

MR PHILIPPE PAMERLEAU

010

DATE 2021-07-06
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
PAY TO THE
ORDER OF


Valecraft Homes (2019) Limited

\$47,700⁰⁰

The sum of \$47,700 dollars and 00 cents

00 DOLLARS

 Security features
included
Details on back

BMO  Bank of Montreal

110 PLACE D'ORLEANS DRIVE TEL: (613) 564-6494
ORLEANS, ONTARIO, K1C 2L9

MEMO

Valecraft upgrades



MP

⑈010⑈ ⑆27616⑈001⑆

3149⑈641⑈

Project: Place St. Thomas 6

Plan No: 504-352 Lot No: 23 - Phase 6

Model: 826 "B" floor Date: June 15, 2021

Purchaser: Philippe Pamerleau

Purchaser: Julie Leveille

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE
BETWEEN THE UNDERSIGNED PARTIES HERETO SIGNED

ON THE 15 DAY OF March, 20 21.

REGARDING PROPERTY KNOWN AS: BUILDER'S LOT : 23
LOT: 23 BLOCK :
50M-352 PLACE ST THOMAS 6
CIVIC ADDRESS: 788 Namur Street
PURCHASERS: Philippe Pamerleau & Julie Leveille

VENDORS: VALECRAFT HOMES (2019) LIMITED

DATE OF ACCEPTANCE: April 1, 2021

It is hereby understood and agreed between the undersigned parties hereto that the following changes shall be made to the above mentioned Agreement of Purchase and Sale and except for such changes noted below all other terms and conditions in the Agreement shall remain as stated therein and time shall remain of the essence.

DELETE: PURCHASE PRICE: \$654,717.00
BALANCE AT CLOSING: \$614,717.00
LESS H.S.T. AMOUNT: \$600,634.51
SCHEDULE "G" DATED: April 10, 2021 → April 14, 2021
TARION SCHEDULE "B" DATED: April 10, 2021 → April 14, 2021

INSERT: 680 dated: June 15, 2021 in the amount of: \$36,115.09
NEW PURCHASE PRICE: \$690,832.09
ADDITIONAL DEPOSIT OF: \$47,700.00
NEW BALANCE AT CLOSING: \$603,132.09
NEW LESS H.S.T. AMOUNT: \$632,594.77
SCHEDULE "G" DATED: June 15, 2021
TARION SCHEDULE "B" DATED: June 15, 2021
SCHEDULE "W2" DATED: June 15, 2021
SCHEDULE "W4" DATED: June 15, 2021

Dated at Embrun, ON this 15 day of June, 2021

In the presence of:

[Signature]
WITNESS

[Signature]
PURCHASER

[Signature]
WITNESS

[Signature]
PURCHASER

Dated at Ottawa this 23 day of June, 2021

VALECRAFT HOMES (2019) LIMITED

Per: [Signature]

Name: F. Nieuwkoop

Title: Vice President

I HAVE THE AUTHORITY TO BIND THE CORPORATION

SCHEDULE "G"**HARMONIZED SALES TAX AND NEW HOUSING REBATE**

1. The parties acknowledge that as at the date of this Agreement, Harmonized Sales Tax ("HST") is applicable to this transaction pursuant to the Excise Tax Act (Canada) (the "**Legislation**") and that, the Purchaser may qualify for the GST/HST new housing rebate (as is authorized by the Legislation from time to time) (the "**New Housing Rebate**") in respect of this transaction.
2. The Purchaser is hereby advised that the Purchase Price listed in "Purchase Price" Section of this Agreement includes all HST and the New Housing Rebate applicable to this transaction (refer to maximum rebate allowance in Clause 8) as at the date this Agreement is signed by the parties. All sales taxes applicable to the transaction (including any applicable New Housing Rebate) will be calculated as of the closing of the subject transaction and will be applied in accordance with the Legislation. In the event that there is a change to the Legislation after the execution of this Agreement but prior to the closing of this transaction, the Vendor shall make all applicable adjustments to the sales taxes payable in this transaction in accordance with all applicable Legislation.
3. The Purchaser hereby irrevocably assigns to the Vendor the benefit of the New Housing Rebate, if applicable to this transaction.
4. The Purchaser hereby warrants and agrees that:
 - (a) The Real Property is being purchased as the Purchaser's primary place of residence and that the Purchaser will take possession and occupy the Dwelling forthwith upon closing and will not allow occupancy of the Dwelling by any other individual (other than the Purchaser's immediate family) as a place of residence prior to occupancy by the Purchaser;
 - (b) Purchaser will execute and deliver on closing such documents as the Vendor may require to confirm the warranties and agreements contained in this Schedule; and
 - (c) Purchaser will submit to the Vendor on closing, prior to or after closing at the Vendor's request, an application or applications in the manner and in the form prescribed containing prescribed information required by the Legislation for the New Housing Rebate
5. The Purchaser acknowledges that the Vendor has calculated the Purchase Price on the assumption that the New Housing Rebate will be applicable to this transaction. If for any reason the Purchaser does not qualify for the New Housing Rebate, then the Purchaser shall be fully responsible for paying to the Vendor the amount of such New Housing Rebate plus interest at the Bank of Montreal prime rate from the date the statement of adjustments is calculated plus any fees, penalties or damages imposed on the Vendor under the Legislation. For greater certainty, the Purchaser acknowledges that the New Housing Rebate described above is for individuals buying a new house or residential condominium as a primary place of residence for themselves or a relation. It does not include the rebate for HST which may be available to investors buying a new house or residential condominium as a rental property (the GST/HST "**New Residential Rental Property Rebate**"). If the Property is being purchased for investment purposes, the Purchaser will not qualify for the New Housing Rebate and the Purchaser shall be responsible for paying to the Vendor an amount equal to the New Housing Rebate which has been included in the Purchase Price hereunder. All Purchasers buying a new house or residential condominium as a rental property are responsible for applying for the New Residential Rental Property Rebate after the closing of the subject transaction.



Purchaser



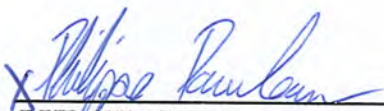
Purchaser



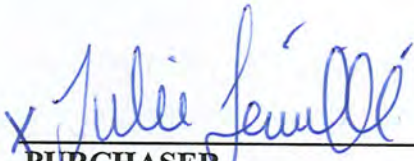
Vendor

6. The Purchaser acknowledges and agrees that the Purchase Price set forth in this Agreement has been arrived at on the basis that the Purchase Price includes all Extras, premiums and bonuses and excludes any Extras ordered pursuant to a Change Order following the date of execution of this Agreement. The Purchaser acknowledges that the purchase of additional Extras following the date of execution of this Agreement may push the Purchase Price of the Real Property into a different sales tax category for the purposes of determining the amount of the New Housing Rebate, and that this may lower the amount of said New Housing Rebate applicable to the transaction. If a reduced New Housing Rebate is applicable under the Legislation due to the purchase of Extras following the date of execution of this Agreement, the Purchaser agrees to compensate the Vendor for the, amount by which the New Housing Rebate used to calculate the Purchase Price listed in the "Purchase Price" section herein exceeds the actual applicable New Housing Rebate, such amount to be credited to the Vendor as an adjustment on closing.
7. The Parties acknowledge that for purposes of Land Transfer Tax, the total consideration to be inserted in the Transfer/Deed of Land for this transaction shall be the total Purchase Price including Extras excluding HST and the New Housing Rebate, namely the amount of \$632,594.77. The Purchaser is responsible for payment in full of the Land Transfer Tax and the cost of registration of the transfer.
8. The Purchaser agrees to execute all further documents required by the Vendor after closing to give effect to this Schedule.

Dated at Embrun, ON this 15 day of June, 2021


PURCHASER

VALECRAFT HOMES (2019) LIMITED


PURCHASER


PER:


DATE:

PROJECT: PLACE ST THOMAS 6 LOT: 23

NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 6

PURCHASERS: Philippe Pamerleau and Julie Leveille

Printed: 22-Jun-21 1:08 pm

LOT NUMBER		PHASE	HOUSE TYPE	CLOSING DATE
23		6	826 THE BRADLEY 3 BED ELEV B	29-Mar-22
ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
39	1	GREAT ROOM - DELETE WINDOW ABOVE FIREPLACE IN GREAT ROOM	\$ 0.00	Each
32561	Note: *** INCLUDED IN ITEM #41 ***			
40	1	GREAT ROOM - DELETE ITEM # 17 - (RE: QUOTE LEVEL FIREPLACE TILE Ceratec Sichenia 4.3" x 17.7" Pavel Dolmen 1124)	-\$8,425.00	Each
32525	Note:			
41	1	GREAT ROOM - FIREPLACE - SUPPLY & INSTALL QUOTE LEVEL TILE Ceratec Sichenia Pave House Bianco ON FIREPLACE FACE - APPROXIMATELY 6 1/2 FEET OF TILE CENTERED ON 7' WALL BETWEEN WINDOWS. FLOOR TO CEILING (2 STOREY APPLICATION) + HORIZONTAL 1/3 STAGGERED INSTALLATION	\$ 8,627.00	Each
34350	Note: - As per Floorplan and wall tile Sketches dated June 15, 2021 - Fireplace Great Room Wall – Approx. 6 1/2 foot width centered between rear great room windows - Floor to ceiling (2 story application) - 2nd Storey Window above fireplace delete (item #39) - Fireplace Mantle Deleted (item #42) - Approx. 3 inch space between window trim & tile on both sides			
42	1	GREAT ROOM - DELETE STANDARD FIREPLACE MANTLE	\$ 0.00	Each
34376	Note: As per Floorplan dated June 15, 2021. Due to extremely high heat temperatures exiting the top vent of the fireplace and the potential for damages to heat sensitive electronics and/or wall decor installed above the fireplace, the Purchasers acknowledge that the Builder recommends installing a fireplace fan kit as well as maintaining the Beam Mantle above the fireplace			
43	1	KITCHEN/DINETTE - DELETE ITEM # 6 - (RE: EXTEND KITCHEN ISLAND TO 12 FT - LEVEL 2 CABINetry)	-\$2,457.00	Each
32519	Note:			
44	1	KITCHEN/DINETTE - EXTEND KITCHEN ISLAND TO APPROXIMATELY 10 FEET. CABINetry TO EXTEND TO APPROX. 9 FEET AND FLUSH BREAKFAST BAR TO EXTEND TO APPROX. 10 FEET (L-SHAPED BREAKFAST BAR ON SIDE CLOSEST TO PATIO DOOR. (LEVEL 2 CABINetry and Builder's Standard Countertops)	\$ 1,298.00	Each
32520	Note: - As per Floorplan and Kitchen Sketch #2 dated June 15, 2021 - See item 5 for upgrade to countertop			
45	1	KITCHEN/DINETTE - DELETE ITEM # 8 - (RE: UPC9-1C LEVEL 2 CABINetry IN OPTIONAL KITCHEN #3)	-\$1,811.00	Each
32521	Note:			
46	1	KITCHEN/DINETTE - DELETE ITEM # 9 - (RE: UPC9-1C LEVEL 2 CABINetry IN EXTENDED PANTRY)	-\$725.00	Each
34377	Note:			
47	1	KITCHEN/DINETTE - UPGRADE TO 40IN UPPERS WITH FILLER DETAIL TO UPGRADED BULKHEAD IN KITCHEN & EXTENDED PANTRY IN DINETTE - OPTIONAL KITCHEN 3 - LEVEL 2 CABINetry.	\$ 1,092.00	Each
32522	Note: - As per Floorplan Sketch dated June 15, 2021 - As per UPC Sketch dated June 15, 2021 - Does not include valance - See item #5 & #7			
48	1	KITCHEN/DINETTE - DELETE ITEM # 10 - (RE: QUARTZ LEVEL 1 COUNTERTOP W/ FLUSH BBAR & 12FT EXTENSION)	-\$7,638.00	Each
32523	Note:			

49 - Kitchen/Dinette - Delete Item #11 - (RE: Quartz level 1 countertop in desk area of optional pantry)

Vendor Initials:

Purchaser Initials:

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 1,506-1

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CONSTRUCTION SCHEDULING APPROVAL	
PER:	
DATE:	

NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 6

PURCHASERS: Philippe Pamerleau and Julie Leveille

Printed: 15-Jun-21 5:28 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
23	6	826 THE BRADLEY 3 BED ELEV B	29-Mar-22

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
50 32524		1 - <i>KITCHEN/DINETTE</i> - KICTHEN - SUPPLY & INSTALL QUARTZ LEVEL 3 COUNTERTOP IN OPTIONAL KITCHEN 3. INCLUDES L-SHAPED FLUSH BREAKFAST BAR ON CUSTOM EXTENDED ISLAND + DESK AREA IN DINETTE OPTIONAL PANTRY. Note: - As per Floorplan Sketch dated June 15, 2021 - As per Kitchen Sketch #2 dated June 15, 2021 - Eased edge as per Countertop Edge Profile Sketch dated June 15, 2021 - See item #5, #7 & #44	\$ 10,063.00	Each
51 32527		1 - <i>MAIN BATHROOM</i> - CLARIFICATION: ITEM # 19 - BANK OF DRAWERS LOCATED ON SIDE OF VANITY CLOSEST TO BEDROOM 2 CLOSET. SINK APPROXIMATELY CENTERED IN VANITY. Note: - As per Floorplan Sketch dated June 15, 2021	\$ 0.00	Each
52 32528		1 - <i>KITCHEN/DINETTE</i> - DELETE ITEM # 35 - (RE: SILVER LEVEL FLOOR TILE IN KITCHEN & DINETTE) Note:	-\$1,650.00	Each
*53 71861 33635		1 - <i>KITCHEN/DINETTE</i> - HARDWOOD - LAUZON ENGINEERED HARDWOOD - 4-1/8" WIRE BRUSHED - KITCHEN / DINETTE Note: - As per Floorplan Sketch dated June 15, 2021 - Includes Dinette	*\$ 1,123.00	Each
54 225 32531		23 - - INTERIOR DOOR - HARDWARE - MODERN HALIFAX LEVER - - ALL AREAS - . Note: - Including interior garage door & kitchen pantry door.	\$ 1,219.00	
*55 112233 33636		1 - <i>FOYER</i> - DOOR - HARDWARE - MODERN TAVARIS EXTERIOR GRIPSET - IRON BLACK Note: - As per Floorplan Sketch dated June 15, 2021	*\$ 489.00	Each
*56 96367 32534		1 - - RAILING - OAK MODERN 3 1/2" POSTS, COLONIAL HANDRAILS & GUNN METAL SQUARE SPINDLES Note: - As per Floor Plan Sketch dated June 25, 2021 - Routed post & gunn metal grey brakets - Includes open finished staircase to basement (see item #25)	*\$ 3,245.00	Each
57 617 32574		1 - <i>KITCHEN</i> - WATER LINE ROUGH - IN TO FRIDGE, DOES NOT INCLUDE CONNECTION Note:	\$ 285.00	Each
*58 90924 32572		1 - <i>KITCHEN/DINETTE</i> - CABINETRY - UPGRADE TO 2 KITCHEN CABINETRY DOOR COLOURS Note:	*\$ 500.00	Each
59 32540		1 - <i>KITCHEN/DINETTE</i> - CLARIFICATION - ITEM # 14 - (RE: POTS & PANS DRAWERS LOCATED NEXT TO MICROWAVE/WALL OVEN CABINET) Note: - As per Kitchen Sketch #2 dated June 15, 2021		Each
*60 12688 32542		51 - <i>KITCHEN/DINETTE</i> - CABINETRY ACCESSORIES - UPGRADE CABINETRY HARDWARE IN KITCHEN ONLY AS PER SAMPLE BOARD Note: - See item #5, #7, #14, #44 & #78 - Hardware # POI-R7040-128-BSAE	*\$ 1,020.00	

Vendor Initials:

Purchaser Initials:

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 1,506-2

InvoiceSQL.rpt 16May20

CONSTRUCTION SCHEDULING APPROVAL

PER:

DATE:

NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 6

PURCHASERS: Philippe Pamerleau and Julie Leveille

Printed: 15-Jun-21 5:28 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
23	6	826 THE BRADLEY 3 BED ELEV B	29-Mar-22

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
61 32543		1 - <i>KITCHEN/DINETTE</i> - SUPPLY & INSTALL BRONZE LEVEL TILE BACKSPLASH IN OPTIONAL KITCHEN 3 - INCLUDES BEHIND CHIMNEY HOODFAN & DESK AREA IN OPTIONAL PANTRY. HERRINGBONE PATTERN INSTALLATION. Note: - As per Wall Tile installation sketch dated June 15, 2021	\$ 821.00	Each
62 33638		1 - <i>FOYER</i> - TILE - FLOOR - UPGRADE - BRONZE - FOYER & POWDER ROOM Note: - As per Floorplan Sketch dated June 15, 2021 - As per Floor Tile installation sketch dated June 15, 2021 - Includes Foyer & Powder Room	\$ 418.00	Each
63 33639		1 - <i>FOYER</i> - TILE - FLOOR - INSTALLATION - STAGGERED - FOYER & POWDER ROOM Note: - As per Floor Tile installation sketch dated June 15, 2021 - As per Floor Plan Sketch dated June 15, 2021	\$ 314.00	Each
64 704 32575		1 - - CERAMIC TILE - GROUT COLOR PER COLOUR Note:	\$ 75.00	Each
*65 11 32549		*1 - <i>MAIN BATHROOM</i> - TILE - FLOOR - UPGRADE - SILVER -- MAIN BATHROOM (18) - SILVER Note: - As per Floorplan Sketch dated June 15, 2021 - As per Floor Tile installation sketch dated June 15, 2021	*\$ 360.00	Each
66 24 32550		1 - <i>MAIN BATHROOM</i> - TILE - WALL - UPGRADE - BRONZE - - MAIN BATHROOM (18) - BRONZE Note: - As per Wall Tile installation sketch dated June 15, 2021	\$ 312.00	Each
67 32551		1 - <i>ENSUITE BATH</i> - UPGRADE 5 PIECE ENSUITE BATHROOM WALK-IN SHOWER TO 2-SIDED CLEAR GLASS ENCLOSURE WITH PIVOT DOOR & CHROME HARDWARE Note: - As per Floorplan Sketch dated June 15, 2021 - See item #21	\$ 3,879.00	Each
68 118344 33641		1 - <i>KITCHEN</i> - KITCHEN SINK - FRANKE CUBE CUX110-30-CA SINGLE BOWL STAINLESS STEEL 9" DEEP UNDERMOUNT SINK Note: - See item #50 (solid surface countertop)	\$ 855.00	Each
69 624 33644		1 - <i>KITCHEN</i> - KITCHEN FAUCET - DELTA ESSA 9113 - BL - DST MATTE BLACK SINGLE HANDLE PULL-DOWN Note: - See item #50	\$ 494.00	Each
70 28052 33646		3 - - BATHROOM SINK - AMERICAN STANDARD BOXE UNDERMOUNT SINK 0315 - 000 Note: - Solid Surface Countertops: See item #21 & #23 (Ensuite Bathroom) + item #20 (Main Bathroom)	\$ 855.00	
71 28058 33648		4 - - BATHROOMS - DELTA TRINSIC SINGLE HANDLE HIGH - ARC LAVATORY FAUCET 559HA -BL- DST MATTE BLACK Note: - Ensuite Bathroom x2 (item #21& #23) - Main Bathroom x1 (item #20) - Powder Room x1	\$ 1,900.00	
*72 28070 33649		1 - <i>MAIN BATHROOM</i> - BATHROOMS - DELTA TRINSIC TUB/SHOWER FAUCET T14459-BL-R10000-UNBX WITH H2O KINETIC RAINCAN SHOWER HEAD MATTE BLACK INCLUDING MATCHING OVERFLOW AND DRAIN Note:	*\$ 481.00	Each

Vendor Initials:

Purchaser Initials:

PREPARED BY: Valerie Gendron

LOCKED BY:
PE 1,506-3

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CONSTRUCTION SCHEDULING APPROVAL
PER:
DATE:

NON STANDARD EXTRAS (680)

Place St. Thomas - Phase 6

PURCHASERS: Philippe Pamerleau and Julie Leveille

Printed: 15-Jun-21 5:28 pm

LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
23	6	826 THE BRADLEY 3 BED ELEV B	29-Mar-22

ITEM	QTY	EXTRA / CHANGE	PRICE	INTERNAL USE
*73 28066	1	ENSUITE BATH - BATHROOMS - DELTA TRINSIC SHOWER FAUCET T14259-BL-R10000-UNBX WITH H2O KINETIC RAINCAN SHOWER HEAD MATTE BLACK	*\$ 277.00	Each
33652		Note: - See item #21		
74 28062	1	ENSUITE BATH - BATHROOMS - DELTA TRINSIC ROMAN TUB FAUCET T2759-BL MATTE BLACK INCLUDING MATCHING OVERFLOW AND DRAIN	\$ 589.00	Each
33654		Note: - See item #21		
75 32560	1	GREAT ROOM - UPGRADE FIREPLACE TO NAPOLEAN ASCENT LINEAR BL36 GAS FIREPLACE WITH BLACK DECORATIVE FRONT TRIM. FIREPLACE RAISED APPROXIMATELY 18IN FROM FINISHED FLOOR. <i>so fireplace is</i>	\$ 893.00	Each
		Note: - As per Floorplan Sketch dated June 15, 2021 - See item #41		
*76 112242	2	OFFICE - DOOR - INTERIOR - SINGLE PANEL PAINTED FRENCH DOOR - 1 LITE - CLEAR - PRICE PER DOOR IN LIEU OF STANDARD SWING DOOR	*\$ 1,226.00	
33656		Note: - As per Floorplan Sketch dated June 15, 2021 - Double swing doors		
77 34372	1	KITCHEN - DELETE ITEM # 15 - (RE: WASTE BASKET)	-\$364.00	Each
		Note:		
*78 83	1	KITCHEN - LOWER CABINETS - RECYCLE BIN (300MM - 600MM)	*\$ 920.00	Each
34364		Note: - As per Kitchen Sketch #2 dated June 15, 2021 - Located directly next to utensil bank of drawers (NOT side of dishwasher) - Cargo Waste Bin #4614100 - Approx. 450mm		
*79 120186	*1	KITCHEN - KITCHENAID RANGE HOOD - MODEL # KVWB406DSS - 400 CFM STAINLESS STEEL - Includes Builder's Standard Backsplash to the Ceiling	\$ 1,440.00	Each
34435		Note: - As per Kitchen Sketch dated June 15, 2021		
80 34373	1	ENSUITE BATH - DELETE ITEM # 36 - (RE: SILVER FLOOR TILE IN 5 PC ENSUITE BATHROOM)	-\$785.00	Each
		Note:		
*81 9	*1	ENSUITE BATH - TILE - FLOOR - UPGRADE - GOLD - - ENSUITE BATHROOM OPTIONAL - GOLD	*\$ 1,050.00	Each
34374		Note: - As per Floorplan Sketch dated June 15, 2021 - See item #21 - As per Floor Tile installation sketch dated June 15, 2021		
82 133	1	ENSUITE BATH - TILE - WALL - UPGRADE - FLOOR TILE IN LIEU OF WALL - GOLD - - SHOWER SURROUND - ENSUITE BATHROOM - OPTIONAL (20) - GOLD	\$ 920.00	Each
34375		Note: - As per Wall Tile Installation Sketch dated June 15, 2021 - Installed on only 2 walls (See item #67) - See item #21		
83 871	1	KITCHEN - CABINETRY - ADJUST KITCHEN CABINETRY TO ACCOMMODATE NON-STANDARD REFRIGERATOR SIZE.	\$ 86.00	Each
34379		Note: - Purchaser(s) acknowledge that the number & or size of doors may be reduced in the surrounding cabinetry to accommodate. - As per Kitchen Sketch #2 dated June 15, 2021		

Vendor Initials:

Purchaser Initials:

PREPARED BY: Valerie Gendron

LOCKED BY:

PE 1,506-4

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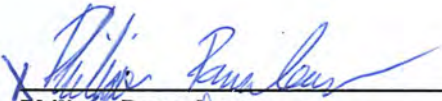
CONSTRUCTION SCHEDULING APPROVAL	
PER:	_____
DATE:	_____

NON STANDARD EXTRAS (680)			
Place St. Thomas - Phase 6			
PURCHASERS: Philippe Pamerleau and Julie Leveille			Printed: 15-Jun-21 5:28 pm
LOT NUMBER	PHASE	HOUSE TYPE	CLOSING DATE
23	6	826 THE BRADLEY 3 BED ELEV B	29-Mar-22
ITEM	QTY	EXTRA / CHANGE	PRICE
84	1	- DELETE ALL BATHROOM MIRRORS THROUGHOUT	\$ 0.00
34380	Note:		Each
85	1	- KITCHEN - DELETE ITEM # 13 - (RE: KITCHEN AID WALL OVEN)	-\$4,988.00
34578	Note:		Each
*86 999	1	- ORBITAL UPGRADES AS PER ATTACHED QUOTE & SKETCH.	* \$ 3,853.30
34579	Note:	- Orbital Estimate No#: OR5775 Rev.11 dated 05/25/2021	Each
*87 998	1	- S&S ELECTRIC UPGRADES AS PER ATTACHED QUOTE & SKETCH.	* \$ 15,235.79
34580	Note:	S&S Electric Estimate No#: SS4525 Rev.07 dated 05/26/2021	Each

Sub Total	\$36,115.09
HST	\$0.00
Total	\$36,115.09

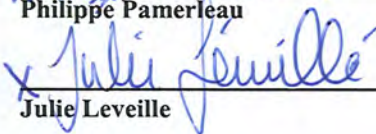
Payment Summary	
Paid By	Amount
Total Payment:	

PURCHASER:




Philippe Pamerleau
15-Jun-21
DATE

PURCHASER:



Julie Leveille
15-Jun-21
DATE

VENDOR:



PER: Valecraft Homes (2019) Limited
June 23, 2021
DATE:

CONSTRUCTION SCHEDULING APPROVAL

PER:

DATE:

SCHEDULE B
Adjustments to Purchase Price or Balance Due on Closing

PART I Stipulated Amounts/Adjustments

These are additional charges, fees or other anticipated adjustments to the final purchase price or balance due on Closing, the dollar value of which is stipulated in the Purchase Agreement and set out below.

1. Preparation of transfer fee by Builder's solicitor as stated in Clause #22 of the Agreement of Purchase & Sale. \$275.00 + HST= \$310.75

PART II All Other Adjustments – to be determined in accordance with the terms of the Purchase Agreement

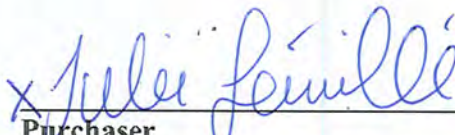
These are additional charges, fees or other anticipated adjustments to the final purchase price or balance due on Closing which will be determined after signing the Purchase Agreement, all in accordance with the terms of the Purchase Agreement.

1. Land Transfer Tax based on final purchase price less HST as stated in Clause #22 of the Agreement of Purchase & Sale.
2. Property Taxes as per final statement of adjustments as stated in Clause #11 of the Agreement of Purchase & Sale.
3. Real Estate Transaction Levy Surcharge as per final statement of adjustments as stated in Clause #13 of the Agreement of Purchase & Sale.
4. Administrative charges to set up assessment roll number and change of records as per final statement of adjustments as stated in Clause #14 of the Agreement of Purchase & Sale.
5. Delay in Closing by Purchaser of \$150.00 +HST per day as per final statement of adjustments as stated in Clause #15 of the Agreement of Purchase & Sale.
6. Maximum GST/HST rebate based on final purchase price less HST as stated in Schedule "G" Clause # 8 of the Agreement of Purchase & Sale.
7. Tarion Enrolment Fee based on final purchase price less HST as stated in Clause #12 of the Agreement of Purchase & Sale. Tarion Enrolment Calculation Table can be viewed on-line at tarion.com. See chart on page 11 as a guide.
8. Additional upgrades/deletions contained in the attached Amendment to the Agreement of Purchase and Sale dated June 15, 2021.

Signed at Embrun, ON, this 15 day of June, 2021.


Purchaser

Valecraft Homes (2019) Limited


Purchaser


Per:

June 23, 2021
Date:

Lot #: 23 - Phase 6

Project: Place St. Thomas 6

Schedule "W4"
Granite & Variegated Quartz Colour Variation

Purchaser's name: Philippe Pamerleau Lot no: 23 Plan #: 50M-352
Purchaser's name: Julie Leveille Project: PLACE ST THOMAS 6
Home Phone: 613-608-5575 Model: 826 Bradley 3Bed "B" Std
Work Phone: 343-550-0769 Closing Date: March 29, 2022
E-Mail (1): ppamerle@gmail.com E-Mail (2): julieleveille08@hotmail.com

Valecraft Homes (2019) Limited continues to provide the best in class sales and service. We recognize the importance of your home to you, our valued customer.

Granite & Variegated Quartz countertops are an elegant addition to your home. However, there are some things of which you should be aware.

Due to the natural composition of **Granite**, inherent variations in texture, colour and consistency are to be expected and considered as normal.

During the process of manufacturing **Variegated Quartz** to achieve a more natural stone look, variations in the appearance between the sample & the slab are to be expected.

Valecraft Homes (2019) Limited strongly suggests that you attend an appointment with our granite/quartz supplier two to three months prior to closing to view the granite/variegated quartz slabs available in the colour you have already chosen. A representative from our supplier will contact you to set up a mutual date & time for the appointment.

I/we, Philippe Pamerleau & Julie Leveille

have read and fully understand the aforementioned recommendation set forth by the builder and as such hereby release VALECRAFT HOMES (2019) LIMITED from future responsibility with respect to a variation in colour of granite/ variegated quartz countertops.

☒

We accept this opportunity

☐

We decline this opportunity

Project: PLACE ST THOMAS 6

LOT NO: 23

Philippe Pamerleau
Purchaser

June 15, 2021
Date:

Julie Leveille
Purchaser

June 15, 2021
Date:

[Signature]
Valecraft Homes (2019) Limited

June 23, 2021
Date:

Appointment date given: _____ Spoke with/left message: _____

Time scheduled: _____ Date & Time: _____

Schedule "W2"

NON RESILIENT FLOORING WAIVER

for

HARDWOOD FLOORING

Hardwood flooring is both a practical and elegant flooring option suitable for use in many areas of the home.

Increasingly however inquiries into the use of hardwood flooring in non-conventional areas of the home such as kitchens have prompted a need to forewarn and to heed caution to this optional upgrade.

Valecraft Homes (2019) Limited recommends strongly against the use of hardwood flooring in unconventional areas of the home such as the kitchen areas due to the natural absorption properties of hardwood when in contact with water or high-humidity areas. Hardwood flooring which has taken on water or excessive moisture will cup and/or buckle and ultimately prove to be costly to repair.

It is for this reason that VALECRAFT HOMES (2019) LIMITED will not guarantee nor provide warranty beyond manufacturing defect for installation of hardwood flooring in any of the aforementioned areas.

Should you decide to proceed against the Builder's recommendations, extreme caution and care must be taken not to leave any standing water on these floors for any length of time. All other care and maintenance instructions with respect to hardwood flooring must further be followed.

I/We, Philippe Pamerleau & Julie Leveille have read and fully understand the aforementioned caution and recommendation set forth by the builder and as such hereby release VALECRAFT HOMES (2019) LIMITED from future responsibility with respect to flooring damage caused as a result of water and/or excessive moisture.

Project: PLACE ST THOMAS 6

LOT NO: 23

x Philippe Pamerleau
(Signature)

June 15, 2021
(Date)

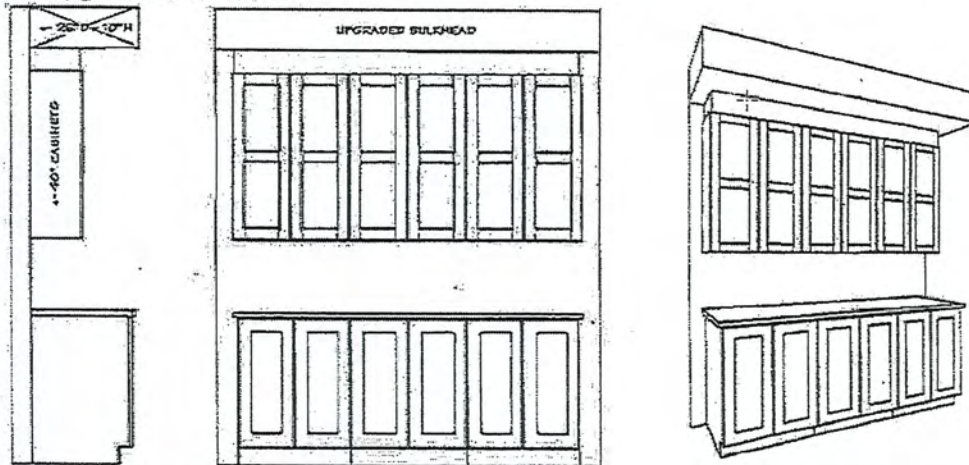
x Julie Leveille
(Signature)

June 15, 2021
(Date)

UPC Sketch - June 15, 2021

Item # 47

- Includes upgrade to 40" uppers with filler detail on upper kitchen cabinetry to upgraded bulkhead.



Site: Place St. Thomas 6

Purchaser: Philippe Pamerleau

Plan No: 50M-352

Lot: Lot 23 - Phase 6

Purchaser: Julie Leveille

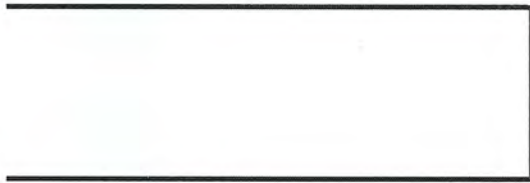
Date: June 15, 2021

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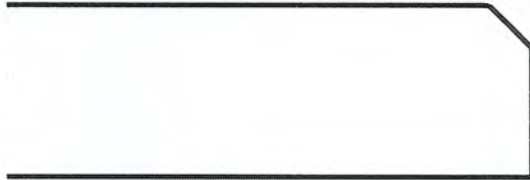
Valecraft
Homes (2019) Limited

Standard Edge Profiles for Granite & Quartz

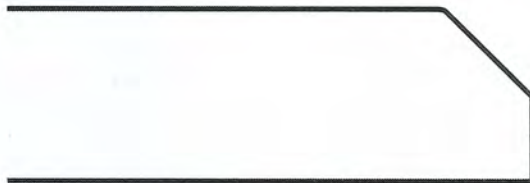


Eased Edge

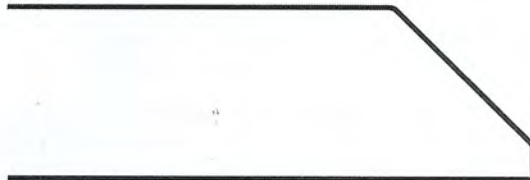
Kitchen,
Main Bathroom,
5PC Ensuite Bathroom



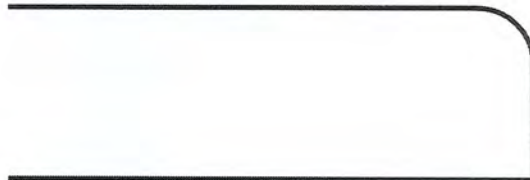
1/4 Bevel



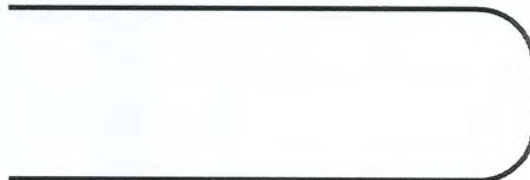
1/2 Bevel



3/4 Bevel



**Pencil Top Only
with Square Bottom**



Pencil Top and Bottom



1/2 Bullnose



Full Bullnose

Project: Place St. Thomas 6

Purchaser: Philippe Pamerleau

Plan #: 50M-352

Purchaser: Julie Leveille

Lot: 23 - Phase 6

Date: June 15, 2021

Model: #826, "B", Std Bradley 3Bed

Upgrade #: 20, 23, 50, 4, 21

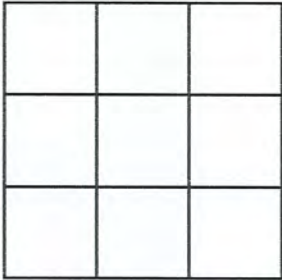




Tile Installation Options

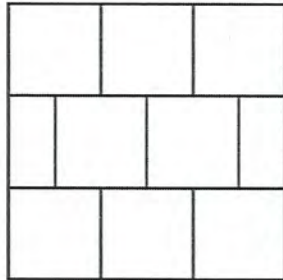
FLOOR TILE

Standard square

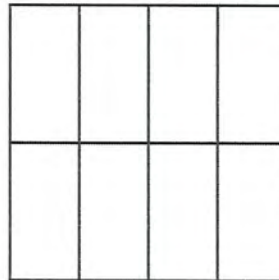


Laundry Room

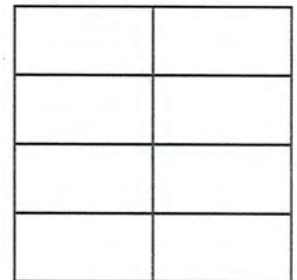
Square brick



Rectangular
front to back of the house

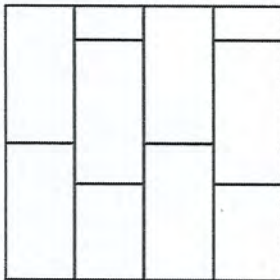


Rectangular
side to side of the house



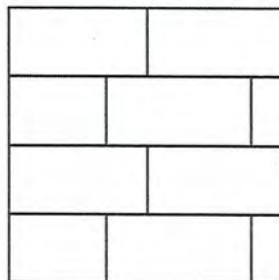
Main Bathroom,
5PC Ensuite Bathroom,

Rectangular 1/3 staggered
front to back of the house

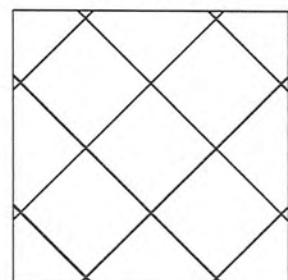


Foyer, Powder Room,

Rectangular 1/3 staggered
side to side of the house



45 degree



Project: Place St. Thomas 6

Plan #: 50M-352

Lot: 23 - Phase 6

Model: #826, "B", Std Bradley 3Bed

Purchaser: Philippe Pamerleau

Purchaser: Julie Leveille

Date: June 15, 2021

Upgrade #: 62, 63, 65, 81, 21

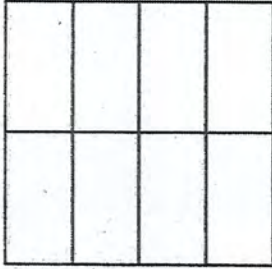




Tile Installation Options

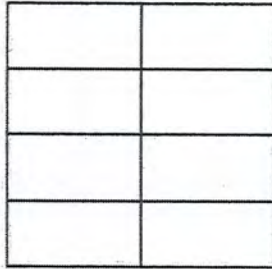
WALL TILE

Vertical stacked



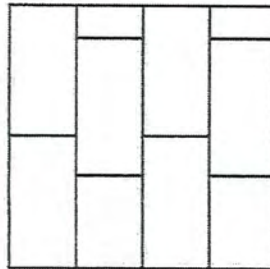
Ensuite Bathroom
Walk-In Shower

Horizontal stacked

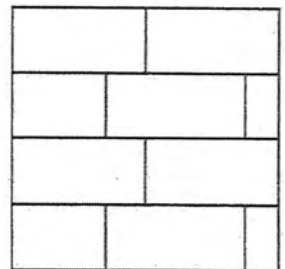


Main Bathroom,

Vertical 1/3 offset brick

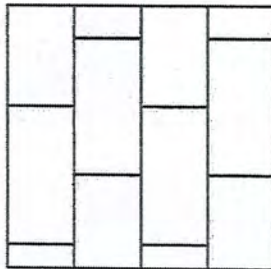


Horizontal 1/3 offset brick

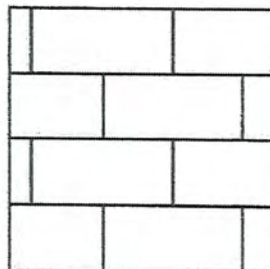


Fireplace,

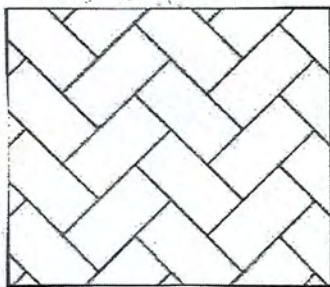
Vertical brick



Horizontal brick



Herringbone Pattern



Kitchen Backsplash

Project: Place St. Thomas 6

Plan #: 50M-352

Lot: 23 - Phase 6

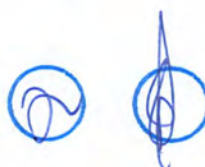
Model: #826, "B", Std Bradley 3Bed

Purchaser: Philippe Pamerleau

Purchaser: Julie Leveille

Date: June 15, 2021

Upgrade #: 41, 61, 66, 82, 67, 21, 5, 7





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Tel: (613) 748-0432
Fax: (613) 748-0355

Estimate No#: OR5775 Rev.11

Customer Copy

Customer:

Philippe Pamerleau & Julie Leveille

Home: 613-608-5575; 613-277-0765
Email: ppamerle@gmail.com;
julieleveille08@hotmail.com

Builder:
Project:
Lot:
Closing Date:

VALECRAFT HOMES (2019) LTD.
[VALECRAFT HOMES (2019) LTD.]
Embrun-Place St Thomas Singles
Ph 6
PST Phase 6 Lot 23
03/29/2022

Salesperson: Jason Thompson (OR)
Date: 05/25/2021



Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Great Room	1.00	(4) Port Plate - (1) Phone CAT5e & (2) Data CAT5e & (1) Cable RG6 Outlets (4) Port Plate - (1) Phone CAT5e & (2) Data CAT5e & (1) Cable RG6 Outlets - Location as shown on floor plan - approx centered on wall		\$	\$0.00
Master Bedroom	1.00	(4) Port Plate - (1) Phone CAT5e & (2) Data CAT5e & (1) Cable RG6 Outlets (4) Port Plate - (1) Phone CAT5e & (2) Data CAT5e & (1) Cable RG6 Outlets - Location as shown on floor plan		\$	\$0.00
Den	1.00	(4) Port Plate - (1) Phone CAT5e & (2) Data CAT5e & (1) Cable RG6 Outlets (4) Port Plate - (1) Phone CAT5e & (2) Data CAT5e & (1) Cable RG6 Outlets - Location as shown on floor plan		\$	\$0.00
N/A	2.00	Vacuum Rough-In Outlet Vacuum Rough-In Outlets		\$	\$0.00
Great Room	1.00	Direct 2" Conduit w/ Wall Plates Direct 2" Conduit w/ Wall Plates - Location as shown on floor plan - Conduit installed in-wall to conceal wires connected to wall mounted TV - approx 60 inches from floor		\$162.00	\$162.00
Master Bedroom	1.00	Direct 2" Conduit w/ Wall Plates Direct 2" Conduit w/ Wall Plates - Location as shown on floor plan - Conduit installed in-wall to conceal wires connected to wall mounted TV - approx 50 inches from floor		\$162.00	\$162.00
Great Room	2.00	(1) Klipsch 6.5" Pivoting In-Ceiling Speaker (KLI-DS160CDT) (1) Klipsch 6.5" Pivoting In-Ceiling Speaker (KLI-DS160CDT) - Location as shown on floor plan - Includes ceiling bracket and wiring - Does not include A/V receiver		\$437.00	\$874.00
2nd Floor Ceiling	2.00	(1) Klipsch 6.5" Pivoting In-Ceiling Speaker (KLI-DS160CDT) (1) Klipsch 6.5" Pivoting In-Ceiling Speaker (KLI-DS160CDT) - Location as shown on floor plan - Includes ceiling bracket and wiring - Does not include A/V receiver		\$437.00	\$874.00
Great Room	1.00	Master Jack - Speaker wiring unterminated Master Jack - Location as shown on floor plan - Speaker wiring unterminated		\$	\$0.00

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Fax: (613) 748-0355

Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Great Room	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan - approx 60 inches from floor		\$198.00	\$198.00
Master Bedroom	1.00	(1) Port Plate - (1) Data CAT6 Outlet (1) Port Plate - (1) Data CAT6 Outlet - Location as shown on floor plan - approx 60 inches from floor		\$198.00	\$198.00
Various Locations	6.00	Upgrade Standard Data CAT5e to Data CAT6 Outlet Upgrade Standard Data CAT5e to Data CAT6 Outlet		\$40.00	\$240.00
Den	1.00	Direct 2" Conduit w/ Wall Plates Direct 2" Conduit w/ Wall Plates - Location as shown on floor plan - at plug height directly into the ceiling space of the unfinished basement		\$162.00	\$162.00
Great Room	1.00	32"-70" Low Profile Tilting TV Wall Mount (PRO-SM-3270T) 32"-70" Low Profile Tilting TV Wall Mount (PRO-SM-3270T) - Location as shown on floor plan - Includes installation of wall bracket		\$190.00	\$190.00
Master Bedroom	1.00	47"-70" Full Motion Dual Arm Articulating TV Wall Mount (PRO-SM-4270DFM) 47"-70" Full Motion Dual Arm Articulating TV Wall Mount (PRO-SM-4270DFM) - Location as shown on floor plan - Includes installation of wall bracket		\$350.00	\$350.00
Customer Subtotal:					\$3,410.00
HST:					\$443.30
Total:					\$3,853.30

*** Total price includes all applicable taxes

DocuSigned by:



C4DB8B68FEFC45C...

DocuSigned by:



F85A0105F80F400...

Customer Signature

July 19, 2021 10:24 AM EDT

Date

www.orbitalti.com



Tel: (613) 748-0432
Fax: (613) 748-0355

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Estimate No#: SS4525 Rev.07

Customer Copy

Customer:

Philippe Pamerleau & Julie Leveille
Home: 613-608-5575; 613-277-0765
Email: ppamerle@gmail.com;
julieleveille08@hotmail.com

Builder: VALECRAFT HOMES (2019) LTD.
Project: [VALECRAFT HOMES (2019) LTD.]
Lot: Embrun-Place St Thomas Singles
Closing Date: Ph 6
PST Phase 6 Lot 23
03/29/2022

Salesperson: Jason Thompson
Date: 05/26/2021

Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Master Bedroom	1.00	15 Amp Standard Plug Add 15 AMP plug approx 50 inches from floor beside conduit	B	\$120.00	\$120.00
Front Out	1.00	15 Amp Separate Circuit Soffit Plug w/ Switch 15 Amp Separate Circuit Soffit Plug w/ Switch for Christmas lights	D	\$327.00	\$327.00
Kitchen	2.00	Standard Light Outlet (Keyless) Relocate standard fixture and leave as keyless fixture and add 2 keyless fixtures (3 in total) for future pendant lighting	E	\$129.00	\$258.00
Kitchen	1.00	6 * 4" LED slim Pot Light White (AFR4C-0930-WH) Add 6 LED Halo potlights (AFR4-0930-WH) on added switch	F	\$1,397.00	\$1,397.00
Kitchen	1.00	Single Pole Switch Single Pole Switch for kitchen potlights	F	\$105.00	\$105.00
Great Room	1.00	6 * 4" LED slim Pot Light White (AFR4C-0930-WH) Add 6 LED Halo potlights (AFR4-0930-WH) on added switch	G	\$1,397.00	\$1,397.00
Great Room	1.00	Single Pole Switch Single Pole Switch for great room potlights	G	\$105.00	\$105.00
Various Locations	2.00	15 Amp USB Charger Receptacle USB Charger Receptacle in kitchen and master bedroom (standard items)	H	\$	\$0.00
Great Room	1.00	15 Amp Standard Plug Add 15 AMP plug approx 60 inches from floor beside conduit	I	\$120.00	\$120.00
Kitchen	1.00	Wire for Wall Oven or Cooktop - 40 Amp 120/240V Wire for Wall Oven or Cooktop - 40 Amp 120/240V - included in item 13 B1A	J	\$	\$0.00
Foyer	2.00	4" LED slim Pot Light White (AFR4C-0930-WH) Delete standard fixture and 2 LED Halo potlights (AFR4-0930-WH) on existing switch	K	\$205.00	\$410.00

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Tel: (613) 748-0432
Fax: (613) 748-0355

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Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Front Out	1.00	Center standard black potlight - on upgraded lutron dimmer controlling all front, exterior lighting	L	\$	\$0.00
Various Locations	1.00	Delete standard fixture and leave as keyless in powder room, above stairs (relocate to center of stair well), bedroom #2, bedroom #3, main bath, ensuite bath	C	\$	\$0.00
Dining	1.00	Reinforce Light Outlet for Heavier Fixture or Ceiling Fan (no 3 wire) Reinforce Light Outlet for Heavier Fixture or Ceiling Fan (no 3 wire)	M	\$80.00	\$80.00
Dining	1.00	4 * 4" LED slim Pot Light White (AFR4C-0930-WH) Add 4 LED Halo potlights (AFR4-0930-WH) on added switch	N	\$941.00	\$941.00
Dining	1.00	Single Pole Switch Single Pole Switch for dining room potlights	N	\$105.00	\$105.00
Den	1.00	4 * 4" LED slim Pot Light White (AFR4C-0930-WH) Delete standard fixture and 4 LED Halo potlights (AFR4-0930-WH) on existing switch	O	\$877.00	\$877.00
2nd Floor Ceiling	2.00	4" LED slim Pot Light White (AFR4C-0930-WH) Delete standard fixture and 2 LED Halo potlights (AFR4-0930-WH) on existing switch	P	\$219.00	\$438.00
Main Bath	1.00	4" LED slim Pot Light White (AFR4C-0930-WH) Add 1 LED Halo potlight (AFR4-0930-WH) on added switch	Q	\$238.00	\$238.00
Main Bath	1.00	Single Pole Switch Single Pole Switch for added potlight	Q	\$105.00	\$105.00
Master Bedroom	1.00	6 * 4" LED slim Pot Light White (AFR4C-0930-WH) Delete standard fixture and 6 LED Halo potlights (AFR4-0930-WH) on existing switch	R	\$1,336.00	\$1,336.00
Ensuite Bath	1.00	2 * 4" LED slim Pot Light White (AFR4C-0930-WH) Add 2 LED Halo potlights (AFR4-0930-WH) 1 above shower and 1 above tub on added switch	S	\$475.00	\$475.00
Ensuite Bath	1.00	Single Pole Switch Single Pole Switch for added potlights	S	\$105.00	\$105.00
Soffit	3.00	4" LED slim Pot Light Black (AFR4-0930-BK) Delete standard fixture at garage and add 3 - on upgraded lutron dimmer controlling all front, exterior lighting	T	\$216.00	\$648.00
Second Floor Hall	1.00	15 Amp Standard Plug 15 Amp Standard Plug included in item	U	\$120.00	\$120.00
Ensuite Bath	1.00	15 Amp GFI Bathroom Plug 15 Amp GFI Bathroom Plug - included in item 21 B1A	W	\$	\$0.00
Garage	1.00	Relocate plug	X	\$	\$0.00
Basement	1.00	15 Amp Separate Circuit Plug 15 Amp Separate Circuit Plug for future freezer	Y	\$287.00	\$287.00

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Tel: (613) 748-0432
Fax: (613) 748-0355

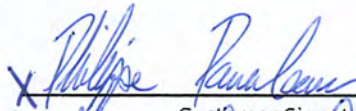
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Location	Qty	Product / Installation Details	Plan Code	Unit Price	Customer Total
Electrical Room	1.00	Supply and Install Whole House Surgebreaker Plus Protection (SDSB80111C) Supply and Install Whole House Surgebreaker Plus Protection (SDSB80111C)	Z	\$551.00	\$551.00
N/A	1.00	Misc. Product Lutron main Hub (brain) - to be delivered and set up after closing		\$380.00	\$380.00
Various Locations	13.00	Lutron smart dimmer Upgrade to lutron smart dimmer in front exterior lighting, foyer, hallway, dining room potlights, dining room standard fixture, kitchen potlights, kitchen pendants, kitchen under cabinet lighting, den, great room, stair well lighting, 2nd level hallway and master bedroom		\$156.00	\$2,028.00
Hall	2.00	4" LED slim Pot Light White (AFR4C-0930-WH) Delete standard fixture and 2 LED Halo potlights (AFR4-0930-WH) on existing switch	3	\$205.00	\$410.00
Great Room	1.00	15 Amp Standard Plug 15 Amp Standard Plug	4	\$120.00	\$120.00
Customer Subtotal:					\$13,483.00
HST:					\$1,752.79
Total:					\$15,235.79

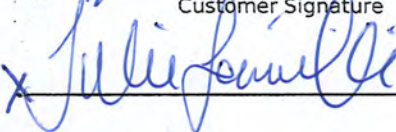
*** Total price includes all applicable taxes

Notes:

"Purchaser has acknowledged that they have discussed any kitchen layout modifications with their electrical representative. If modifications are made after signing off on electrical, this will incur additional charges."



Customer Signature



JUN 15 2021

Date

JUN 15 2021



THE BRADLEY

MODEL 826

2183 sq.ft. or 2376 sq.ft.

Site: PST 6

Plan No.: 50M-352

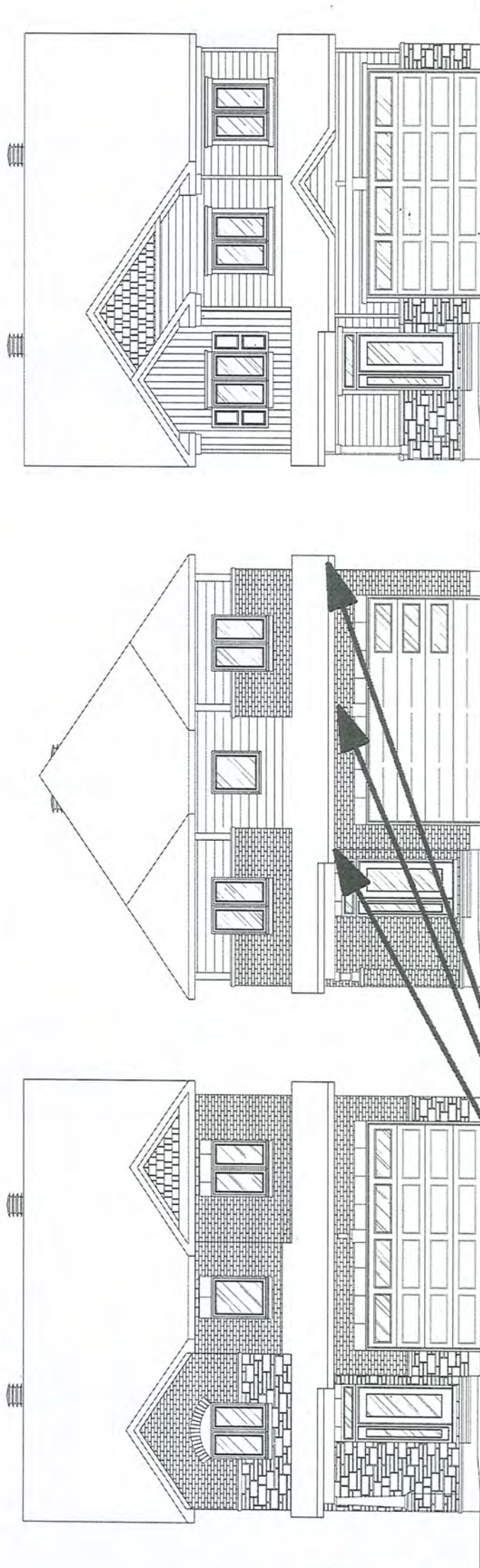
Lot: 23 - Phase 6

Date: May 26, 2021

Purchaser: Philippe Pamerleau

Purchaser: Julie Leveille

SS-Orbital Sketch



ELEVATION A

ELEVATION B

ELEVATION C



Valecraft.com

*Rendering is an artist concept only. Not to scale and may vary from finished community. Dimensions, specifications and landscaping are approximate and are subject to change without notice. E & O.E 01/20/2021-2



THE BRADLEY

MODEL 826

2183 sq.ft. or 2376 sq.ft.

Site: PST 6

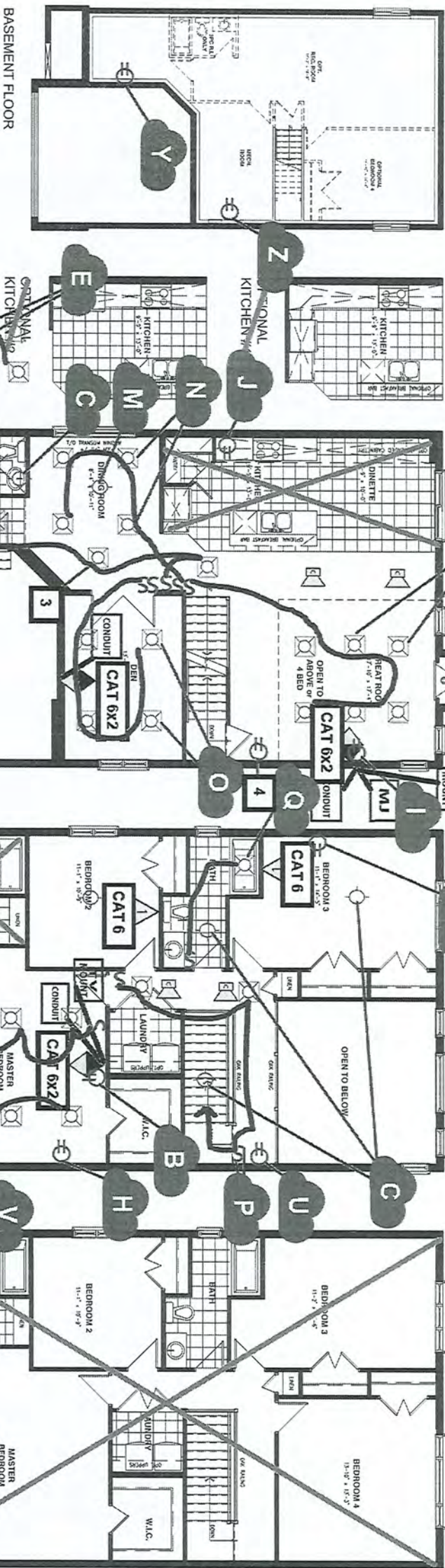
Plan No.: 50M-352

Lot: 23 - Phase 6

Date: May 26, 2021

Purchaser: Philippe Pamerleau

Purchaser: Julie Leveille



SS-Orbital Sketch

CUSTOMER ACCEPTANCE


DATE

JUN 15 2021

SECOND FLOOR - 3 & 4 BEDROOMS - ELEVATION C

OPTIONAL 5PC ENSUITE

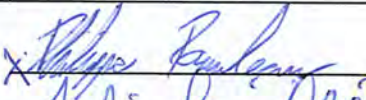
OPTIONAL 5PC ENSUITE

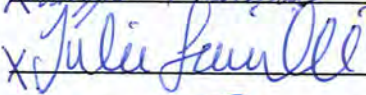
	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place St. Thomas 6	Reg'd Plan #:	50M-352	Sales Rep:	A. Bowman
	Lot No:	23 - Phase 6	Civic Address:	788 Namur Street, Embrun ON K0A 1W0		
	Purchaser(s):	Philippe Pamerleau			Model Name/#:	Bradley 3Bed #826
	Purchaser(s):	Julie Leveille			Closing Date:	29-Mar-22


INTERIOR FINISHES		
DESCRIPTION		STD/UPG #
TRIM STYLE	Standard	STD
DOOR STYLE	Standard + Single Panel French Doors (1 Lite) in Den	STD, 76
INTERIOR HARDWARE	Interior: Halifax 514 (Black) Levers + Exterior Front Door: Tavaris 514 (Black)	54, 55
INTERIOR LIGHTING PACKAGE	Roma Collection + Under cabinet puck lights with false bottom in kitchen and extended pantry	STD, 12
BATHROOM ACCESSORIES	Standard, Delete all bathroom mirrors throughout	STD, 84
FIREPLACE MANTLE	Delete Fireplace Mantle	41, 42

INTERIOR HANDRAILS AND SPINDLES				
	WOOD	STYLE	STAIN/COLOUR	STD/UPG #
HANDRAIL	Red Oak	Colonial	SB 200	56
BRACKET (If applicable)	Metal	N/A	Gun Metal Gray	56
SPINDLES	Metal	Square	Gun Metal Gray	56
POSTS	Red Oak	Modern 3-1/2" Routed	SB 200	56
NOSINGS	Red Oak	N/A	SB 200	25, 26, 27, 28, 29, 30
HARDWOOD STAIRCASE (WHERE APPLICABLE)	Red Oak	N/A	SB 200	25, 26, 27, 28, 29

APPLIANCES				
TYPE	SIZE	STD/UPG #	APPLIANCE UPG LEVEL	STD/UPG #
FRIDGE <small>(Standard Minimum Opening is 33" x 70.75")</small>	Fridge opening approx. 37" Wide x 73" high	83	Rough-In for future water line + Water-line	3, 57
COOKTOP	Cutout Depth approx. 19 5/16" Cutout Width approx. 33 1/16" (for Kitchenaid KICU569XSS - 36" cooktop)	/	/	/
DISHWASHER	Standard Opening	STD	/	/
MICROWAVE/ WALL OVEN <small>(Specify if convection)</small>	Cutout Depth approx. 24" Cutout Width approx. 28 1/2" Cutout Height approx. 41 5/16" (for Kitchenaid KOCE500ESS - 30" wall oven)	/		/
CHIMNEY HOODFAN	Chimney Hoodfan Opening	79	Kitchen Aid Chimney Hoodfan Stainless Steel KVWB406DSS 36" wide 400CFM	79
WASHING MACHINE/DRYER	Standard Opening	STD	/	/

Purchaser's Signature(s) :



Purchaser's Signature(s) :


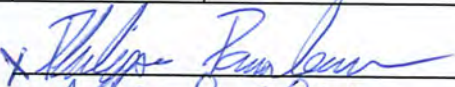
Approved By :


Date: 15-Jun-21


Date: 15-Jun-21

Date: June 23-21

	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place St. Thomas 6	Reg'd Plan #:	50M-352	Sales Rep:	A. Bowman
	Lot No:	23 - Phase 6	Civic Address:	788 Namur Street, Embrun ON K0A 1W0		
	Purchaser(s):	Philippe Pamerleau			Model Name/#:	Bradley 3Bed #826
	Purchaser(s):	Julie Leveille			Closing Date:	29-Mar-22
CABINETRY						
ROOM	SELECTION				LEVEL	STD/UPG #
KITCHEN	STYLE AND COLOUR	Island Only: Banff (MDF) Navy Blue + All other cabinetry: Banff (MDF) Pure White			L2 + 2 Colours	5, 7, 14, 16, 44, 47, 58, 59, 78, 83
	HARDWARE CODE	POI-R7040-128-BSAE	TYPE	Handles	UPG	60
	COUNTERTOP	Pearl Jasmine (Slab View Required)	COUNTERTOP EDGE PROFILE	Eased Edge	Level 3 Quartz	50
MAIN BATHROOM	STYLE AND COLOUR	100i PM-V392WT			STD	STD, 18, 19, 51
	HARDWARE CODE	7814-900	TYPE	Handles	STD	STD
	COUNTERTOP	Blanco Maple	COUNTERTOP EDGE PROFILE	Eased Edge	Level 1 Quartz	20
ENSUITE BATHROOM	STYLE AND COLOUR	100i PM-V392WT			STD	STD, 21, 24
	HARDWARE CODE	7814-900	TYPE	Handles	STD	STD
	COUNTERTOP	Blanco Maple	COUNTERTOP EDGE PROFILE	Eased Edge	Level 1 Quartz	23
POWDER ROOM	STYLE AND COLOUR	PEDESTAL			STD	STD
	HARDWARE CODE	/	TYPE	/	/	/
	COUNTERTOP	/	COUNTERTOP EDGE PROFILE	/	/	/
BASEMENT/OTHER BATHROOM	STYLE AND COLOUR	/			/	/
	HARDWARE CODE	/	TYPE	/	/	/
	COUNTERTOP	/	COUNTERTOP EDGE PROFILE	/	/	/
LAUNDRY ROOM	STYLE AND COLOUR	/			/	/
	HARDWARE CODE	/	TYPE	/	/	/
	COUNTERTOP	/	COUNTERTOP EDGE PROFILE	/	/	/

Purchaser's Signature(s) :



Purchaser's Signature(s) :


Approved By :


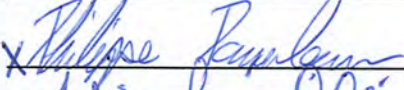
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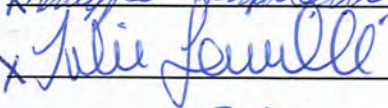
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	SINGLES AND TOWNS COLOUR CHART				
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	Lot No:	23 - Phase 6	Civic Address:	788 Namur Street, Embrun ON K0A 1W0	
	Purchaser(s):	Philippe Pamerleau			Model Name/ #: Bradley 3Bed #826
	Purchaser(s):	Julie Leveille			Closing Date: 29-Mar-22

PAINT COLOUR(S)				
ROOM	MAIN COLOUR	STD/UPG #	ACCENT WALL	STD/UPG #
TRIM	Semi Gloss OC-117 simply white	STD		
FOYER	Low Luster OC-30 Gray Mist	STD		
POWDER ROOM	Semi Gloss OC-30 Gray Mist	STD		
MAIN FLOOR HALLWAY	Low Luster OC-30 Gray Mist	STD		
DINING ROOM	Low Luster OC-30 Gray Mist	STD		
FLEX ROOM	/	/	/	/
GREAT ROOM	Low Luster OC-30 Gray Mist	STD		
FAMILY ROOM	/	/	/	/
DEN	Low Luster OC-30 Gray Mist	STD		
KITCHEN/DINETTE/ BREAKFAST	Semi Gloss OC-30 Gray Mist	STD		
LAUNDRY/MUDROOM	Low Luster OC-30 Gray Mist	STD		
2nd FLOOR HALLWAY	Low Luster OC-30 Gray Mist	STD		
MAIN BATH	Semi Gloss OC-30 Gray Mist	STD		
BEDROOM #2	Low Luster OC-30 Gray Mist	STD		
BEDROOM #3	Low Luster OC-30 Gray Mist	STD		
BEDROOM #4	/	/	/	/
MASTER BEDROOM	Low Luster OC-30 Gray Mist	STD		
MASTER BEDROOM WALK-IN CLOSET	Low Luster OC-30 Gray Mist	STD		
MASTER BEDROOM ENSUITE	Semi Gloss OC-30 Gray Mist	STD		
BASEMENT STAIRCASE	Low Luster OC-30 Gray Mist	STD, 25	/	/
BASEMENT BATHROOM	/	/	/	/

Purchaser's Signature(s) :



Purchaser's Signature(s) :


Approved By :


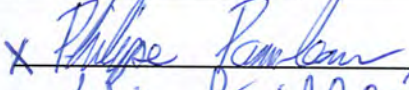
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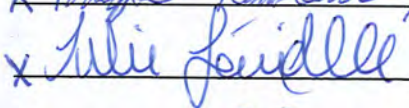
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		SINGLES AND TOWNS COLOUR CHART					
		Community:	Place St. Thomas 6	Reg'd Plan #:	50M-352	Sales Rep:	A. Bowman
		Lot No:	23 - Phase 6	Civic Address:	788 Namur Street, Embrun ON K0A 1W0		
		Purchaser(s):	Philippe Pamerleau			Model Name/#:	Bradley 3Bed #826
		Purchaser(s):	Julie Leveille			Closing Date:	29-Mar-22
CERAMIC & GROUT SELECTIONS (1)							
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE		GROUT SELECTION	LEVEL	STD/UPG #	
FOYER	FLOOR	Shnier Casaroma Cemento Cassero 12"x24" Grigio 7252055 (1/3 staggered front to back install)		934 DeLorean Gray	Bronze + STD Grout	62, 63, STD	
POWDER ROOM	FLOOR	Shnier Casaroma Cemento Cassero 12"x24" Grigio 7252055 (1/3 staggered front to back install)		934 DeLorean Gray	Bronze + STD Grout	62, 63, STD	
	WALL	/		/			
	INSERT OR BORDER	/					
MUDROOM	FLOOR	/					
	WALL	/					
	INSERT OR BORDER	/					
LAUNDRY ROOM	FLOOR	Centura Jefferson Series 13"x13" White JFR30051 (Standard Square Install)		909 Sterling	STD + UPG Grout	STD, 64	
	WALL						
	INSERT OR BORDER	/					
KITCHEN	FLOOR	See hardwood		/	/	53	
	BACKSPLASH	Euro Pasha Soho 3"x6" Matte White Wall (Herringbone install)		931 Standard White	Bronze + UPG install + STD Grout	61	
	INSERT OR BORDER	/					
BREAKFAST AREA/DINETTE	FLOOR	See hardwood		/	/	53	
FIREPLACE	HEARTH	/		/	/	/	
	SURROUND	Ceratec Sichenia Pave Wall House 6.5"x16.1" Bianco 1659 (Horizontal 1/3 staggered install) (6 1/2 FT width centered between windows + height to be from floor to ceiling)		909 Sterling	Quote + UPG install + UPG Grout	41, 75	
ADDITIONAL FIREPLACE	HEARTH	/		/	/	/	
	SURROUND	/		/	/	/	


Purchaser's Signature(s) :



Purchaser's Signature(s) :




Approved By :



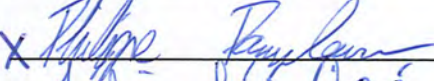
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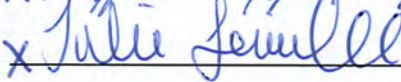
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SINGLES AND TOWNS COLOUR CHART						
	Community:	Place St. Thomas 6	Reg'd Plan #:	50M-352	Sales Rep:	A. Bowman
	Lot No:	23 - Phase 6	Civic Address:	788 Namur Street, Embrun ON K0A 1W0		
	Purchaser(s):	Philippe Pamerleau			Model Name/#:	Bradley 3Bed #826
	Purchaser(s):	Julie Leveille			Closing Date:	29-Mar-22
CERAMIC & GROUT SELECTIONS (2)						
ROOM	AREA	MANUFACTURER/SERIES/SIZE/ COLOUR/CODE	GROUT SELECTION	LEVEL	STD/UPG #	
MAIN BATHROOM	FLOOR	Ceratec Visuals Gaia 11.6"x23.4" Grey (Rectangular side to side install)	934 DeLorean Gray	Silver + STD Grout	65, STD	
	WALL	Olympia New Serenity 8"x16" Bright Arctic White QT.SR.ARW.0816.BR (Horizontal stacked install)	931 Standard White	Bronze + STD Grout	66, STD	
	INSERT OR BORDER	/				
3PC ENSUITE BATHROOM	FLOOR	/	/	/	/	
	WALL	/	/	/	/	
	INSERT OR BORDER	/				
5PC ENSUITE BATHROOM	FLOOR	Ceratec Stone Glamour 11.6"x23.6" Calacatta Polished (Rectangular Side to Side install)	909 Sterling	Gold + UPG Grout	81, 64	
	TUB DECK	/	/	/	/	
	TUB BACKSPLASH	/	/	/	/	
	INSERT OR BORDER	/				
	SHOWER WALLS	Ceratec Stone Glamour 11.6"x23.6" Calacatta Polished (Vertical stacked install)	909 Sterling	Gold Floor on Wall + UPG Grout	82, 64	
BASEMENT/OTHER BATHROOM	FLOOR	/	/	/	/	
	WALL	/	/	/	/	
	INSERT OR BORDER	/				


Purchaser's Signature(s) :



Purchaser's Signature(s) :




Approved By :



Date: 15-Jun-21

Date: 15-Jun-21

Date: June 23-21

	SINGLES AND TOWNS COLOUR CHART					
	Community:	Place St. Thomas 6	Reg'd Plan #:	50M-352	Sales Rep:	A. Bowman
	Lot No:	23 - Phase 6	Civic Address:	788 Namur Street, Embrun ON K0A 1W0		
	Purchaser(s):	Philippe Pamerleau			Model Name/#:	Bradley 3Bed #826
	Purchaser(s):	Julie Leveille			Closing Date:	29-Mar-22
FLOORING SELECTIONS						
ROOM	CARPET/UNDERPAD OR HARDWOOD			LEVEL	STD/UPG #	
MAIN FLOOR HALLWAY	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	30	
DINING ROOM	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	30	
FLEX ROOM	<i>⓪</i> <i>⓪</i> <i>⓪</i> /			/	/	
FAMILY ROOM	/			/	/	
GREAT ROOM	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	30	
DEN/HOME OFFICE	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	31	
REAR HALLWAY	<i>⓪</i> <i>⓪</i> <i>⓪</i> /			/	/	
KITCHEN	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	53	
BREAKFAST AREA/DINETTE	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	53	
MAIN STAIRS TO BEDROOMS	<i>⓪</i> <i>⓪</i> <i>⓪</i> Red Oak stained to match SB 200			UPG	27, 29	
UPPER HALLWAY	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	30	
BEDROOM # 2	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	33	
BEDROOM # 3	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	34	
BEDROOM # 4	<i>⓪</i> <i>⓪</i> <i>⓪</i> /			/	/	
MASTER BEDROOM	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	32	
MASTER BEDROOM WALK-IN CLOSET	Lauzon Engineered Hardwood Essential Collection Red Oak Smoky Grey Character Grade Ultra-Matte 4-1/8" <i>wire brushed</i>			UPG	32	
STAIRS TO BASEMENT	<i>⓪</i> <i>⓪</i> <i>⓪</i> Red Oak stained to match SB 200			UPG	25, 26, 28	
FINISHED BASEMENT RECREATION ROOM	/			/	/	

Purchaser's Signature(s) : *x Philippe Pamerleau*


Date: 15-Jun-21

Purchaser's Signature(s) : *x Julie Leveille*


Date: 15-Jun-21


Approved By : *[Signature]*


Date: Jun 23-21

		SINGLES AND TOWNS COLOUR CHART						
		Community:		Place St. Thomas 6	Reg'd Plan #:	50M-352	Sales Rep:	A. Bowman
		Lot No:		23 - Phase 6	Civic Address:	788 Namur Street, Embrun ON K0A 1W0		
		Purchaser(s):		Philippe Pamerleau			Model Name/#:	Bradley 3Bed #826
		Purchaser(s):		Julie Leveille			Closing Date:	29-Mar-22
PLUMBING FIXTURES								
ROOM	FIXTURE	STYLE			FINISH	STD/UPG#		
KITCHEN	SINK	Franke Kindred Cube Single Bowl Undermount Sink CUX110-30-CA			Stainless Steel	68		
	FAUCET	Delta Essa Single Hole Pull Down 9113-BL-DST			Matte Black	69		
MAIN BATHROOM	SINK	American Standard Boxe Undermount Sink 0315000			White	70		
	VANITY FAUCET	Delta Trinsic High Arc Single Hole Lever Handle Faucet 559-HA-BL-DST (with matching overflow/drain)			Matte Black	71		
	WATER CLOSET	Standard			White	STD		
	TUB/SHOWER	Standard			White	STD		
	TUB/SHOWER FAUCET	Delta Trinsic Monitor 14 Series Tub and Shower Trim T14459-BL (with matching overflow/drain)			Matte Black	72		
ENSUITE BATHROOM	SINK(S) x2	American Standard Boxe Undermount Sink 0315000			White	21, 70		
	VANITY FAUCET(S) x2	Delta Trinsic High Arc Single Hole Lever Handle Faucet 559-HA-BL-DST (with matching overflow/drain)			Matte Black	21, 71		
	WATER CLOSET	Standard			White	STD		
	SHOWER	Acrylic Base with 2-sided custom clear glass shower enclosure with pivot door and chrome hardware			Clear Glass / White / Chrome	21, 67		
	SHOWER FAUCET	Delta Trinsic Monitor 14 Series Shower Trim T14259-BL (with matching overflow/drain)			Matte Black	21, 73		
	BATHTUB	Maax Optik Freestanding Tub 6636 F			White	21, 22		
	BATHTUB FAUCET	Delta Trinsic Roman Tub Trim T2759-BL (with matching overflow/drain)			Matte Black	21, 74		
POWDER ROOM	PEDESTAL	Standard is single hole			White	STD 71		
	SINK FAUCET	Delta Trinsic High Arc Single Hole Lever Handle Faucet 559-HA-BL-DST (with matching overflow/drain)			Matte Black	71		
	WATER CLOSET	Standard			White	STD		
BASEMENT/OTHER BATHROOM	SINK	/			/	/		
	VANITY FAUCET	/			/	/		
	WATER CLOSET	/			/	/		
	TUB/SHOWER	/			/	/		
	TUB/SHOWER FAUCET	/			/	/		
NOTE: All fixtures are white as standard								

NOTE: All fixtures are white as standard

Purchaser's Signature(s) : x 

Purchaser's Signature(s) : x 

Approved By : 

Date: 15-Jun-21

Date: 15-Jun-21

Date: June 23-21

Valecraft Homes Décor Disclaimers

Lot#: 23 Model:826 THE BRADLEY 3 BED ELEV B in Place St. Thomas - Valecraft Homes (2019) Limited
PURCHASERS: Philippe Pamerleau and Julie Leveille

TEL:

Through years of doing business, we at Valecraft Homes have encountered issues beyond our control. The following disclaimers apply to all instances of Schedule B1A and 680 forms and all Colour Chart forms.

HOUSE EXTERIORS

The Vendor has the right to exercise full architectural control over exterior finishes and as such, the Vendor shall have final approval of all colour selections. This includes but is not limited to additional brick to external side yard walls to enhance the streetscape and/or to comply to municipal agreements.

Variations in subcontractors across different sites and varying site conditions may result in house exteriors that differ from the artist renderings. The Builder cannot be responsible for results which differ from the artists renderings of elevations.

ADDITIONAL WINDOWS

Additional windows to side elevations are subject to limiting distance as per Current Ontario Building Code and Municipal Zoning.

MULTI-MEDIA

The Purchaser understands that all Multi Media locations are approximate and vary from chosen locations.

IN-WALL CONDUIT FOR AUDIO/VIDEO CABLES

The Purchaser acknowledges and accepts that due to the variation in framing requirements in different parts of the Purchaser's home, conduit lengths and routing can vary. In virtually all instances of ground floor installation (i.e. above a fireplace), conduit will first travel down into the basement below the floor joists, over to the termination point and back up into the main floor. As a result, it is best to measure the length of the conduit after occupancy with a "pull wire" before purchasing The Purchaser's cables. For above fireplace installations, the conduit wall plate will be installed approximately 10" above the Fireplace Mantle, unless otherwise specified in the Client Upgrades.

PLANS

Plans are subject to change without notice. Actual usable floor space may vary from the stated floor area. Layout for the services, kitchen, furnace, HWT and laundry tub may vary from plan. Vertical and horizontal bulkhead, which are not shown on plan, may be required for plumbing and heating runs. E.& O.E.

For townhomes, Purchasers Agree to sign an exterior block plan layout when available. Purchaser(s) acknowledge that rooflines may be altered at this time from the brochure due to block assembly.

INVENTORY AND MODEL HOMES:

Purchaser(s) Acknowledge And Accept That All Interior Colours And Wiring Have Been Selected And Installed By The Vendor And Will Remain As Installed. (I.e: Cabinetry, Flooring And Paint Colours But Not Limited To.)

SELECTIONS AND APPOINTMENTS:

All colour and material selections are to be made from Vendor's standard samples unless otherwise paid for as an upgrade.

In the event the work on the house has progressed beyond the point where the items covered by these invoices cannot be installed without entailing any unusual expense, then this order is to be cancelled and any deposit paid in connection with the same is to be refunded to the Purchaser.

The vendor will undertake to incorporate the work covered by the sales extra in the construction of the house but will not be liable to the Purchaser in any way, if for any reason the work covered by the extra is not carried out. In that event, any monies paid in connection with the same shall be returned to the Purchaser.



Valecraft Homes Décor Disclaimers

Lot#: 23 Model:826 THE BRADLEY 3 BED ELEV B in Place St. Thomas - Valecraft Homes (2019) Limited

PURCHASERS: Philippe Pamerleau and Julie Leveille

TEL:

It is understood and agreed that if for any reason whatsoever the transaction of Purchase and Sale is not completed, the total cost of extras ordered are not refundable to the Purchaser(s). Extras or changes will not be processed unless signed by the Vendor. These extras may not be amended without the written consent of Valecraft Homes.

The Purchaser(s) acknowledge and accept that failure to finalize the structural or colour selections by their cut-off date may result in a delay in construction and the builder has the right to extend the closing date. Due to failure to complete the above-mentioned selections and at no fault of us, the builder reserves the right to hold The Purchaser responsible for a delayed closing, including charging extra administration cost and interest on the balance due on closing.

ADMINISTRATION FEES

Purchaser(s) Acknowledge That An Administration Fee Will Be Charged For All Change Orders Received Later Than 14 Days After Firm Up. No estimates or orders will be accepted once construction has commenced.

Should a refund be requested on any extras purchased, an 80% reimbursement of the purchase price will be given. (a \$50.00 minimum charge and a maximum \$250.00 charge will apply)

Prices and specifications which do not form part of this Agreement are subject to change without notice at the sole discretion of the vendor. Should a change in price occur, Valecraft Homes reserves the right to request from the Purchaser an adjustment of the price or a refund limited to that item.

The Purchaser acknowledges and accepts that ANY changes made to upgrades after signing the 680's are subject to a minimum administration fee of \$150. PLUS a 10% holdback fee.

Purchasers are aware that any request to add a percentage of upgrades from the 680's will be processed only after the builder receives approval letter from the bank.

GENERAL:

The Purchaser understands that all decorator items: furnishings, appliances, draperies, painted colour walls, floors, wallpaper, panelling, alarm system, central air conditioning and eavestroughing found inside the model homes are for display purposes only and do not constitute standard items in the purchase price. Service location of hot water tanks and furnaces, basement wall height, specifications and material finishes may vary from model homes/plans.

The number of steps required at entrances into the home and the garage entrance may vary from the model home/plans depending on individual lot grading requirements. Due to these steps, exterior railings may be required. Purchaser(s) acknowledge the requirement to install an approximate 3' x 3' landing with stairs at the garage entrance to the house as a result of the 2006 Building Code Requirement OBC 9.8.6.2. if 3 or more risers are required as a result of grading.

Basement window wells may or may not be required depending upon individual lot grading requirements.

Zoning bylaws specify maximum driveway widths which are based upon frontages. A tapering of The Purchaser's driveway may be required depending upon the frontage and specifically if the frontage is less than average as in the case of a pie-shaped lot.


The grading and drainage of The Purchaser's lot has been designed and engineered to ensure that surface water is directed away from The Purchaser's home and into swales. These swales run at the side and rear of The Purchaser's property lines. Swales generally have more aggressive slopes relative to the general lot and will always occupy a portion of the useable space of The Purchaser's lot to serve their function properly.

Purchaser(s) acknowledge that kitchen and bathroom ceramic wall border and or decorator insert tiles selected by the Purchaser(s) are installed at the discretion of the installation contractor unless specified otherwise by the Purchaser(s).

STAIRCASE VS FLOORING

WOOD SPECIES DIFFERENCE

The Purchaser acknowledges and accepts that the wood species of the staircase and flooring chosen do not match. This difference might result in an undesirable colour variance. The Purchaser acknowledges and accepts that though the flooring is of the same species as the staircase the difference in product finishing may result in a stain colour variance. The Purchaser agrees that the vendor is to be exempt from any and all claims by the Purchaser regarding this colour variance.



Valecraft Homes Décor Disclaimers

Lot#: 23 Model:826 THE BRADLEY 3 BED ELEV B in Place St. Thomas - Valecraft Homes (2019) Limited
PURCHASERS: Philippe Pamerleau and Julie Leveille

TEL:

RAILINGS

All railings, spindles, posts, nosing's and stairs come from solid wood and veneered wood materials sourced from multiple locations and suppliers. As such there will be variations in grains and shades between the various natural components beyond our control. Due to this variance in material, all components will stain with colour or natural finish differently. Iron spindles are wrought in nature and depending on the manufacturing process will have differences from spindle to spindle which is normal. Also the finish of the iron spindles is of a powder coated nature. This process can produce minor colour variations or tones. Furthermore, the assembly of the metal spindles can develop a natural rattle over time from vibration in the railing. Minor rattling is normal and is a part of the wrought iron spindle assembly.

FIREPLACE MANTLE

Due To Extremely High Heat Temperatures Exiting The Top Vent Of The Fireplace And The Potential For Damages To Heat Sensitive Electronics And/Or Wall Décor Installed Above The Fireplace, The Purchaser(s) Acknowledge(s) That The Builder Recommends Installing A Fireplace Fan Kit As well As Maintaining The Mantle Installed Above The Fireplace.

STAIN COLOURS

Due to the many variables that can affect the outcome of a stain colour on wood, staircases, railings, and fireplace mantles, the colour may not be identical to samples. Factors such as density, age, humidity, air temperature, and the uniqueness of each piece of wood can result in wide variations in darkness or lightness. The builder will make every attempt to come as close to the sample as possible, but cannot be responsible for results which differ from the samples.

Stain on pre-finished hardwood floors will not be an exact match to the stain colours available on stairs, spindles and rails. The Purchaser is to choose from the builder's stain samples for these areas to their satisfaction.

APPLIANCE SPECIFICATIONS

All appliance openings are set to the builder's standard openings. Please advise the Sales Representative at time of the structural appointment if custom sizing of cabinets is required for any built - in appliances. The Purchaser is responsible for costs and fees associated with changes to pre-manufactured kitchens made subsequent to colour appointments.

The Purchaser acknowledges and accepts that in order to accommodate upgraded appliances, all appliance specifications should be provided at the time of their structural appointment. Should this not occur they must be provided to the Décor Center within one (1) week of completion of structural chart. Failure to do so, may result in the need to revert to the standard appliance openings or in a delay in construction of The Purchaser's dwelling, as a cost of \$150 to re-open The Purchaser's structural file should changes be required. As a result, the builder may be forced to extend the closing of The Purchaser's transaction. Due to failure to complete the above-mentioned selections and at no fault of our own, the builder reserves the right to hold The Purchaser responsible for this delayed closing, including charging extra administration cost and interest on the balance due on closing.

Purchaser(s) acknowledge that High Efficiency Washing machines have the potential to create vibrations due to the tub spinning at very high speeds.

Purchasers Accept Standard Appliance Openings (unless otherwise specified):

Fridge - 33"W x 70.75" High Approx.

Range - 30-1/2"D x 31-1/2"W Approx.

Dishwasher - 24" W Approx.

GRANITE, MARBLE ENGINEERED SURFACES WAIVER

Due to the natural composition of such materials as Granite and Marble, inherent variations in texture, colour and consistency are to be expected and considered normal. As such, the client is given an opportunity to view the slab prior to installation (W4) and the Purchaser agrees not to hold the Vendor liable for such variations. All countertop surfaces which may have seams, the product pattern & shades can change in these areas.

CERAMIC BACKSPASHES:

The Purchaser(s) Acknowledge & Accept That The Vendor Does Not Recommend The Deletion Of The Ceramic Kitchen Backsplash & That The Vendor Will Not Be Liable For Any Damage To The Drywall, Paint, Cabinets Or Countertops Resulting From The Deletion Of The Backsplash.

FILE COMPLETION:

Purchaser has attended a Colour appointment at the Decor Centre & has DECLINED any additional upgrades and accepts and acknowledges that there will be no further structural changes/additions/deletions to be made upon signing.

RESELECTIONS

It is not uncommon for flooring, such as tile, to become discontinued prior to its installation. Therefore, it may be necessary to make a reselection of certain materials sometime during the building process. The builder cannot assure The Purchaser that another choice approximating The Purchaser's selection will be available.



Valecraft Homes Décor Disclaimers

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TEL:

GENERAL:

The vendor may substitute materials of equal or greater value without consent.

The Purchaser understands that all decorator items: furnishings, appliances, draperies, painted colour walls, floors, wallpaper, panelling, alarm system, central air conditioning and eavestroughing found inside the model homes are for display purposes only and do not constitute standard items in the purchase price. Service location of hot water tanks and furnaces, basement wall height, specifications and material finishes may vary from model homes/plans.

The Purchaser understands that due to normal manufacturing production, materials which are installed in the home may vary slightly in colour from the vendor's samples and/or model homes.


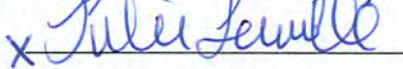
The wood used in the finishing products of The Purchaser's home such as wood flooring, cabinetry and railings exhibit natural variations in colour tone, graining pattern and consistency. As no two pieces of wood are identical, these natural variations will create colour variations upon staining thereby making it virtually impossible to achieve true colour consistency.

Any hardwood flooring installed in the Real Property is made of kiln-dried natural material which is subject to natural shrinkage (typically in winter when humidity levels tend to be low) and expansion (typically in summer when humidity levels tend to be high) for which the Purchaser(s) agrees is not the responsibility of the Vendor and agrees that the Vendor shall not be liable in respect of such issues. The Purchaser(s) also acknowledges being advised by the Vendor that ceramic tile rather than hardwood flooring is recommended at entry points to the home due to the possibility of water exposure. The Purchaser(s) is advised that the Ontario Building Code recommends against the installation of wood flooring in kitchens, bathrooms, entrance halls, laundry, and general storage areas (the "Designated Areas"). Wood flooring is water permeable and over time such flooring and sub-flooring beneath it could deteriorate if moisture persists. Should the Purchaser(s) selections for materials for the dwelling include wood flooring in the designated areas, the Purchaser(s) assumes the risks described herein voluntarily.

Purchaser(s) acknowledge that kitchen and bathroom ceramic wall border and or decorator insert tiles selected by the Purchaser(s) are installed at the discretion of the installation contractor unless specified otherwise by the Purchaser(s).

I hereby acknowledge reading and understanding the above copy and will not hold Valecraft Homes responsible for any issues in relation to above.

Purchaser's Signatures

x 
x 

Date JUN 15 2021

Date JUN 15 2021

KitchenAid®

KitchenAid® 30" (76.2 CM) AND 36" (91.4 CM) ELECTRIC INDUCTION COOKTOP

PRODUCT MODEL NUMBERS

KICU509X KICU569X

ELECTRICAL REQUIREMENTS:

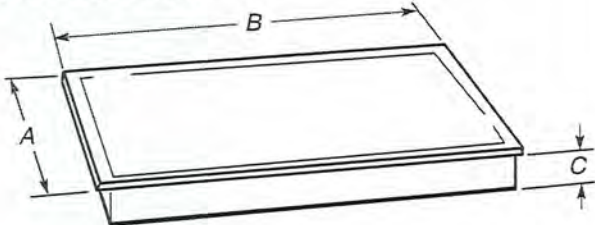
Before You Make the Electrical Connection:

To properly install your cooktop, you must determine the type of electrical connection you will be using and follow the instructions provided for it here.

- A 4-wire or 3-wire, single phase, 240 volt, 60 Hz., AC only electrical supply is required on a separate, 50-amp circuit (36" [91.4 cm] models) or 40-amp circuit (30" [76.2 cm] models), fused on both sides of the line.
- The cooktop should be connected directly to the junction box through flexible, armored or nonmetallic sheathed, copper cable. The flexible, armored cable extending from the fuse box or circuit breaker box should be connected directly to the junction box.
- Locate the junction box to allow as much slack as possible between the junction box and the cooktop so that the cooktop can be moved if servicing becomes necessary in the future.
- Do not cut the conduit. The length of conduit provided is for serviceability of the cooktop.
- A UL listed or CSA approved conduit connector must be provided at each end of the power supply cable (at the cooktop and at the junction box). A listed conduit connector is already provided at the cooktop.
- If the house has aluminum wiring, follow the procedure below:
 1. Connect a section of solid copper wire to the pigtail leads.
 2. Connect the aluminum wiring to the added section of copper wire using special connectors and/or tools designed and UL listed for joining copper to aluminum.Follow the electrical connector manufacturer's recommended procedure. Aluminum/copper connection must conform with local codes and industry accepted wiring practices.

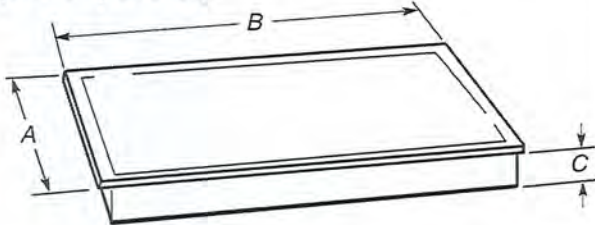
PRODUCT DIMENSIONS

30" (76.2 cm) Cooktop



Model JIC4430	Model KICU509
A. 21 ⁵ / ₁₆ " (54.1 cm)	A. 21 ⁵ / ₁₆ " (54.1 cm)
B. 30 ⁵ / ₁₆ " (77.0 cm)	B. 30 ³ / ₄ " (78.2 cm)
C. 3 ¹ / ₈ " (8.0 cm)	C. 3 ¹ / ₈ " (8.0 cm)

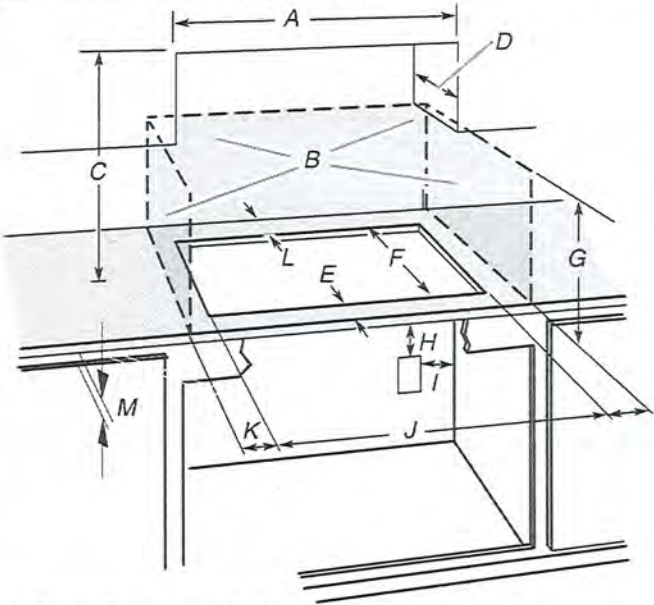
36" (91.4 cm) Cooktop



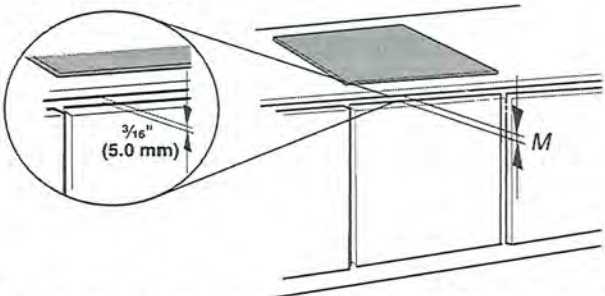
Models JIC4536 and KICU569
A. 21 ⁵ / ₁₆ " (54.1 cm)
B. 36 ⁵ / ₁₆ " (92.0 cm)
C. 3 ¹ / ₈ " (8.0 cm)

CABINET DIMENSIONS

IMPORTANT: If installing a range hood or microwave hood combination above the range, follow the range hood or microwave hood combination installation instructions for dimensional clearances above the cooktop surface.



- A. 29¹/₂" (75.0 cm) on 30" (76.2 cm) models
33¹/₁₆" (84.0 cm) on 36" (91.4 cm) models
- B. Combustible area above countertop (shown by dashed box above)
- C. 30" (76.2 cm) minimum clearance between top of cooktop platform and bottom of uncovered wood or metal cabinet (24" [61 cm] minimum clearance if bottom of wood or metal cabinet is covered by not less than 1/2" [0.6 cm] flame retardant millboard covered with not less than No. 28 MSG sheet steel, 0.015" [0.04 cm] stainless steel, or 0.024" [0.06 cm] aluminum or 0.020" [0.05 cm] copper)
- D. 13" (33.0 cm) recommended upper cabinet depth
- E. 2" (5.1 cm)
- F. 19³/₁₆" (49.0 cm)
- G. 18" (45.7 cm) minimum clearance from upper cabinet to countertop within minimum horizontal clearances to cooktop
- H. Junction box or outlet; 12" (30.5 cm) minimum from bottom of countertop
- I. Junction box or outlet; 10" (25.4 cm) from right-hand side of cabinet
- J. 29¹/₂" (75.0 cm) on 30" (76.2 cm) models
33¹/₁₆" (84.0 cm) on 36" (91.4 cm) models
- K. 1" (2.5 cm) minimum distance to nearest left and right side combustible surface above cooktop
- L. 1" (2.5 cm) minimum clearance between back wall and countertop
- M. **IMPORTANT:** For proper ventilation, provide a vent of 3/16" (5 mm) under the countertop, in the front of the cabinet. The ventilation opening is to extend the full length of the cooktop cutout. See the following illustration.



NOTES: After you make the countertop cutout, some installations may require notching down the base cabinet side walls to clear the cooktop base. To avoid this modification, use a base cabinet with sidewalls wider than the cutout.
If cabinet has a drawer, a 5¹/₈" (13 cm) depth clearance from the countertop to the top of the drawer (or other obstruction) in base cabinet is required.

Kitchen Sketch #2 - June 15, 2021

<p>potvin KITCHENS & CABINETS</p>	Place St. Thomas 6	Model: #826 Bradley 3Bed "B" Std	Purchaser: Philippe Pamerleau Purchaser: Julie Leveille
	Plan: 50M-352		
	Lot: 23 - Phase 6	Date: June 15, 2021	

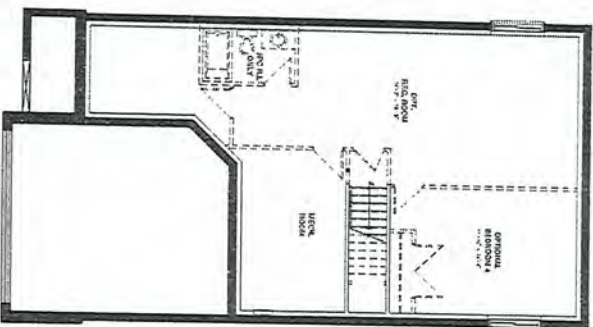
The sketch shows a kitchen layout with two views. The top view is a plan view of an L-shaped kitchen. It features a sink area labeled 79, a stove area labeled 59, and a cabinet area labeled 14. The bottom view is a perspective view of the same kitchen. It shows a sink area labeled 83, a stove area labeled 44, and a cabinet area labeled 50. There are also labels 78 and 44 on the right side of the perspective view.

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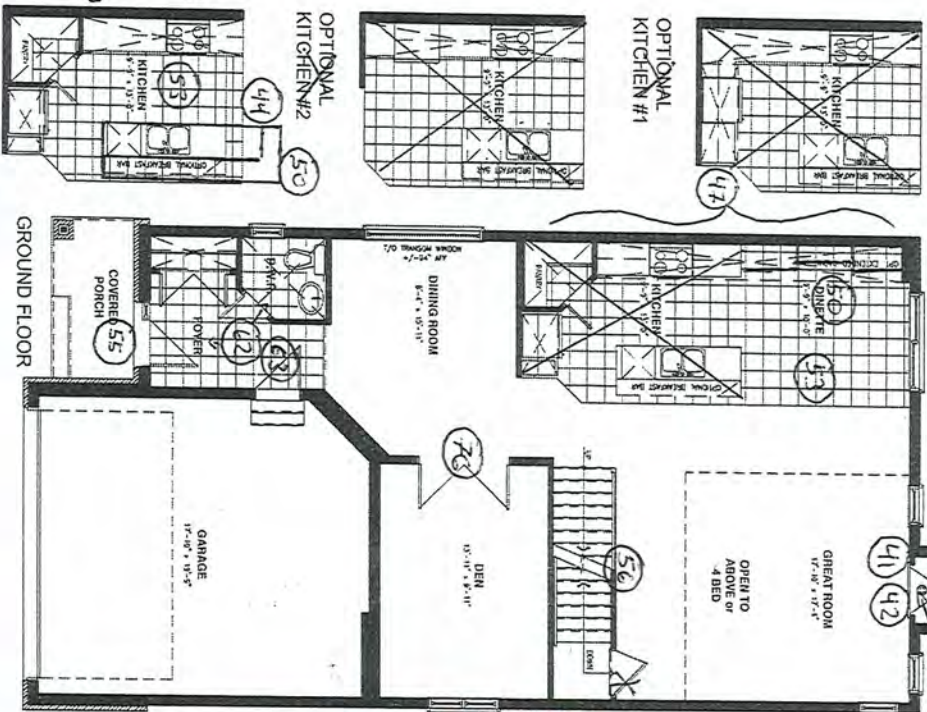
THE BRADLEY

MODEL 826
2183 sq.ft. or 2376 sq.ft.

Site: Place St. Thomas 6 Purchaser: Philippe Pamerleau
Plan No.: 50M-352
Lot: 23 - Phase 6
Date: June 15, 2021
Purchaser: Julie Leveille



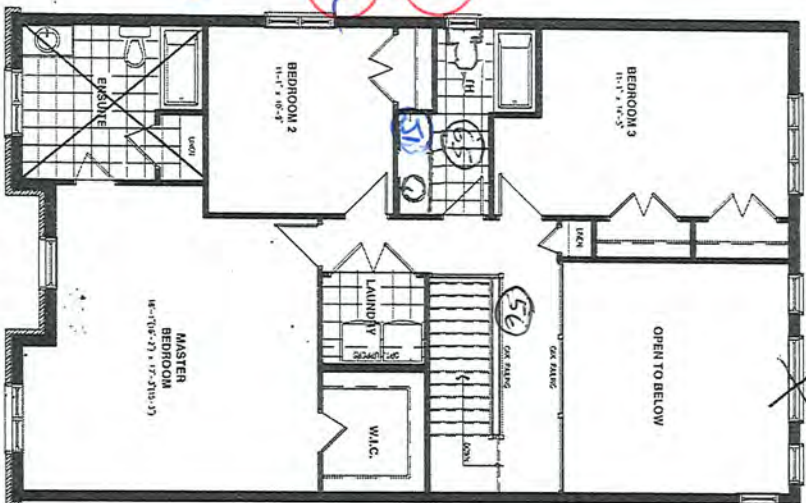
BASEMENT FLOOR



GROUND FLOOR



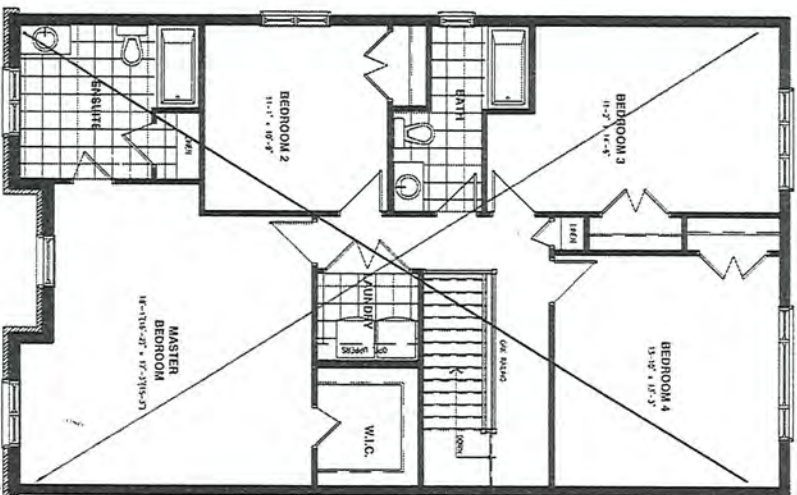
SECOND FLOOR - 3 & 4 BEDROOMS - ELEVATION B



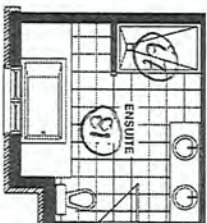
SECOND FLOOR - 3 BEDROOMS - ELEVATION X



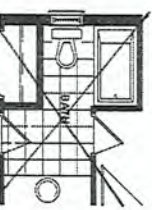
SECOND FLOOR - 3 & 4 BEDROOMS - ELEVATION X



SECOND FLOOR - 4 BEDROOMS - ELEVATION A



OPTIONAL 5PC ENSUITE



OPTIONAL JACK & JILL

Floorplan Sketch