

STANDARD PLAN: 2 BEDROOM

GROSS INSULATED = 182 M. SQ.  
WALL AREA

GROSS WINDOW = 17.87 M. SQ.  
AREA

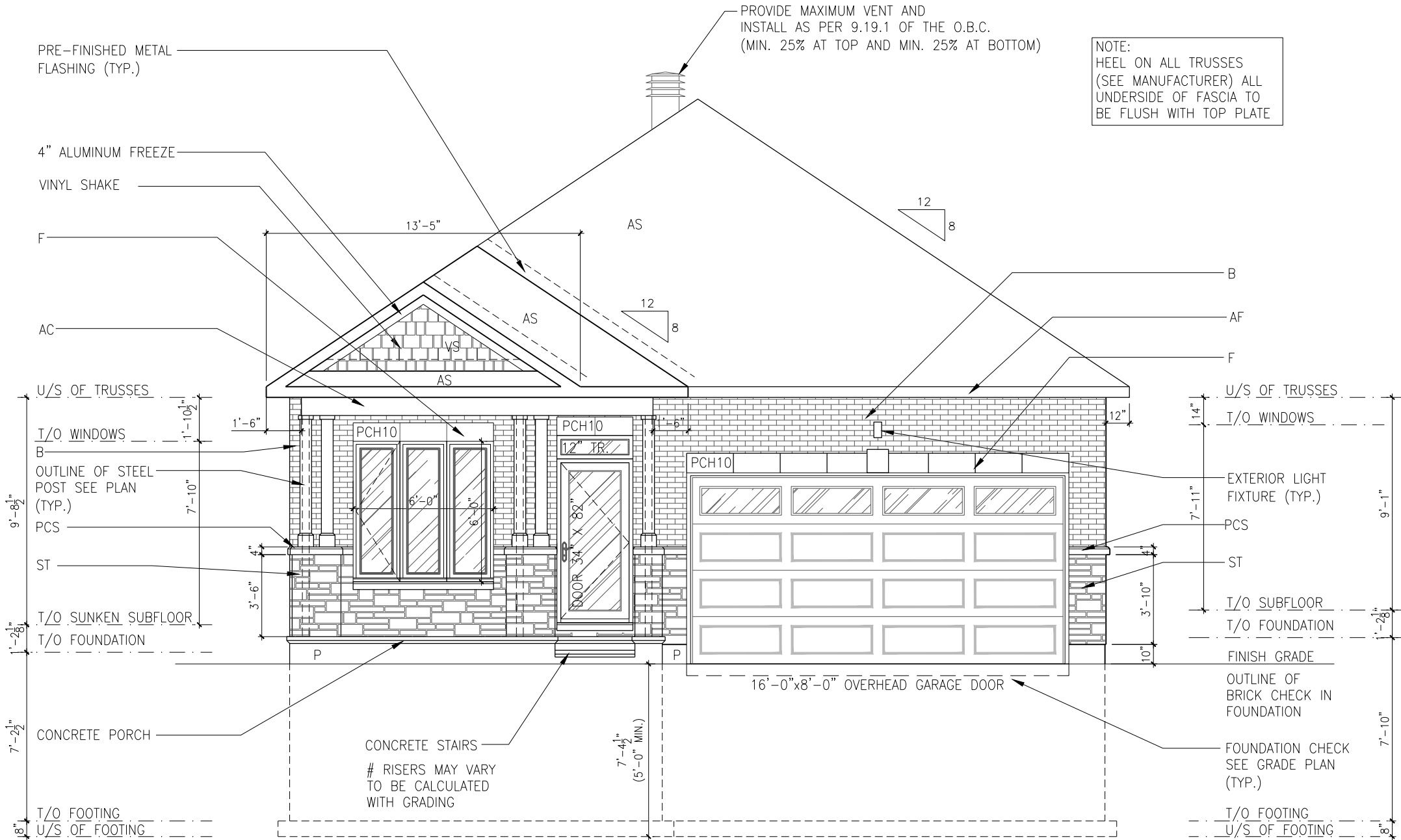
PERCENT GLASS TO WALL AREA = 9.8%

STANDARD PLAN: 3 BEDROOM

GROSS INSULATED = 182 M. SQ.  
WALL AREA

GROSS WINDOW = 18.67 M. SQ.  
AREA

PERCENT GLASS TO WALL AREA = 10.2%



ELEVATION A - FRONT - 2 AND 3 BEDROOM

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV   | DESCRIPTION                    | DATE       | BY    |
|-------|--------------------------------|------------|-------|
| REV-4 | NEW STAIRS                     | 04/20/2021 | DOYON |
| REV-3 | ISSUED FOR BUILDING PERMIT     | 11/19/2018 | DOYON |
| REV-2 | ISSUED FOR STRUCTURAL REVIEW   | 11/07/2018 | DOYON |
| REV-1 | NEW STANDARD DRWG MODIFICATION | 10/08/2018 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

NOTES: STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

- \* UNLESS OTHERWISE NOTED
- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- \* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
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- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING:

ELEVATION A - FRONT

ADDRESS:

XX

SCALE:

3/16" = 1'-0"

DATE:

XX/XX/XXXX

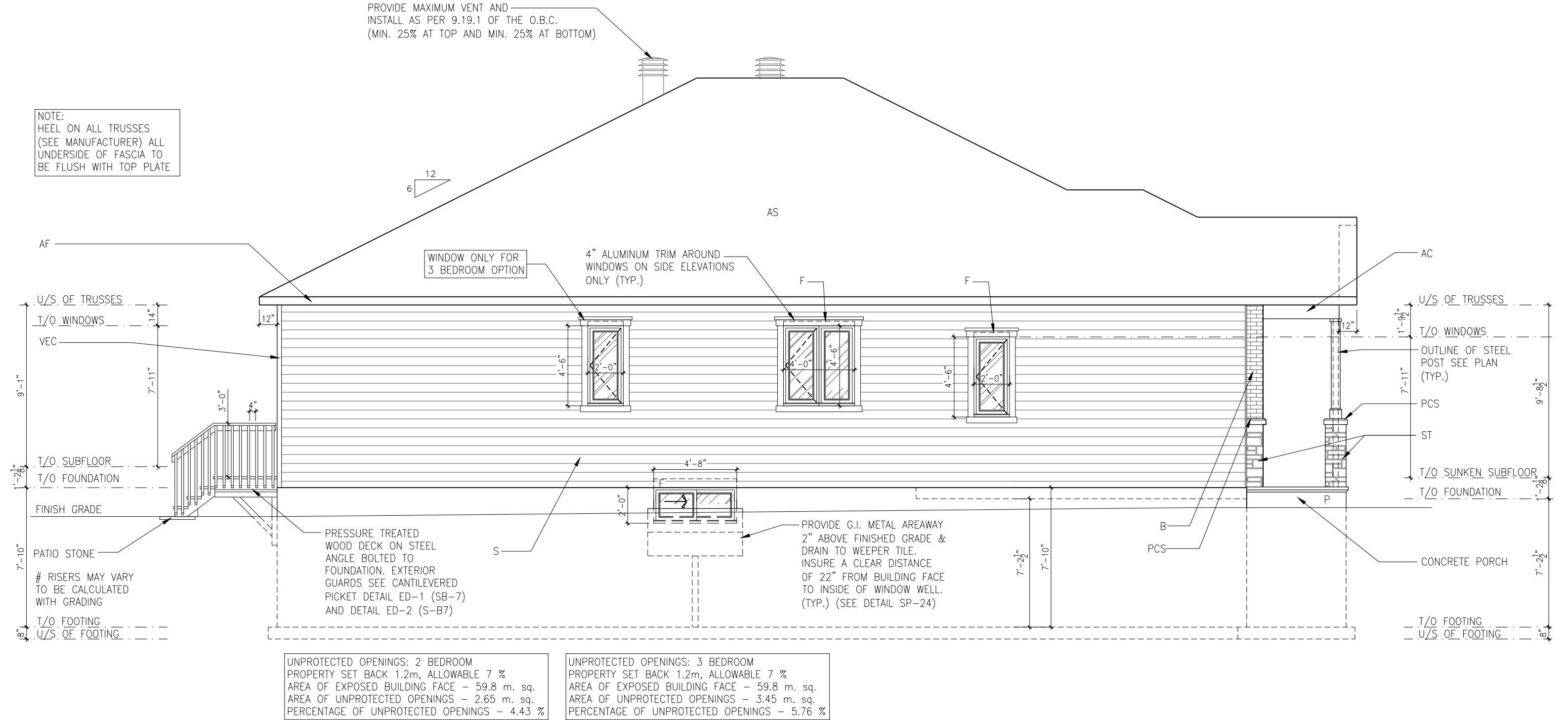
804 - THE MANNING  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A1






ELEVATION A - LEFT - 2 AND 3 BEDROOM

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX



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2012 O.B.C. DRAWINGS

DRAWING: ELEVATION A - LEFT

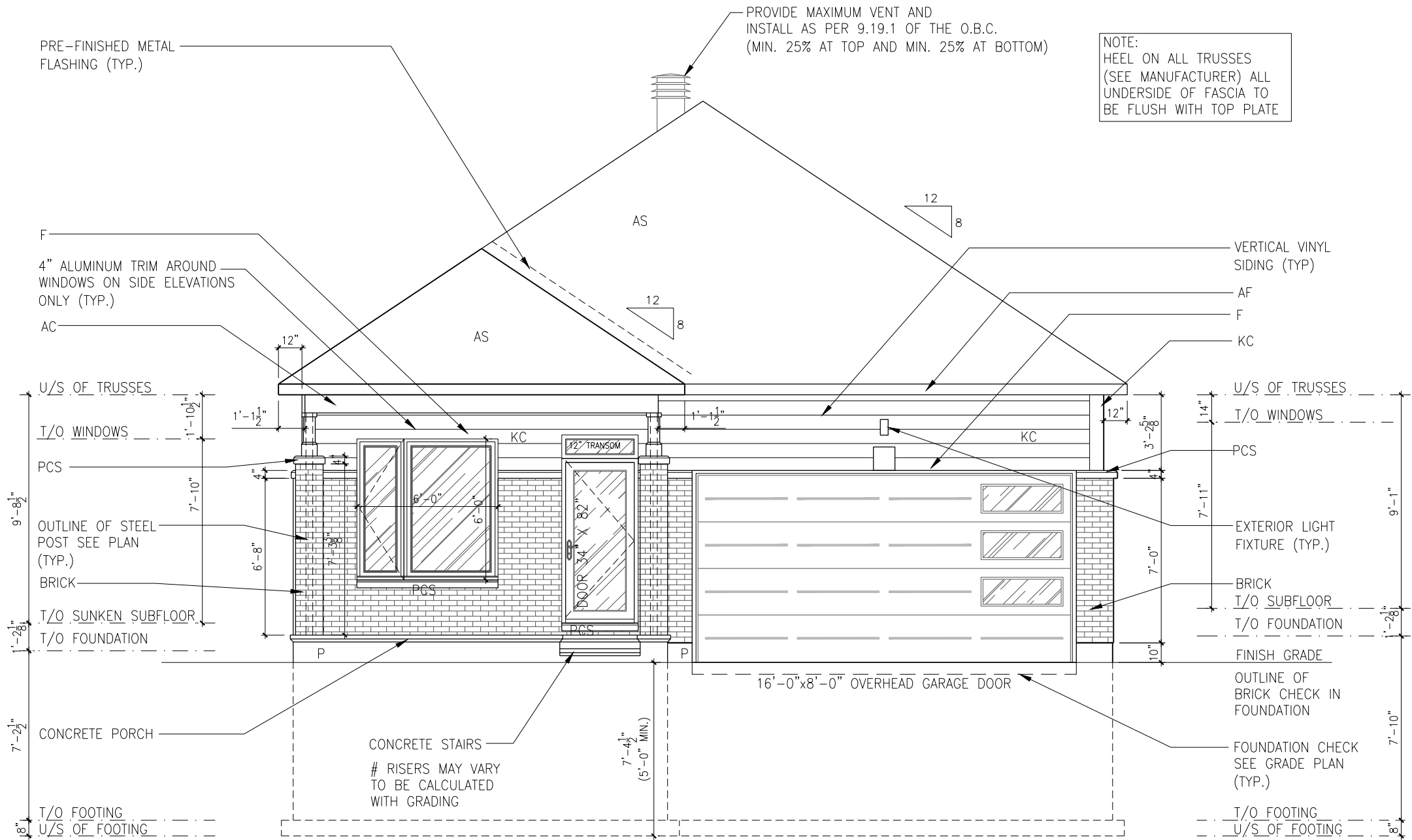
ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A3

STANDARD PLAN: 2 BEDROOM  
GROSS INSULATED = 182 M. SQ. WALL AREA  
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PERCENT GLASS TO WALL AREA = 9.8%

STANDARD PLAN: 3 BEDROOM  
GROSS INSULATED = 182 M. SQ. WALL AREA  
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ELEVATION B - FRONT - 2 AND 3 BEDROOM - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

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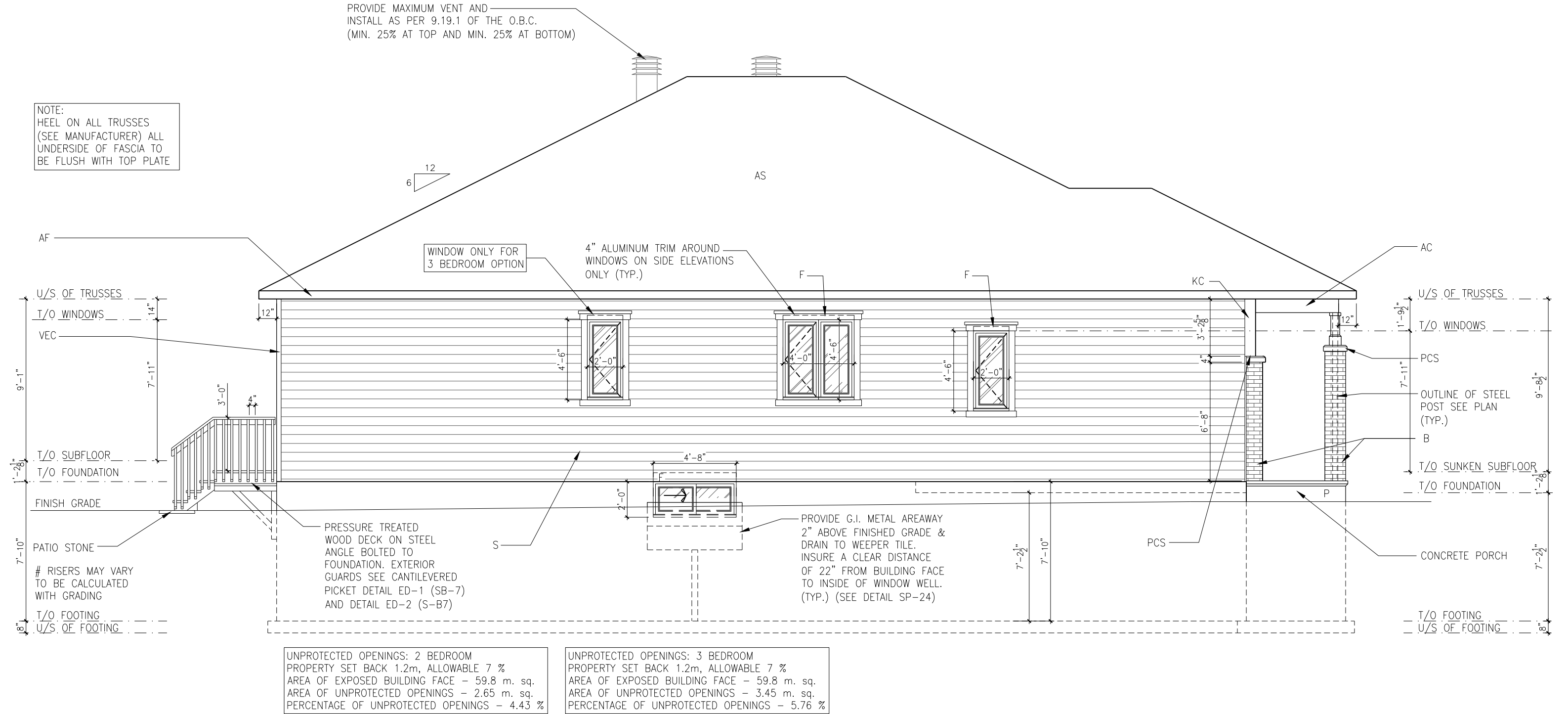
DRAWING: ELEVATION B - FRONT

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A1b






ELEVATION B - LEFT - 2 AND 3 BEDROOM - EXTENDED GARAGE (STANDARD)

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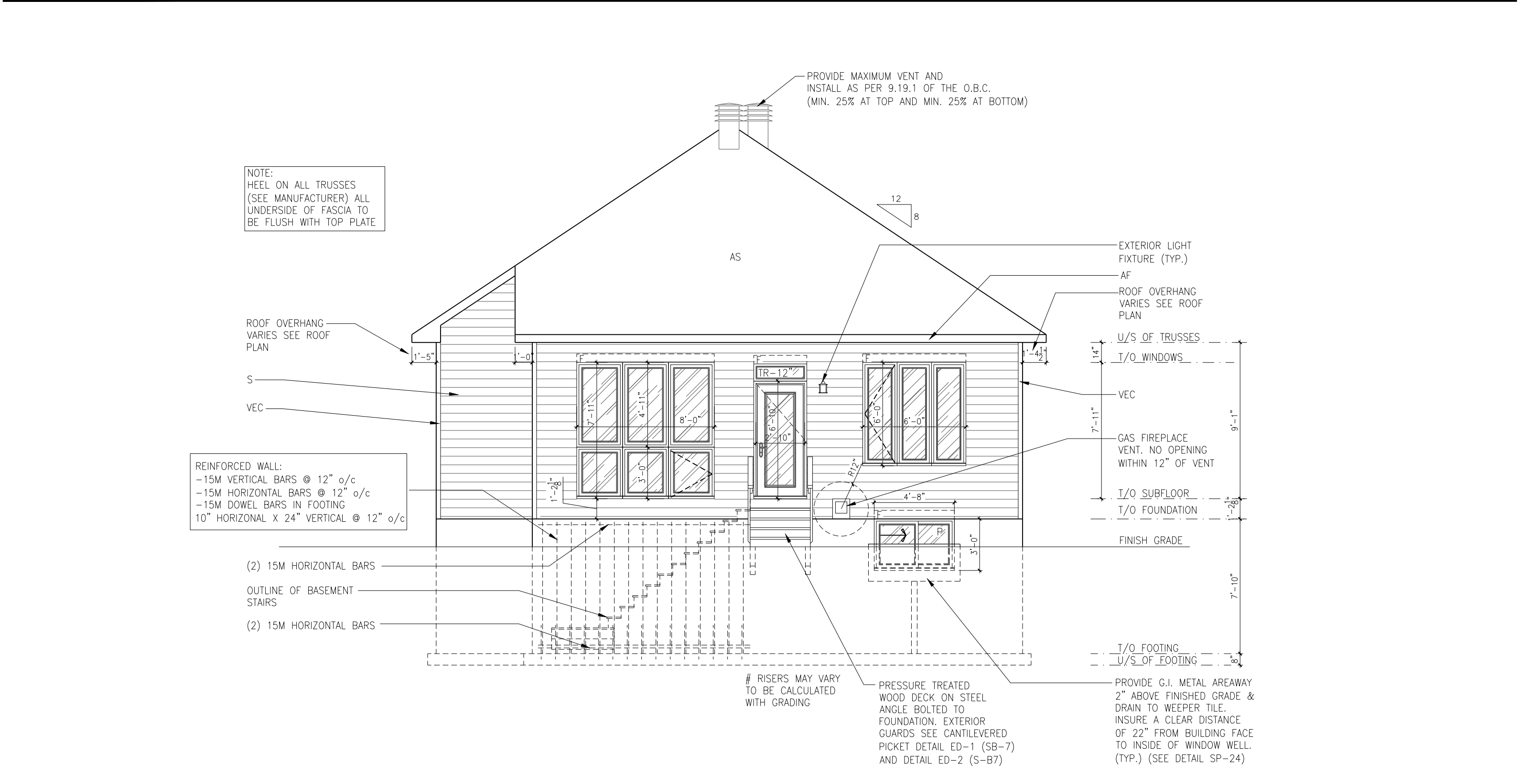
2012 O.B.C. DRAWINGS

DRAWING: ELEVATION B - LEFT

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A3b



ELEVATION A & B - REAR - 2 AND 3 BEDROOM

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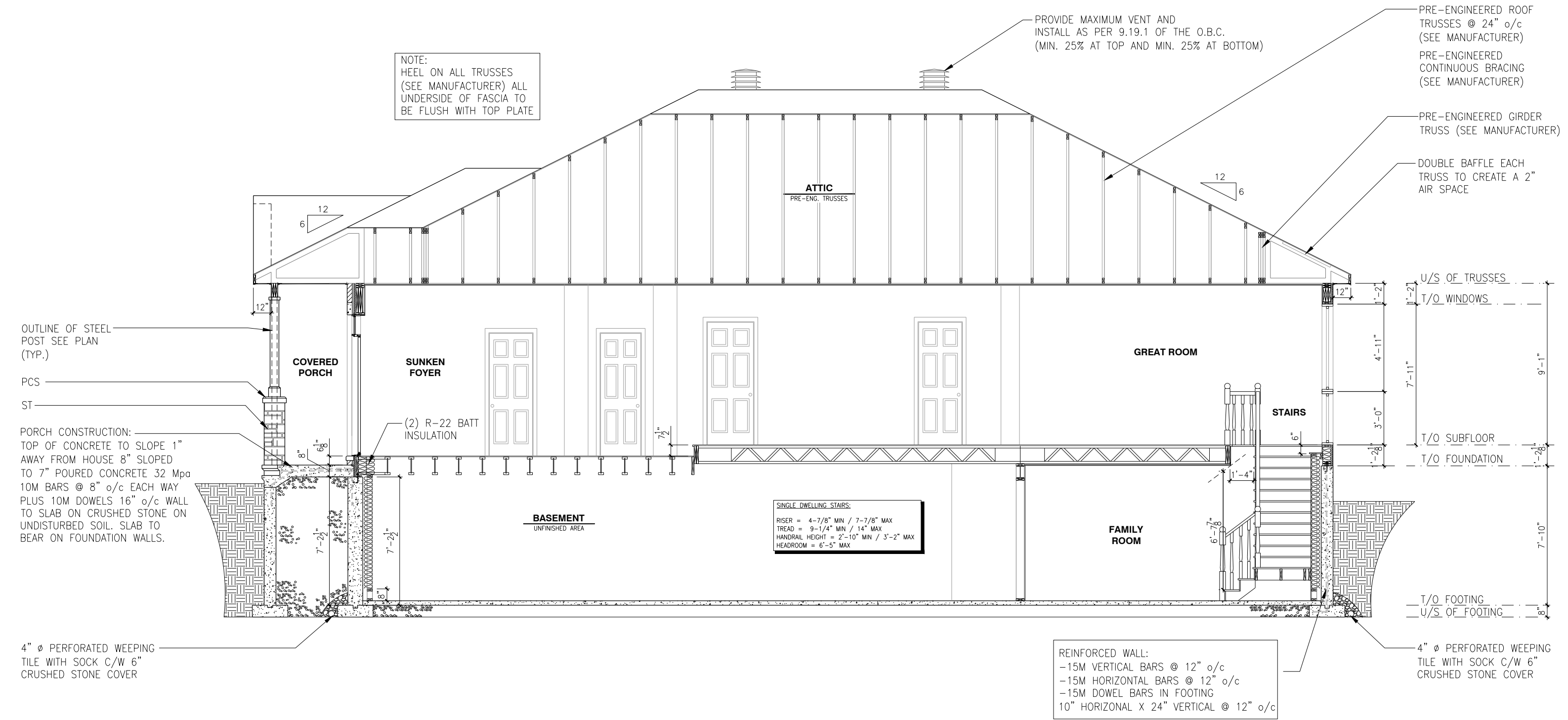
DRAWING: ELEVATION A & B - REAR

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT

SHEET: A4

(STANDARD DRAWINGS)



ELEVATION A & B BUILDING SECTION - 2 AND 3 BEDROOM (STANDARD)

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

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B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS' ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

|  |                                |            |       |
|--|--------------------------------|------------|-------|
| I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-4  | NEW STAIRS                     | 04/20/2021 | DOYON |
| REV-3  | ISSUED FOR BUILDING PERMIT     | 11/19/2018 | DOYON |
| REV-2  | ISSUED FOR STRUCTURAL REVIEW   | 11/07/2018 | DOYON |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 10/08/2018 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)  
LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
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\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
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P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (\*)  
+ 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)  
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= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.  
 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING:BUILDING SECTION

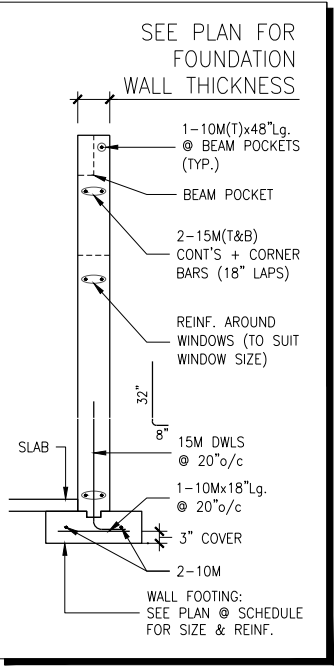
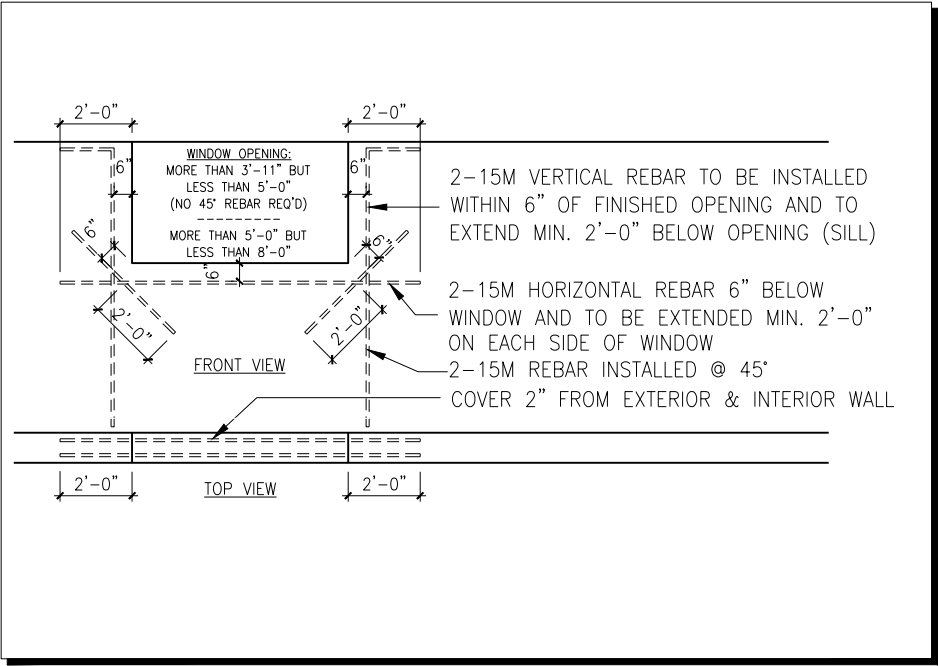
ADDRESS:XXSCALE:3/16" = 1'-0"DATE:XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT

(STANDARD DRAWINGS)

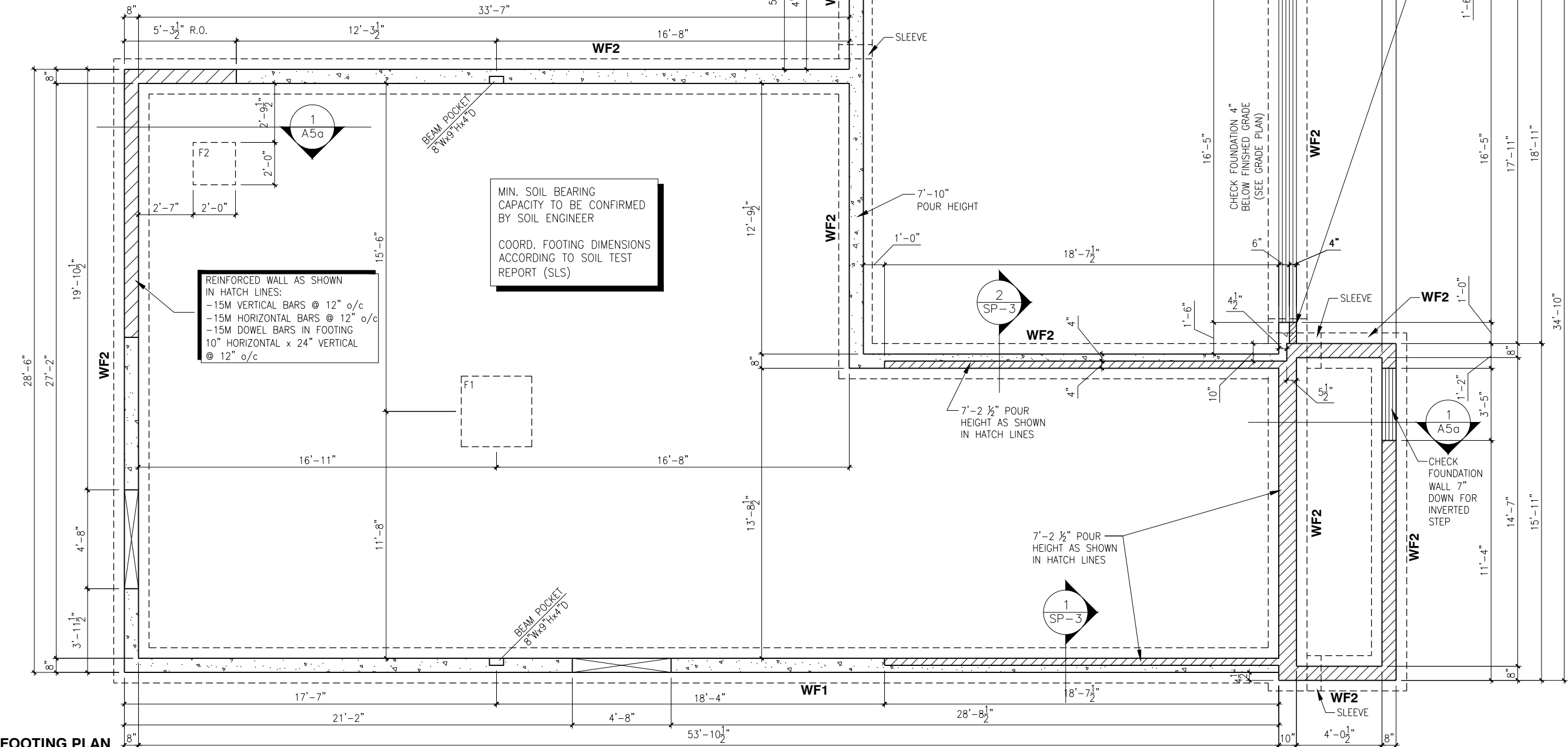
SHEET:A9





| FOOTING SCHEDULE   |                              |                              |                              |                              |
|--|------------------------------|------------------------------|------------------------------|------------------------------|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |                              |                              |                              |                              |
| WALL FOOTINGS  | 100KPa                       | 85KPa                        | 75KPa                        | 60KPa                        |
| WF1  | 24"x8" DP.<br>2-15M(B) LONG. | 24"x8" DP.<br>2-15M(B) LONG. | 24"x8" DP.<br>2-15M(B) LONG. | 30"x8" DP.<br>2-15M(B) LONG. |
| WF2  | 20"x8" DP.<br>2-15M(B) LONG. | 20"x8" DP.<br>2-15M(B) LONG. | 20"x8" DP.<br>2-15M(B) LONG. | 24"x8" DP.<br>2-15M(B) LONG. |

| PAD FOOTING SCHEDULE   |  |  |  |  |
|--|--|--|--|--|
| ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D» |  |  |  |  |
| WALL FOOTINGS  | 100KPa                                       | 85KPa  | 75KPa  | 60KPa  |
| F1   | 38"x38"x10" DP.<br>3-15M(B)Lg. x 32"Lg. E.W. | 42"x42"x10" DP.<br>3-15M(B)Lg. x 36"Lg. E.W. | 46"x46"x10" DP.<br>3-15M(B)Lg. x 40"Lg. E.W. | 50"x50"x12" DP.<br>5-15M(B)Lg. x 44"Lg. E.W. |
| F2   | 24"x24"x10" DP.                              | 24"x24"x10" DP.                              | 24"x24"x10" DP.                              | 28"x28"x12" DP.                              |



FOOTING PLAN  
2 AND 3 BEDROOM - ELEVATION A & B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



DANIEL GUERIN  
ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES  
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW  
ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS  
ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING  
DOCUMENT.

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ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD  
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR  
THE ALLOWABLE SOIL BEARING CAPACITY  
OR BEARING RESISTANCE AT SLS AND  
DESIGN PARAMETERS OUTLINED IN A  
GEOTECHNICAL REPORT REPORT PREPARED  
BY PATERSON GROUP AND/OR OTHERS  
(AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND  
THE BEARING VALUE AND UNDER SIDE OF  
FOOTING (USF) ELEVATION CONFIRMED BY  
GEOTECHNICAL CONSULTANT AT TIME OF  
EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON  
DRAWINGS. THICKNESS OF L.W.F. AT  
GARAGES, PORCHES AND PLACEMENT OF  
L.W.F. AT OTHER AREAS, IF REQUIRED, TO  
BE CONFIRMED AS PER GEOTECHNICAL  
CONSULTANTS RECOMMENDATIONS AT THE  
TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES  
OUTSIDE OF THE FOOTING SCHEDULE,  
CONTACT THE STRUCTURAL ENGINEER FOR  
INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR  
FOOTINGS AND WALL = 20MPa AND  
CONCRETE FOR FOUNDATION WALLS  
SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO  
G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN  
CONJUNCTION WITH THE ARCHITECTURAL  
FOUNDATION PLAN FOR THE SPECIFIC  
MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

| REV   | DESCRIPTION                    | DATE       | BY    |
|-------|--------------------------------|------------|-------|
| REV-3 | ISSUED FOR BUILDING PERMIT     | 11/19/2018 | DOYON |
| REV-2 | ISSUED FOR STRUCTURAL REVIEW   | 11/07/2018 | DOYON |
| REV-1 | NEW STANDARD DRWG MODIFICATION | 10/08/2018 | DOYON |
| NO.   | DESCRIPTION                    | DATE       | BY    |

DRAWING: FOOTING PLAN - 2 AND 3 BED  
ELEV. A & B

ADDRESS: 697 PARADE DR. SCALE: 3/16" = 1'-0" DATE: 10/31/2018

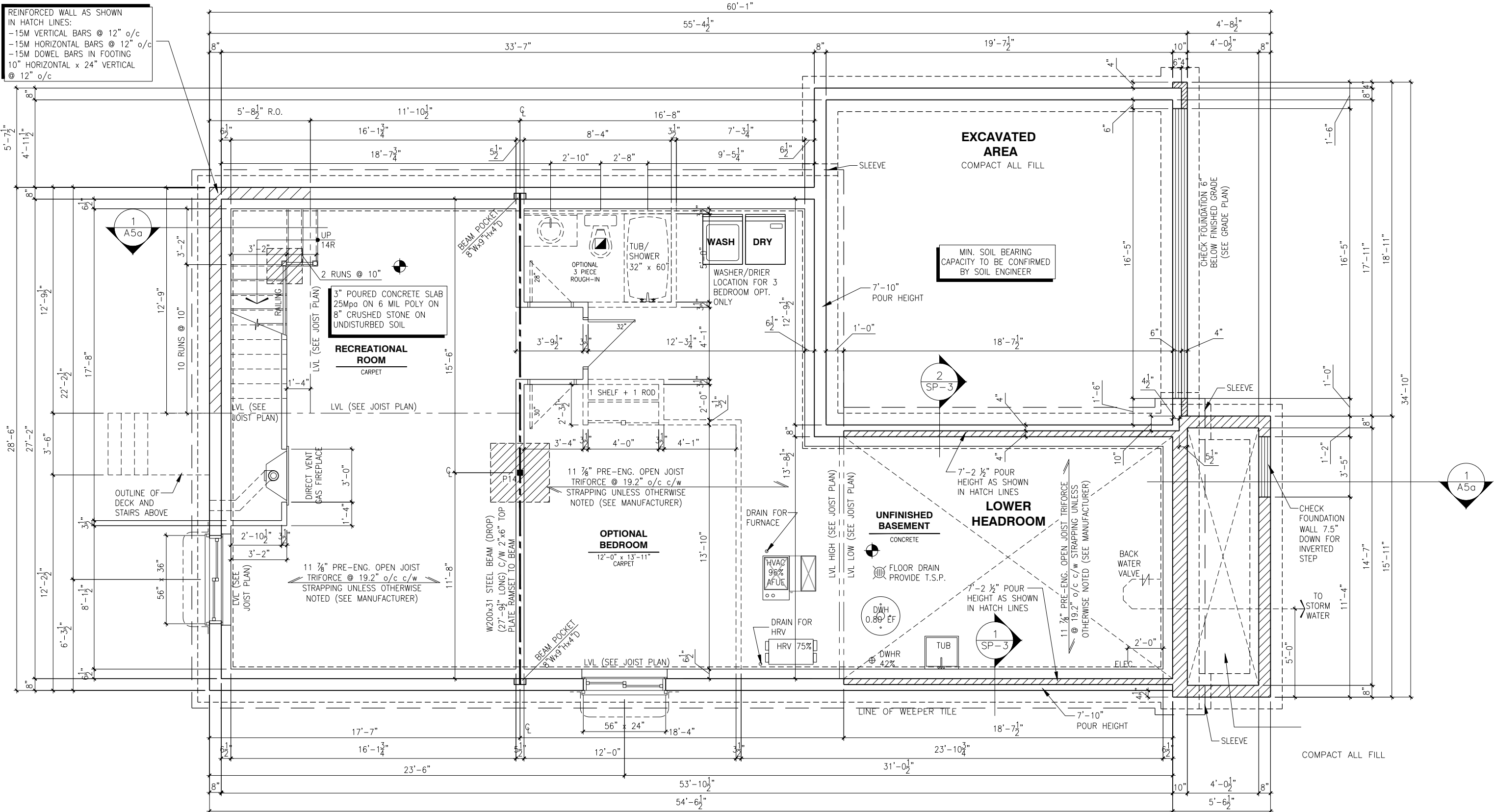
804 - THE MANNING  
2022 FOOTPRINT

(CUSTOM DRAWINGS)

SHEET:

A5

REINFORCED WALL AS SHOWN  
IN HATCH LINES:  
-15M VERTICAL BARS @ 12" o/c  
-15M HORIZONTAL BARS @ 12" o/c  
-15M DOWEL BARS IN FOOTING  
10" HORIZONTAL x 24" VERTICAL  
@ 12" o/c



**BASEMENT FLOOR PLAN - 2 AND 3 BEDROOM - ELEVATION A & B**

SCALE: 3/16" = 1'-0"

**LOT: XXXX**  
**DATE: XX/XX/XXXX**



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV   | DESCRIPTION                    | DATE       | BY    |
|-------|--------------------------------|------------|-------|
| REV-4 | NEW STAIRS                     | 04/20/2021 | DOYON |
| REV-3 | ISSUED FOR BUILDING PERMIT     | 11/19/2018 | DOYON |
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| NO.   | DESCRIPTION                    | DATE       | BY    |

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S2 = L 90x90x8  
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S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**

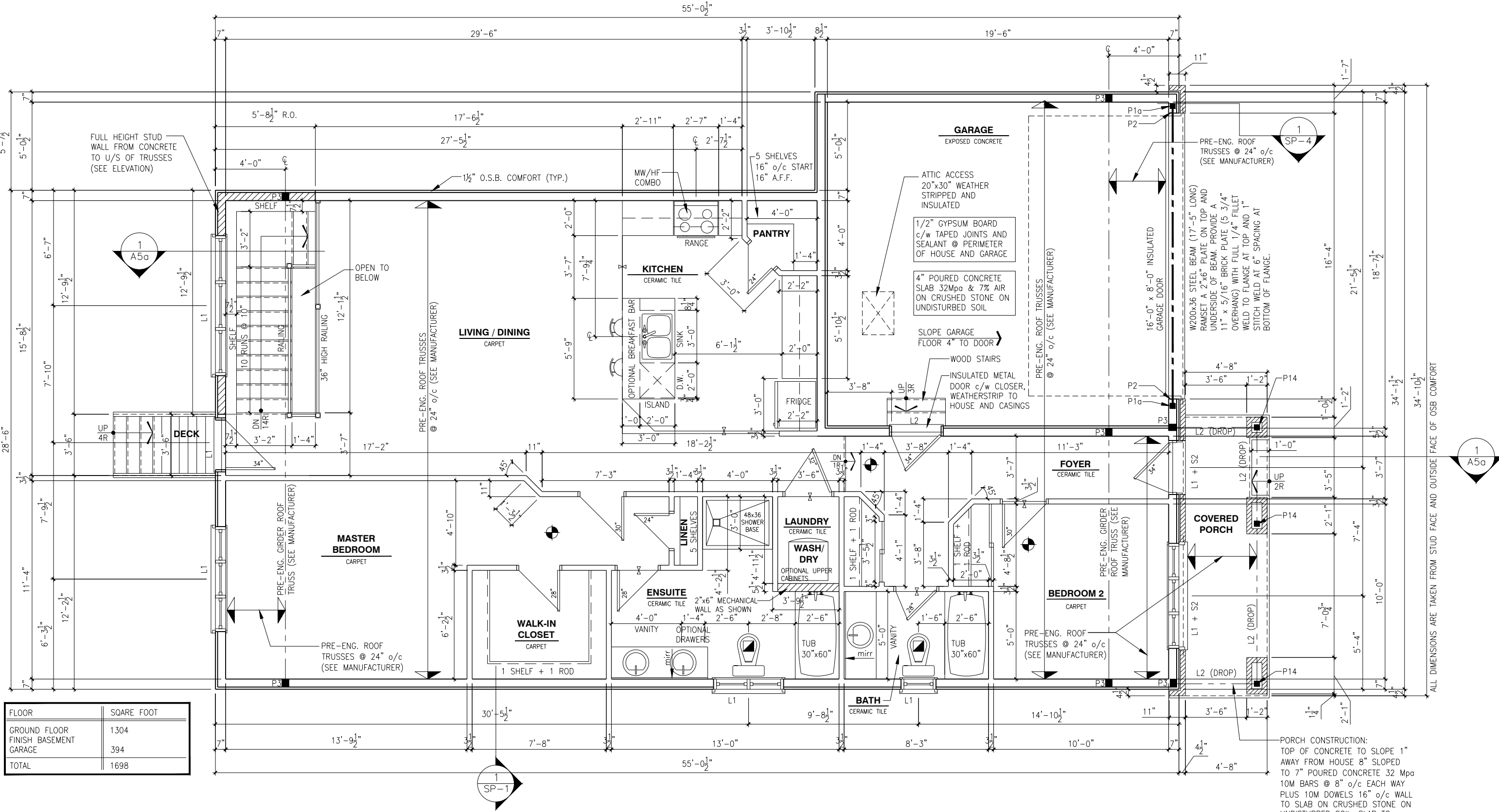
DRAWING: **BASEMENT - 2 AND 3 BED. ELEV. A & B**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**804 - THE MANNING**  
**2022 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A6**



| FLOOR           | SQARE FOOT |
|-----------------|------------|
| GROUND FLOOR    | 1304       |
| FINISH BASEMENT | 394        |
| GARAGE          |            |
| TOTAL           | 1698       |

GROUND FLOOR PLAN - 2 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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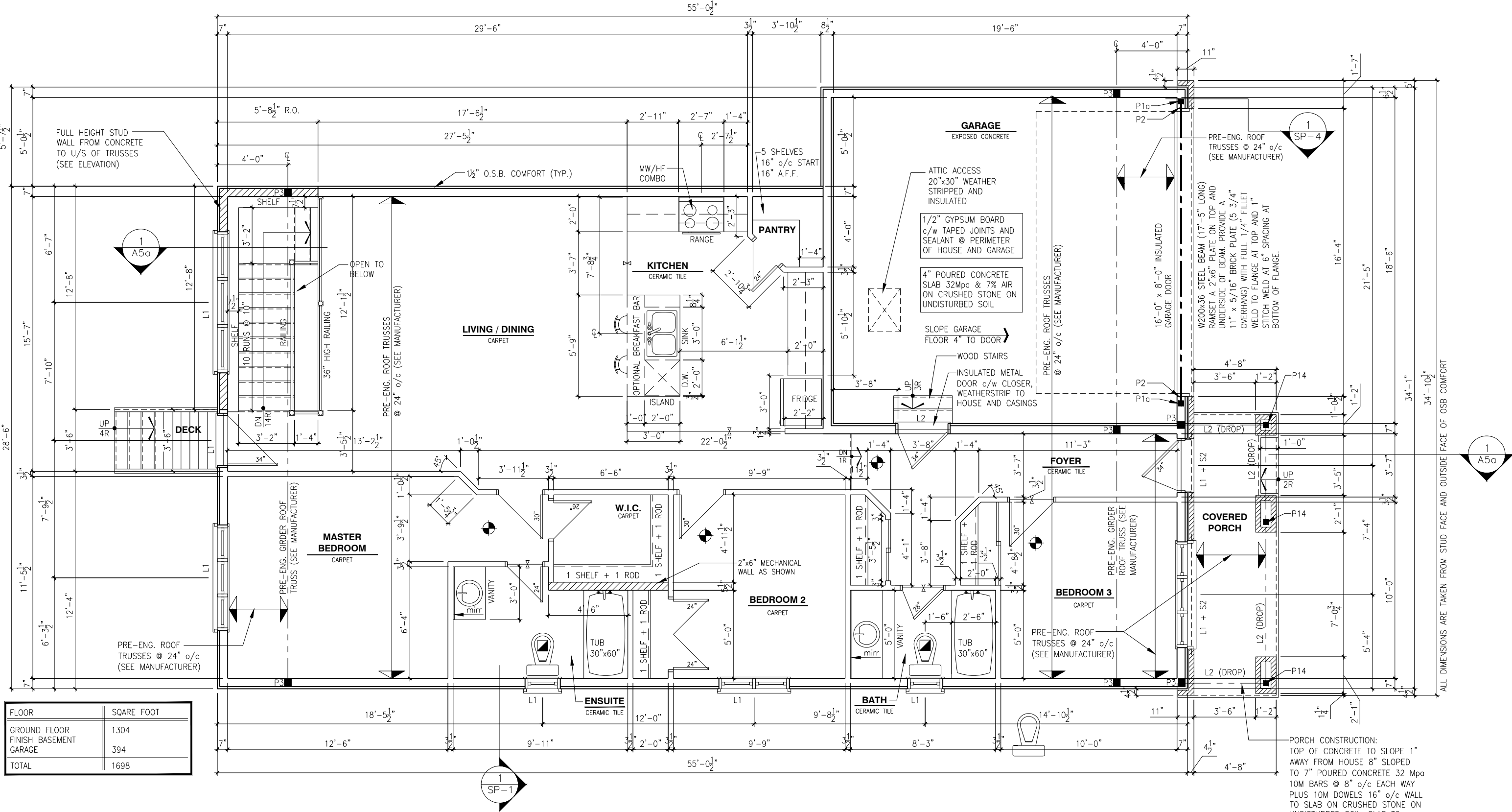
2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR PLAN 2 BED - ELEV. A

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A7



GROUND FLOOR PLAN - 3 BEDROOM - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

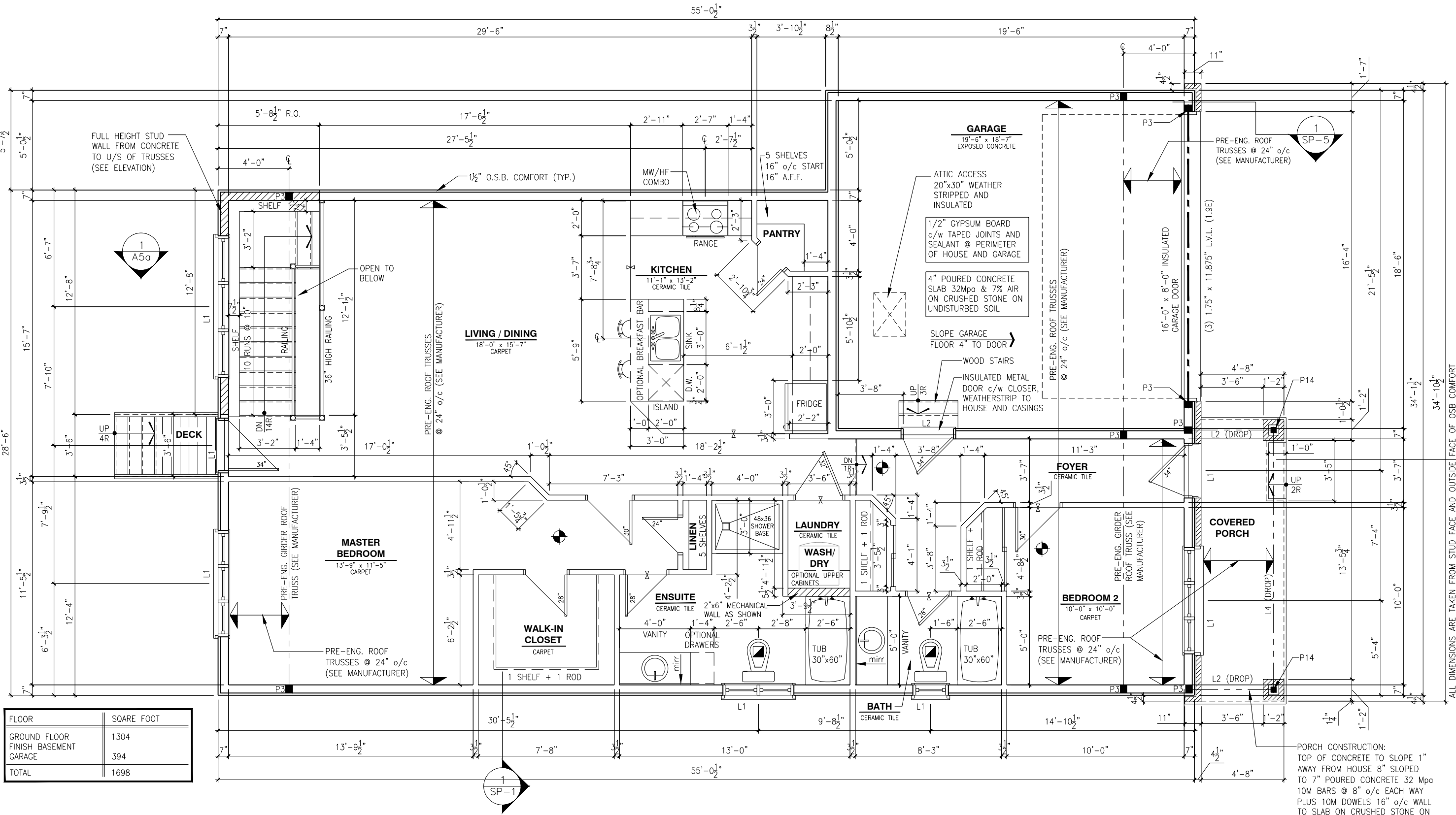
2012 O.B.C. DRAWINGS

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)

GROUND FLOOR PLAN 3 BED - ELEV. A

SHEET: A7a



GROUND FLOOR PLAN - 2 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
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|  |                                |            |       |
|--|--------------------------------|------------|-------|
| I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-4  | NEW STAIRS                     | 04/20/2021 | DOYON |
| REV-3  | ISSUED FOR BUILDING PERMIT     | 11/19/2018 | DOYON |
| REV-2  | ISSUED FOR STRUCTURAL REVIEW   | 11/07/2018 | DOYON |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 10/08/2018 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:  
P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73.0x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

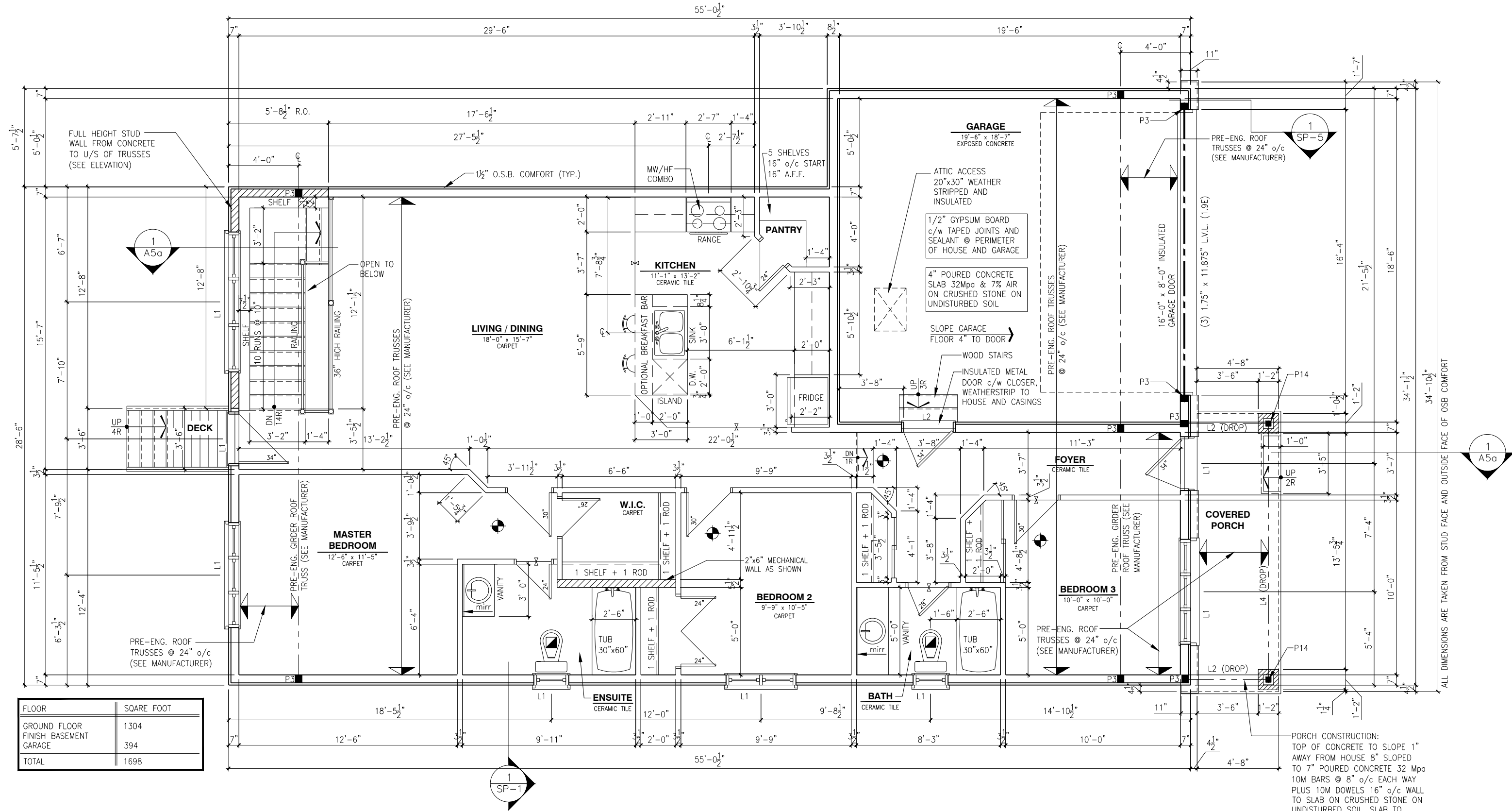
2012 O.B.C. DRAWINGS

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS)

GROUND FLOOR PLAN 2 BED - ELEV. B

SHEET: A7b



GROUND FLOOR PLAN - 3 BEDROOM - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
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E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

|  |                                |            |       |
|--|--------------------------------|------------|-------|
| I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-4  | NEW STAIRS                     | 04/20/2021 | DOYON |
| REV-3  | ISSUED FOR BUILDING PERMIT     | 11/19/2018 | DOYON |
| REV-2  | ISSUED FOR STRUCTURAL REVIEW   | 11/07/2018 | DOYON |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 10/08/2018 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
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▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

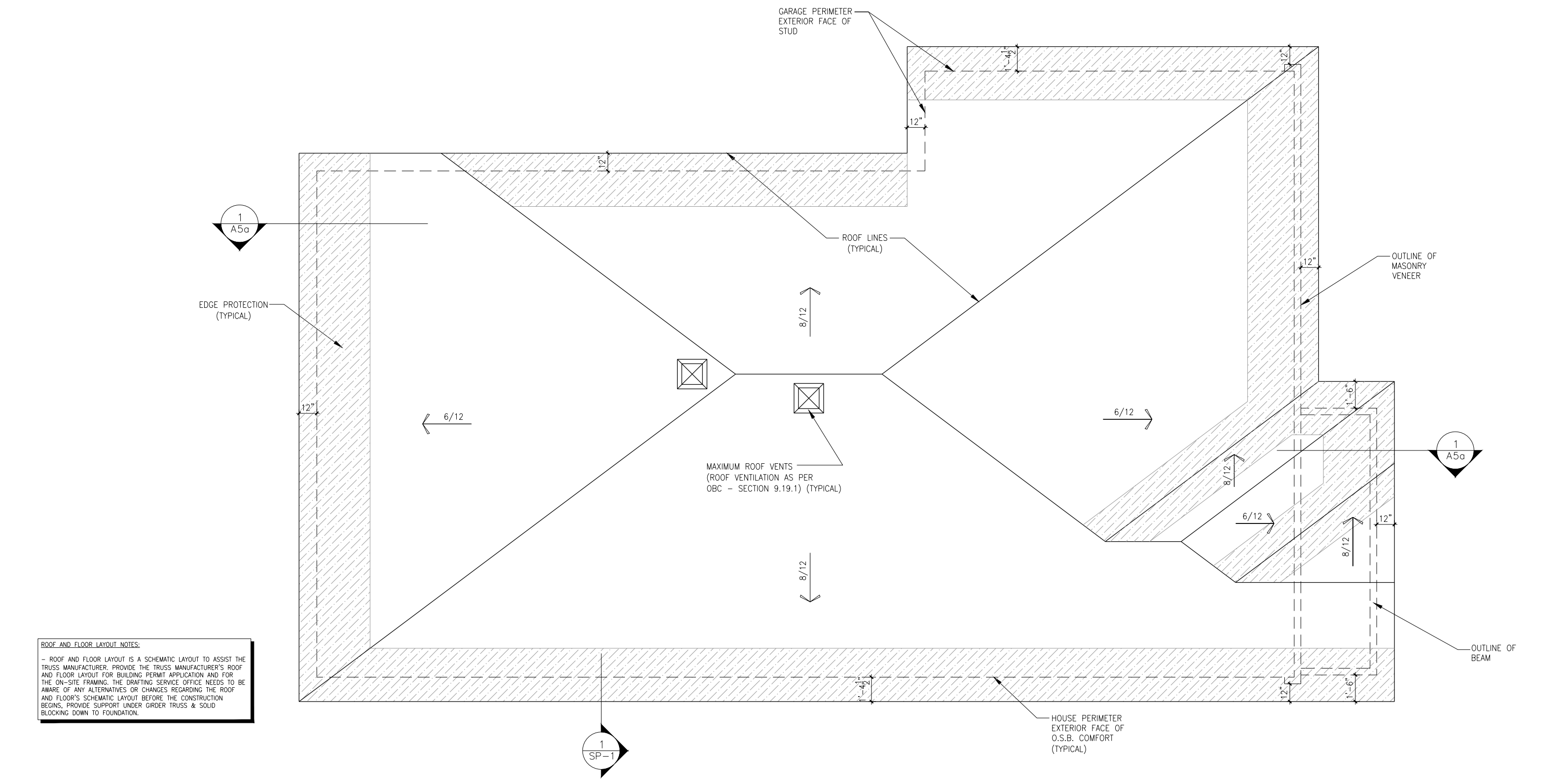
DRAWING: GROUND FLOOR PLAN  
3 BEDROOM - ELEV. B

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT

SHEET: A7c

(STANDARD DRAWINGS)



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

ROOF PLAN - ELEVATION A - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"

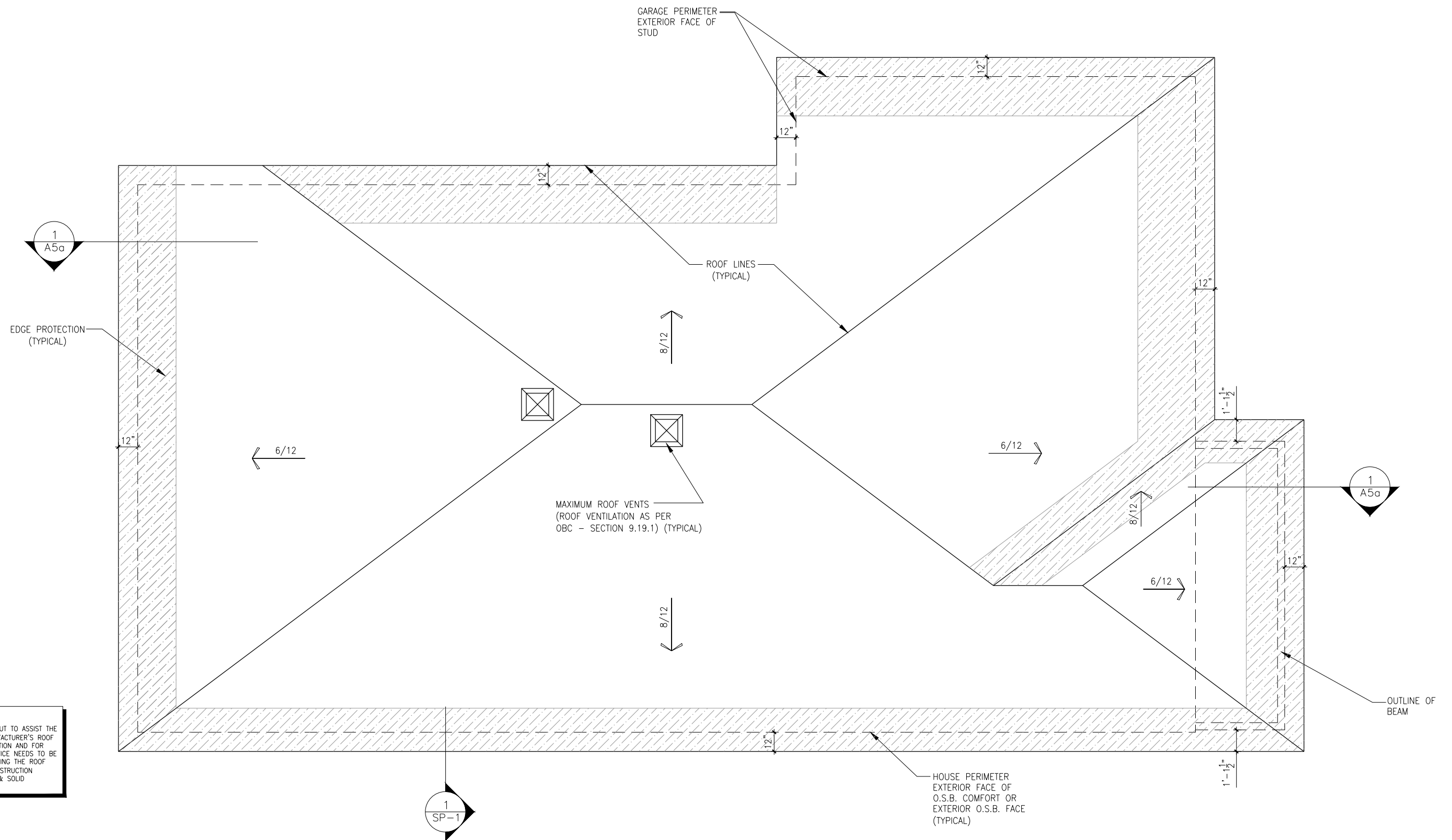
LOT: XXXX  
DATE: XX/XX/XXXX



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|  |                                |            |       |
|--|--------------------------------|------------|-------|
| I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARION REGISTRATION NUMBER #611  |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-3  | ISSUED FOR BUILDING PERMIT     | 11/19/2018 | DOYON |
| REV-2  | ISSUED FOR STRUCTURAL REVIEW   | 11/07/2018 | DOYON |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 10/08/2018 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

|  |                      |                  |
|--|----------------------|------------------|
| 2012 O.B.C. DRAWINGS                                 |                      |                  |
| DRAWING: ROOF PLAN - ELEVATION A                     |                      |                  |
| ADDRESS: XX  | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX |
| 804 - THE MANNING 2022 FOOTPRINT (STANDARD DRAWINGS) |                      | SHEET: A8a       |



**ROOF PLAN - ELEVATION B - EXTENDED GARAGE (STANDARD)**

**LOT:** \_\_\_\_\_ **XXXX**  
**DATE:** \_\_\_\_\_ **XX/XX/XXXX**

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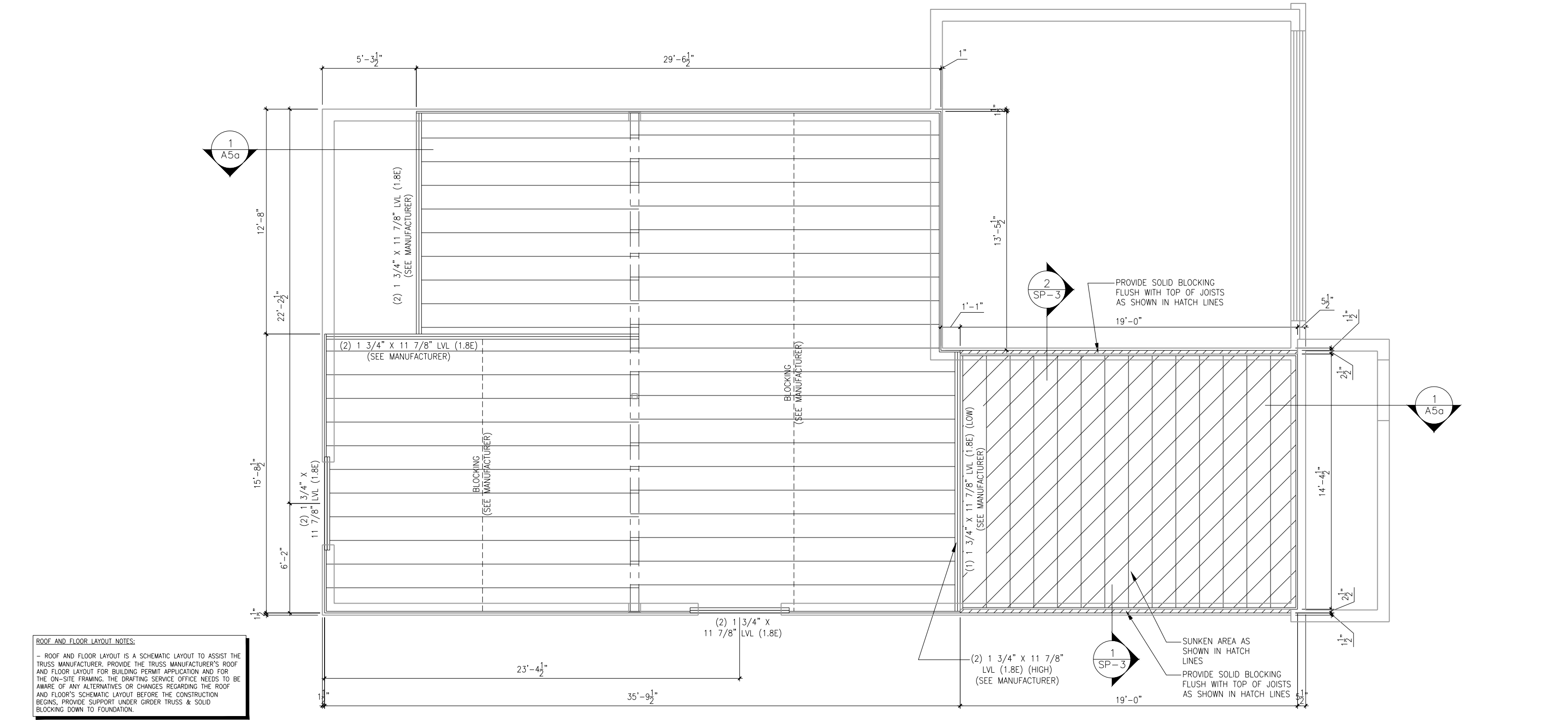
A - NO DIMENSION SHALL BE SCALED ON DRAWINGS.

D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

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## 2012 O.B.C. DRAWINGS





**SILL PLATE LOCATION PLAN - 2 AND 3 BEDROOM - ELEVATION A, B AND C - EXTENDED GARAGE (STANDARD)**

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX

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|  |                                |            |       |
|--|--------------------------------|------------|-------|
| I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-3  | ISSUED FOR BUILDING PERMIT     | 11/19/2018 | DOYON |
| REV-2  | ISSUED FOR STRUCTURAL REVIEW   | 11/07/2018 | DOYON |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 15/01/2018 | DOYON |
| NO.  | DESCRIPTION                    | DATE       | BY    |

2012 O.B.C. DRAWINGS

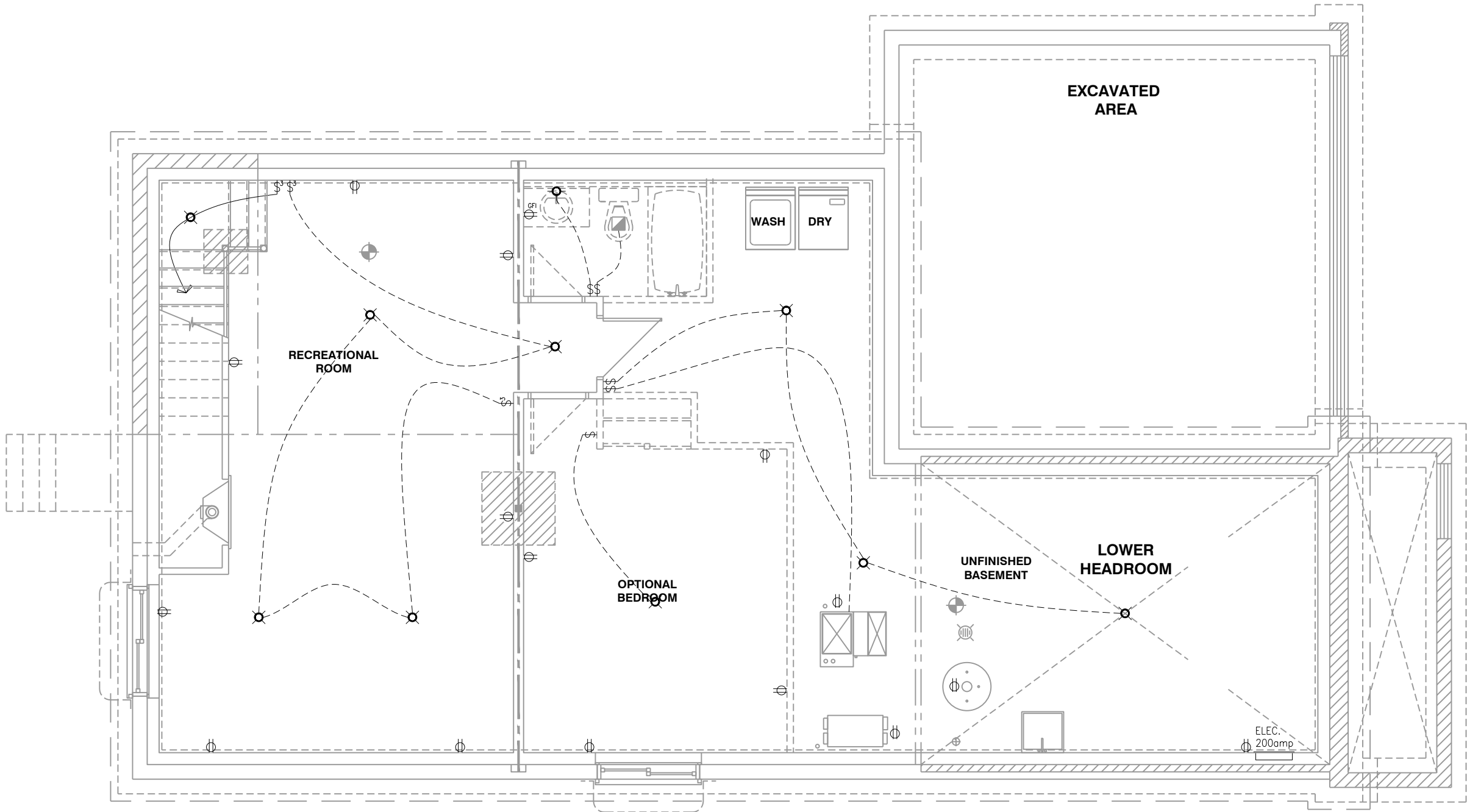
DRAWING: SILL PLATE LOCATION PLAN  
2 AND 3 BED - ELEVATION A, B, C

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A10



ELECTRICAL PLAN  
BASEMENT FLOOR PLAN - 2 AND 3 BEDROOM - ELEVATION A & B

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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I, MARC-ANDRE DECOEUR, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

| REV   | NO.                            | DESCRIPTION | DATE  | BY |
|-------|--------------------------------|-------------|-------|----|
| REV-3 | ISSUED FOR BUILDING PERMIT     | 11/19/2018  | DOYON |    |
| REV-2 | ISSUED FOR STRUCTURAL REVIEW   | 11/07/2018  | DOYON |    |
| REV-1 | NEW STANDARD DRWG MODIFICATION | 10/08/2018  | DOYON |    |

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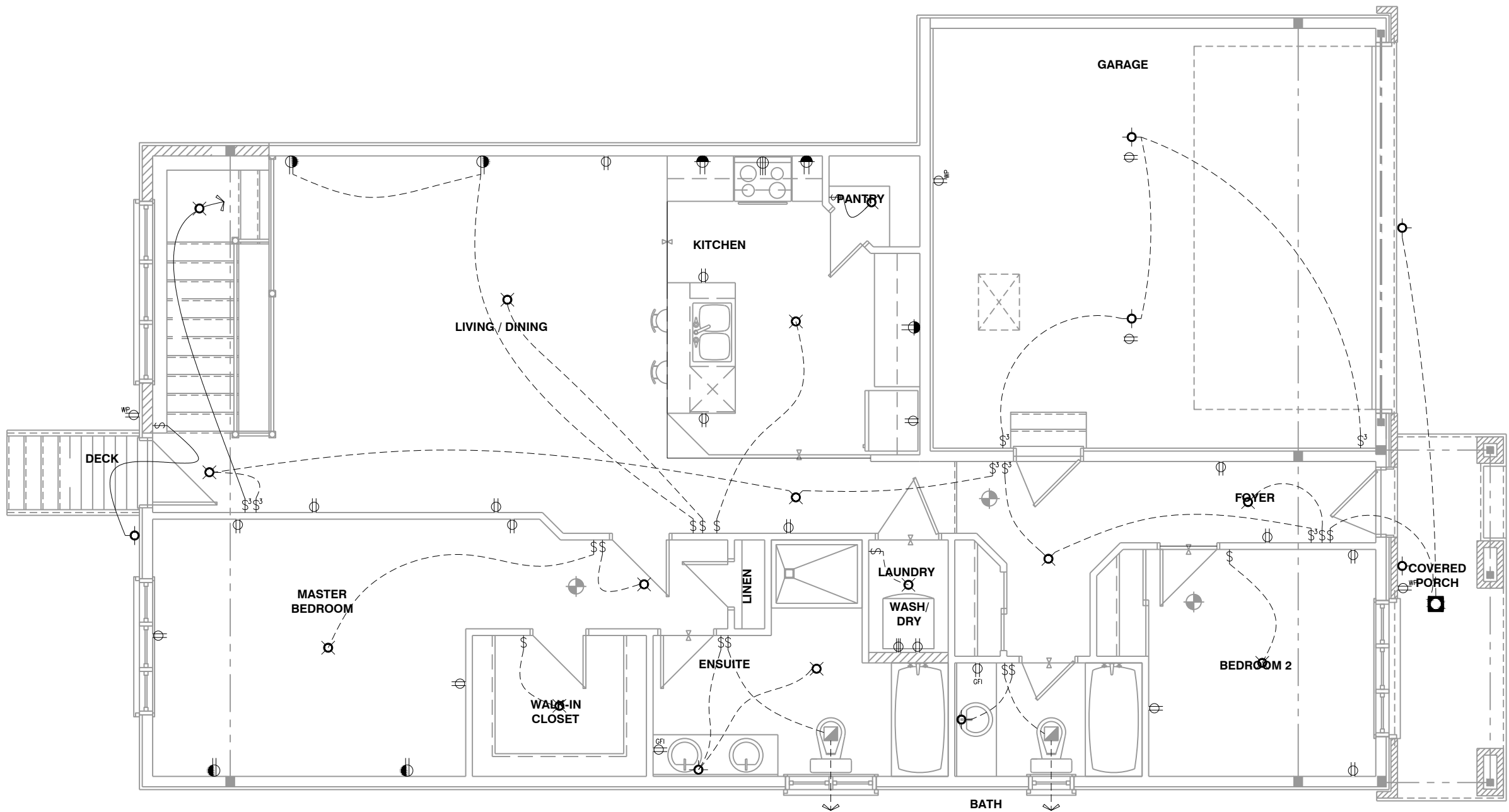
2012 O.B.C. DRAWINGS

DRAWING: ELECTRICAL - BASEMENT  
2 AND 3 BED. - ELEV. A & B

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: E1a



ELECTRICAL PLAN  
GROUND FLOOR PLAN - 2 BEDROOM - ELEVATION A, B AND C - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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| I, <u>DANIEL GUERIN</u> , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. |                                |            |       |
| - PERSONAL BCIN #19896   |                                |            |       |
| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
| REV-3  | ISSUED FOR BUILDING PERMIT     | 11/19/2018 | DOYON |
| REV-2  | ISSUED FOR STRUCTURAL REVIEW   | 11/07/2018 | DOYON |
| REV-1  | NEW STANDARD DRWG MODIFICATION | 10/08/2018 | DOYON |
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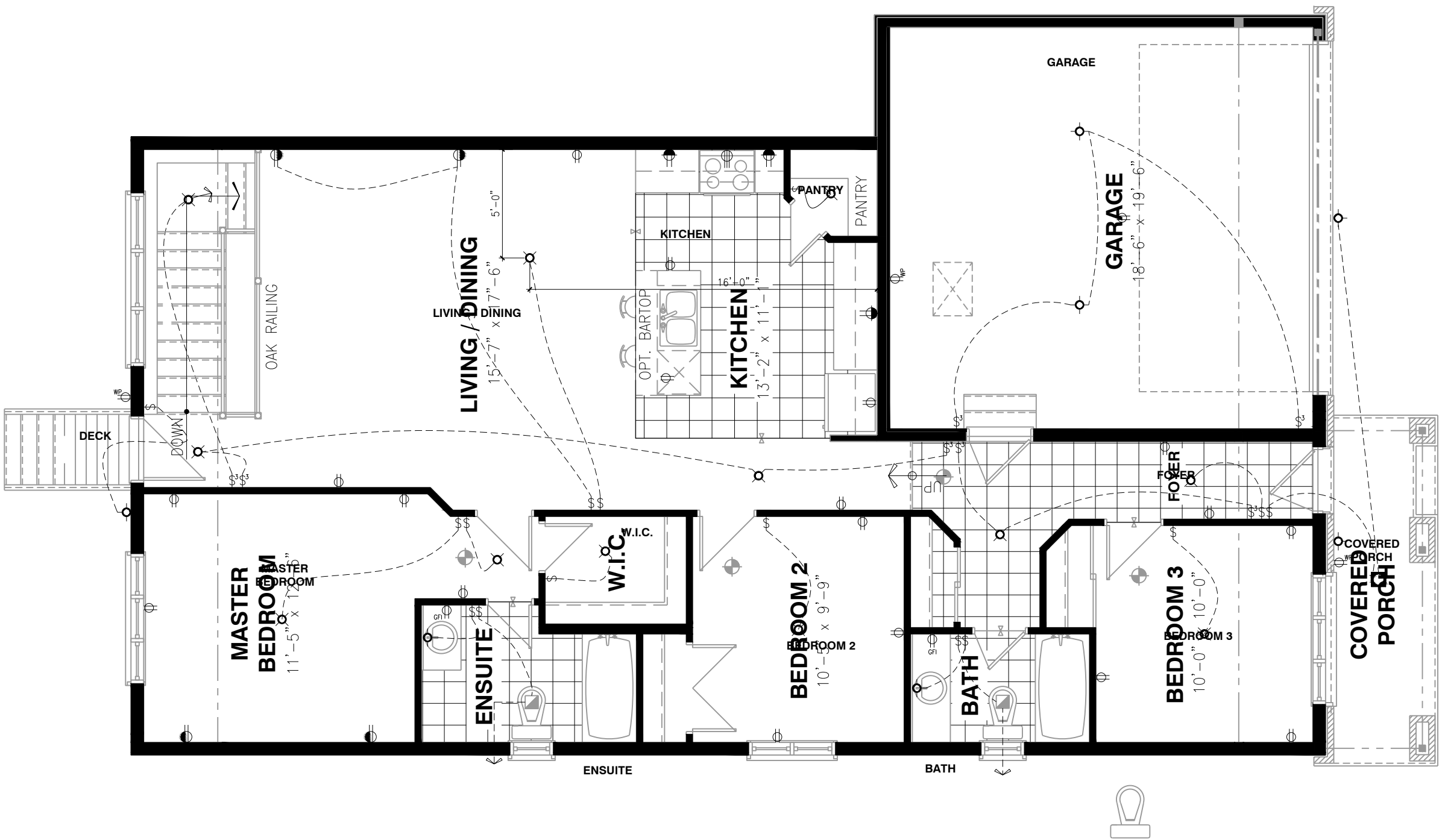
2012 O.B.C. DRAWINGS

DRAWING: ELECTRICAL - GROUND  
FLOOR - 2 BED - ELEV. A, B, C

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
E2a




ELECTRICAL PLAN  
GROUND FLOOR PLAN - 3 BEDROOM - ELEVATION A, B AND C - EXTENDED GARAGE (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX



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| - TARIION REGISTRATION NUMBER #611   |                                |            |       |
| ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **   |                                |            |       |
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| NO.  | DESCRIPTION                    | DATE       | BY    |

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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: ELECTRICAL - GROUND  
FLOOR - 3 BED - ELEV. A, B, C

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

804 - THE MANNING  
2022 FOOTPRINT  
(STANDARD DRAWINGS)

E2a