

3 & 4 BEDROOM - ELEVATION A - FRONT

LOT: DATE:

XXXX XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

XTERIOR FINISH LEGEND:

- B BRICK (MAIN)
 B1 BRICK SOLDIER COURSE (ACCENT)
 B2 BRICK SOLDIER COURSE (ACCENT)
 + 20mm PROUD
 B3 BRICK SLEEPER COURSE
 B4 STACK BOND (ACCENT)
 B5 BRICK SILE (ACCENT)
 B6 BRICK SILE (ACCENT)
 B7 BRICK CORBELLING
 B8 BRICK CORBELLING
 B8 BRICK CORBELLING
 B8 BRICK CORBELLING
 SW SIDING (HORIZONTAL)
 SY SIDING (HORIZONTAL)
 SY SIDING (HORIZONTAL)
 ST STONE VENEER
 T TRIM 200mm COVE SIDING
 AF ALUMINUM FASCIA
 AC ALUMINUM FASCIA
 AC ALUMINUM FASCIA
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)
 P PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCHID PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINYL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KC KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-3 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON REV-2 STRUCTURAL REVISION #1 09/14/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 06/20/2018 DOYON

NO. DESCRIPTION

3 & 4 BEDROOM **ELEVATION A - FRONT**

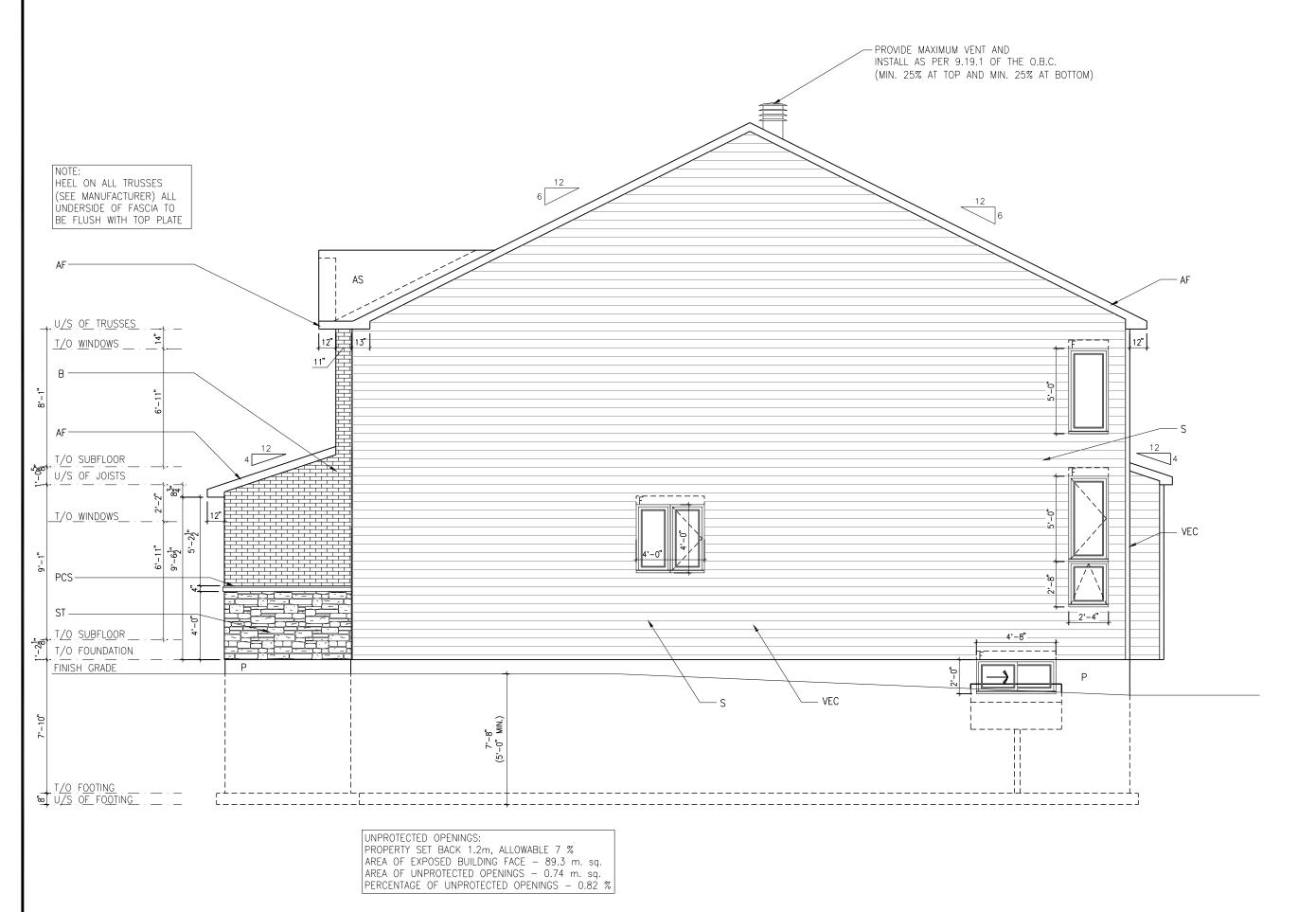
SCALE: 3/16" = 1'-0"

826 - THE BRADLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A1a

xx/xx/xxxx SHEET



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 B8 BRICK SOND LOCK (ACCENT)
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 +20 BRICK 20mm PROUD
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 SV SIDING (VERTICAL)
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 T TRIM 200mm COVE SIDING
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 AC ALUMINUM CLADDING
 AB 48° ALUMINUM BAND
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)
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 DC DABCING

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3 BEDROOM

ELEVATION A - RIGHT SCALE: 3/16" = 1'-0"

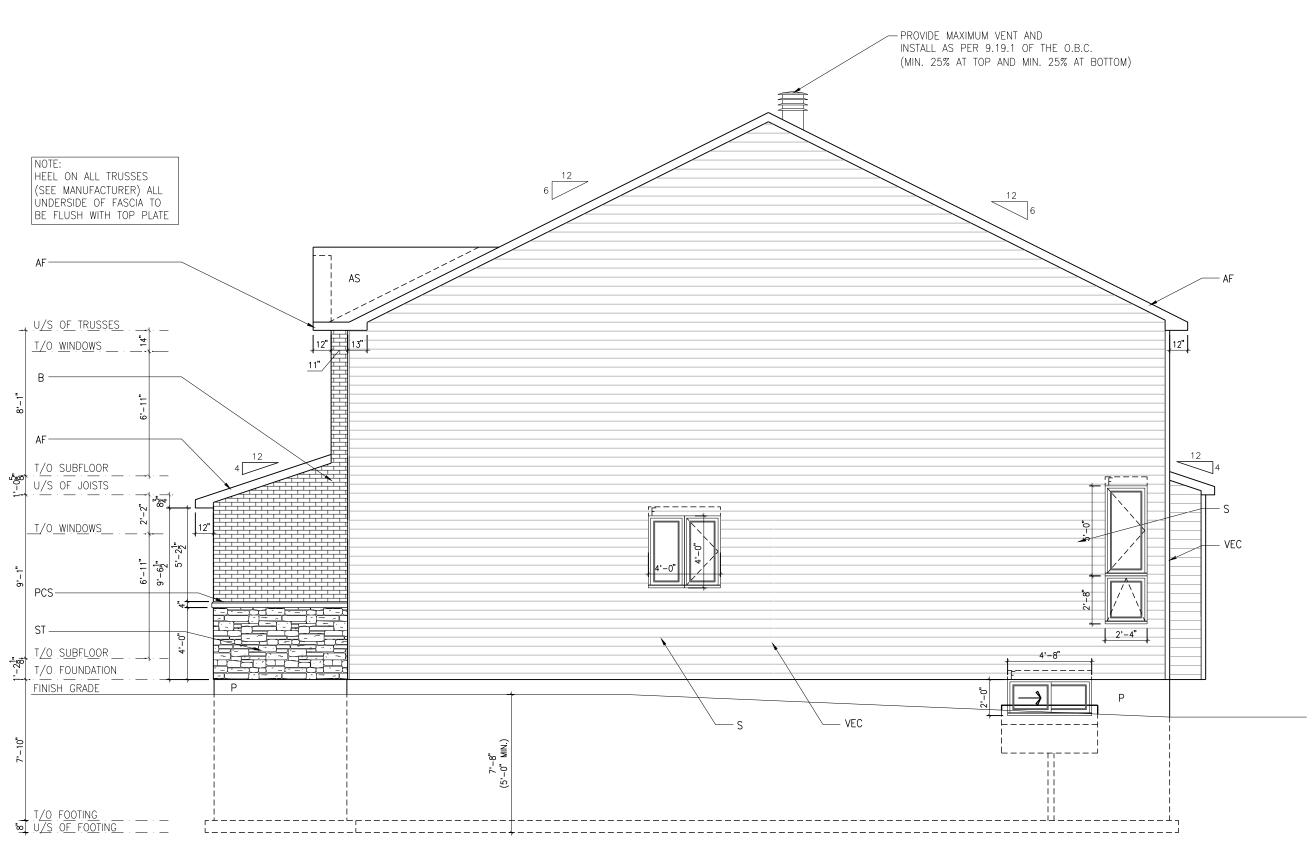
826 - THE BRADLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A2a

XX/XX/XXXX

3 BEDROOM - ELEVATION A - RIGHT



UNPROTECTED OPENINGS: PROPERTY SET BACK 1.2m, ALLOWABLE 7 % AREA OF EXPOSED BUILDING FACE - 89.3 m. sq. AREA OF UNPROTECTED OPENINGS - 0.74 m. sq. PERCENTAGE OF UNPROTECTED OPENINGS - 0.82 %

4 BEDROOM - ELEVATION A - RIGHT

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 B7 BRICK CORBELLING
 B8 BRICK CORBELLING
 B8 BRICK CORBELLING
 S8 BRICK CORBELLING
 S9 BRICK 20mm PROUD
 +20 BRICK 20mm PROUD
 +20 BRICK 20mm PROUD
 +30 SIDING (HORIZONTAL)
 S7 SIDING (HORIZONTAL)
 S7 STONE VENEER
 T TIME 200mm COVE SIDING
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 AC ALUMINUM FASCIA
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 VSC SIDING (VERTICAL CORNER)
 KC KAYCAN WOOD SIDING 7.1" LAP KC - KAYCAN WOOD SIDING - 74" LAP

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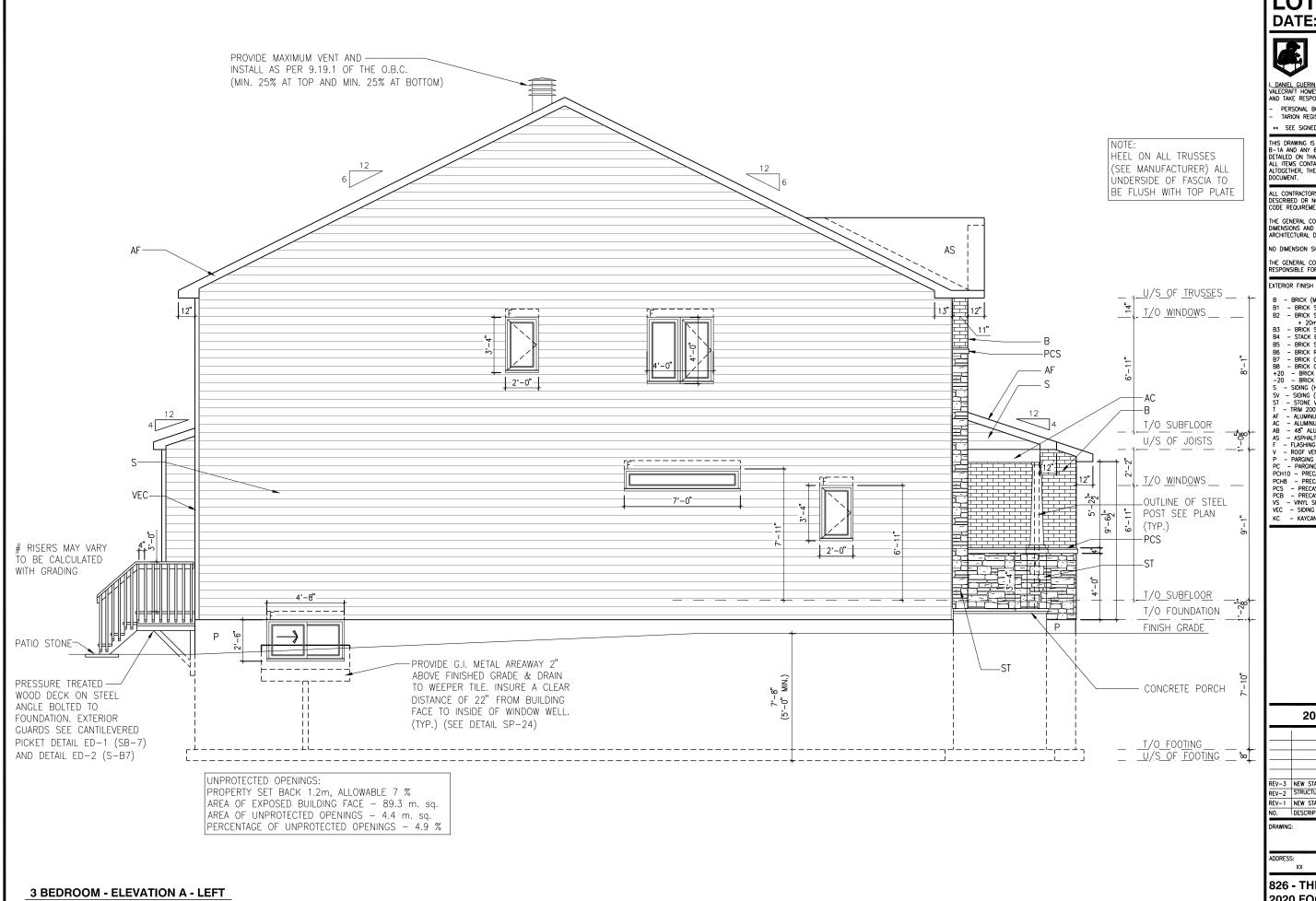
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826 - THE BRADLEY

2020 FOOTPRINT

A2a

xx/xx/xxxx SHEET



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- BRICK SILL (ACCENT)
- BRICK SILL (ACCENT)
- BRICK COW LOCK (ACCENT)
- BRICK COMPLICE
- SIDING (FORIZONTAL)
- SIDING (FORIZONTAL)
- STONE VENEER
- TRIM ZOOMM COVE SIDING
- ALUMINUM FASCIA
- ALUMINUM FASCIA
- ALUMINUM CLADDING
- 445" ALIMINUM BAND - 48" ALUMINUM BAND - ASPHALT SHINGLES - FLASHING - ROOF VENT (MAXIMUM) V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING
PCHID - PRECAST HEADER 10"
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PCS - PRECAST SILL
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VS - WINYL SHAKES
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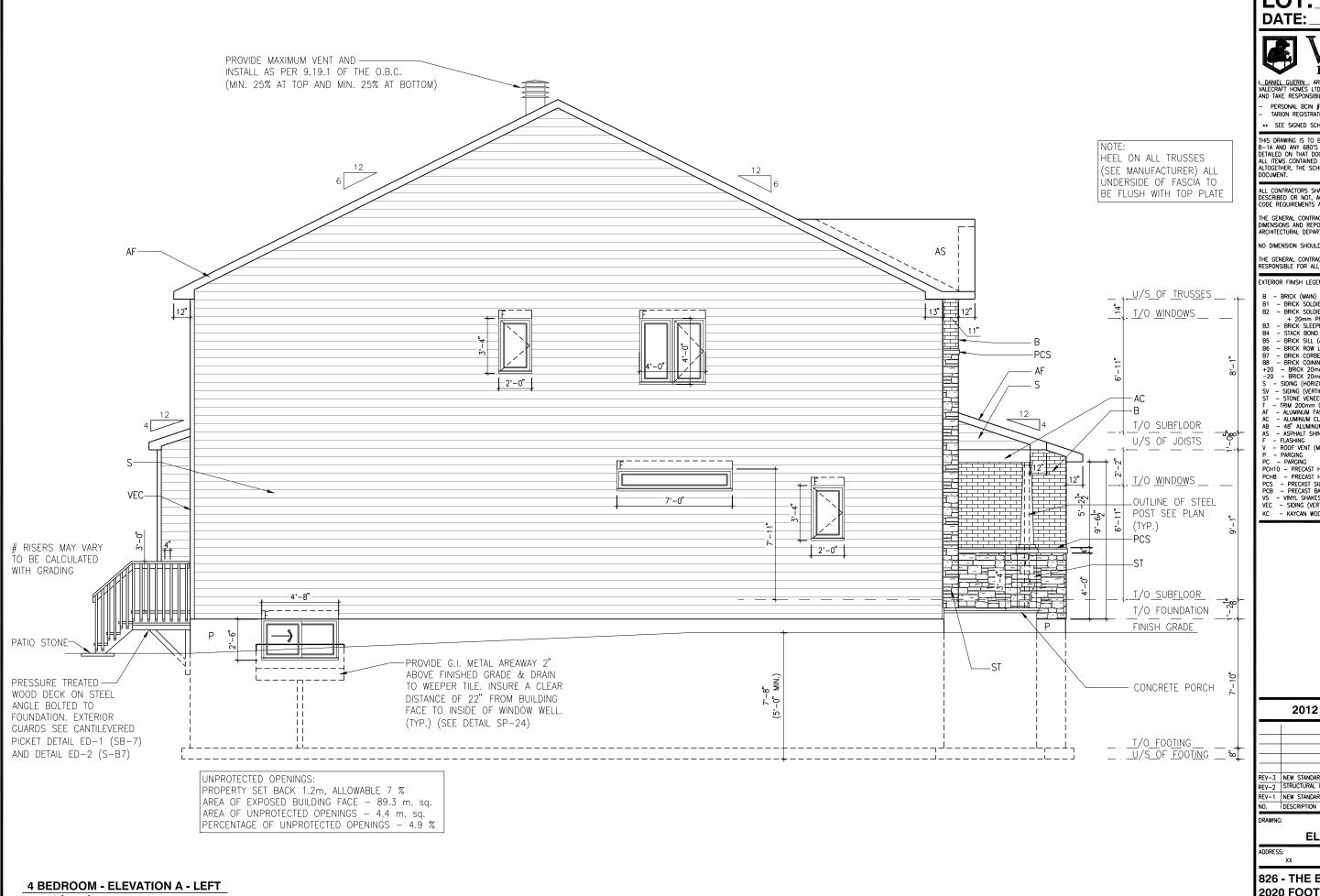
3 BEDROOM

ELEVATION A - LEFT SCALE: 3/16" = 1'-0"

826 - THE BRADLEY 2020 FOOTPRINT

SHEET A3a

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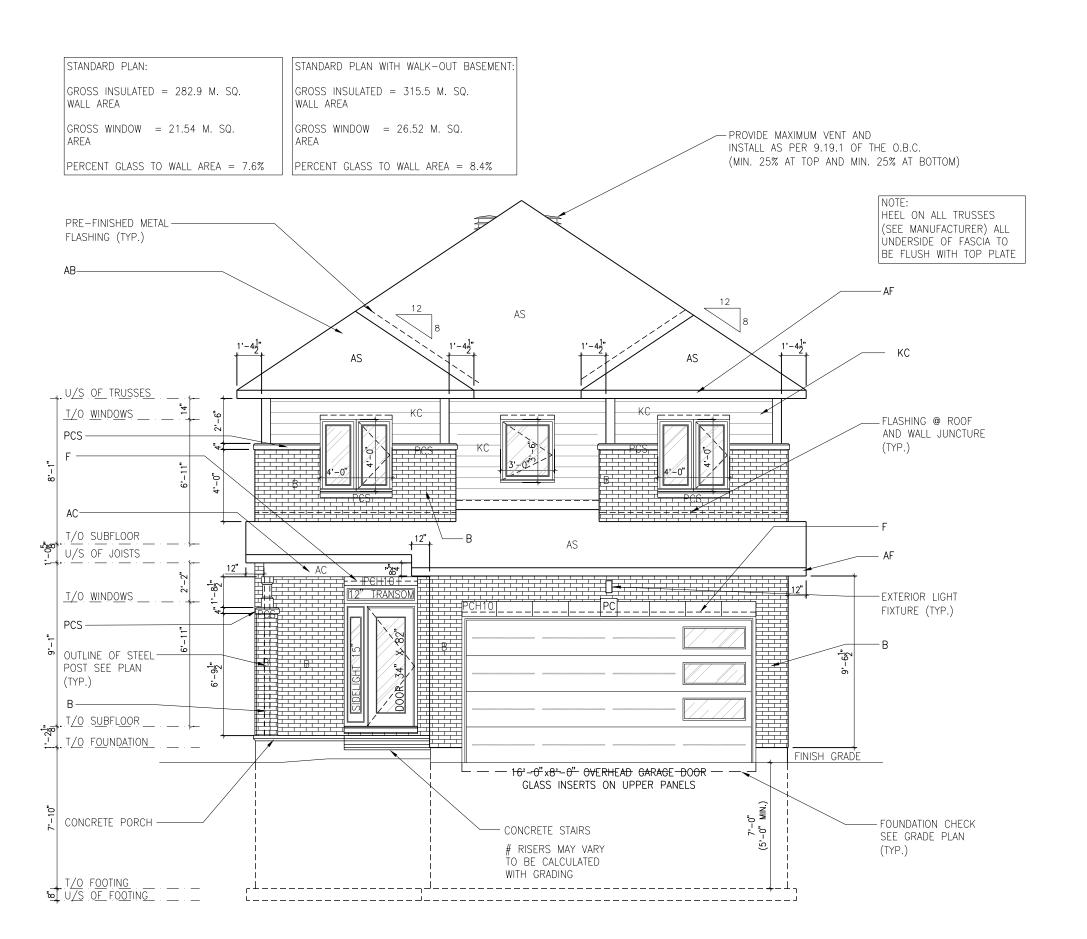
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3 & 4 BEDROOM - ELEVATION B - FRONT

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 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 5 BRICK SILL (ACCENT)

 56 BRICK SILL (ACCENT)

 37 BRICK CONDINIO 20mm PROUD

 +20 BRICK COMBELLING

 BB BRICK COMMINO 20mm PROUD

 -20 BRICK 20mm PROUD

 -20 BRICK 20mm PROUD

 -30 BRICK 20mm PROUD

 -31 STONE VENEUR

 T TRIM 200mm COVE SIDING

 AF ALUMINUM FASCIA

 AC ALUMINUM FASCIA

 AC ALUMINUM CLADDING

 AB 48 ALUMINUM BAND

 AS ASPHALT SHINGLES

 F FLASHING

 V ROOF VENT (MAXIMUM)

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 STENING + 20mm PROUD B3 - BRICK SLEEPER COURSE

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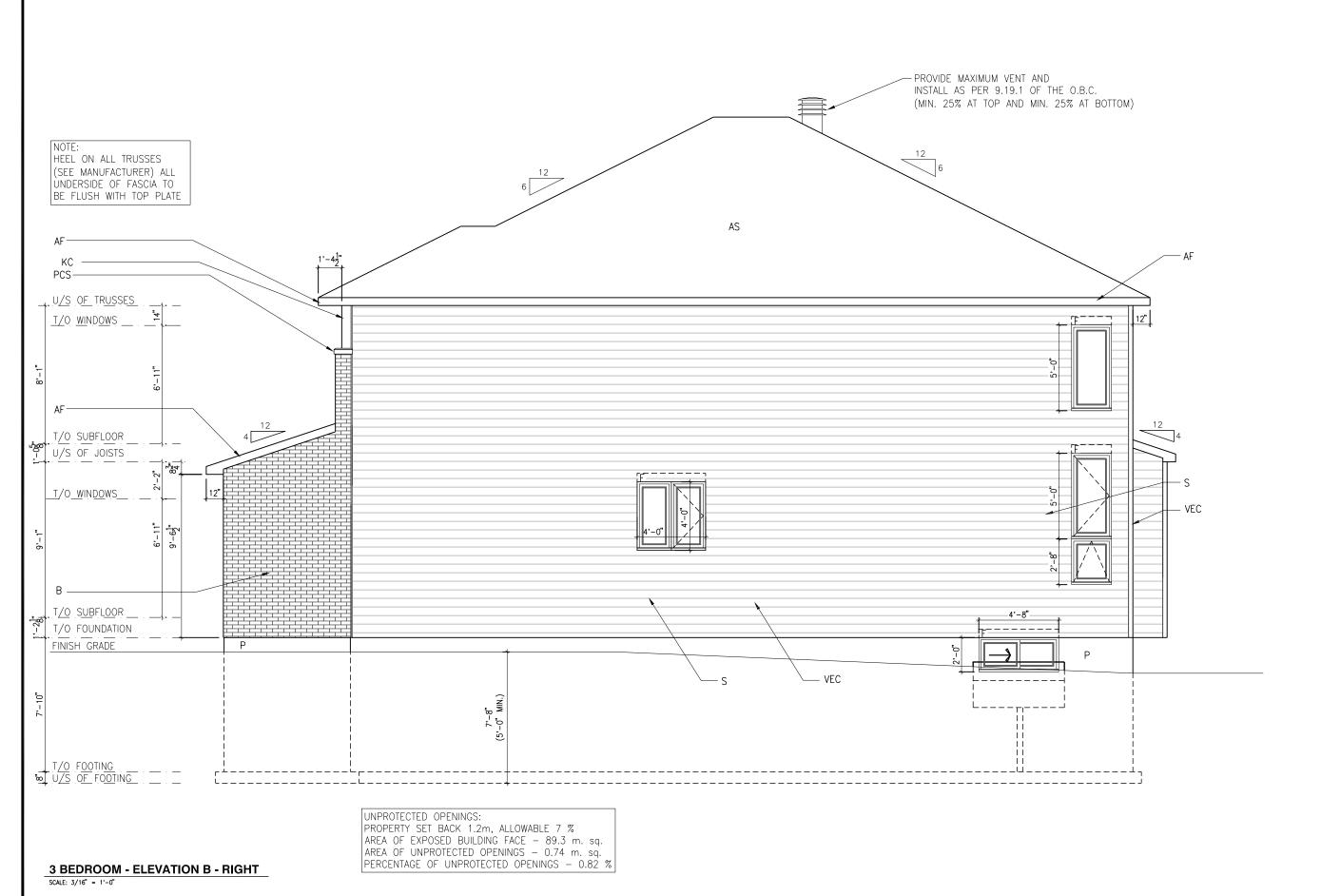
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826 - THE BRADLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A₁b

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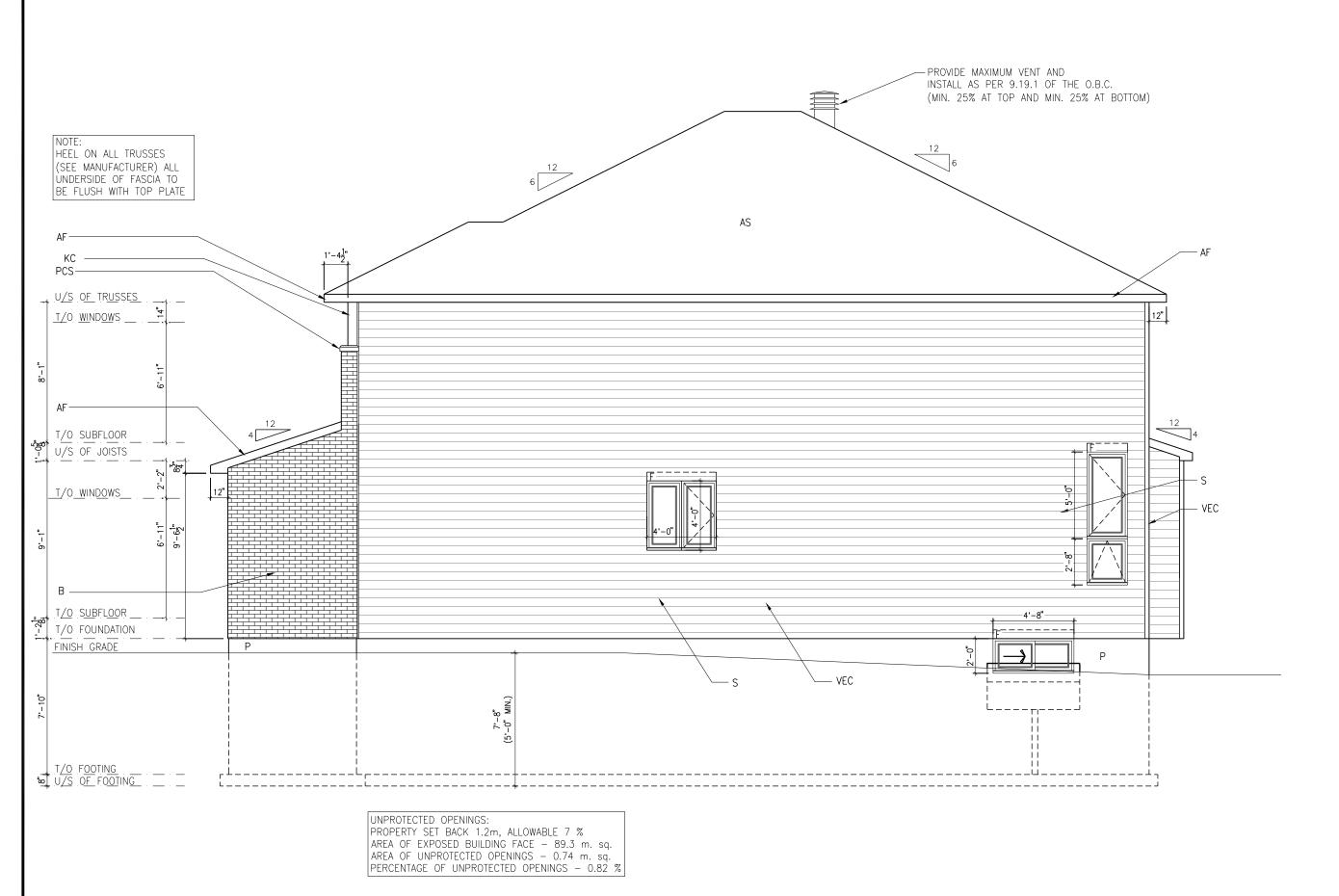
| EV-3 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYO |
|------|--------------------------------|------------|------|
| EV-2 | STRUCTURAL REVISION #1 | 09/14/2018 | VH |
| EV-1 | NEW STANDARD DRWG MODIFICATION | 06/20/2018 | DOYO |
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3 BEDROOM

ELEVATION B - RIGHT SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY 2020 FOOTPRINT





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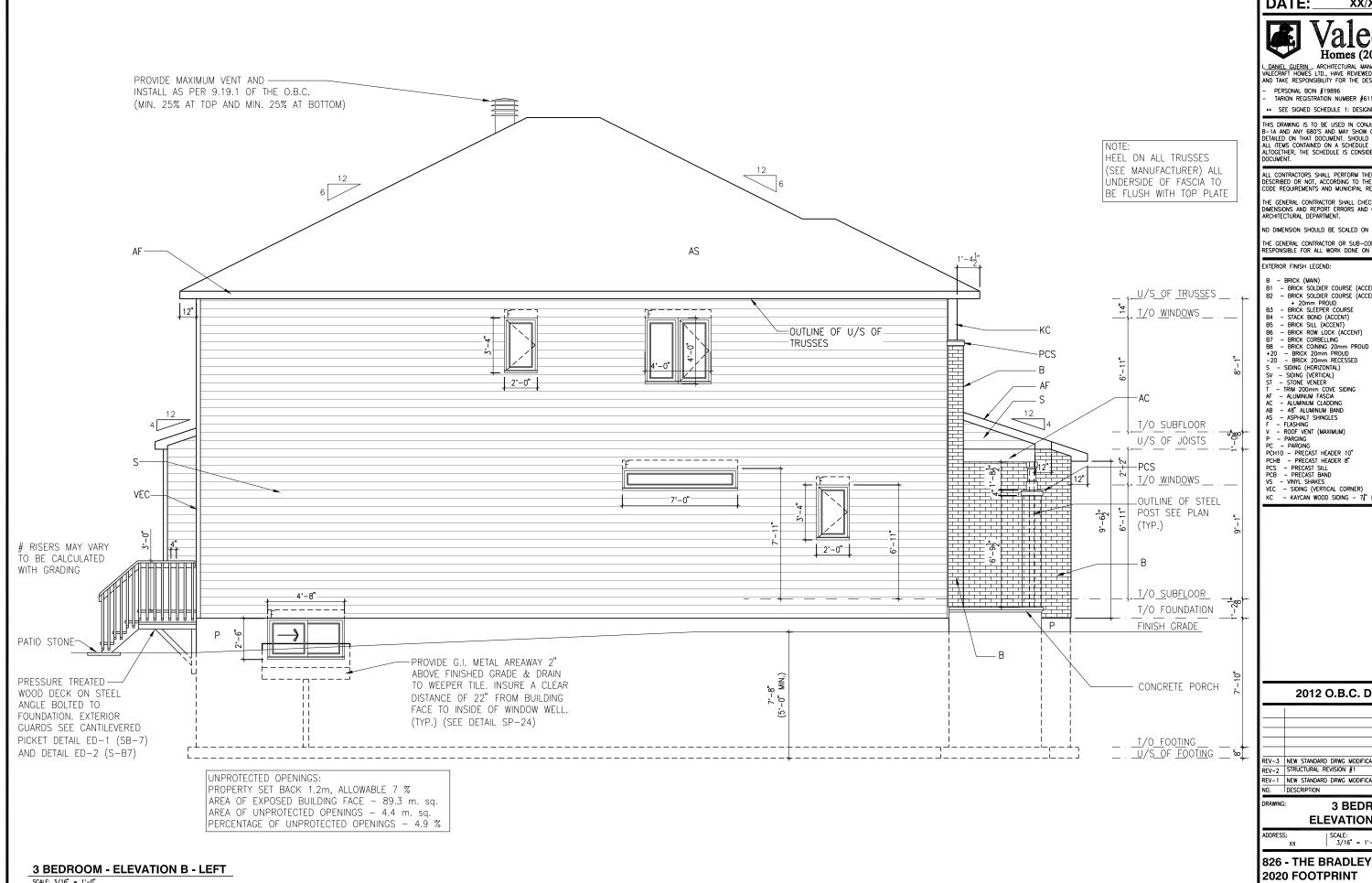
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4 BEDROOM **ELEVATION B - RIGHT**

SCALE: 3/16" = 1'-0" XX/XX/XXXX SHEET:

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A2b



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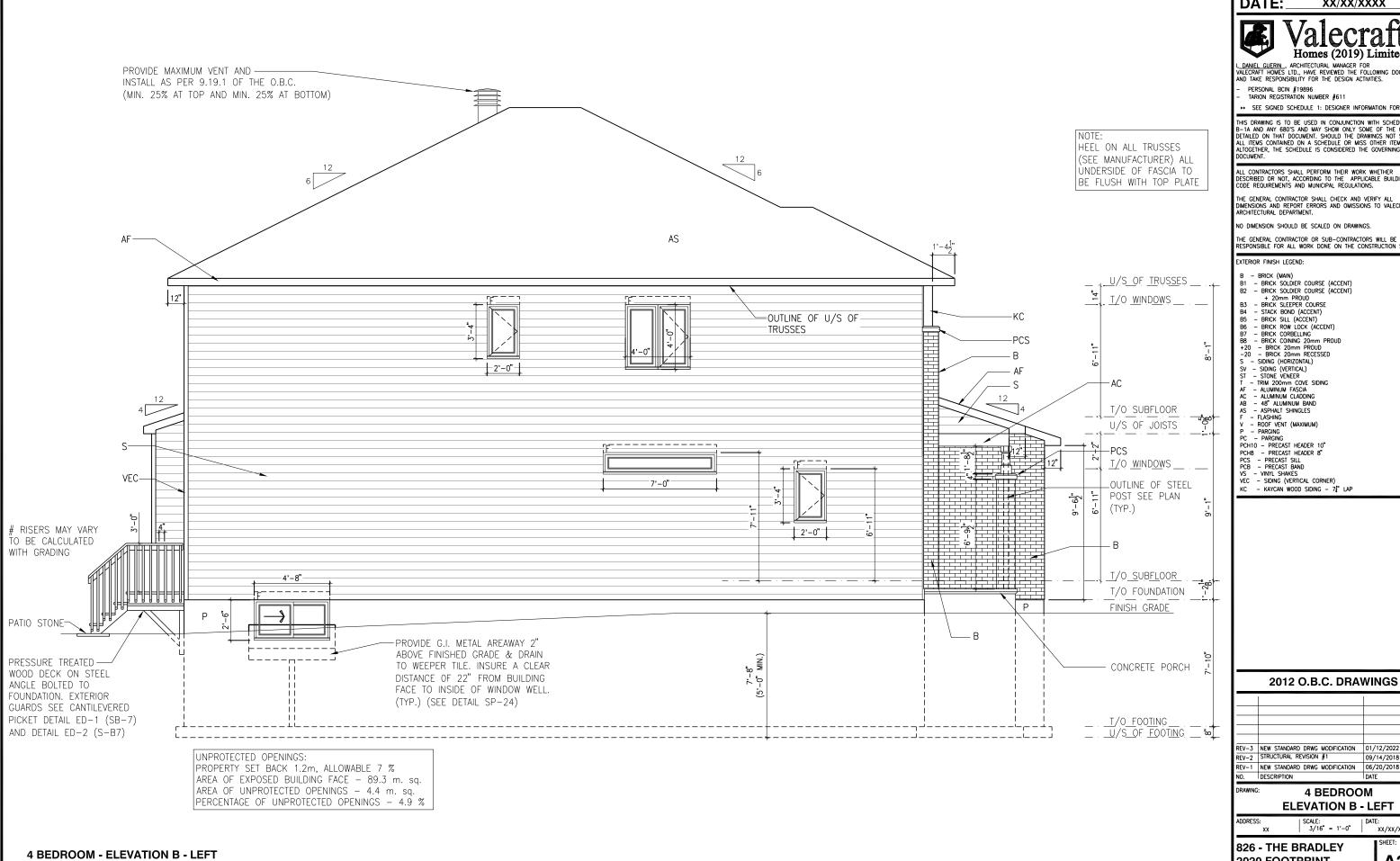
3 BEDROOM

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SHEET A3b

xx/xx/xxxx



LOT: **XXXX** DATE: XX/XX/XXXX Homes (2019) Limited I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM * THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANCES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL TIEMS CONTAINED ON A SCHEDULE OR MISS OTHER TIEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. XTERIOR FINISH LEGEND: - BRICK (MAIN) B1 - BRICK SOLDIER COURSE (ACCENT)
B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD B3 - BRICK SLEEPER COURSE B3 - BRICK SLEEPER COURSE
B4 - STACK BOND (ACCENT)
B5 - BRICK SILL (ACCENT)
B6 - BRICK ROW LOCK (ACCENT)
B7 - BRICK CORBELLING
B8 - BRICK CORBELLING
-20 - BRICK ZOMM PROUD
-20 - BRICK ZOMM RECESSED
S - SIDING (HORIZONTAL)
SV - SIDING (MERIZONTAL) - SIDING (HORIZONIAL)
- SIDING (VERTICAL)
- STONE VENEER
- TRIM 200mm COVE SIDING
- ALUMINUM FASCIA
- ALUMINUM CLADDING

REV-3 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON REV-2 STRUCTURAL REVISION #1 09/14/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 06/20/2018 DOYON NO. DESCRIPTION DATE

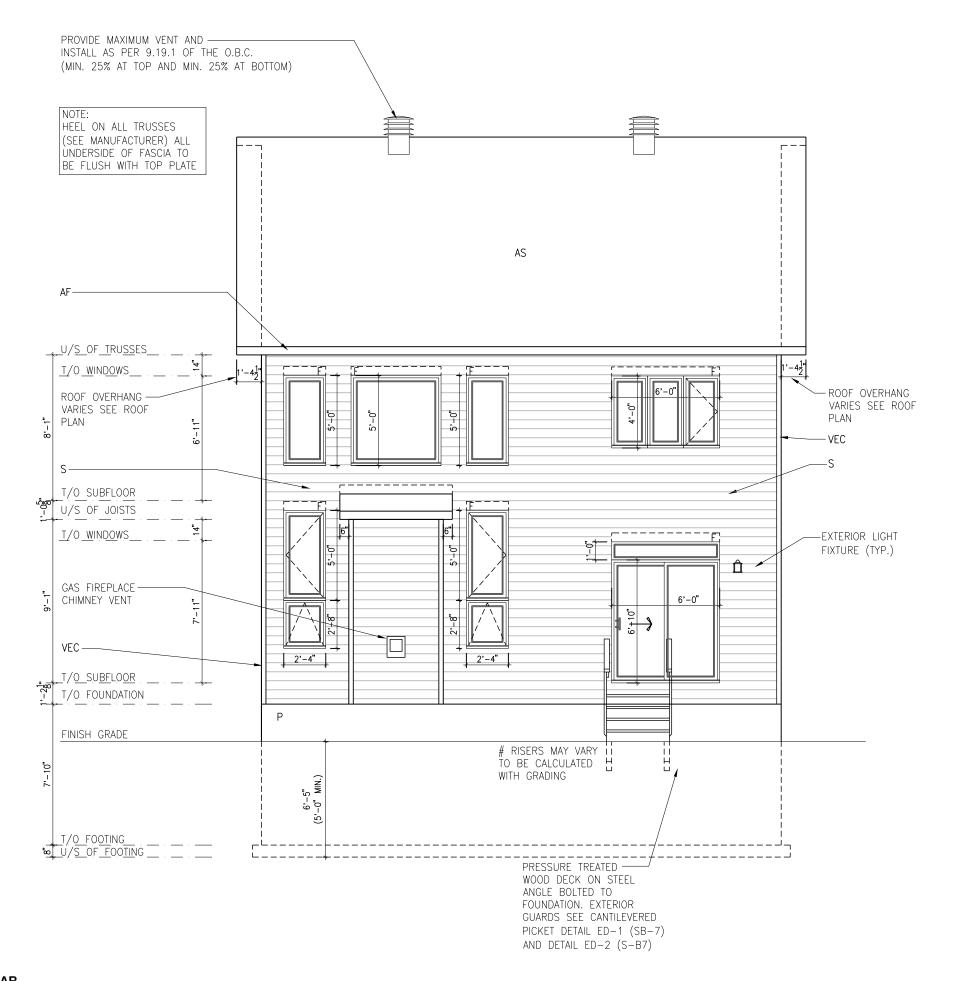
4 BEDROOM

ELEVATION B - LEFT SCALE: 3/16" = 1'-0"

826 - THE BRADLEY 2020 FOOTPRINT

SHEET A3b

xx/xx/xxxx





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 B7 BRICK CORRELLING
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 B8 BRICK CONING 20mm PROUD
 +20 BRICK 20mm PROUD
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 S SIDING (HORIZONTAL)
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 SV SIDING (HORIZONTAL)
 ST STONG VENEER
 T TRIM 200mm COVE SIDING
 AF ALUMINUM FASCIA
 AC ALUMINUM CLADDING
 AB 48" ALUMINUM BAND
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PC PARGING
 PC PARGING
 PC PECAST ILL
 PCB PRECAST BAND
 VS SIDING (VERTICAL CORNER)
 KC KAYCAN WOOD SIDING 7,1" LAP KC - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

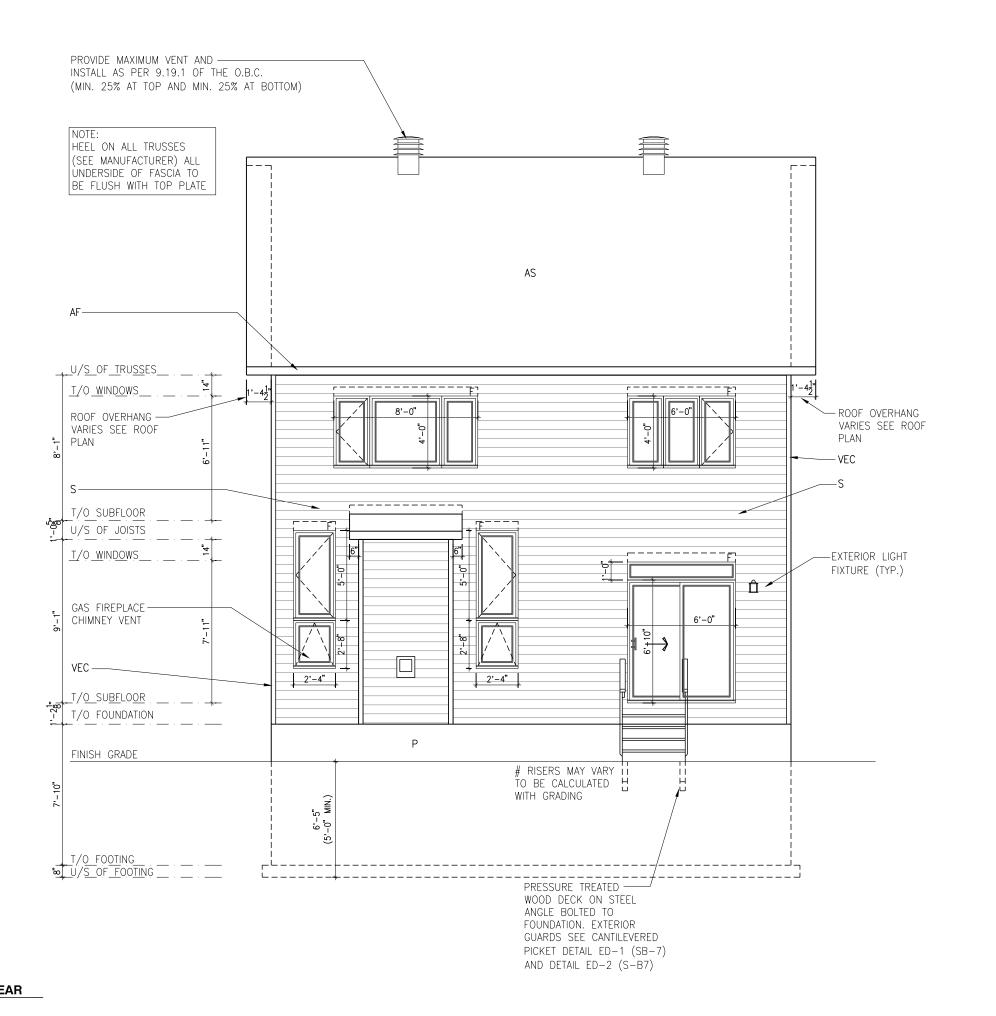
| REV-3 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYO |
|-------|--------------------------------|------------|------|
| REV-2 | STRUCTURAL REVISION #1 | 09/14/2018 | VH |
| REV-1 | NEW STANDARD DRWG MODIFICATION | 06/20/2018 | DOYO |
| NO. | DESCRIPTION | DATE | BY |

3 BEDROOM **ELEVATION A - REAR**

SHEET

SCALE: 3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2020 FOOTPRINT





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 B2 BRICK SOLDIER COURSE (ACCENT)
 + 20mm PROUD
 B3 BRICK SLEEPER COURSE
 B4 STACK BOND (ACCENT)
 B5 BRICK SILL (ACCENT)
 B6 BRICK SILL (ACCENT)
 B7 BRICK CORBELLING
 B8 BRICK CORBELLING
 B8 BRICK CORBELLING
 S8 BRICK CORBELLING
 S9 BRICK 20mm PROUD
 +20 BRICK 20mm PROUD
 +20 BRICK 20mm PROUD
 +30 SIDING (HORIZONTAL)
 S7 SIDING (HORIZONTAL)
 S7 STONE VENEER
 T TRIM 200mm COVE SIDING
 AF ALUMINUM FASCIA
 AC ALUMINUM FASCIA
 AC ALUMINUM FASCIA
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 10"
 PCH8 PRECAST BIAND
 VS VINN'L SHAKES
 VC SIDING (VERTICAL CORNER)
 KC KAYCAN WOOD SIDING 7,1" LAP KC - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

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4 BEDROOM

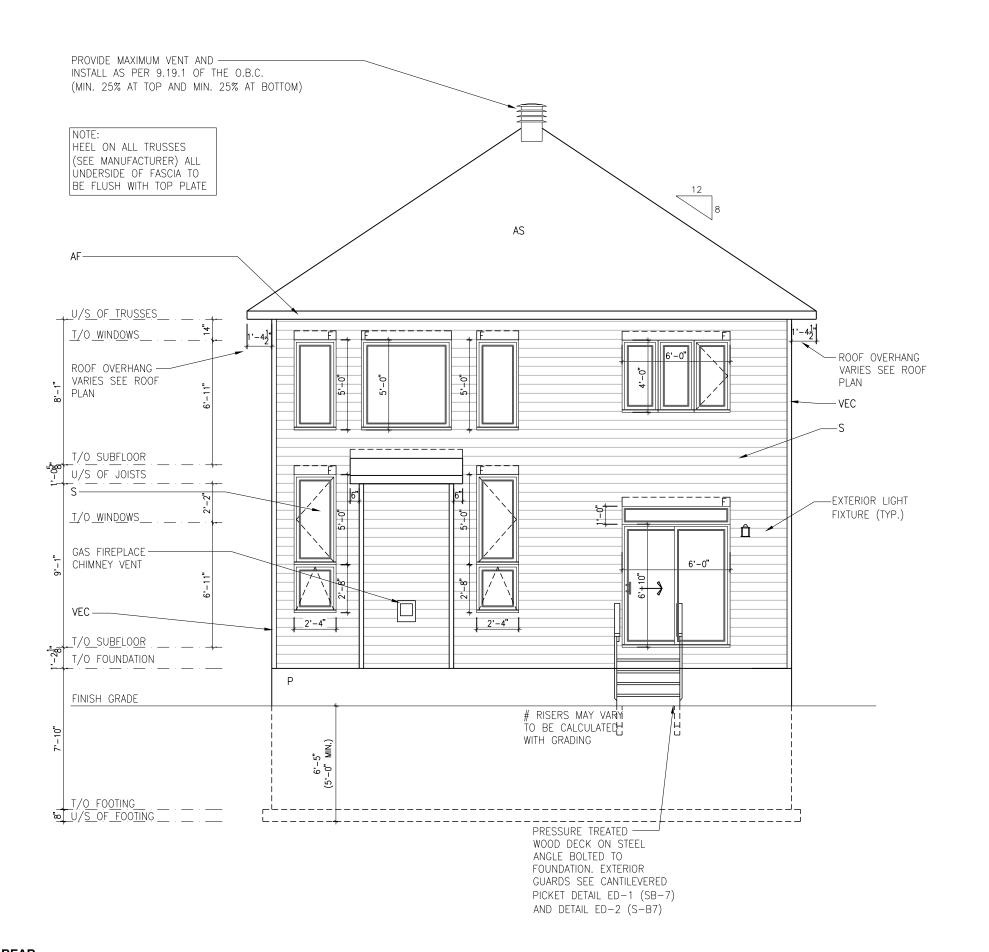
ELEVATION A - REAR SCALE: 3/16" = 1'-0"

826 - THE BRADLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A4a

XX/XX/XXXX





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 + 20mm PROUD
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 B4 STACK BOND (ACCENT)
 B5 BRICK SILL (ACCENT)
 B6 BRICK SILL (ACCENT)
 B7 BRICK CORBELLING
 B8 BRICK CORBELLING
 B8 BRICK CORBELLING
 S8 BRICK CORBELLING
 S9 BRICK 20mm PROUD
 +20 BRICK 20mm PROUD
 +20 BRICK 20mm PROUD
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 S7 SIDING (HORIZONTAL)
 S7 STONE VENEER
 T TRIM 200mm COVE SIDING
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 P PARGING
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 PC PARGING
 PCH10 PRECAST HEADER 10"
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2012 O.B.C. DRAWINGS

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3 BEDROOM

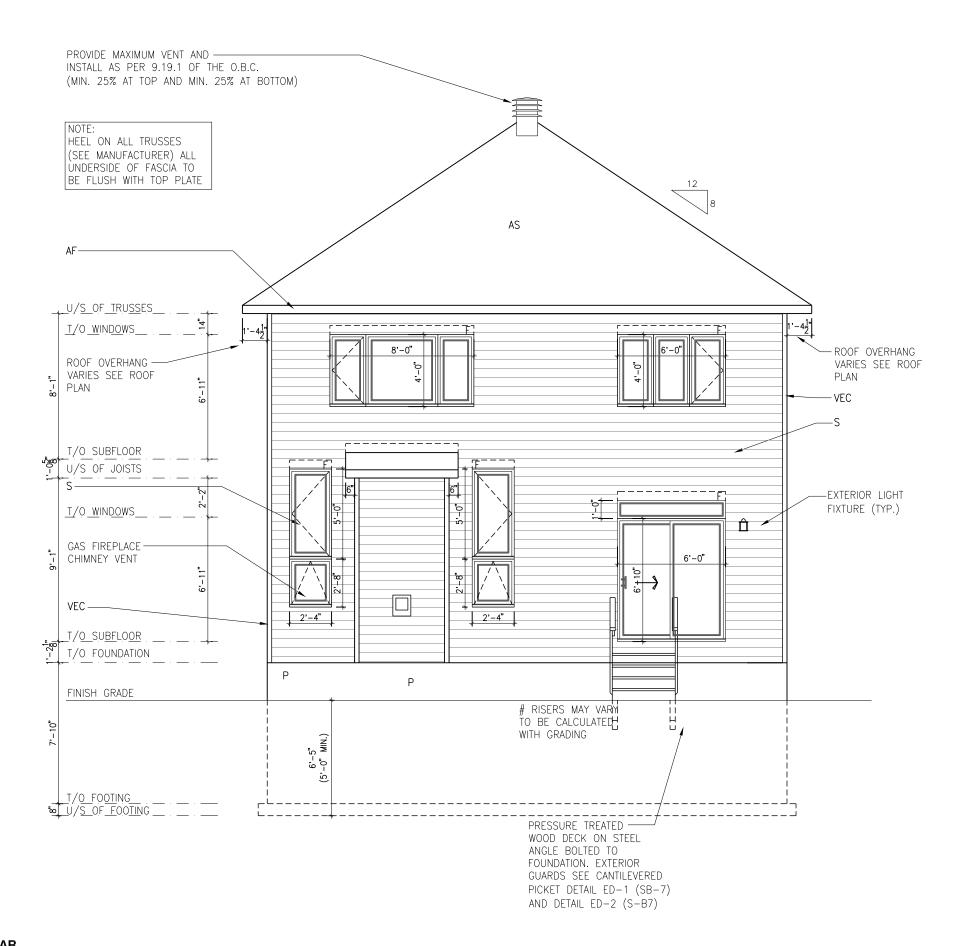
ELEVATION B - REAR SCALE: 3/16" = 1'-0"

826 - THE BRADLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A4b

XX/XX/XXXX





PERSONAL BCIN #19896
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B4 - STACK BOND (ACCENT)
B5 - BRICK SILE (ACCENT)
B6 - BRICK SILE (ACCENT)
B7 - BRICK CORRELLING
B8 - BRICK CORRELLING
B8 - BRICK CONING 20mm PROUD
+20 - BRICK 20mm PROUD
+20 - BRICK 20mm RECESSED
S - SIDING (HORIZONTAL)
SV - SIDING (HORIZONTAL)
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SV - SIDING (HORIZONTAL)
ST - STONG VENEER
T - TRIM 200mm COVE SIDING
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AC - ALUMINUM CLADDING
AB - 48" ALUMINUM BAND
AS - ASPHALT SHINGLES
F - FLASHING
V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING
PC - PARGING
PC - PARGING
PC - PECAST IHEADER 10"
PCHB - PRECAST BAND
VS - SIDING (VERTICAL CORNER)
KC - KAYCAN WOOD SIDING - 7,1" LAP

KC - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

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4 BEDROOM **ELEVATION B - REAR**

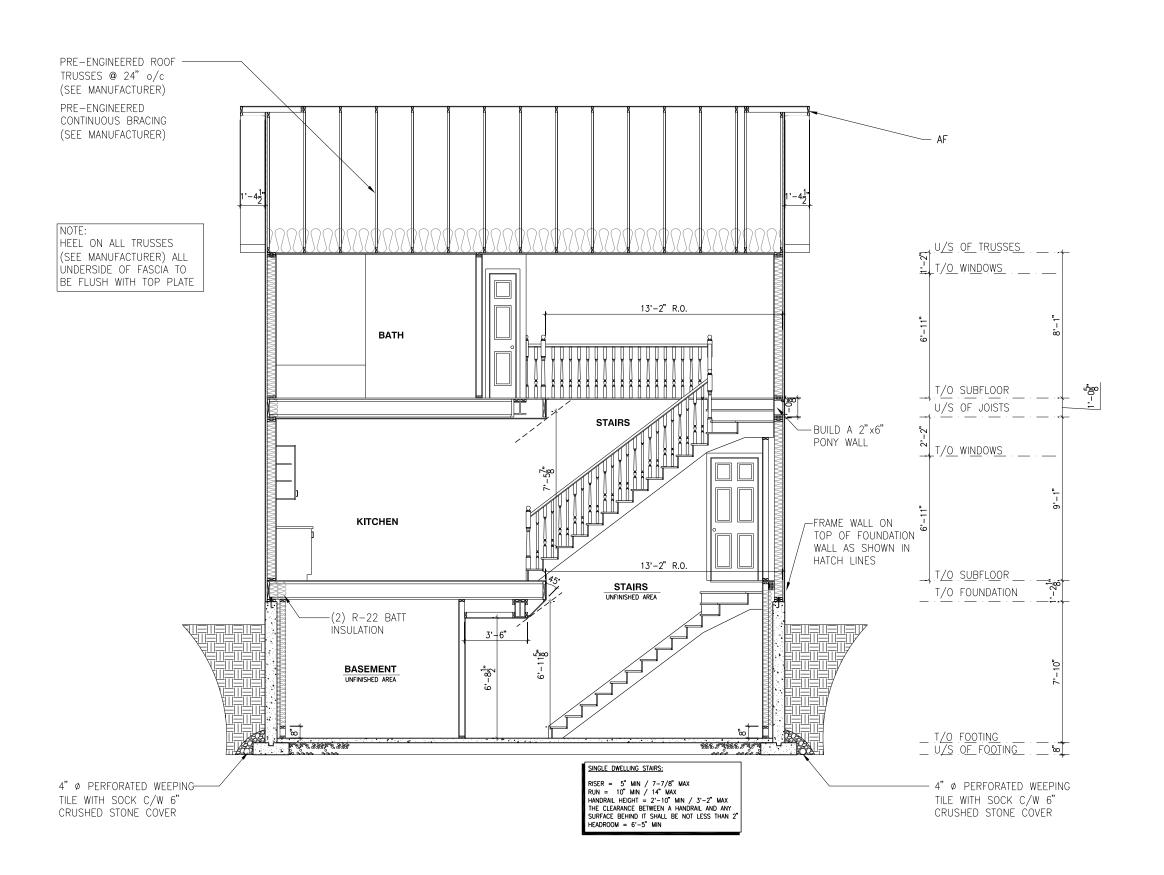
SCALE: 3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A4b

SHEET



BUILDING SECTION - 3 AND 4 BEDROOM - ELEVATION A-B

LOT: **XXXX** DATE: XX/XX/XXXX



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B5 - BRICK SILE (ACCENT)
B6 - BRICK CORE (ACCENT)
B7 - BRICK CORELLING
B8 - BRICK CORBELLING
B8 - BRICK CORBELLING
COUNTY COMM PROUD
-20 - BRICK 20mm PROUD
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RAWING: BUILDING SECTION - 3 AND **4 BEDROOM - ELEVATION A-B**

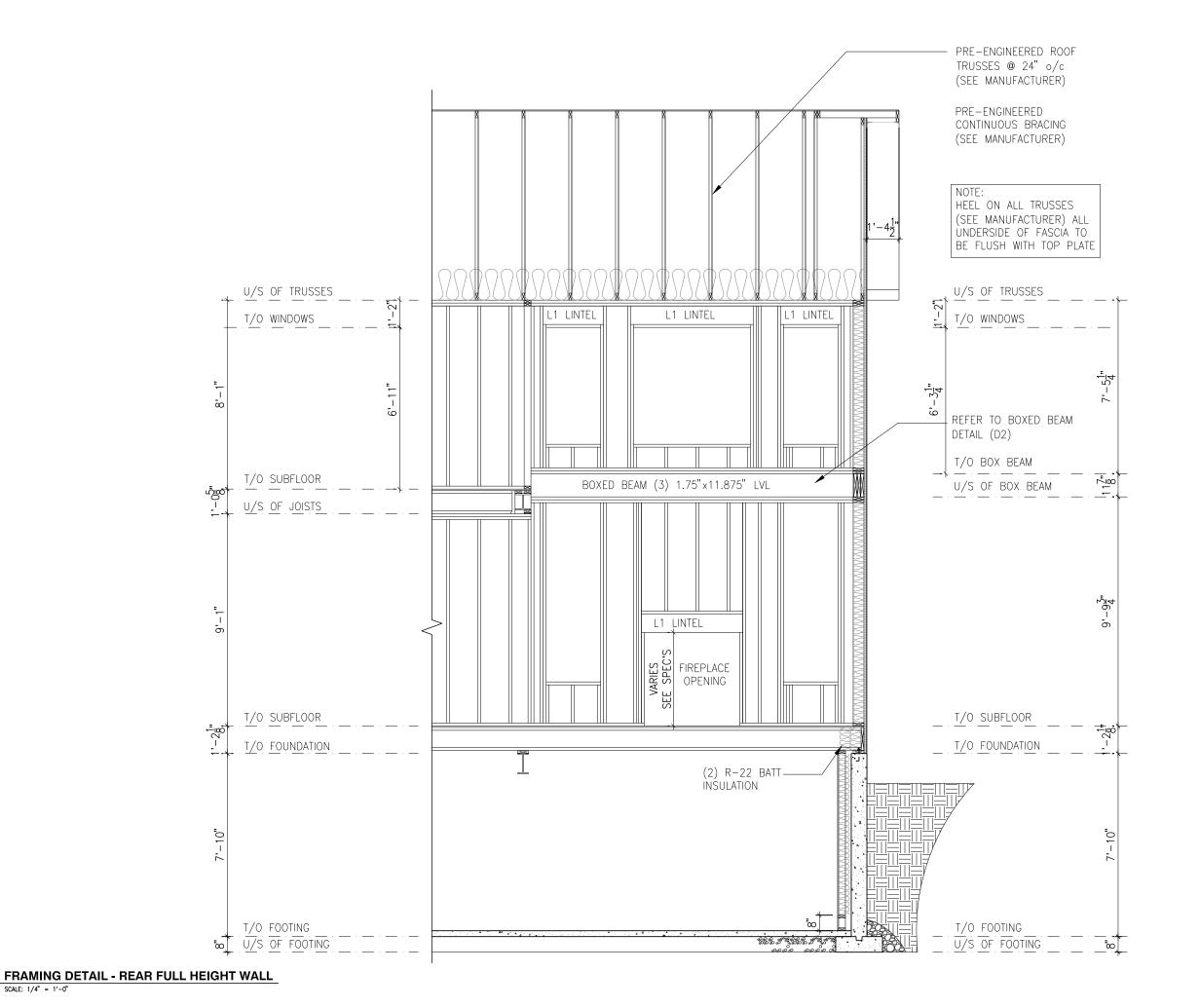
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826 - THE BRADLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A5a

SHEET



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PC - PARGING
PC - PARGING
PC - PARGING
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PCHB - PRECAST BAND
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| NO | DESCRIPTION | DATE | RY |

REAR WALL DETAIL

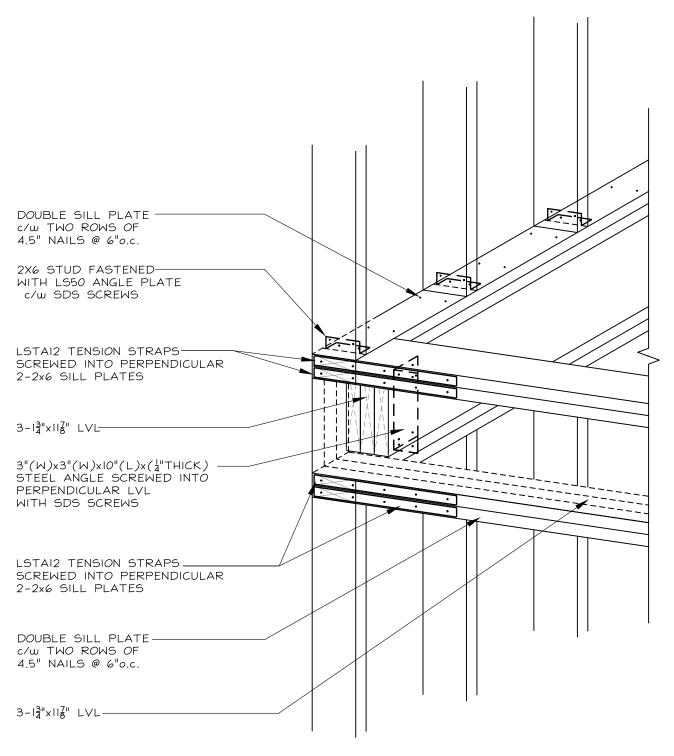
SCALE: 3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2020 FOOTPRINT

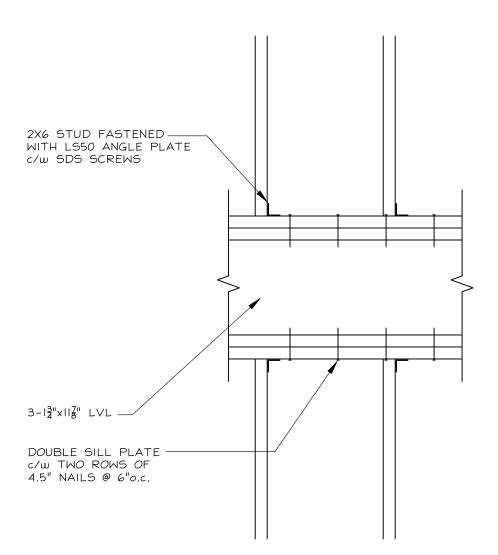
(STANDARD DRAWINGS)

SHEET

D1



BOX BEAM AT CORNER SCALE: 1/2" = 1'-0"



BOX BEAM PARTIAL ELEVATION

SCALE: 1/2" = 1'-0"

BOX BEAM FRAMING DETAIL - REAR FULL HEIGHT WALL

2020 FOOTPRINT (STANDARD DRAWINGS)

826 - THE BRADLEY

REV-2 STRUCTURAL REVISION #1

NO. DESCRIPTION

SHEET **D2**

XX/XX/XXXX

09/14/2018 VH

DATE

LOT:

DOCUMENT

XXXX XX/XX/XXXX

Homes (2019) Limited

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PC - PARGING
PC - PARGING
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2012 O.B.C. DRAWINGS

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REV-1 NEW STANDARD DRWG MODIFICATION 06/20/2018 DOYON

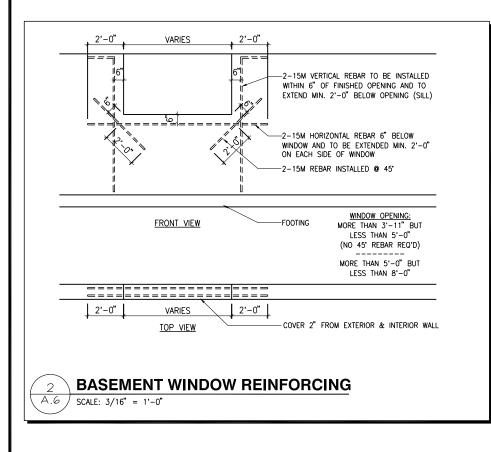
BOX BEAM FRAMING DETAIL

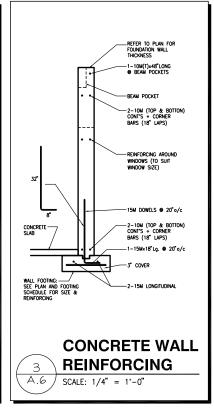
SCALE: 3/16" = 1'-0"

- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611



| | | FOOTING S | SCHEDULE | | |
|---------------|-------------------------------------|--|--|--|---|
| | ALLOWABLE SOIL BEARING C | APACITY / BEARING RESISTANCE | AT SLS FOR «SITE CLASS:D» | | |
| WALL FOOTINGS | 100KPa | 85KPa | 75KPa | 60KPa | 40KPa |
| WF1 | 30"x8" DP. 2-15M(B) LONG. | 36"x8" DP. 15M(B)x32"Lg ❷ 20" o/c 3-15M(B) LONG. | 40"x8" DP. 15M(B)x36"Lg | 48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3−15M(B) LONG. | 72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG. |
| WF2 | 28"x8" DP. 2-15M(B) LONG. | 34"x8" DP. 2-15M(B) LONG. | 38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3−15M(B) LONG. | 46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG. | 70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG. |
| WF3 | 26"x8" DP. 2-15M(B) LONG. | 30"x8" DP. 2-15M(B) LONG. | 34"x8" DP. 2-15M(B) LONG. | 42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG. | 64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG. |
| WF4 | 24"x8" DP. 2-15M(B) LONG. | 28"x8" DP. 2-15M(B) LONG. | 32"x8" DP. 2-15M(B) LONG. | 38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG. | 58"x10" DP. 15M(B)x52"Lg @ 16" o/o 4-15M(B) LONG. |
| WF5 | 24"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 26"x8" DP. 2-15M(B) LONG. | 34"x8" DP. 2-15M(B) LONG. | 52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG. |
| WF6 | 24"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 30"x8" DP. 2-15M(B) LONG. | 46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG. |
| WF7 | 20"x8" DP. 2-15M(B) LONG. | 20"x8" DP. 2-15M(B) LONG. | 20"x8" DP. 2-15M(B) LONG. | 24"x8" DP. 2-15M(B) LONG. | 36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG. |
| | P. | AD FOOTING SCHEDU | -E | • | |
| | ALLOWABLE SOIL BEARING C | APACITY / BEARING RESISTANCE | AT SLS FOR «SITE CLASS:D» | | |
| WALL FOOTINGS | 100KPa | 85KPa | 75KPa | 60KPa | 40KPa |
| F1 | 52"x52"x10" w/ 4-15M 46" LG. e/w | 56"x56"x12" w/ 5-15M 50" LG. e/w | 60"x60"x12" w/ 5-15M 54" LG. e/w | 68"x68"x12" w/ 6-15M 62" LG. e/w | 78"x78"x12" w/ 7-15M 7 LG. e/w |
| F2 | 24"x24"x10" DP. | 24"x24"x10" DP. | 24"x24"x10" DP. | 28"x28"x12" DP. | 34"x34"x12" w/ 2-15M 2 LG. e/w |





- BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO L.M.F. AI DITHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- SHOULD HAVE 6% (±1%) AIR ENTRAINMENT

DATE: XX/XX/XXXX

XXXX

Homes (2019) Limited

Lanie Guerin Architectural Manager for Valecraft Homes (11D., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

LOT:

- TARION REGISTRATION NUMBER #611

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x20x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x130x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*) (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYON |
|-------|--------------------------------|------------|-------|
| NO. | DESCRIPTION | DATE | BY |

FOOTING TABLE & DETAILS

ADDRESS: SCALE: 3/16" = 1'-0"XX/XX/XXXX

826 - THE BRADLEY 2018 FOOTPRINT

A6

SHEET

NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- ${\sf -}$ Concrete footings must be placed on undisterbed or compacted soil to an elevation below frost penetration;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- Footings dimensions are based on the soil bearing capacity provided by the geotechnical engineer.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT.
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM. AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS

FLOOR FRAMING:

11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 16" o 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (REFER TO MANUFACTURER)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SINGLE DWELLING STAIRS:

HEADROOM = 6'-5" MIN

SURFACE BEHIND IT SHALL BE NOT LESS THAN :

RISER = 5" MIN / 7-7/8" MAX DATE: RUN = 10" MIN / 14" MAX HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX THE CLEARANCE BETWEEN A HANDRAIL AND ANY

Homes (2019) Limited

XXXX

XX/XX/XXXX

I, <u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

LOT:

- TARION REGISTRATION NUMBER #611
- .. SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

This drawing is to be used in conjunction with schedule B-1A and any 680's and May show only some of the Change Detailed on that document, should the drawings not show All ITEMS Contained on a schedule or Miss other ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-2x6
P3 = 3-2x4 OR 3-2x6

S7 = L 150x100x10 (8" BEARING)

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)
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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION DATE

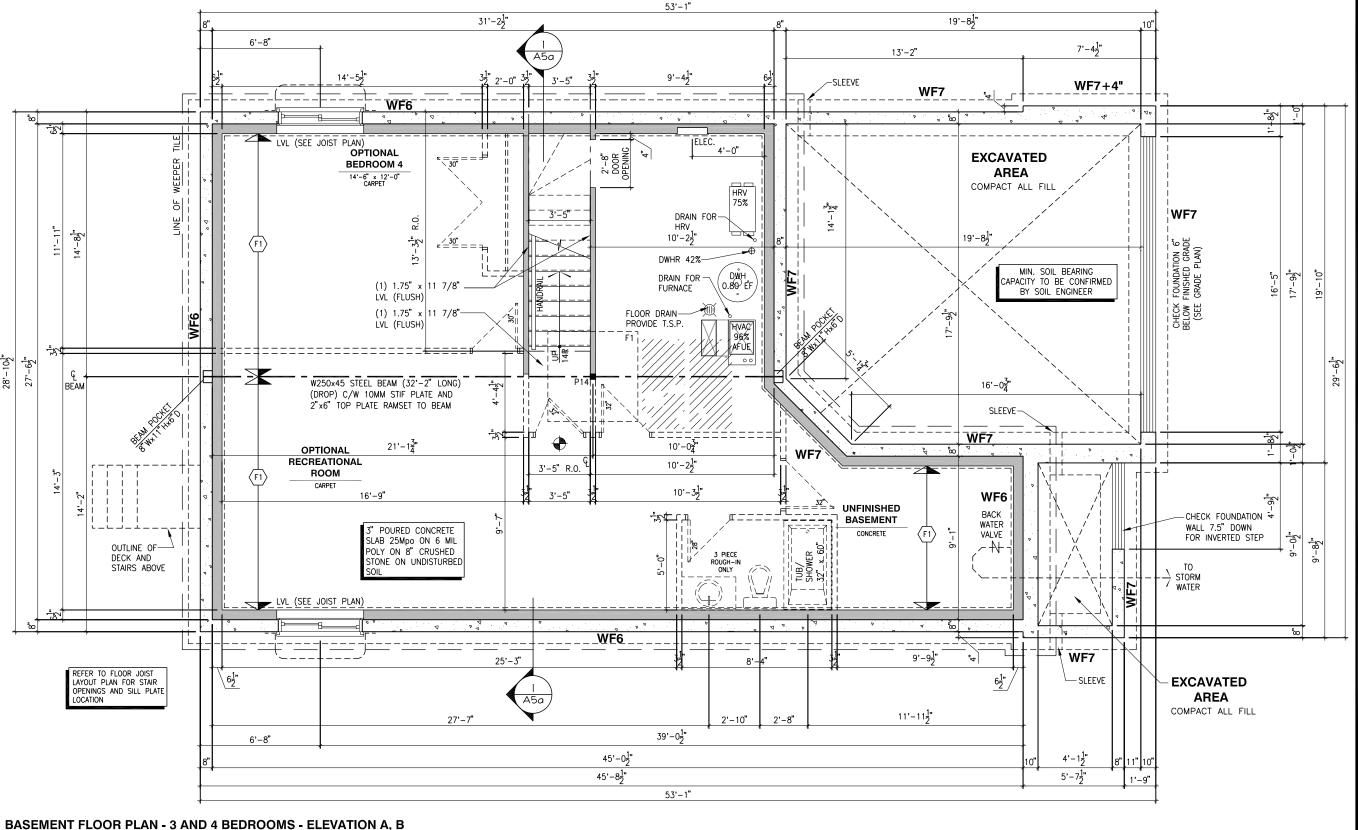
BASEMENT FLOOR PLAN 3 AND 4 BED. - ELEV. A, B

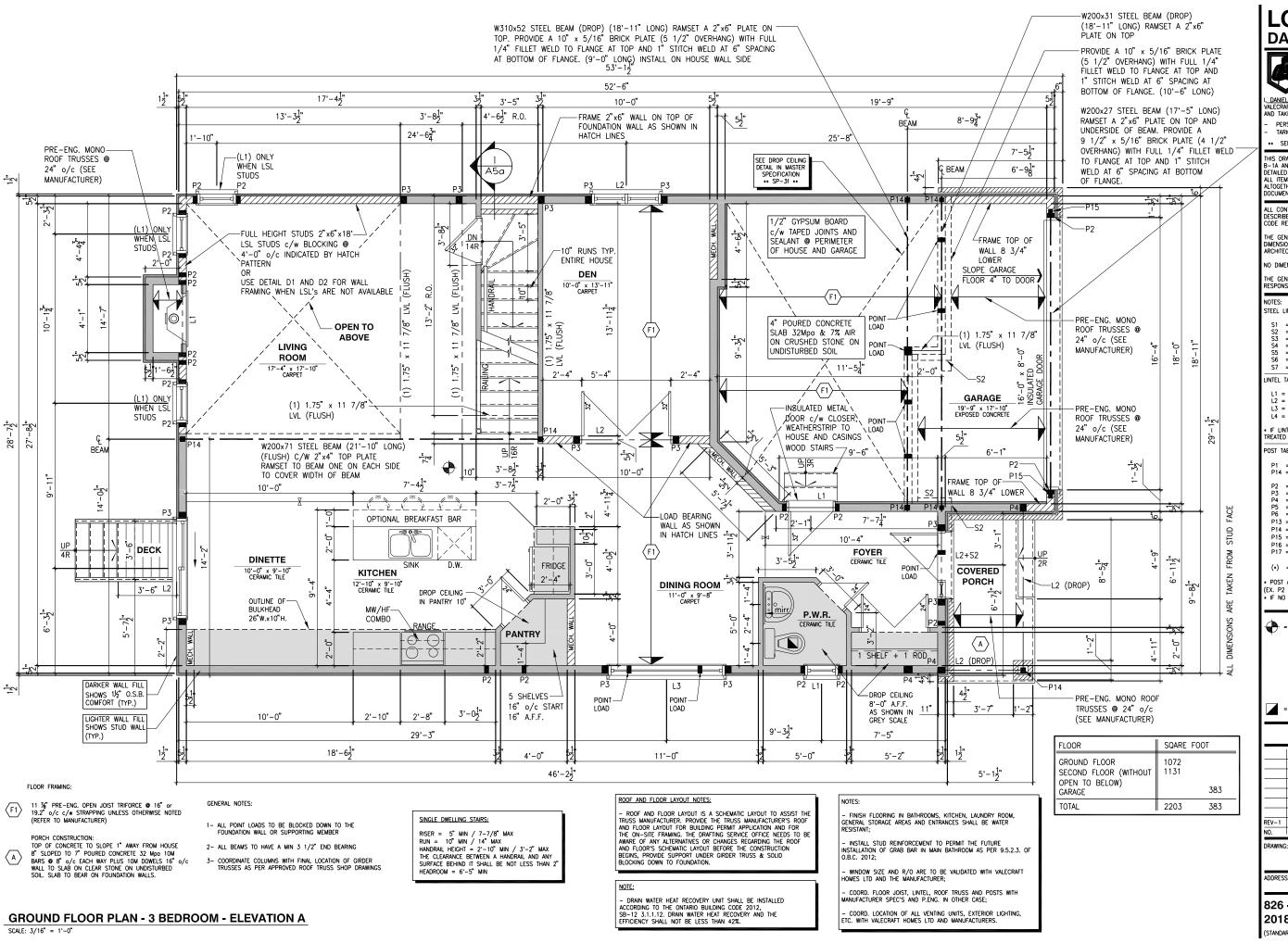
3/16" = 1'-0"

826 - THE BRADLEY 2018 FOOTPRINT

SHEET A6a (STANDARD DRAWINGS)

XX/XX/XXXX





LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited <u>Daniel Guerin</u>, architectural Manager for Alecraft Homes Ltd., have reviewed the following documents ND take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE - 1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 S7 = L 150x100x10 (8" BEARING) INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP = 2-2x4 OR 2-2x6 = 3-2x4 OR 3-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED) * POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2" = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION

GROUND FLOOR PLAN 3 BEDROOM - ELEV. A

3/16" = 1'-0"

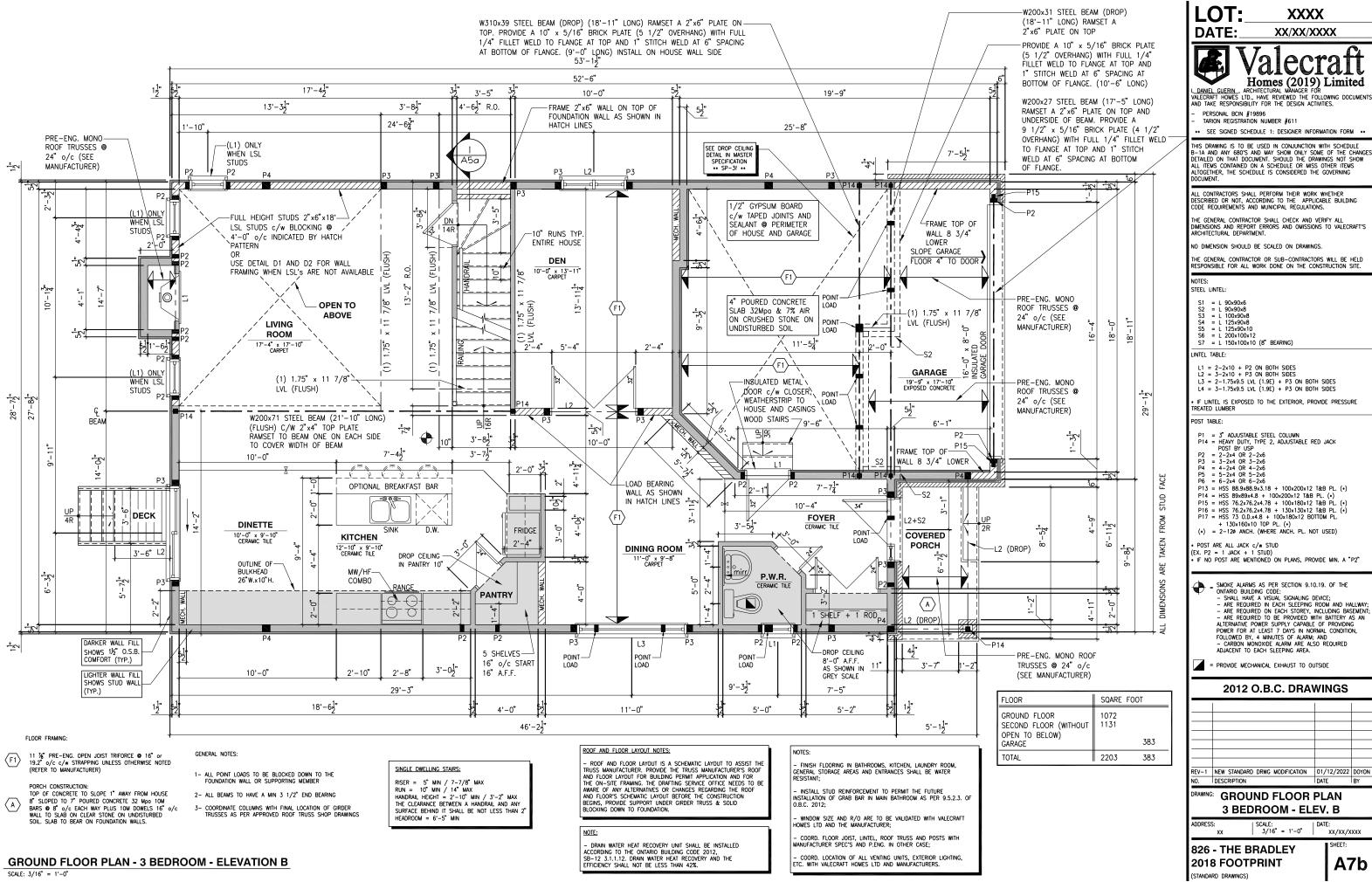
826 - THE BRADLEY

2018 FOOTPRINT

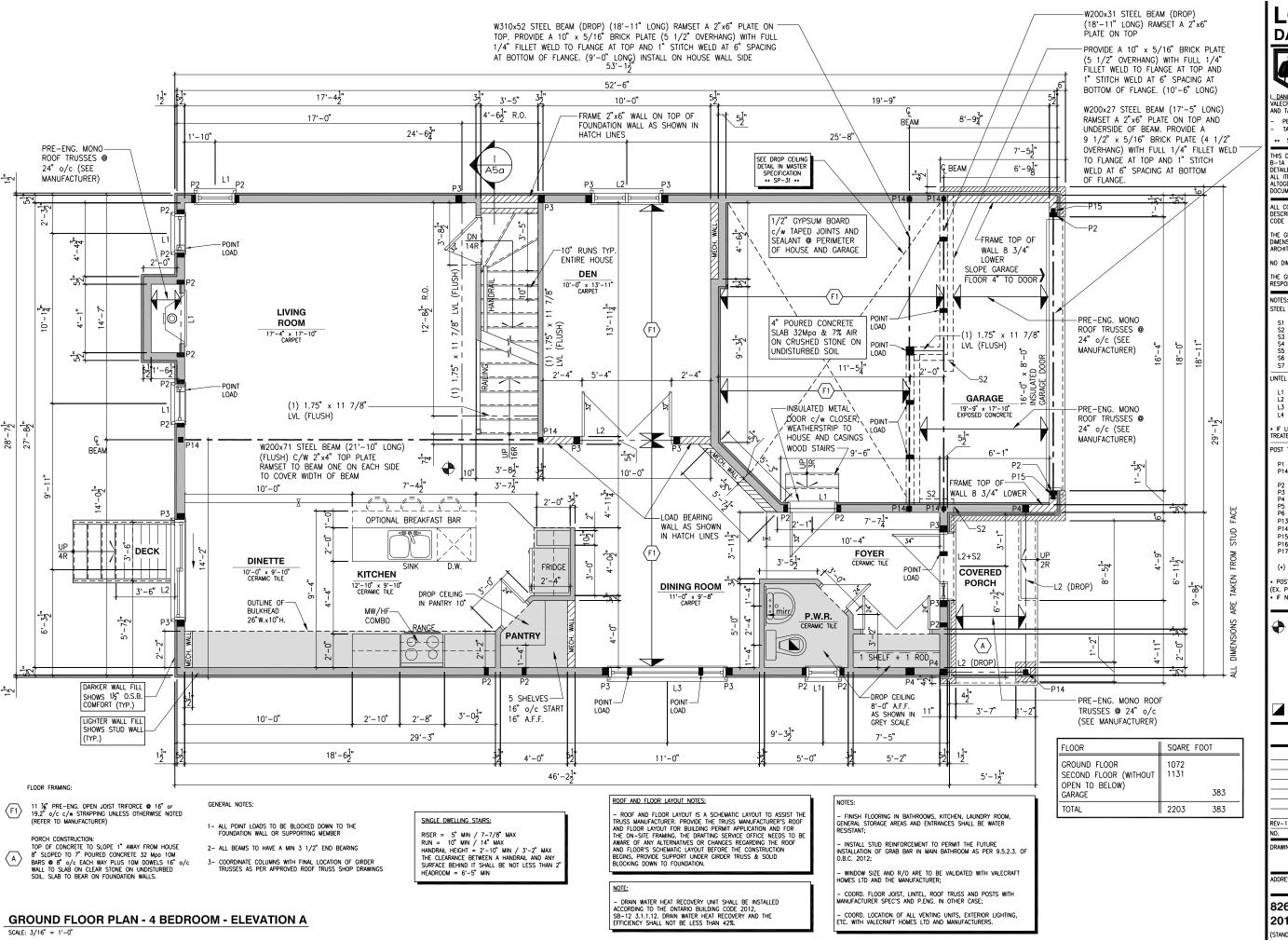
A7a

XX/XX/XXXX

SHEET



A7b



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited <u>DANIEL QUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE -1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 S7 = L 150x100x10 (8" BEARING) INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
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REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION

GROUND FLOOR PLAN

4 BEDROOM - ELEV. A

3/16" = 1'-0"

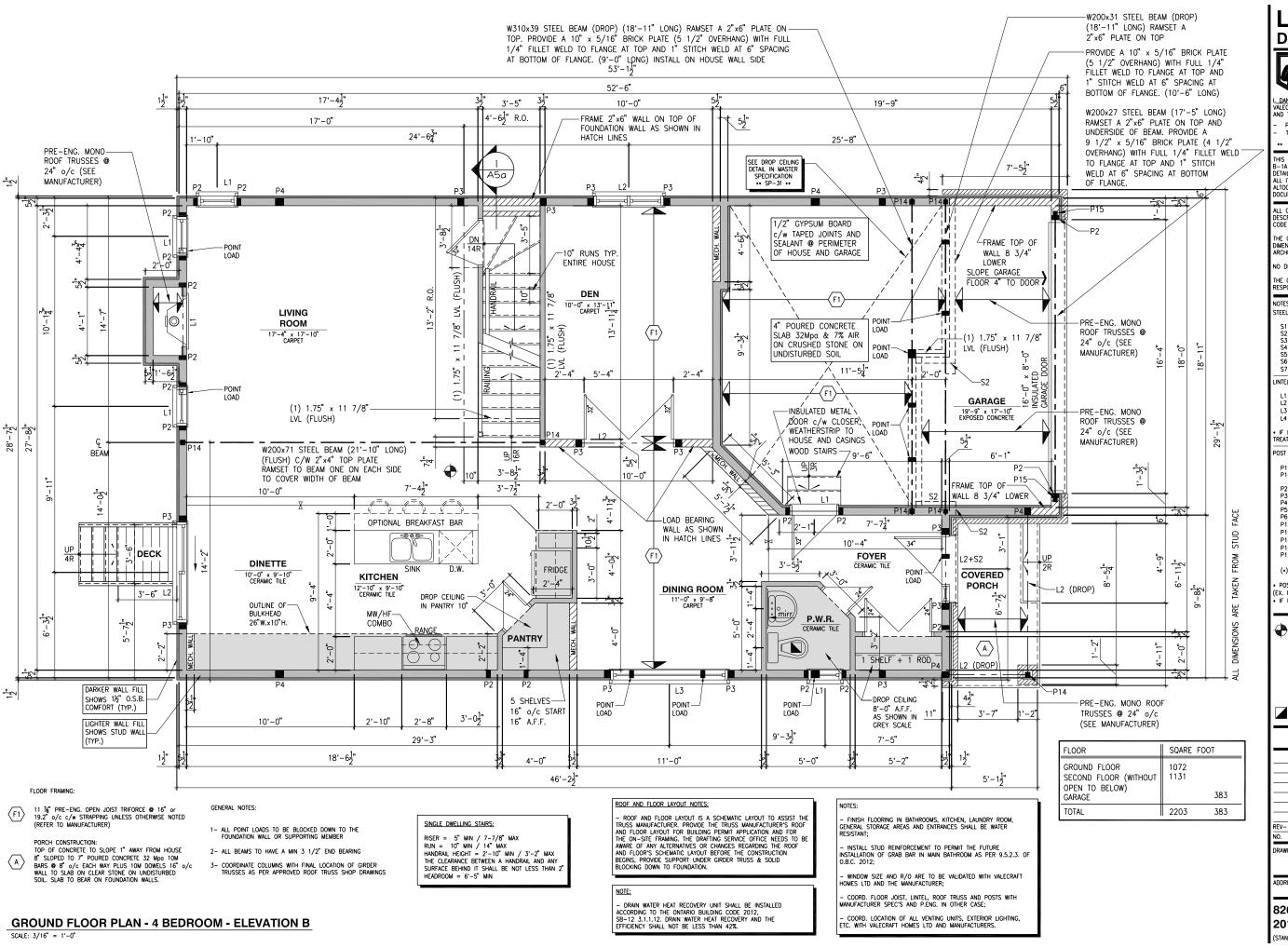
826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

A7c

XX/XX/XXXX

SHEET



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited <u>DANIEL QUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE -1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 S7 = L 150x100x10 (8" BEARING) INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
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| REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYN NO. DESCRIPTION DATE BY | | 2012 OIBIOI BILIA | ****** | |
|--|-----|---------------------------------|------------|------|
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| | | NEW CTANDARD DRIVE MODIFICATION | 01/12/2022 | DOVO |
| NO. I DESCRIPTION I DATE I BY | | | | |
| | NO. | DESCRIPTION | I DATE | l BY |

RAWING: GROUND FLOOR PLAN

4 BEDROOM - ELEV. B 3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY

SHEET A7d 2018 FOOTPRINT

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX RIN = 10" MIN / 14" MAX

HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX

THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2

 $45'-11\frac{1}{2}$

NOTES:

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THI TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERINT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO B AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")

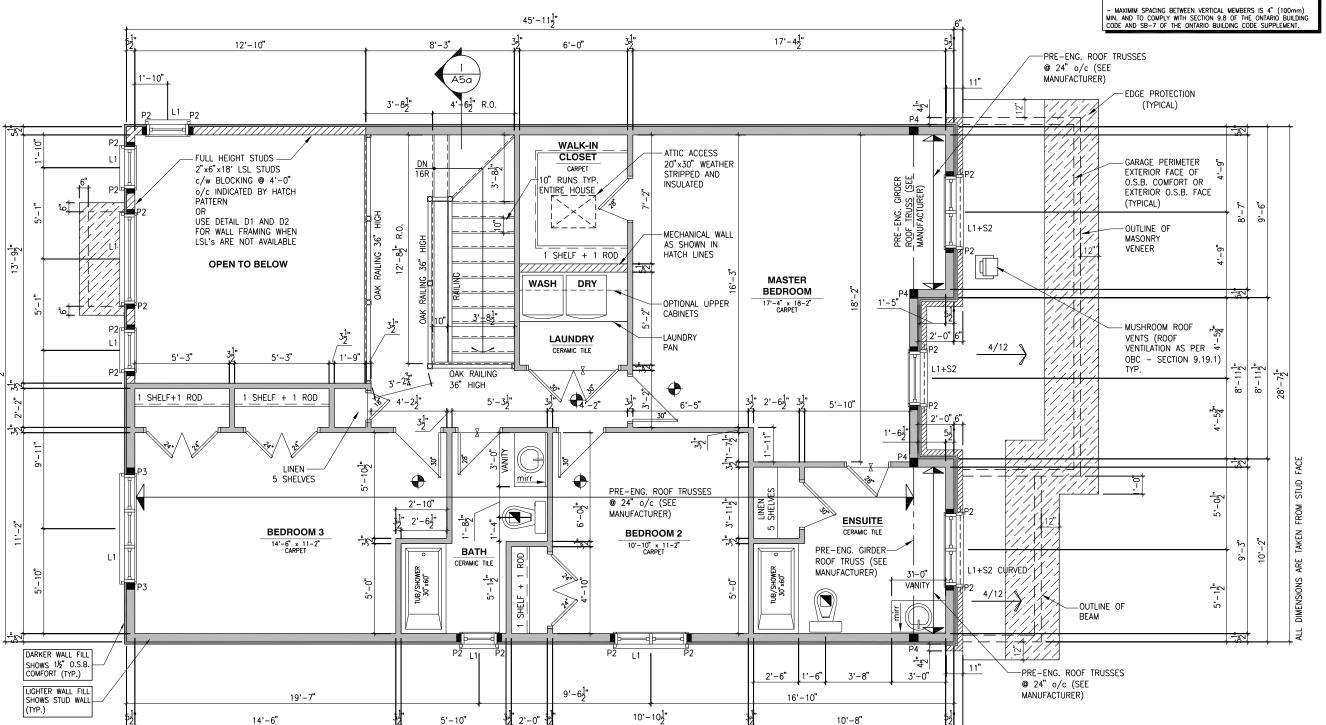
ANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" 070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") I



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION A

LOT: DATE:

XXXX XX/XX/XXXX



DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

DOCUMENT

TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 3-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE STAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL TIEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING ODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 S7 = L 150x100x10 (8" BEARING) INTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6

= 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x47.8 + 130x130x12 T&B PL. (*)
P17 = HSS 73 0.D.x4.8 + 100x180x12 B0TTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 SHALL HAVE A VISUAL SIGNALING DEVICE;
 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O B C DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

| REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYN NO. DESCRIPTION DATE BY | | 2012 OIBIOI BILIA | ****** | |
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| | | NEW CTANDARD DRIVE MODIFICATION | 01/12/2022 | DOVO |
| NO. I DESCRIPTION I DATE I BY | | | | |
| | NO. | DESCRIPTION | I DATE | l BY |

RAWING: SECOND FLOOR PLAN 3 BEDROOM - ELEVATION A

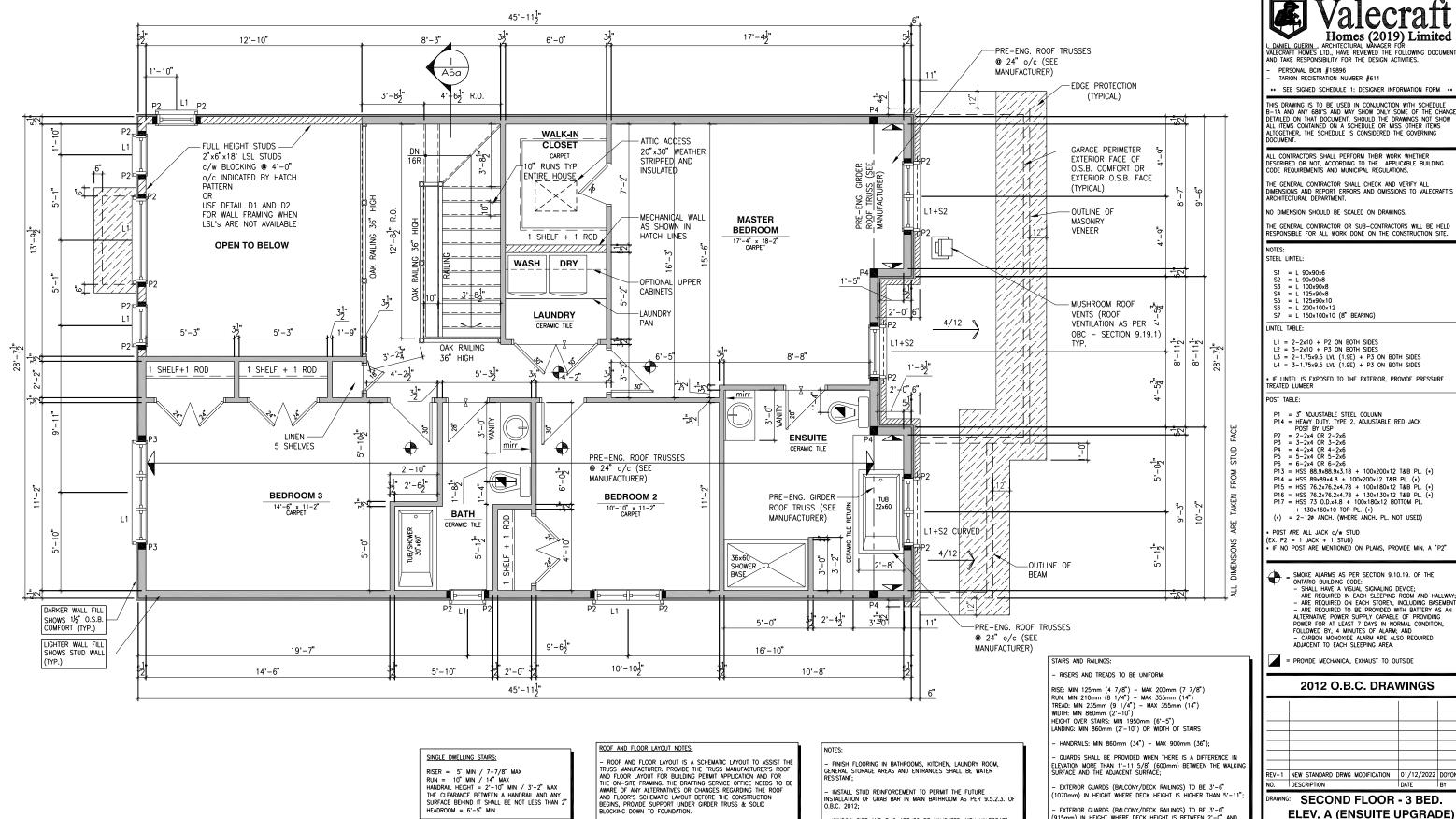
3/16" = 1'-0"

826 - THE BRADLEY 2018 FOOTPRINT

XX/XX/XXXX

A8a

SHEET



NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012.

SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE

EFFICIENCY SHALL NOT BE LESS THAN 42%.

LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited <u>DANIEL QUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS UND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE BETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150×100×10 (8" BEARING) INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-2x6
P3 = 3-2x4 OR 3-2x6 = 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED) POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2" = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA. = PROVIDE MECHANICAL EXHAUST TO OUTSIDE 2012 O.B.C. DRAWINGS

- 1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11"
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IF

- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

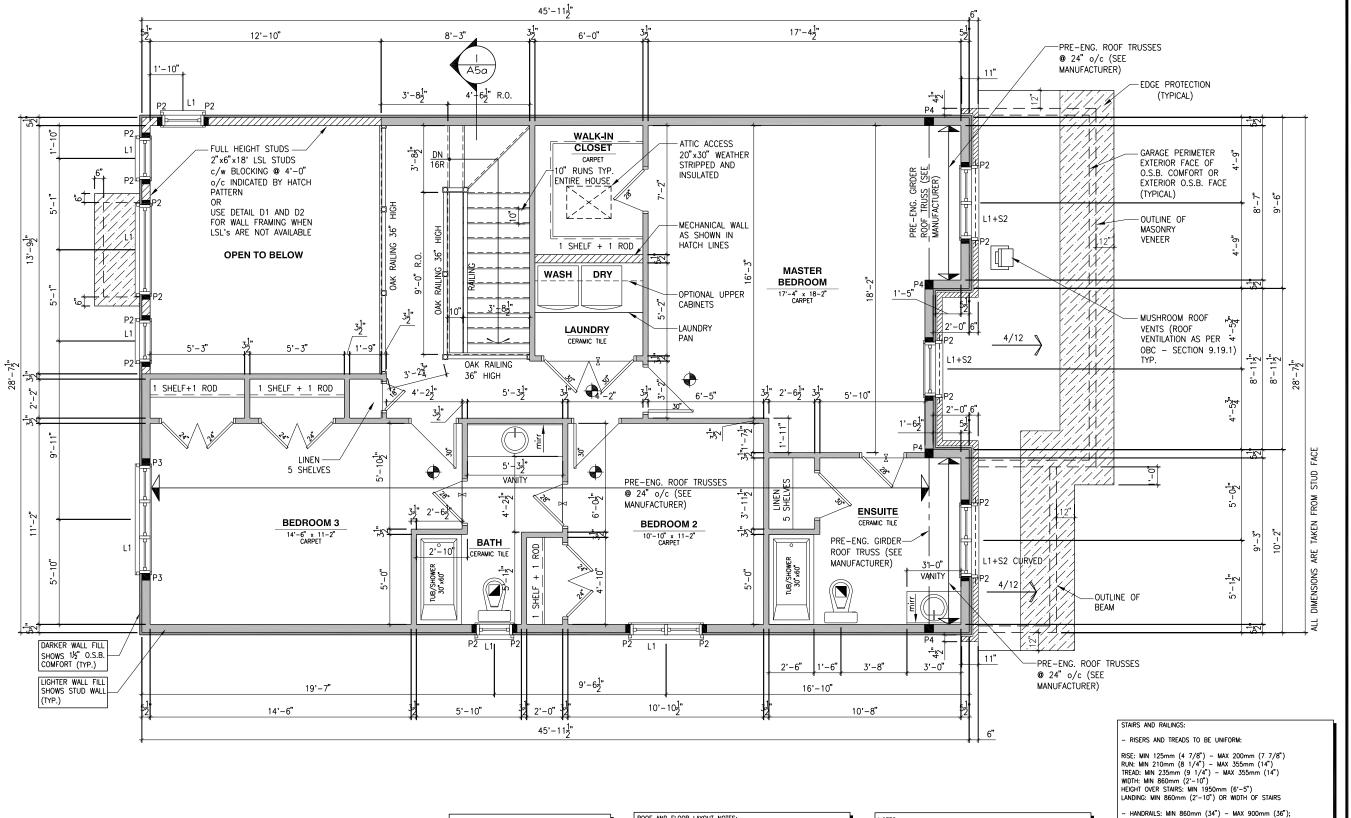
SECOND FLOOR - 3 BED.

ELEV. A (ENSUITE UPGRADE) 3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A8b



SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX RUN = 10" MIN / 14" MAX HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2'
HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012. SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL_STORAGE AREAS AND ENTRANCES SHALL BE WATER

INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

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EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IF

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GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN

ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11"

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6"

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

<u>DANIEL QUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS UND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE BETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD

| NOTES: | | | | | | | | |
|--------|--------|-------|-------|-----|-------|-----|--|--|
| STEEL | LINTEL | : | | | | | | |
| S1 | = L | 90×90 |)×6 | | | | | |
| S2 | = L | 90x90 | 0x8 | | | | | |
| S3 | = L | 100x9 | 8x06 | | | | | |
| S4 | = L | 125x9 | 8x06 | | | | | |
| S5 | = L | 125x9 | 0x10 | | | | | |
| S6 | = L | 200x1 | 00×12 | | | | | |
| S7 | = L | 150x1 | 00×10 | (8" | BEARI | NG) | | |

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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POST TABLE:

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POST BY USP

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= 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYON |
|-------|--------------------------------|------------|-------|
| NO. | DESCRIPTION | DATE | BY |

2012 O.B.C. DRAWINGS

SECOND FLOOR - 3 BED.

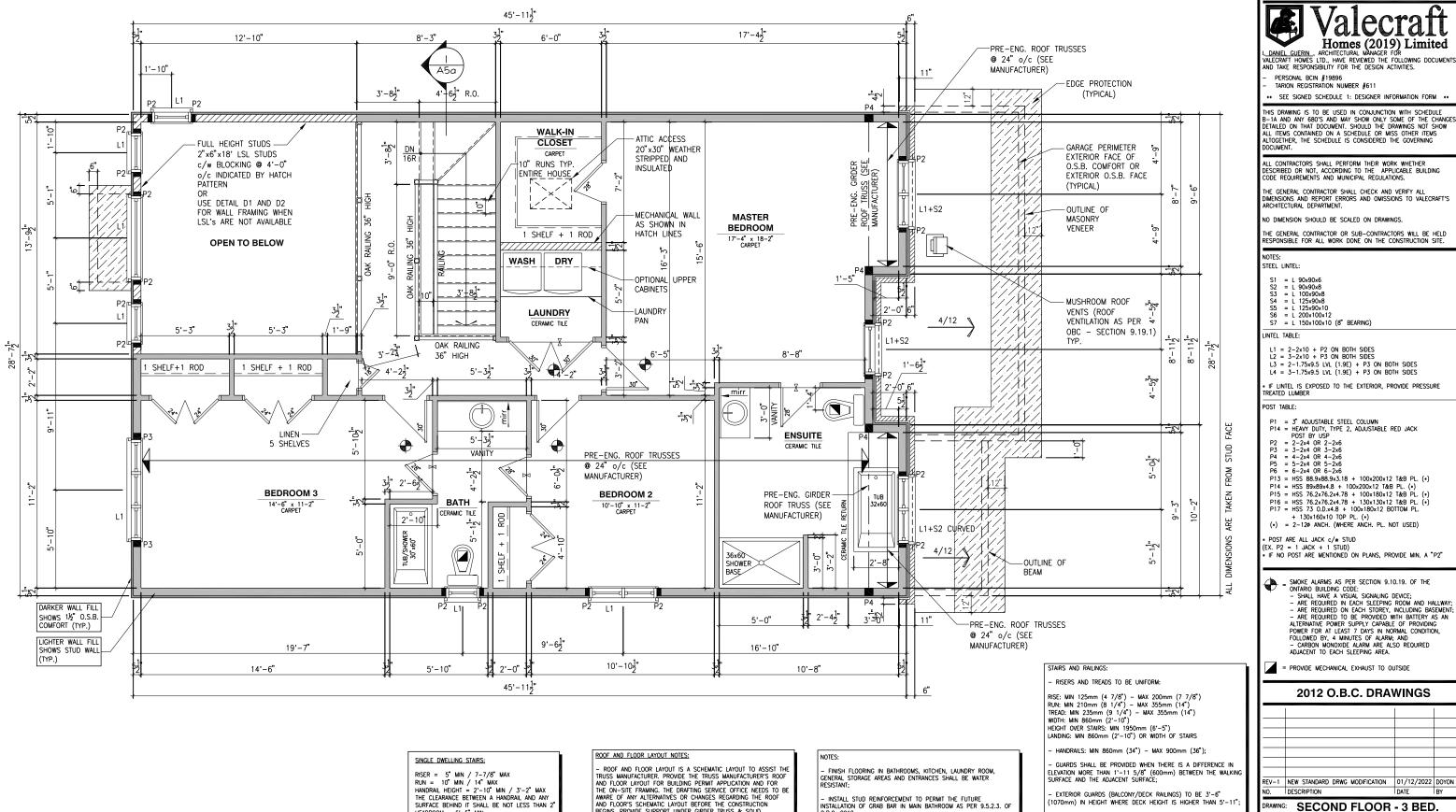
ELEV. A (JACK & JILL) 3/16" = 1'-0"

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A8c

XX/XX/XXXX



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION A (JACK & JILL + ENSUITE UPGRADE)

NOTE:

SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"

HEADROOM = 6'-5" MIN

DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012. SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

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TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

PERSONAL BCIN #19896

LOT:

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XX/XX/XXXX

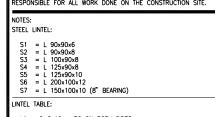
Homes (2019) Limited

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

 $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION

SECOND FLOOR - 3 BED. **ELEV. A (JACK & JILL + ENS)**

SHEET

A8d

3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0"

(915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IF

- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX RUN = 10" MIN / 14" MAX HANDRAIL HEIGHT = 27-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY
SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

NOTES:

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

INSTALL STUD REINFORCEMENT TO PERMIT THE FUTUR INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

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- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THI TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERINT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO B AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")

ANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" 070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11"

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN

– MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ODE REQUIREMENTS AND MUNICIPAL REGULATIONS. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

DOCUMENT

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

DATE:

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

XXXX

XX/XX/XXXX

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE -1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW

NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 S7 = L 150x100x10 (8" BEARING) INTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES • IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-244 OR 3-226

= 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

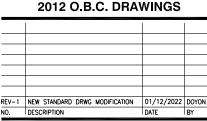
* POST ARE ALL JACK c/w STUD

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE



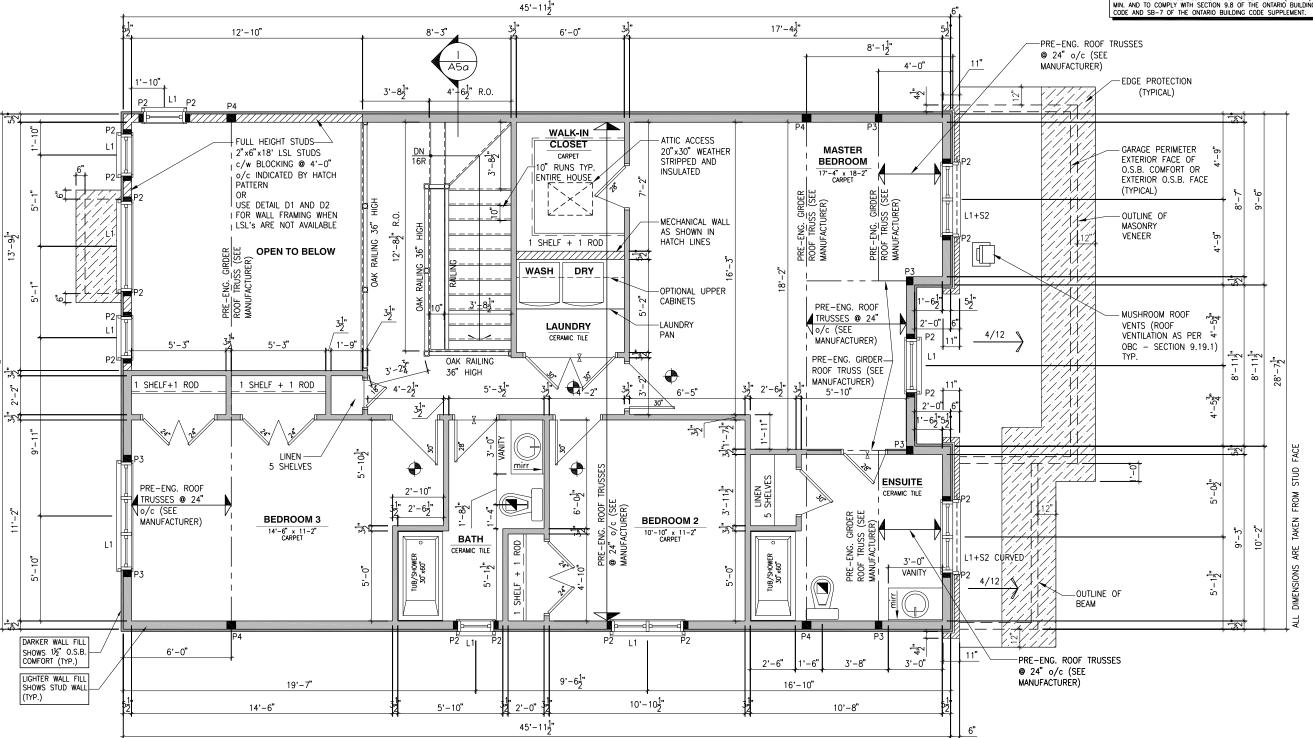
RAWING: SECOND FLOOR PLAN 3 BEDROOM - ELEVATION B

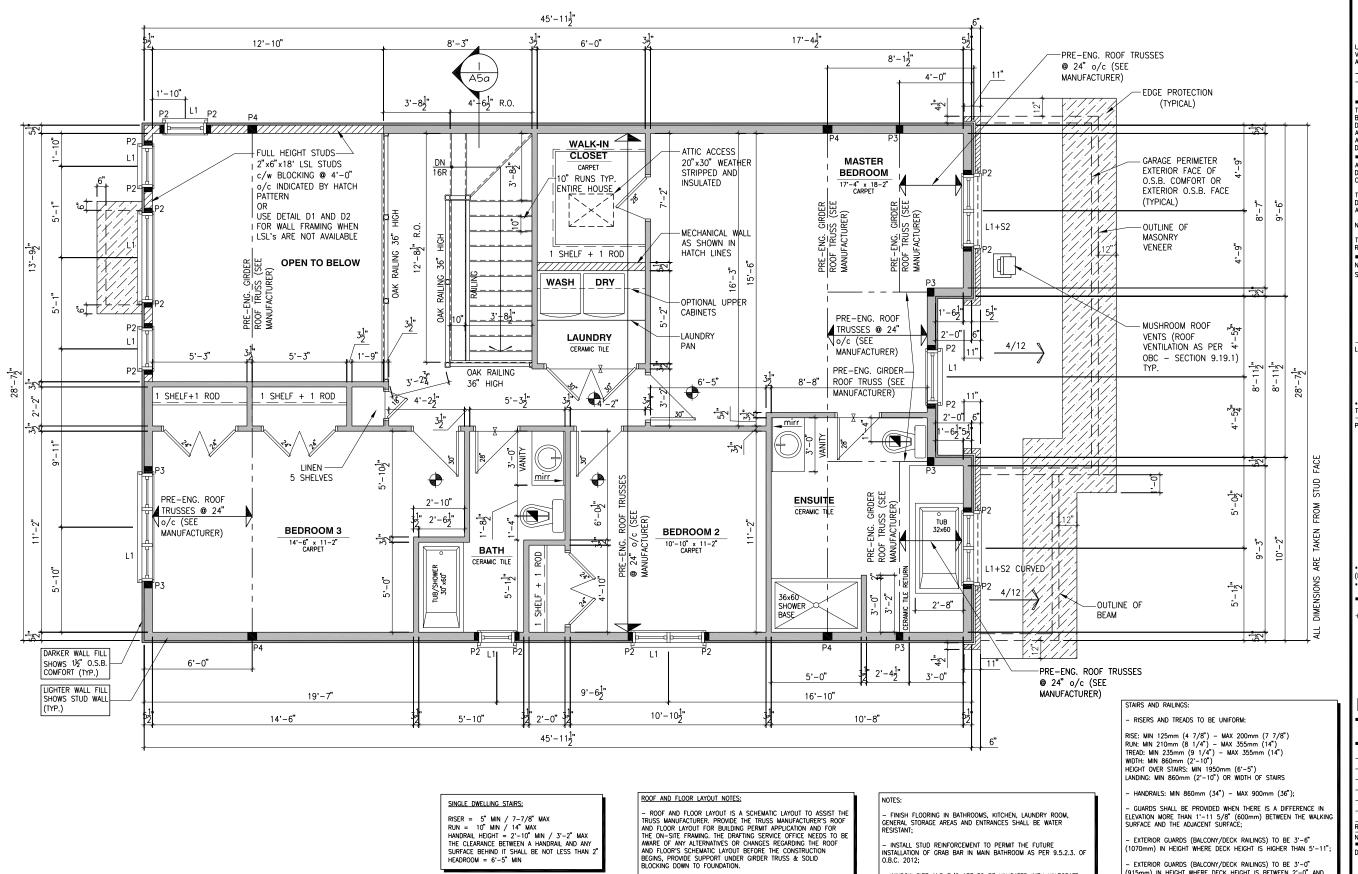
3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A8e





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NOTE:

DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012. SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

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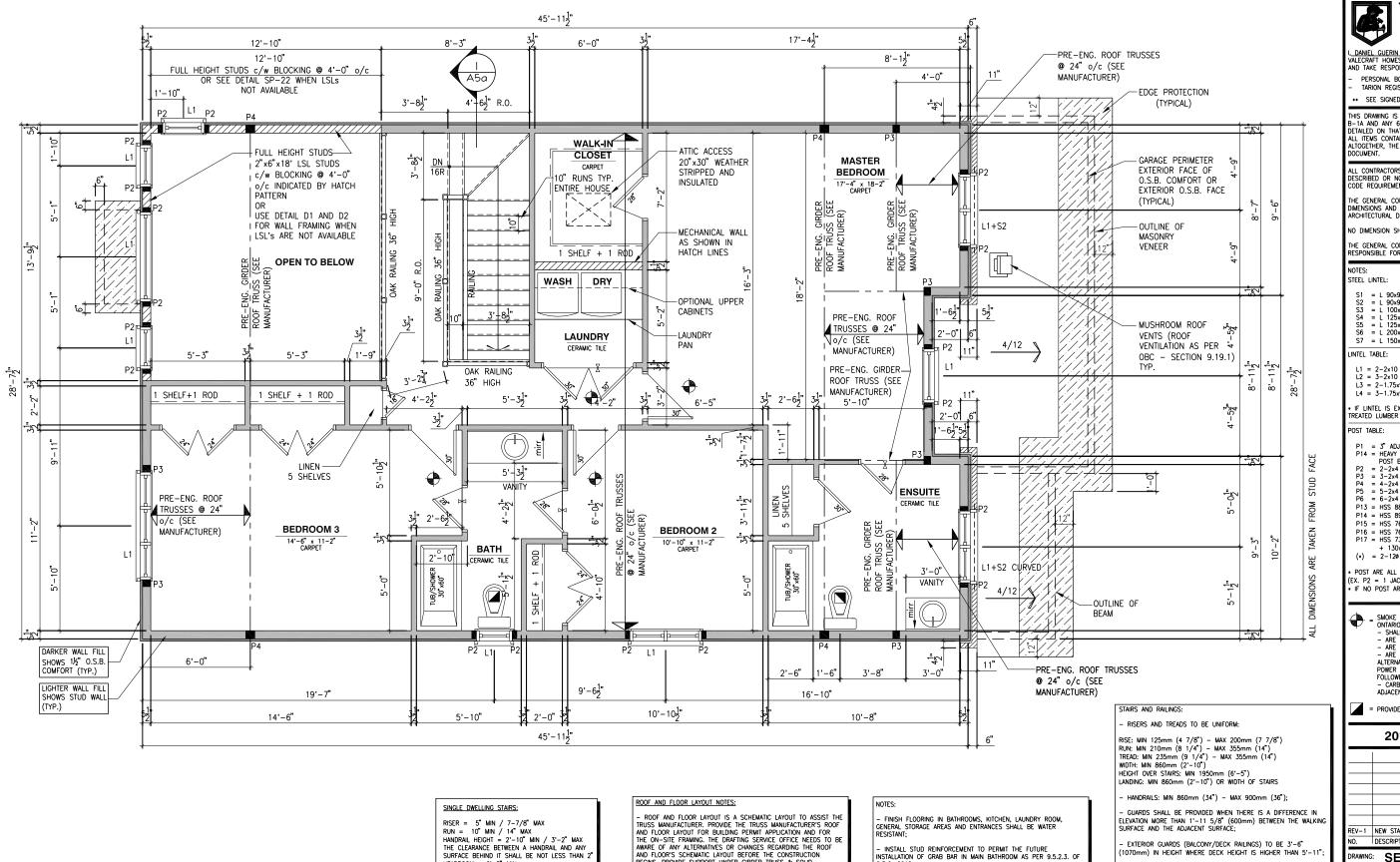
LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS

| ILLOI OF | ISIDEE TON ALE WORK DONE ON THE CONSTRUCTION SHE. |
|----------|---|
| NOTES: | |
| STEEL | LINTEL: |
| S1 | = L 90x90x6 |
| S2 | = L 90x90x8 |
| S3 | = L 100x90x8 |
| S4 | = L 125x90x8 |
| S5 | = L 125x90x10 |
| S6 | = L 200x100x12 |
| S7 | = L 150x100x10 (8" BEARING) |
| LINTEL | TABLE: |

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON



SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (JACK & JILL)

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LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

I<u>, Daniel Guerin</u>, architectural Manager för Valecraft Homes Ltd., have reviewed the following documents AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE BETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

POST TABLE:

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| 2012 O.B.C. DRAWINGS | | | |
|----------------------|--------------------------------|------------|-------|
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYON |
| NO. | DESCRIPTION | DATE | BY |

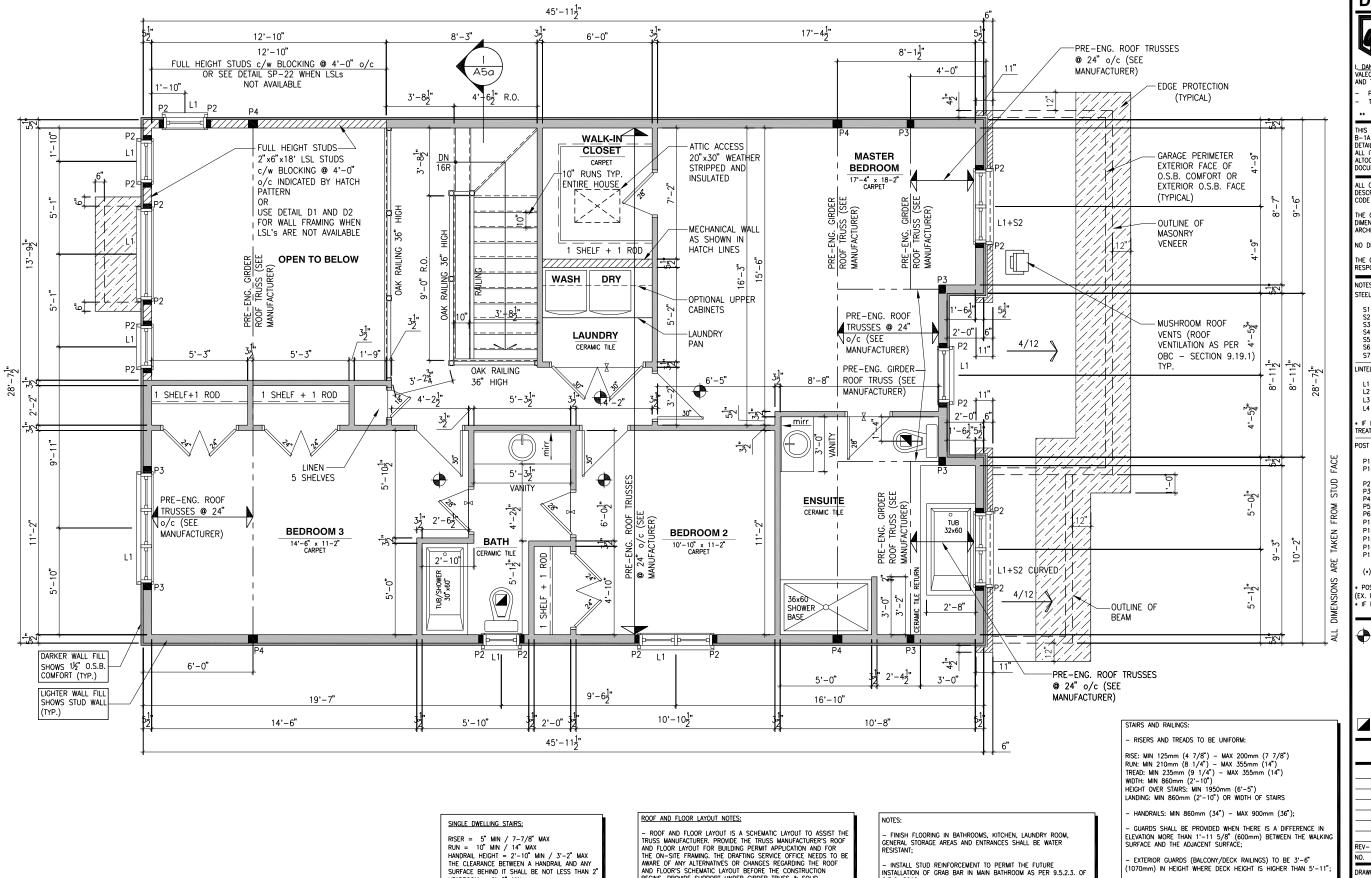
SECOND FLOOR - 3 BED.

ELEV. B (JACK AND JILL) 3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET



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LOT:

XXXX

SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (JACK & JILL + ENSUITE UPGRADE)

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NOTE:

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(915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IF

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX RUN = 10" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"

 $45' - 11\frac{1}{5}$

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

NOTES:

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STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

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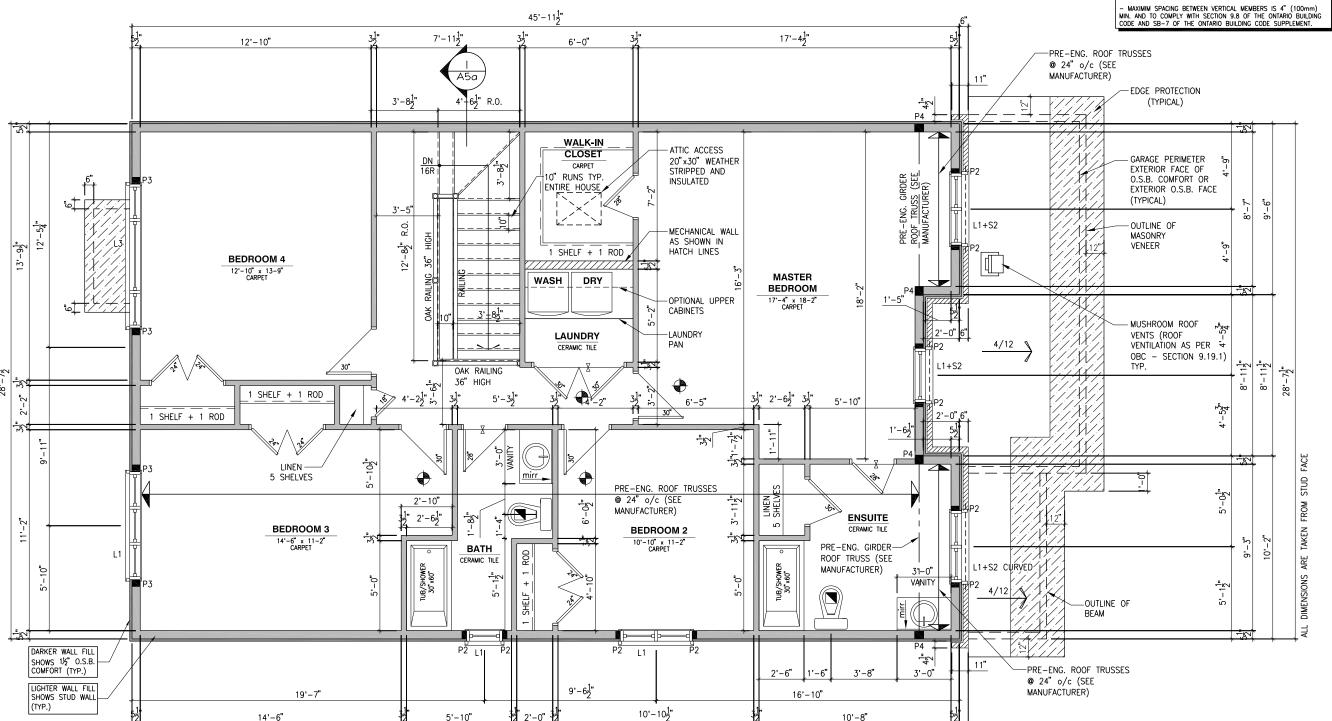
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SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: DATE:

XX/XX/XXXX

XXXX

Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

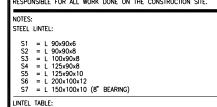
HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE 3-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE STAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL TIEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING ODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

 $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x47.8 + 130x130x12 T&B PL. (*)
P17 = HSS 73 0.D.x4.8 + 100x180x12 B0TTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYON |
|-------|--------------------------------|------------|-------|
| NO. | DESCRIPTION | DATE | BY |
| | | | |

AWING: SECOND FLOOR PLAN 4 BEDROOM - ELEVATION A

3/16" = 1'-0"

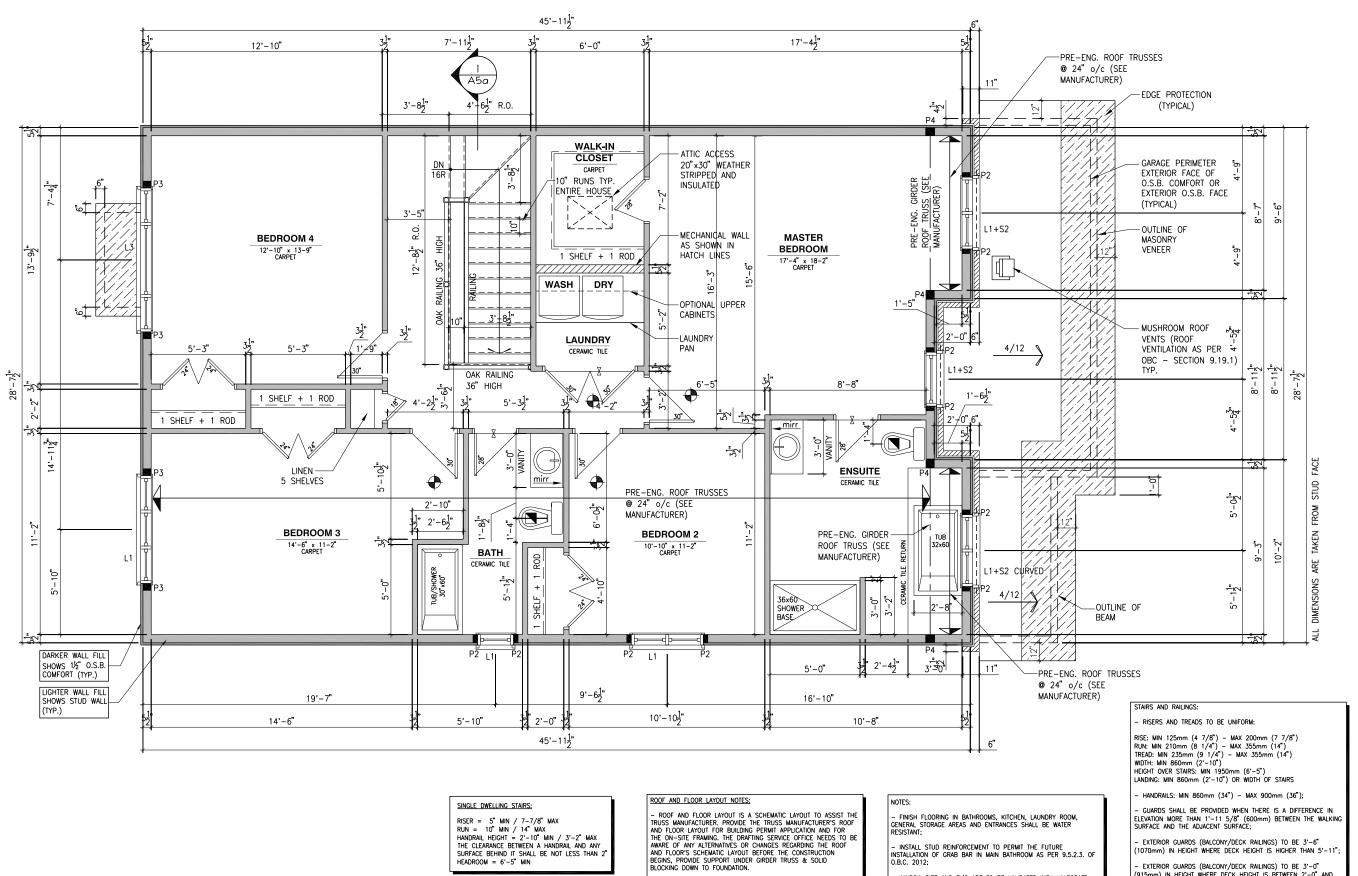
XX/XX/XXXX

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

A8i

SHEET



NOTE:

DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED

SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE

ACCORDING TO THE ONTARIO BUILDING CODE 2012.

EFFICIENCY SHALL NOT BE LESS THAN 42%.

LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I. <u>Daniel Guerin</u>, architectural Manager for Valecraft Homes Ltd., have reviewed the following documents AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE BETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT. NO DIMENSION SHOULD BE SCALED ON DRAWINGS. THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE. NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING) LINTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES • IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN
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INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11"

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IF

- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

SHEET

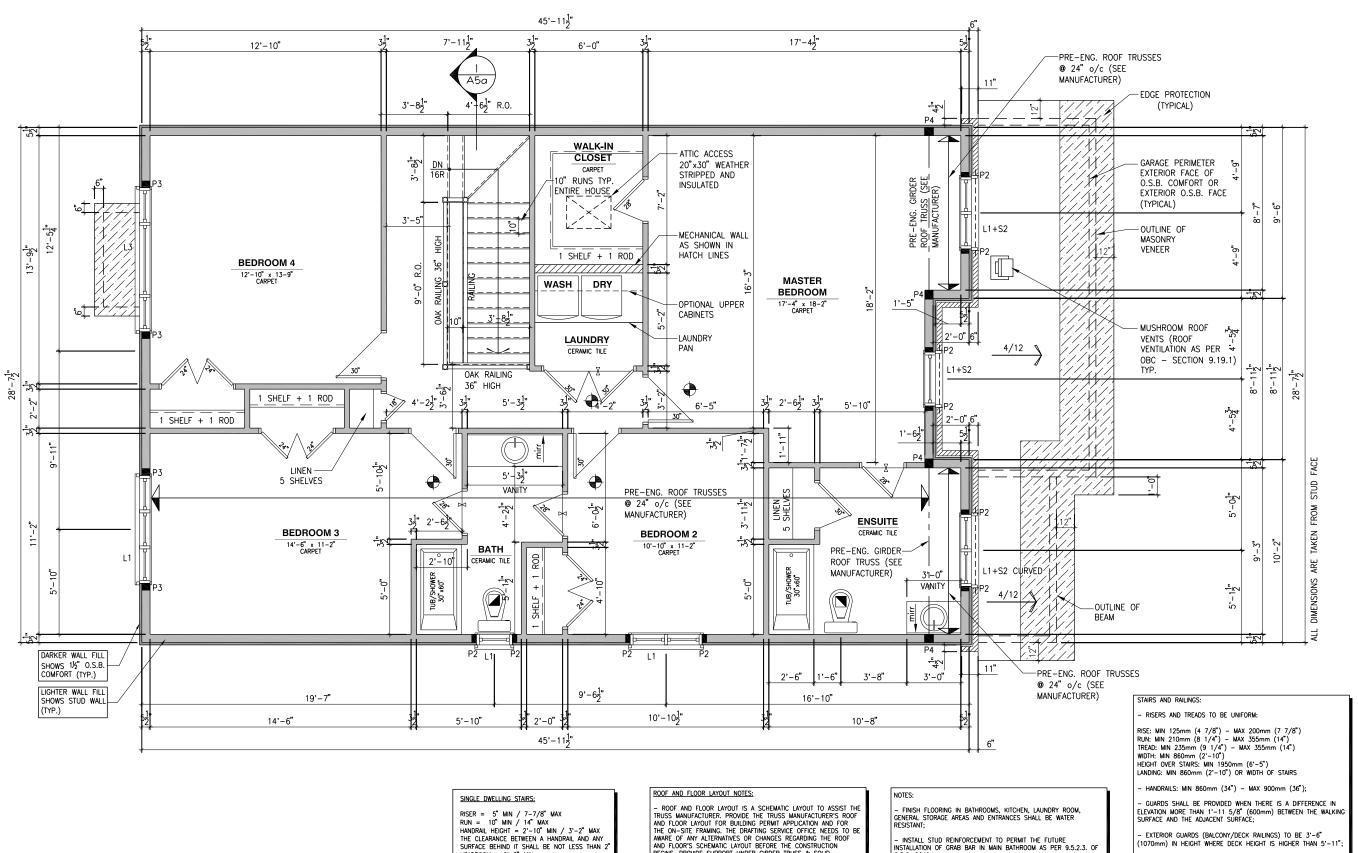
A8i

3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A (ENSUITE UPGRADE)



BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED

SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE

ACCORDING TO THE ONTARIO BUILDING CODE 2012.

EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTE:

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REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON

SECOND FLOOR - 4 BED.

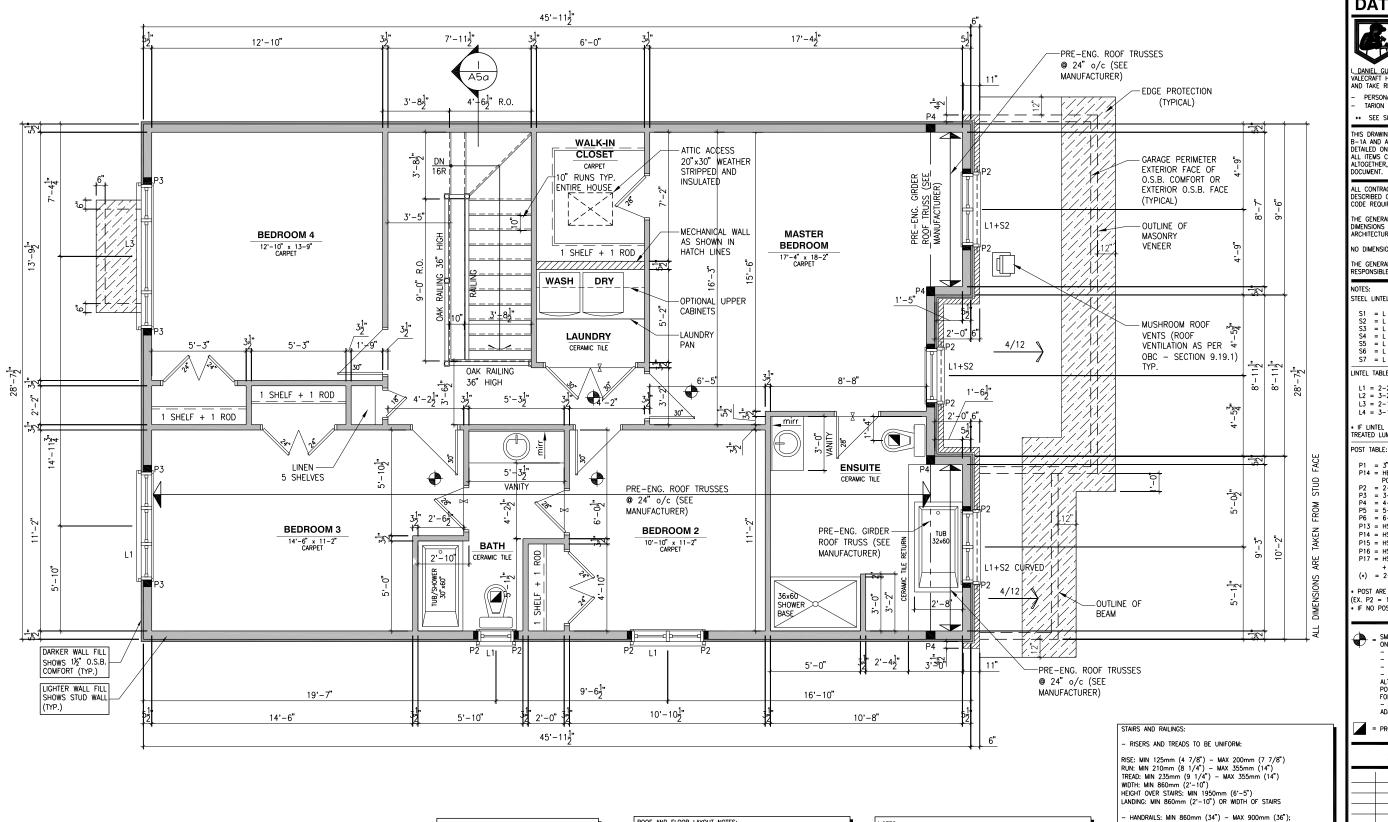
SHEET

A8k

ELEV. A (ENSUITE UPGRADE) 3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY

SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A (JACK & JILL)



SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX RUN = 10" MIN / 14" MAX HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"
HEADROOM = 6'-5" MIN

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-STIE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012. SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL_STORAGE AREAS AND ENTRANCES SHALL BE WATER

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COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN

ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11"

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6"

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0"

(915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IF

- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

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| 2012 O.B.C. DRAWINGS | | | |
|----------------------|--------------------------------|------------|-------|
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYON |
| | PERSONAL ALL | | |

PRAWING: SECOND FLOOR - 4 BED.

| ORESS: | SCALE: | I DATE: |
|--------|---------------|-------------|
| JKE33: | | |
| VV | 3/16" = 1'-0' | ' vv/vv/v |

826 - THE BRADLEY 2018 FOOTPRINT

SHEET **A8I**

SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION A (JACK & JILL + ENSUITE UPGRADE)

Homes (2019) Limited I. <u>Daniel Guerin</u>, architectural Manager for Valecraft Homes Ltd., have reviewed the following documents AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

XXXX

XX/XX/XXXX

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

LOT:

DATE:

This drawing is to be used in conjunction with schedule B-1A and any 680's and May show only some of the Change Detailed on that document, should the drawings not show All ITEMS Contained on a schedule or Miss other ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

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| | NERAL CONTRAC | | | | |
|----------------------|---|--------------------------|------------------|--|--|
| NOTES: STEEL | LINTEL: | | | | |
| S3 S4 S5 S6 | = L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10 = L 200x100x = L 150x100x | 12 | ING) | | |
| L2 : | TABLE: = 2-2x10 + P2 = 3-2x10 + P3 = 2-1.75x9.5 L = 3-1.75x9.5 L | ON BOTH S VL (1.9E) + | SIDES P3 ON B | | |

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P1 = 3" ADJUSTABLE STEEL COLUMN
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYO |
|-------|--------------------------------|------------|------|
| NO. | DESCRIPTION | DATE | BY |
| | | | |

ELEV. A (ENSUITE UPGRADE)

SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX RUN = 10" MIN / 14" MAX HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2" HEADROOM = 6'-5" MIN

NOTES:

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

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STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

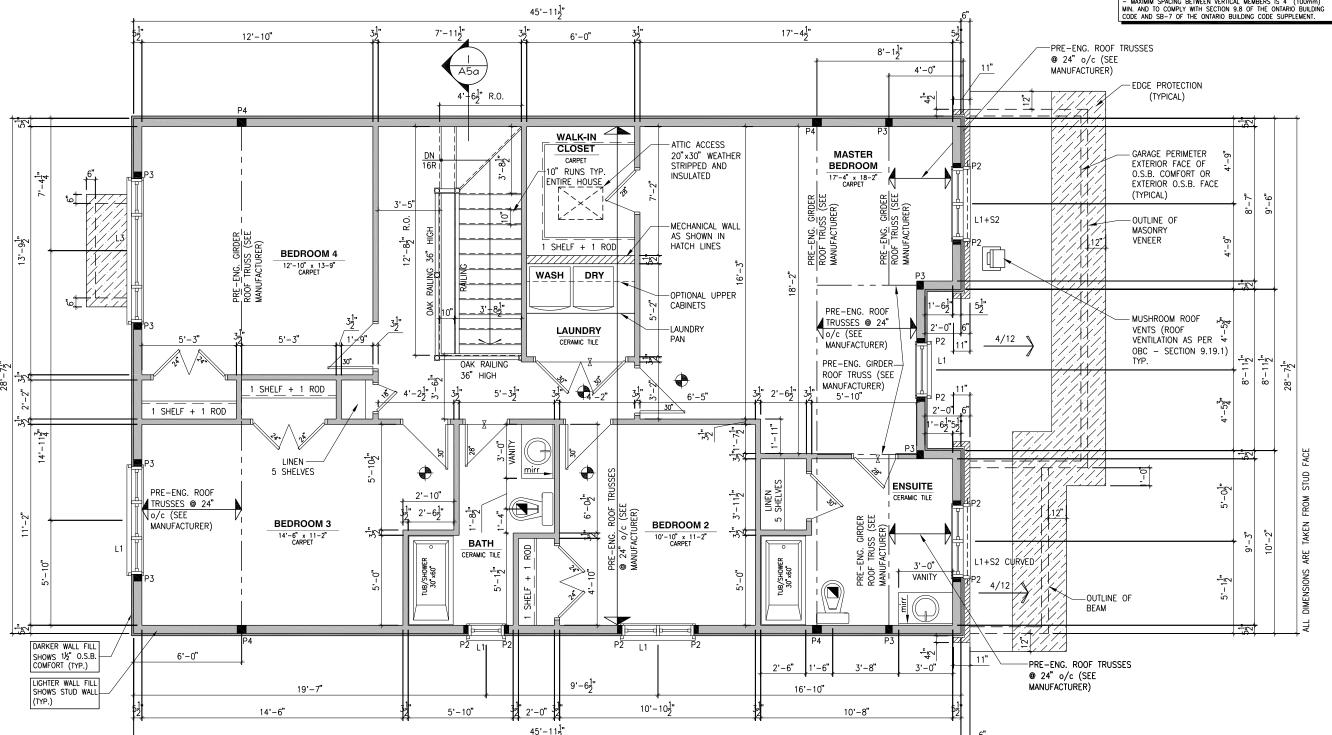
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10") ANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6"

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm)
 MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.



SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")

HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING ODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

DATE:

DOCUMENT

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

 $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES • IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6

= 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x47.8 + 130x130x12 T&B PL. (*)
P17 = HSS 73 0.D.x4.8 + 100x180x12 B0TTOM PL. + 130x160x10 TOP PL. (*) (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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2012 O B C DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYON | |
| NO. | DESCRIPTION | DATE | BY | |

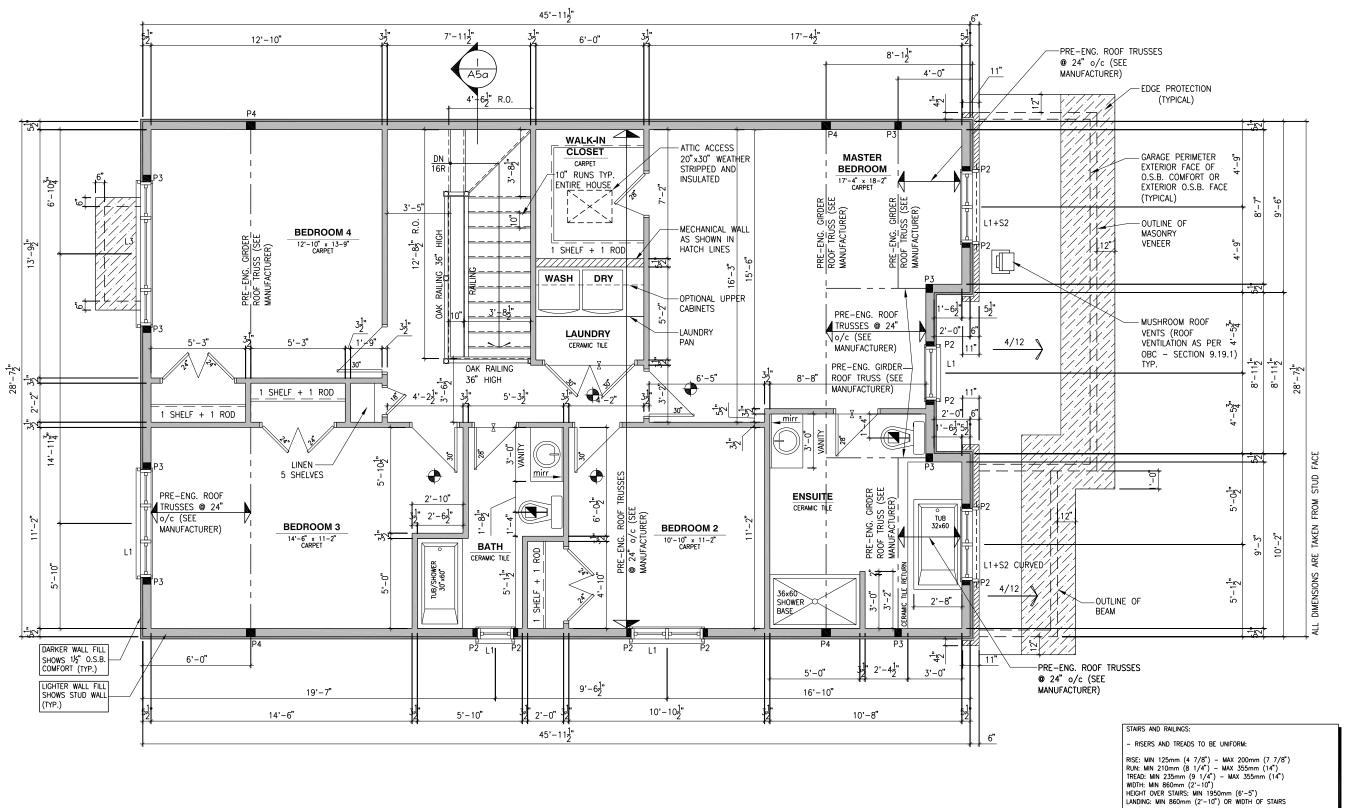
RAWING: SECOND FLOOR PLAN 4 BEDROOM - ELEVATION B

3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2018 FOOTPRINT

A8m

SHEET



SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX MISER = 30 MIN / 7-7/0 MAX

HANDRAIL HEIGHT = 2'-10' MIN / 3'-2' MAX

THE CLEARANCE BETWEEN A HANDRAIL AND ANY

SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-STIE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012. SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER

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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

HANDRAILS: MIN 860mm (34") - MAX 900mm (36"); GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN

ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" 1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11"

EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IF

- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

I. <u>Daniel Guerin</u>, architectural Manager for Valecraft Homes Ltd., have reviewed the following documents AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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| LINTEL TABLE | |

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P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

| | 2012 O.B.C. DRAWINGS | | | | | | |
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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYON | | | | |
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SECOND FLOOR - 4 BED. **ELEV. B (ENSUITE UPGRADE)**

3/16" = 1'-0" XX/XX/XXXX

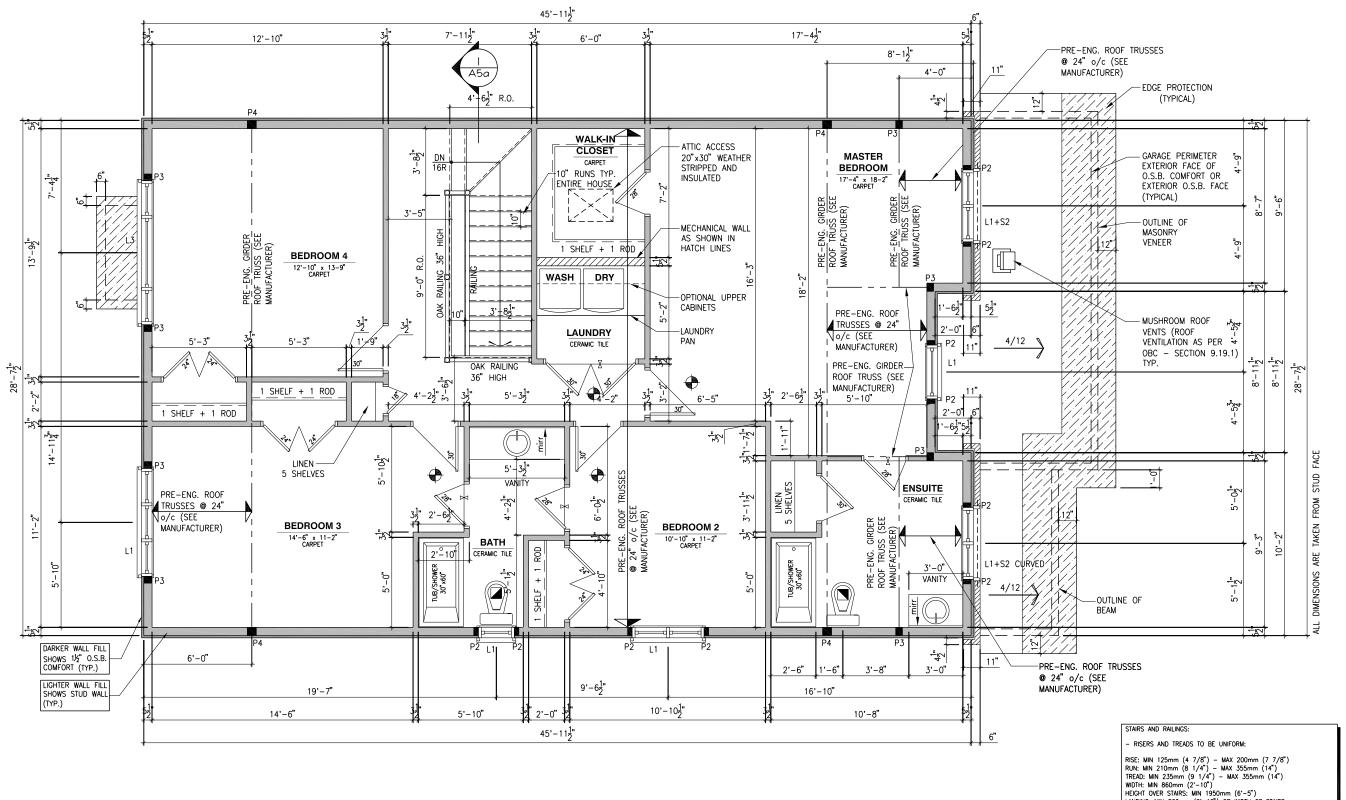
826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

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SHEET

SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B (ENSUITE UPGRADE)



SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX RISEK = 5 MIN / /-//o m/n RUN = 10" MIN / 14" MAX HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX THE CLEARANCE BETWEEN A HANDRAIL AND ANY SURFACE BEHIND IT SHALL BE NOT LESS THAN 2"

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-STIE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

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LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN

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(915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND

INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IF

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

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| NOTES: STEEL LINTEL: |
| \$1 = L 90x90x6 \$2 = L 90x90x8 \$3 = L 100x90x8 \$4 = L 125x90x8 \$5 = L 125x90x10 \$6 = L 200x100x12 \$7 = L 150x100x10 (8" BEARING) |
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= 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

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2012 O.B.C. DRAWINGS

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYO |
| NO. | DESCRIPTION | DATE | BY |

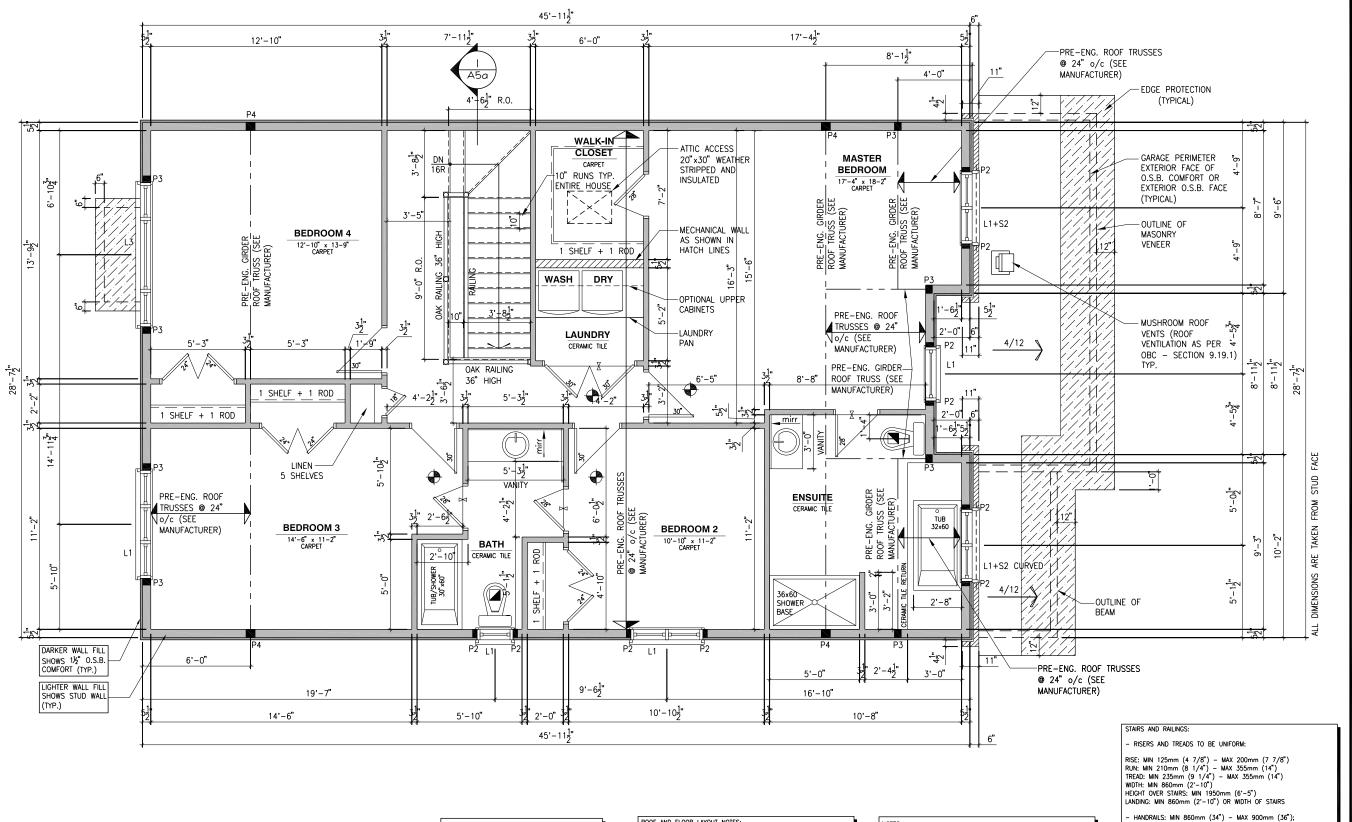
DRAWING: SECOND FLOOR - 4 BED. **ELEV. B (JACK & JILL)**

3/16" = 1'-0" XX/XX/XXXX SHEET

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

A8o



SINGLE DWELLING STAIRS:

RISER = 5" MIN / 7-7/8" MAX RISEK = 5 MIN / /-//o m/m A
RUN = 10" MIN / 14" MAX
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LOT: DATE:

XX/XX/XXXX

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| S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12 |
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION

SECOND FLOOR - 4 BED. ELEV. B (JACK & JILL + ENS.)

3/16" = 1'-0"

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN

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1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11"

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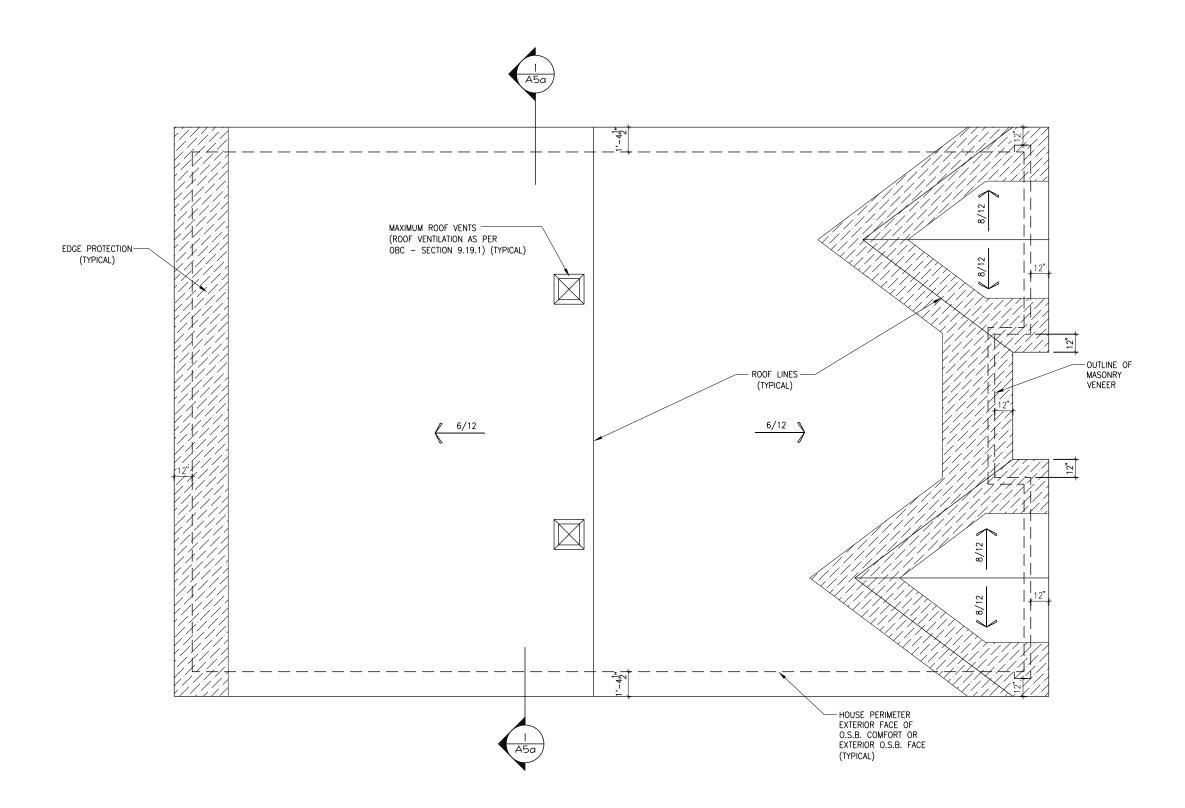
INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IF

SHEET A8p

XX/XX/XXXX

SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION B (JACK & JILL + ENSUITE UPGRADE)

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



ROOF PLAN - 4 BEDROOM -ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX

Homes (2019) Limited

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P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

| REV-1 | NEW STANDARD DRWG MODIFICATION | 01/12/2022 | DOYON |
|-------|--------------------------------|------------|-------|
| NO. | DESCRIPTION | DATE | BY |

ROOF PLAN

3 & 4 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

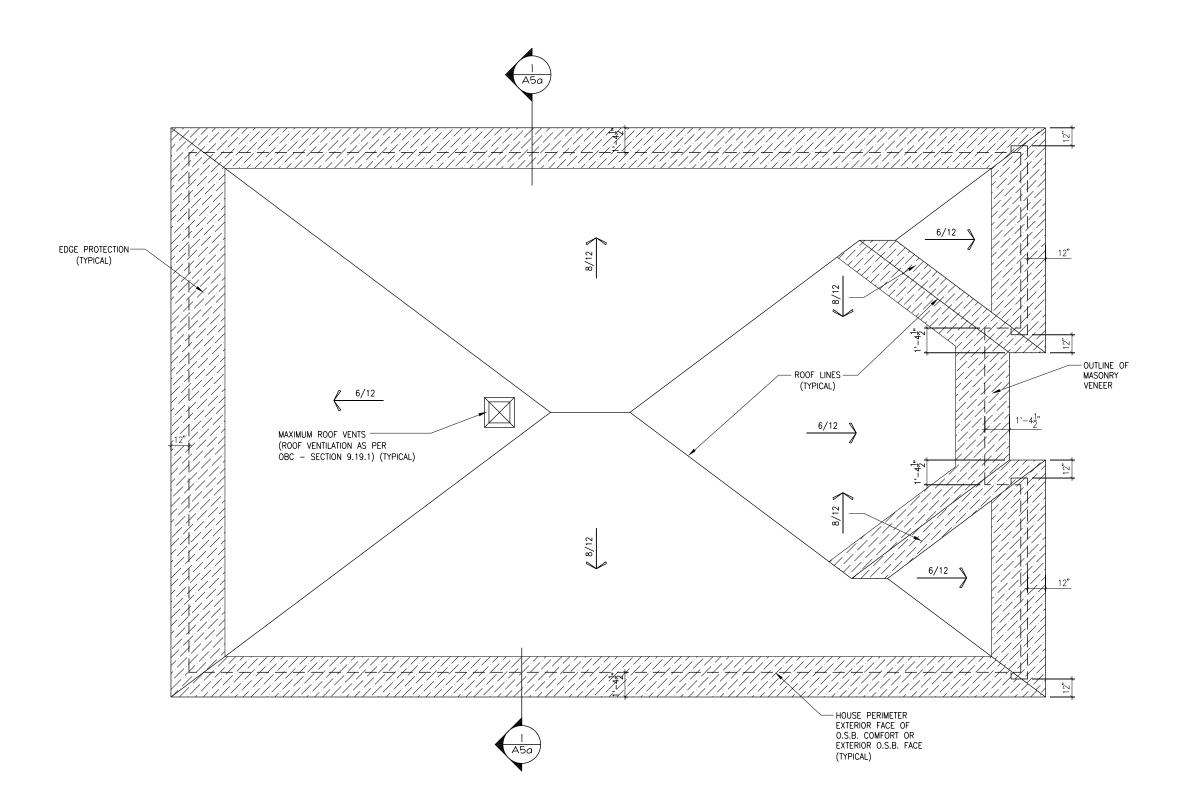
SHEET 826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

A9a

xx/xx/xxxx

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ROOF PLAN - 4 BEDROOM -ELEVATION B

LOT: **XXXX** DATE: XX/XX/XXXX



Homes (2019) Limited

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 TARION REGISTRATION NUMBER #611
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2012 O.B.C. DRAWINGS

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|-------|--------------------------------|------------|-------|
| NO. | DESCRIPTION | DATE | BY |

ROOF PLAN

3 & 4 BEDROOM - ELEVATION B

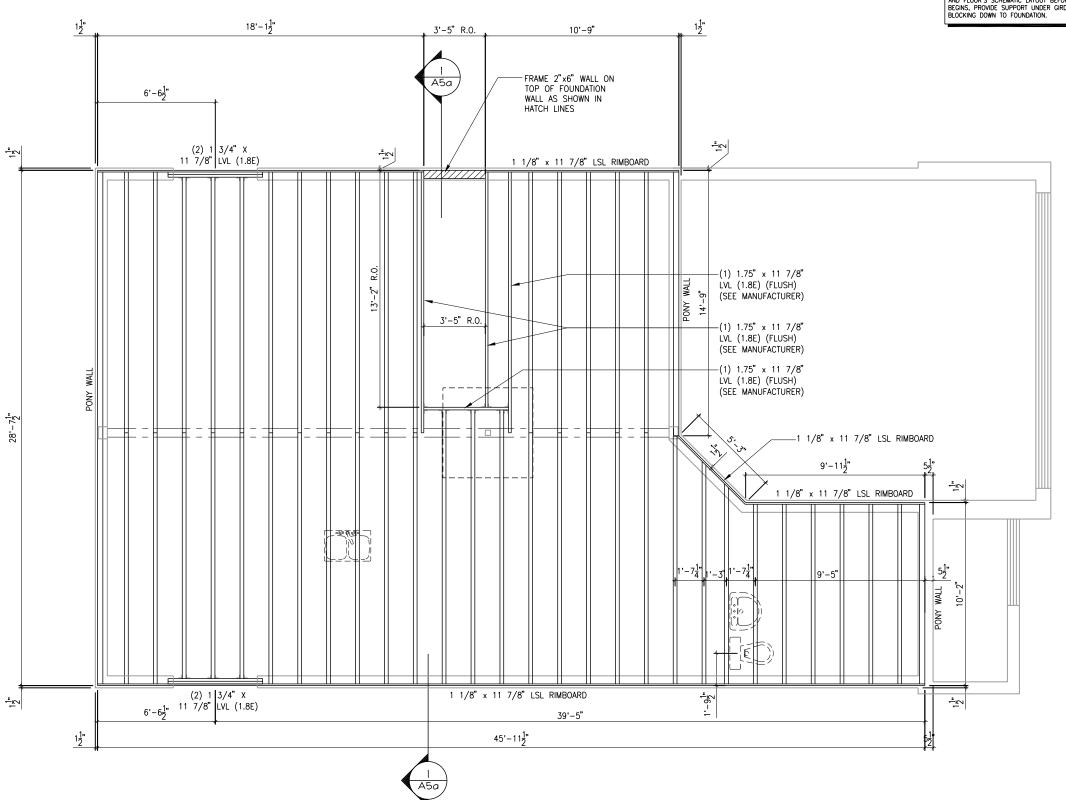
SCALE: 3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY 2018 FOOTPRINT

(STANDARD DRAWINGS)

A9b

SHEET



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LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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| 2012 | O.B.C. | DRAWINGS |
|------|--------|----------|
| | | |
| | | 1 |

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION

PRAWING: FIRST FLOOR-JOIST LAYOUT 3 AND 4 BED. - ELEV. A AND E

SCALE: 3/16" = 1'-0" XX/XX/XXXX

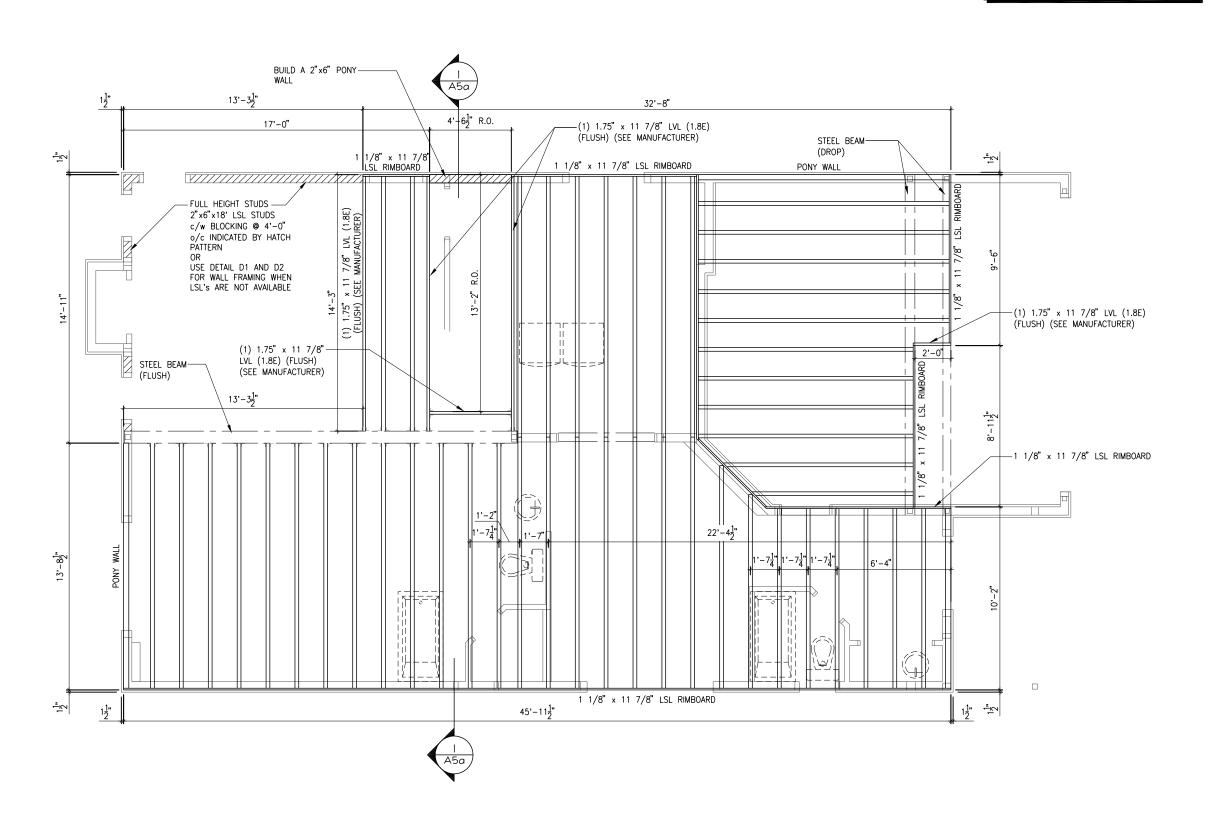
SHEET:

A10a

826 - THE BRADLEY

2018 FOOTPRINT

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LOT: **XXXX** DATE: XX/XX/XXXX

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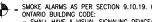
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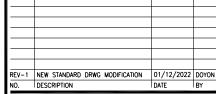
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS



2nd FLOOR-JOIST LAYOUT 3 BED. - ELEV. A AND B

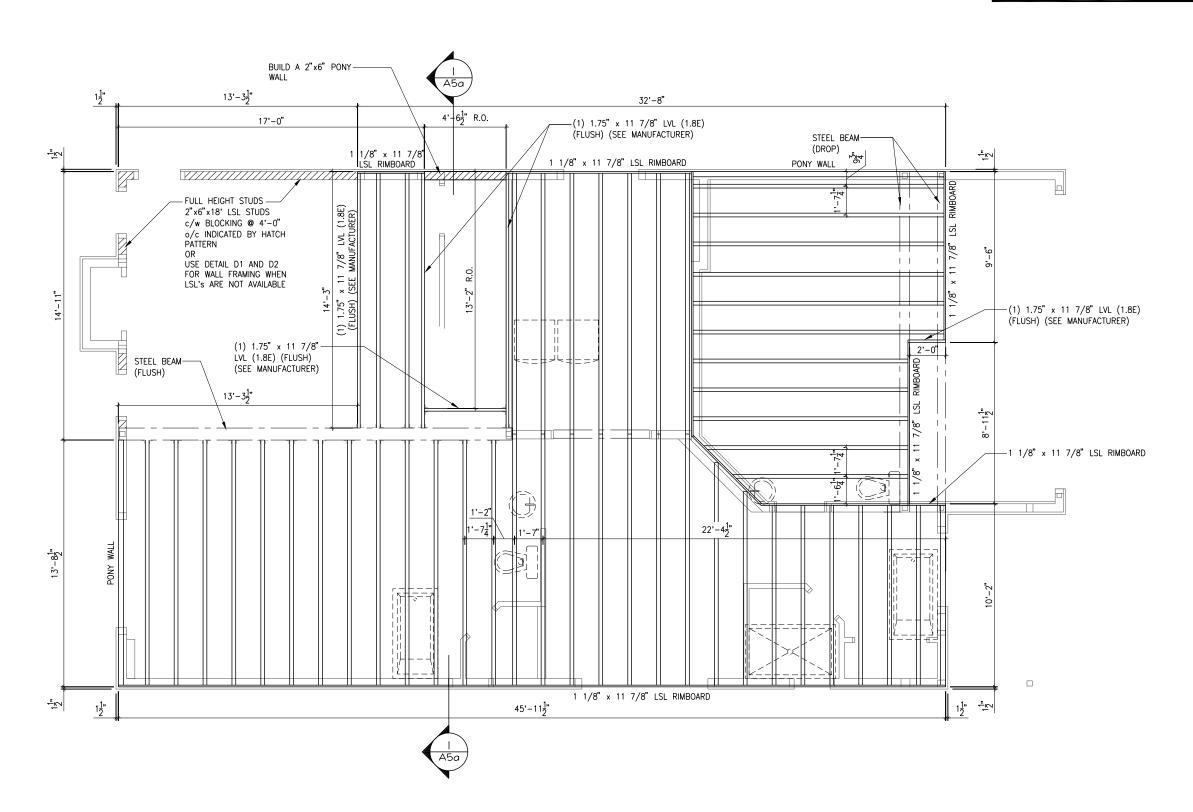
SCALE: 3/16" = 1'-0"

XX/XX/XXXX SHEET

|A11a|

826 - THE BRADLEY 2018 FOOTPRINT

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SECOND FLOOR - JOIST LAYOUT - 3 BEDROOM - ELEVATION A-B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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| - 1 | | | | | | |
|-----|----------|-------|--------------------------|-----|----------|--|
| | NOTES: | | | | | |
| ı | STEEL | LINTE | L: | | | |
| ı | S1 | = 1 | 90x90x6 | | | |
| ı | S2 | | 90x90x8 | | | |
| ı | S3 | = L | | | | |
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2nd FLOOR-JOIST LAYOUT 3 BED. - ELEV. A AND B

SCALE: 3/16" = 1'-0" XX/XX/XXXX

826 - THE BRADLEY

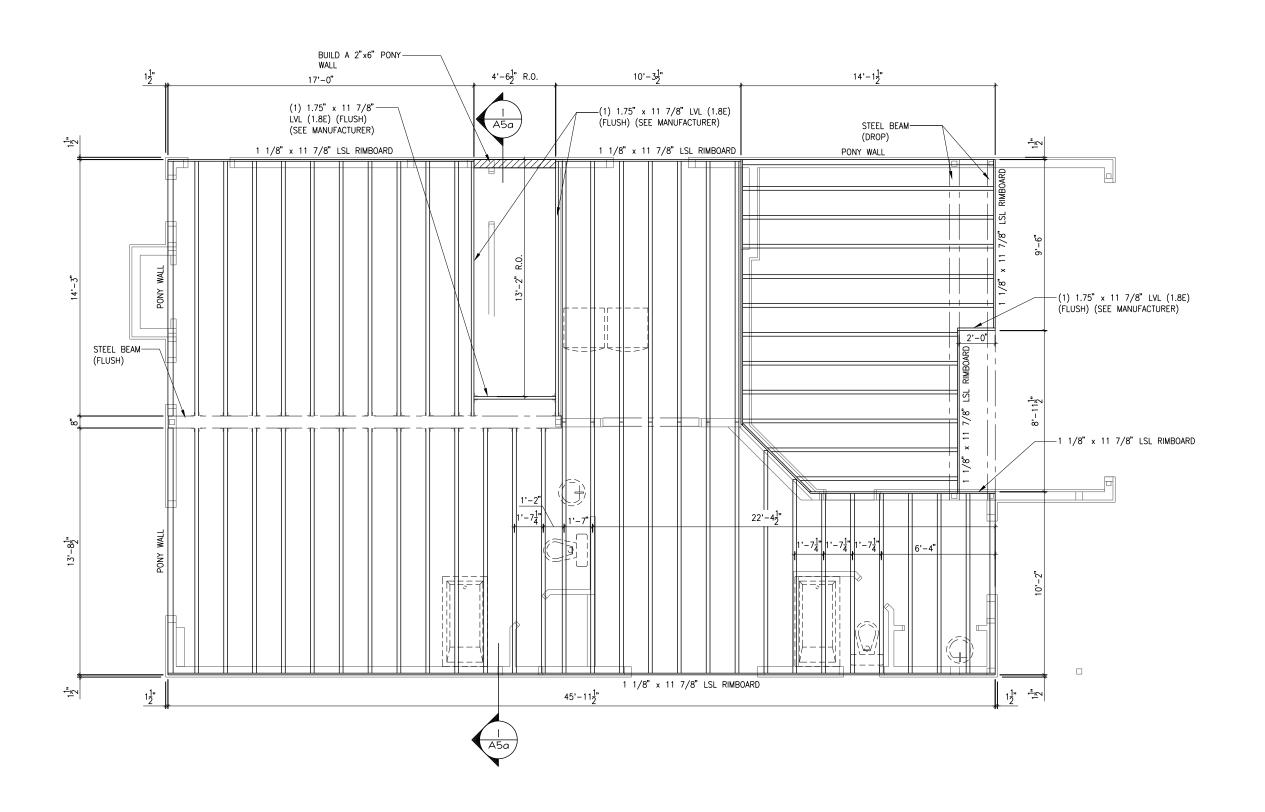
2018 FOOTPRINT

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A11b

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 P17 = HSS 73.0D.x4.8 + 100x180x12 BOTTOM PL.
 + 130x160x10 TOP PL. (*)
 (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
 (EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION

2nd FLOOR-JOIST LAYOUT 4 BED. - ELEV. A AND B

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

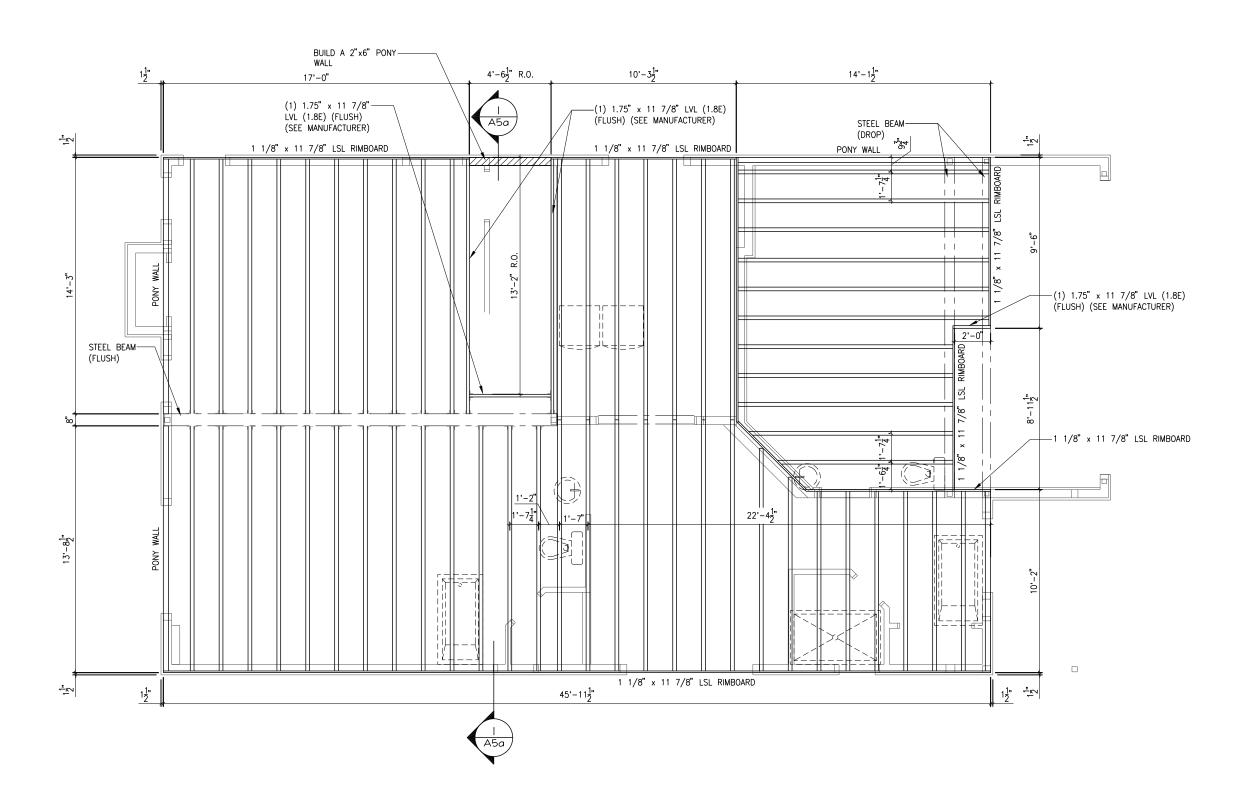
XX/XX/XXXX SHEET:

A11c

826 - THE BRADLEY

2018 FOOTPRINT

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHMATIC LAYOUT BEFORE THE CONSTRUCTION BEGGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



826 - THE BRADLEY

2018 FOOTPRINT

(STANDARD DRAWINGS)

NO. DESCRIPTION

LOT:

DATE:

DOCUMENT

NOTES: STEEL LINTEL:

S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12

LINTEL TABLE:

POST TABLE:

S7 = L 150x100x10 (8" BEARING)

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88 0x88 0x 18 x 100x200x12 T&B P1

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73.0D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON

2nd FLOOR-JOIST LAYOUT 4 BED. - ELEV. A AND B SCALE: 3/16" = 1'-0"

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

XXXX

XX/XX/XXXX

Homes (2019) Limited

LDANIEL GUERIN ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER
DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

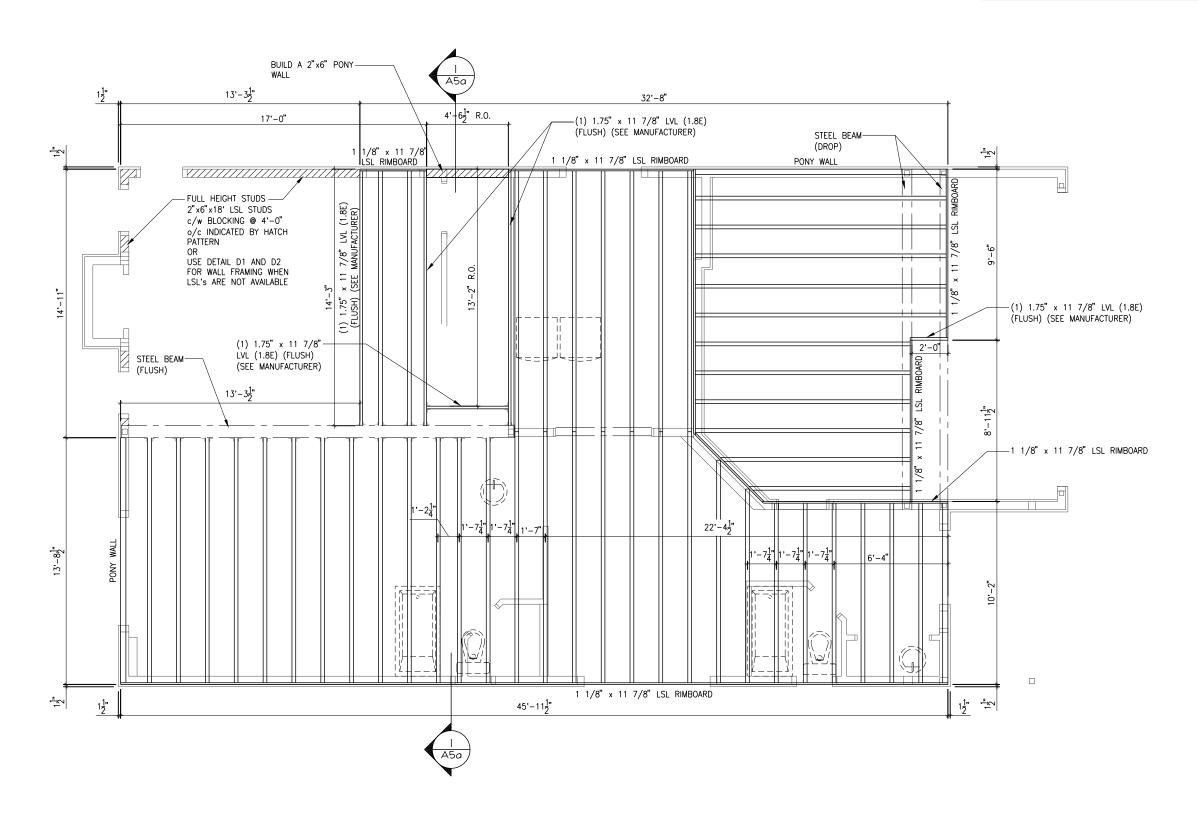
NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

SHEET: |A11d|

XX/XX/XXXX

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHMATIC LAYOUT BEFORE THE CONSTRUCTION BEGGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



LOT: DATE: XX/XX/XXXX

XXXX

Homes (2019) Limited

LDANIEL GUERIN ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
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- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
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NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS 88 0x88 0x 18 x 100x200x12 T&B P1 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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- P16 = HSS 76.2x6.2x4.78 + 130x130x12 188 PL. (*)
 P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION

> XX/XX/XXXX SHEET:

A11e

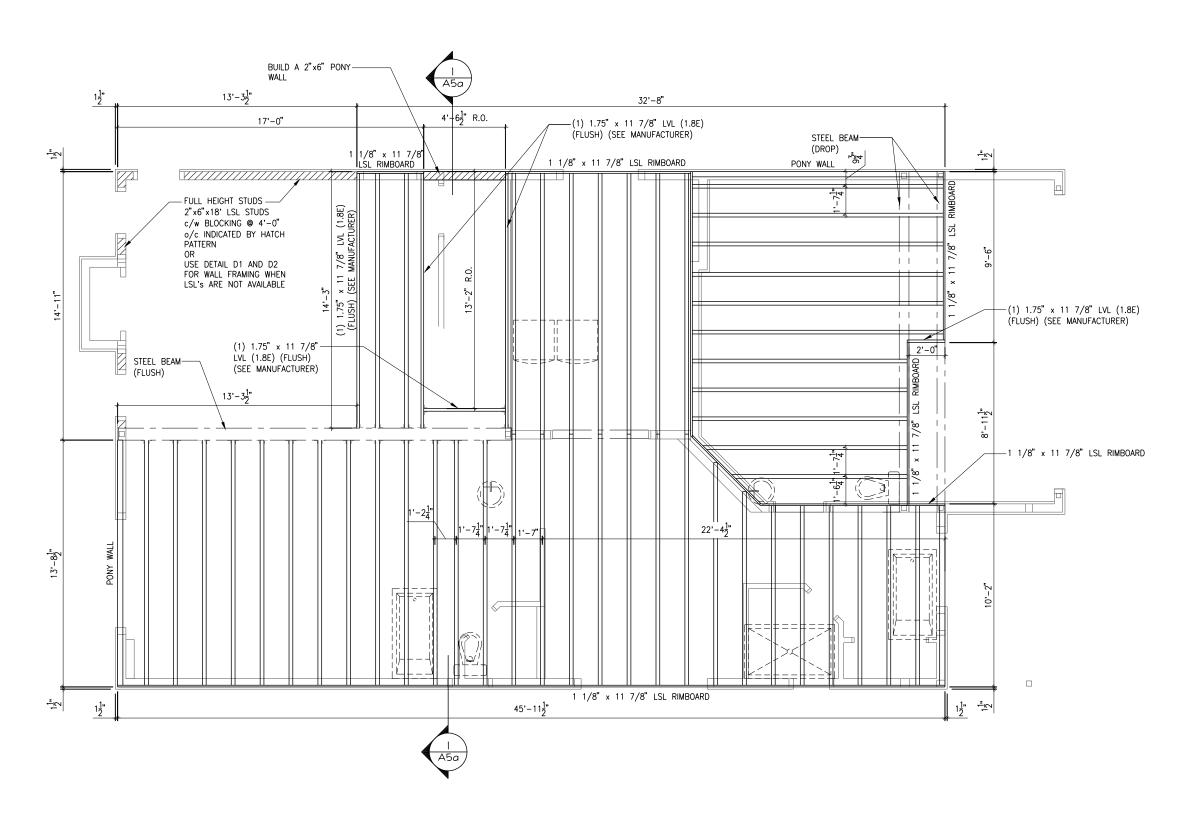
2nd FLOOR-JOIST LAYOUT 3 BED. - ELEV. A AND B

SCALE: 3/16" = 1'-0"

826 - THE BRADLEY

2018 FOOTPRINT

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHMATIC LAYOUT BEFORE THE CONSTRUCTION BEGGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



SECOND FLOOR - JOIST LAYOUT - 3 BEDROOM - ELEVATION A AND B (JACK & JILL ENSUITE UPGRADE)

Homes (2019) Limited

LDANIEL GUERIN ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 .. SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM . THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS

XXXX

XX/XX/XXXX

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ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

LOT:

DATE:

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES: STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

DOCUMENT

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
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- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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 POST BY USP
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 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS 88 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
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2012 O.B.C. DRAWINGS

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION

2nd FLOOR-JOIST LAYOUT 3 BED. - ELEV. A AND B

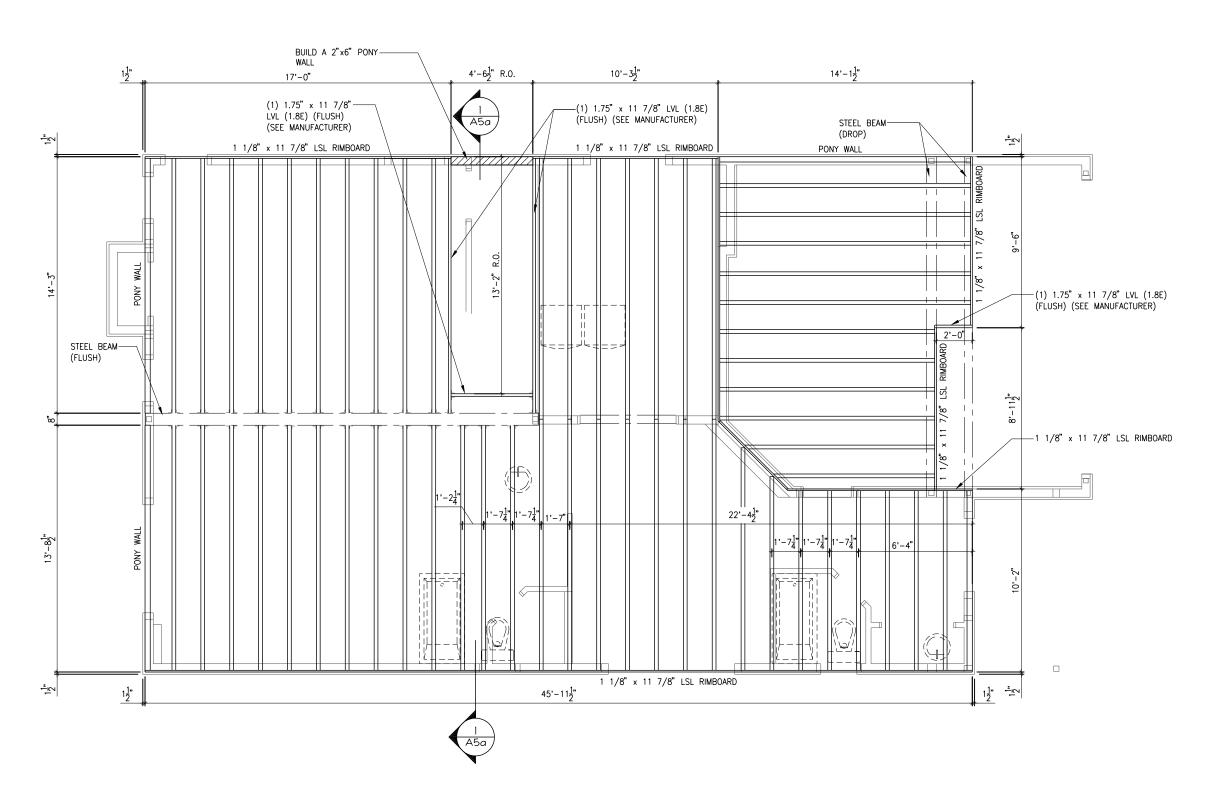
SCALE: 3/16" = 1'-0" XX/XX/XXXX

SHEET

A11f

826 - THE BRADLEY 2018 FOOTPRINT

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SECOND FLOOR - JOIST LAYOUT - 4 BEDROOM - ELEVATION A AND B (JACK & JILL)

A11g

XX/XX/XXXX

XXXX

Homes (2019) Limited

LDANIEL GUERIN ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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P13 = HSS 88 0x88 0x 18 x 100x200x12 T&B P1 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION

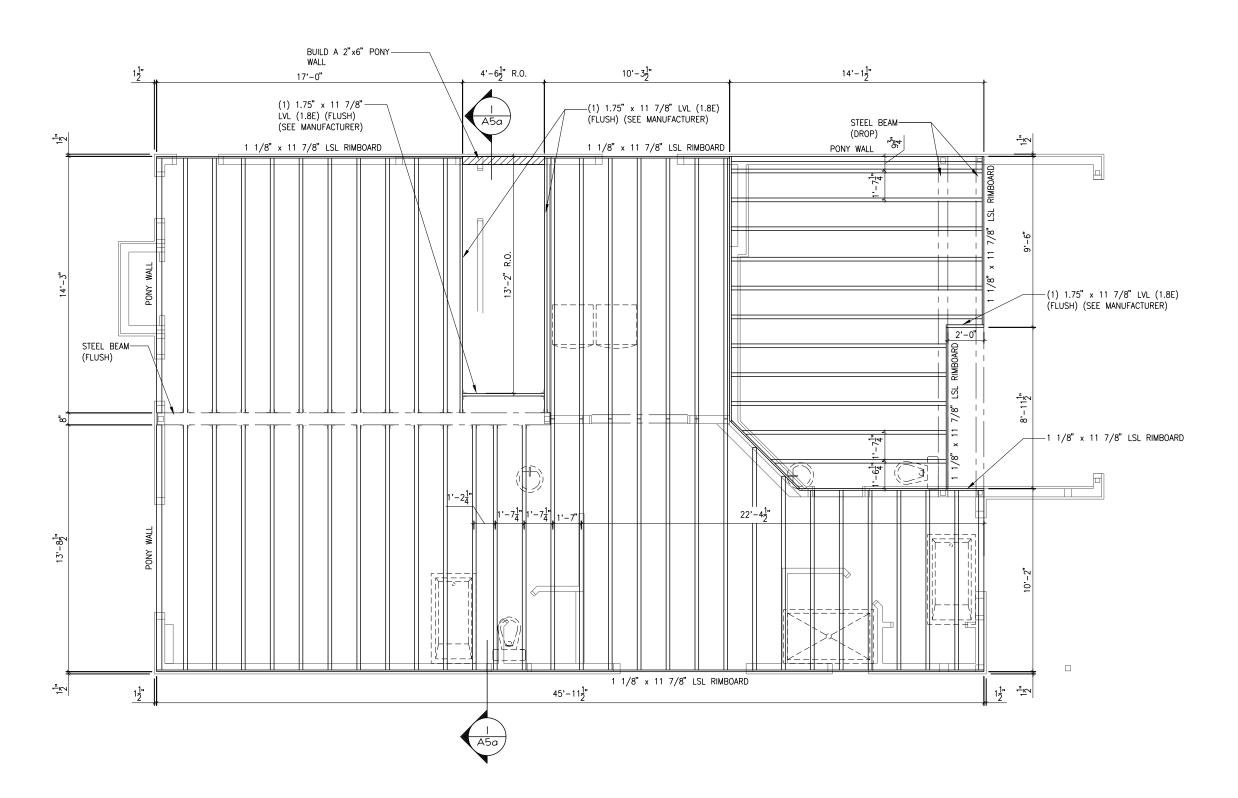
2nd FLOOR-JOIST LAYOUT 4 BED. - ELEV. A AND B

SCALE: 3/16" = 1'-0" XX/XX/XXXX

SHEET

826 - THE BRADLEY 2018 FOOTPRINT

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LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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- PERSONAL BCIN #19896
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 P13 = HSS 88 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P15 = HSS 88.988.948.18 + 100×200×12 1 d88 PL. (*)
 P14 = HSS 89.899.48 + 100×200×12 T&B PL. (*)
 P15 = HSS 76.2×76.2×4.78 + 100×180×12 T&B PL. (*)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

| 2012 O.B.C. DRAWINGS | | | | | |
|----------------------|--|--|---|--|--|
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| | | | L | | |

REV-1 NEW STANDARD DRWG MODIFICATION 01/12/2022 DOYON NO. DESCRIPTION DATE

2nd FLOOR-JOIST LAYOUT 4 BED. - ELEV. A AND B

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0" XX/XX/XXXX SHEET:

A11h

826 - THE BRADLEY 2018 FOOTPRINT