

STANDARD PLAN:

GROSS INSULATED = 280.6 M. SQ.
WALL AREA

GROSS WINDOW = 21.97 M. SQ.
AREA

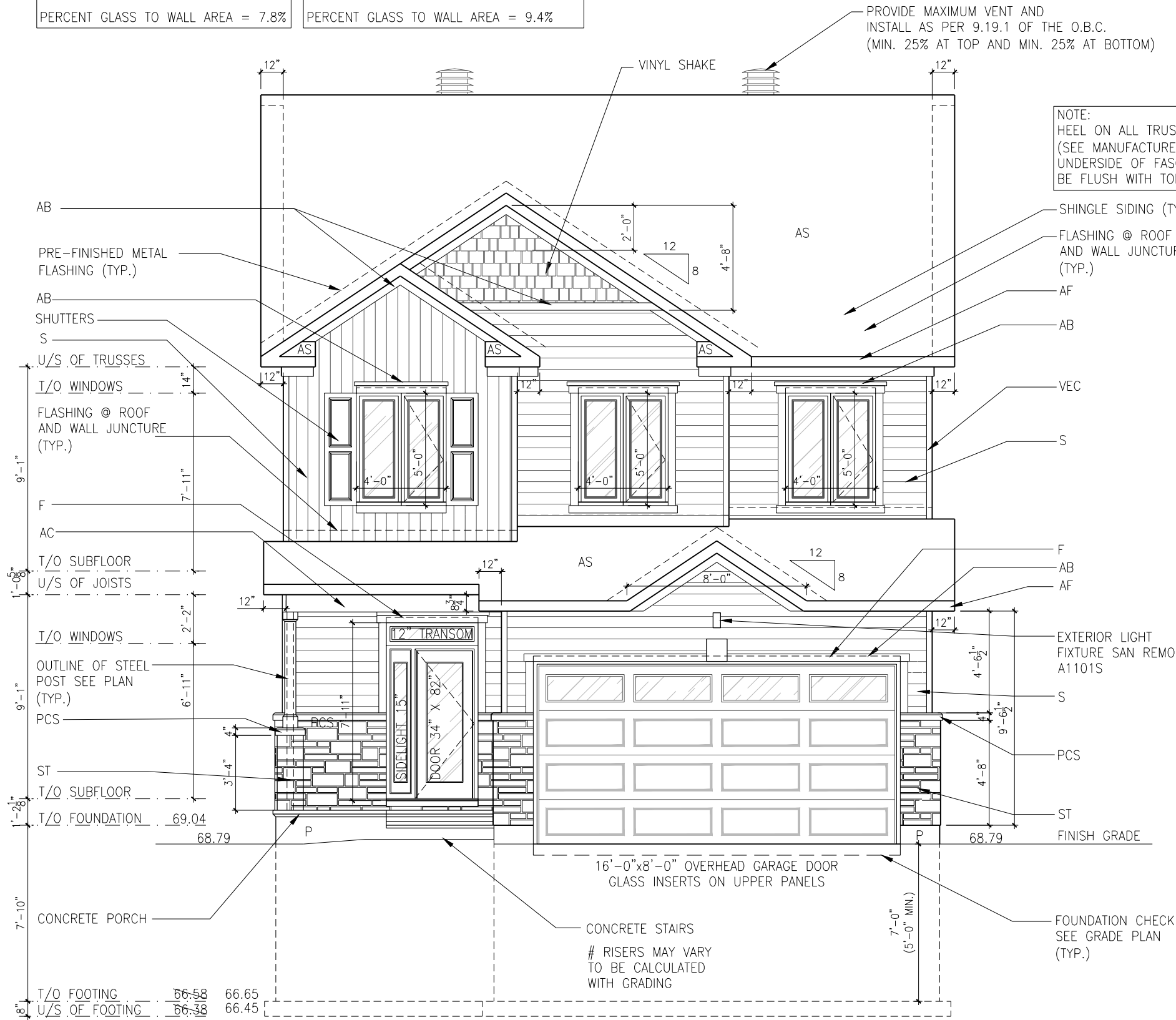
PERCENT GLASS TO WALL AREA = 7.8%

STANDARD PLAN WITH WALK-OUT BASEMENT:

GROSS INSULATED = 313.1 M. SQ.
WALL AREA


GROSS WINDOW = 26.95 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 9.4%



LOT: 21 - PST 5

DATE: 01/12/2021



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- EXTERIOR FINISH LEGEND:
- B - BRICK (MAIN)
 - B1 - BRICK SOLDIER COURSE (ACCENT)
 - B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
 - B3 - BRICK SLEEPER COURSE
 - B4 - STACK BOND (ACCENT)
 - B5 - BRICK SILL (ACCENT)
 - B6 - BRICK ROW LOCK (ACCENT)
 - B7 - BRICK CORBELLING
 - B8 - BRICK COINING 20mm PROUD
 - +20 - BRICK 20mm PROUD
 - 20 - BRICK 20mm RECESSED
 - S - SIDING (HORIZONTAL)
 - SV - SIDING (VERTICAL)
 - ST - STONE VENEER
 - T - TRIM 200mm COVE SIDING
 - AF - ALUMINUM FASCIA
 - AC - ALUMINUM CLADDING
 - AB - 48" ALUMINUM BAND
 - AS - ASPHALT SHINGLES
 - F - FLASHING
 - V - ROOF VENT (MAXIMUM)
 - P - PARGING
 - PC - PARGING
 - PCH10 - PRECAST HEADER 10"
 - PCH8 - PRECAST HEADER 8"
 - PCS - PRECAST SILL
 - PCB - PRECAST BAND
 - VS - VINYL SHAKES
 - VEC - SIDING (VERTICAL CORNER)
 - KC - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVISION #1	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 3 & 4 BEDROOM
ELEVATION C - LEFT

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A1c

LOT: 21 - PST 5

DATE: 01/12/2021



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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
- + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
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- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7 1/2" LAP

2012 O.B.C. DRAWINGS

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REV-2	STRUCTURAL REVISION #1	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 4 BEDROOM
ELEVATION C - RIGHT

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

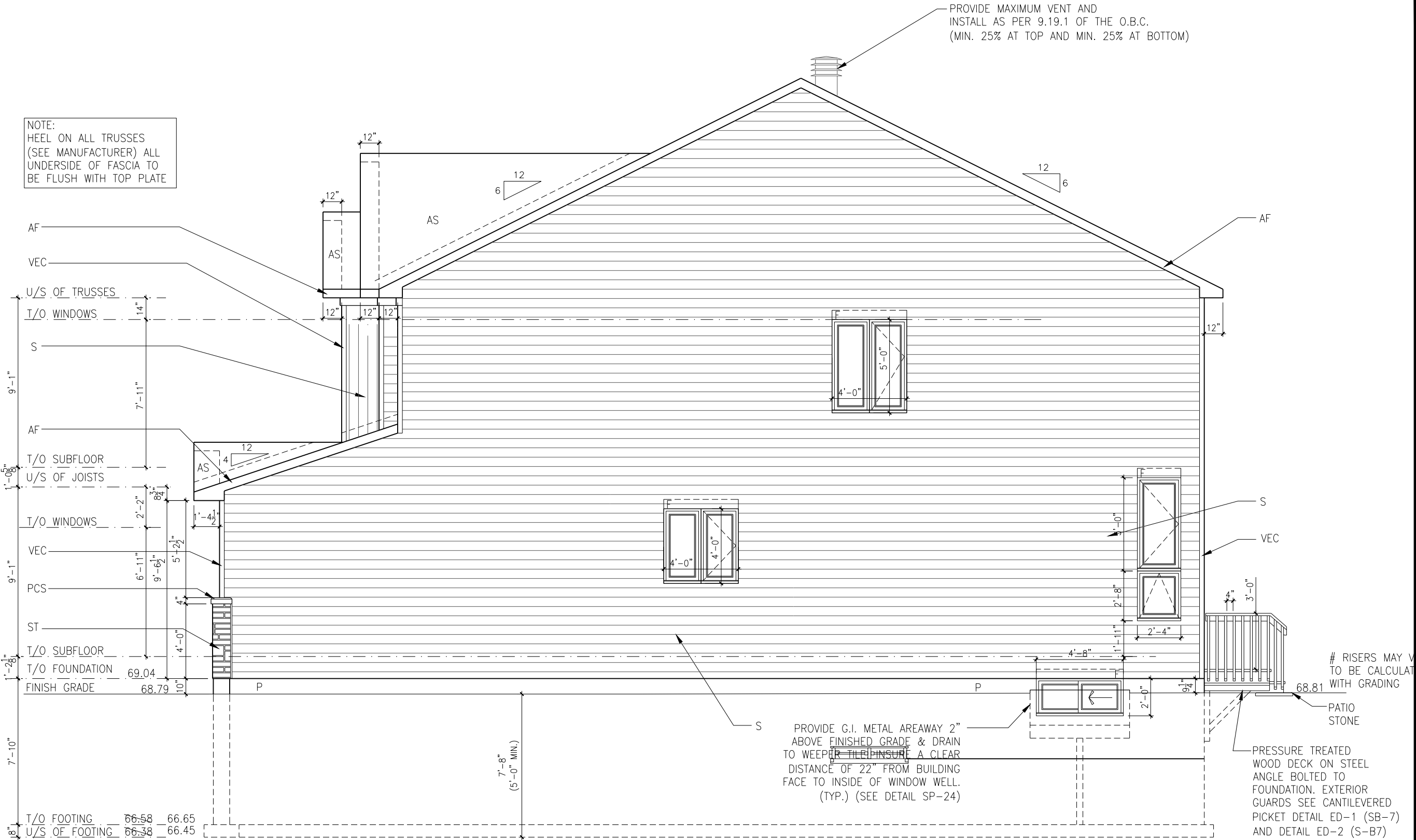
826 - THE BRADLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2c

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

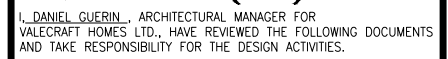


UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 88.6 m. sq.
AREA OF UNPROTECTED OPENINGS - 0.74 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0.83 %

4 BEDROOM - ELEVATION C - RIGHT

SCALE: 3/16" = 1'-0"

LOT: 21 - PST 5
DATE: 01/12/2021



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EXTERIOR FINISH LEGEND:

- _____

DRAWING: **4 BEDROOM**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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SHEET:
A3c

PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

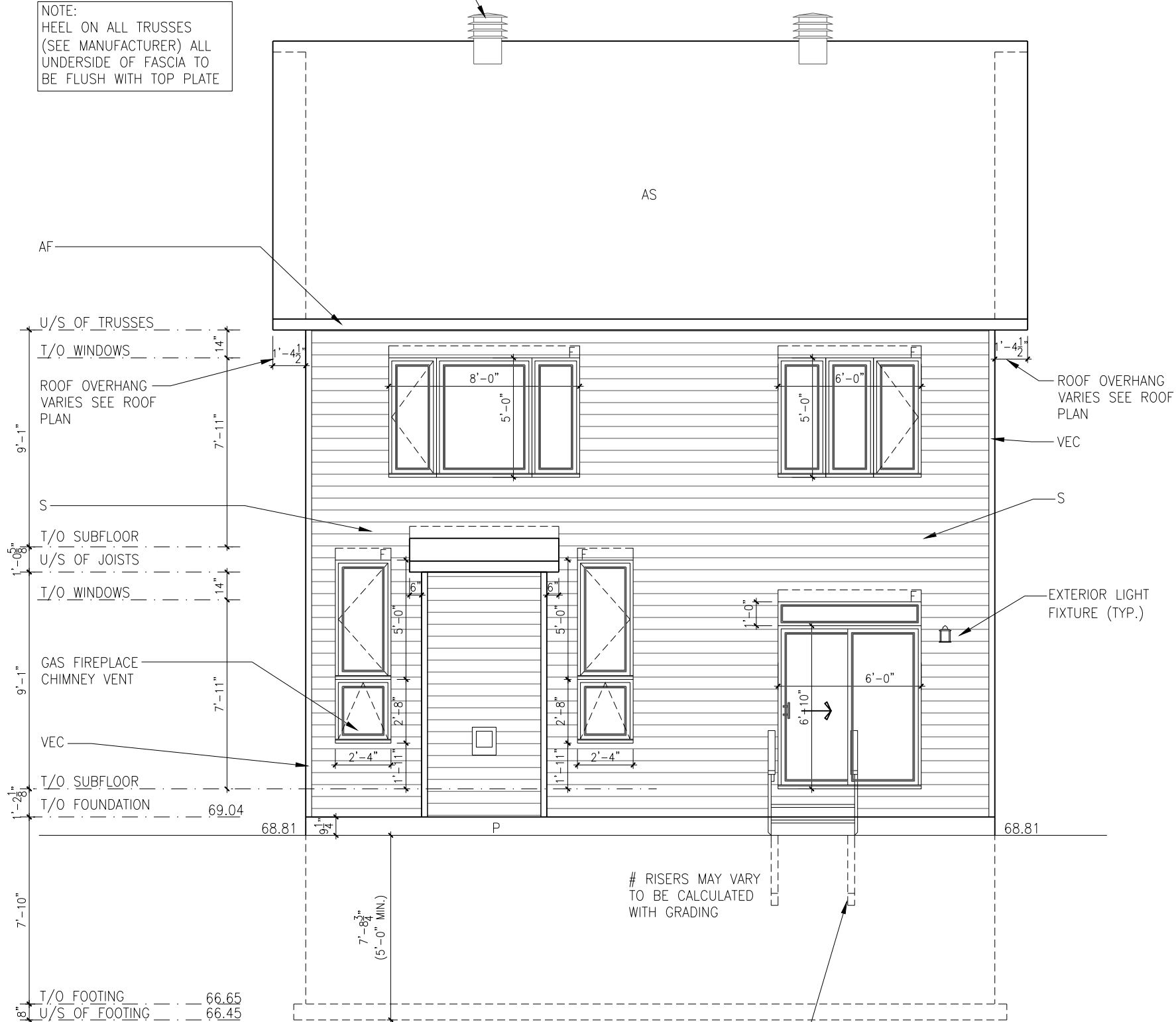
UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE – 88.7 m. sq.
AREA OF UNPROTECTED OPENINGS – 4.4 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS – 4.9 %

U/S OF TRUSSES
14"
T/O WINDOWS
7'-11"
AC
B
T/O SUBFLOOR
U/S OF JOISTS
1'-0 3/8"
T/O WINDOWS
2'-2"
OUTLINE OF STEEL
POST SEE PLAN
(TYP.)
PCS
9'-6 1/2"
6'-11"
ST
T/O SUBFLOOR
T/O FOUNDATION
1'-2 3/8"
68.79
FINISH GRADE
CONCRETE PORCH
7'-10"
T/O FOOTING
U/S OF FOOTING
8"

SCALE: 3/16" = 1'-0"

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



AS

AF

U/S OF TRUSSES

T/O WINDOWS

ROOF OVERHANG
VARIES SEE ROOF
PLAN

S

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

GAS FIREPLACE
CHIMNEY VENT

VEC

T/O SUBFLOOR

T/O FOUNDATION

T/O FOOTING

U/S OF FOOTING

ROOF OVERHANG
VARIES SEE ROOF
PLAN

VEC

S

EXTERIOR LIGHT
FIXTURE (TYP.)

RISERS MAY VARY
TO BE CALCULATED
WITH GRADING

PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

LOT: 21 - PST 5
DATE: 01/12/2021



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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVISION #1	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **4 BEDROOM
ELEVATION A-C - REAR**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

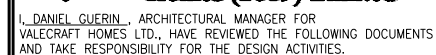
SHEET:

A4a

3 BEDROOM - ELEVATION A-C - REAR

SCALE: 3/16" = 1'-0"

DATE: 01/12/2021



PERSONAL BCIN #1989A

- TARIFF REGISTRATION NUMBER #61

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20mm PROUD
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REV-2	STRUCTURAL REVISION #1	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BUILDING SECTION - 3 AND
4 BEDROOM - ELEVATION A-B-C**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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826 - THE BRADLEY
2020 FOOTPRINT

SHEET:
A5a

AF

U/S OF TRUSSES

9'-1"

1'-0 1/8"

T/O SUBFLOOR

U/S OF JOISTS

2'-2"

T/O WINDOWS

9'-1"

6'-11"

T/O SUBFLOOR

1'-2 1/8"

T/O FOUNDATION

7'-10"

T/O FOOTING

U/S OF FOOTING

1'-4 1/2"

1'-4 1/2"

PRE-ENGINEERED ROOF TRUSSES @ 24" o/c (SEE MANUFACTURER)

PRE-ENGINEERED CONTINUOUS BRACING (SEE MANUFACTURER)

NOTE: HEEL ON ALL TRUSSES (SEE MANUFACTURER) ALL UNDERSIDE OF FASCIA TO BE FLUSH WITH TOP PLATE

SECOND FLOOR LANDING TO BE BUILT IN 2"x6"

13'-2"

3'-5"

STAIRS

7'-2"

BATH

KITCHEN

FRAME WALL ON TOP OF FOUNDATION WALL AS SHOWN IN HATCH LINES

13'-8 1/2"

3'-5"

STAIRS

UNFINISHED AREA

7'-0 3/4"

6'-8"

(2) R-22 BATT INSULATION

BASEMENT

UNFINISHED AREA

8"

8"

4" Ø PERFORATED WEEPING TILE WITH SOCK C/W 6" CRUSHED STONE COVER

4" Ø PERFORATED WEEPING TILE WITH SOCK C/W 6" CRUSHED STONE COVER

SINGLE DWELLING STAIRS:	
RISER =	4-7/8" MIN / 7-7/8" MAX
TREAD =	9-1/4" MIN / 14" MAX
HANDBAIL HEIGHT =	2'-10" MIN. / 3'-2" MAX

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

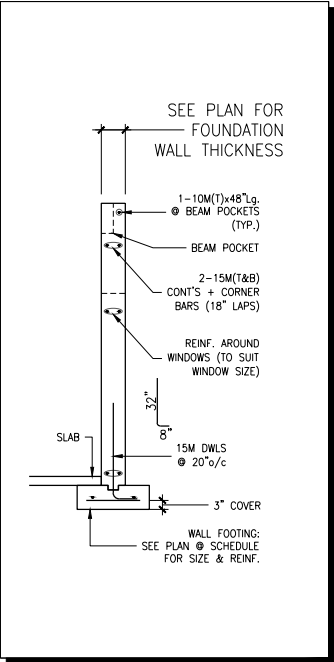
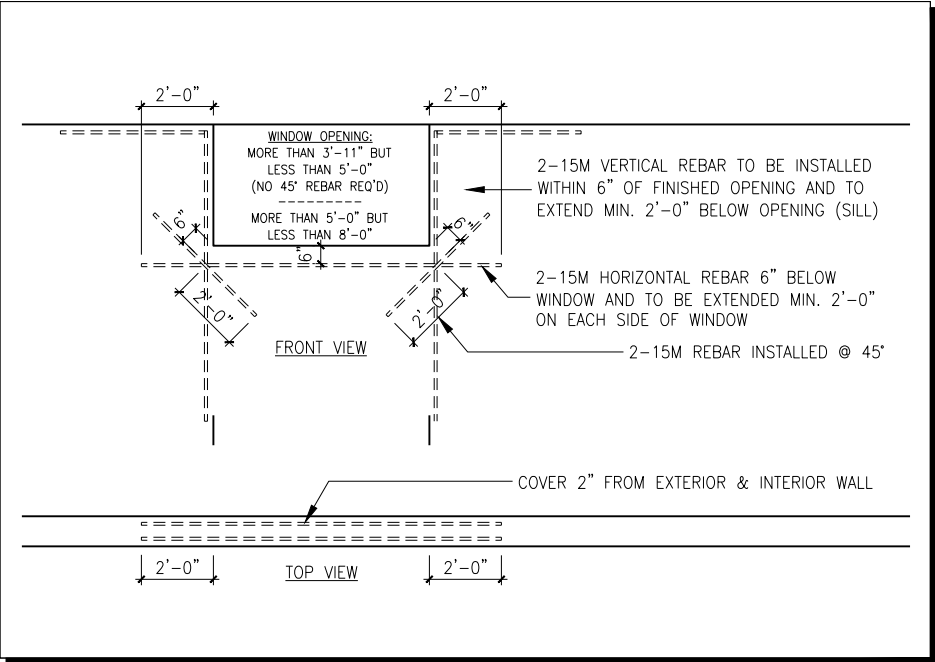
SINGLE DWELLING STAIRS:

RISER = 4-7/8" MIN / 7-7/8" MAX
TREAD = 9-1/4" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
HEADROOM = 6'-5" MAX

BUILDING SECTION - 3 AND 4 BEDROOM - ELEVATION A-B-C

SCALE: 3/16" = 1'-0"

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w



BASEMENT FLOOR PLAN - 3 AND 4 BEDROOMS - ELEVATION A, B

SCALE: 3/16" = 1'-0"

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

LOT: 21 - PST 6

DATE: 01/12/2021



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- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

POST BY USP

- P2 = 2-2x4 OR 2-2x6

- P3 = 3-2x4 OR 3-2x6

- P4 = 4-2x4 OR 4-2x6

- P5 = 5-2x4 OR 5-2x6

- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)

- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)

- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.

- + 130x160x10 TOP PL. (*)

- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- ☒ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

FOOTING TABLE & DETAILS

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**826 - THE BRADLEY
2018 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A6

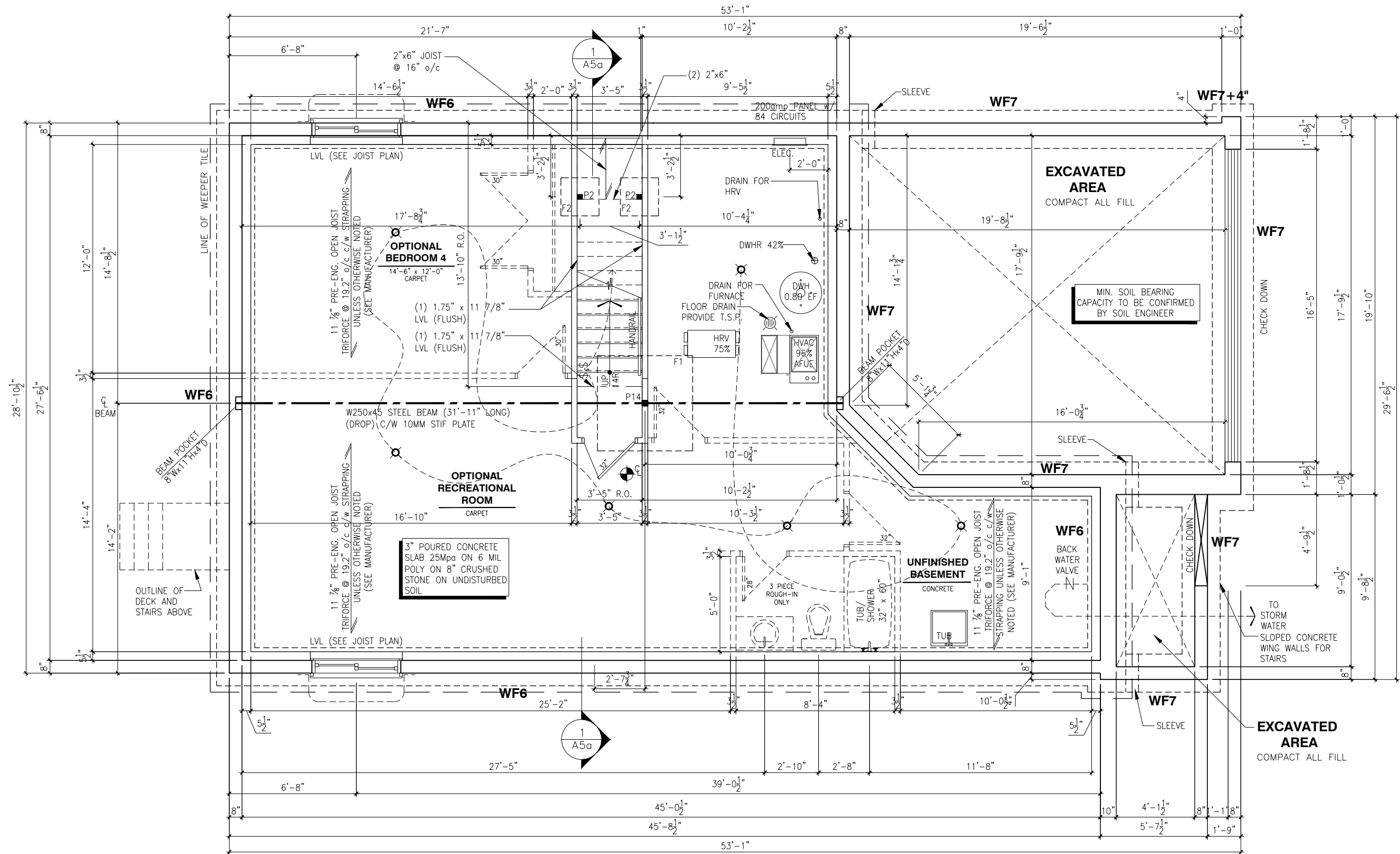
NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
 - A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
 - B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m² (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS



BASEMENT FLOOR PLAN - 3 AND 4 BEDROOMS - ELEVATION C

SCALE: 3/16" = 1'-0"

LOT: 21 - PST 6

DATE: 01/12/2021



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
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POST TABLE:

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- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BASEMENT FLOOR PLAN
3 AND 4 BED. - ELEV. C**

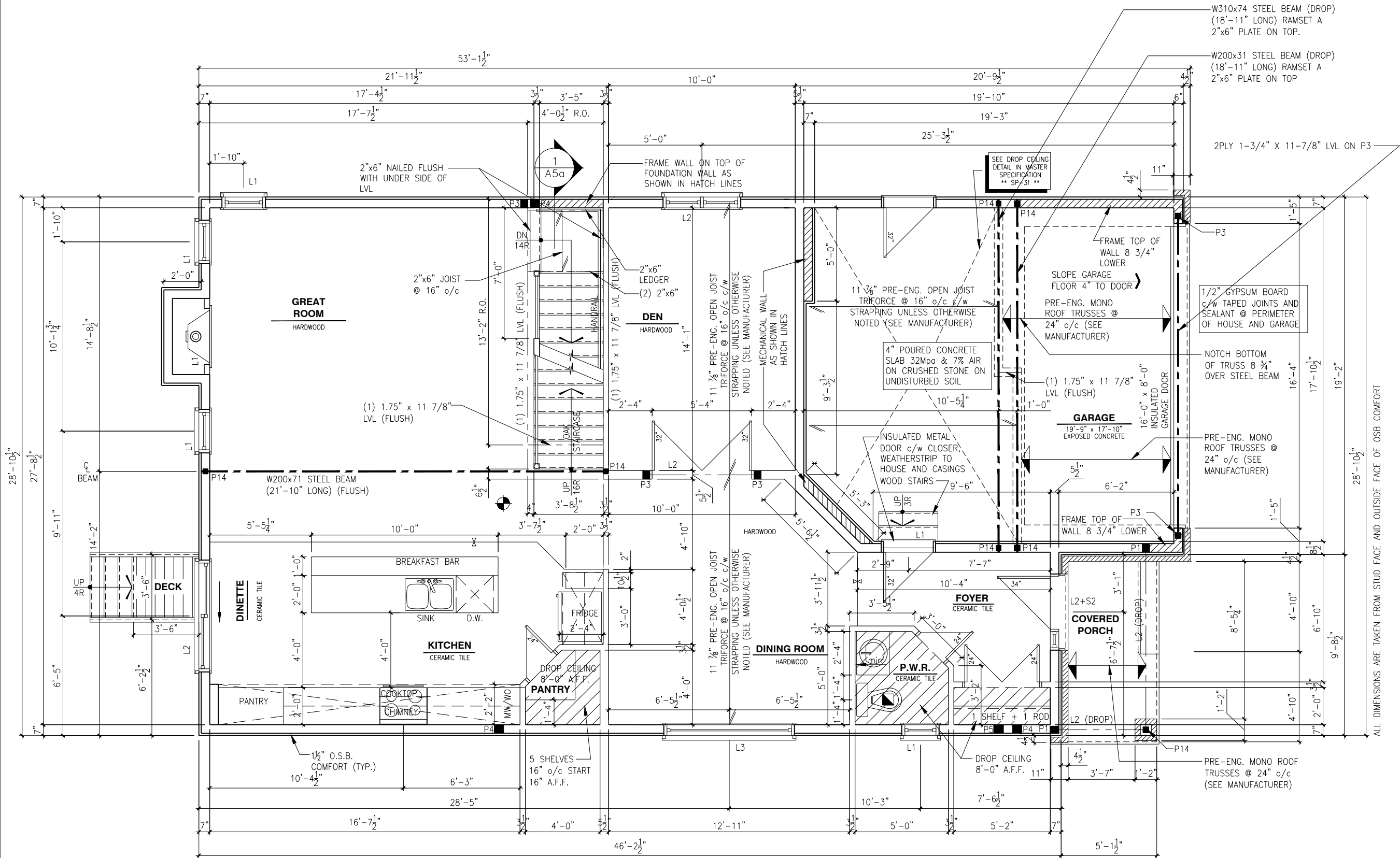
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

**826 - THE BRADLEY
2018 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A6a



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1328
GARAGE	383
TOTAL	2400 383

LOT: 21 - PST 6

DATE: 01/12/2021

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- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

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S2 = L 90x90x8

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S4 = L 125x90x8

S5 = L 125x90x10

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LINTEL TABLE:

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L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

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P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR PLAN

4 BEDROOM - ELEVATION C

ADDRESS: xx

SCALE: 3/16" = 1'-0"

DATE: xx/xx/xxxx

826 - THE BRADLEY

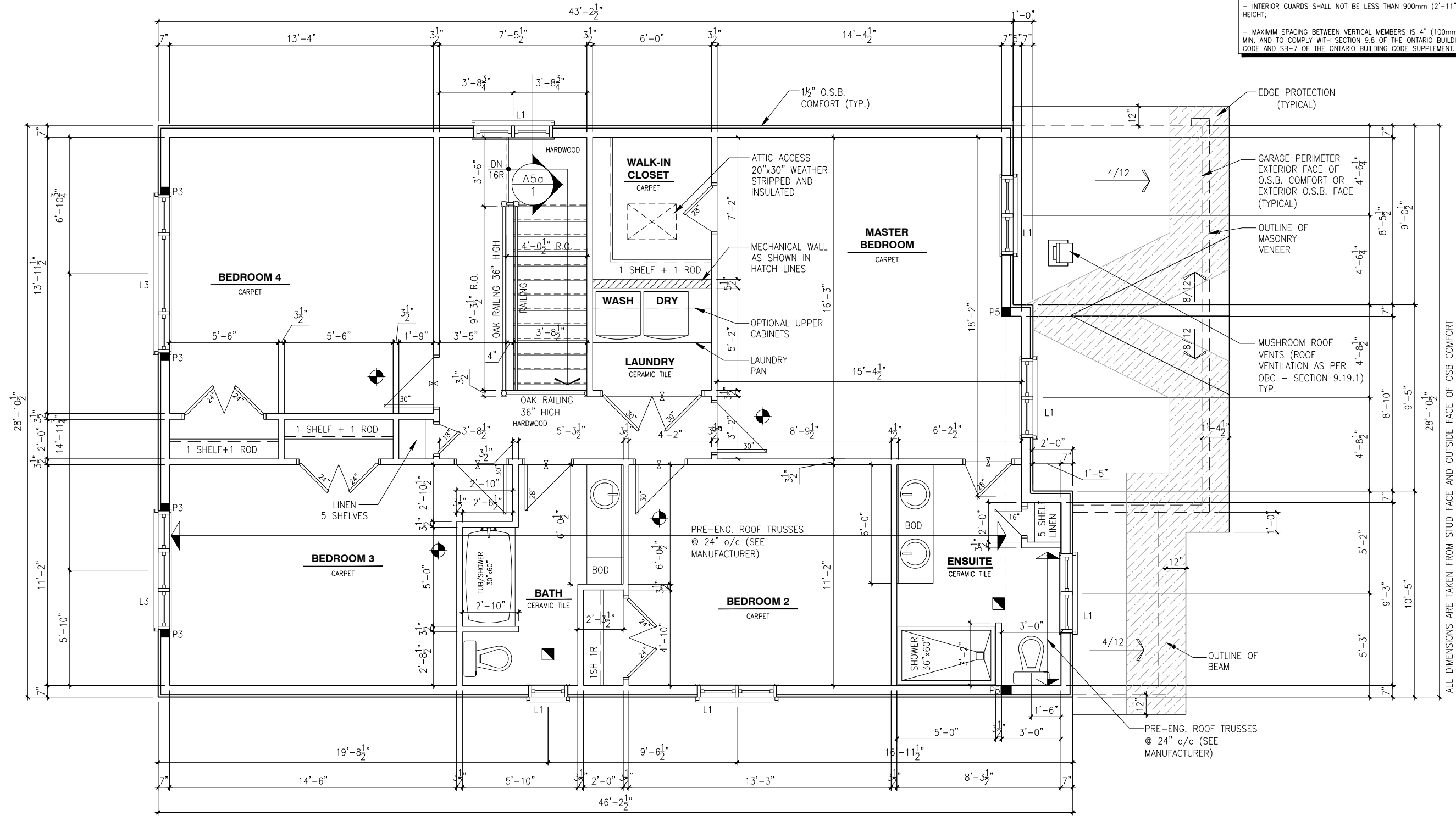
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A7d

SECOND FLOOR PLAN - 4 BEDROOM - ELEVATION C

SCALE: 3/16" = 1'-0"



NOTES:

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NOTE:

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ROOF AND FLOOR LAYOUT NOTES:

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STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:
- RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
- RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
- TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
- WIDTH: MIN 860mm (2'-10")
- HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
- LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: 21 - PST 6

DATE: 01/12/2021



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

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- S1 = L 90x90x6
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- S4 = L 125x90x8
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- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
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2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: SECOND FLOOR PLAN
4 BEDROOM - ELEVATION C

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2018 FOOTPRINT

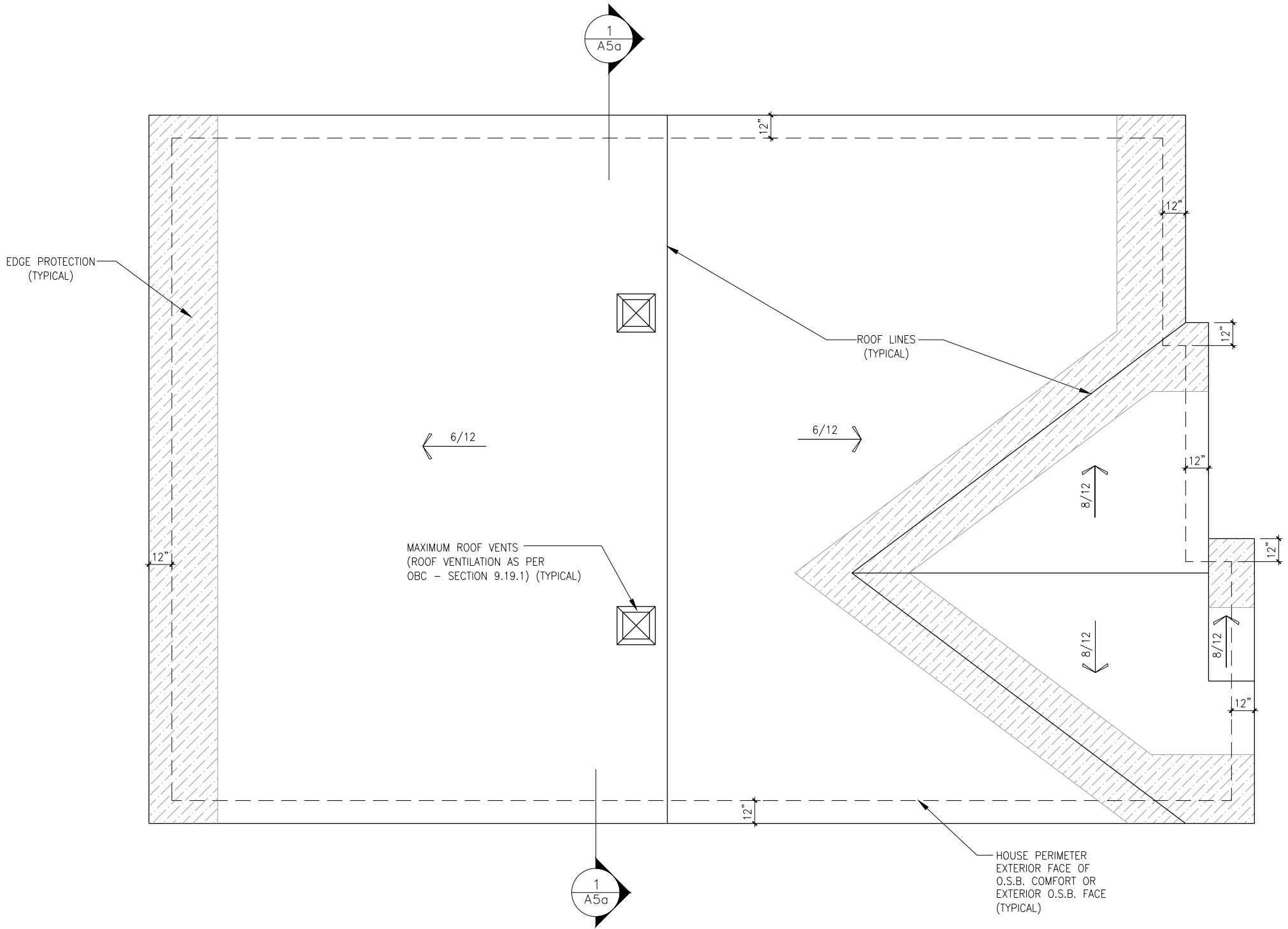
(STANDARD DRAWINGS)

SHEET:

A8c

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ROOF PLAN - 3 & 4 BEDROOM -ELEVATION C

SCALE: 3/16" = 1'-0"

LOT: 21 - PST 6

DATE: 01/12/2021



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- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ROOF PLAN 3 & 4 BEDROOM - ELEVATION C

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2018 FOOTPRINT

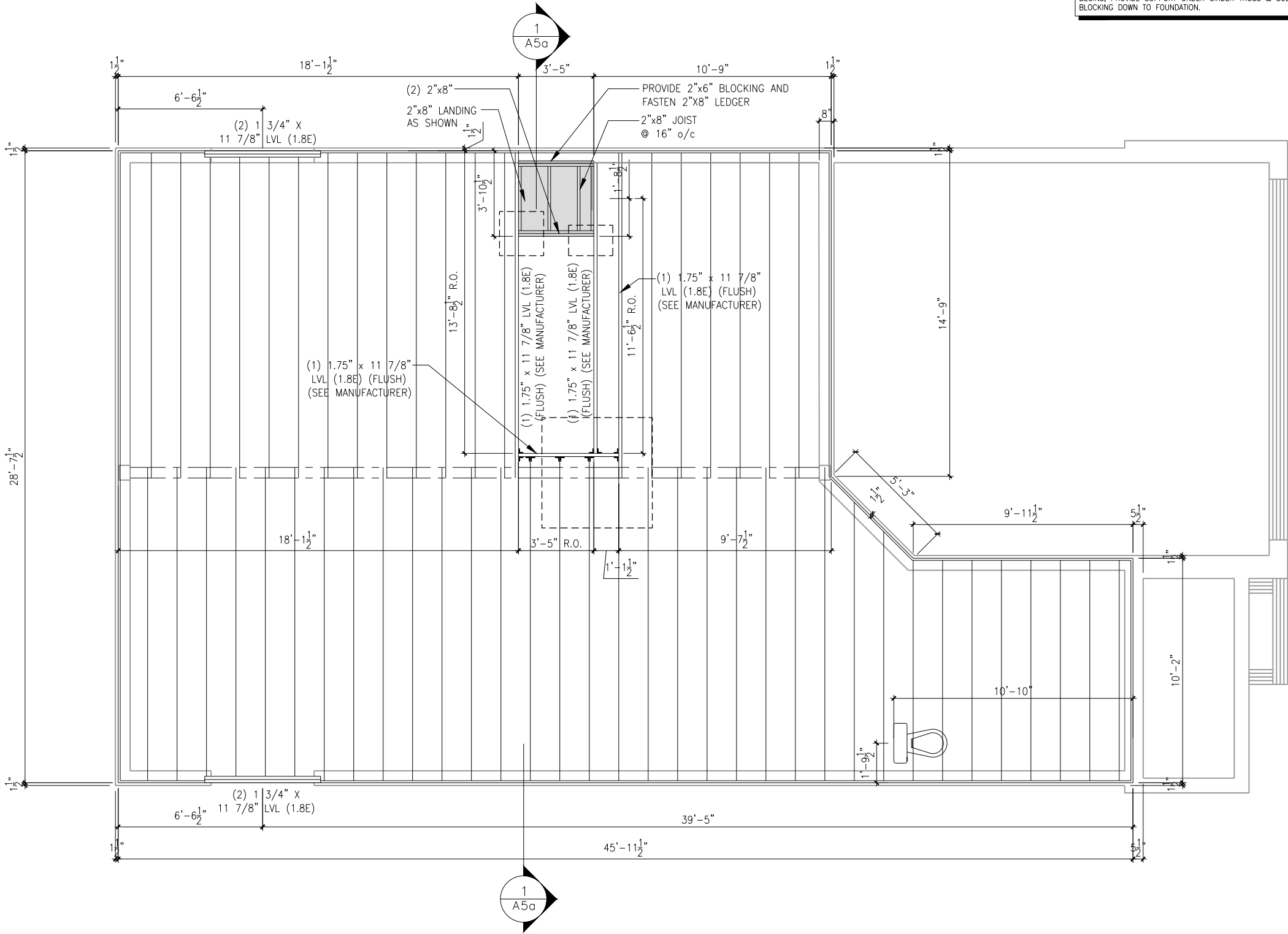
(STANDARD DRAWINGS)

SHEET:

A9f

FIRST FLOOR - JOIST LAYOUT - 3 AND 4 BEDROOM - ELEVATION A, B, C (STANDARD)

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: 21 - PST 6

DATE: 01/12/2021



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: FIRST FLOOR-JOIST LAYOUT
3 AND 4 BED. - ELEV. A, B, C

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

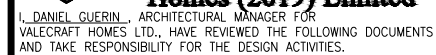
826 - THE BRADLEY
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10a

DATE: 01/12/2021



- PERSONAL RCIN #19896

- TARIFF REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
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- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 24 HOURS IN NORMAL CONDITION, FOLLOWED BY 10 MINUTES OF ALARM AND 15 MINUTES OF SILENCE.
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

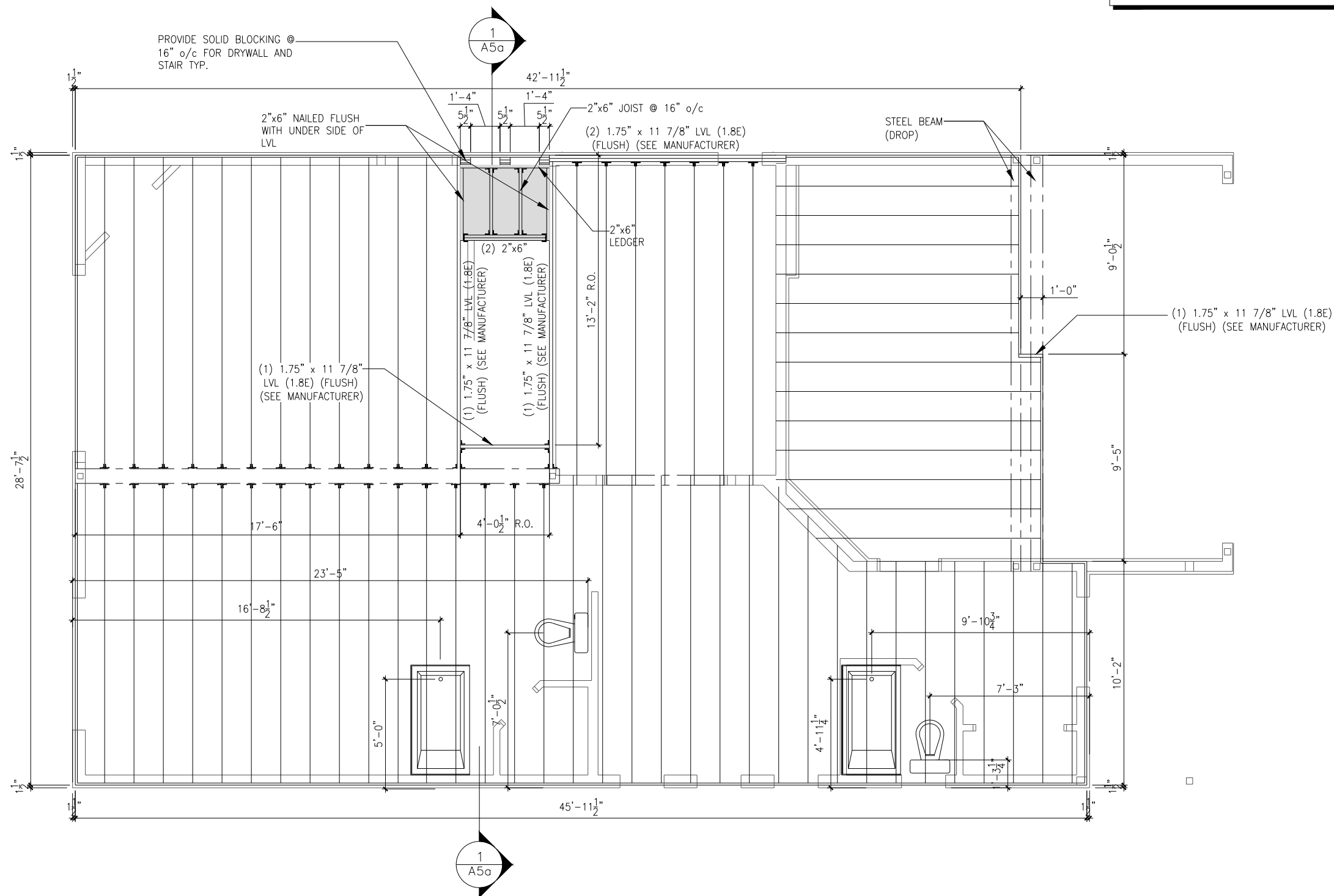
REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR - JOIST
LAYOUT - 4 BEDROOM - ELEV. C**

ADDRESS:	SCALE:	DATE:
XX	$\frac{3}{16}'' = 1'-0''$	XX/XX/XXXX

826 - THE BRADLEY
2018 FOOTPRINT

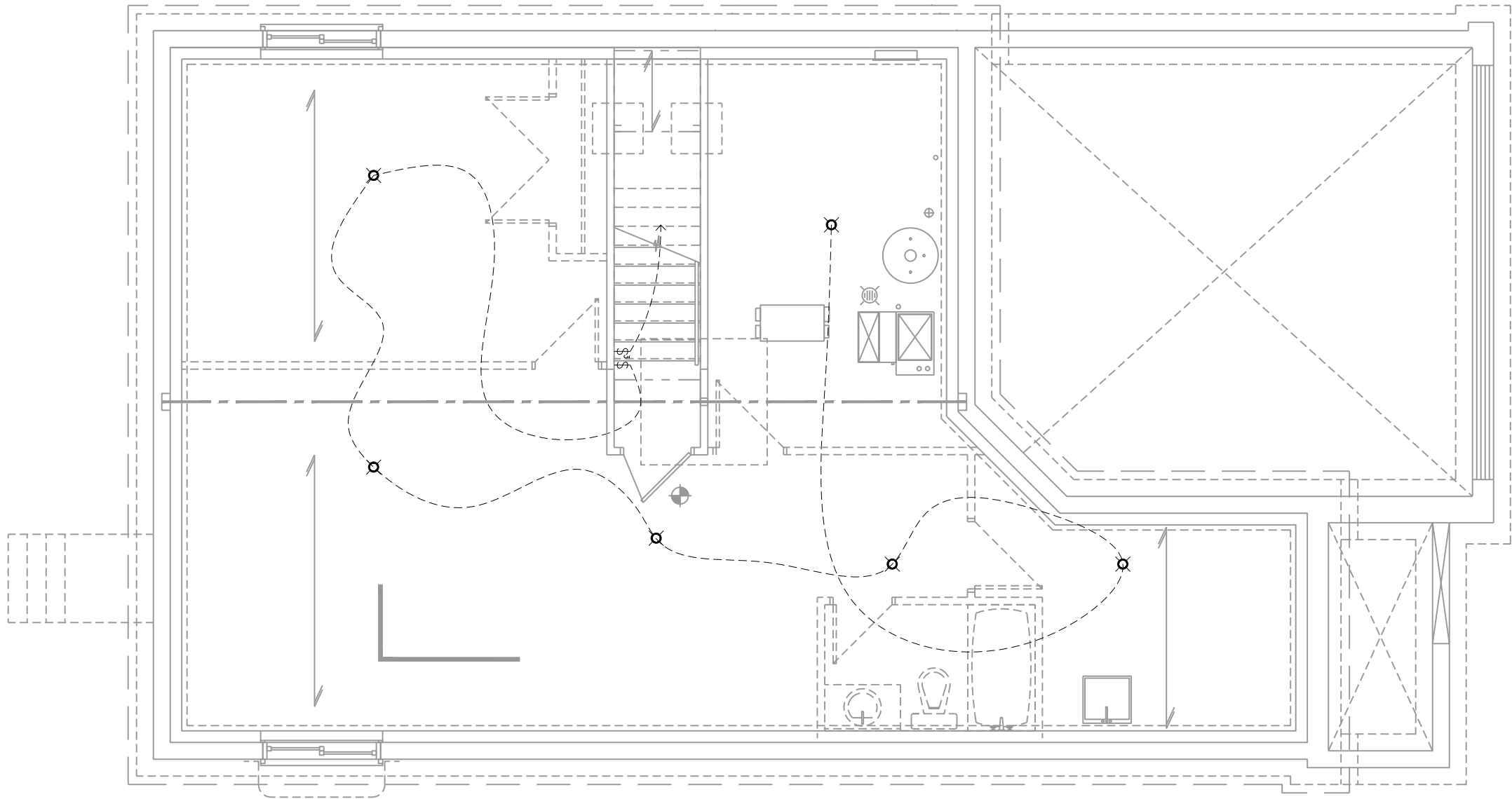
SHEET:
A11b



SECOND FLOOR - JOIST LAYOUT - 4 BEDROOM - ELEVATION C

SCALE: $3/16" = 1'-0"$

SEE S&S AND ORBITAL QUOTES AND SKETCHES



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

GROUND FLOOR PLAN - 3 BEDROOM - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: 21 - PST 6

DATE: 01/12/2021



Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

BASEMENT ELECTRICAL PLAN

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

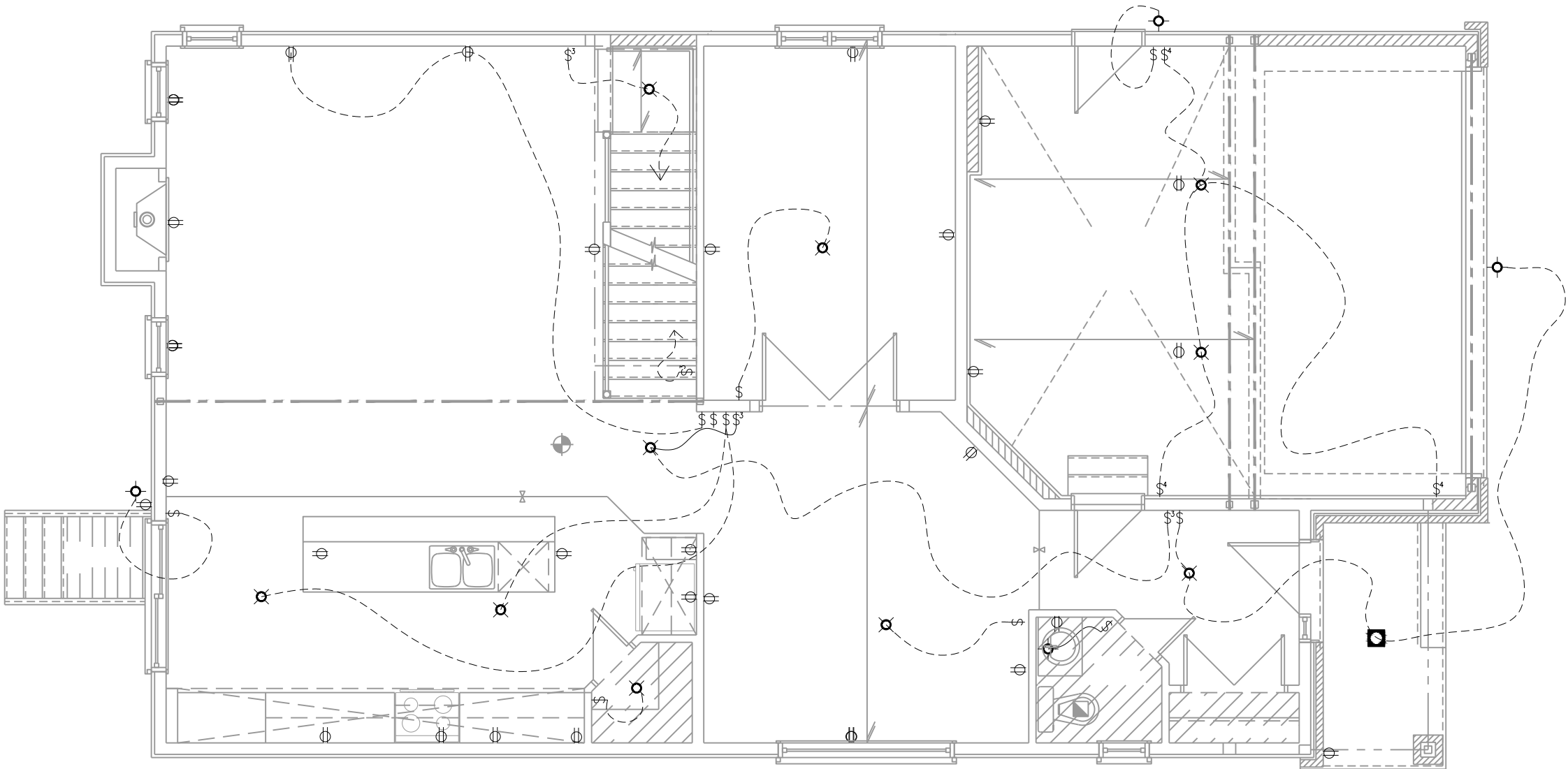
826 - THE BRADLEY
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E1

SEE S&S AND ORBITAL QUOTES AND SKETCHES



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

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NOTES:

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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

GROUND FLOOR PLAN ELECTRICAL PLAN - 3 BEDROOM

SCALE: 3/16" = 1'-0"

LOT: 21 - PST 6

DATE: 01/12/2021



Valecraft
Homes (2019) Limited

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NOTES:

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 1ST FLOOR ELECTRICAL

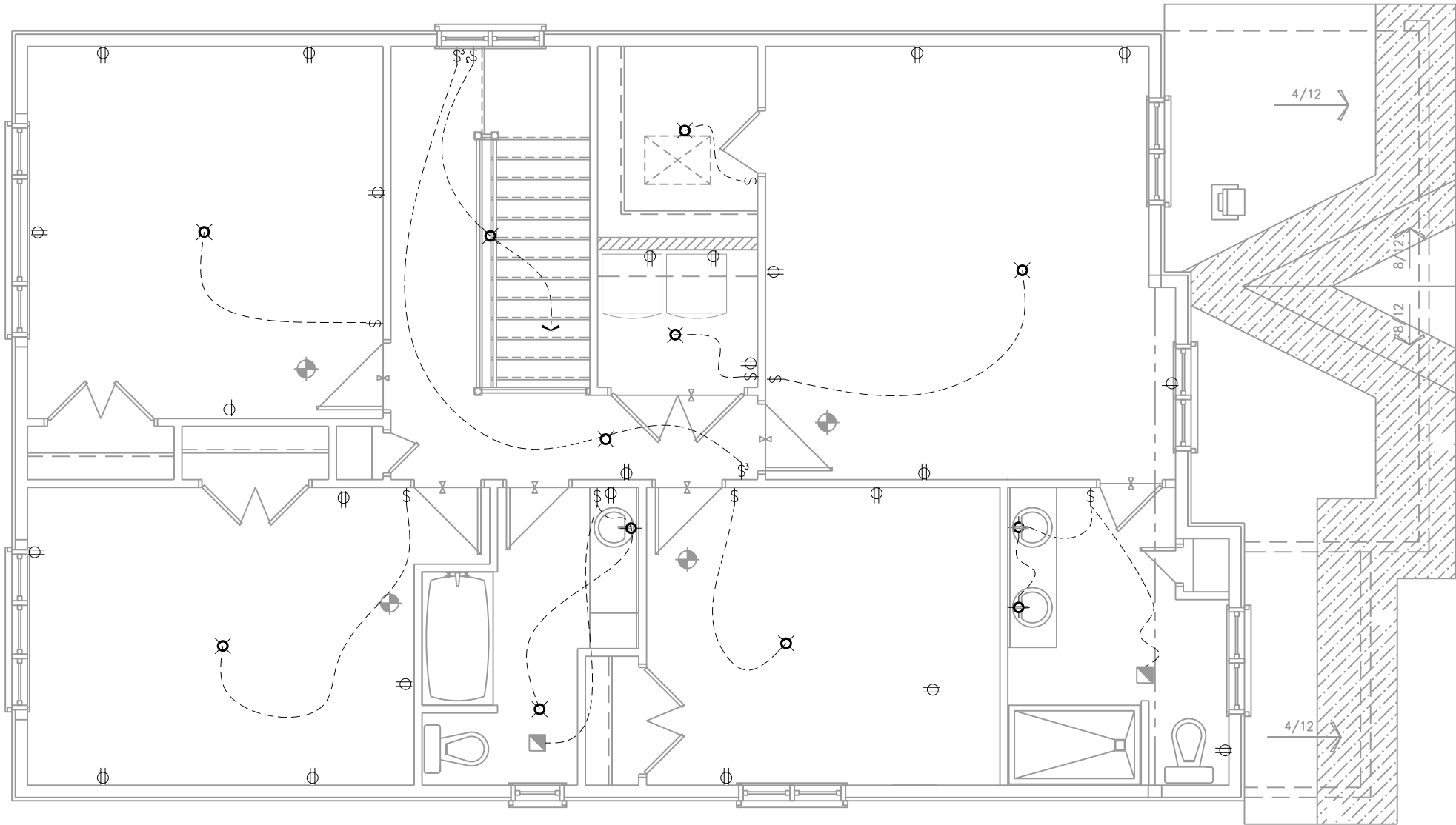
ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E2



SEE S&S AND ORBITAL QUOTES AND SKETCHES

SECOND FLOOR ELECTRICAL PLAN - 4 BEDROOM

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

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NOTES:

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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

LOT: 21 - PST 6
DATE: 01/12/2021



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
- POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2ND FLOOR ELECTRICAL PLAN

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E3