

FRONT ELEVATION - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION MM/DD/YYYY BY

RAWING:

FRONT ELEVATION - END UNITS

ORESS: | SCALE: | XX | 3/16" = 1'-0"

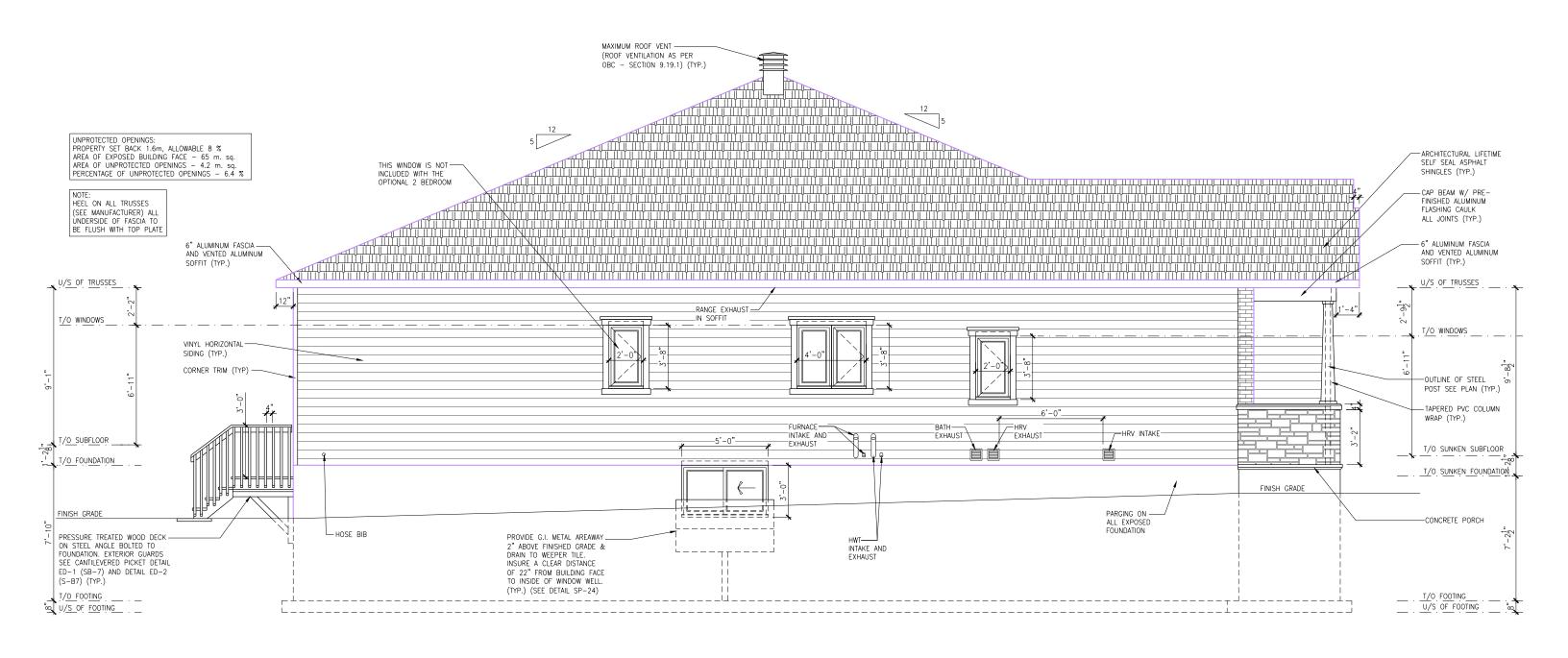
105 - THE MANN

2022 FOOTPRINT

A.1a

XX/XX/XXXX

SHEET:





LOT:

DATE:

LEFT ELEVATION - PORCH END UNIT

 $C = \frac{1 - 0}{2}$

XXXX

XX/XX/XXXX

Valecraft
Homes (2019) Limited

A – ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

B – THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

ARCHITECTURAL DEPARTMENT.

C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION STEELED.

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E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH
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DOCUMENT.

ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS IND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. - PERSONAL BCIN #1986 - TARNON REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **				
3	LE SIGNED SCHEDOLE 1. DESIGNER IN	I ONMATION FOR		
EV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022		
10.	DESCRIPTION	MM/DD/YYYY	BY	
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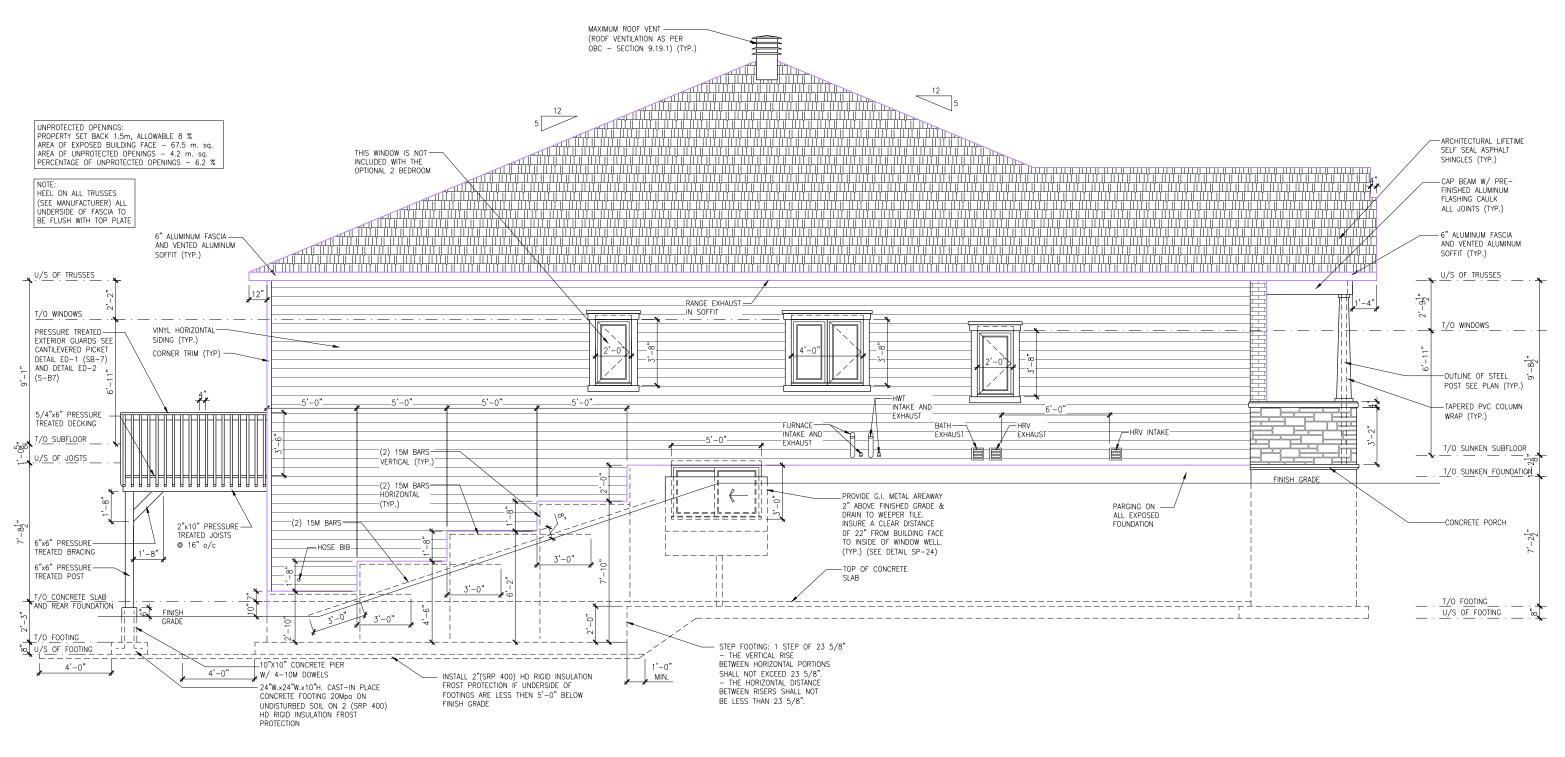
DANIEL GUERIN , ARCHITECTURAL MANAGER FOR

	2012 O.B.C. [DRAWINGS
DRAWING:	LEFT ELE	VATION
	PORCH E	ND UNIT
ADDDECC		

ADDRESS: | SCALE: | DATE: | XX/XX/XXXX | | XX/XX/XXXX | | SHEET:

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.2a



LEFT ELEVATION - PORCH END UNIT - WALKOUT

 $.2b \int SCALE: 3/16" = 1'-0"$

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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DAMPL GUERIN_ ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611				
•• SI	EE SIGNED SCHEDULE 1: DESIGNER INF	ORMATION FOR	w ··	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022 MM/DD/YYYY		
10.	DESCRIPTION	MM/UU/YYYY	BY	

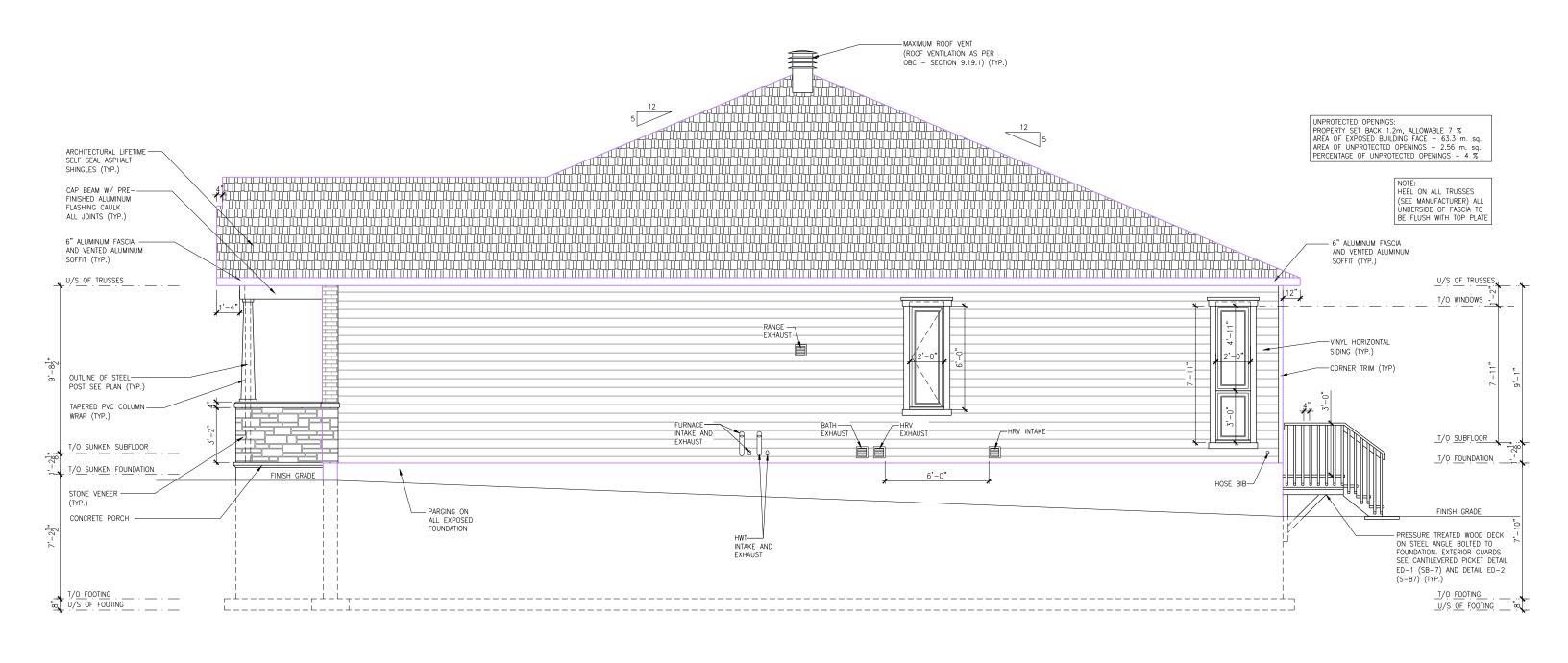
2012 O.B.C. DRAWINGS

LEFT ELEVATION

PORCH END UNIT - WALKOUT

ADDRESS: | SCALE: | DATE: | XX/XX/XXXX

140 - THE GREEN 2022 FOOTPRINT (STANDARD DRAWINGS) A.2b





LOT:

RIGHT ELEVATION - GARAGE END UNIT

 $C \int SCALE: 3/16" = 1'-0"$

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Valecraft

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ARCHITECTURAL DEPARTMENT.

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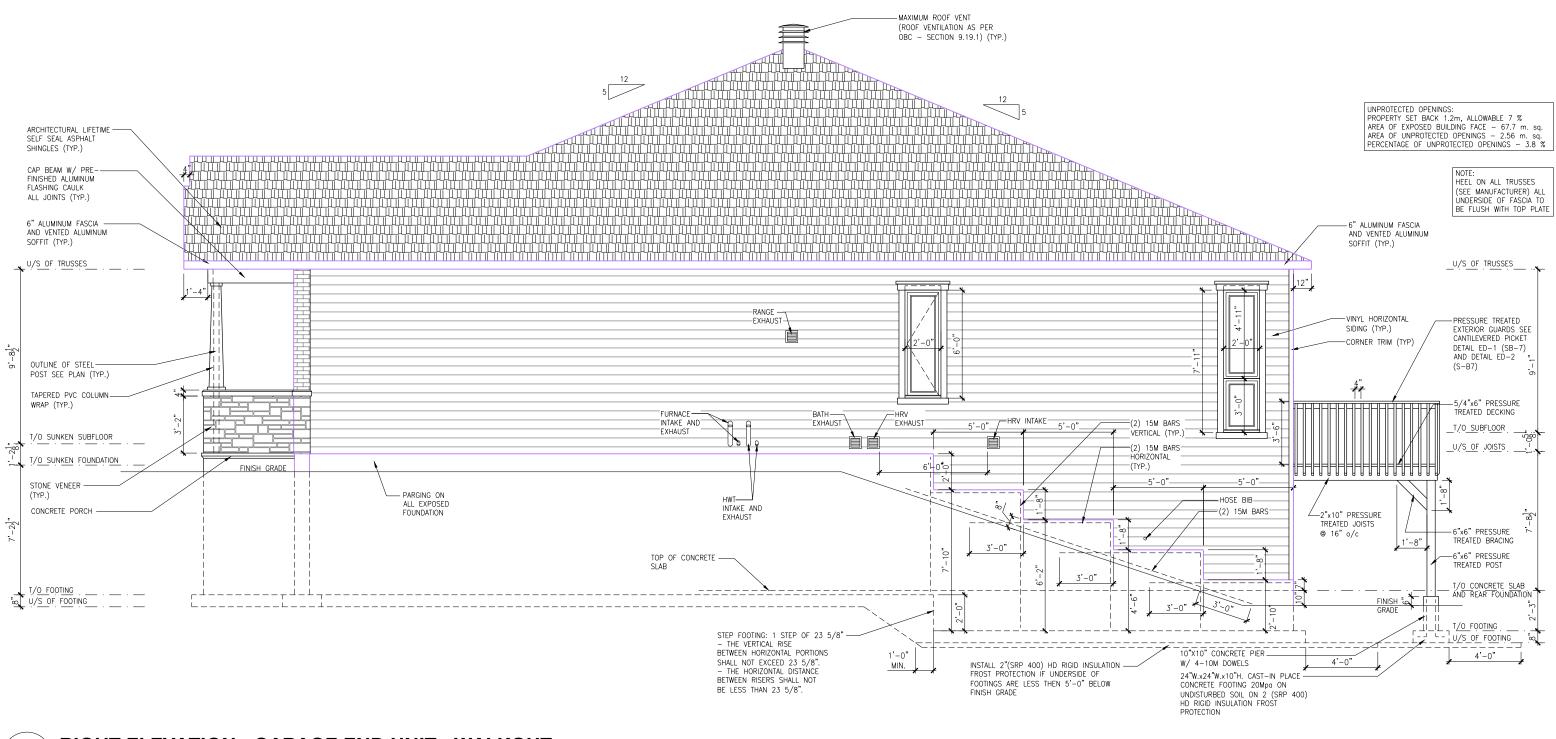
ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #1986 TARKON REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **				
	1	1	_	
EV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON	
10.	DESCRIPTION	MM/DD/YYYY	BY	

, DANIEL GUERIN , ARCHITECTURAL MANAGER FOR

2012 O.B.C. DRAWINGS

RIGHT ELEVATION GARAGE END UNIT

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS) A.2c





RIGHT ELEVATION - GARAGE END UNIT - WALKOUT

 $2d \int SCALE: 3/16" = 1'-0"$

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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VALECR AND TA	EL GUERIN, ARCHITECTURAL MANAGER AFT HOMES LTD., HAVE REVIEWED THE IKE RESPONSIBILITY FOR THE DESIGN A RSONAL BCIN #19896	FOLLOWING DO	CUMENTS	
- TARION REGISTRATION NUMBER #611				
•• S	EE SIGNED SCHEDULE 1: DESIGNER IN	FORMATION FOR	M	
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022		
10.	DESCRIPTION	MM/DD/YYYY	BY	

2012 O.B.C. DRAWINGS

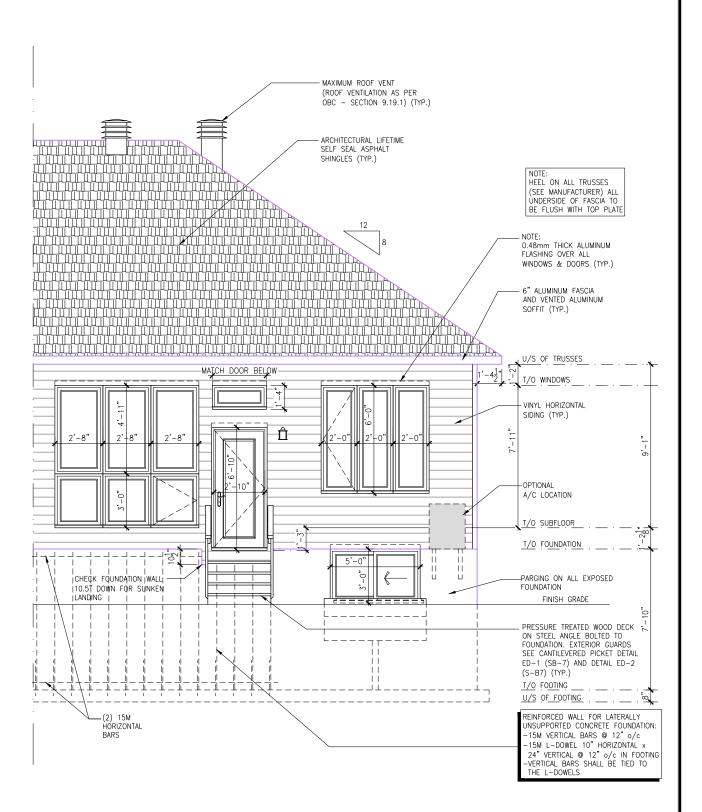
DRAWING: RIGHT ELEVATION

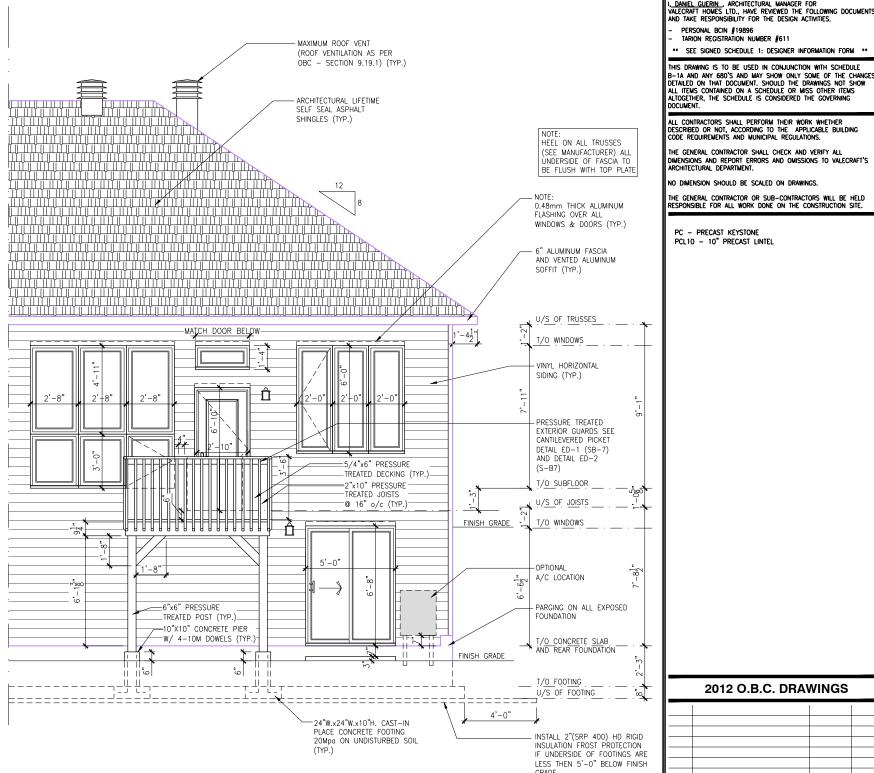
GARAGE END UNIT -WALKOUT

ADDRESS: | SCALE: | 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS) A.2d

XX/XX/XXXX





REAR ELEVATION - PORCH END UNIT - WALKOUT SCALE: 3/16" = 1'-0"

2022 FOOTPRINT (STANDARD DRAWINGS)

REAR ELEVATION - PORCH END UNIT A.2e SCALE: 3/16" = 1'-0"

105 - THE MANN

NO. DESCRIPTION

LOT:

DATE:

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XX/XX/XXXX

Homes (2019) Limited

DANIEL GUERIN . ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS NO TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

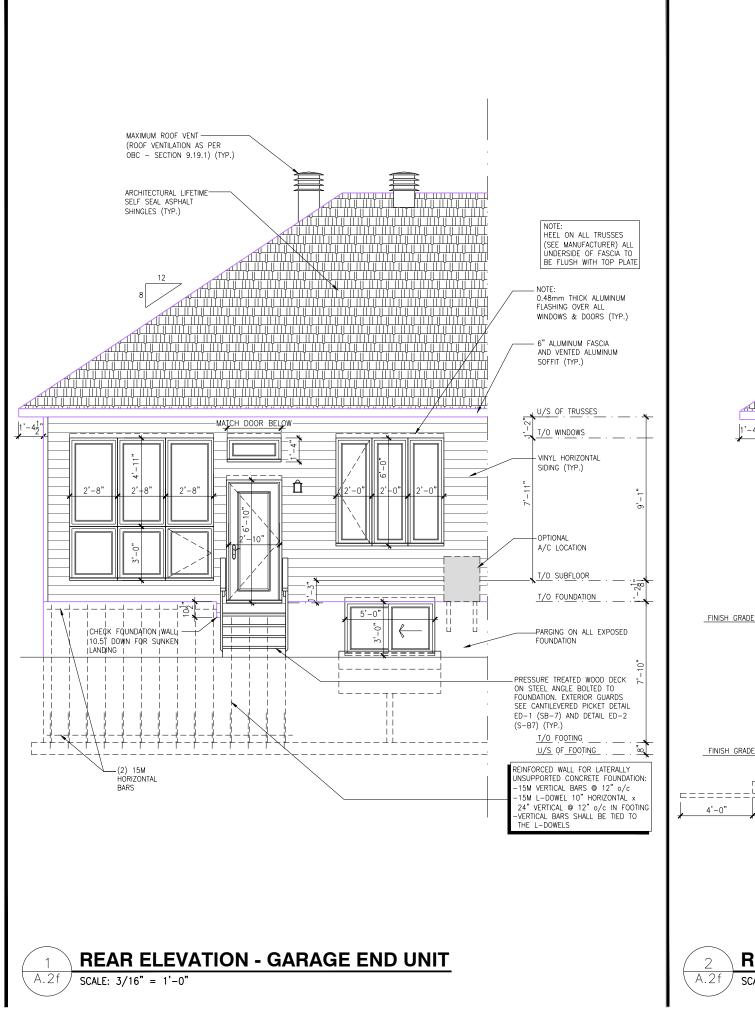
> SHEET A.2e

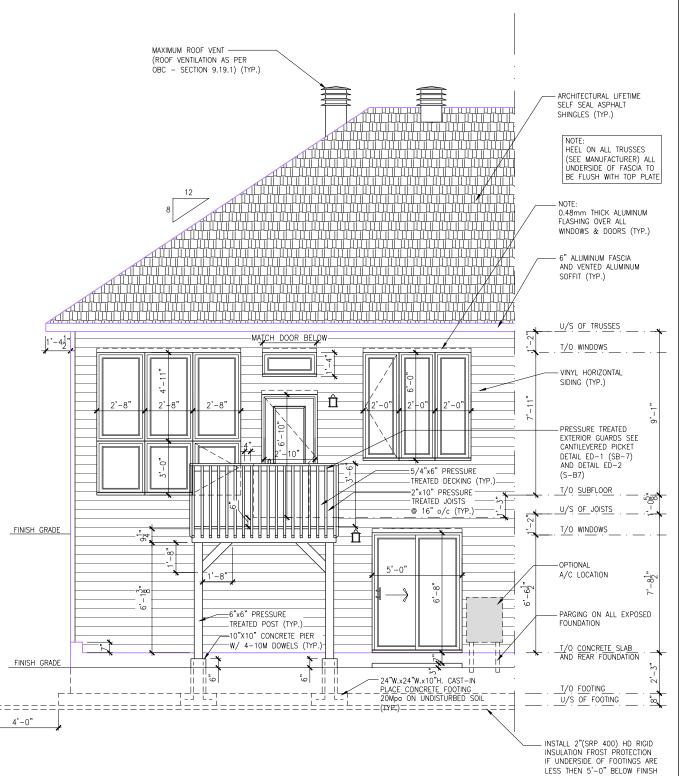
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

REAR ELEVATION PORCH END UNITS 3/16" = 1'-0"





REAR ELEVATION - GARAGE END UNIT - WALKOUT SCALE: 3/16" = 1'-0"



DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS NO TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

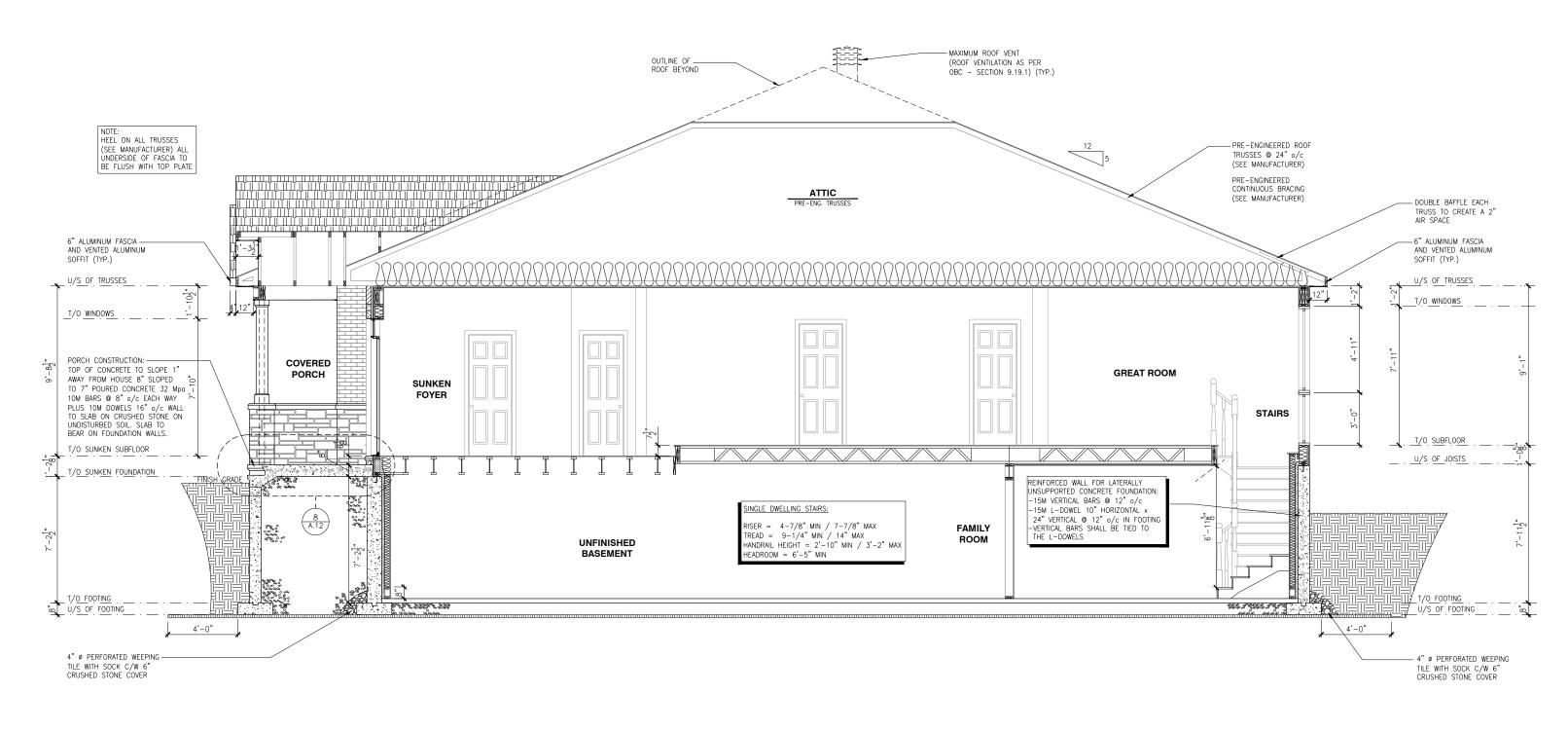
2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

REAR ELEVATION GARAGE END UNITS

SCALE: 3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.2f





LOT:

DATE:

BUILDING SECTION

G SCALE: 3/16" = 1'-0"

XXXX

XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PEI	ke responsibility for the design a Rsonal Bcin #19896 Rion registration number #611 Ee signed schedule 1: designer in		м ··
EV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
10.	DESCRIPTION	MM/DD/YYYY	BY

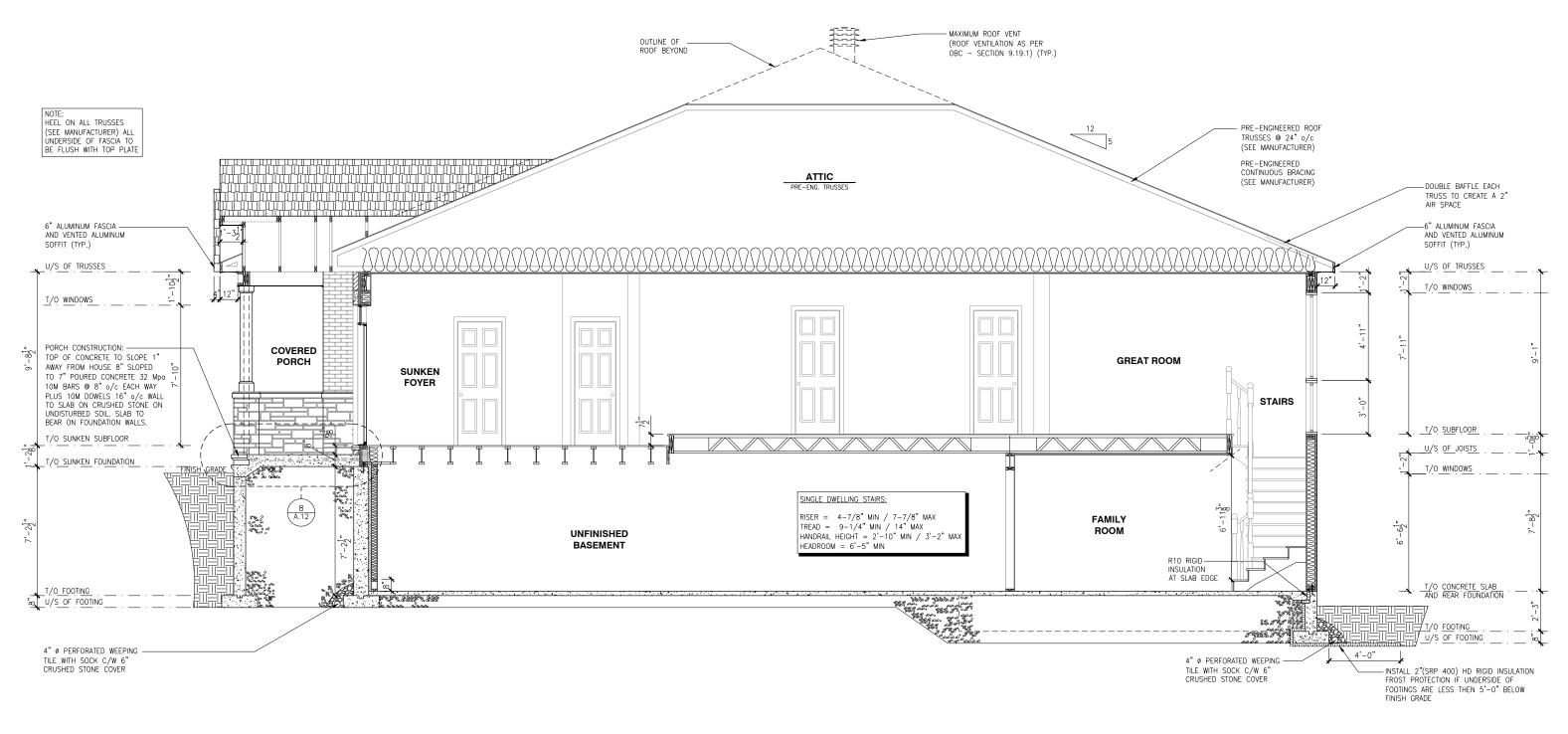
I<u>, Daniel Guerin</u>, architectural manager for Valecraft homes Ltd., have reviewed the following documents 2012 O.B.C. DRAWINGS

AWING:
BUILDING SECTION

ADDRESS: | SCALE: | DATE: | XX/XX/XXXX | | 3/16" = 1'-0" | DATE: | XX/XX/XXXX | SHEET:

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.3a





BUILDING SECTION - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX Valecratt

Homes (2019) Limited

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•• 9	EE SIGNED SCHEDULE 1: DESIGNER IN	FORMATION FOR	w ··
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REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	DOYON
NO.	DESCRIPTION	MM/DD/YYYY	BY

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR

2012 O.B.C. DRAWINGS

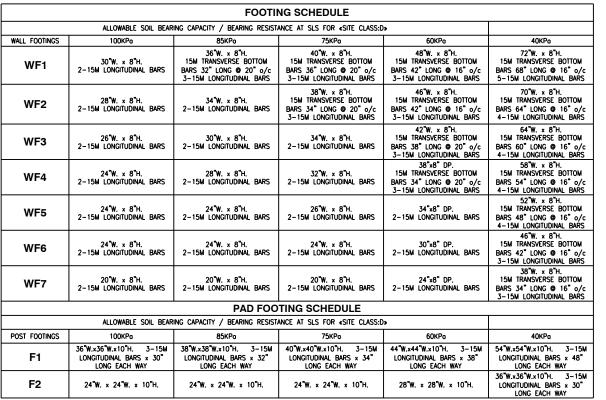
BUILDING SECTION WALKOUT

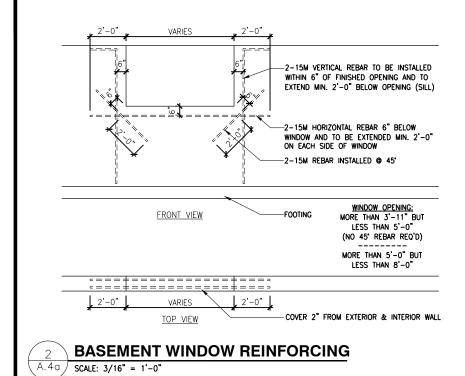
ADDRESS: 3/16" = 1'-0" xx/xx/xxxx

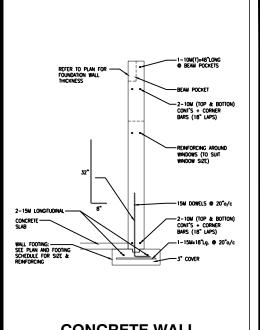
105 - THE MANN **2022 FOOTPRINT** (STANDARD DRAWINGS)

A.3b

HEET:

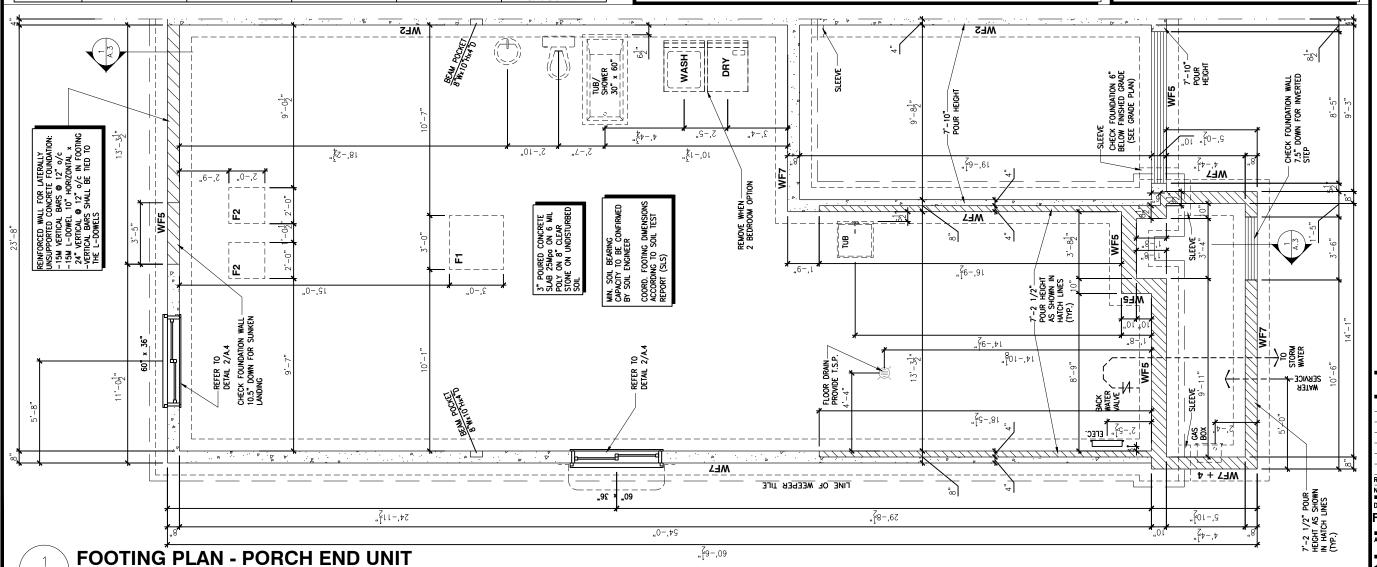






CONCRETE WALL REINFORCING

A.4a SCALE: 1/4" = 1'-0"



LOT: DATE: XX/XX/XXXX

XXXX

/alecraft Homes (2019) Limited

DANIEL GUERIN . ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- Footings have been designed for the allowable soil Bearing Capacity or bearing resistance at SLS and Design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT CARACES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
 AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH **©** 28 DAYS FOR FOOTINGS AND WALL = 20MP₀ AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

FOOTING PLAN -PORCH END UNIT

3/16" = 1'-0" XX/XX/XXXX

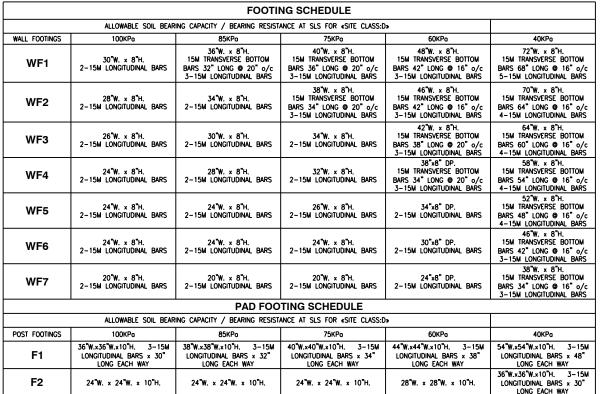
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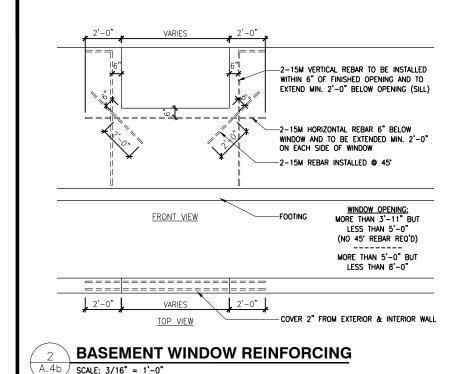
A.4a

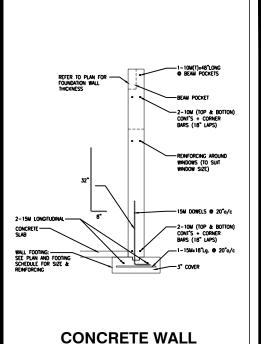
105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

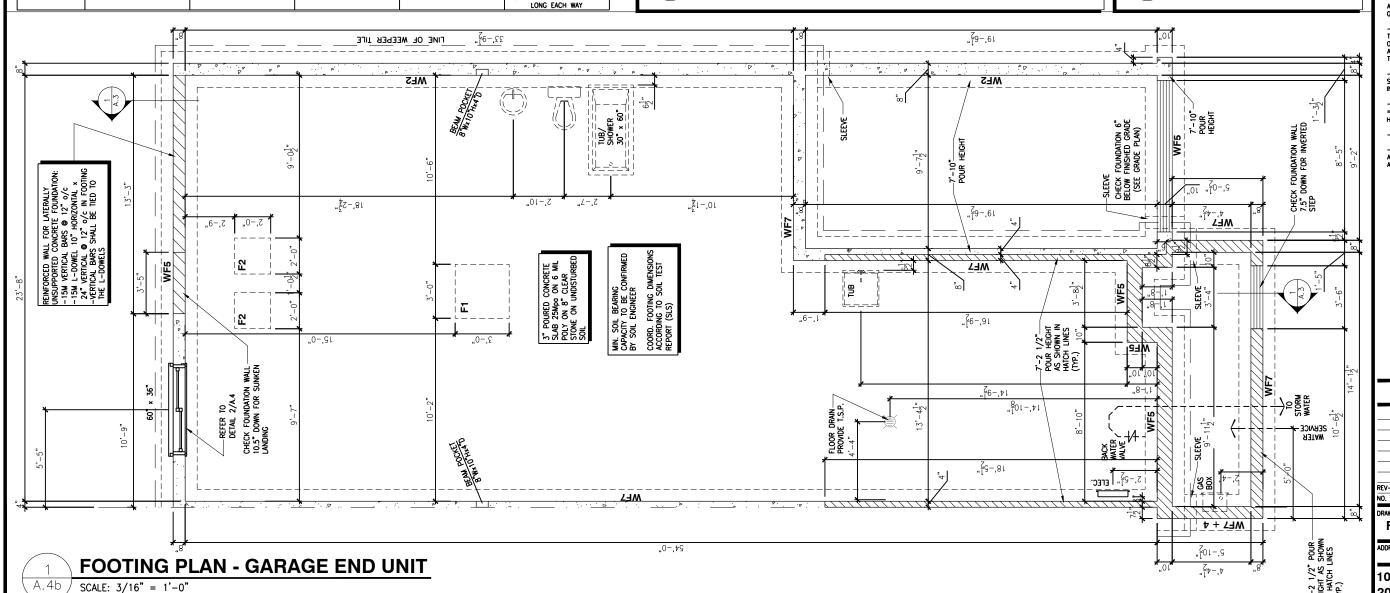






CONCRETE WAL

A.4b SCALE: 1/4" = 1'-0"



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XXXX

XX/XX/XXXX

/alecraft

Homes (2019) Limited

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TARION REGISTRATION NUMBER #611

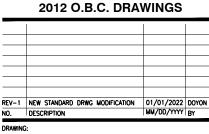
THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTE

LOT:

DATE:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PEPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
 AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT
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- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH **©** 28 DAYS FOR FOOTINGS AND WALL = 20MP₀ AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
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FOOTING PLAN - GARAGE END

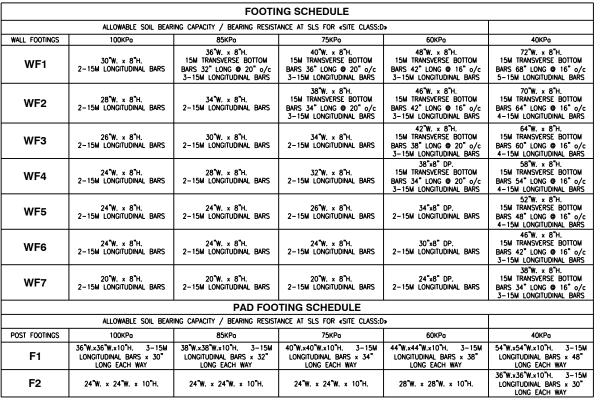
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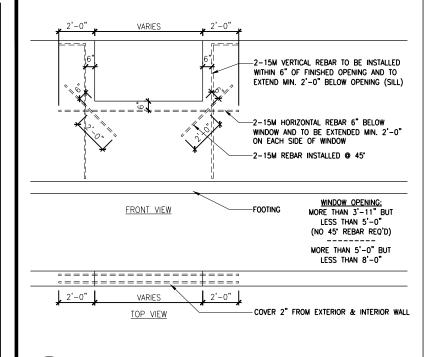
105 - THE MANN 2022 FOOTPRINT

STANDARD DRAWINGS)

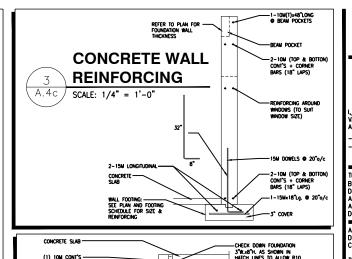
A.4b

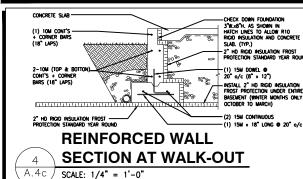
SHEET

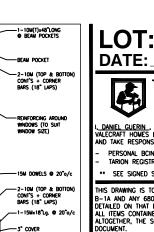












alecraft Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

XXXX

XX/XX/XXXX

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

–1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW L ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING CUMENT.

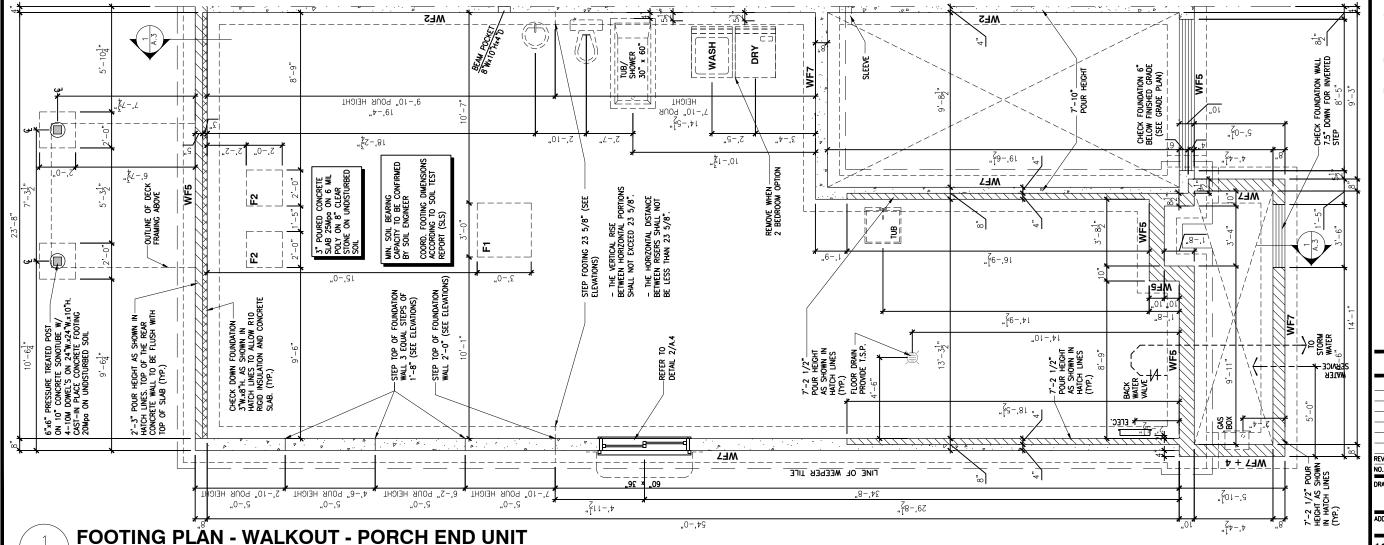
ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER
DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

IO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- Footings have been designed for the allowable soil Bearing capacity or bearing resistance at SLS and Design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.



2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

FOOTING PLAN WALKOUT - PORCH END UNIT

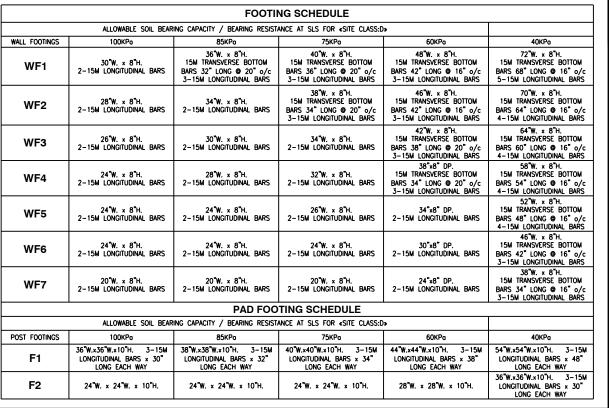
3/16" = 1'-0" XX/XX/XXXX SHEET

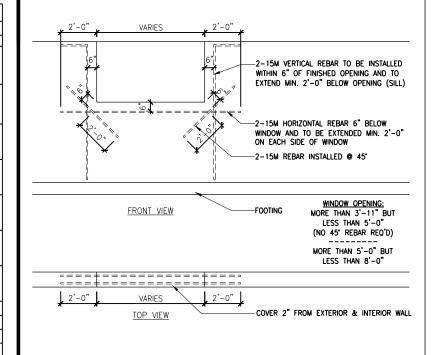
105 - THE MANN 2022 FOOTPRINT

SCALE: 3/16" = 1'-0"

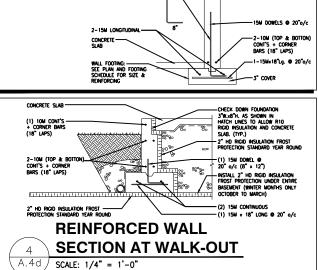
STANDARD DRAWINGS)

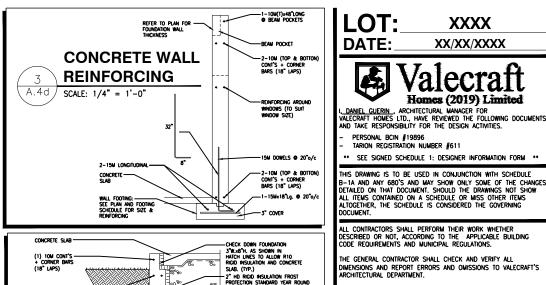
A.4c

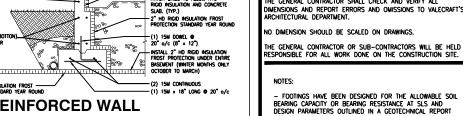




BASEMENT WINDOW REINFORCING







REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST); - BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

XXXX

XX/XX/XXXX

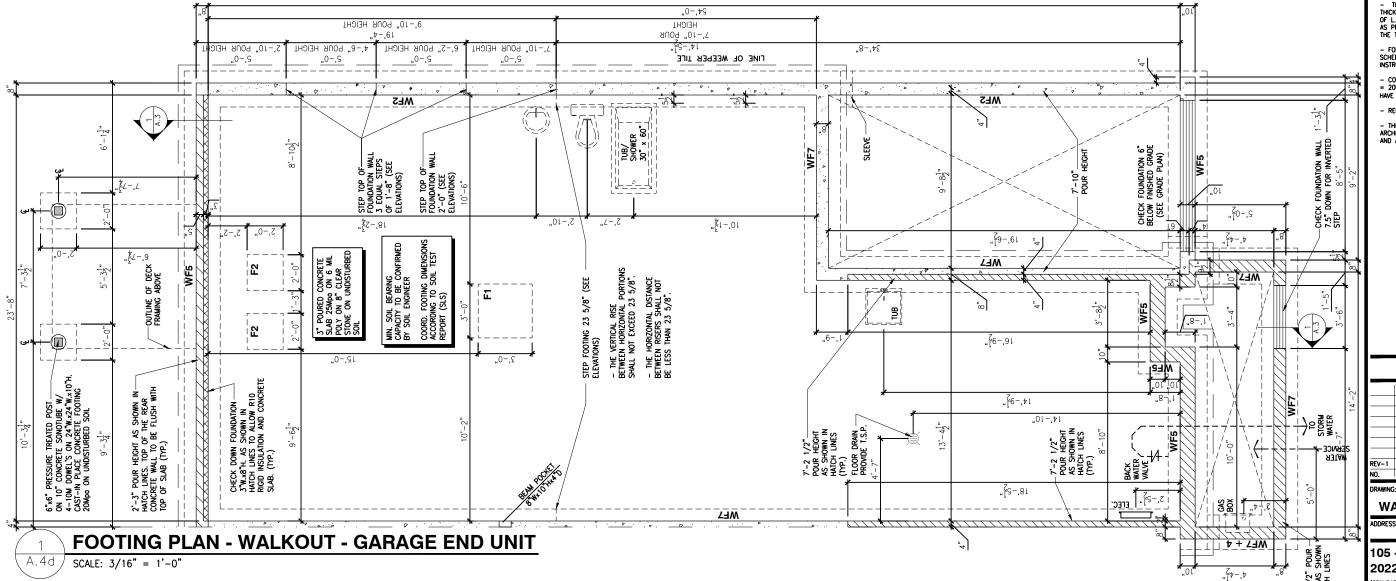
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Homes (2019) Limited

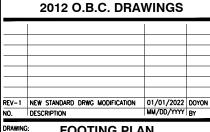
DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT CARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
 AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH © 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.



A.4d SCALE: 3/16" = 1'-0"



FOOTING PLAN WALKOUT - GARAGE END UNIT

> 3/16" = 1'-0" XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

STANDARD DRAWINGS)

SHEET A.4d

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c F1) 11 %" PRE-ENG. OPEN JUISI INITIALE & 13.4 c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
 UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1 ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER, FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: **XXXX** DATE: XX/XX/XXXX

/alecraft Homes (2019) Limited

Daniel Guerin , architectural manager for Alegraft Homes Ltd., have reviewed the following documents ND take responsibility for the design activities.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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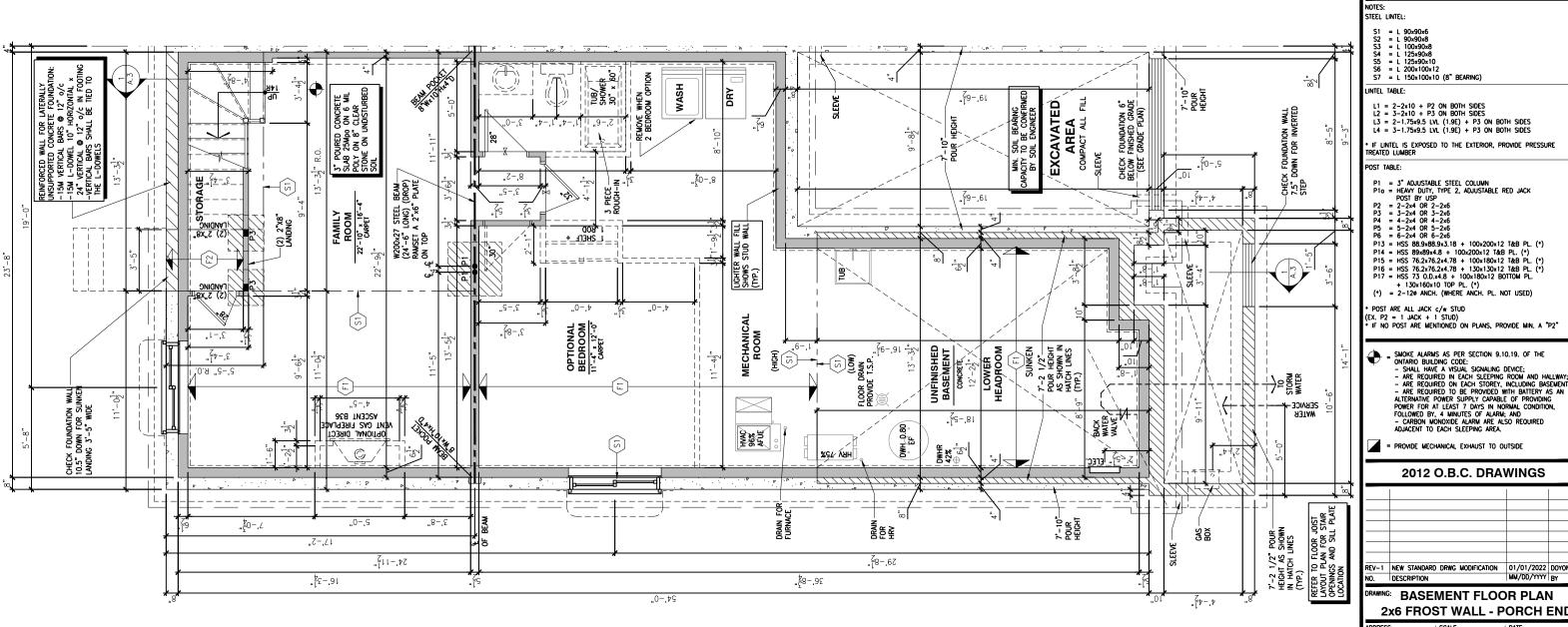
HE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

IO DIMENSION SHOULD BE SCALED ON DRAWINGS.

= L 125x90x10

= 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA. PROVIDE MECHANICAL EXHAUST TO OUTSIDE 2012 O.B.C. DRAWINGS

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

DESCRIPTION TAWING: BASEMENT FLOOR PLAN

2x6 FROST WALL - PORCH END 3/16" = 1'-0" xx/xx/xxxx

SHEET

A.5a

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

BASEMENT FLOOR PLAN - 2x6 FROST WALL - PORCH END UNIT A.5a

SCALE: 3/16" = 1'-0"

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c F1) 11 %" PRE-ENG. OPEN JUISI INITIALE & 13.4 c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
 UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1 ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

"çe−'EE

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- 2"x10" PRESSURE TREATED LEDGER, FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM

- 5

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

.6,−9<u>3</u>..

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH
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LOT: **XXXX** DATE: XX/XX/XXXX

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES: STEEL LINTEL:

- = L 125x90x10
- S7 = L 150x100x10 (8" BEARING)

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75×9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3* ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-224 OR 2-246
 P3 = 3-2x4 OR 3-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)
- POST ARE ALL JACK c/w STUD
- (EX. P2 = 1 JACK + 1 STUD)
 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE RECOURED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED TO BACH STOREY, INCLUDING BASEMENT,

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON DESCRIPTION

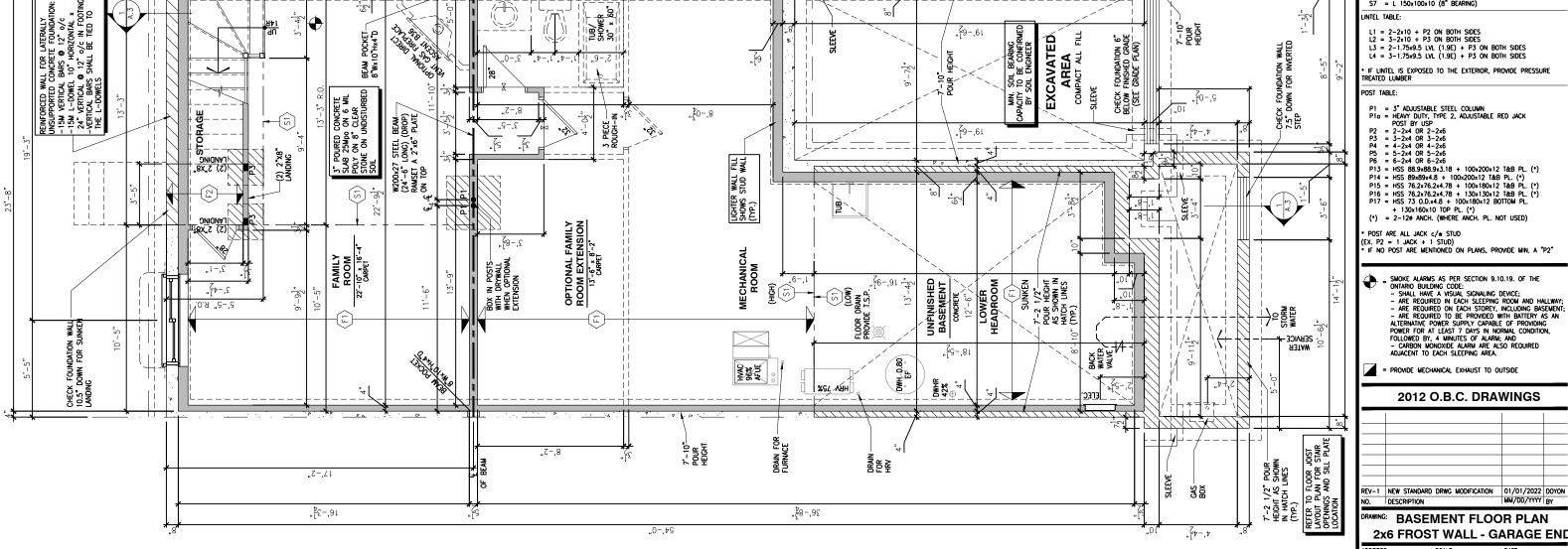
AWING: BASEMENT FLOOR PLAN

3/16" = 1'-0" xx/xx/xxxx

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.5b



BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT

A.5b SCALE: 3/16" = 1'-0"

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c F1) 11 % PRE-ENG. OPEN JUIST INFORCE & 13.4 c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
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- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

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78,

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P10 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6 = 5-2x4 OR 5-2x6 = 4-2x4 OR 4-2x6 = 5-2x4 OR 5-2x6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9×88.9×3.18 + 100×200×12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

LOT:

DATE:

XXXX

XX/XX/XXXX

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(EX. P2 = 1 JACK + 1 STUD)
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

TAWING: BASEMENT FLOOR PLAN

ENERGY STAR - PORCH END

3/16" = 1'-0"

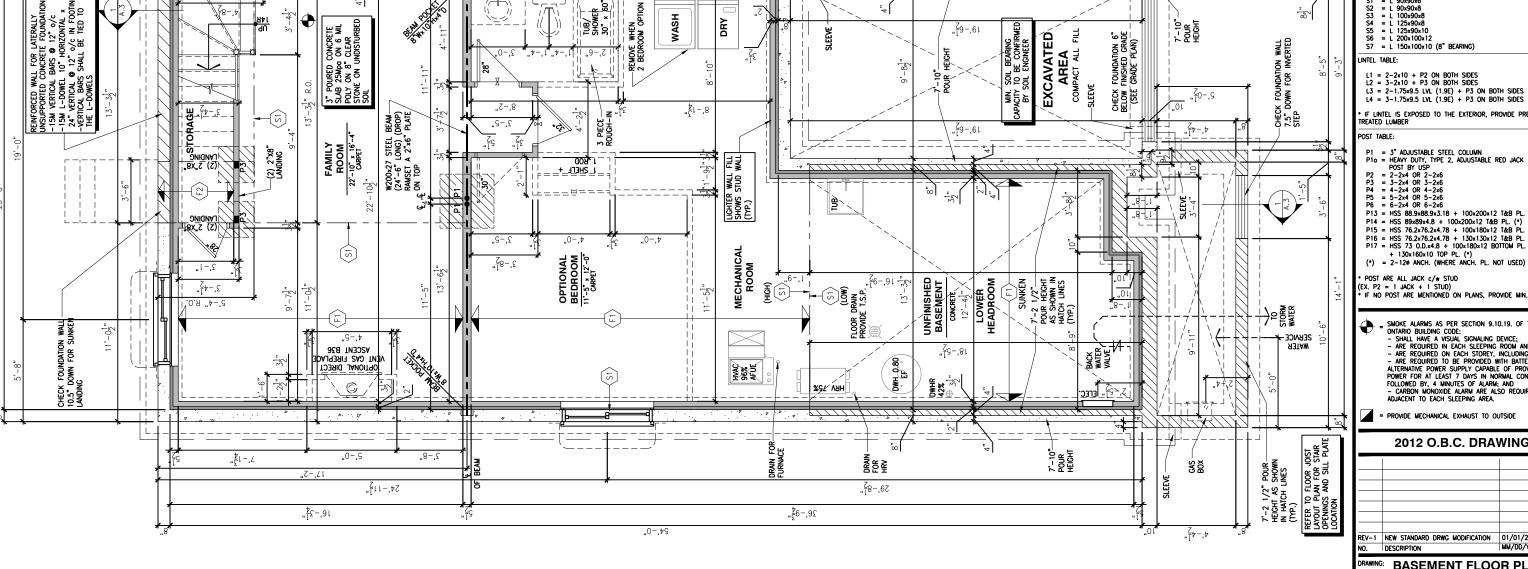
105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.5c

xx/xx/xxxx

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT SCALE: 3/16" = 1'-0"



- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER, FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT

JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

.61,-6¹

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN) LOT: **XXXX** DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES: STEEL LINTEL: S5 = L 125x90x10S7 = L 150x100x10 (8" BEARING) L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75×9.5 LVL (1.9E) + P3 ON BOTH SIDES IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER POST TABLE: P1 = 3" ADJUSTABLE STEEL COLUMN P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP P2 = 2-244 OR 2-246 P3 = 3-244 OR 3-246 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED) POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD) • IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2" SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE: - SHALL HAVE A VISUAL SIGNALING DEVICE; - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY; - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT; - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING BOWER FOR AT LEFS IT, DANS IN ADDITIONAL CONTINUES.

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON O DESCRIPTION

AWING: BASEMENT FLOOR PLAN

ENERGY STAR - GARAGE END 3/16" = 1'-0" xx/xx/xxxx

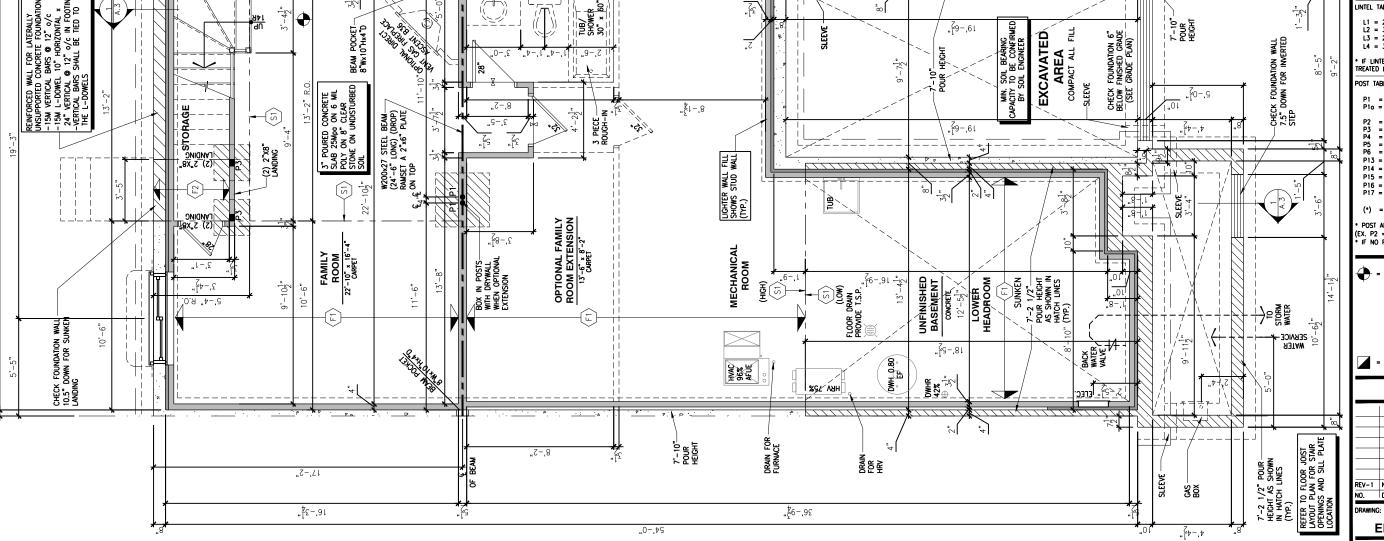
SHEET

A.5d

105 - THE MANN 2022 FOOTPRINT

STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"



- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE © 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I.
 (21MPo) AT 28 DAYS;

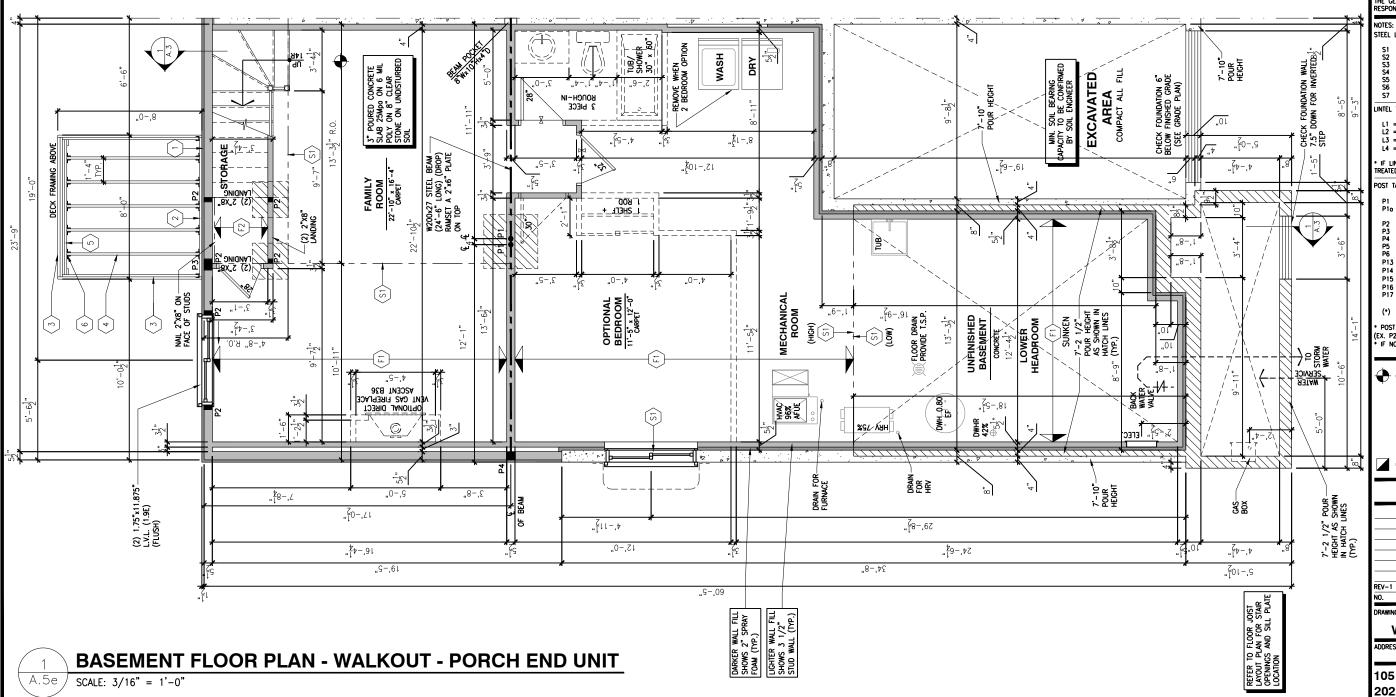
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- Foundation wall shall not be backfilled until concrete has reached its specified 28 days strenght and structural floor framing (including Plywood subfloor) required to stabilize the walls are completed and fully naied and anchored;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:
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LOT: **XXXX** DATE: XX/XX/XXXX alecraft/ Homes (2019) Limited Daniel Guerin , architectural manager for Alegraft Homes Ltd., have reviewed the following documents ND take responsibility for the design activities. PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611 SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM IS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE I–1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER
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(STANDARD DRAWINGS)



- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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LOT: **XXXX** DATE: XX/XX/XXXX

/alecraft Homes (2019) Limited

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- PERSONAL BCIN #19896
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- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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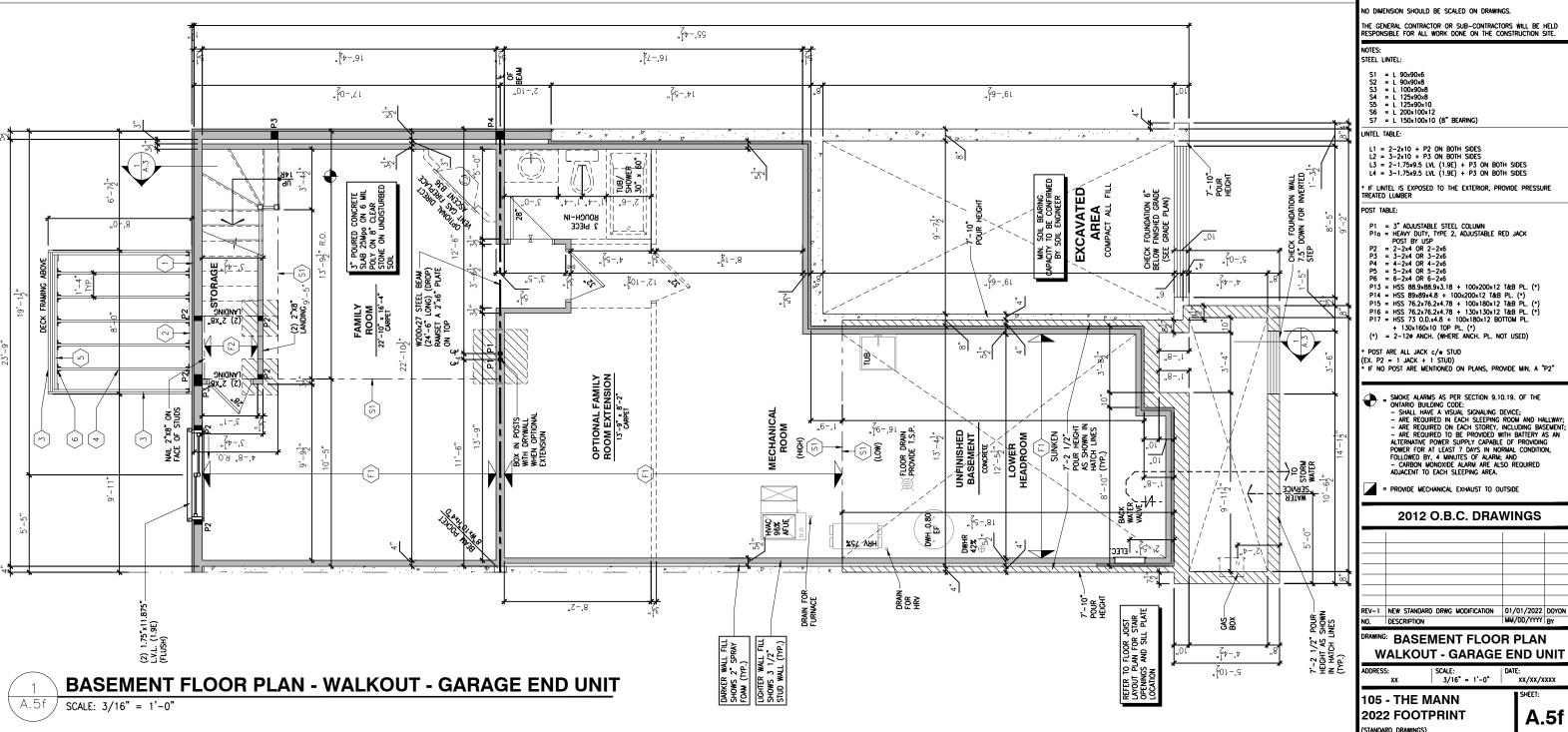
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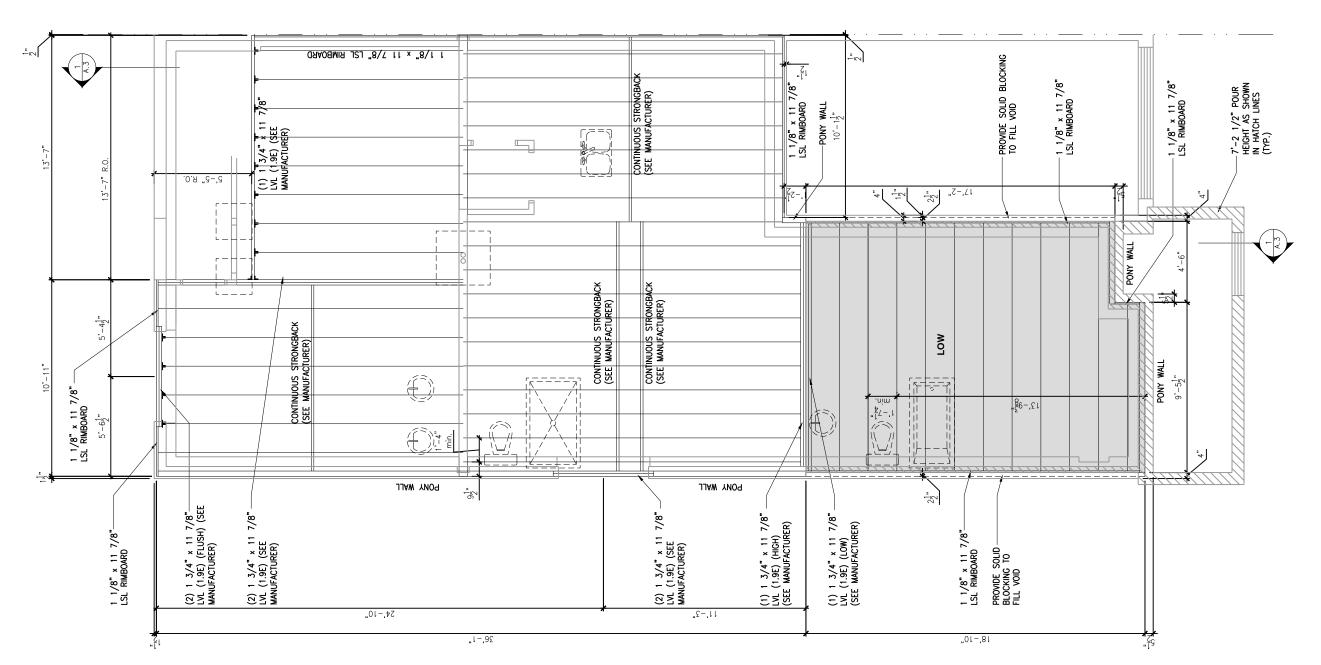
MM/DD/YYYY BY

xx/xx/xxxx

A.5f

SHEET







<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

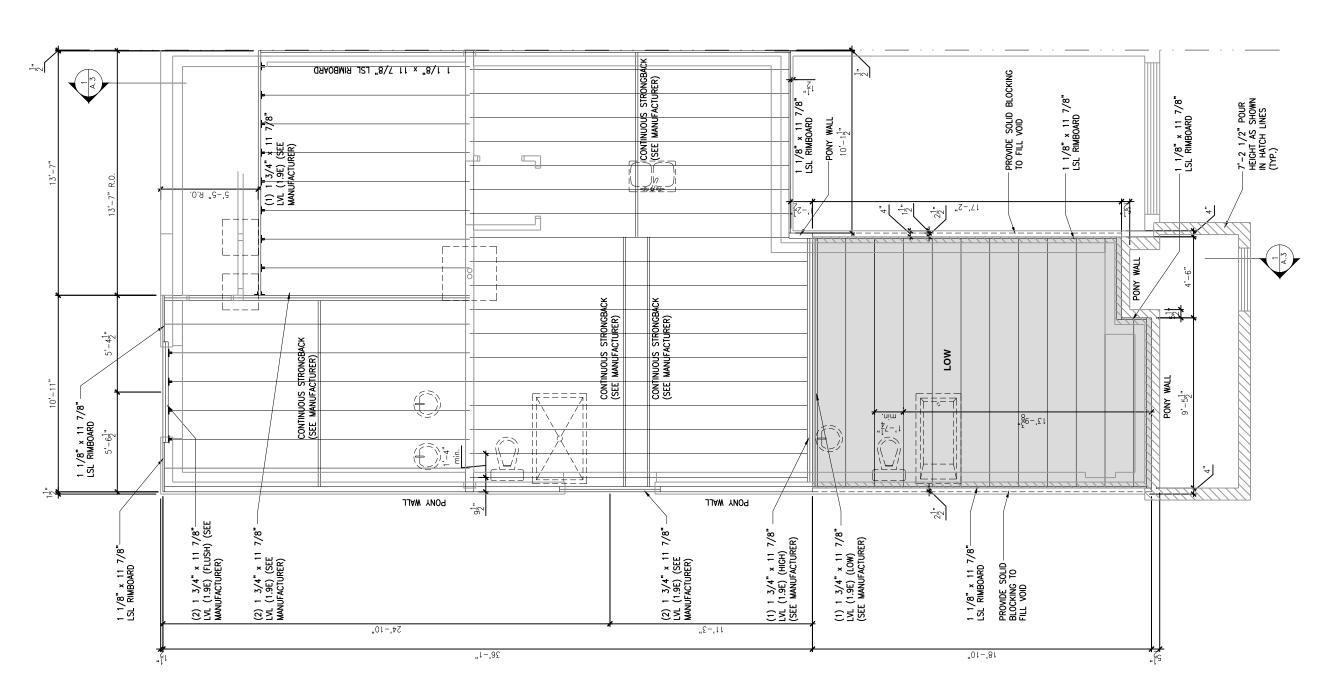
RAWING: 3 BEDROOM PLAN - FLOOR

JOIST FRAMING - PORCH END DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6a

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT



JOIST FRAMING - PORCH END SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX

Valecraft Homes (2019) Limited

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PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

2022 FOOTPRINT (STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - PORCH END UNIT SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REY-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION MM/DD/YYYY BY

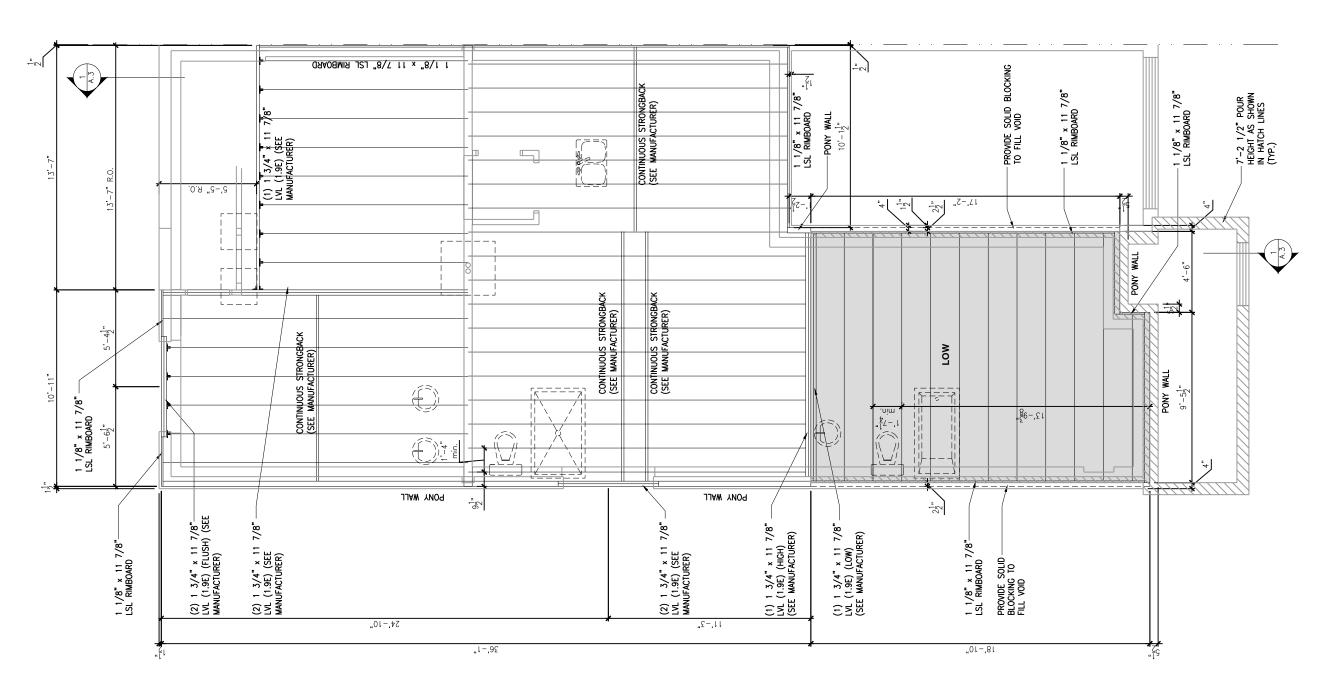
RAWING: 3 BEDROOM PLAN - FLOOR

105 - THE MANN

A.6b

DATE: XX/XX/XXXX

SHEET:



Valecraft Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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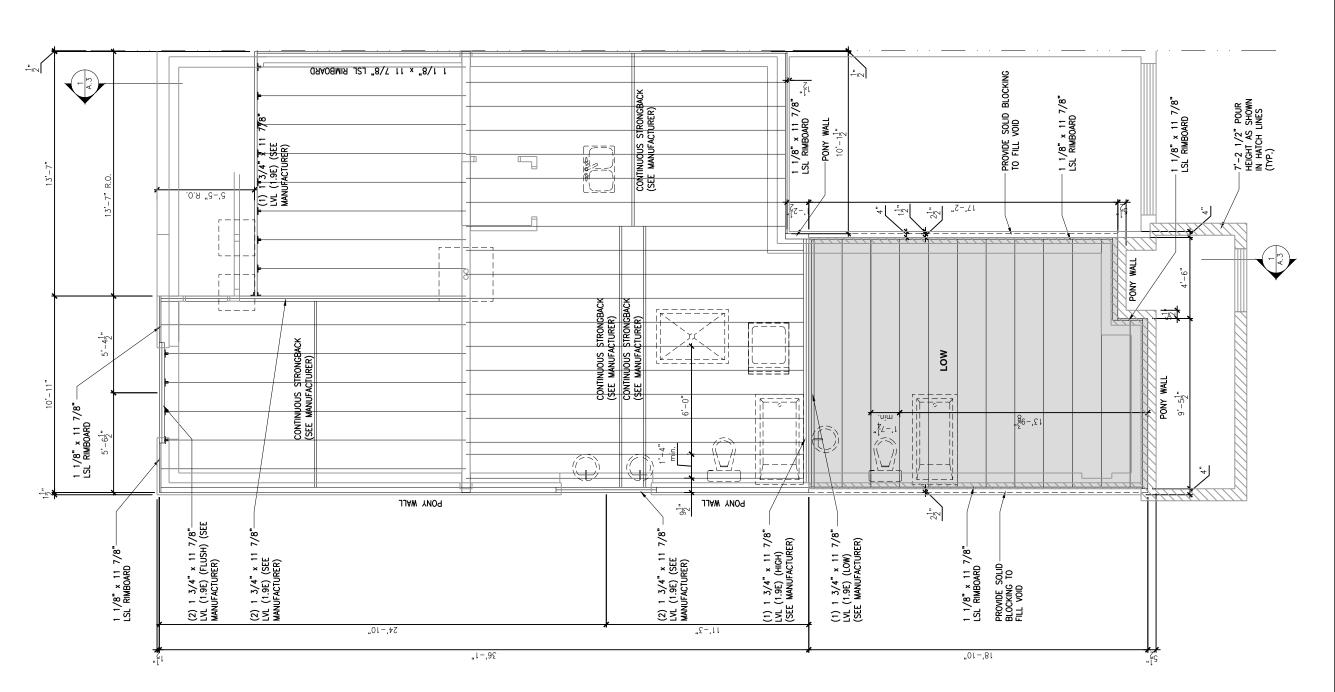
RAWING: 3 BEDROOM PLAN - FLOOR

JOIST FRAMING - PORCH END DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6c

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN - PORCH END UNIT



Valecraft Homes (2019) Limited

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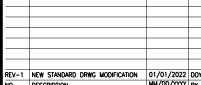
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2012 O.B.C. DRAWINGS



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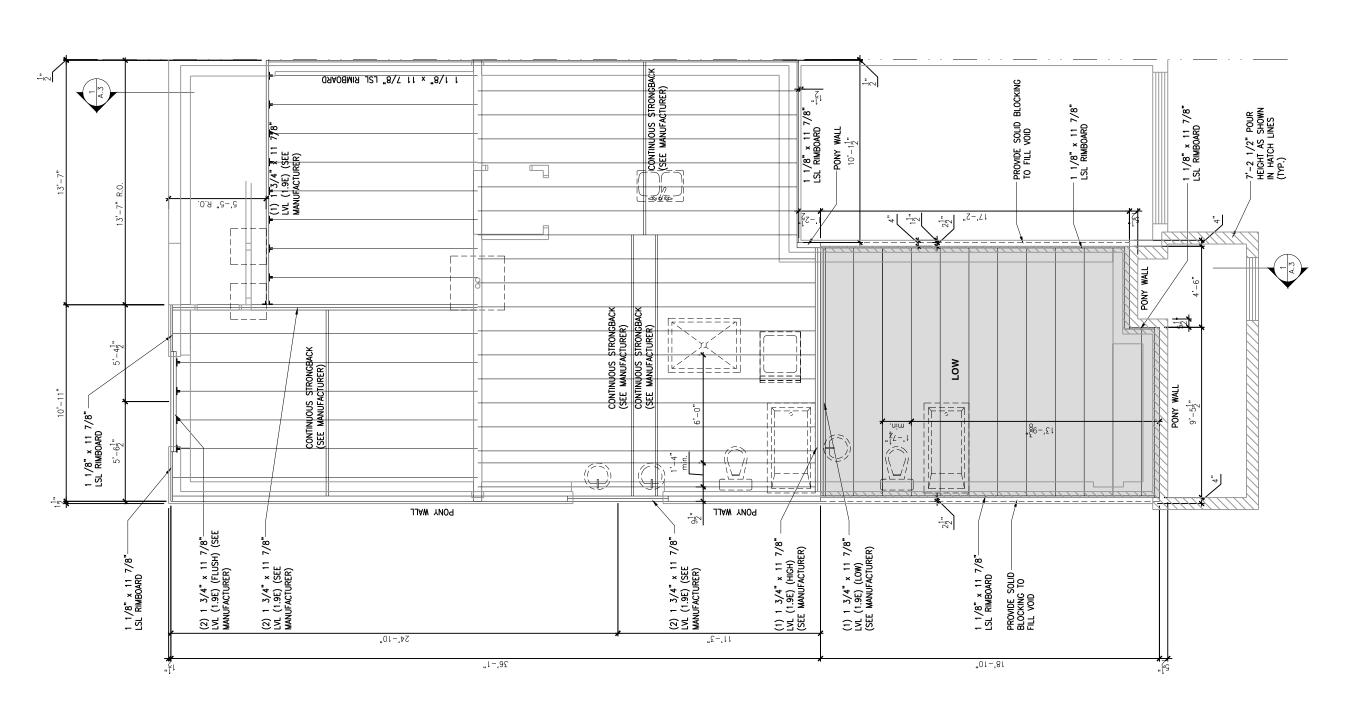
RAWING: 2 BEDROOM PLAN - FLOOR **JOIST FRAMING - PORCH END** DATE: XX/XX/XXXX

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6d

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT



Valecraft Homes (2019) Limited

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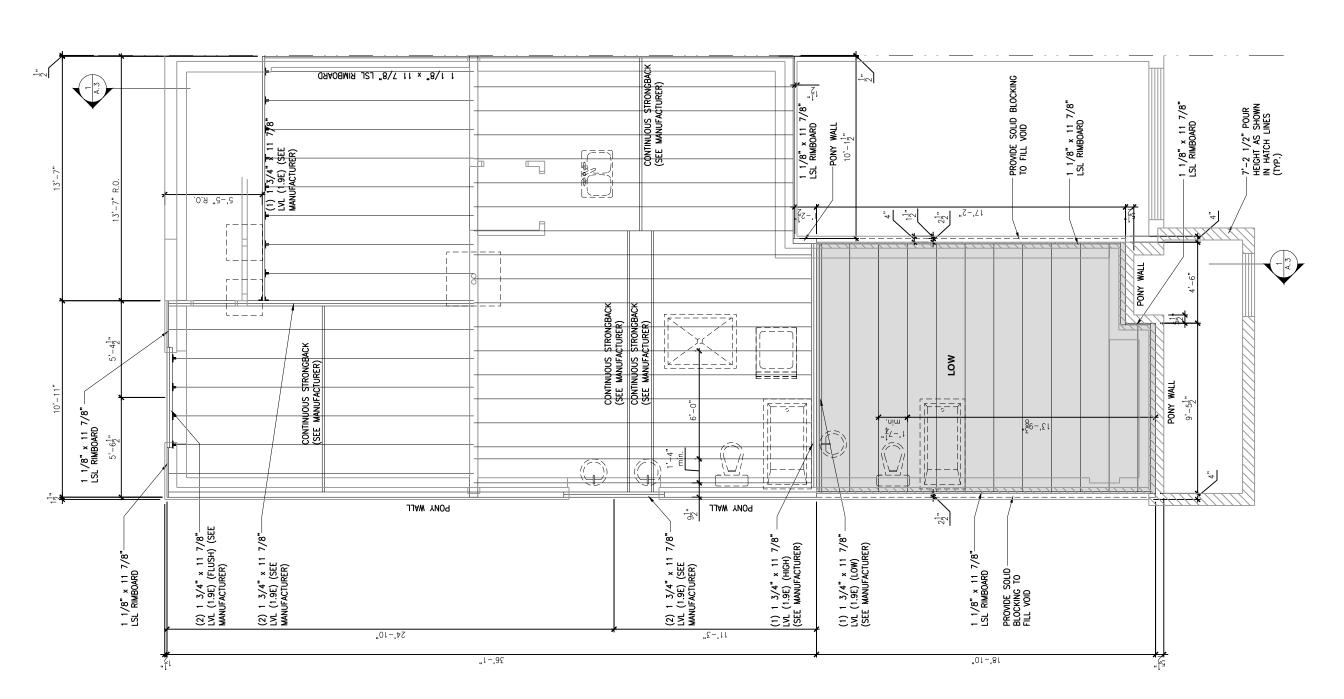
NO. DESCRIPTION RAWING: 2 BEDROOM PLAN - FLOOR

JOIST FRAMING - PORCH END DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6e

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - PORCH END UNIT





<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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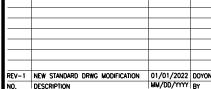
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2012 O.B.C. DRAWINGS



RAWING: 2 BEDROOM PLAN - FLOOR

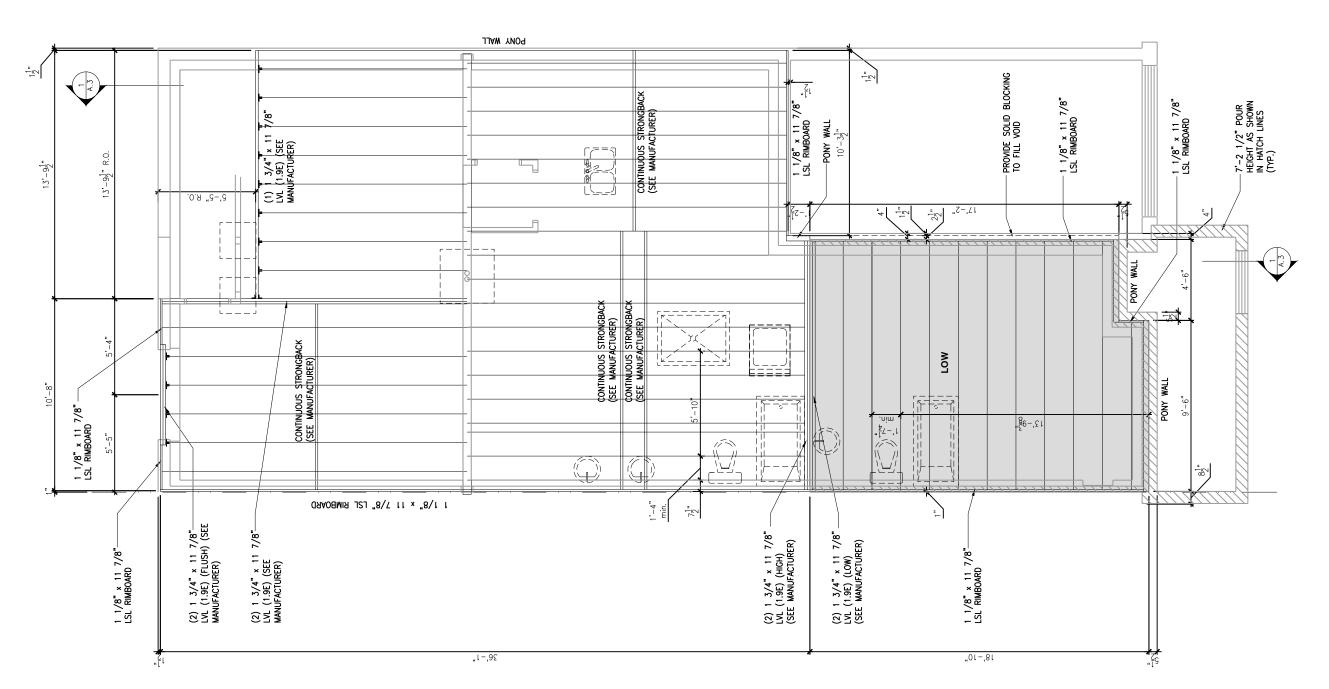
JOIST FRAMING - PORCH END DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.6f

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - PORCH END UNIT



LOT: XXXX XX/XX/XXXX Valecraft Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

NO. DESCRIPTION

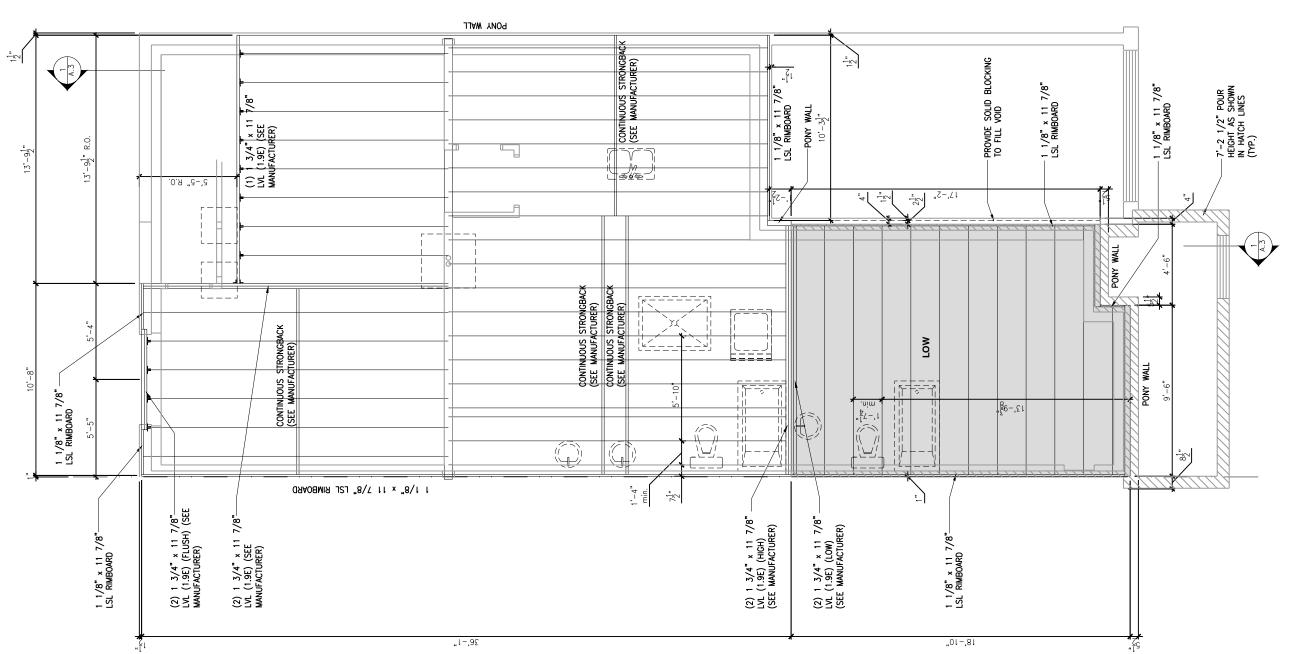
RAWING: 2 BEDROOM PLAN - FLOOR **JOIST FRAMING - GARAGE END**

DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.6g

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT



LOT: XXXX XX/XX/XXXX Valecraft Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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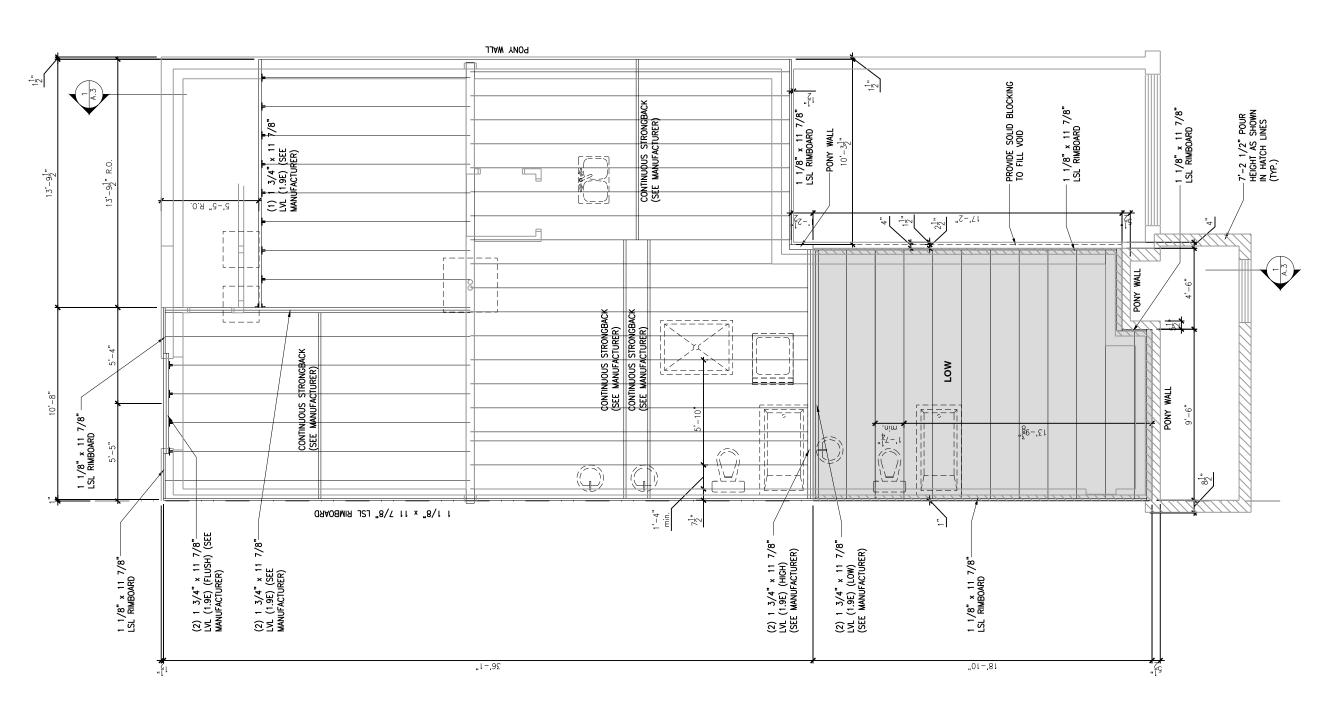
RAWING: 2 BEDROOM PLAN - FLOOR

JOIST FRAMING - GARAGE END DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6h

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - GARAGE END UNIT



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - GARAGE END UNIT

LOT: XXXX XX/XX/XXXX

Valecraft Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: 2 BEDROOM PLAN - FLOOR

A.6i

JOIST FRAMING - GARAGE END DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING



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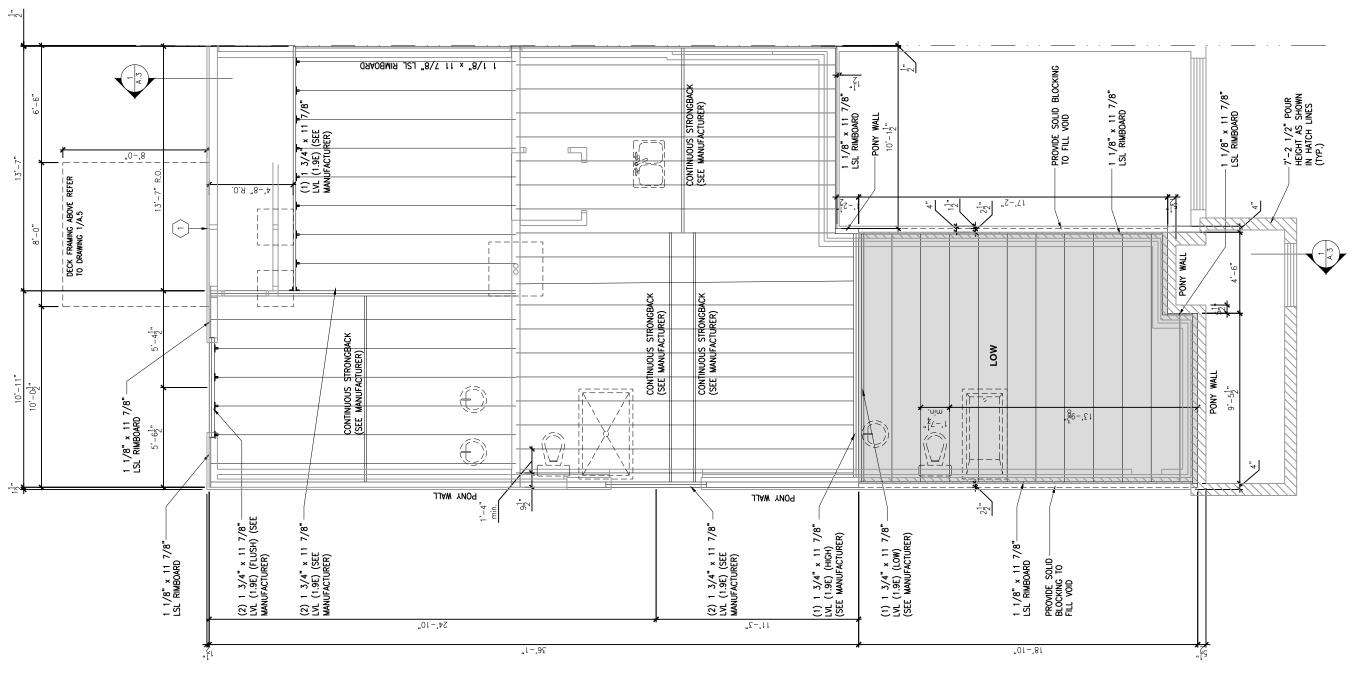
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

RAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

A.6j

NO. DESCRIPTION

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING



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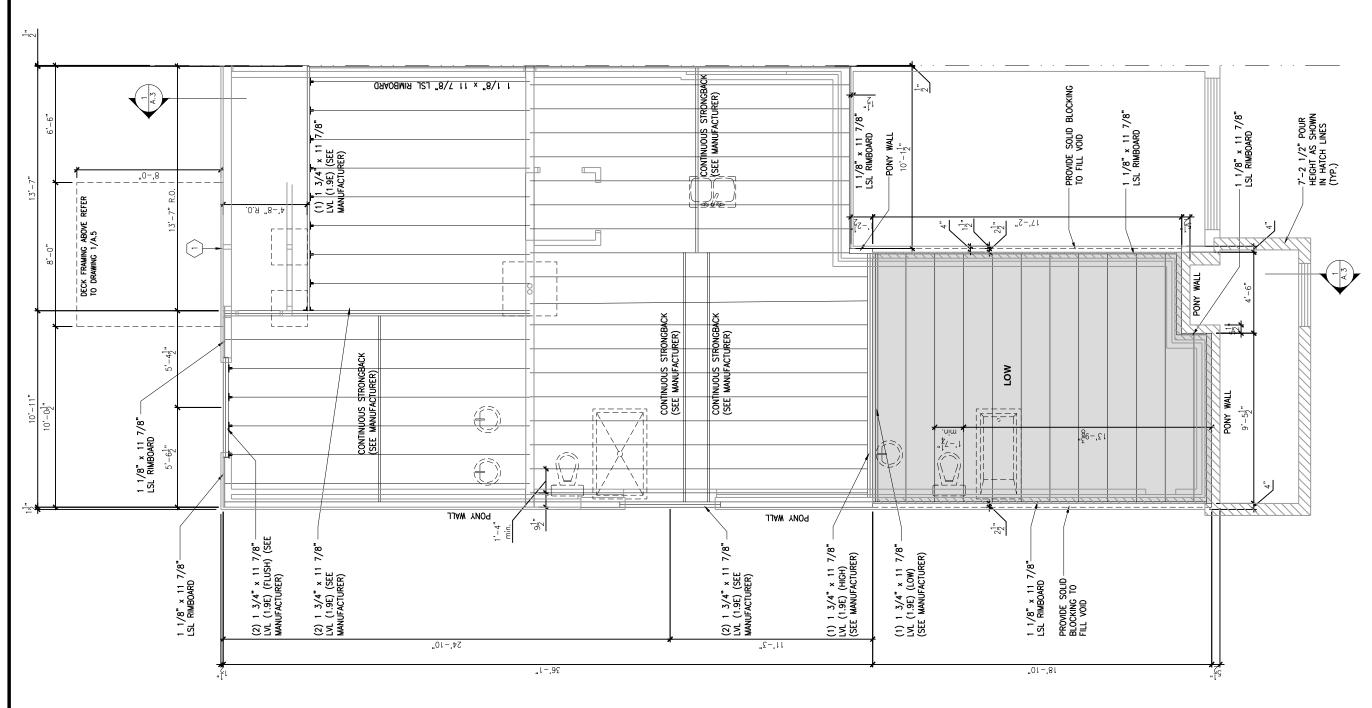
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2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: 3 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

SHEET:

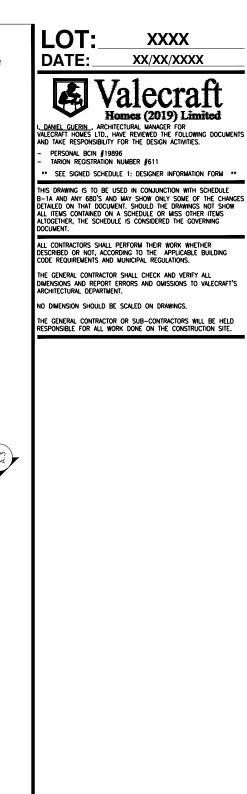
A.6k

105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - PORCH END UNIT

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CONTINUOUS OVER SOLID BLOCKING



2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

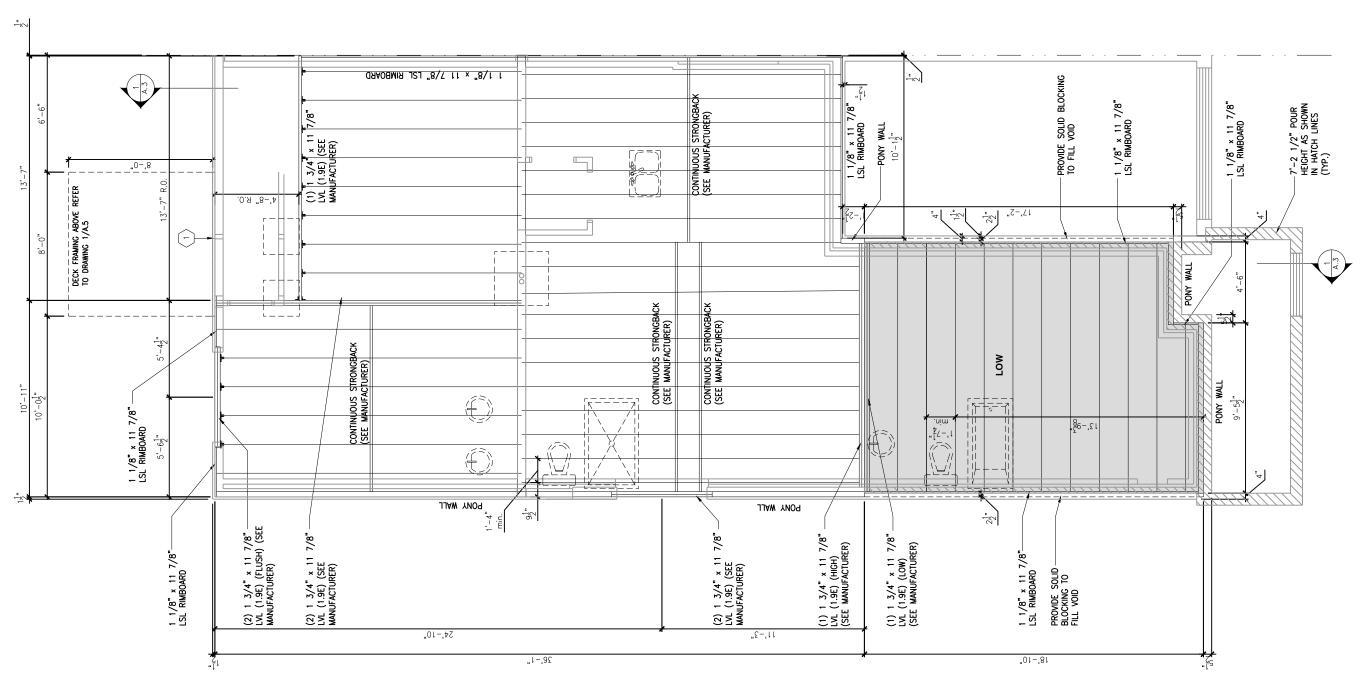
NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: 3 BEDROOM PLAN - JOIST

FRAMING-WALKOUT-PORCH END

| DDRESS: | SCALE: | 3/16" = 1'-0" | DATE: | xx/xx/xxxx

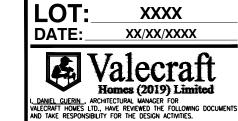
105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS) A.6I



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN - PORCH END UNIT

A.6I

SCALE: 3/16" = 1'-0"



PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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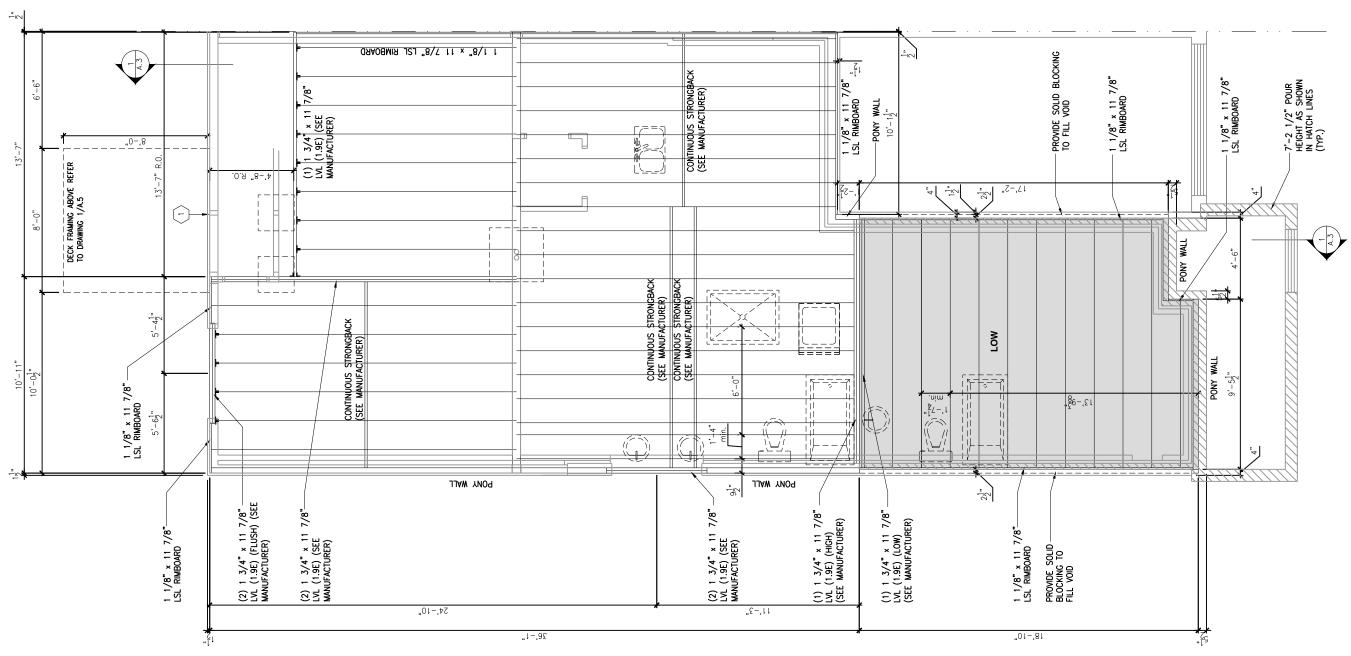
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2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

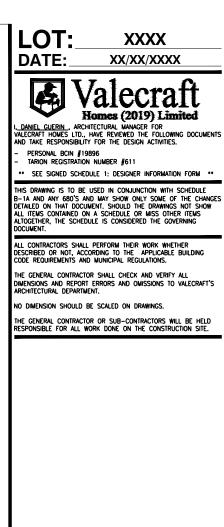
SHEET: A.6m

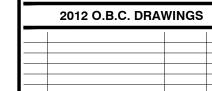
DATE: XX/XX/XXXX

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD
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BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT
CONTINUOUS OVER SOLID BLOCKING



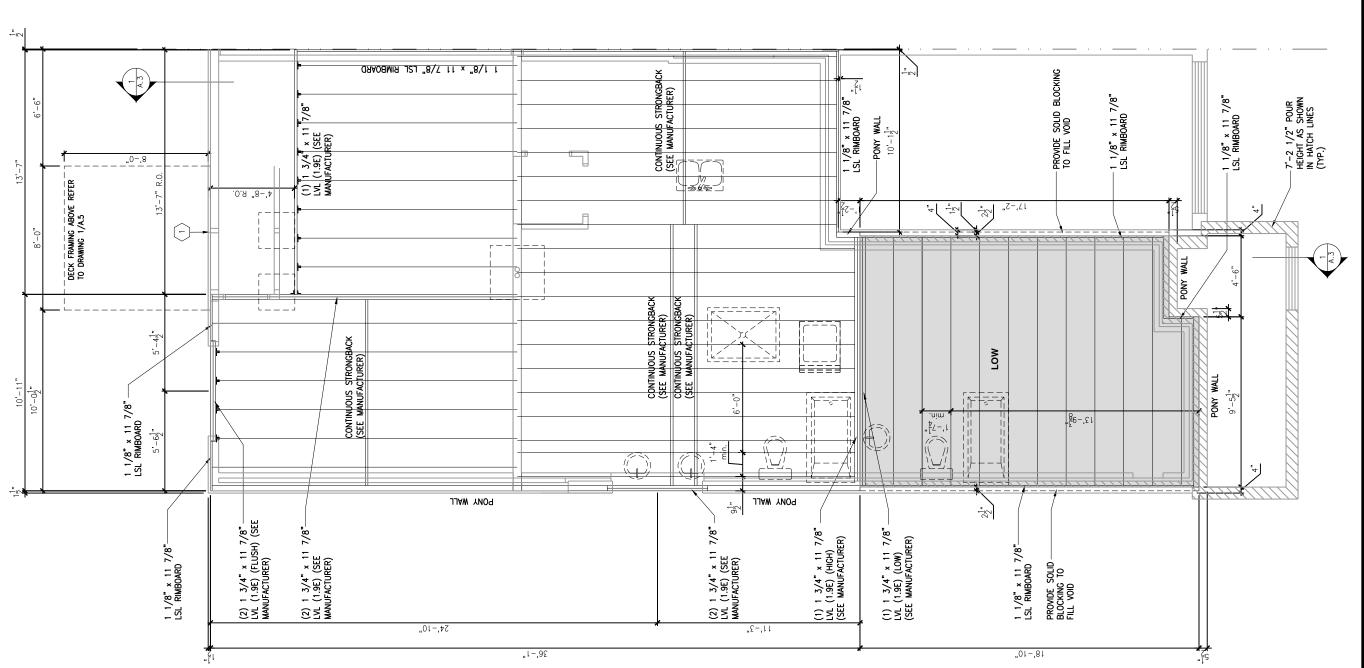


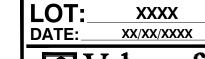
DRAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END

SS: | SCALE: | DATE: | XX/XX/XXXX | 3/16" = 1'-0" | XX/XX/XXXX

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

A.6n





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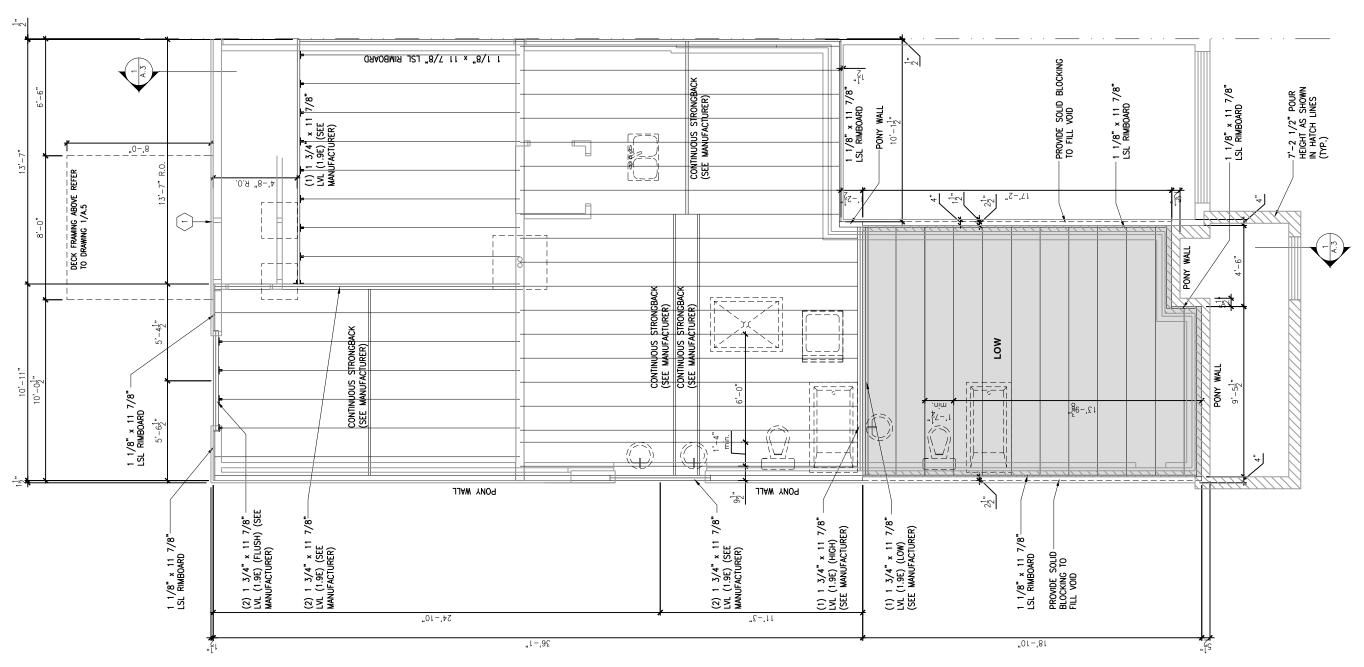
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

NO. DESCRIPTION

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-PORCH END SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET:

A.60

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

 2^*x10^* solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort board and install typek homewapp or equivalent continuous over solid blocking



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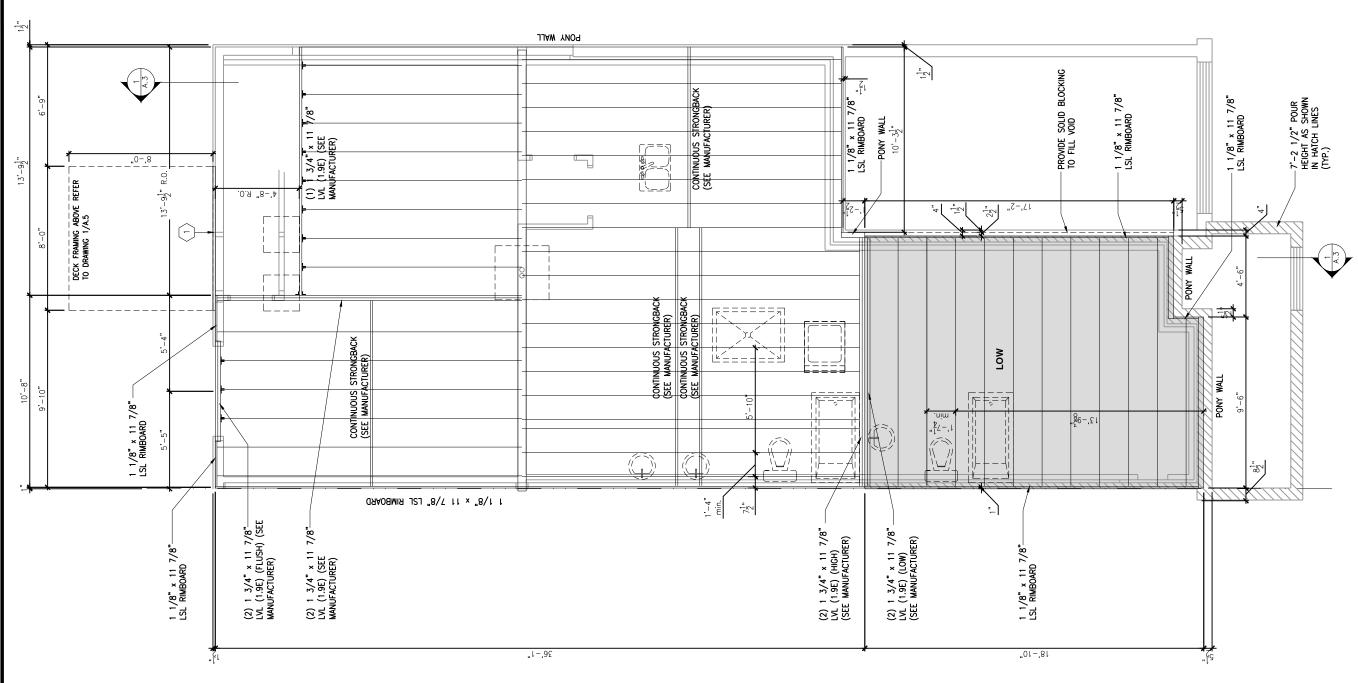
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

SHEET:

A.6p

NO. DESCRIPTION

RAWING: 2 BEDROOM PLAN - JOIST FRAMING-WALKOUT-GARAGE END SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT

 2^*x10^* solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort board and install typek homewapp or equivalent continuous over solid blocking



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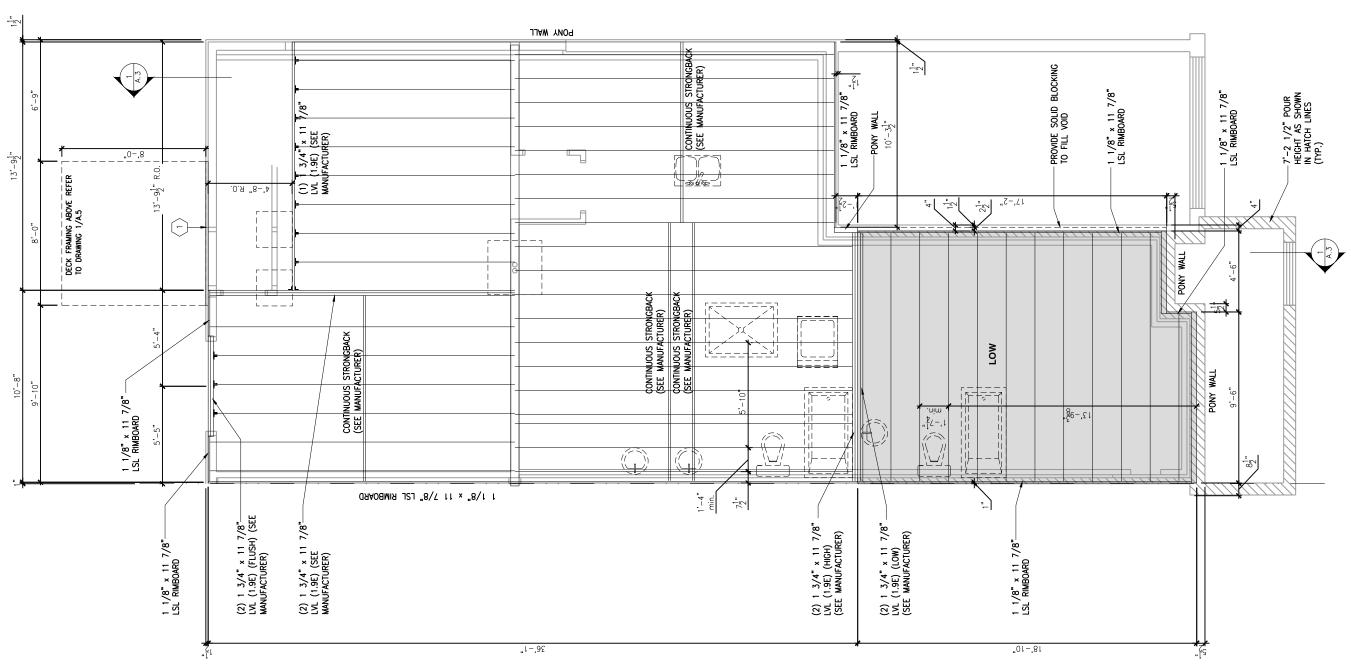
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SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX 105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6q

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN - GARAGE END UNIT

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYPEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING



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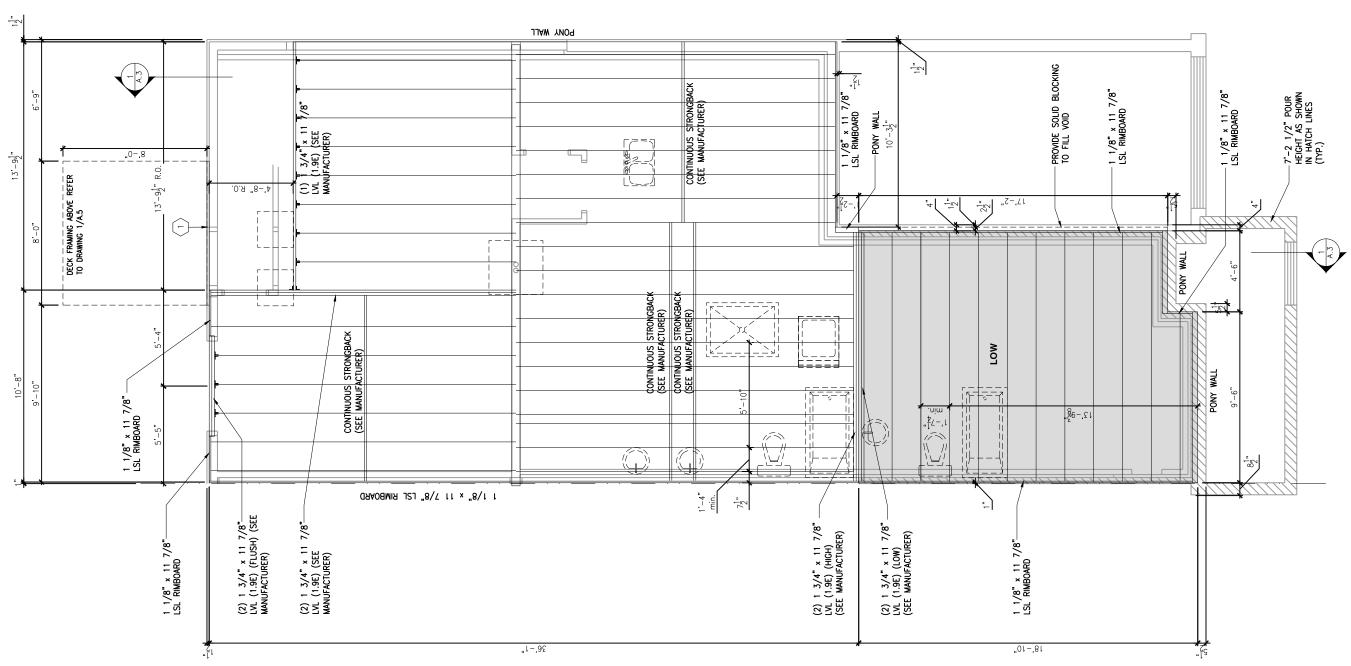
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SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6r

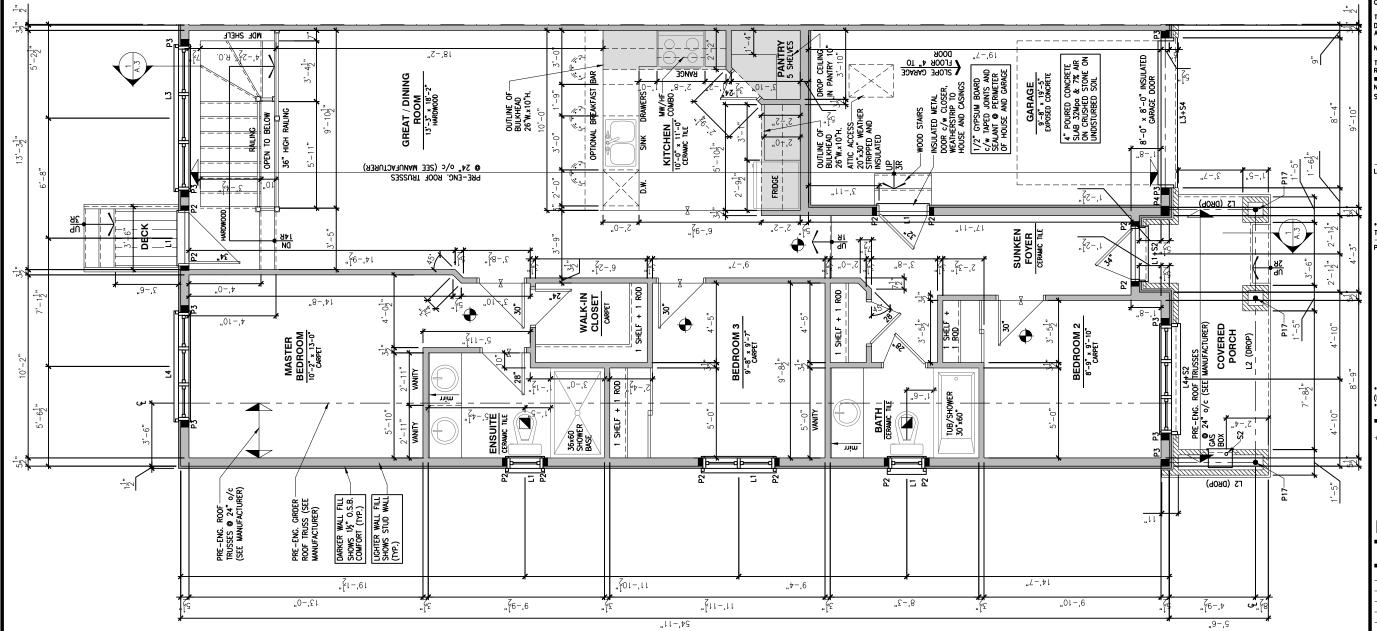
XX/XX/XXXX

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - GARAGE END UNIT

- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
 - PROVIDE A 10 1/2" \times 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX



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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

- S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2×10 + P2 ON BOTH SIDES L2 = 3-2×10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
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P13 = USS RB ORB 0.3 IS 4, 100, 200, 12 TAR P1

- P13 = HSS 88.9×88.9×3.18 + 100×200×12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130x160x10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWING

NO.	DESCRIPTION	MM/DD/YYYY	BY
REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	

PRAWING: GROUND FLOOR-3 BEDROOM STANDARD KITCHEN - PORCH END

3/16" = 1'-0"

(STANDARD DRAWINGS)

105 - THE MANN 2022 FOOTPRINT

A.7a

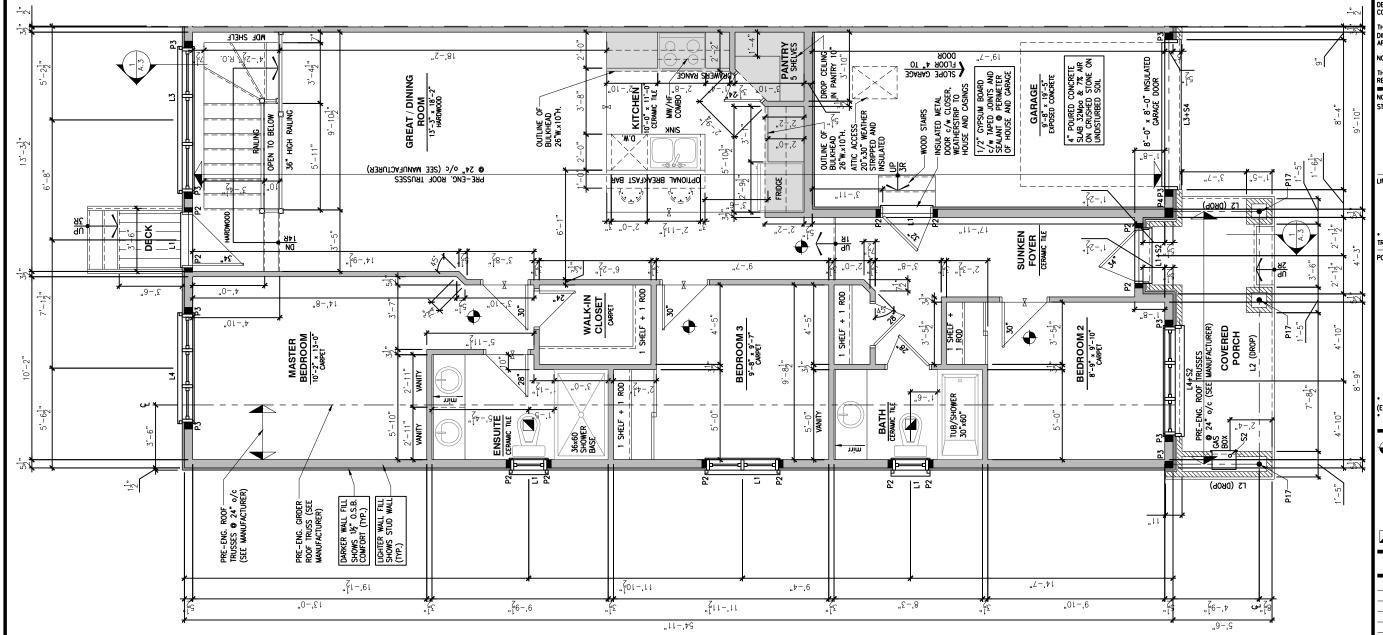
XX/XX/XXXX

SHEET:

- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
- PROVIDE A 10 1/2" \times 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - OPTIONAL KITCHEN #1 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

XX/XX/XXXX /alecraft Homes (2019) Limited

XXXX

DANIEL QUERIN , ARCHITECTURAL MANAGER FOR MALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

LOT:

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
- •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING:GROUND FLOOR-3 BEDROOM **OPT. KITCHEN #1 - PORCH END**

3/16" = 1'-0" 105 - THE MANN

SHEET: A.7b

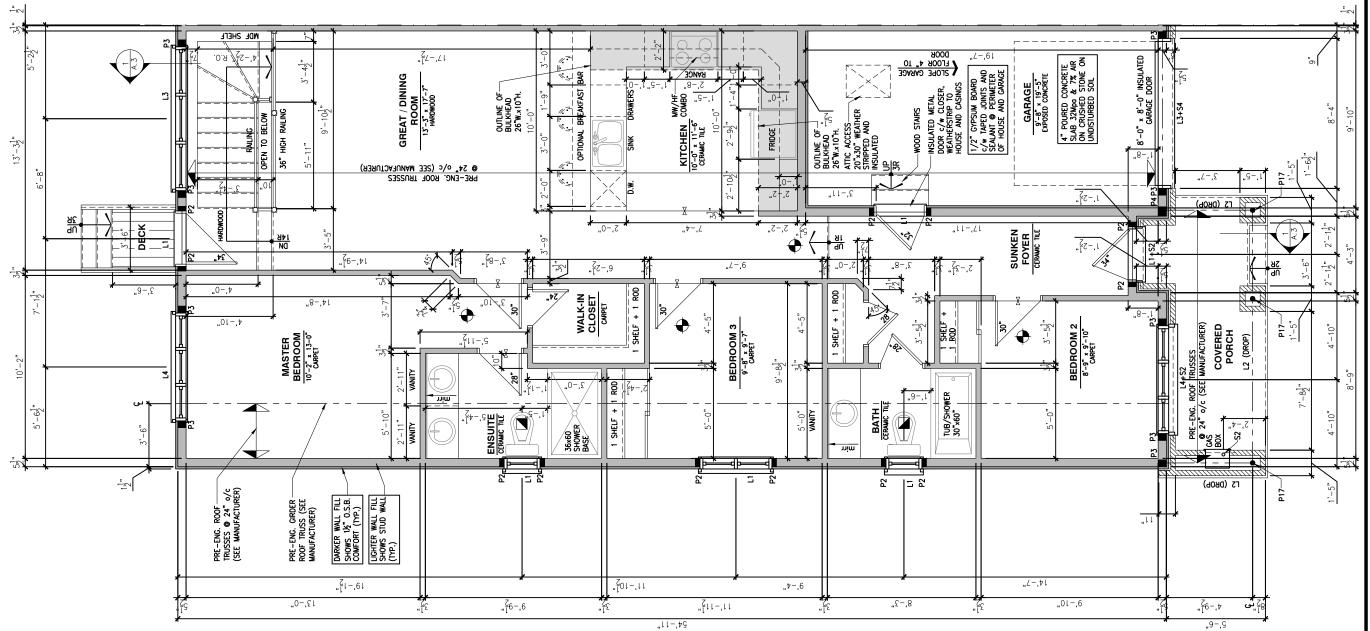
XX/XX/XXXX

2022 FOOTPRINT (STANDARD DRAWINGS)

- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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GENERAL NOTES:

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GROUND FLOOR - OPTIONAL KITCHEN #2 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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INTEL TABLE:

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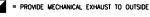
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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING:GROUND FLOOR-3 BEDROOM **OPT. KITCHEN #1 - PORCH END**

3/16" = 1'-0"

(STANDARD DRAWINGS)

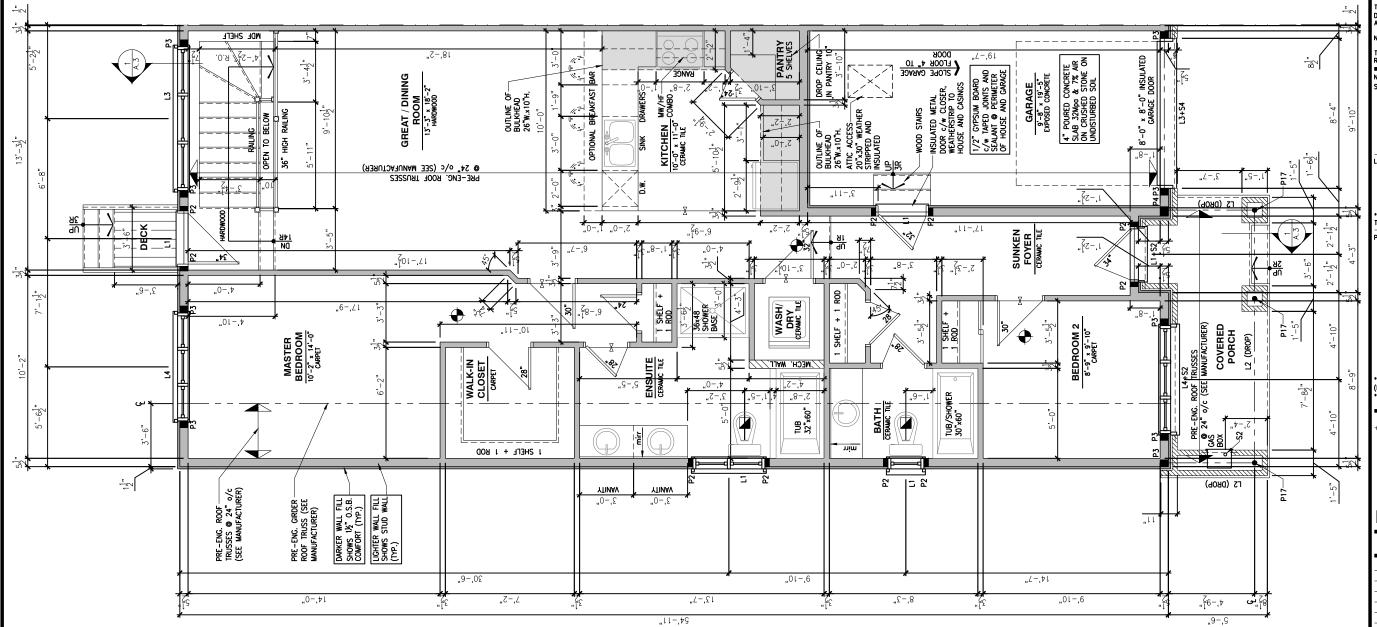
105 - THE MANN 2022 FOOTPRINT SHEET: **A.7c**

XX/XX/XXXX

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GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR-2 BEDROOM STANDARD KITCHEN - PORCH END

3/16" = 1'-0" 105 - THE MANN 2022 FOOTPRINT

SHEET:

(STANDARD DRAWINGS)

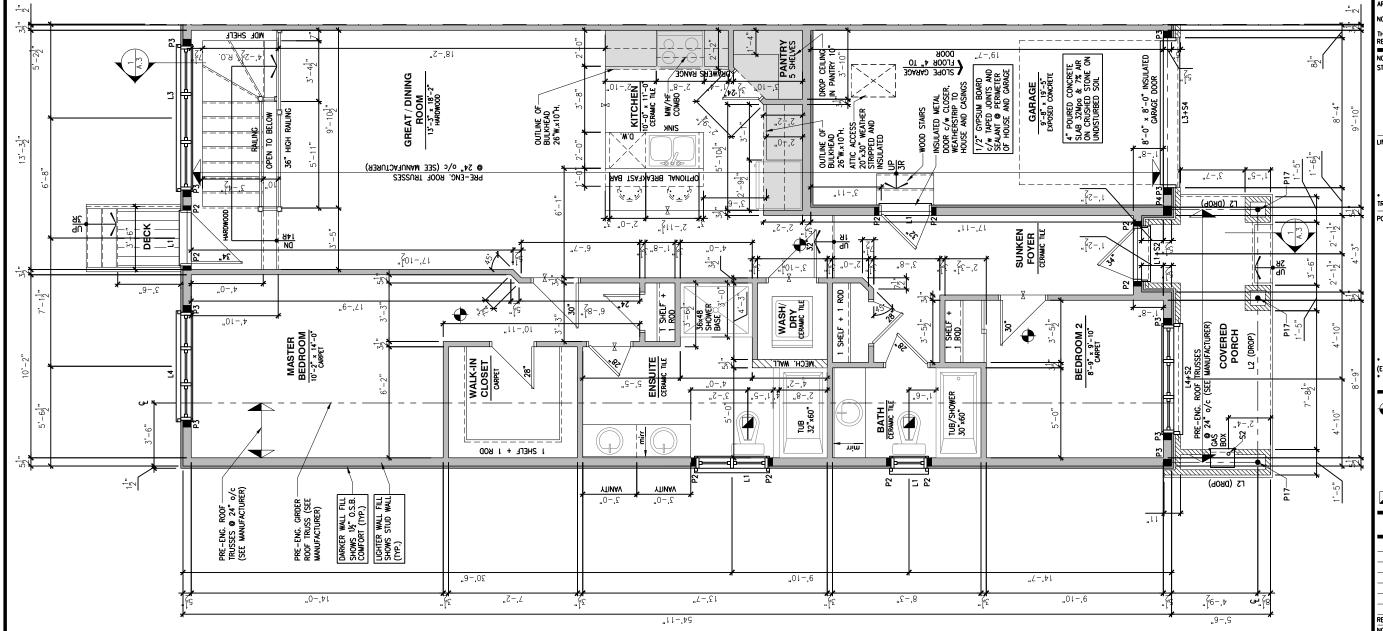
A.7d

XX/XX/XXXX

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GROUND FLOOR - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING BOWER DED AT LEEST 2 DAYS IN A DOWN ALL CANDITION.

ALLERMATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM, AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR-2 BEDROOM **OPT. KITCHEN #1 - PORCH END**

3/16" = 1'-0" XX/XX/XXXX SHEET:

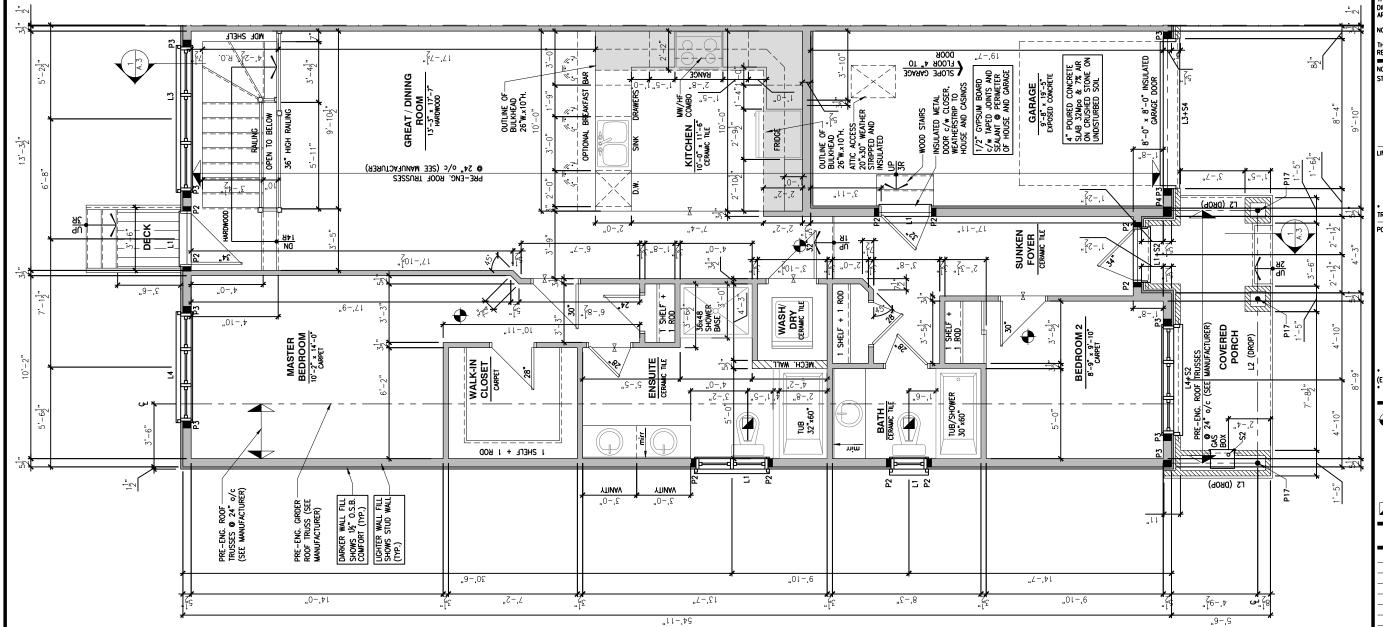
105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)

A.7e

- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
- PROVIDE A 10 1/2" \times 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

/alecraft

XXXX

XX/XX/XXXX

Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

LOT:

DATE:

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- $^{\rm o}$ if lintel is exposed to the exterior, provide pressure treated lumber

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = USS RB ORB 0.3 IS 4, 100, 200, 12 TAR P1

- P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130x160x10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)
• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE 2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	01/01/2022	
NO.	DESCRIPTION	MM/DD/YYYY	BY
			_

RAWING: GROUND FLOOR-2 BEDROOM **OPT. KITCHEN #2 - PORCH END**

3/16" = 1'-0"

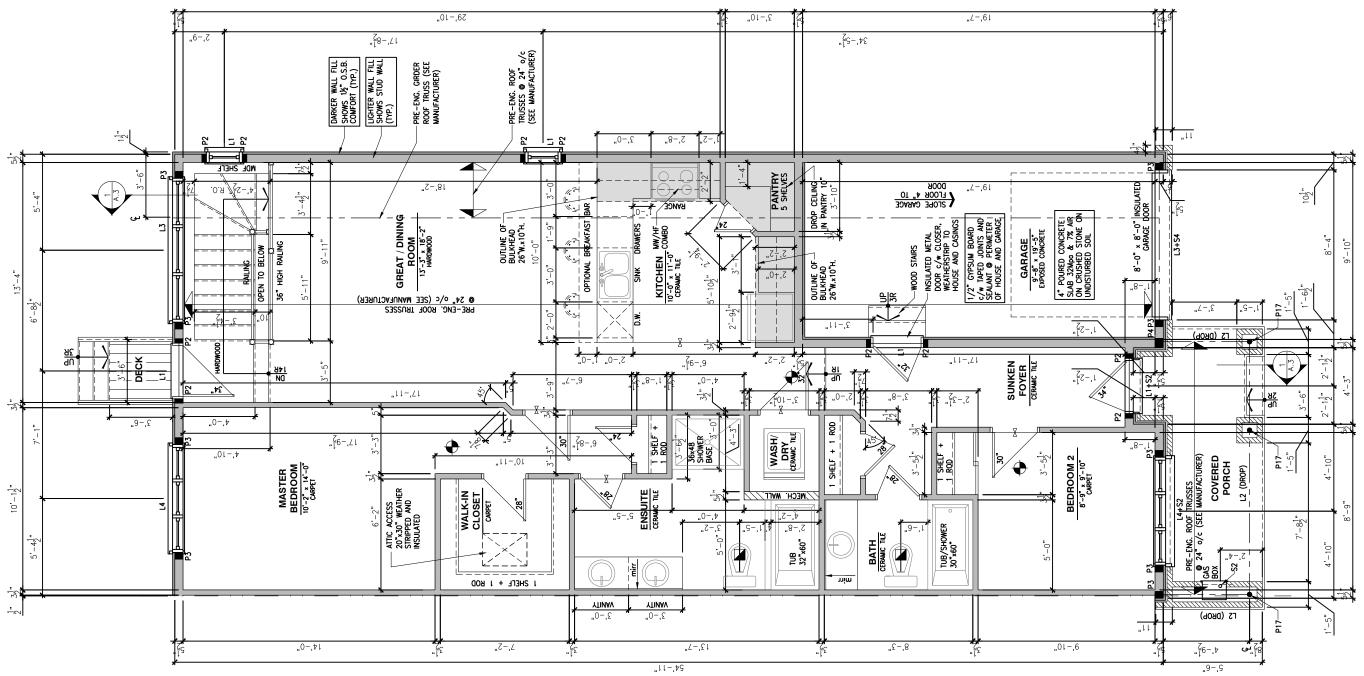
SHEET A.7f

XX/XX/XXXX

- F1 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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- PROVIDE A 10 1/2" \times 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX

/alecrafi Homes (2019) Limited

<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
- •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO DESCRIPTION

RAWING: GROUND FLOOR-2 BEDROOM STANDARD KITCHEN-GARAGE END

3/16" = 1'-0"

(STANDARD DRAWINGS)

105 - THE MANN 2022 FOOTPRINT

A.7g

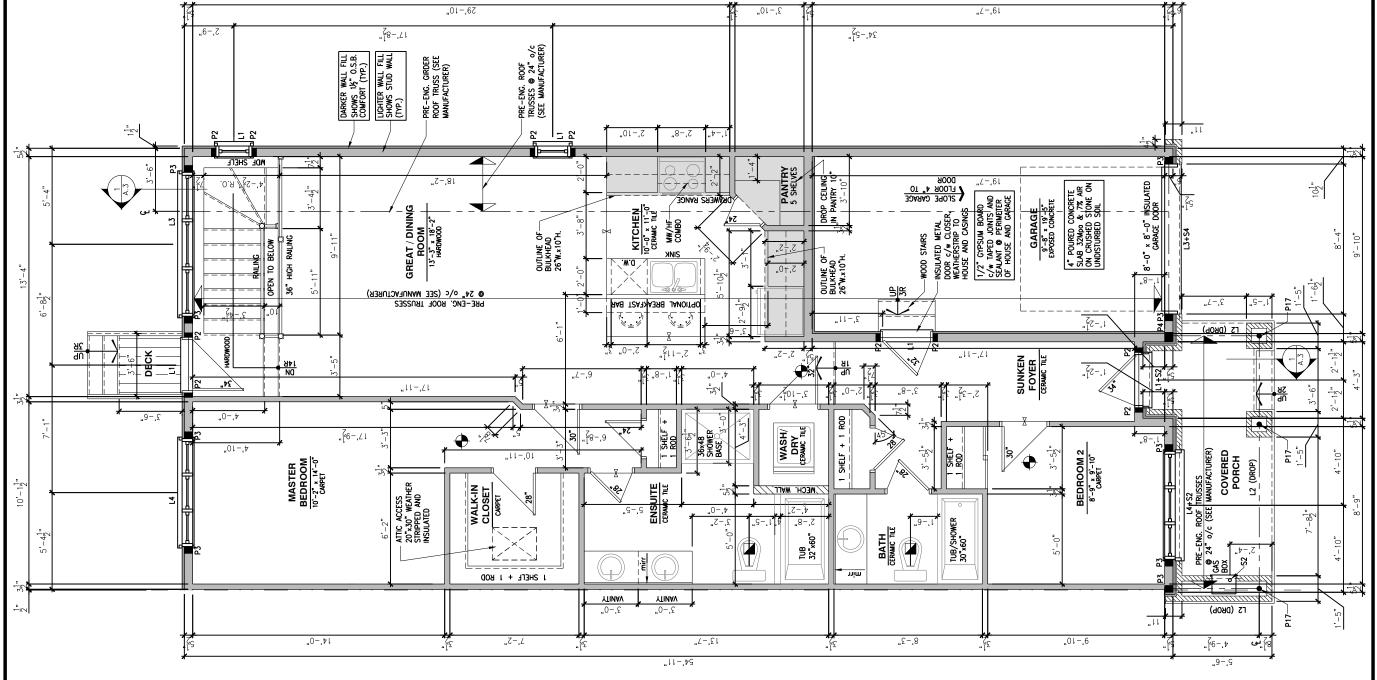
XX/XX/XXXX

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GROUND FLOOR - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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 P6 = 6-2x4 OR 6-2x6
 P13 = USS RB ORB 03 18 x 100x200x12 TAR P1 F3 = 3-2x4 vn 3-2x0 P4 = 4-2x4 0R 4-2x6 P5 = 5-2x4 0R 5-2x6 P6 = 6-2x4 0R 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR-2 BEDROOM OPT. KITCHEN #1 - GARAGE END

3/16" = 1'-0" XX/XX/XXXX SHEET: 105 - THE MANN

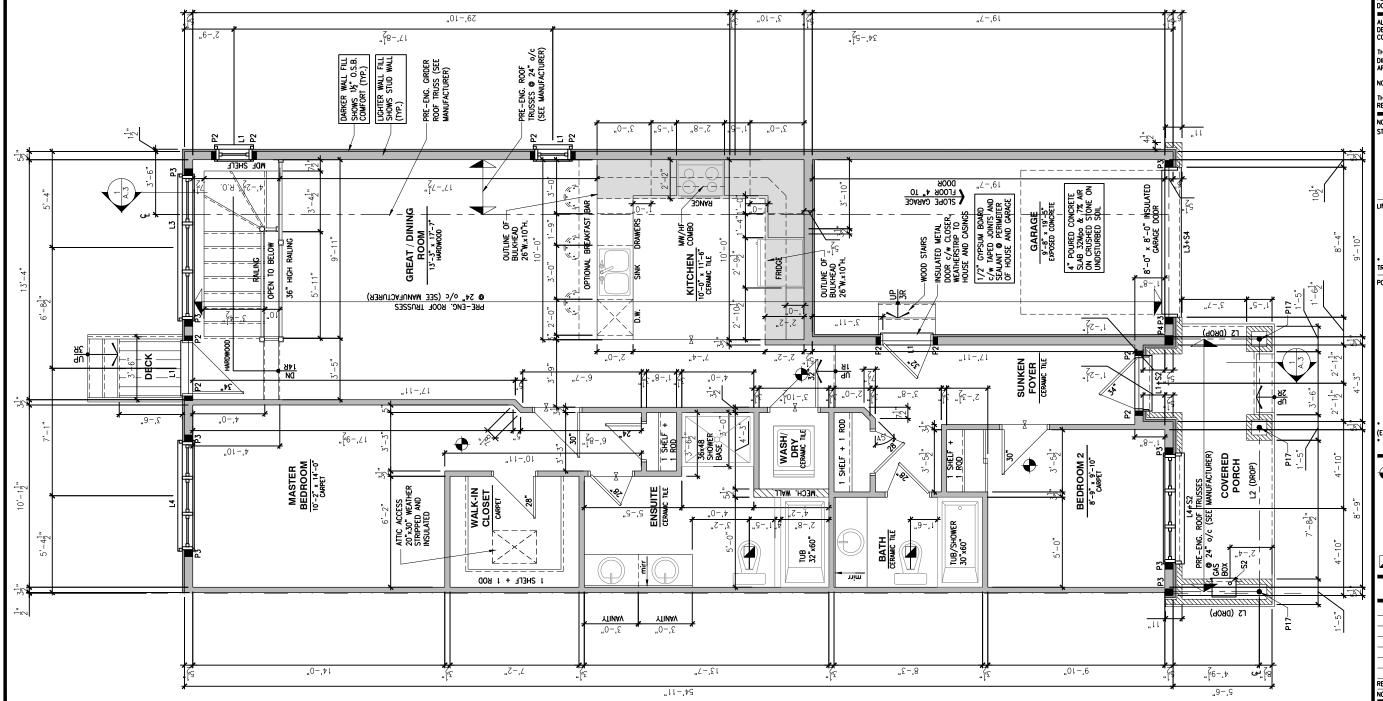
2022 FOOTPRINT (STANDARD DRAWINGS)

A.7h

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GROUND FLOOR - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX



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NOTES: STEEL LINTEL:

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR-2 BEDROOM **OPT. KITCHEN #2 - GARAGE END**

3/16" = 1'-0" 105 - THE MANN 2022 FOOTPRINT

SHEET **A.7i**

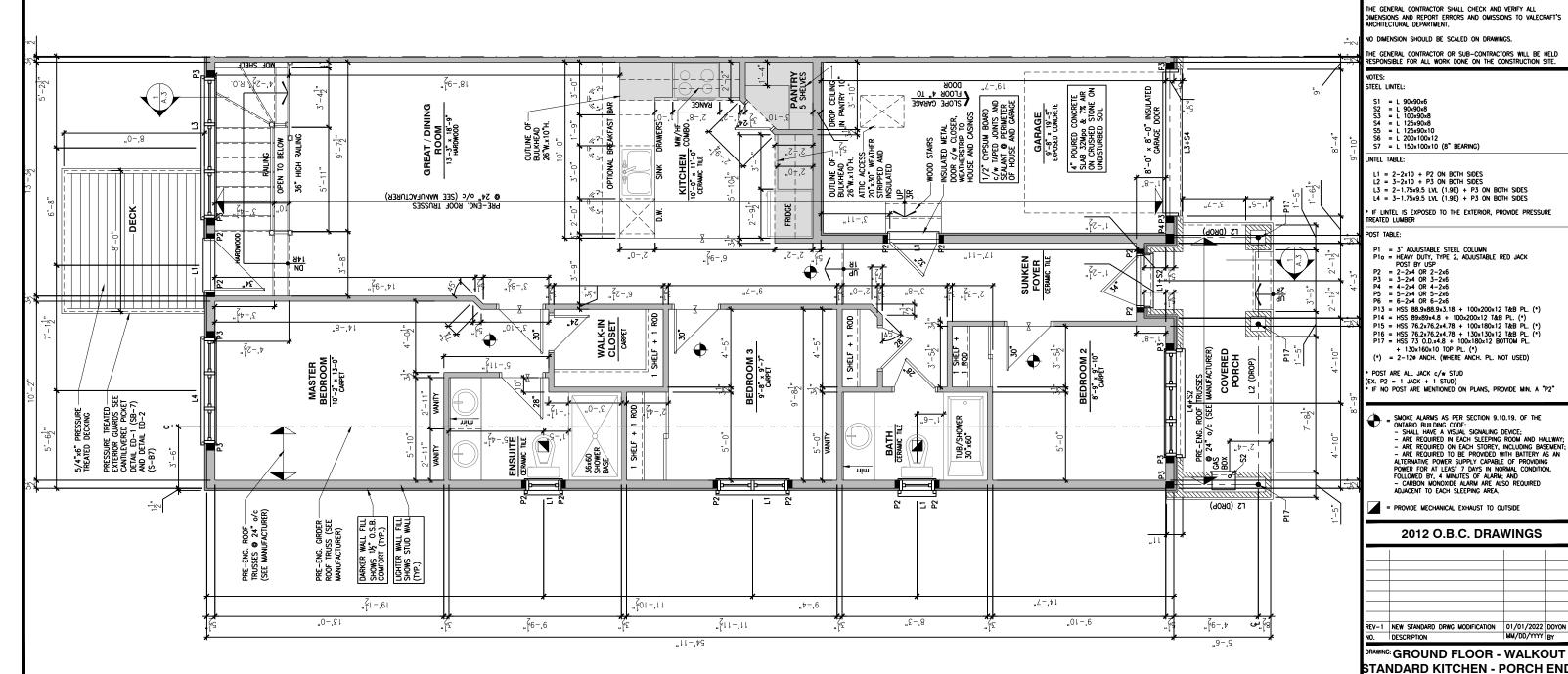
XX/XX/XXXX

(STANDARD DRAWINGS)

- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
 - PROVIDE A 10 1/2" \times 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - WALKOUT - STANDARD KITCHEN - 3 BEDROOM PLAN - PORCH END UNIT SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

3/16" = 1'-0"

(STANDARD DRAWINGS)

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT, SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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XXXX

XX/XX/XXXX

/alecraft

Homes (2019) Limited DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

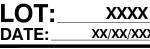
> SHEET **A.7**j

XX/XX/XXXX

- F1 11 % PRE-ENG. OPEN JOIST TRIFORCE © 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
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 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



XX/XX/XXXX

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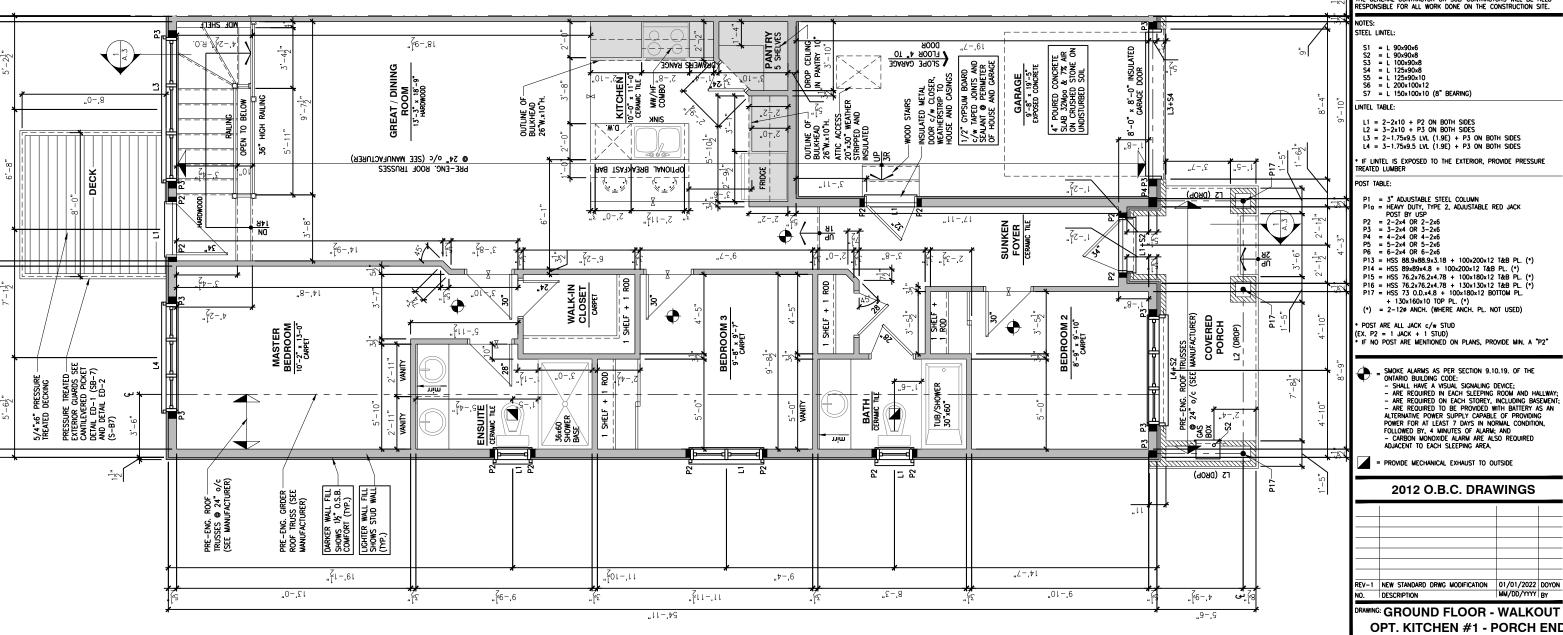
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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.



GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 3 BEDROOM PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

3/16" = 1'-0"

A.7k

XX/XX/XXXX

SHEET:

- F1 11 % PRE-ENG. OPEN JOIST TRIFORCE © 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
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- PORCH CONSTRUCTION:

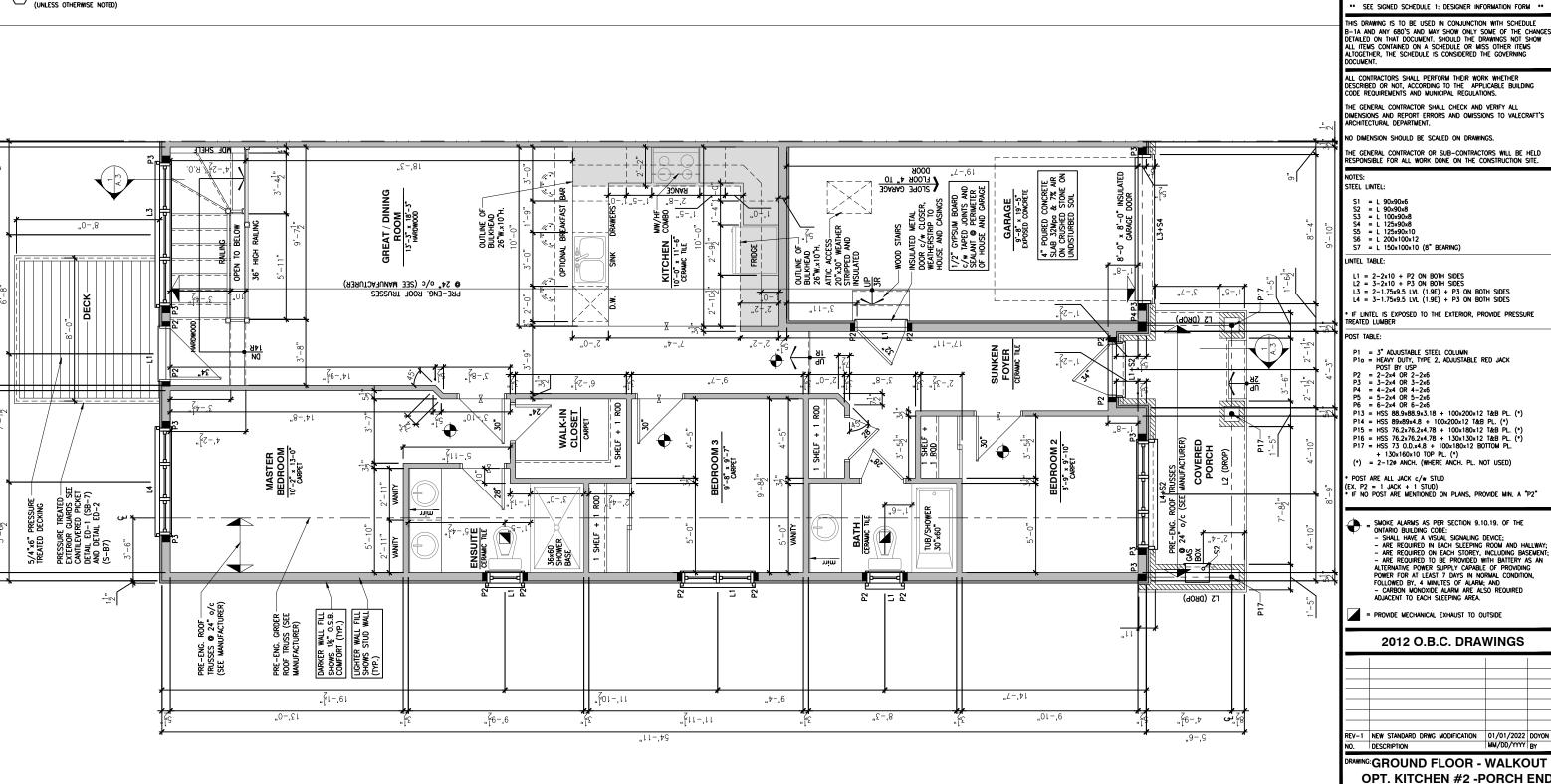
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE

 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M

 BARS ® 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c

 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED

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 - PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
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 1/4" FILLET WELD TO FLANCE, AT TOP AND 1" STITCH
 WELD AT 6" SPACING AT BOTTOM OF FLANGE.
 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
 TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #2 - 3 BEDROOM PLAN - PORCH END UNIT

A.71 | SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

3/16" = 1'-0"

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

XXXX

XX/XX/XXXX

/alecraft

Homes (2019) Limited

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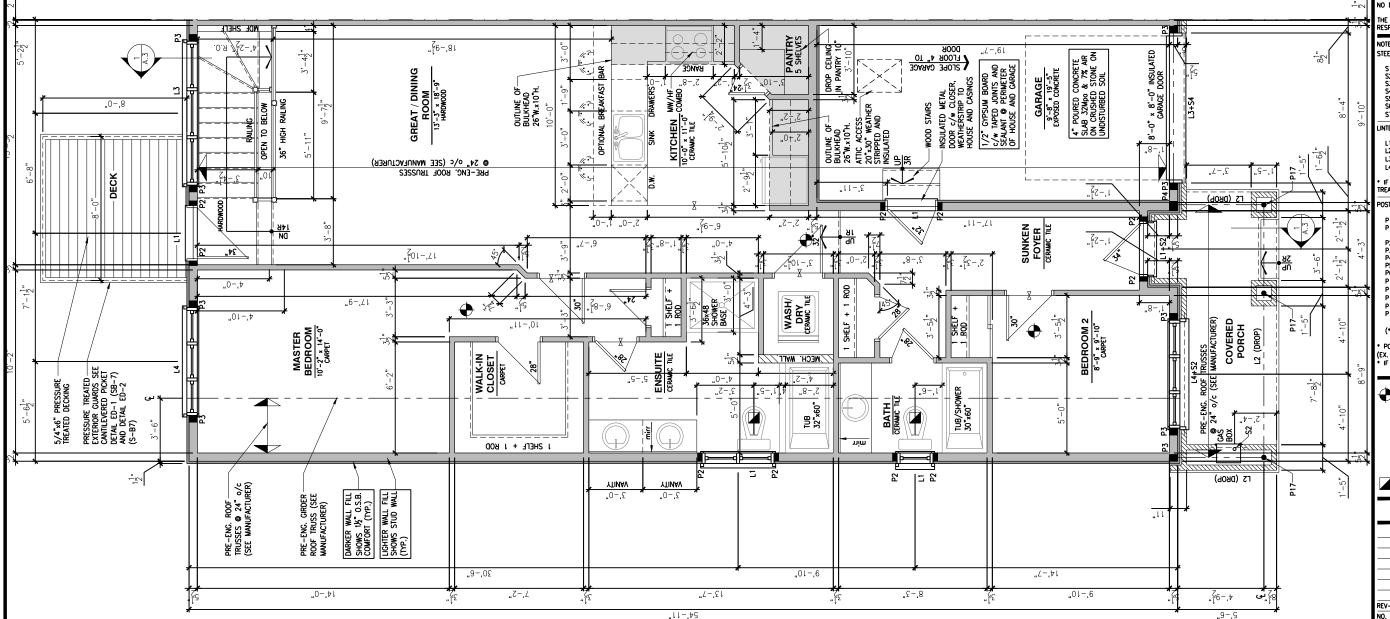
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3/16" = 1'-0" 105 - THE MANN

2022 FOOTPRINT

(STANDARD DRAWINGS)

GROUND FLOOR - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - PORCH END UNIT SCALE: 3/16" = 1'-0"

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XX/XX/XXXX

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

STEEL LINTEL:

LOT:

S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

S7 = L 150×100×10 (8" BEARING)

INTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88,9x88,9x3.18 + 100x200x12 T&B PL (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)
• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING BOWER DEPOR AT LEAST, 2 DAYS IN JURIAN AND AND ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING BOWER DEPORT AT LEAST, 2 DAYS IN JURIAN AND AND ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING BOWER DEPORT AT LEAST, 2 DAYS IN JURIAN AND AND ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING BOWER DEPORT AT LEAST 2 DAYS IN JURIAN AND AND ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING BOWER DEPORT AT LEAST 2 DAYS IN JURIAN AND AND ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING BOWER DEPORT AND ALTERNATIVE PROVIDERS AND ALTERNATIVE BOWER DEPORT AND ALTERNATIVE PROVIDERS AND ALTE

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM, AND CARPON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

RAWING: GROUND FLOOR - WALKOUT STANDARD KITCHEN - PORCH END

SHEET: A.7m

XX/XX/XXXX

- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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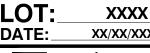
GENERAL NOTES:

4,-51 B.O.

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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

...6−.81

- PORCH CONSTRUCTION:
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
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XX/XX/XXXX

/alecraft Homes (2019) Limited

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NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

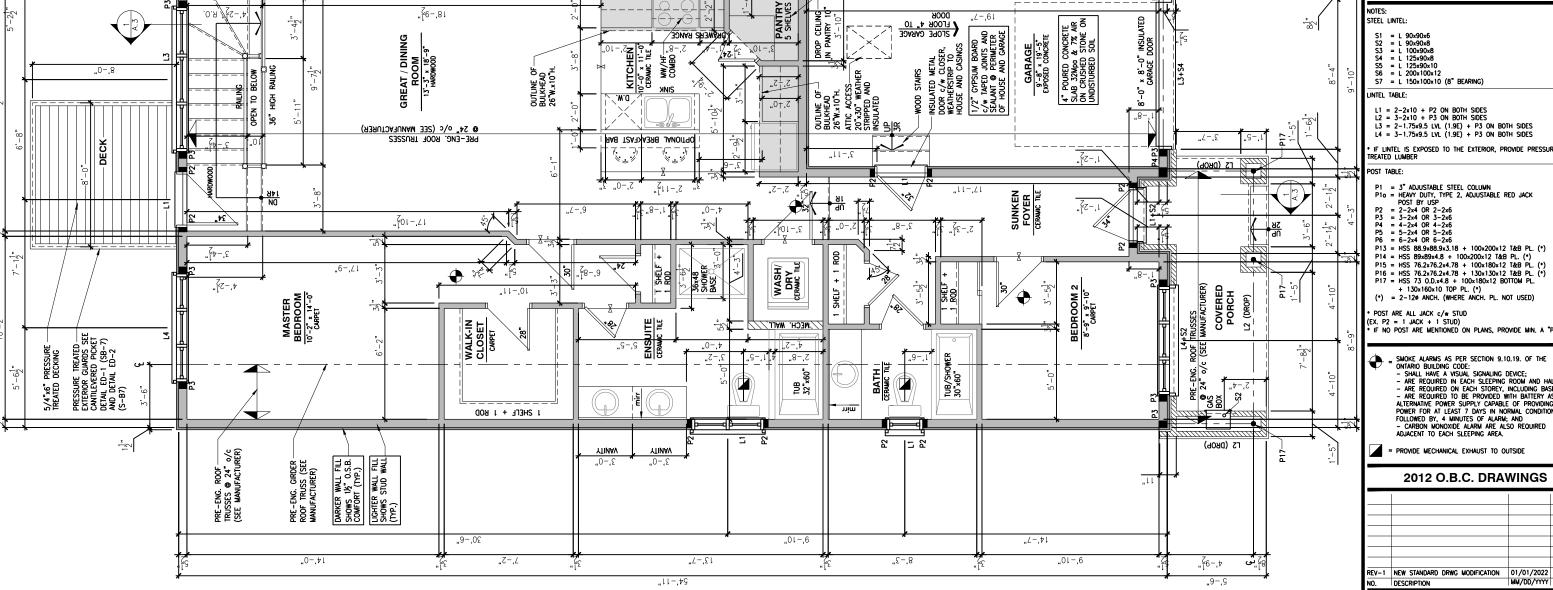
RAWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #1 - PORCH END

3/16" = 1'-0" XX/XX/XXXX SHEET:

A.7n

105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)

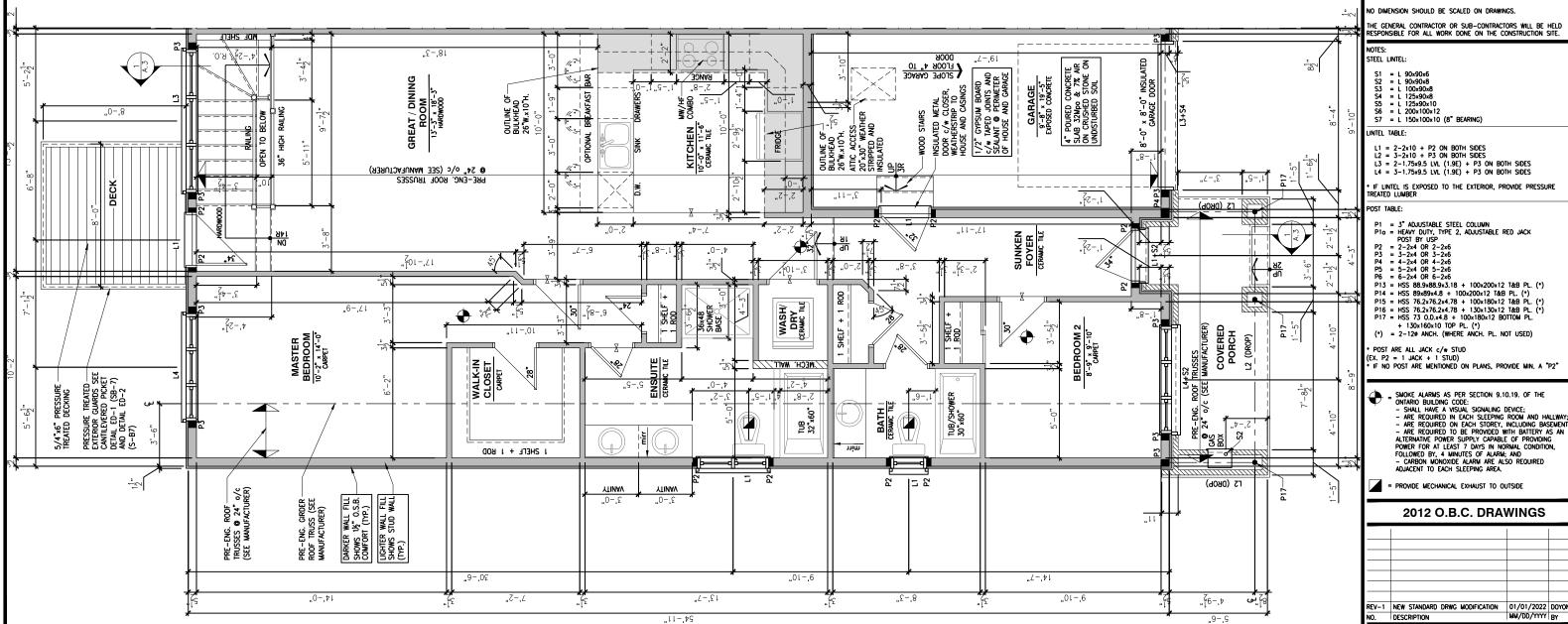


GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - PORCH END UNIT

- F1 11 % PRE-ENG. OPEN JOIST TRIFORCE © 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- PROVIDE A 10 1/2" \times 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
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P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
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P13 = HSS 88,9x88,9x18 + 100x200x12 T&B PL (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED) POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
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RAWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #2 - PORCH END 3/16" = 1'-0"

105 - THE MANN

2022 FOOTPRINT

(STANDARD DRAWINGS)

XX/XX/XXXX

A.70

SHEET:

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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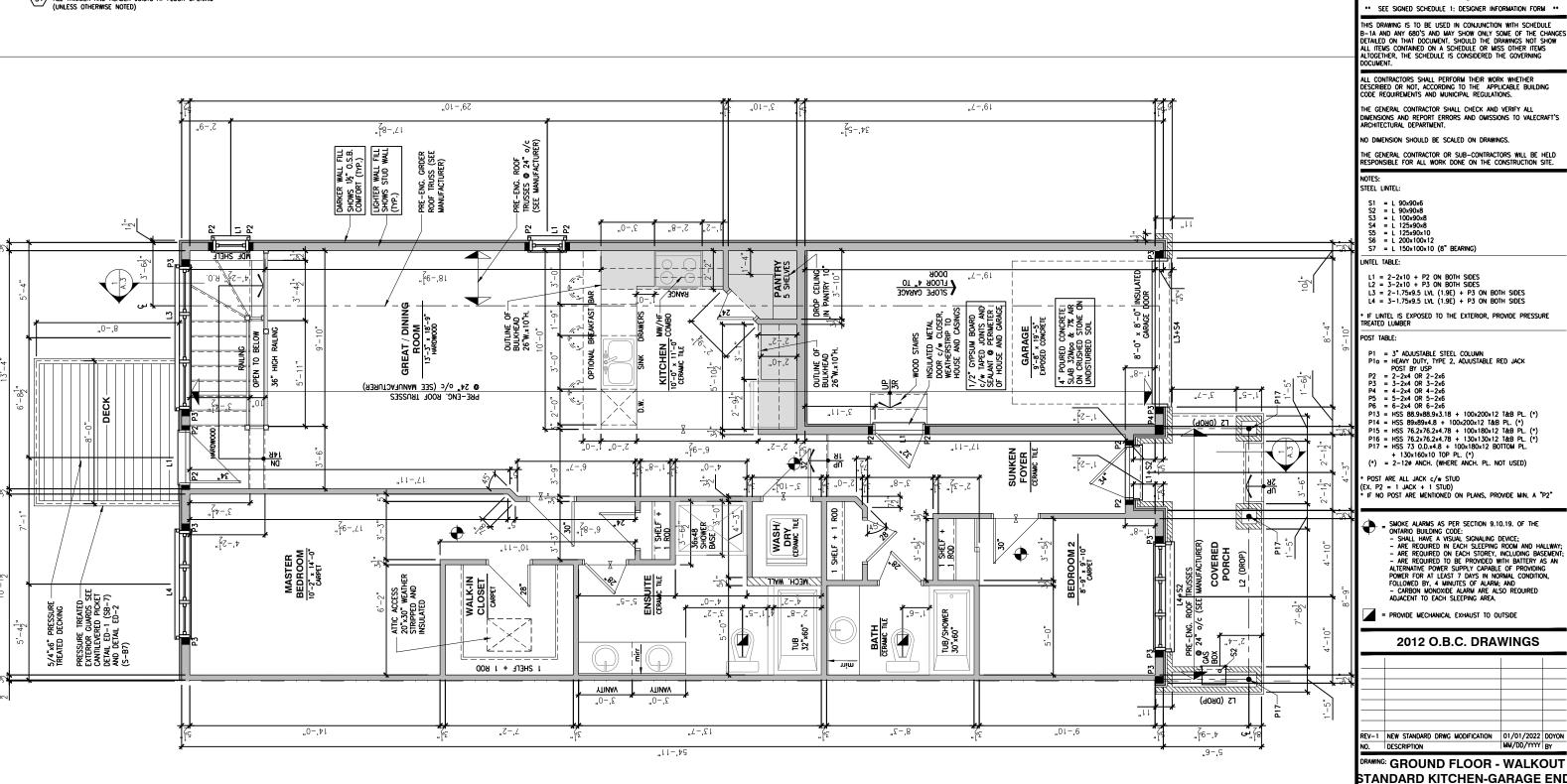
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- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
 - PROVIDE A 10 1/2" \times 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)

GROUND FLOOR - WALKOUT - STANDARD KITCHEN - 2 BEDROOM PLAN - GARAGE END UNIT



XX/XX/XXXX /alecraft Homes (2019) Limited

XXXX

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

LOT:

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

RAWING: GROUND FLOOR - WALKOUT

3/16" = 1'-0" XX/XX/XXXX

SHEET:

A.7p

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

- F1) 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

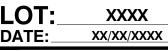
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

17'-8<u>1</u>"

.01-.67

- PORCH CONSTRUCTION:
 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.
- PROVIDE A 10 1/2" \times 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



/alecraft Homes (2019) Limited

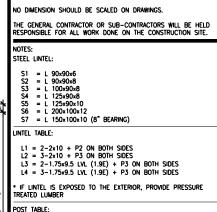
DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT, SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.



P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P6 = 6-2x4 OR 6-2x6
P13 = USS RB ORB 03 18 x 100x200x12 TAR P1

F3 = 3-2x4 vx 3-2x0 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

+ 130x160x10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING BOWER FOR AT LEFS IT, DANS IN A DEVIAL COMPILED.

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

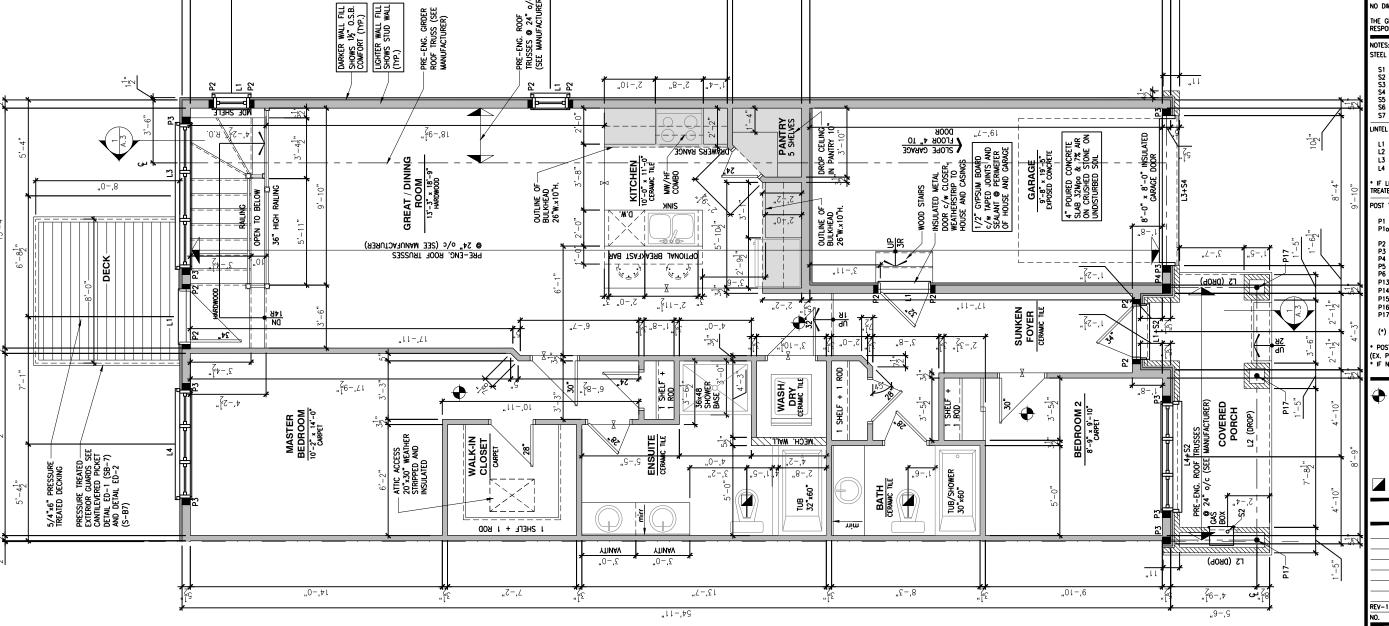
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

TAWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #1 - GARAGE END**

3/16" = 1'-0" XX/XX/XXXX SHEET

105 - THE MANN 2022 FOOTPRINT

A.7q (STANDARD DRAWINGS)



3.-10..

34,-2<mark>]</mark>"

"Z-,61

GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #1 - 2 BEDROOM PLAN - GARAGE END UNIT SCALE: 3/16" = 1'-0"

- F1 11 % PRE-ENG. OPEN JOIST TRIFORCE © 19.2" o/c c/w Strapping unless otherwise noted (see Manufacturer)
- F2) 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION:

 TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE

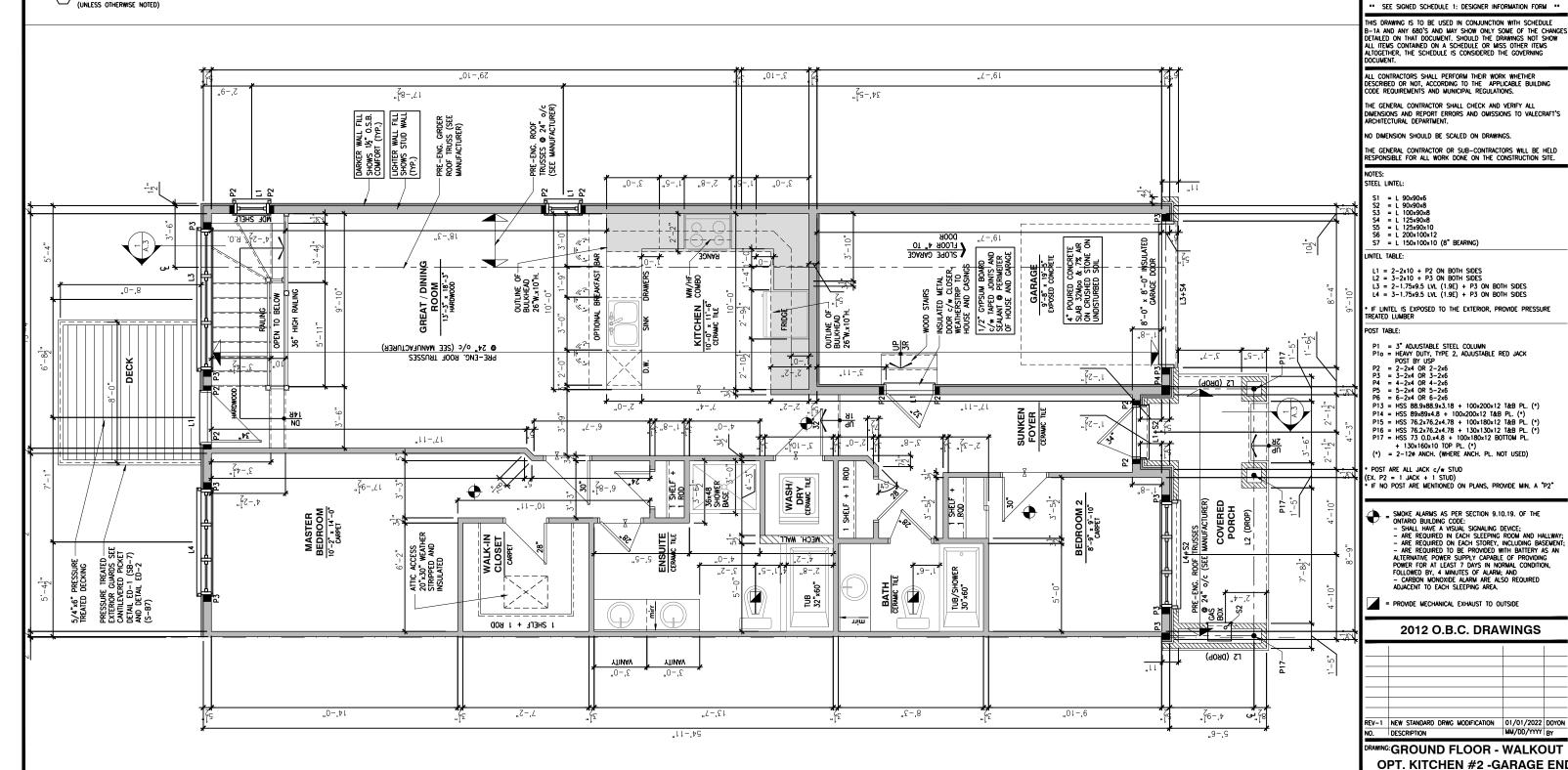
 8" SLOPED TO 7" POURED CONCRETE 32 Mpo 10M

 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c

 WALL TO SLAB ON CLEAR STONE ON UNDISTURBED

 SOIL SLAB TO BEAR ON FOUNDATION WALLS.
- PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
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 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
 WELD AT 6" SPACING AT BOTTOM OF FLANGE.
 (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
 TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR - WALKOUT - OPTIONAL KITCHEN #2 - 2 BEDROOM PLAN - GARAGE END UNIT

A.7r SCALE: 3/16" = 1'-0"

105 - THE MANN
2022 FOOTPRINT
(STANDARD DRAWINGS)

3/16" = 1'-0"

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

XXXX

XX/XX/XXXX

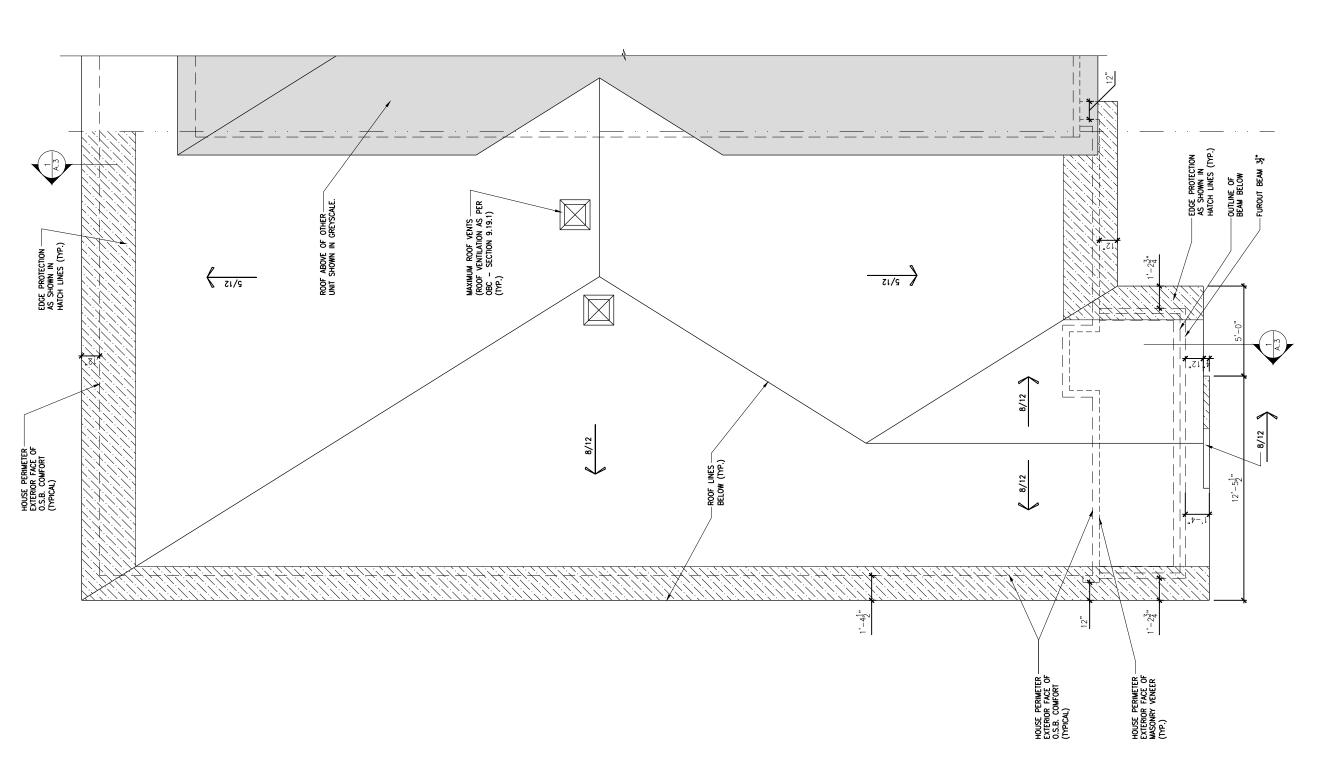
/alecraft

Homes (2019) Limited

DANIEL GUERIN. ARCHITECTURAL MANAGER FOR
ALCERAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

A.7r

XX/XX/XXXX





I, <u>Daniel Guerin</u>, architectural manager for valegrat homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOCETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION MM/DD/YYYY BY

ROOF PLAN - PORCH END UNIT

DDRESS: | SCALE: | DATE: | XX/XX/XXXX

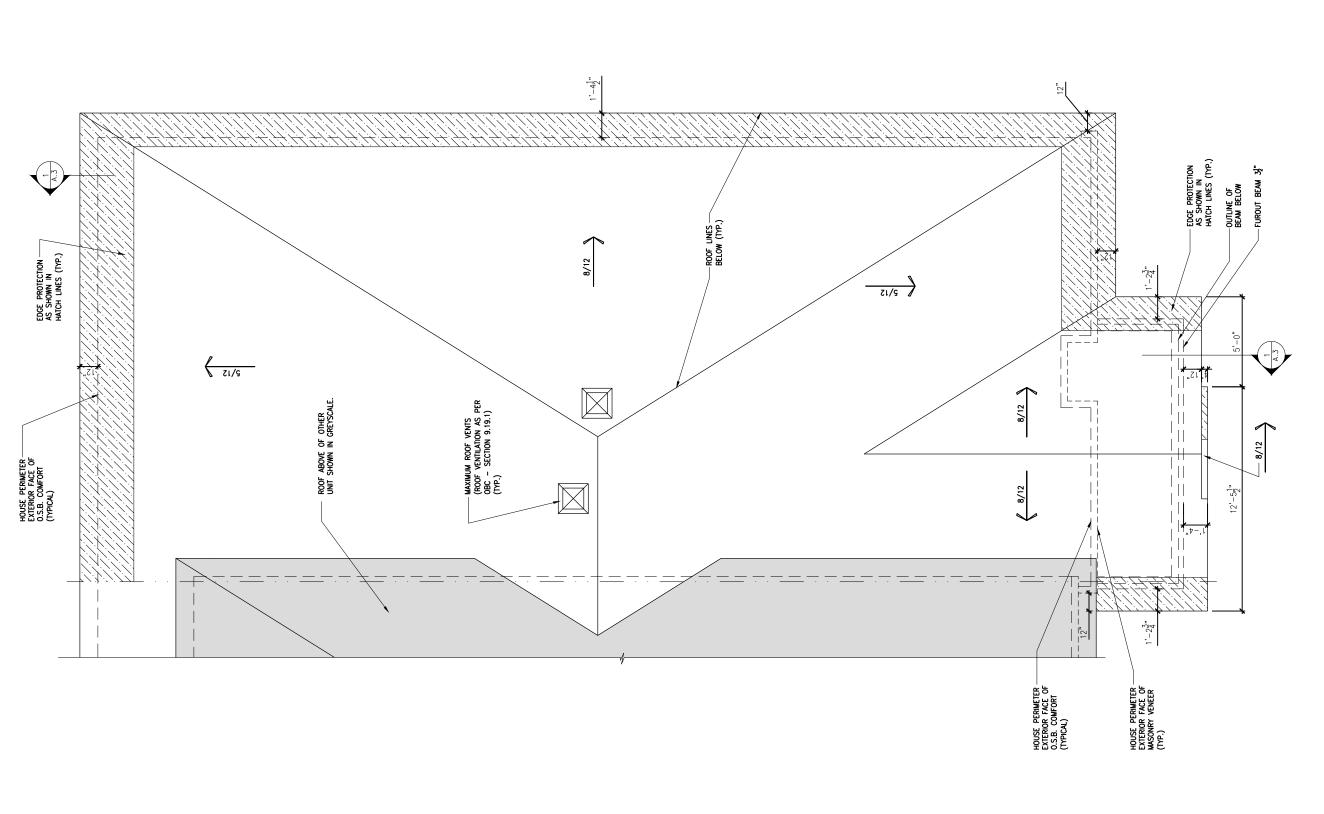
105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

A.8a

ROOF PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION MM/DD/YYYY BY

ROOF PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

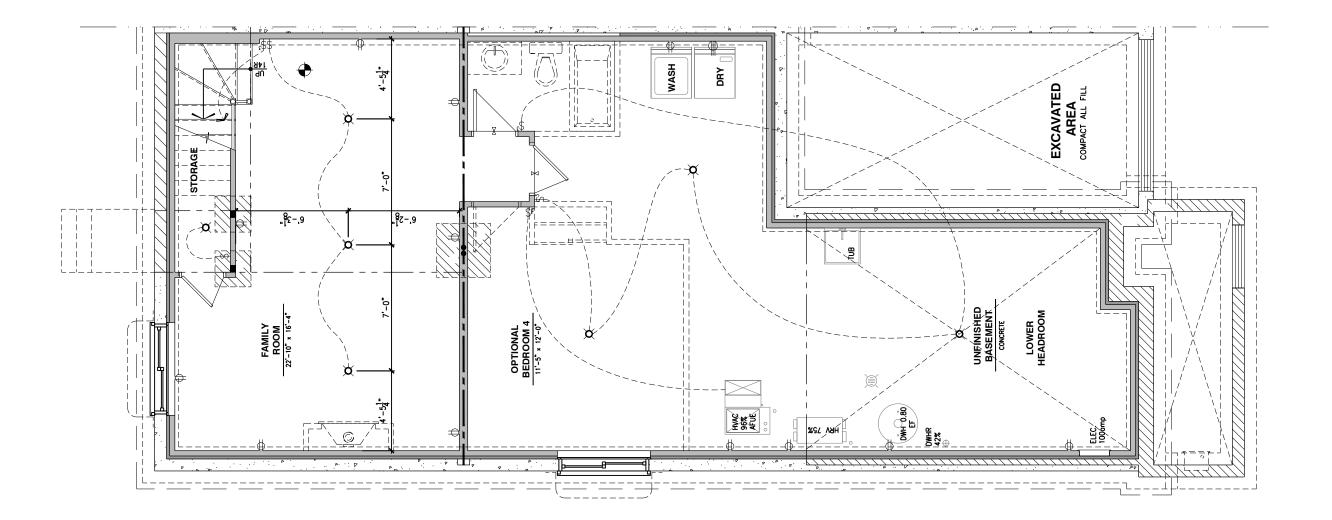
105 - THE MANN 2022 FOOTPRINT

A.8b (STANDARD DRAWINGS)

SHEET:

SCALE: 3/16" = 1'-0"

ROOF PLAN - GARAGE END UNIT



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I. <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE IHIS DRAWNING IS ID BE USED IN CONSUDERLION WHIT SCHEDULE
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\$ SINGLE POLE SWITCH \$3 3 WAY SWITCH \$4 4 WAY SWITCH \$F FURNACE SWITCH \$FP FIREPLACE SWITCH DUPLEX OUTLET (12" HIGH) DUPLEX OUTLET (UPPER HALF SWITCH) GROUND FAULT INTERVOLT WP WEATHER PROOF DUPLEX OUTLET SPLIT OUTLET 220 VOLT OUTLET -O- WALL MOUNTED LIGHT FIXTURE CEILING MOUNTED LIGHT FIXTURE POT LIGHT SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

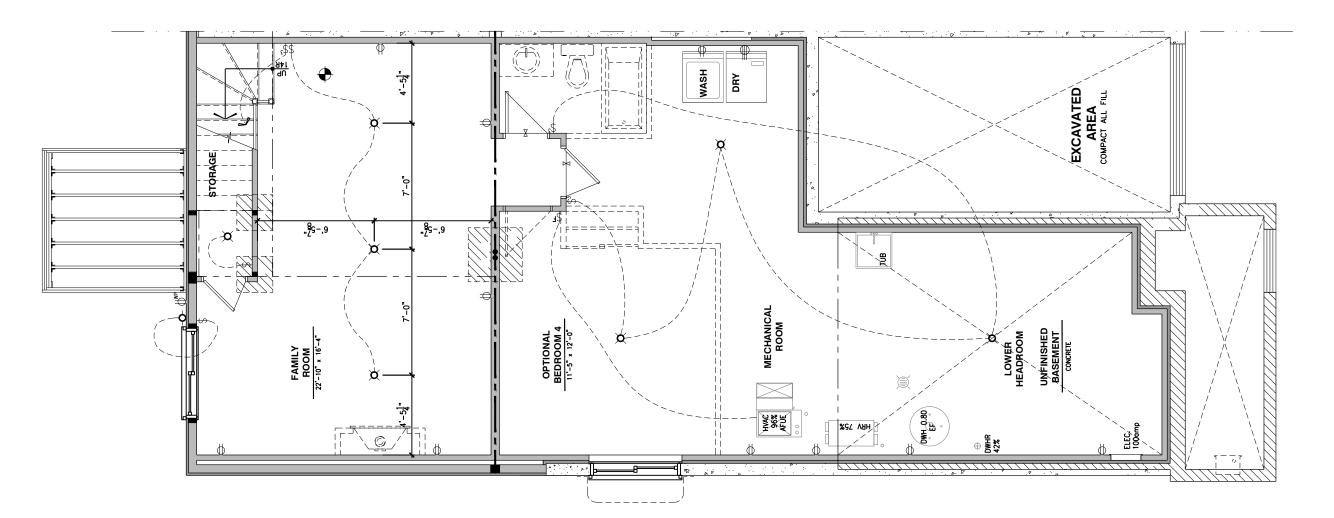
2012 O.B.C. DRAWINGS REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION **ELECTRICAL PLAN**

BASEMENT

ADDRESS: SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

SHEET: E.1a (STANDARD DRAWINGS)



LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited I. <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE IHIS DRAWING IS TO BE USED IN CONSUMERION WITH SCHEDULE
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA. = PROVIDE MECHANICAL EXHAUST TO OUTSIDE 2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN BASEMENT - WALKOUT

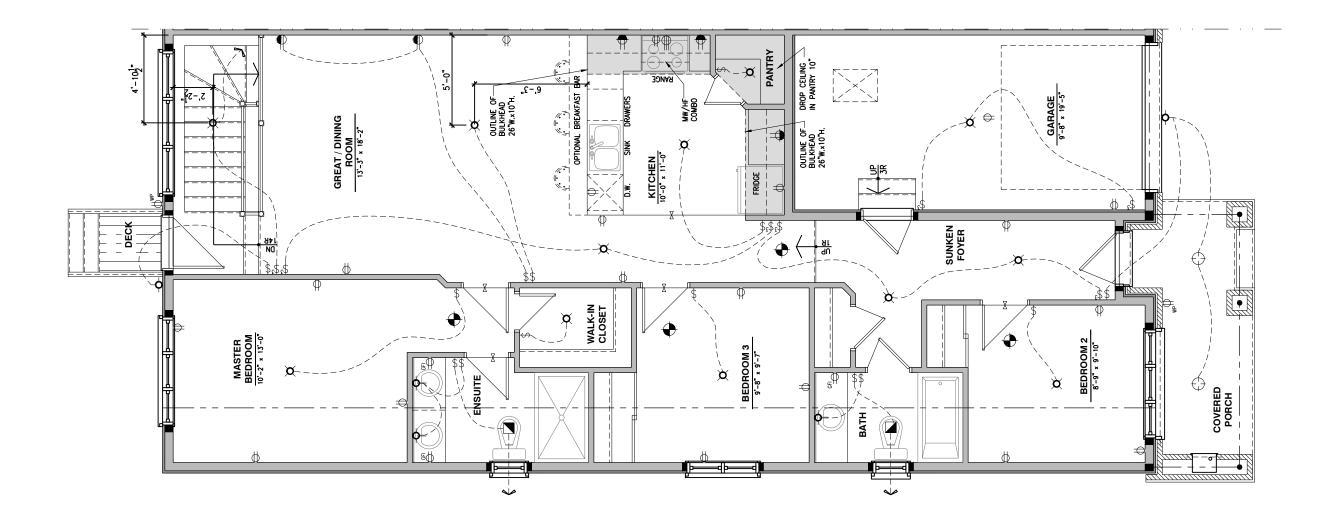
SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: E.1b

ELECTRICAL PLAN - BASEMENT - WALKOUT





<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
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- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET

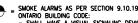


220 VOLT OUTLET

-O- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

 SHALL HAVE A VISUAL SIGNALING DEVICE;

 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

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 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

NO. DESCRIPTION

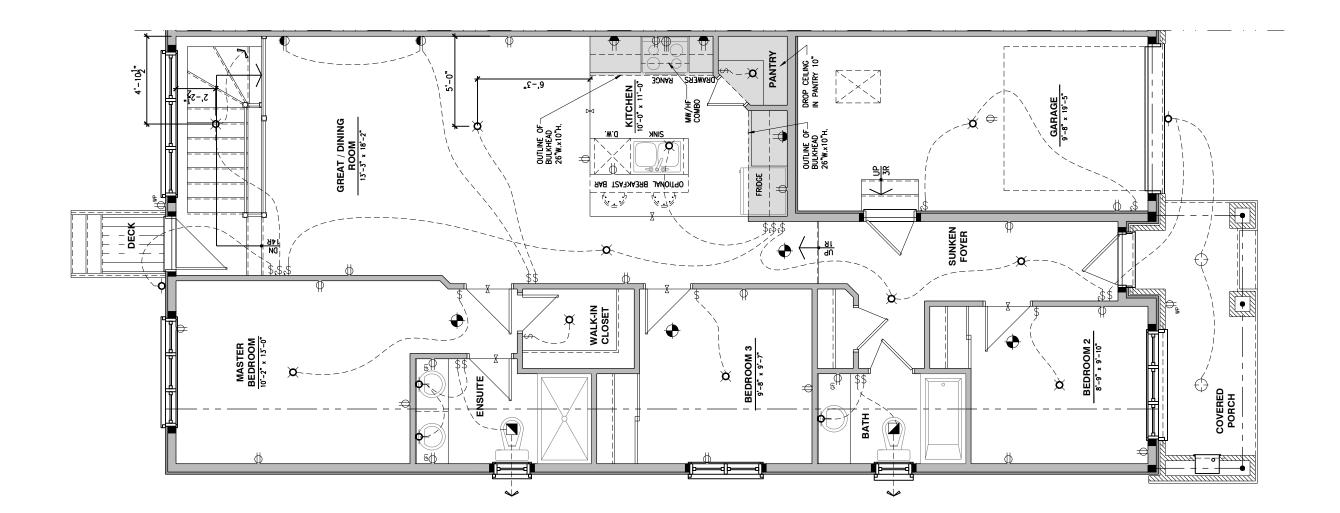
ELECTRICAL PLAN GROUND FLOOR

DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: E.2a





<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
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- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET

- -O- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN

GROUND FLOOR

SCALE: 3/16" = 1'-0"

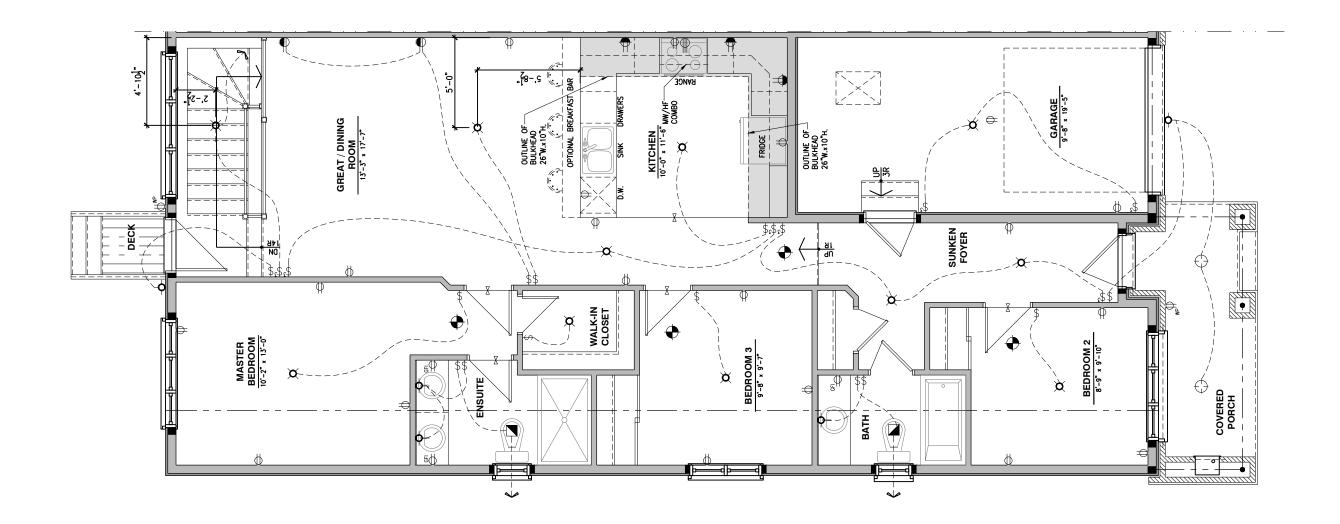
105 - THE MANN 2022 FOOTPRINT

E.2b (STANDARD DRAWINGS)

DATE: XX/XX/XXXX

SHEET:

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 3 BEDROOM PLAN

LOT: XXXX DATE: XX/XX/XXXX



<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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\$ SINGLE POLE SWITCH

\$3 3 WAY SWITCH

\$4 4 WAY SWITCH

\$F FURNACE SWITCH

\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

-O- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

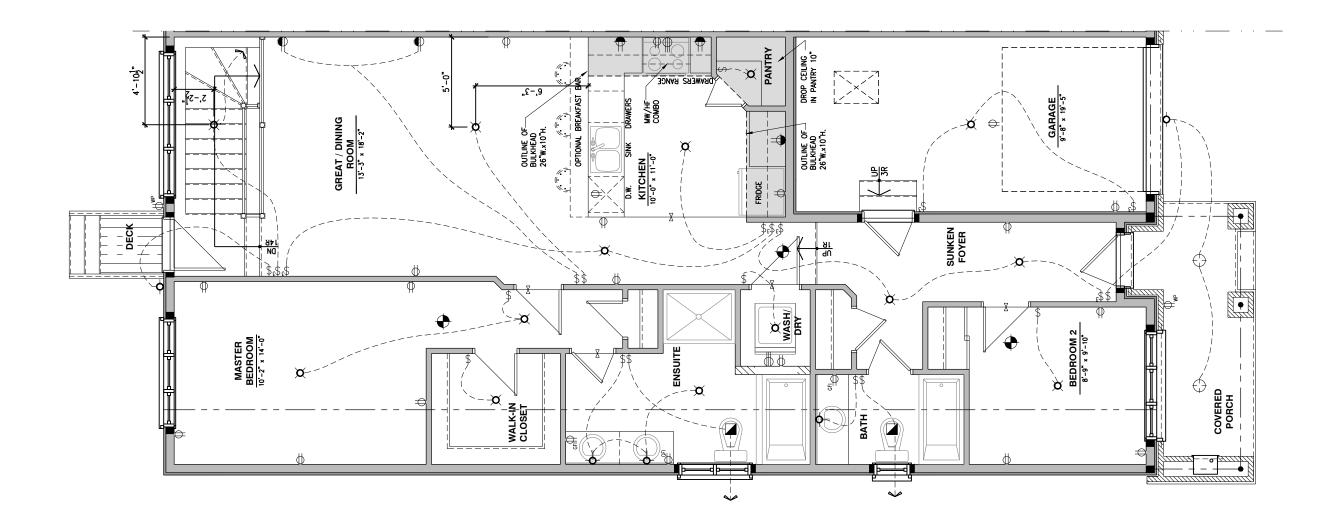
REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN GROUND FLOOR

DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0" SHEET:

E.2c

105 - THE MANN 2022 FOOTPRINT



ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN **GROUND FLOOR**

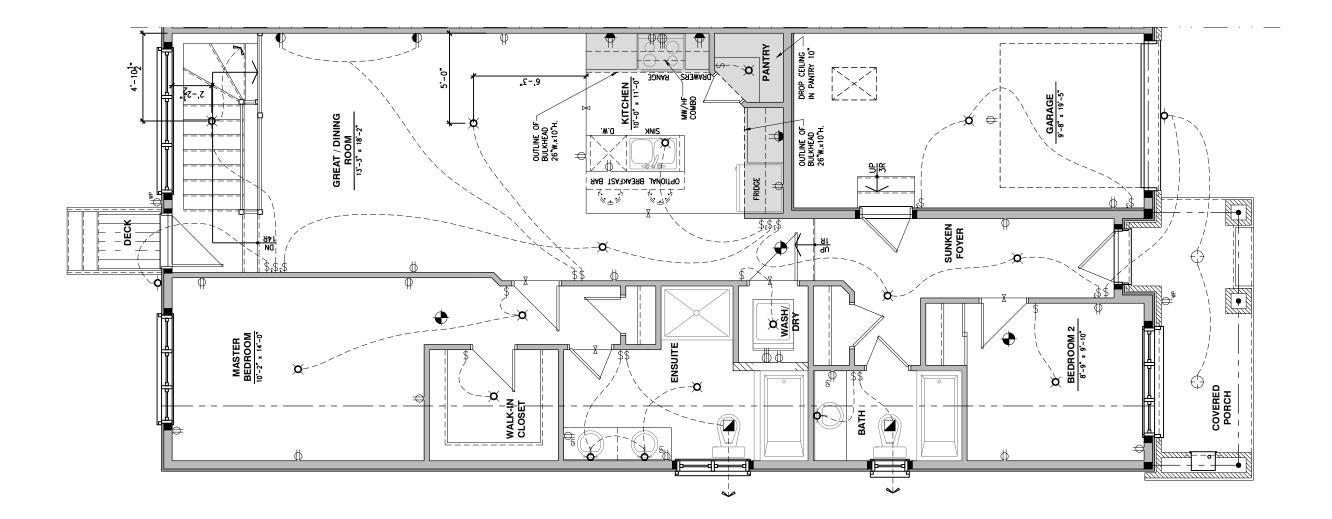
DATE: XX/XX/XXXX

SHEET:

E.2d

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - 2 BEDROOM PLAN

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited <u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

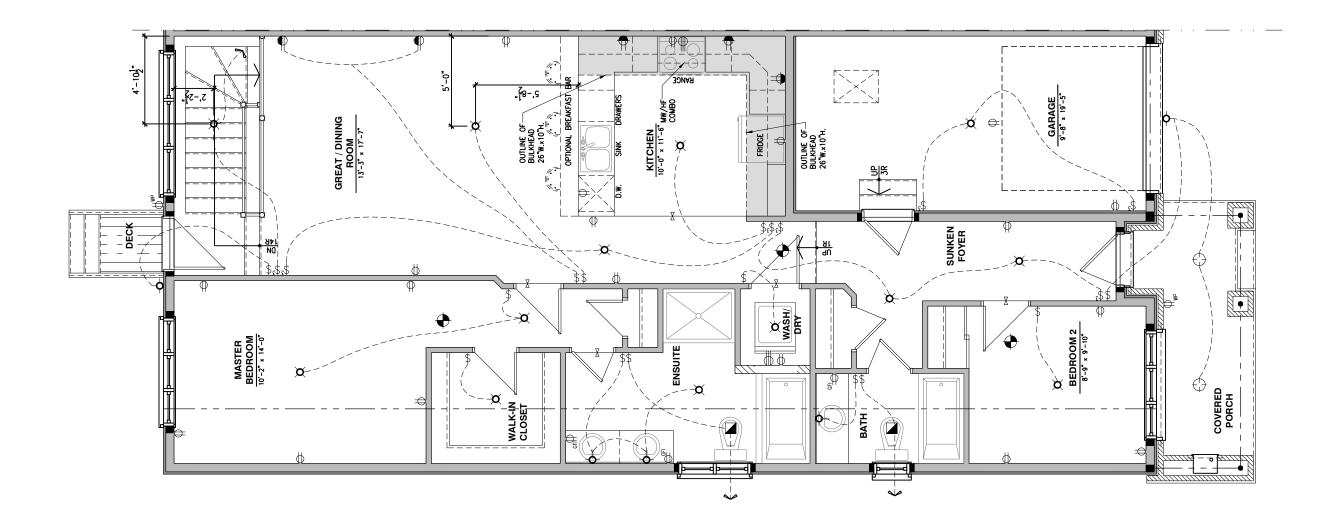
ELECTRICAL PLAN GROUND FLOOR

DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

SHEET:

E.2e

105 - THE MANN 2022 FOOTPRINT



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN

LOT: XXXX DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON

NO. DESCRIPTION

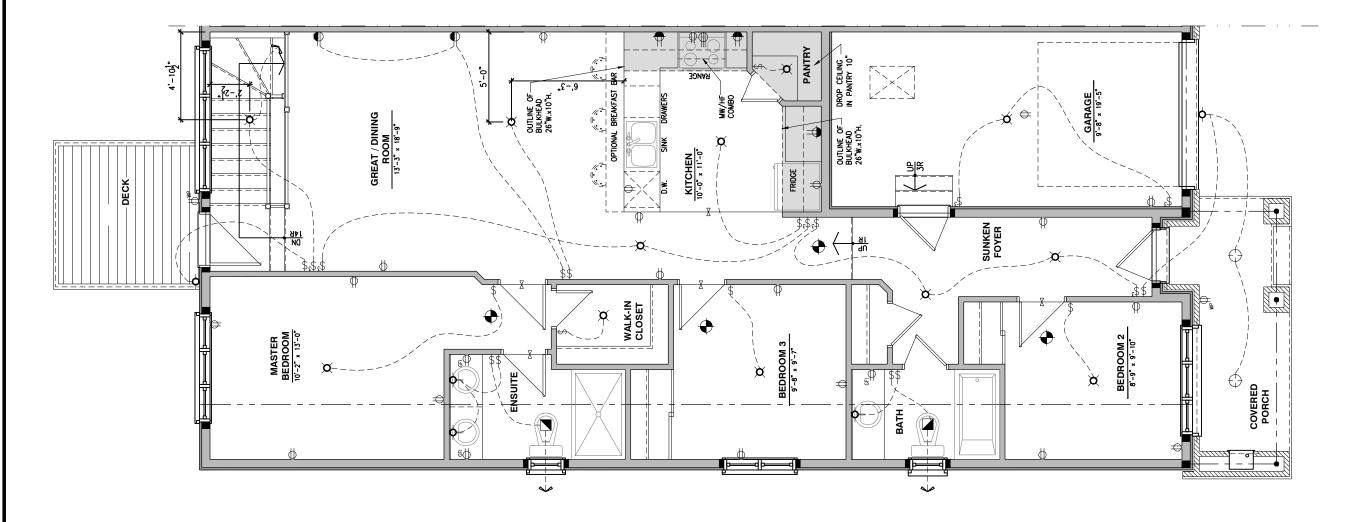
ELECTRICAL PLAN GROUND FLOOR

DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

SHEET:

E.2f

105 - THE MANN 2022 FOOTPRINT





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2012 O.B.C. DRAWINGS

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ELECTRICAL PLAN

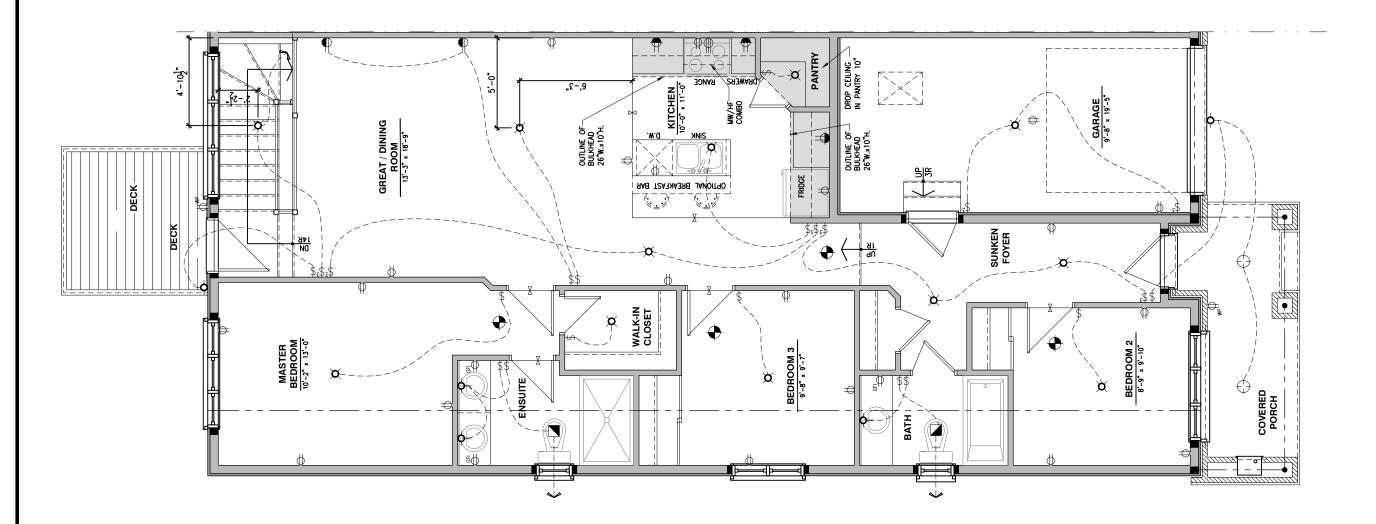
GROUND FLOOR DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: E.2g

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 3 BEDROOM PLAN - WLAKOUT



Homes (2019) Limited

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN

GROUND FLOOR SCALE: 3/16" = 1'-0"

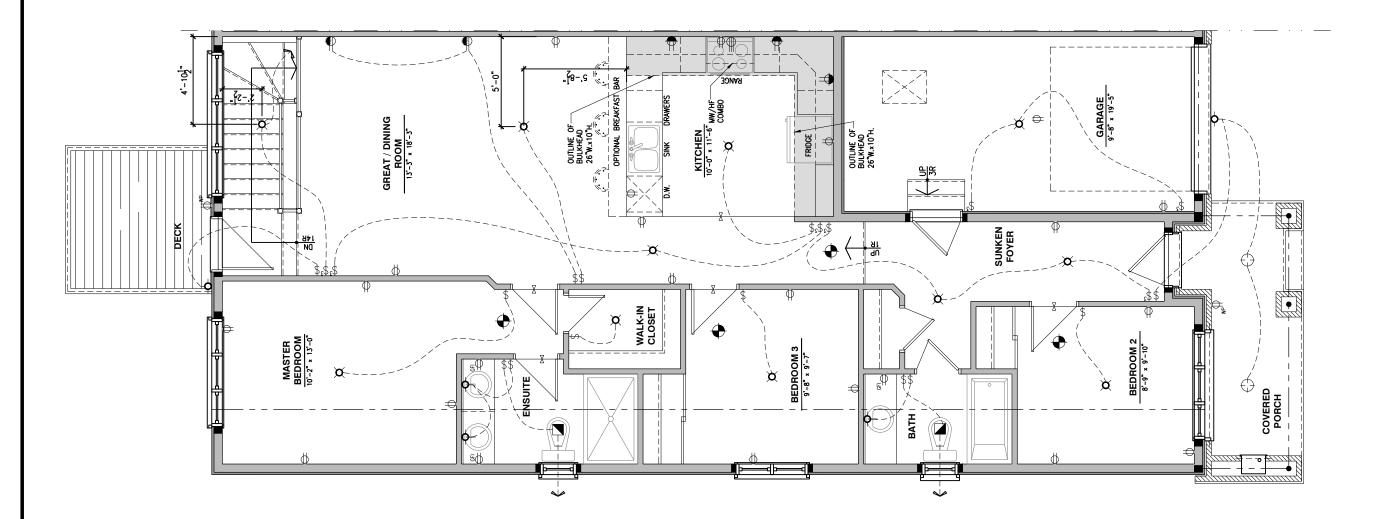
105 - THE MANN

2022 FOOTPRINT (STANDARD DRAWINGS)

SHEET: E.2h

DATE: XX/XX/XXXX

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - 3 BEDROOM PLAN - WALKOUT



Homes (2019) Limited <u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN GROUND FLOOR

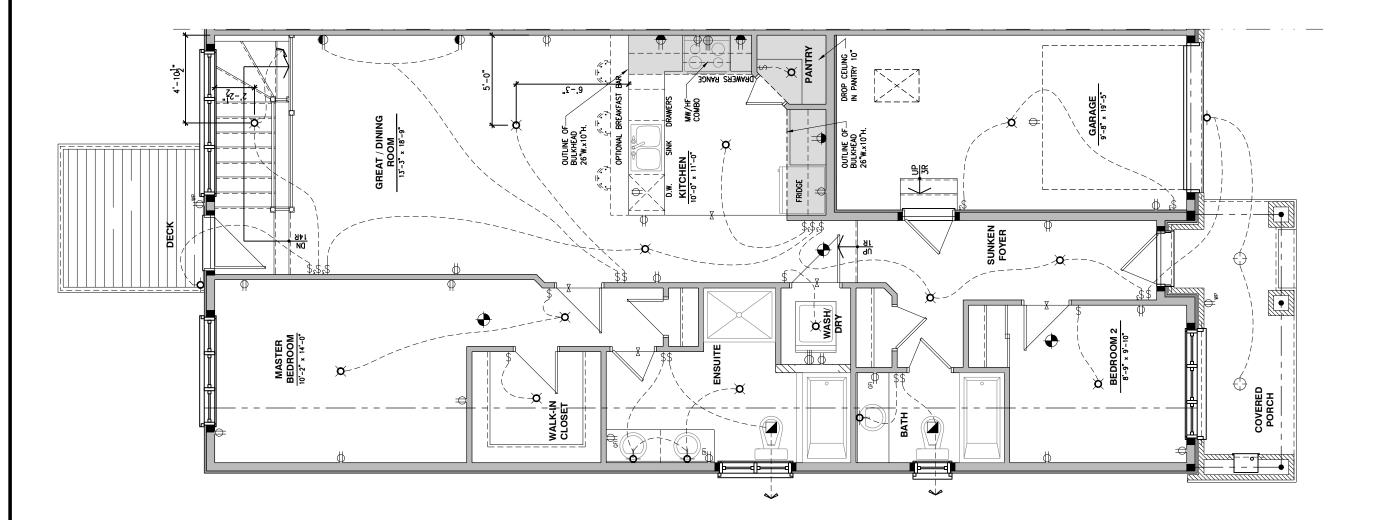
DATE: XX/XX/XXXX

SHEET:

E.2i

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT (STANDARD DRAWINGS)



Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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ELECTRICAL PLAN GROUND FLOOR

SHEET:

E.2j

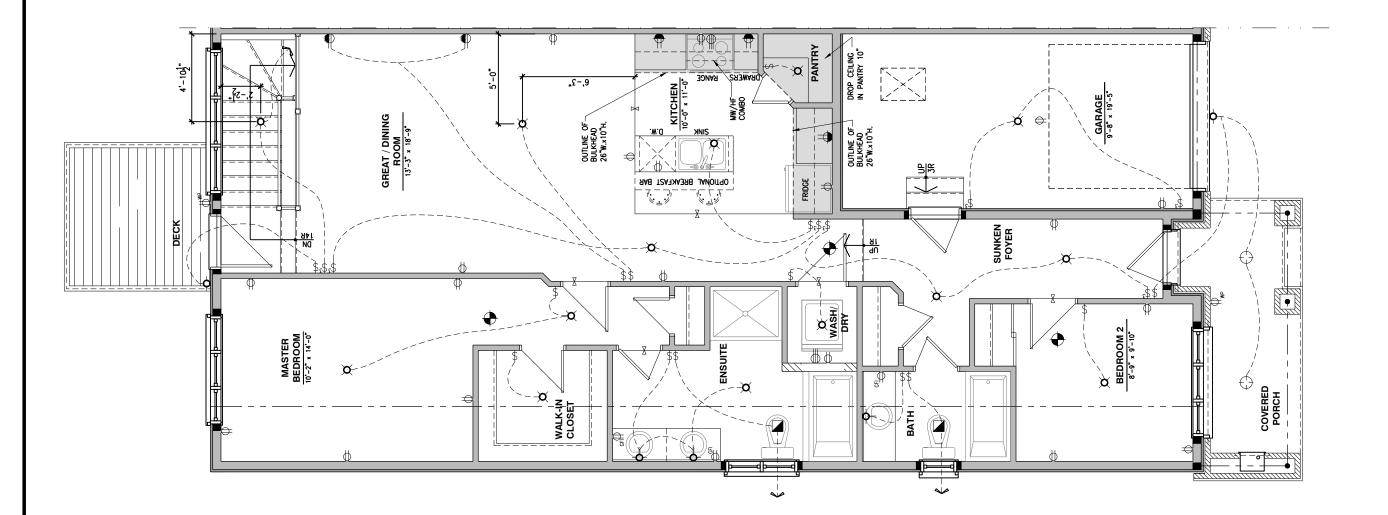
DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

SCALE: 3/16" = 1'-0"

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - 2 BEDROOM PLAN - WLAKOUT

(STANDARD DRAWINGS)





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2012 O.B.C. DRAWINGS

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ELECTRICAL PLAN **GROUND FLOOR**

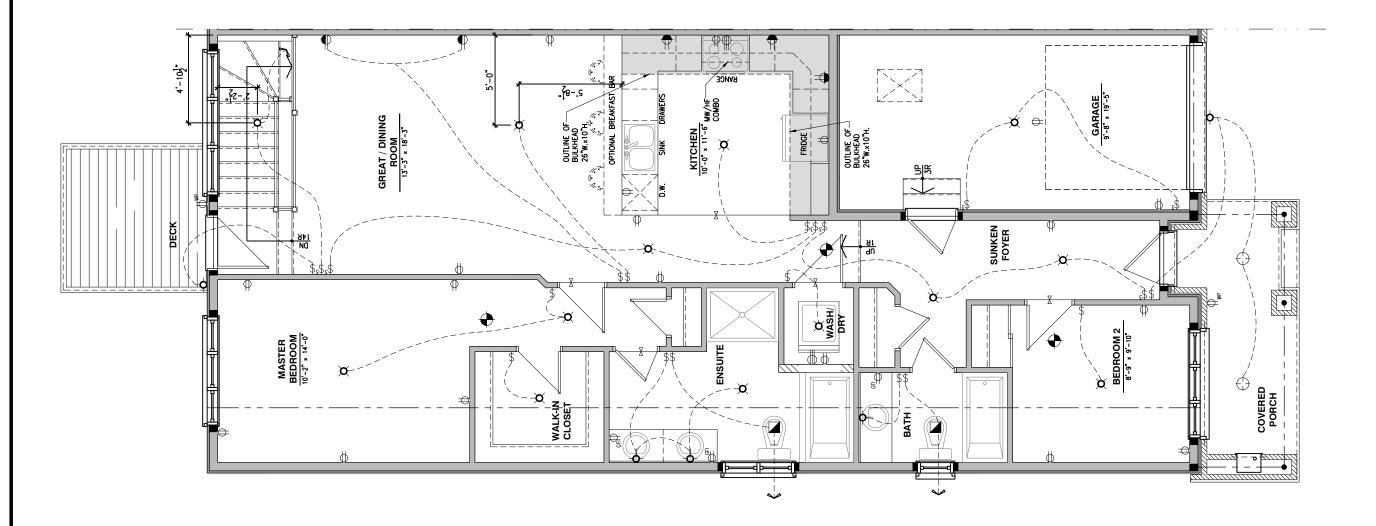
DATE: XX/XX/XXXX SCALE: 3/16" = 1'-0"

SHEET:

E.2k

105 - THE MANN 2022 FOOTPRINT

(STANDARD DRAWINGS)





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- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- -O- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

 SHALL HAVE A VISUAL SIGNALING DEVICE;

 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 01/01/2022 DOYON NO. DESCRIPTION

ELECTRICAL PLAN GROUND FLOOR

SCALE: 3/16" = 1'-0"

105 - THE MANN 2022 FOOTPRINT

DATE: XX/XX/XXXX

SHEET:

E.2l

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - 2 BEDROOM PLAN - WALKOUT