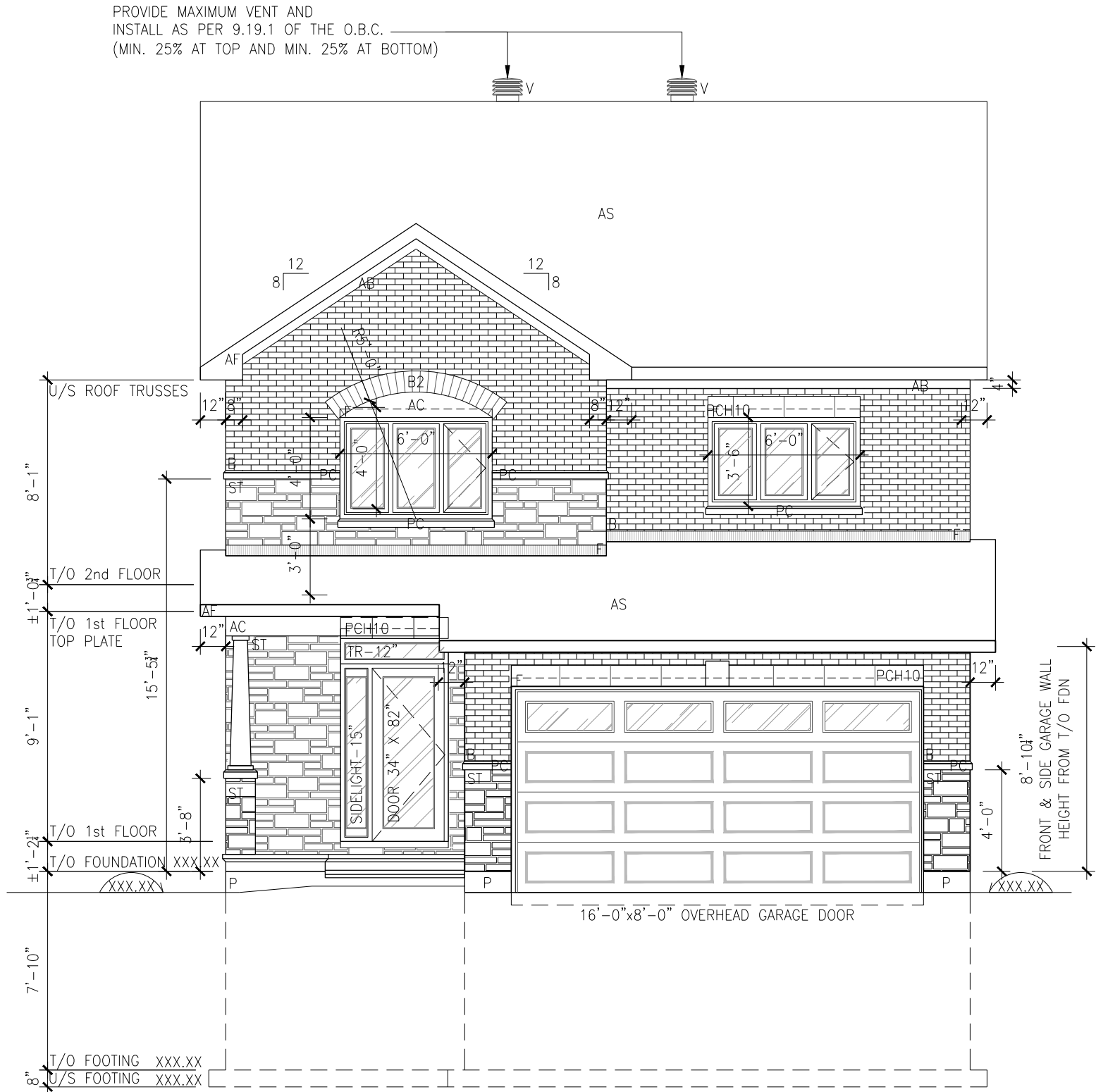


ELEVATION A - FRONT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

ELEVATION A - FRONT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

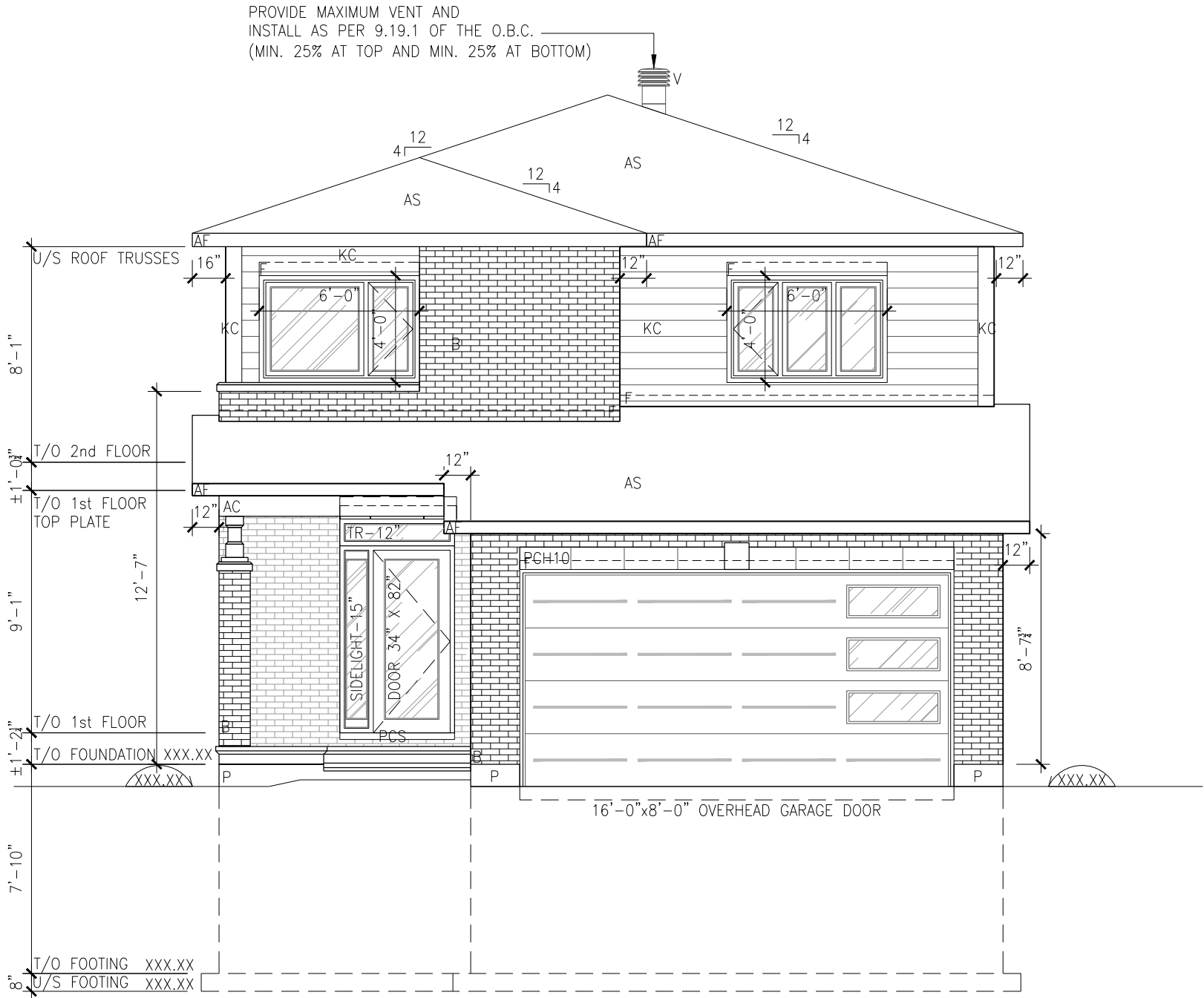
(STANDARD DRAWINGS)

SHEET:

A1a

ELEVATION B - FRONT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-2	NEW STAIRS		04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION		13/11/2017	MAD

DRAWING:

ELEVATION B - FRONT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A1b



Valecraft
Homes (2019) Limited

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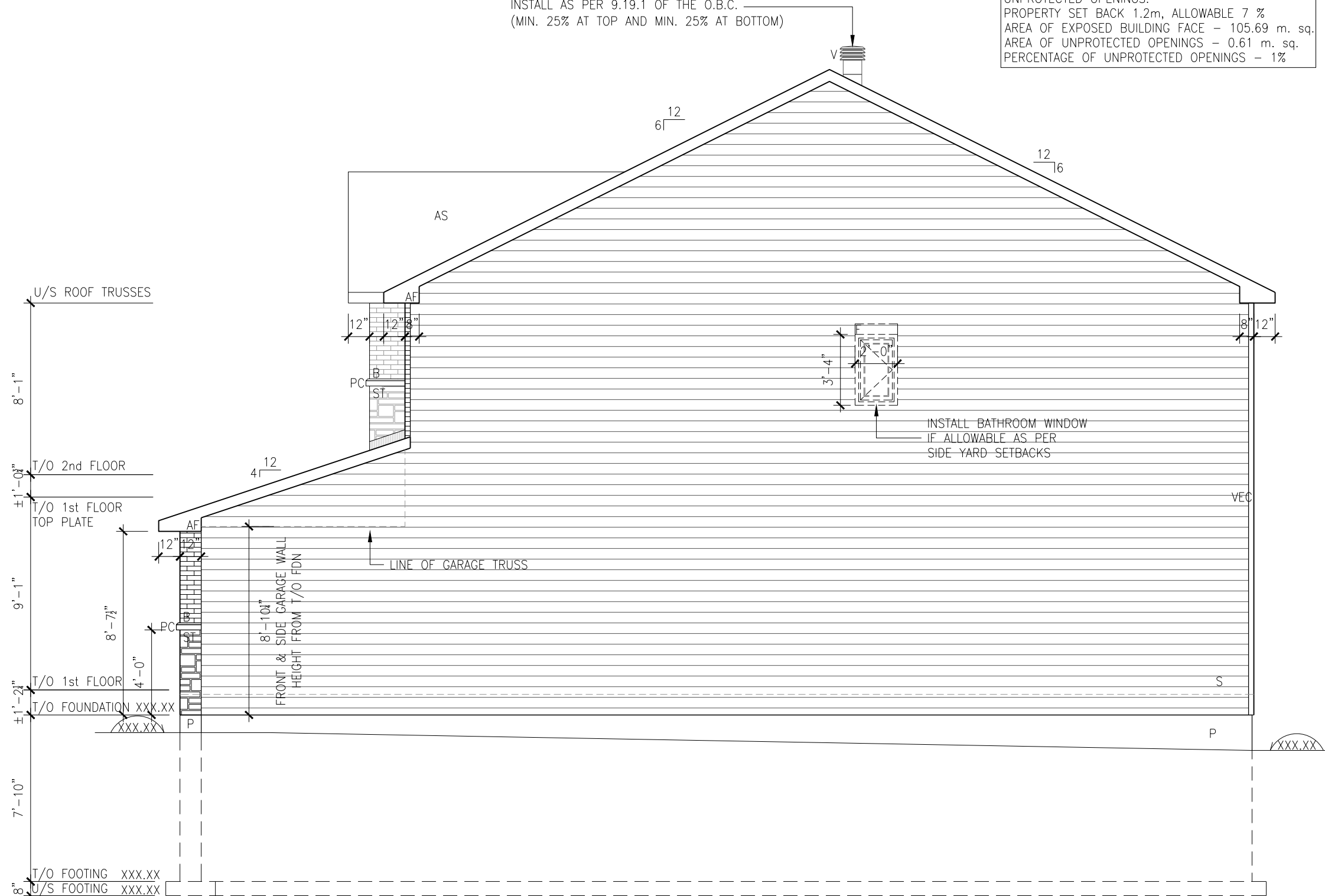
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815 - THE HARTIN 2018 FOOTPRINT

UNPROTECTED OPENINGS: PROPERTY SET BACK 1.2m, ALLOWABLE 7 % AREA OF EXPOSED BUILDING FACE – 105.69 m. sq. AREA OF UNPROTECTED OPENINGS – 0.61 m. sq. PERCENTAGE OF UNPROTECTED OPENINGS – 1%
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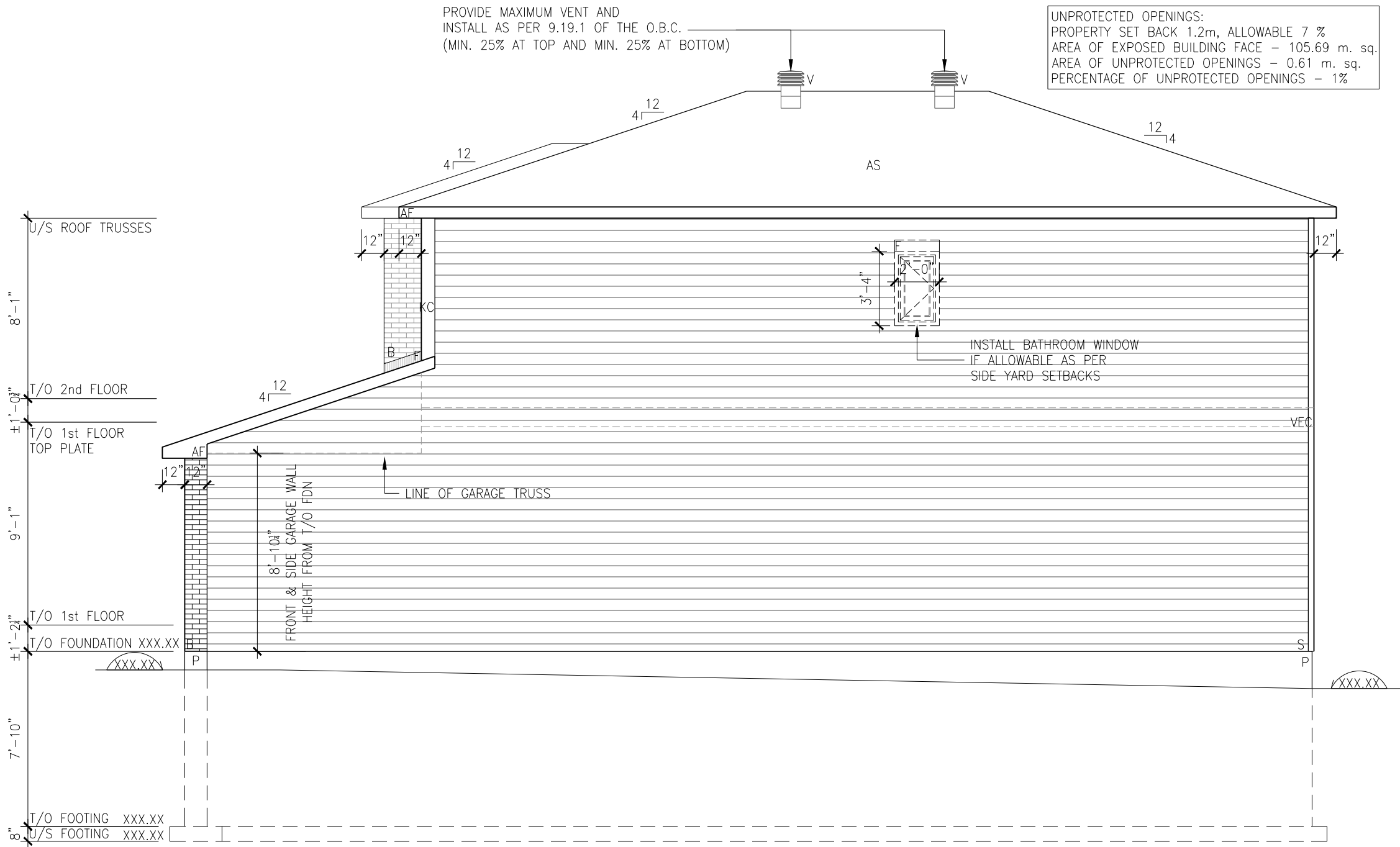


ELEVATION A - RIGHT

SCALE: 3/16" = 1'-0"

ELEVATION B - RIGHT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING:

ELEVATION B - RIGHT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A2b



Valecraft
Homes (2019) Limited

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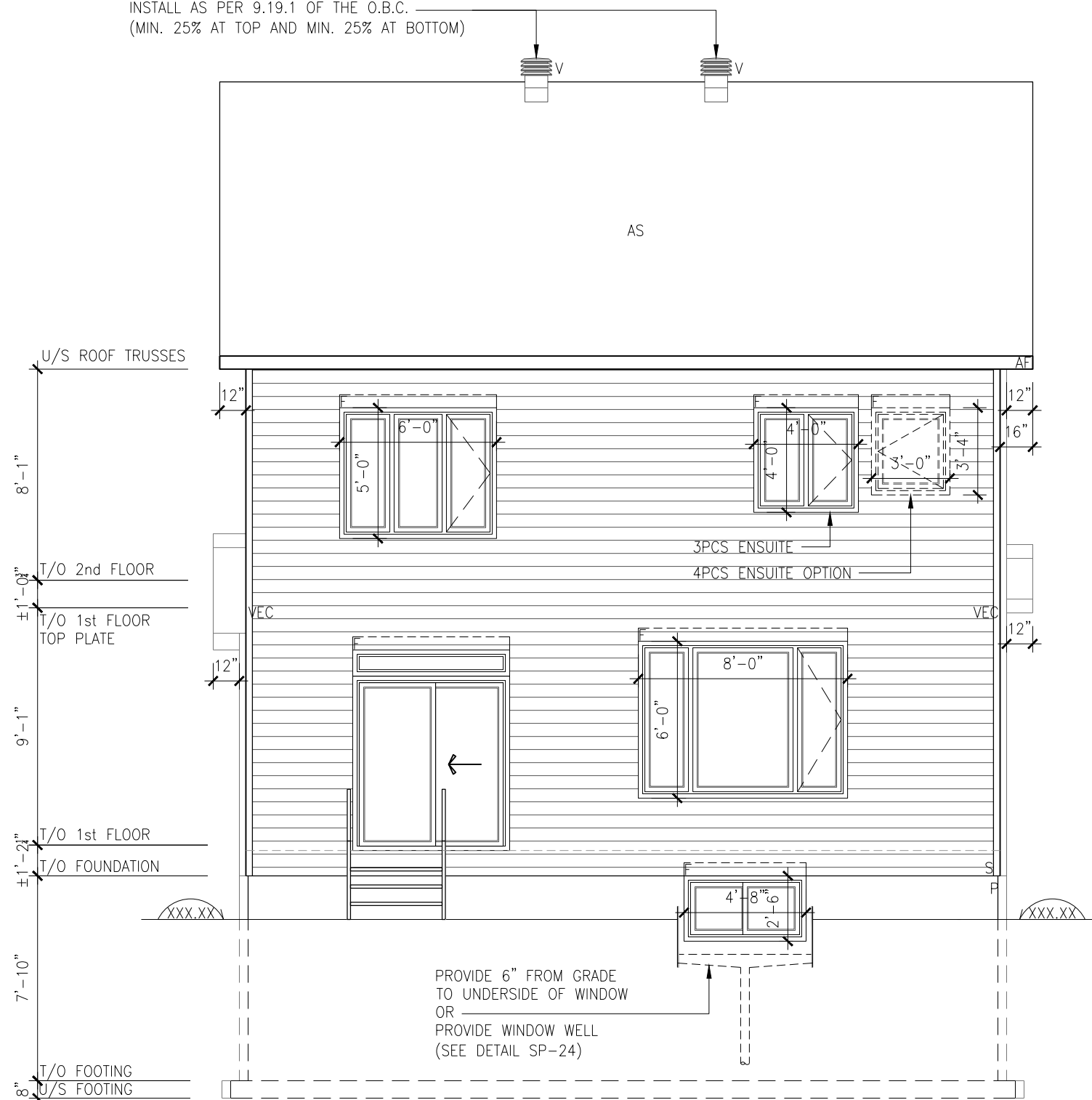
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815 - THE HARTIN
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SHEET:
A3a

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C. _____
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

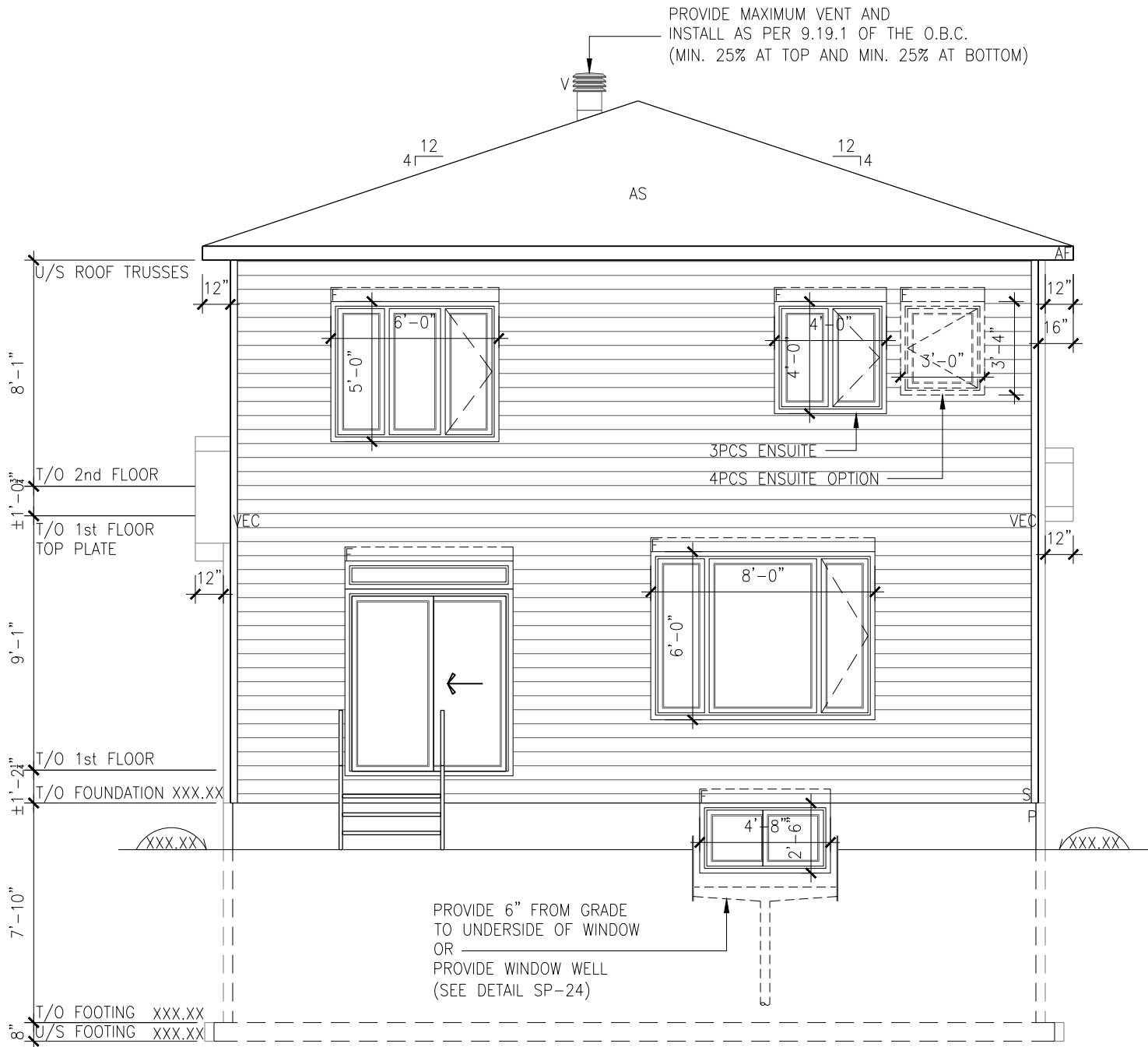


ELEVATION A - REAR

SCALE: 3/16" = 1'-0"

ELEVATION B - REAR

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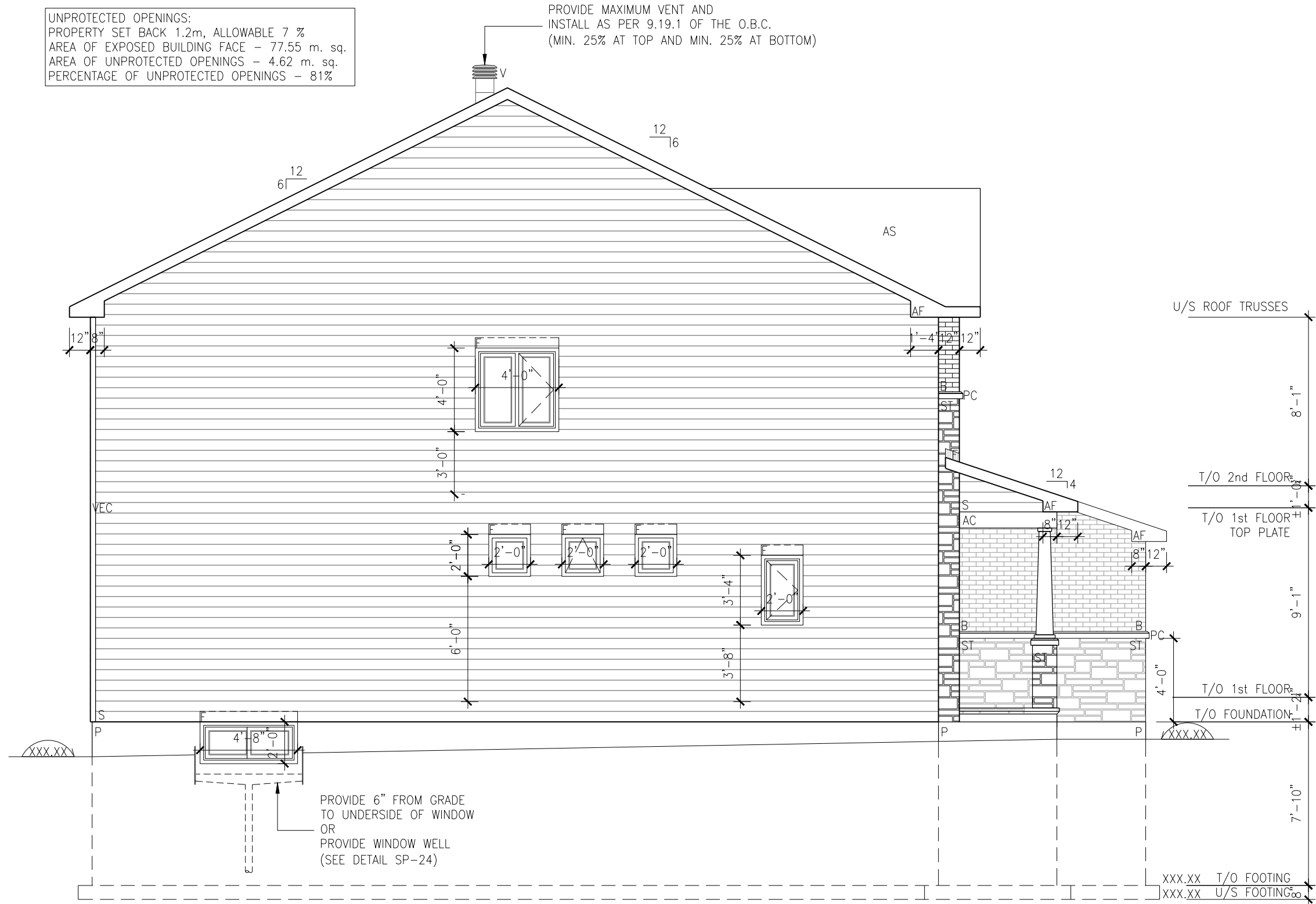
(STANDARD DRAWINGS)

SHEET:

A3b

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 77.55 m. sq.
AREA OF UNPROTECTED OPENINGS - 4.62 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 81%

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



PROVIDE 6" FROM GRADE
TO UNDERSIDE OF WINDOW
OR
PROVIDE WINDOW WELL
(SEE DETAIL SP-24)

ELEVATION A - LEFT

SCALE: 3/16" = 1'-0"

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815 - THE HARTIN
2018 FOOTPRINT

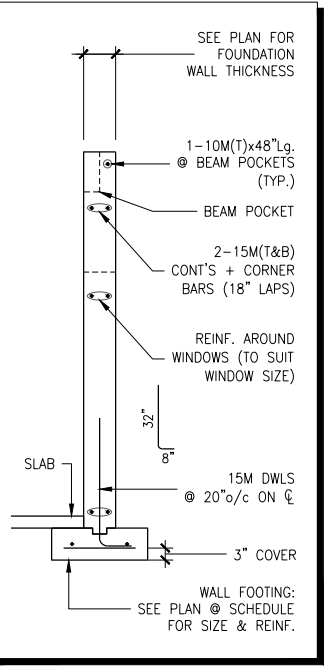
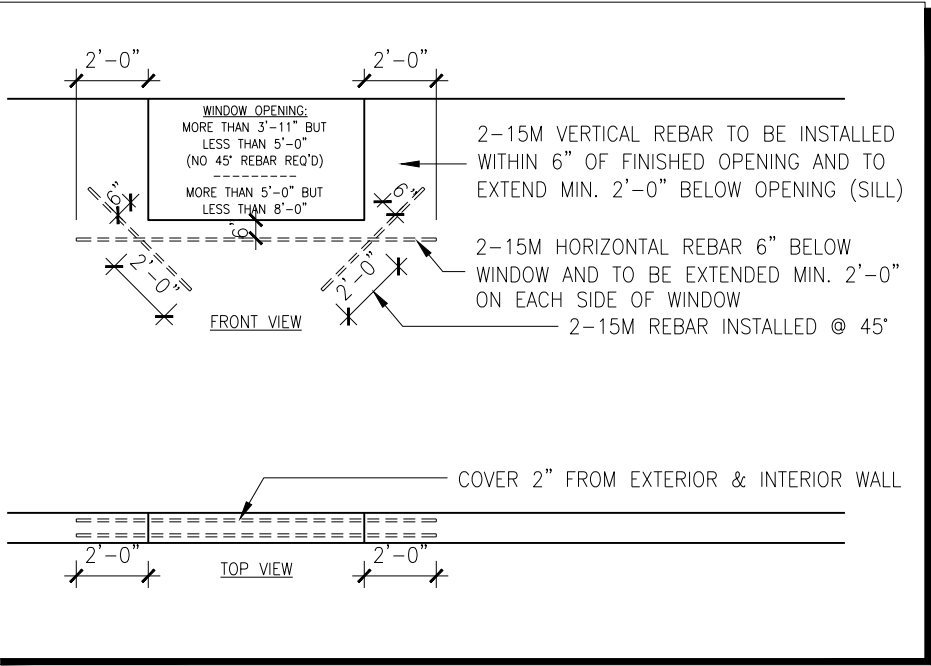
(STANDARD DRAWINGS)

SHEET:
A4b



SCALE: 3/16" = 1'-0"

FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.
PAD FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	50"x50"x12" DP. 5-15M(B)Lg. x 44"Lg. E.W.	54"x54"x12" DP. 5-15M(B)Lg. x 48"Lg. E.W.	58"x58"x12" DP. 5-15M(B)Lg. x 52"Lg. E.W.	64"x64"x12" DP. 5-15M(B)Lg. x 58"Lg. E.W.



NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT:XXXX

DATE:XX/XX/XXXX

Valecraft

Homes (2019) Limited

DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

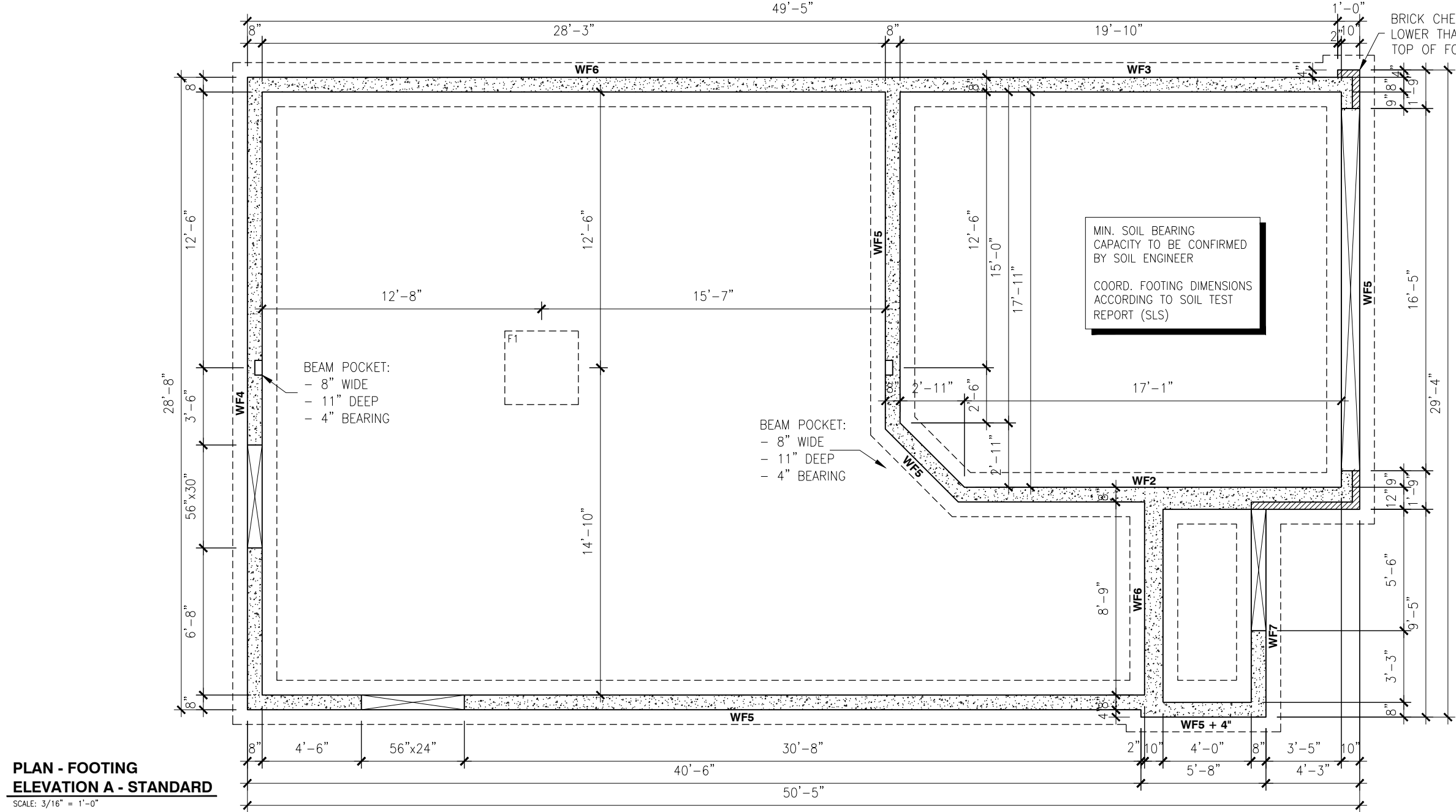
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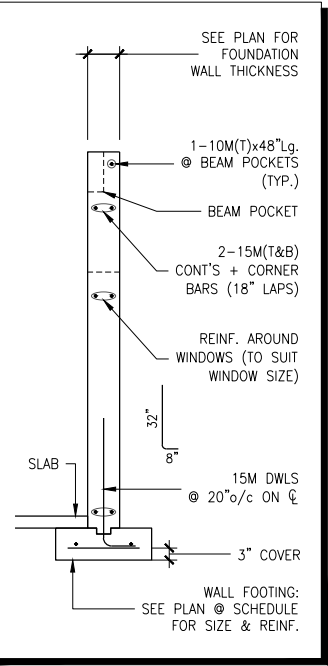
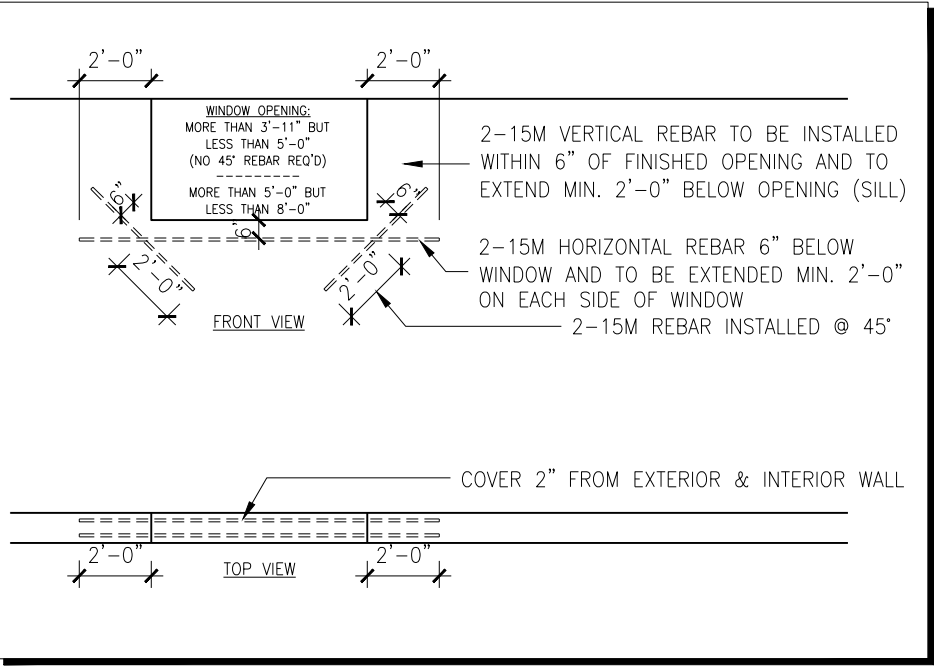
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WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
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WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.
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- TARIION REGISTRATION NUMBER #611

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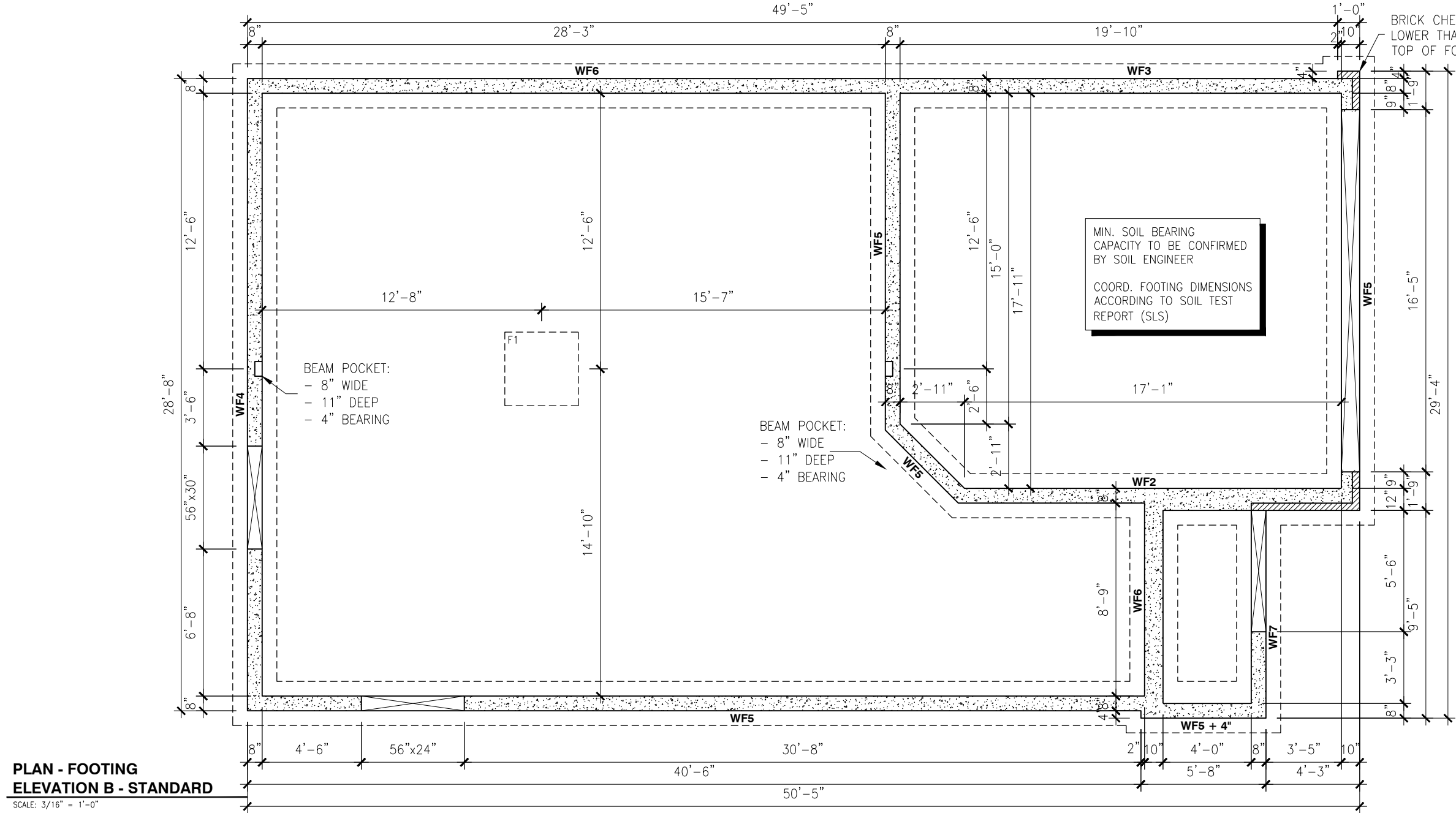
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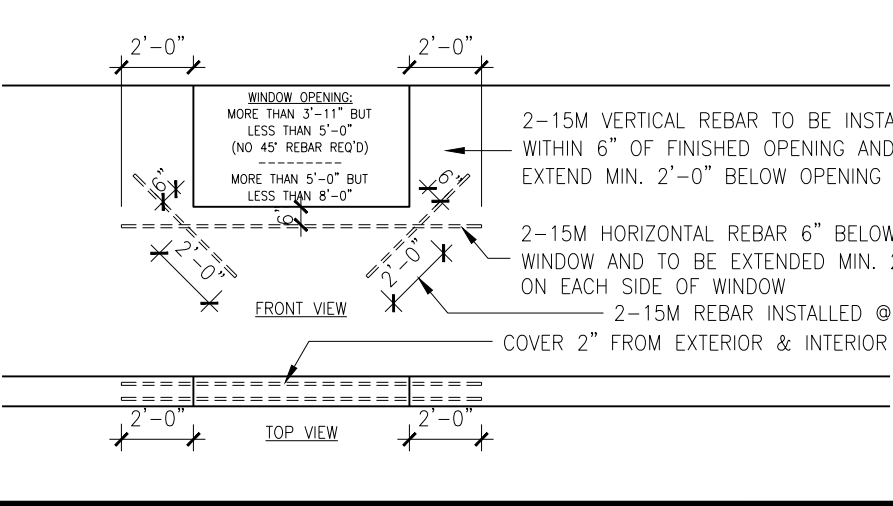
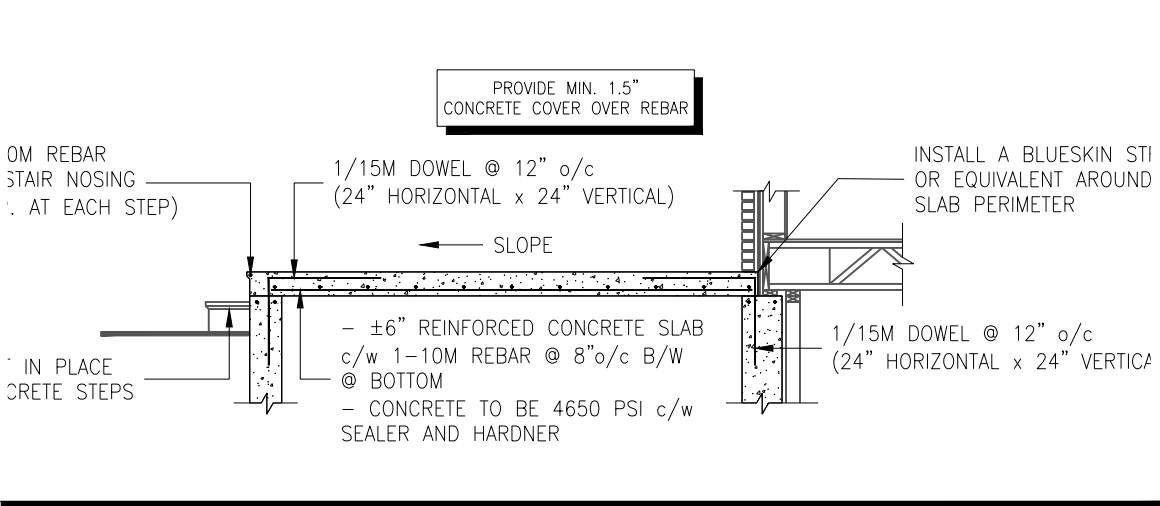
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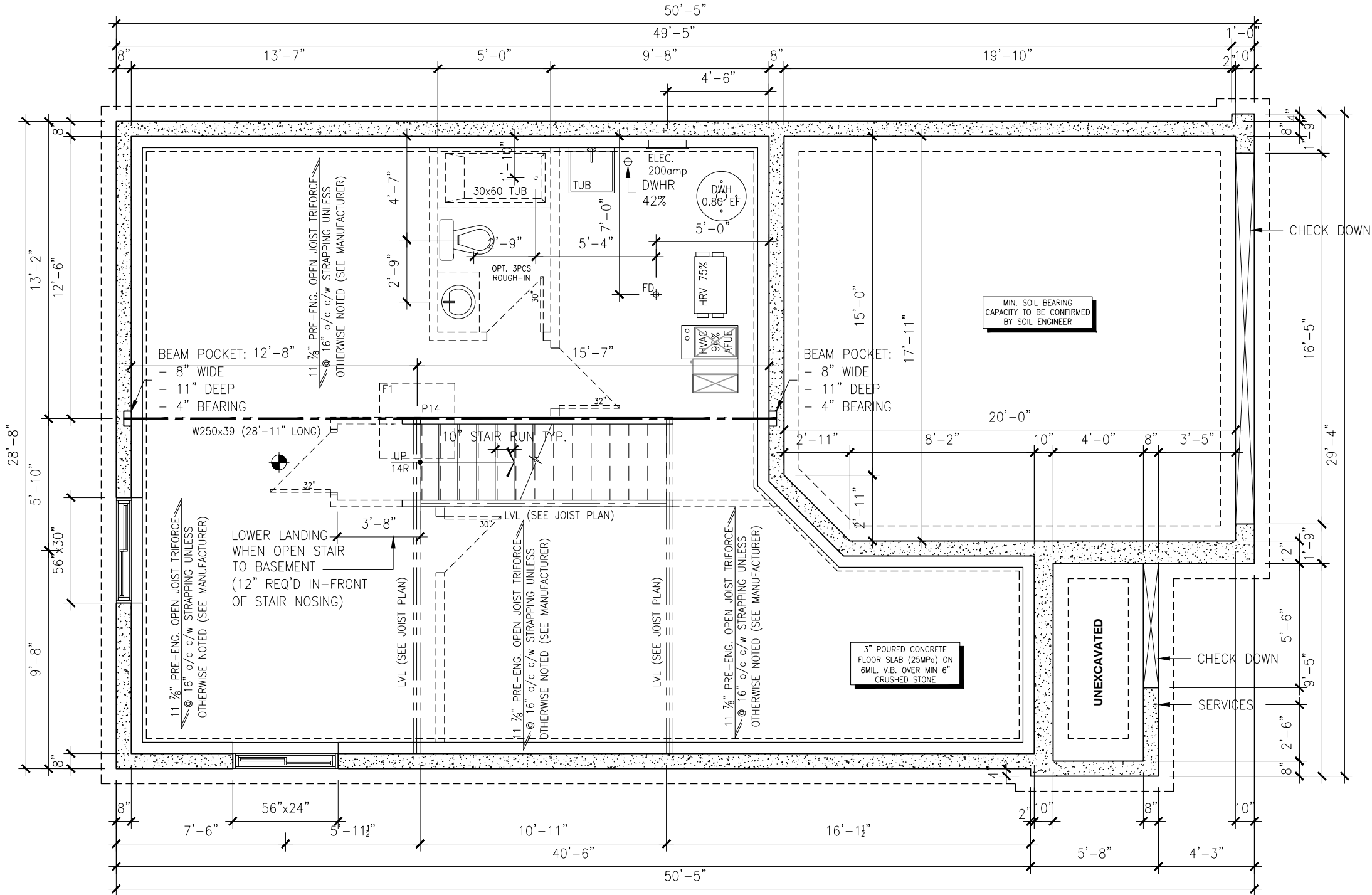
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m² (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



PLAN - FOUNDATION - ELEVATION A/B/C (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P1o = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

FOUNDATION PLAN - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6a

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

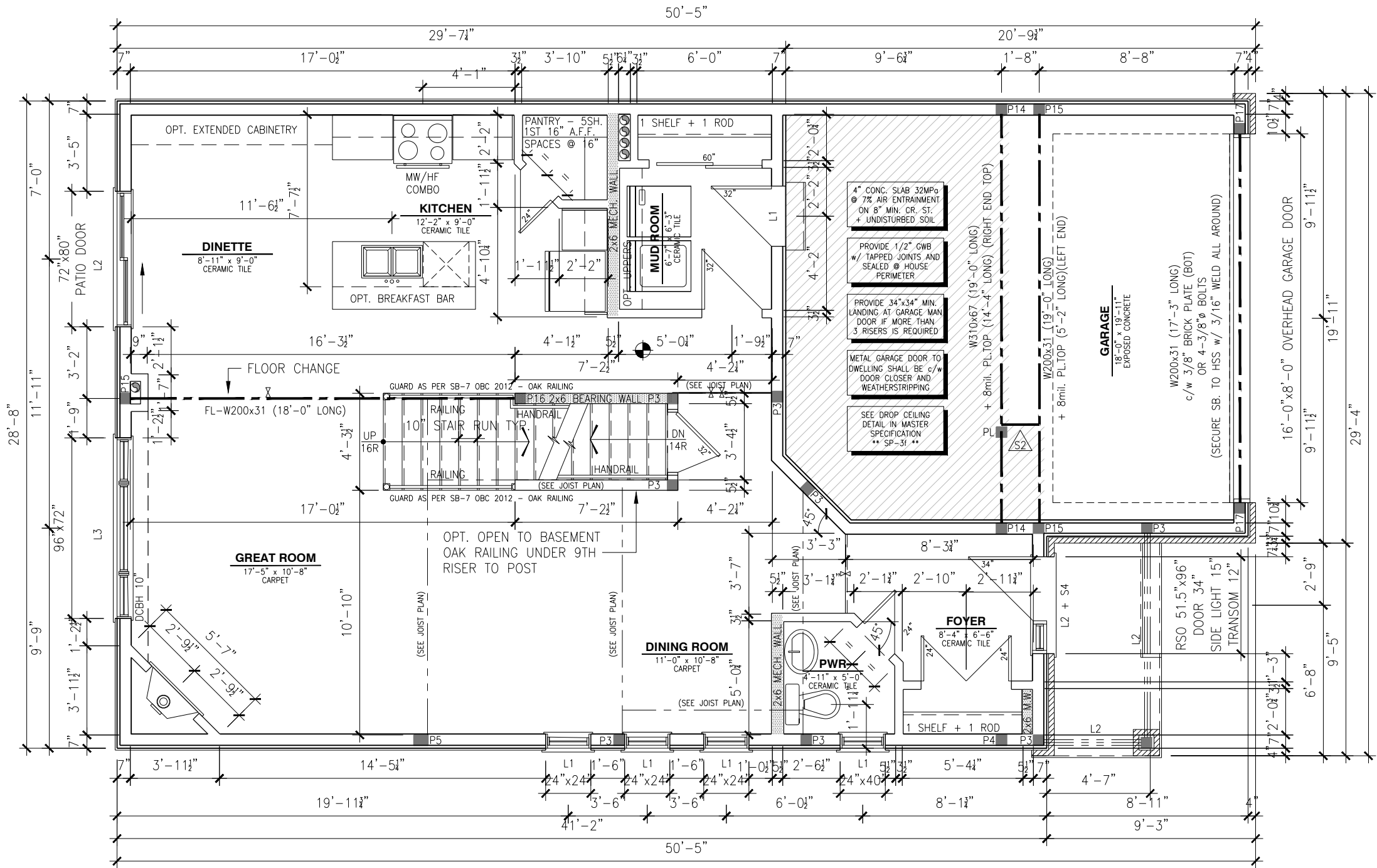
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - GROUND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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(STANDARD DRAWINGS)

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- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;

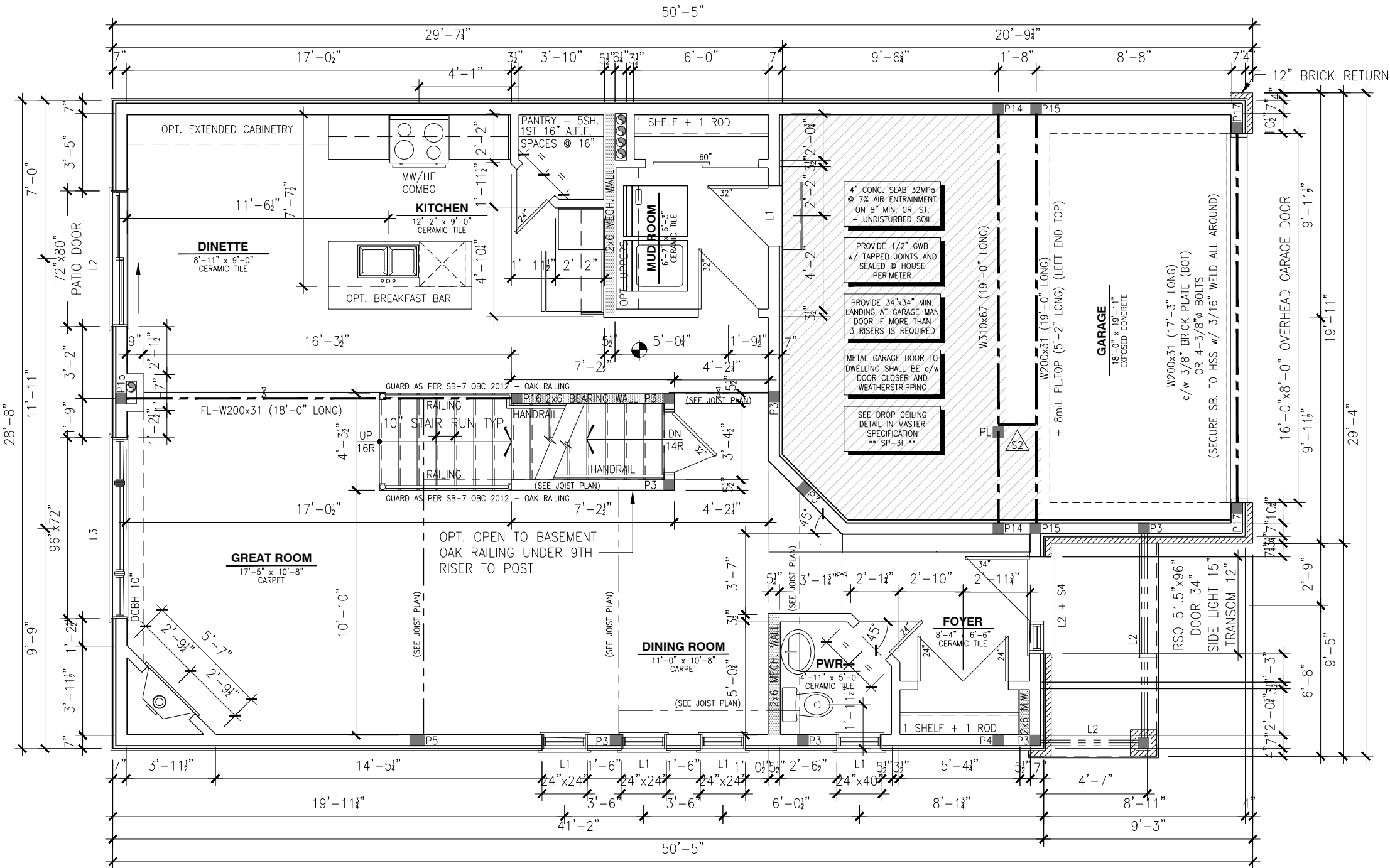
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NOTE:

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PLAN - GROUND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7b

NOTES:

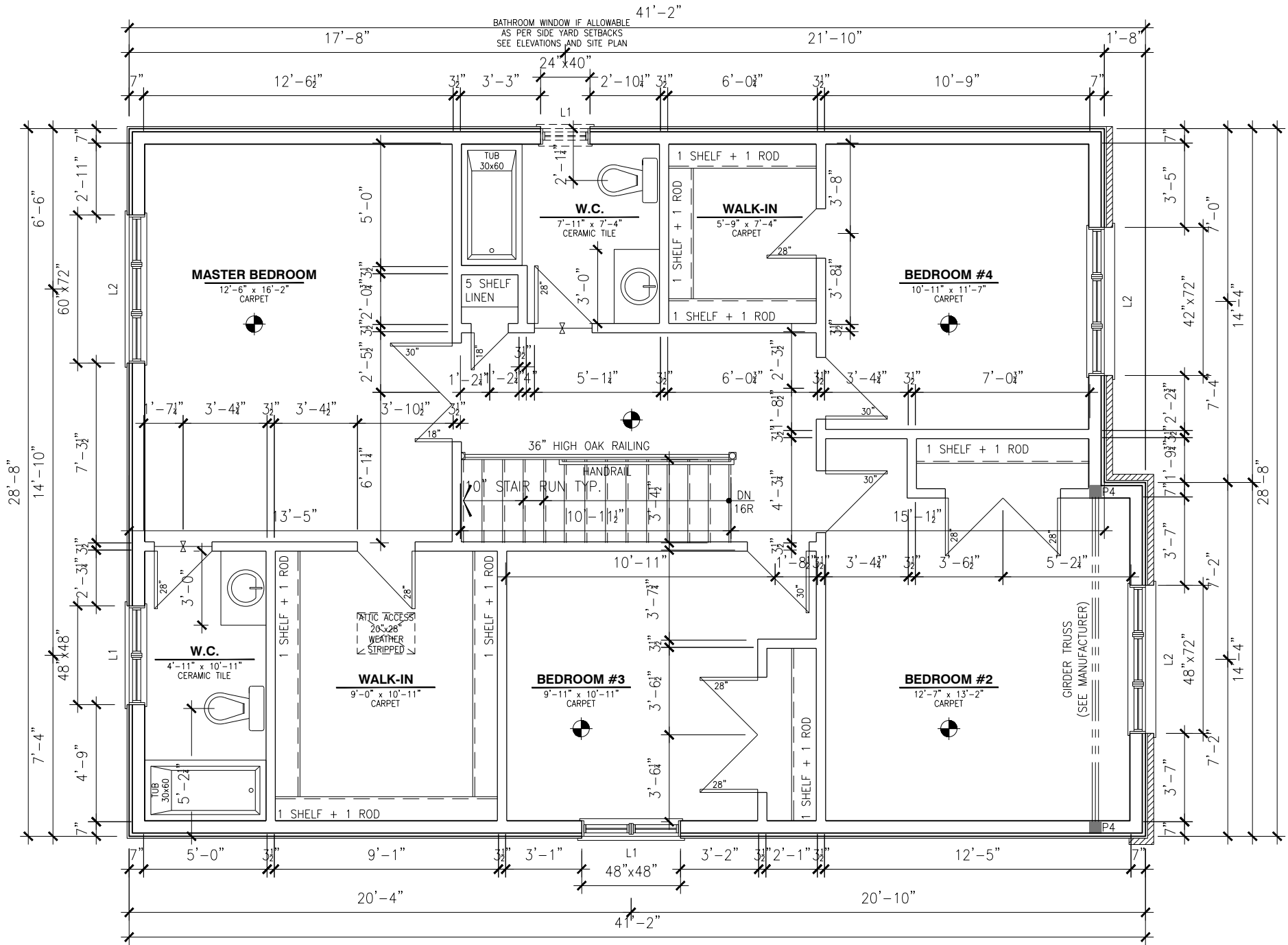
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PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:
SECOND FLOOR - STANDARD

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

NOTES:

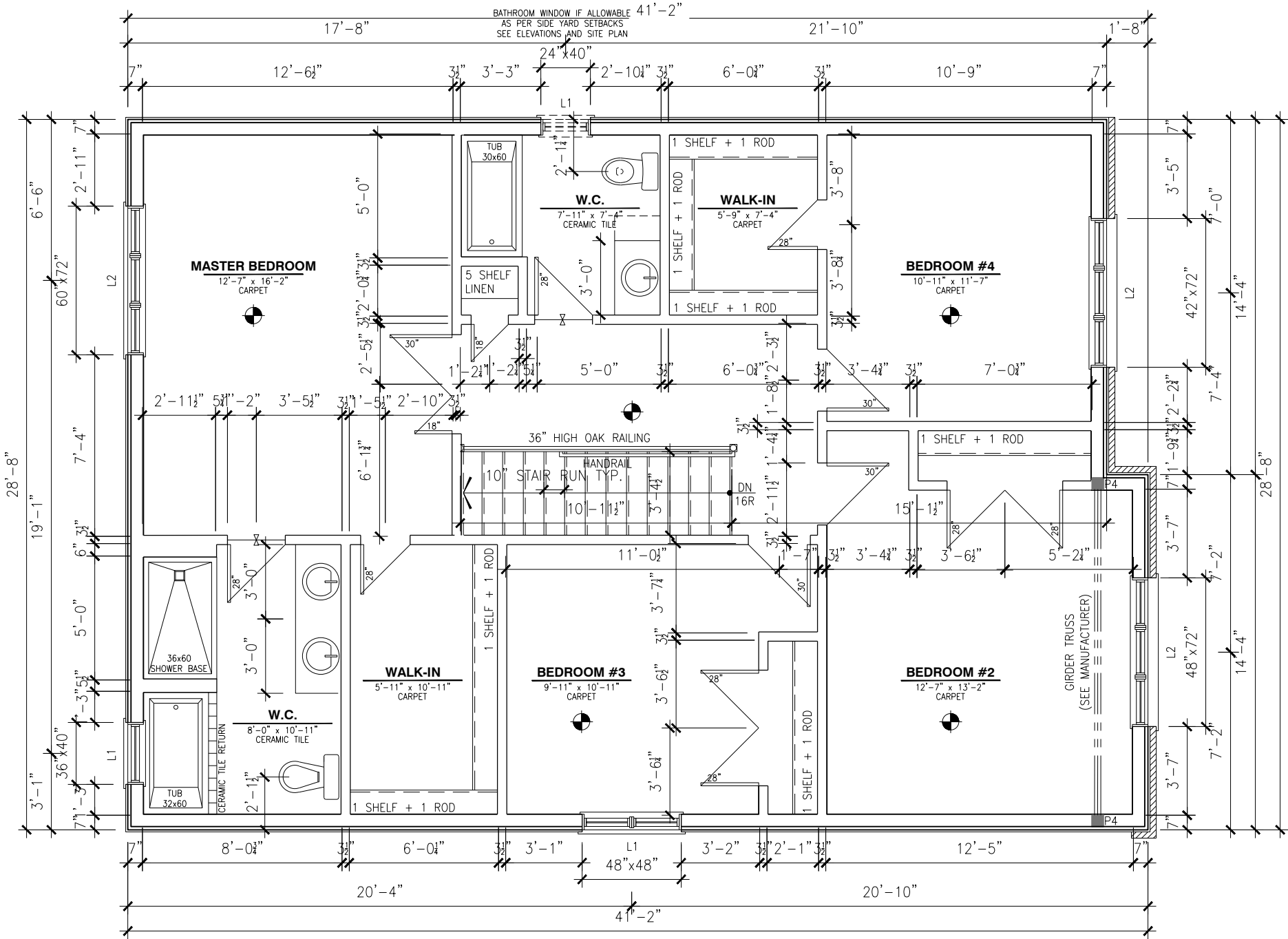
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PLAN - SECOND FLOOR - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT:XXXX

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Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:SECOND FLOOR ENSUITE UPGRADE

ADDRESS:XX

SCALE:3/16" = 1'-0"

DATE:XX/XX/XXXX

815 - THE HARTIN 2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:A8a

NOTES:

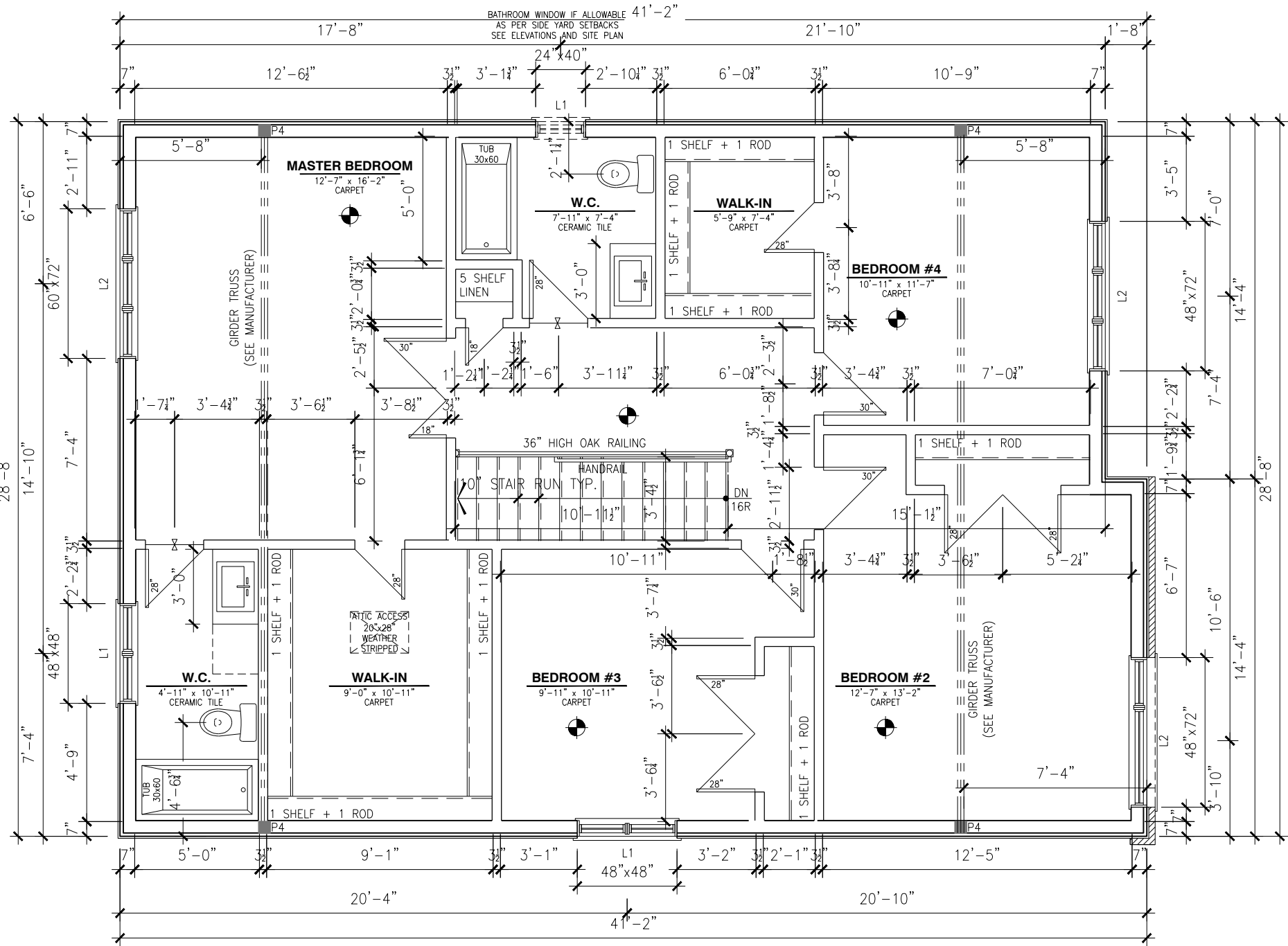
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PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
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NO.	DESCRIPTION	DATE	BY

SECOND FLOOR - STANDARD

ADDRESS:	SCALE:	DATE:
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815 - THE HARTIN
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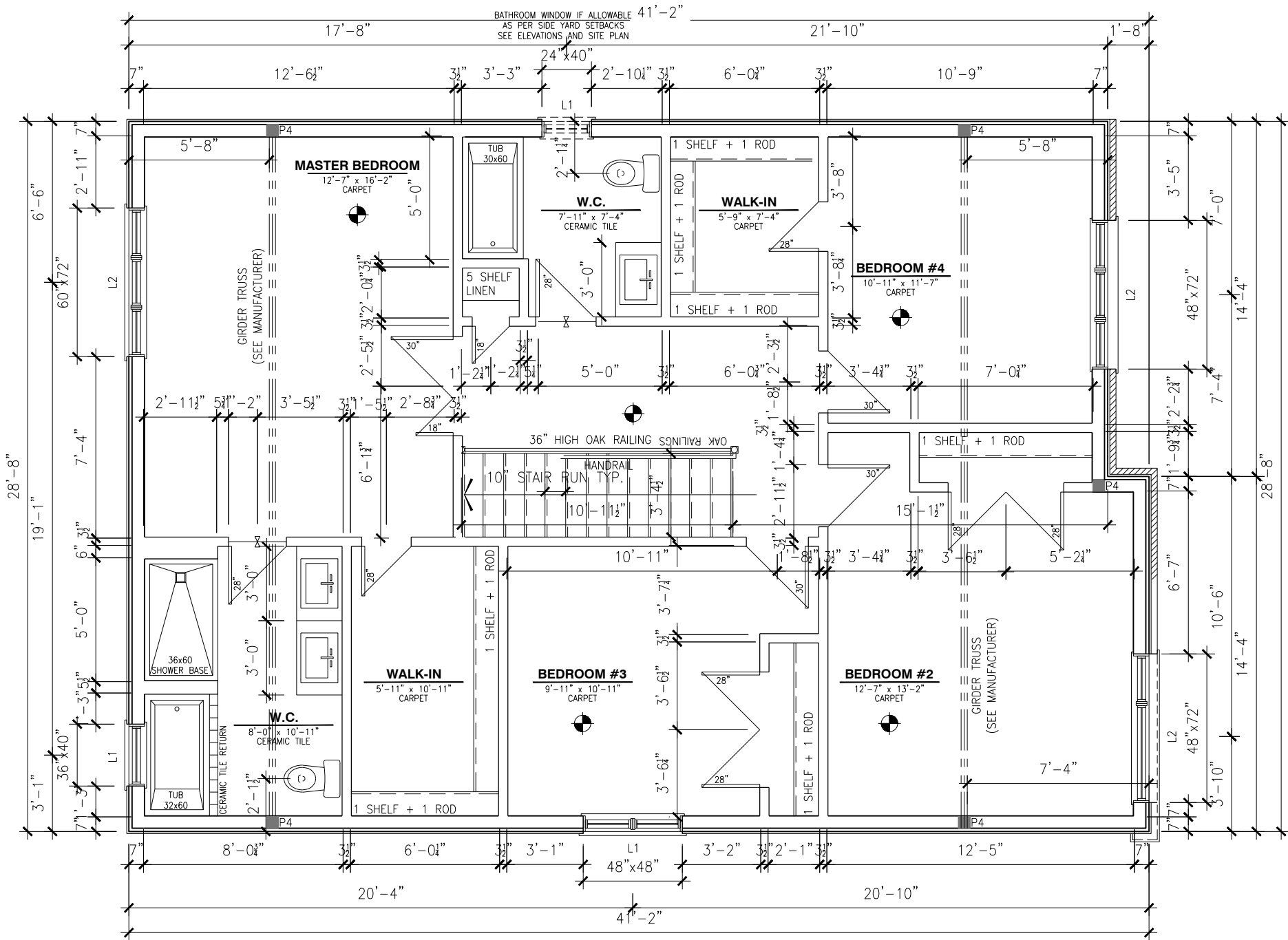
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- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - SECOND FLOOR - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

S1	= L 90x90x6
S2	= L 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1	= 2-2x10 + P2 ON BOTH SIDES
L2	= 3-2x10 + P3 ON BOTH SIDES
L3	= 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
L4	= 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1	= 3" ADJUSTABLE STEEL COLUMN
P1o	= HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2	= 2-2x4 OR 2-2x6
P3	= 3-2x4 OR 3-2x6
P4	= 4-2x4 OR 4-2x6
P5	= 5-2x4 OR 5-2x6
P6	= 6-2x4 OR 6-2x6
P13	= HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14	= HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15	= HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16	= HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17	= HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
(*)	= 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR ENSUITE UPGRADE**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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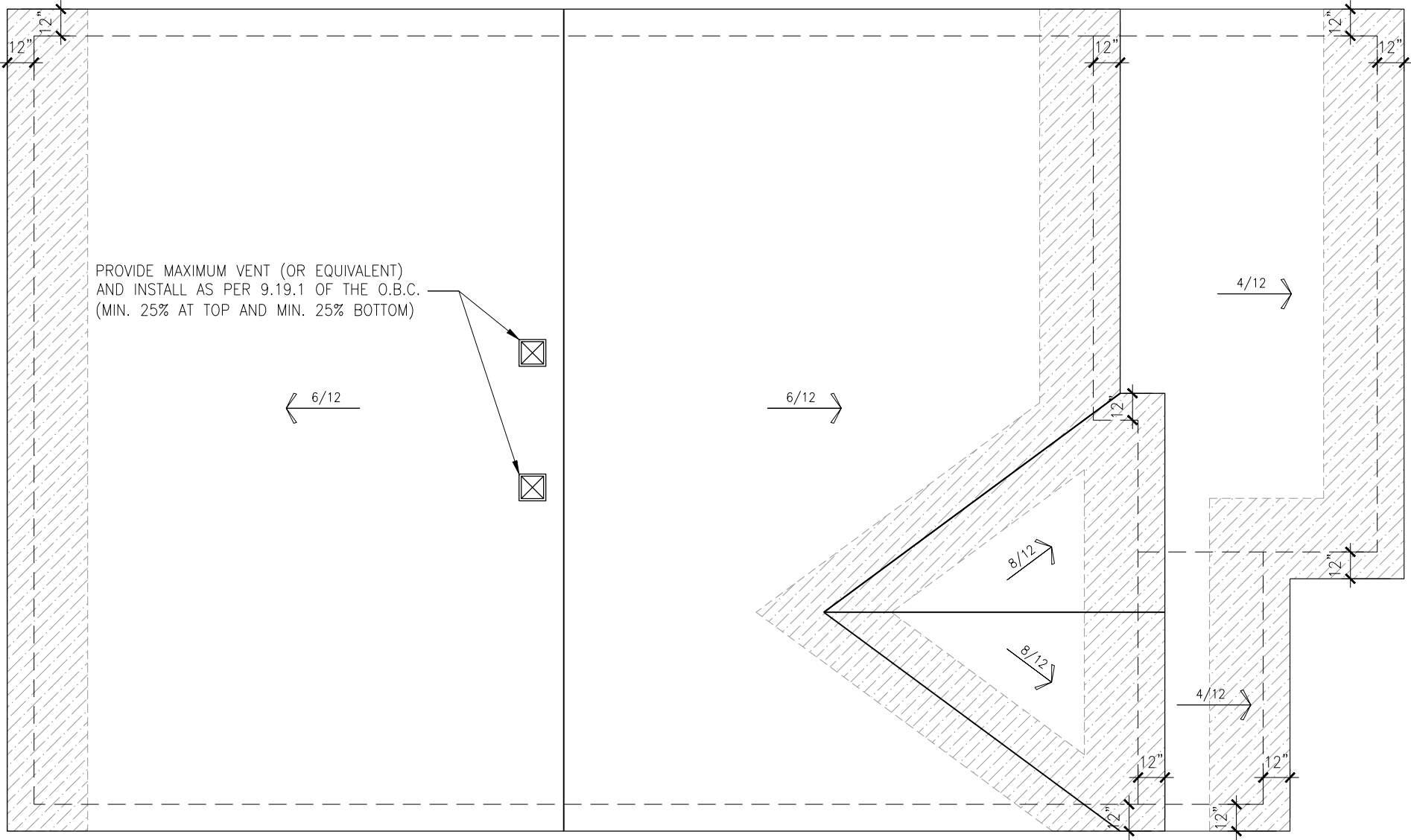
815 - THE HARTIN 2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: **A8b**

ROOF AND FLOOR LAYOUT NOTES:

– ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



PLAN - ROOF - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

– PERSONAL BCIN #19896
– TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS			
REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

ROOF PLAN - ELEVATION A

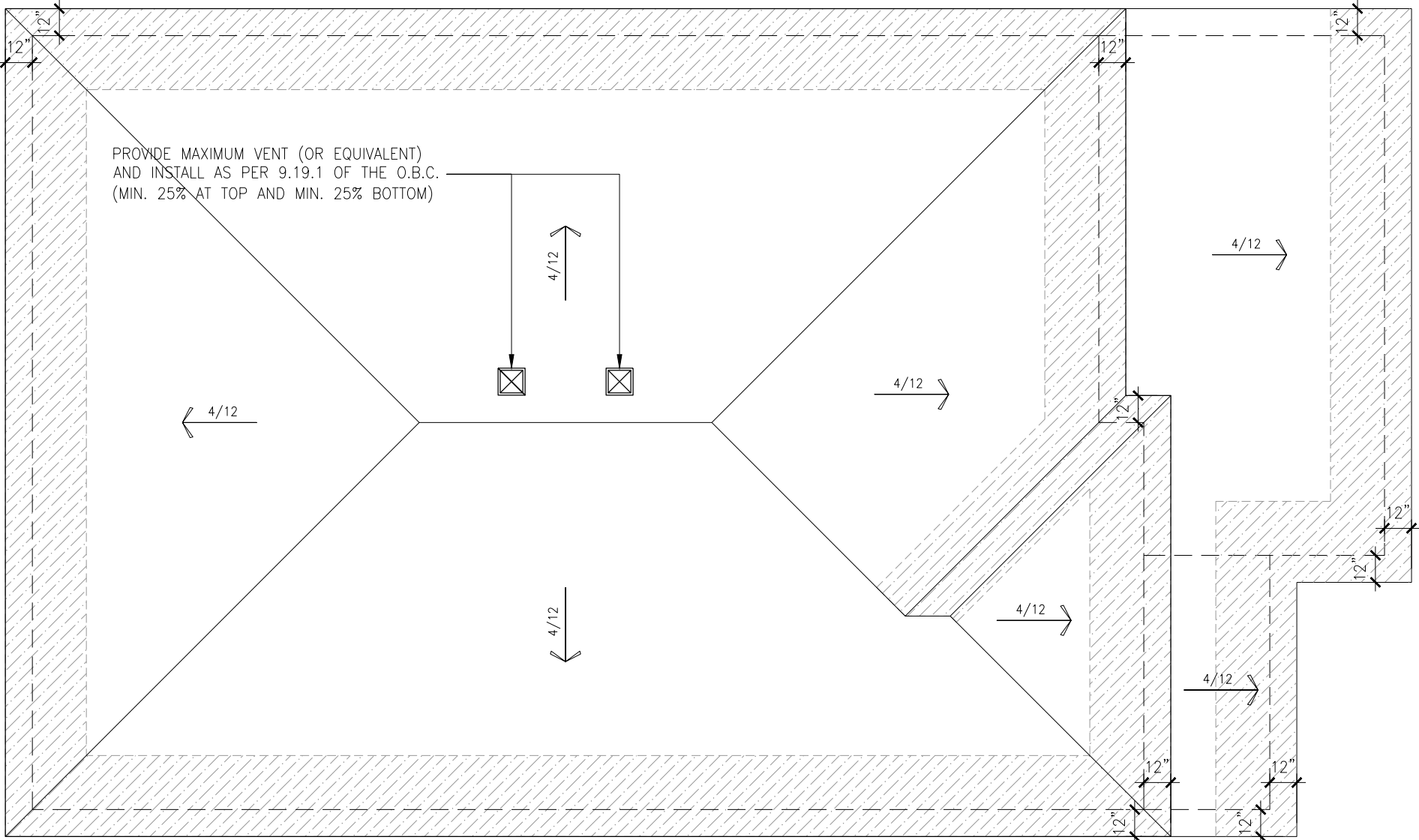
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A9a

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PLAN - ROOF - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

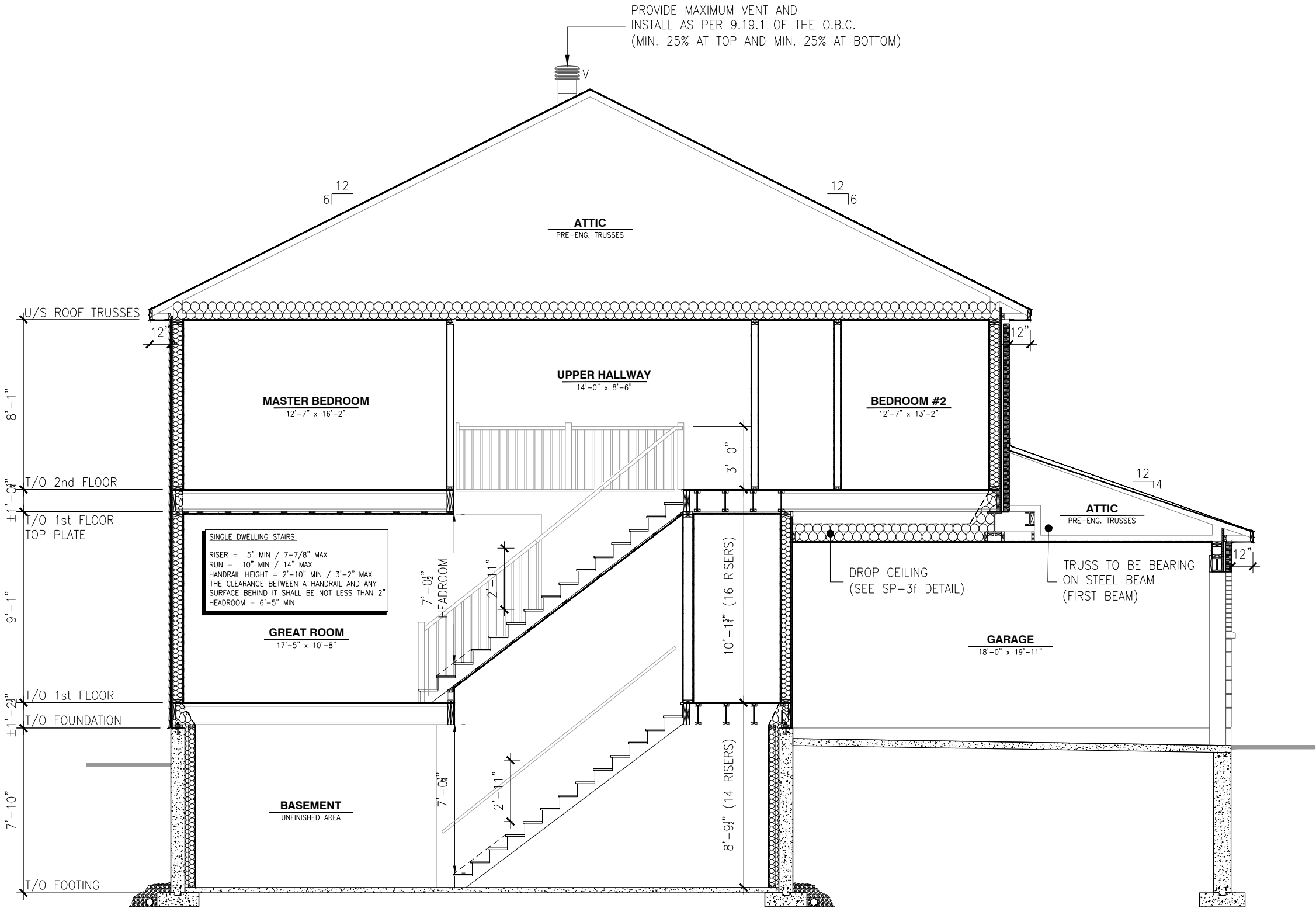
REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

ROOF PLAN - ELEVATION B

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A9b



BUILDING SECTION - ELEVATION A/B/C (SIM)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

SECTION

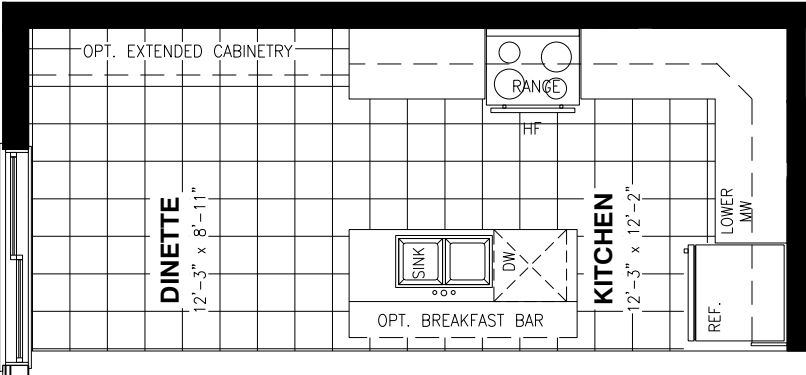
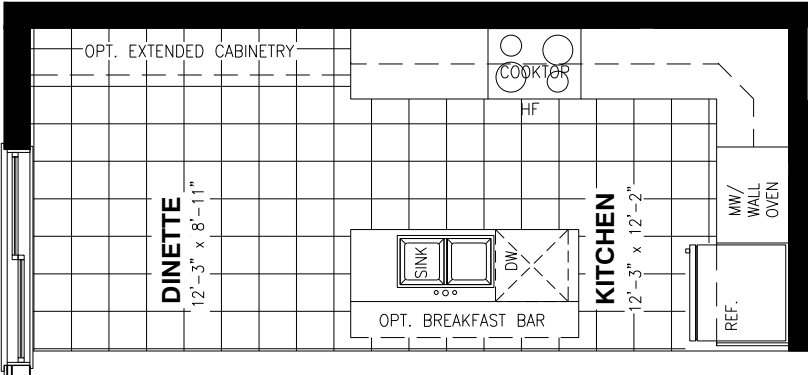
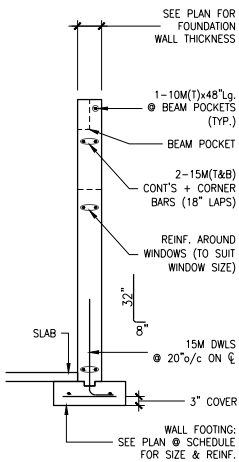
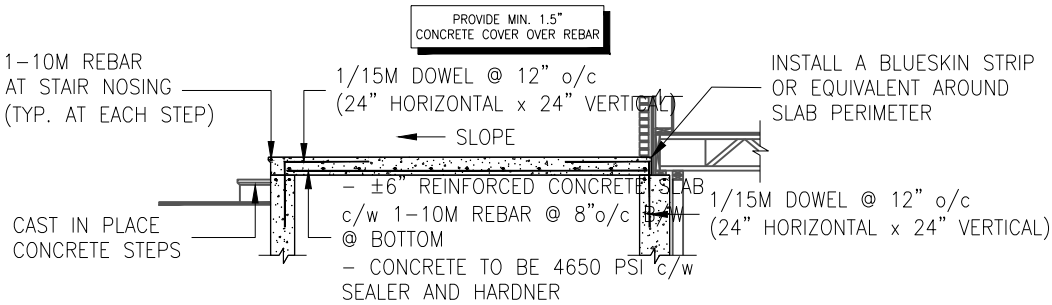
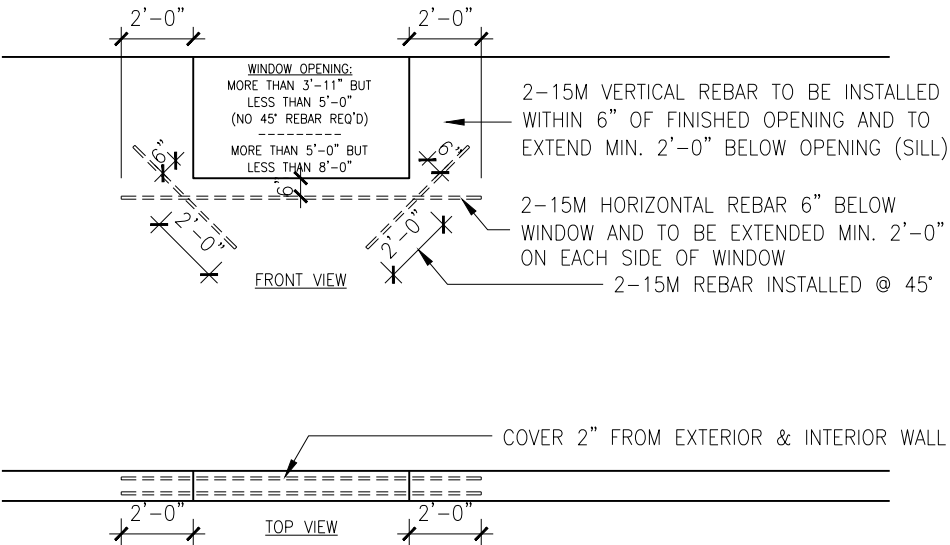
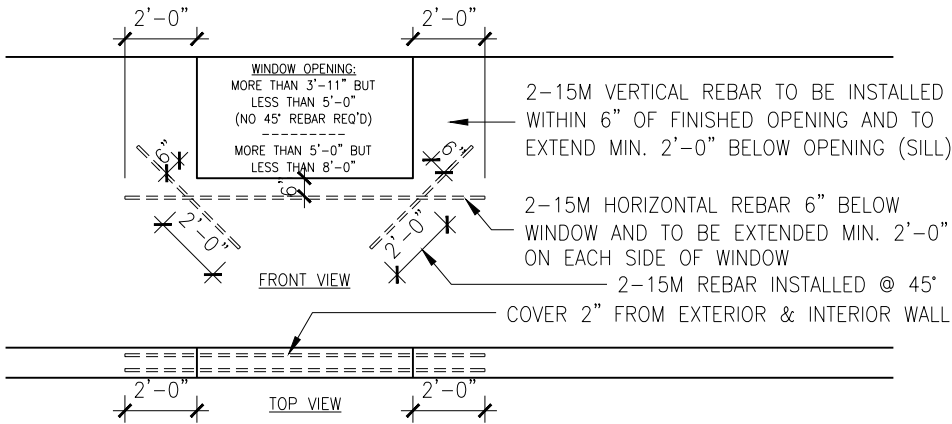
ADDRESS:	SCALE:	DATE:
XX	AS INDICATED	XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10



BUILDING SECTION - ELEVATION A/B/C (SIM)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

SECTION

ADDRESS: XX SCALE: AS INDICATED DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

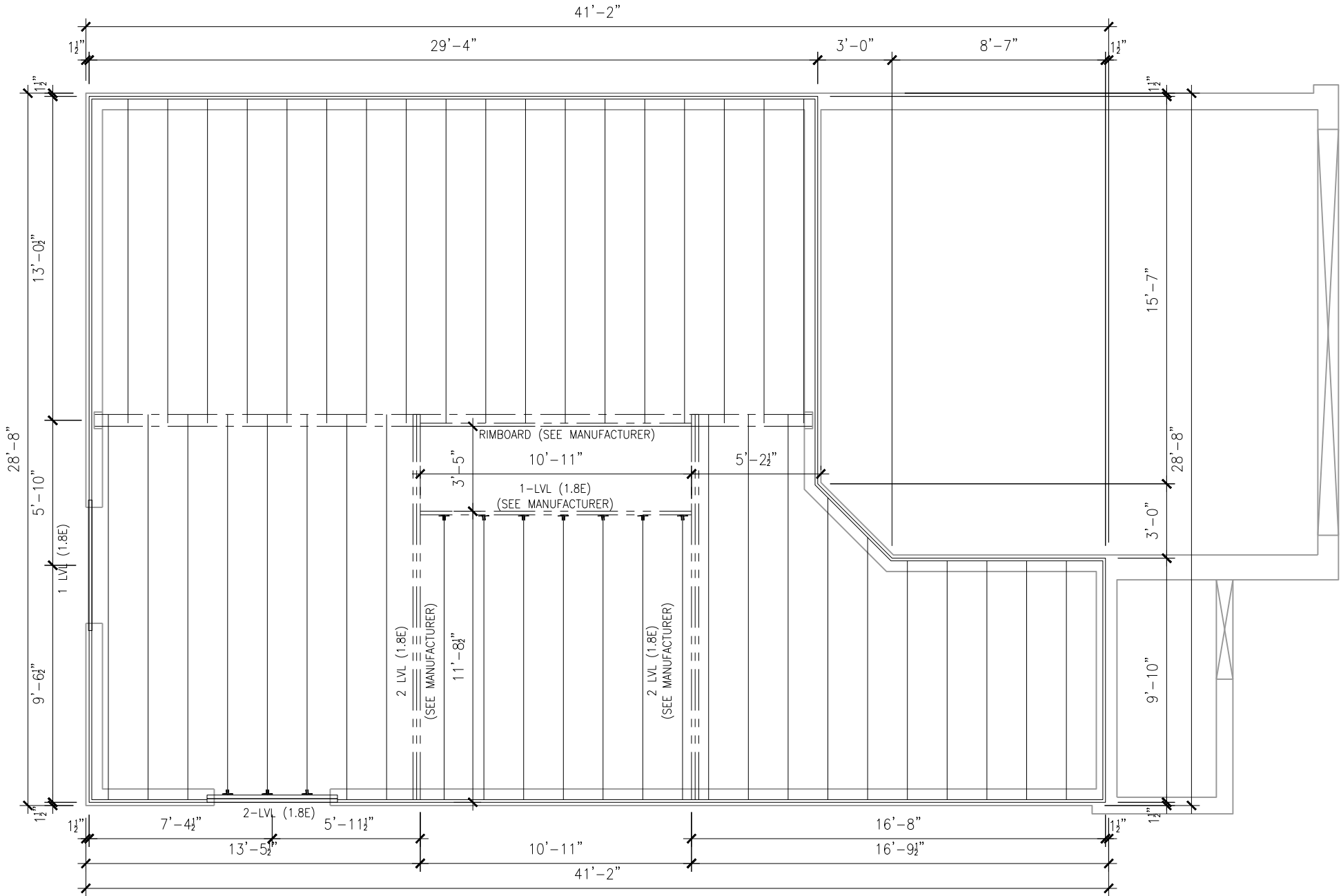
(STANDARD DRAWINGS)

SHEET:

A10a

ROOF AND FLOOR LAYOUT NOTES:

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PLAN - FIRST FLOOR
JOIST LAYOUT - ELEVATION A/B/C (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: 01FL - JOIST LAYOUT
STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

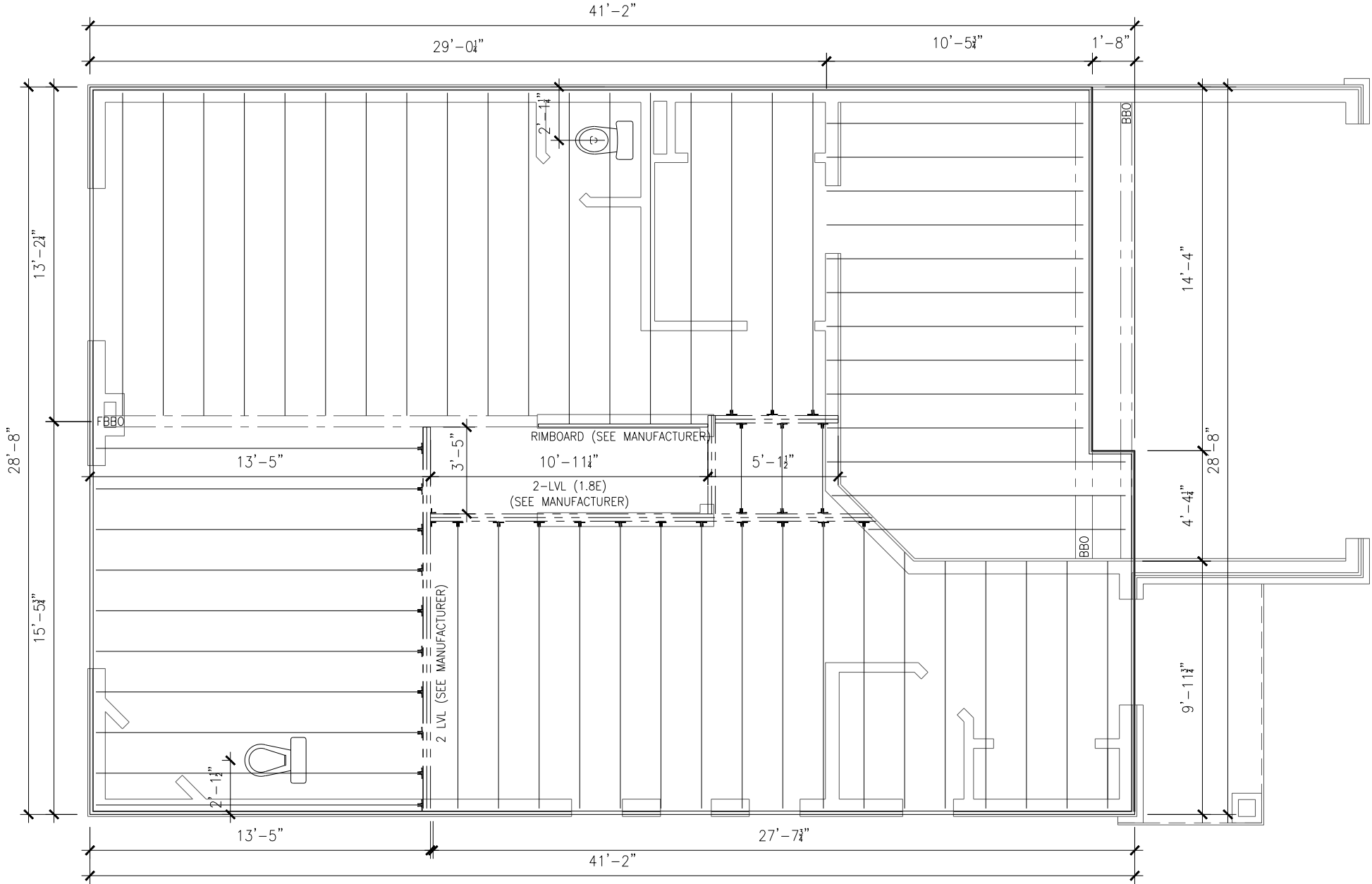
815 - THE HARTIN
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A11a

ROOF AND FLOOR LAYOUT NOTES:

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PLAN - SECOND FLOOR
JOIST LAYOUT - ELEVATION A/B/C (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD

NO.	DESCRIPTION	DATE	BY

DRAWING: 02FL - JOIST LAYOUT
STANDARD

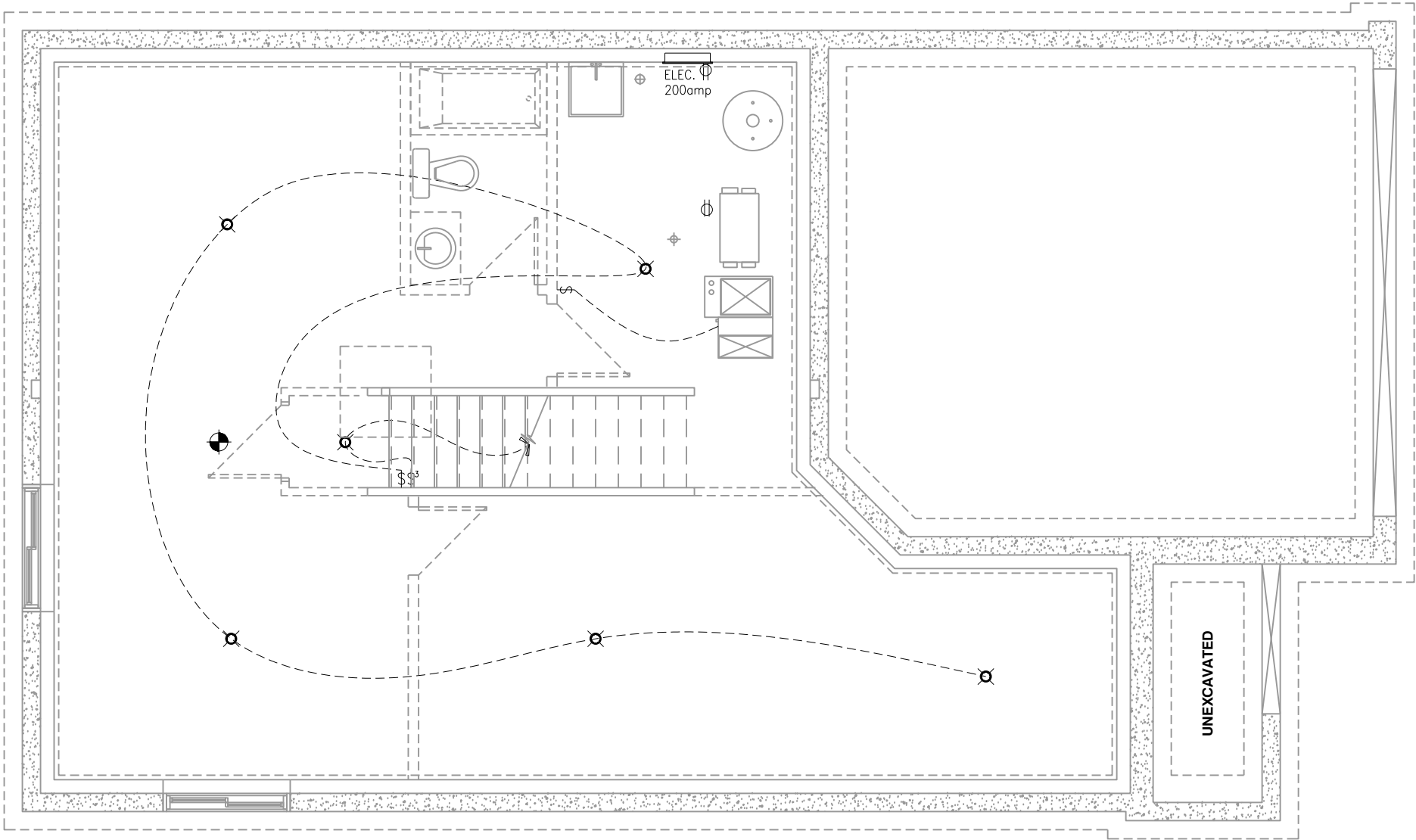
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A12

PLAN - ELECTRICAL
FOUNDATION - ELEVATION A/B/C (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL
FOUNDATION PLAN - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

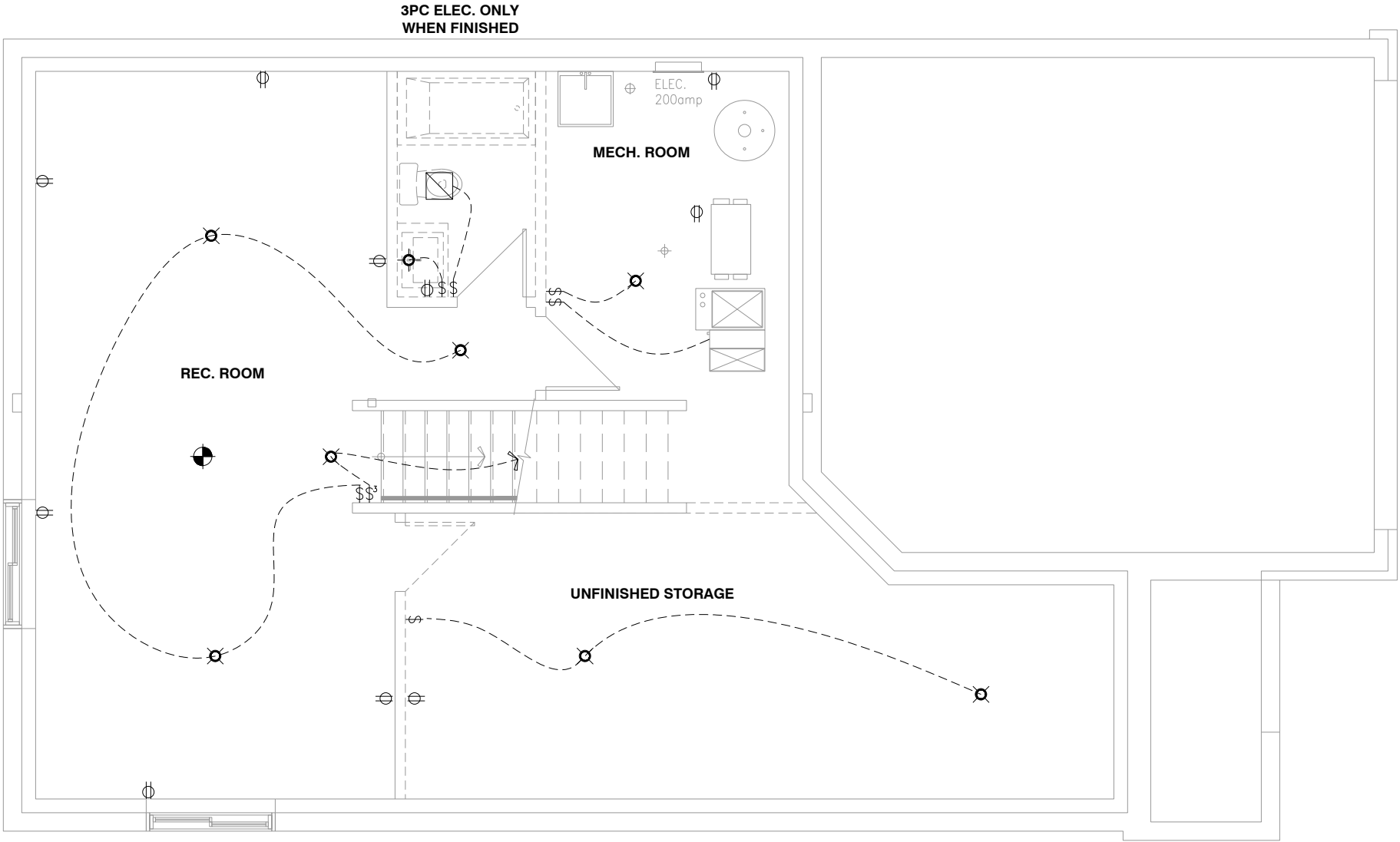
(STANDARD DRAWINGS)

SHEET:

E1a

PLAN - ELECTRICAL
FOUNDATION - ELEVATION A/B/C (SUNKEN)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL
FOUNDATION PLAN - SUNKEN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

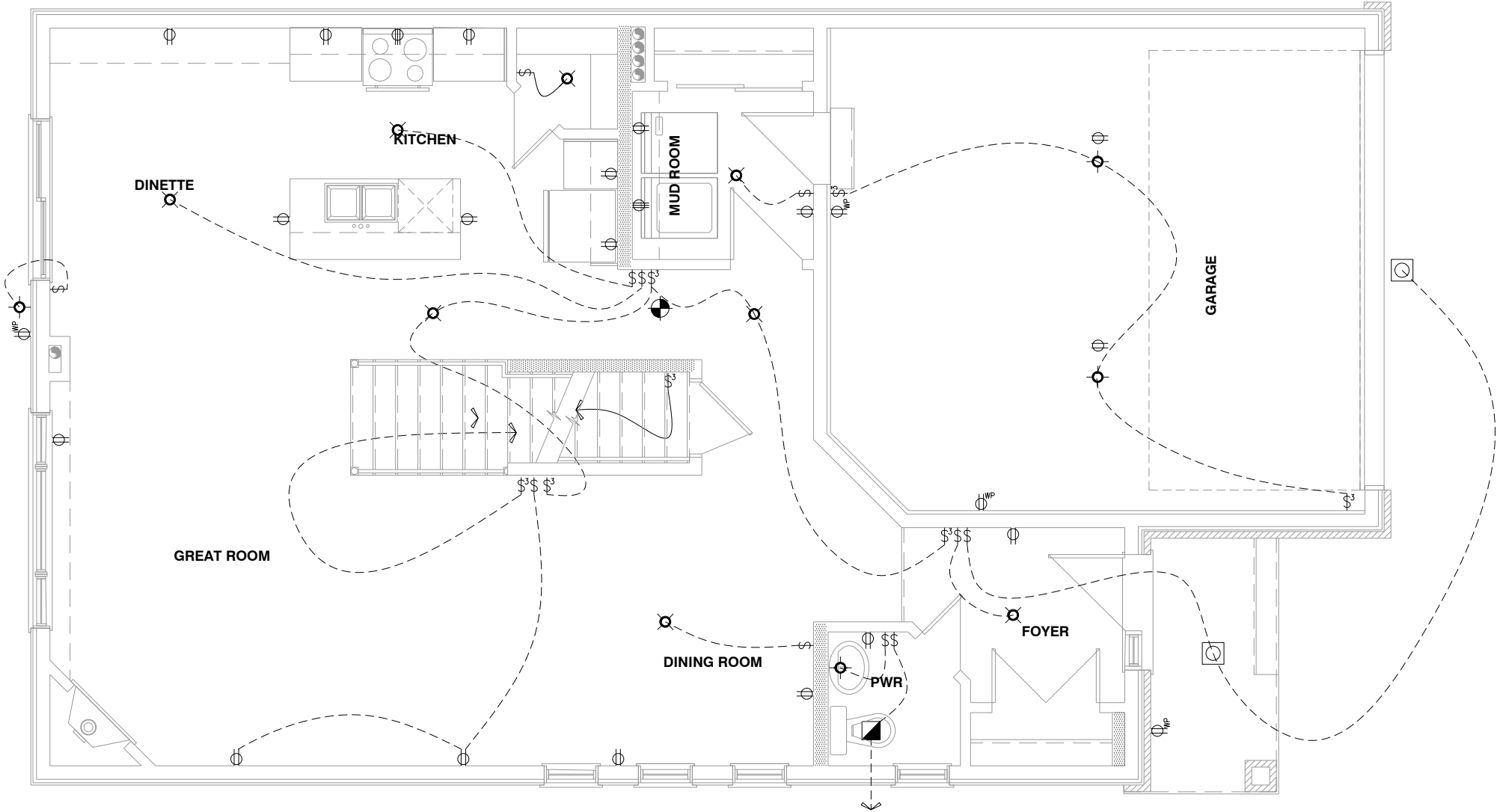
(STANDARD DRAWINGS)

SHEET:

E1b

PLAN - ELECTRICAL
GROUND FLOOR - ELEVATION A (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



I, DAN GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	NEW STAIRS	04/20/2021	DOYON
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL
GROUND FLOOR - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

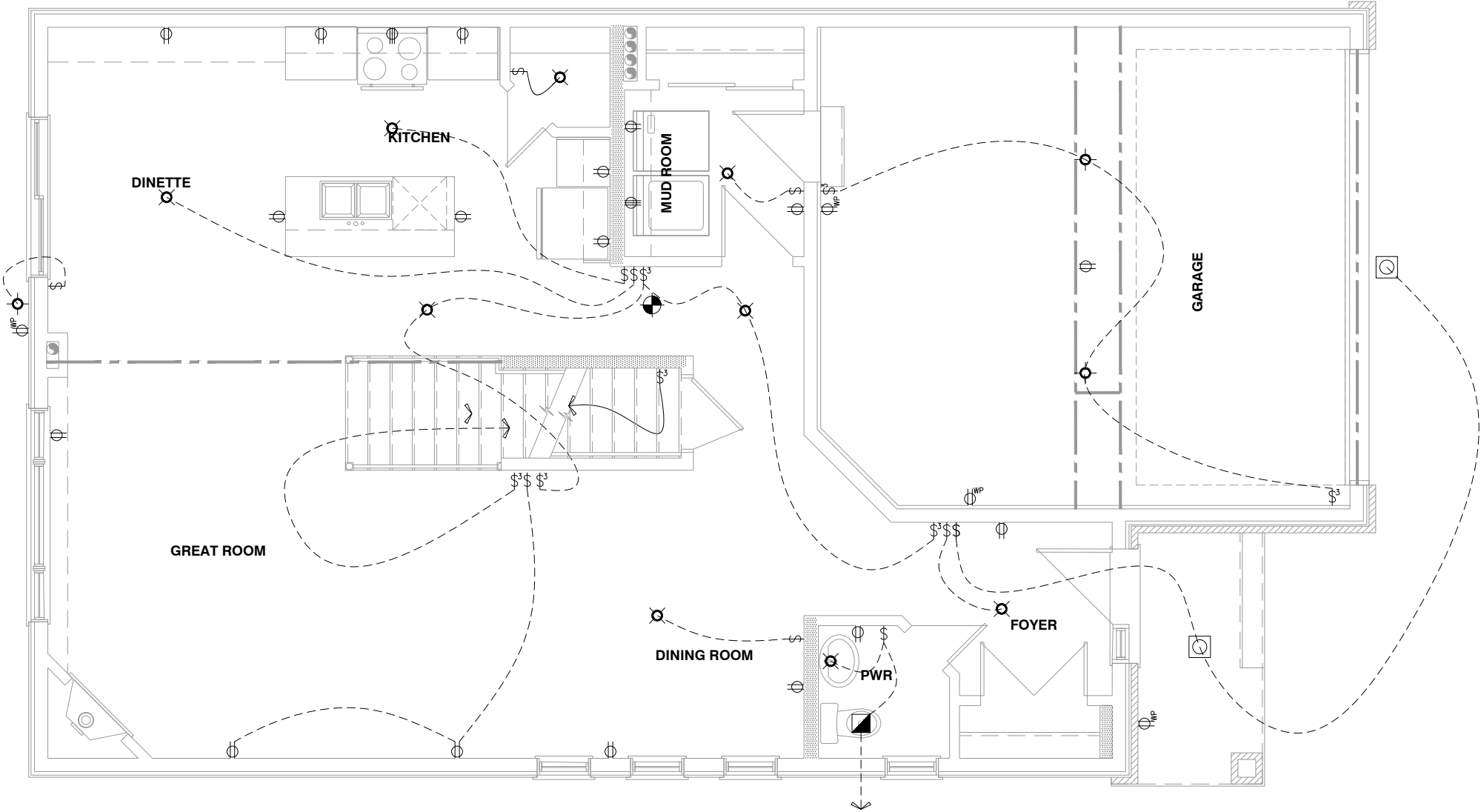
(STANDARD DRAWINGS)

SHEET:

E2a

PLAN - ELECTRICAL
GROUND FLOOR - ELEVATION B (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL
GROUND FLOOR - STANDARD

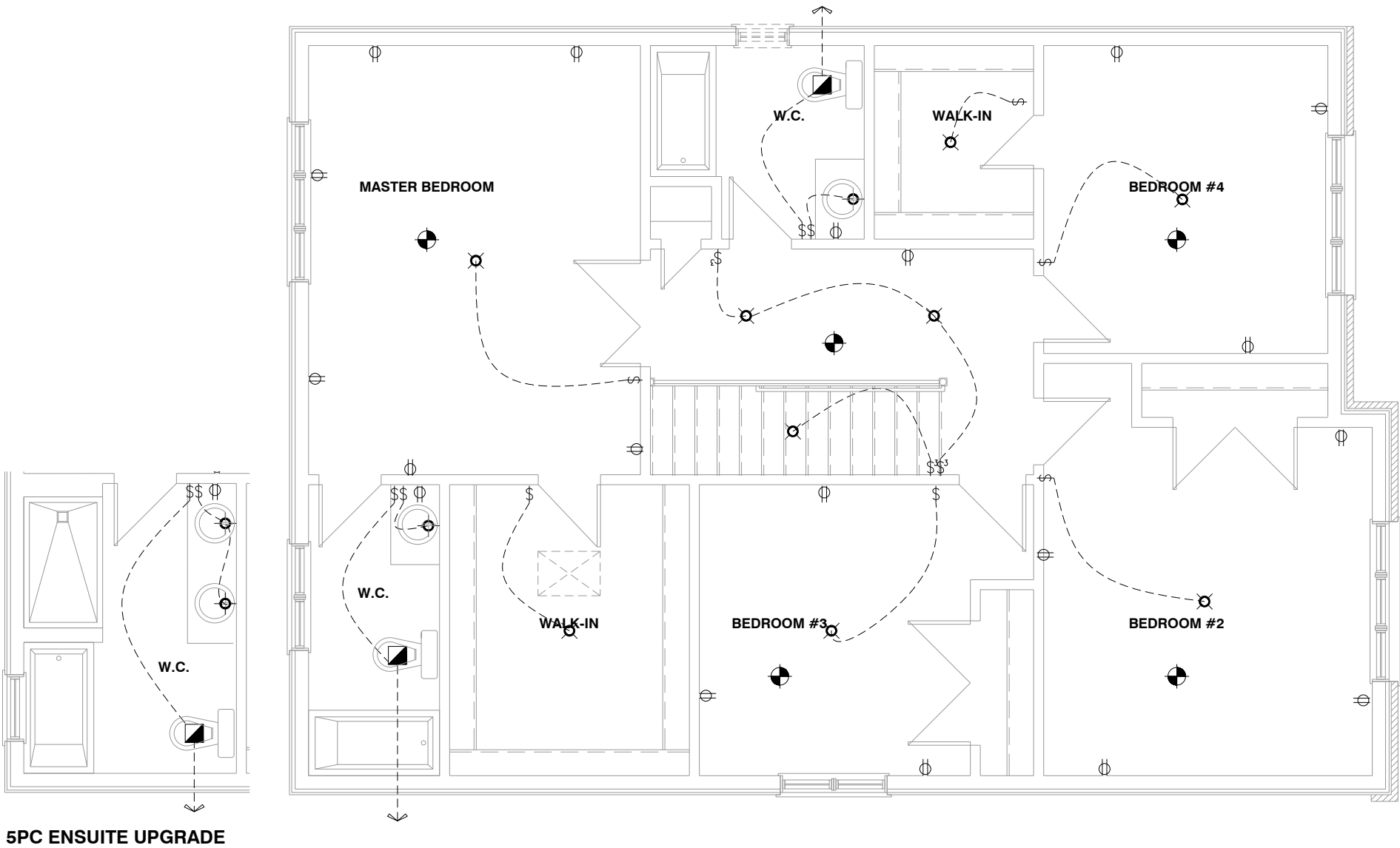
ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: E2b

PLAN - ELECTRICAL
SECOND FLOOR - ELEVATION A (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

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SECOND FLOOR - STANDARD

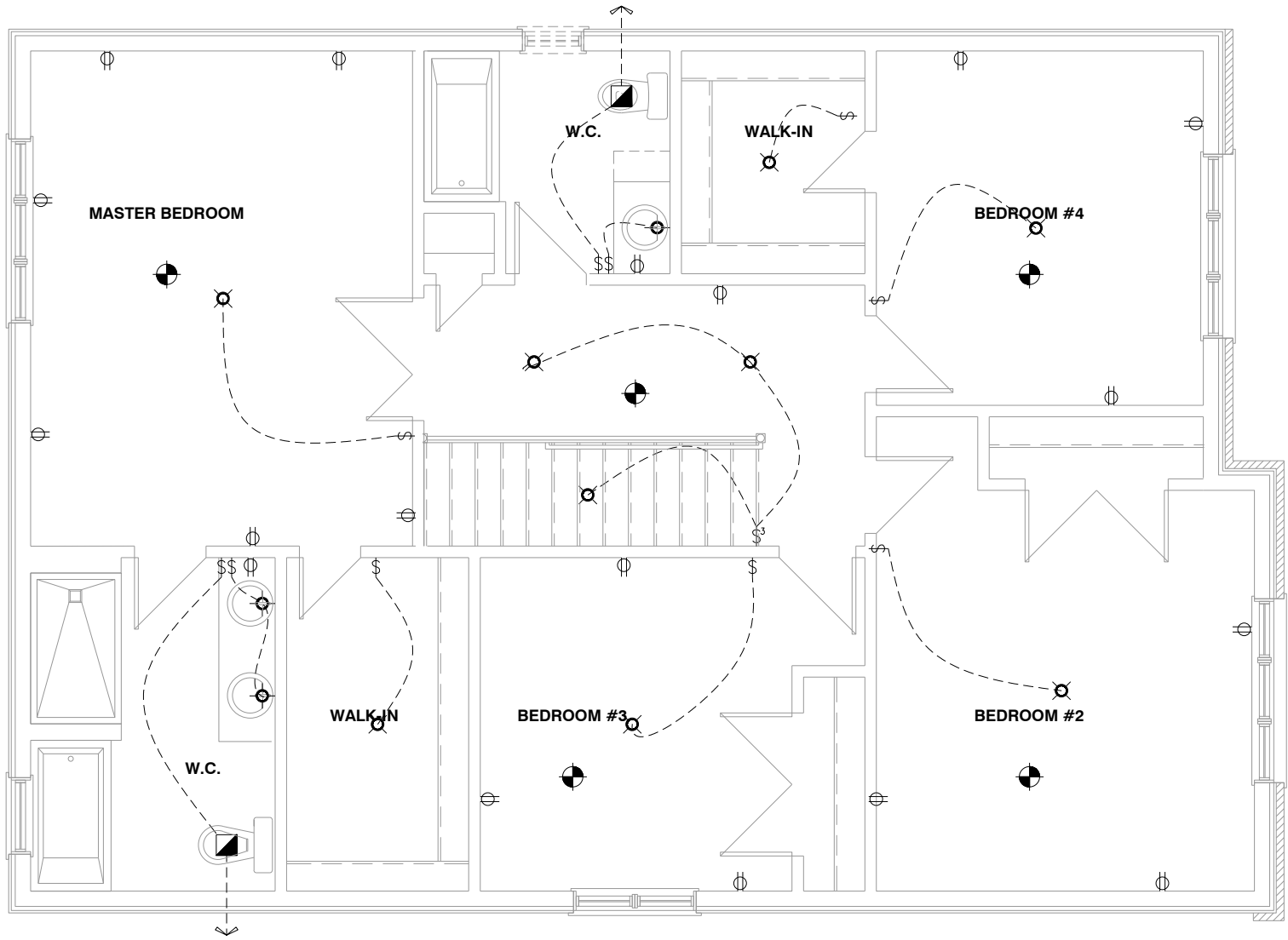
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E3a

PLAN - ELECTRICAL
SECOND FLOOR - ELEVATION A - 5pc ensuite

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL
SECOND FLOOR -'A' - 5PC ENSUITE

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

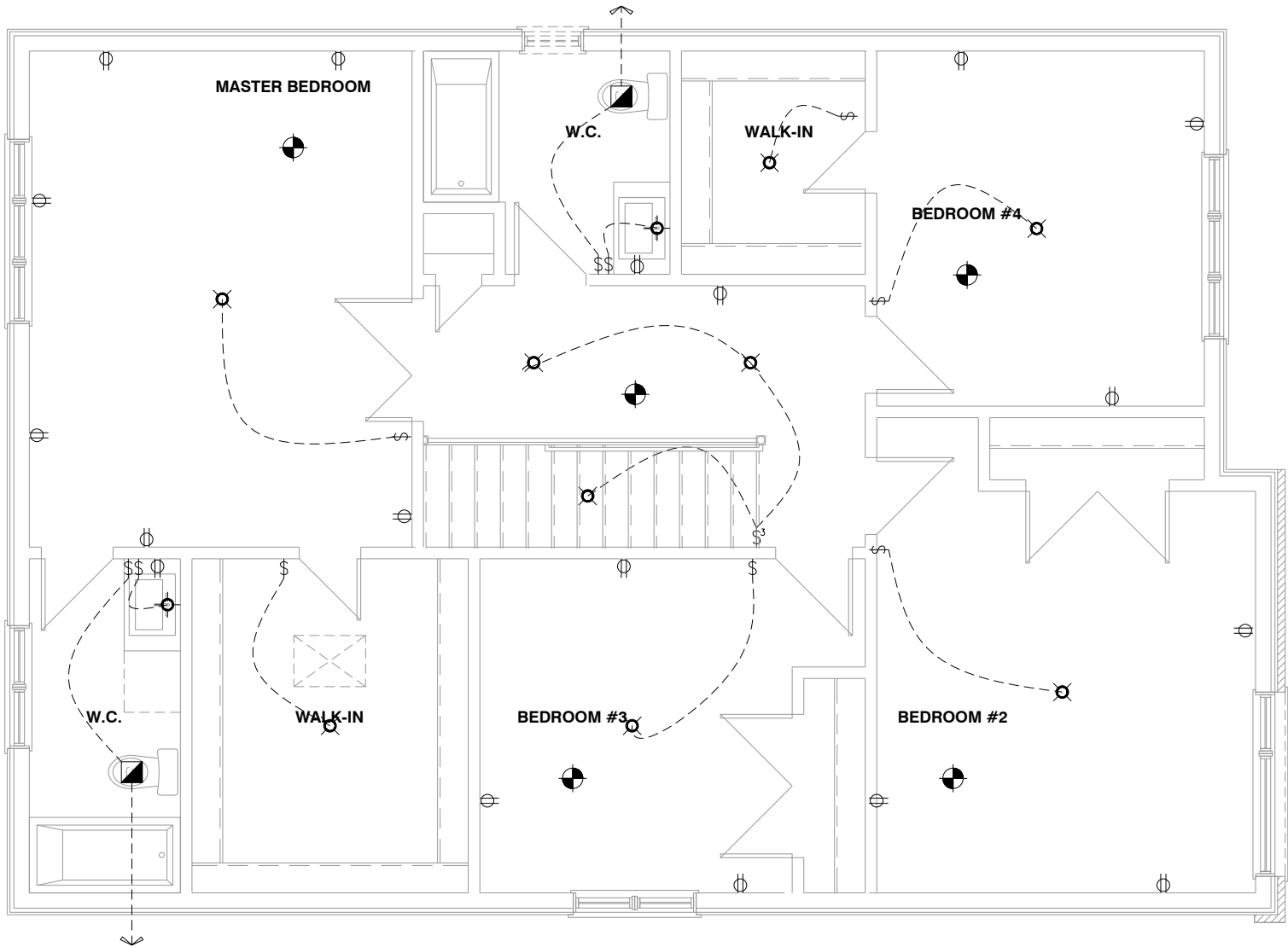
(STANDARD DRAWINGS)

SHEET:

E3a

PLAN - ELECTRICAL
SECOND FLOOR - ELEVATION B (STANDARD)

SCALE: 3/16" = 1'-0"



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DATE: XX/XX/XXXX



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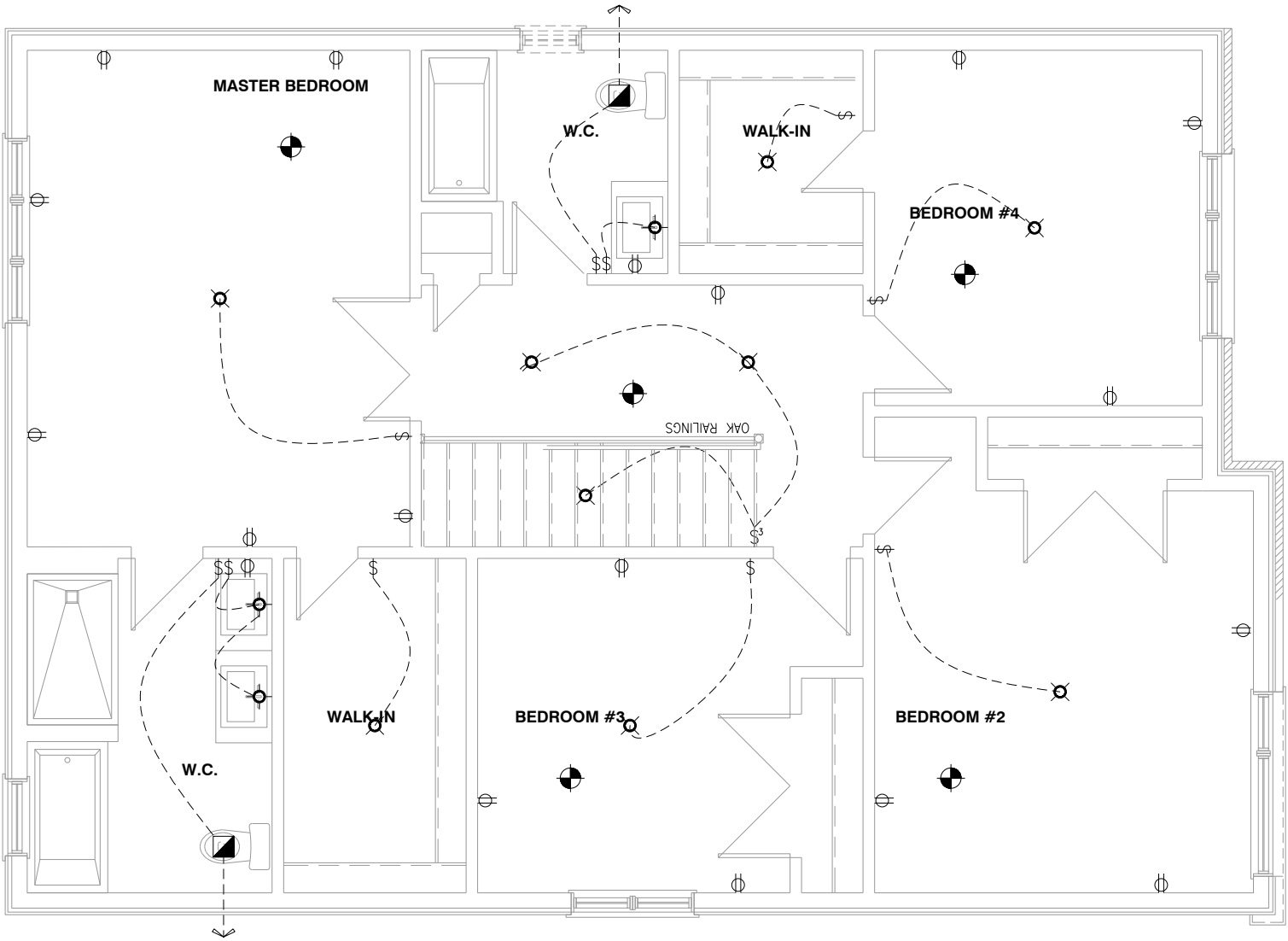
(STANDARD DRAWINGS)

SHEET:

E3b

PLAN - ELECTRICAL
SECOND FLOOR - ELEVATION B (5pc ensuite)

SCALE: 3/16" = 1'-0"



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NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL**
SECOND FLOOR - 'B' - 5pc

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

815 - THE HARTIN
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E3b