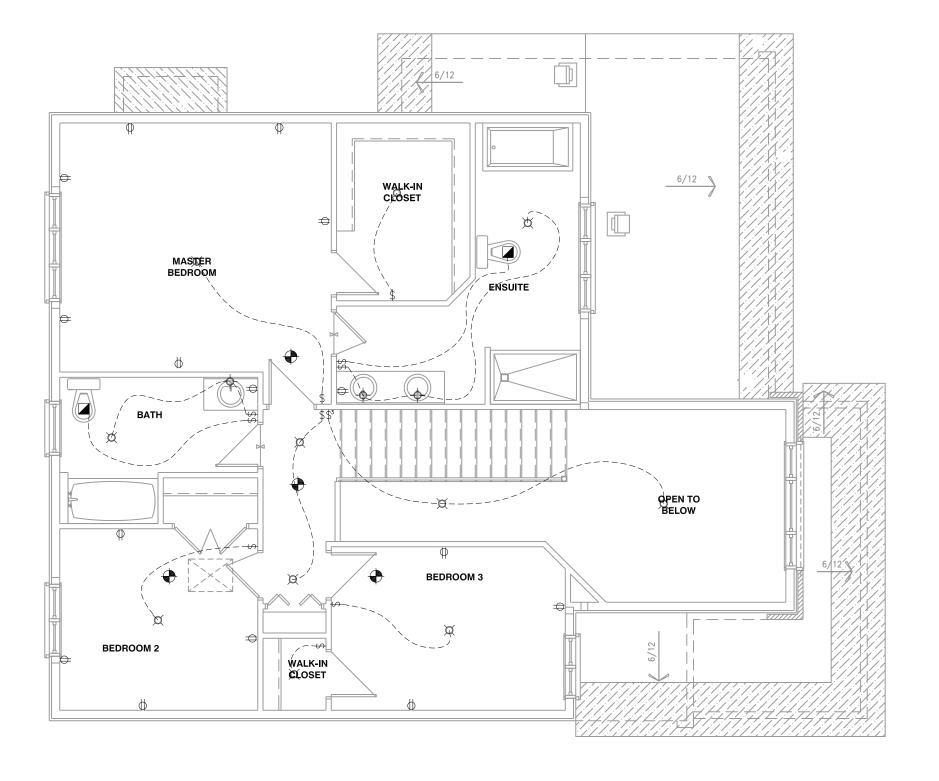
SCALE: 3/16" = 1'-0"

1035 - THE MORROW 2022 FOOTPRINT

E2

XX/XX/XXXX SHEET

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SECOND FLOOR ELECTRICAL - ENSUITE UPGRADE

LOT: XXXX DATE: XX/XX/XXXX



- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611

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NOTES:	
STEEL	LINTEL:
S1	= L 90x90x6
S2	= L 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	VΗ
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR ELECTRICAL

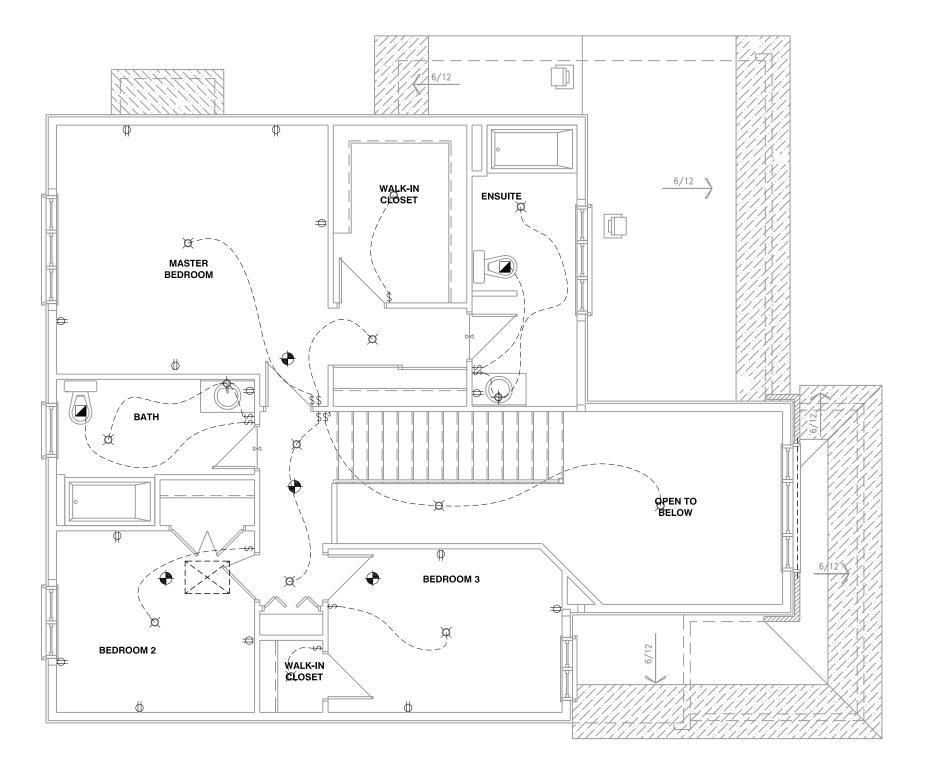
SCALE: 3/16" = 1'-0" XX/XX/XXXX

1035 - THE MORROW 2022 FOOTPRINT

(STANDARD DRAWINGS)

E3

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



SECOND FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

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_		
NOTES:		
STEEL	LINTEL:	
S1	= L 90x90x6	
S2	= L 90x90x8	
S3	= L 100x90x8	
S4	= L 125x90x8	
S5	$= 1.125 \times 90 \times 10$	

LINTEL TABLE:

DOCUMENT

S7 = L 150x100x10 (8" BEARING)

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

 $S6 = L 200 \times 100 \times 12$

P1 = 3" ADJUSTABLE STEEL COLUMN P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88,9x88,9x18 + 100x200x12 T&B PL (*)

P13 = HSS 88.9894.8. + F 100x200x12 T&B PL. (*)
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 VH NO. DESCRIPTION

DRAWING:

SECOND FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0" ADDRESS:

1035 - THE MORROW 2022 FOOTPRINT

E4

XX/XX/XXXX SHEET