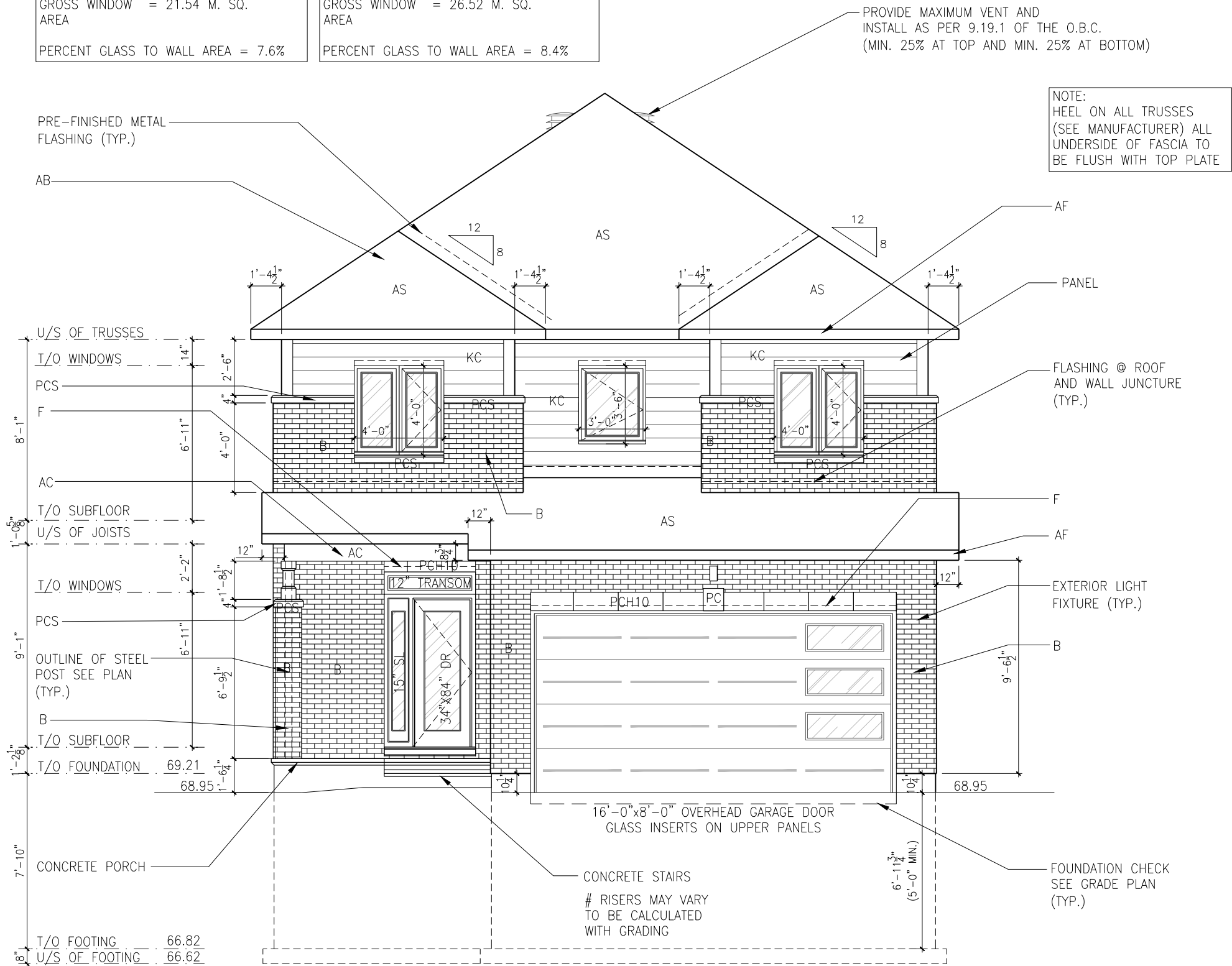


STANDARD PLAN:  
GROSS INSULATED = 282.9 M. SQ.  
WALL AREA  
GROSS WINDOW = 21.54 M. SQ.  
AREA  
PERCENT GLASS TO WALL AREA = 7.6%

STANDARD PLAN WITH WALK-OUT BASEMENT:  
GROSS INSULATED = 315.5 M. SQ.  
WALL AREA  
GROSS WINDOW = 26.52 M. SQ.  
AREA  
PERCENT GLASS TO WALL AREA = 8.4%



LOT: 8 PST5  
DATE: 11/13/2020



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 74" LAP

#### 2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVISION #1	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

#### DRAWING: 3 & 4 BEDROOM ELEVATION B - FRONT

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

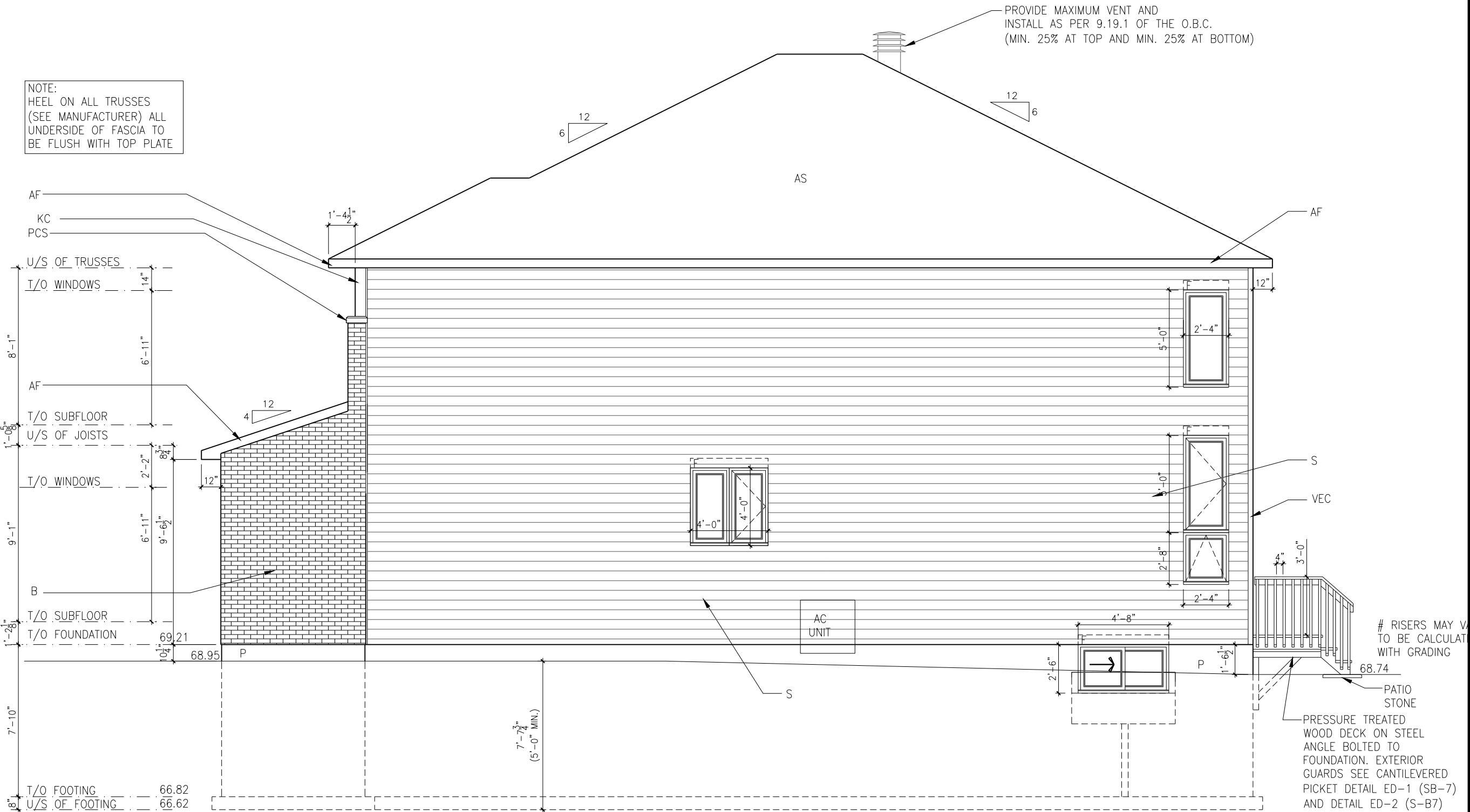
826 - THE BRADLEY  
2020 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
**A1b**

#### 3 & 4 BEDROOM - ELEVATION B - FRONT

SCALE: 3/16" = 1'-0"

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 89.3 m. sq.  
AREA OF UNPROTECTED OPENINGS - 0.74 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 0.82 %

### 3 BEDROOM - ELEVATION B - RIGHT

SCALE: 3/16" = 1'-0"

LOT: 8 PST5

DATE: 11/13/2020



**Valecraft**  
Homes Ltd.

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- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
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#### 2012 O.B.C. DRAWINGS


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#### 3 BEDROOM ELEVATION B - RIGHT

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY  
2020 FOOTPRINT

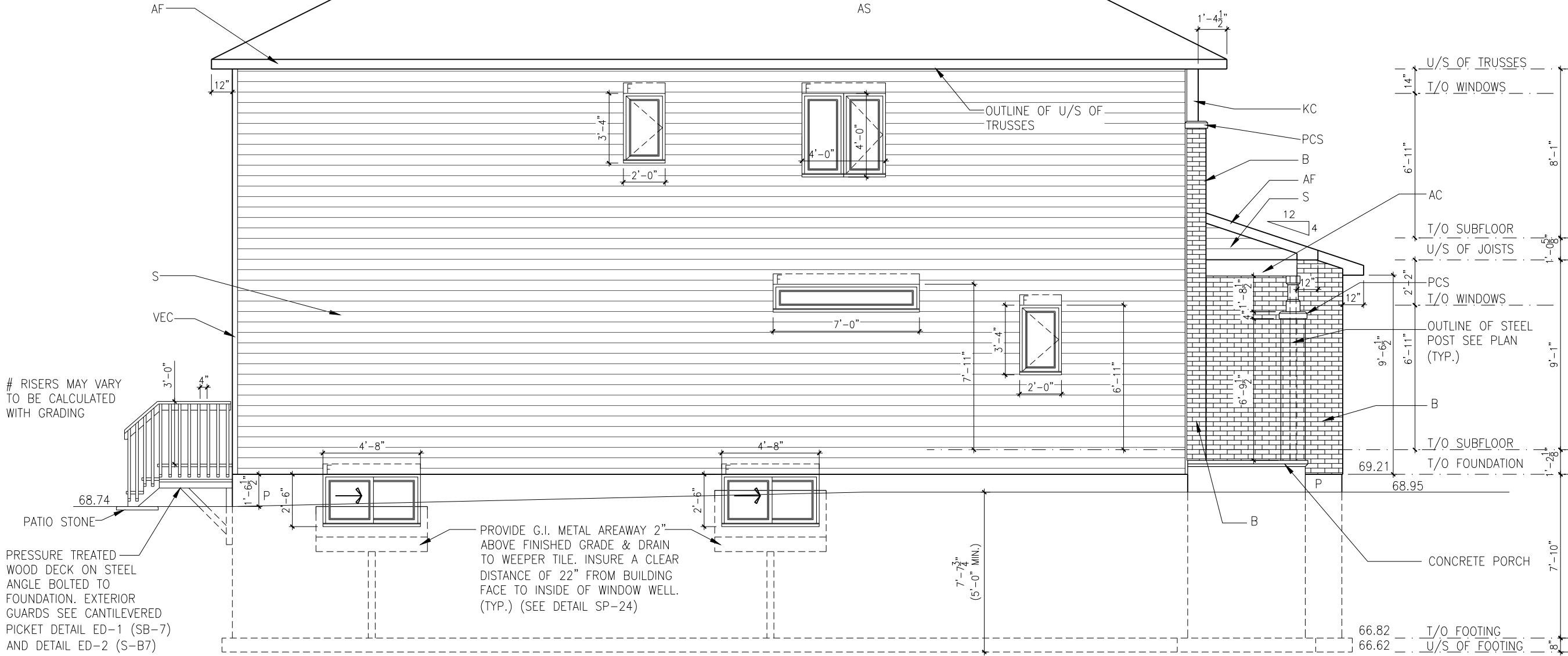
(STANDARD DRAWINGS)

SHEET:

A2b

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE



UNPROTECTED OPENINGS:  
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %  
AREA OF EXPOSED BUILDING FACE - 89.3 m. sq.  
AREA OF UNPROTECTED OPENINGS - 4.4 m. sq.  
PERCENTAGE OF UNPROTECTED OPENINGS - 4.9 %

LOT: 8 PST5  
DATE: 11/13/2020



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REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 3 BEDROOM  
ELEVATION B - LEFT

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY  
2020 FOOTPRINT  
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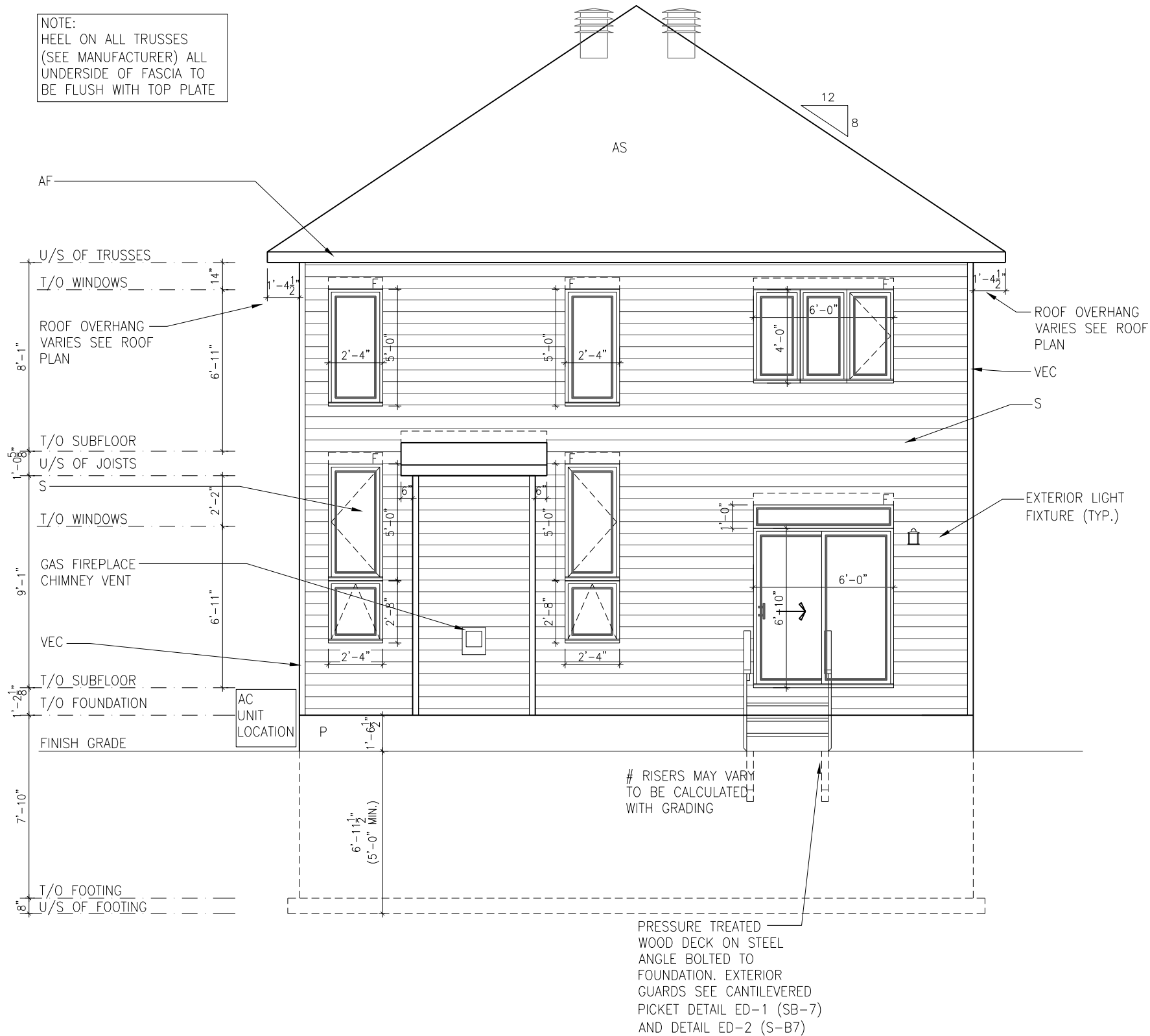
SHEET:  
A3b

3 BEDROOM - ELEVATION B - LEFT

SCALE: 3/16" = 1'-0"

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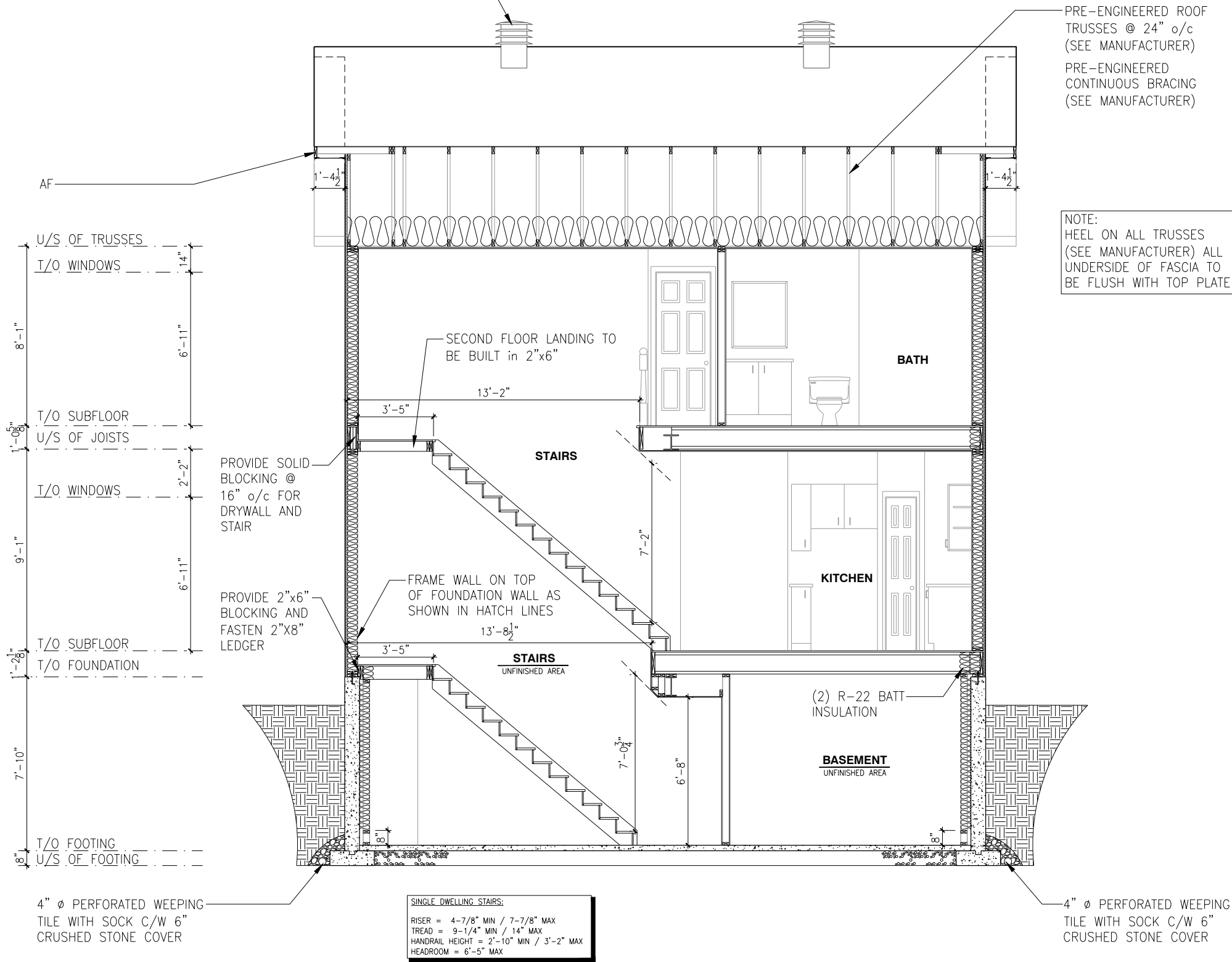
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NO.	DESCRIPTION	DATE	BY

DRAWING: 3 BEDROOM  
ELEVATION B - REAR

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

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(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



**BUILDING SECTION - 3 AND 4 BEDROOM - ELEVATION A-B-C**

SCALE: 3/16" = 1'-0"

**LOT: 8 PST5**

**DATE: 11/13/2020**



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- KC - KAYCAN WOOD SIDING - 7 1/2" LAP

**2012 O.B.C. DRAWINGS**

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REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BUILDING SECTION - 3 AND 4 BEDROOM - ELEVATION A-B-C**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

**A5a**

PROVIDE MAXIMUM VENT AND  
INSTALL AS PER 9.19.1 OF THE O.B.C.  
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

PRE-ENGINEERED ROOF  
TRUSSES @ 24" o/c  
(SEE MANUFACTURER)  
PRE-ENGINEERED  
CONTINUOUS BRACING  
(SEE MANUFACTURER)

NOTE:  
HEEL ON ALL TRUSSES  
(SEE MANUFACTURER) ALL  
UNDERSIDE OF FASCIA TO  
BE FLUSH WITH TOP PLATE

U/S OF TRUSSES  
T/O WINDOWS  
8'-1"  
6'-11"  
14"  
T/O SUBFLOOR  
U/S OF JOISTS  
2'-2"  
9'-1"  
6'-11"  
T/O WINDOWS  
T/O SUBFLOOR  
U/S OF JOISTS  
1'-0 5/8"  
1'-10 1/2"  
T/O FOUNDATION  
7'-10"  
T/O FOOTING  
U/S OF FOOTING  
8"

PROVIDE SOLID  
BLOCKING @  
16" o/c FOR  
DRYWALL AND  
STAIR

FASTEN 2"x8"  
LEDGER

FRAME WALL ON TOP  
OF FOUNDATION WALL AS  
SHOWN IN HATCH LINES  
13'-8 1/2"

INSTALL 2" HD RIGID  
INSULATION FROST  
PROTECTION IF UNDERSIDE  
OF FOOTINGS ARE LESS  
THEN 5'-0" BELOW FINISH  
GRADE

4" Ø PERFORATED WEeping  
TILE WITH SOCK C/W 6"  
CRUSHED STONE COVER

SINGLE DWELLING STAIRS:  
RISER = 4-7/8" MIN / 7-7/8" MAX  
TREAD = 9-1/4" MIN / 14" MAX  
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX  
HEADROOM = 6'-5" MAX

WALK-OUT BASEMENT - BUILDING SECTION - 3 AND 4 BEDROOM - ELEVATION A-B-C

SCALE: 3/16" = 1'-0"

LOT: 8 PST5

DATE: 11/13/2020



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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **WALK-OUT - BUILD. SECTION  
3 AND 4 BED - ELEV. A-B-C**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

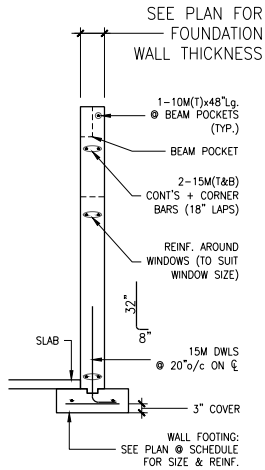
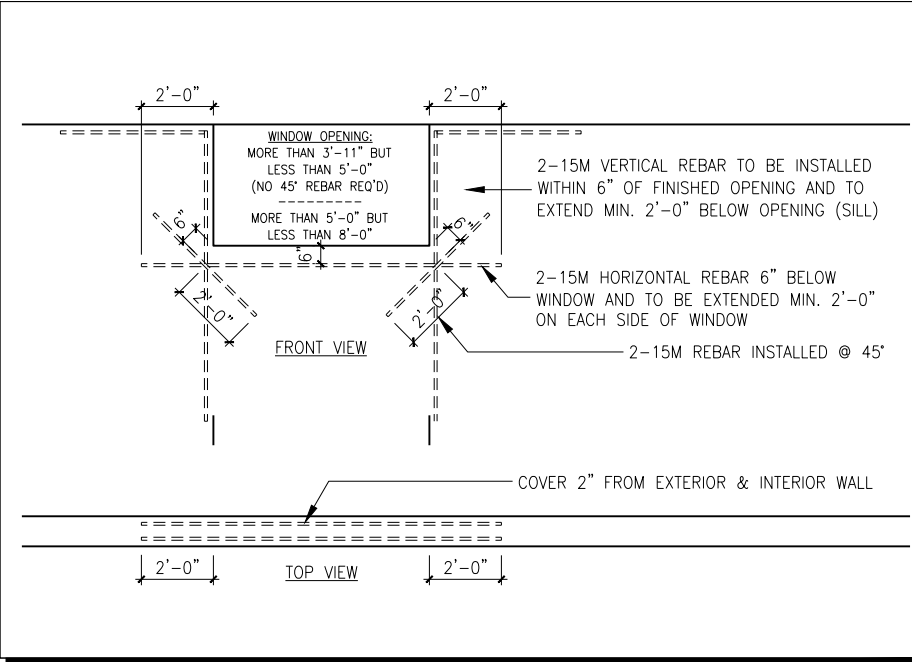
**826 - THE BRADLEY  
2020 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A5a**

FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
PAD FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	52"x52"x10" w/ 4-15M 46" LG. e/w	56"x56"x12" w/ 5-15M 50" LG. e/w	60"x60"x12" w/ 5-15M 54" LG. e/w	68"x68"x12" w/ 6-15M 62" LG. e/w	78"x78"x12" w/ 7-15M 72" LG. e/w
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	34"x34"x12" w/ 2-15M 28" LG. e/w



**BASEMENT FLOOR PLAN - 3 AND 4 BEDROOMS - ELEVATION A, B**

SCALE: 3/16" = 1'-0"

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

**LOT: 8 PST5**

**DATE: 11/13/2020**



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

POST BY USP

- P2 = 2-2x4 OR 2-2x6

- P3 = 3-2x4 OR 3-2x6

- P4 = 4-2x4 OR 4-2x6

- P5 = 5-2x4 OR 5-2x6

- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)

- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)

- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)

- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.

- + 130x160x10 TOP PL. (\*)

- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

■ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**


REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

**FOOTING TABLE & DETAILS**

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

**826 - THE BRADLEY  
2018 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A6**

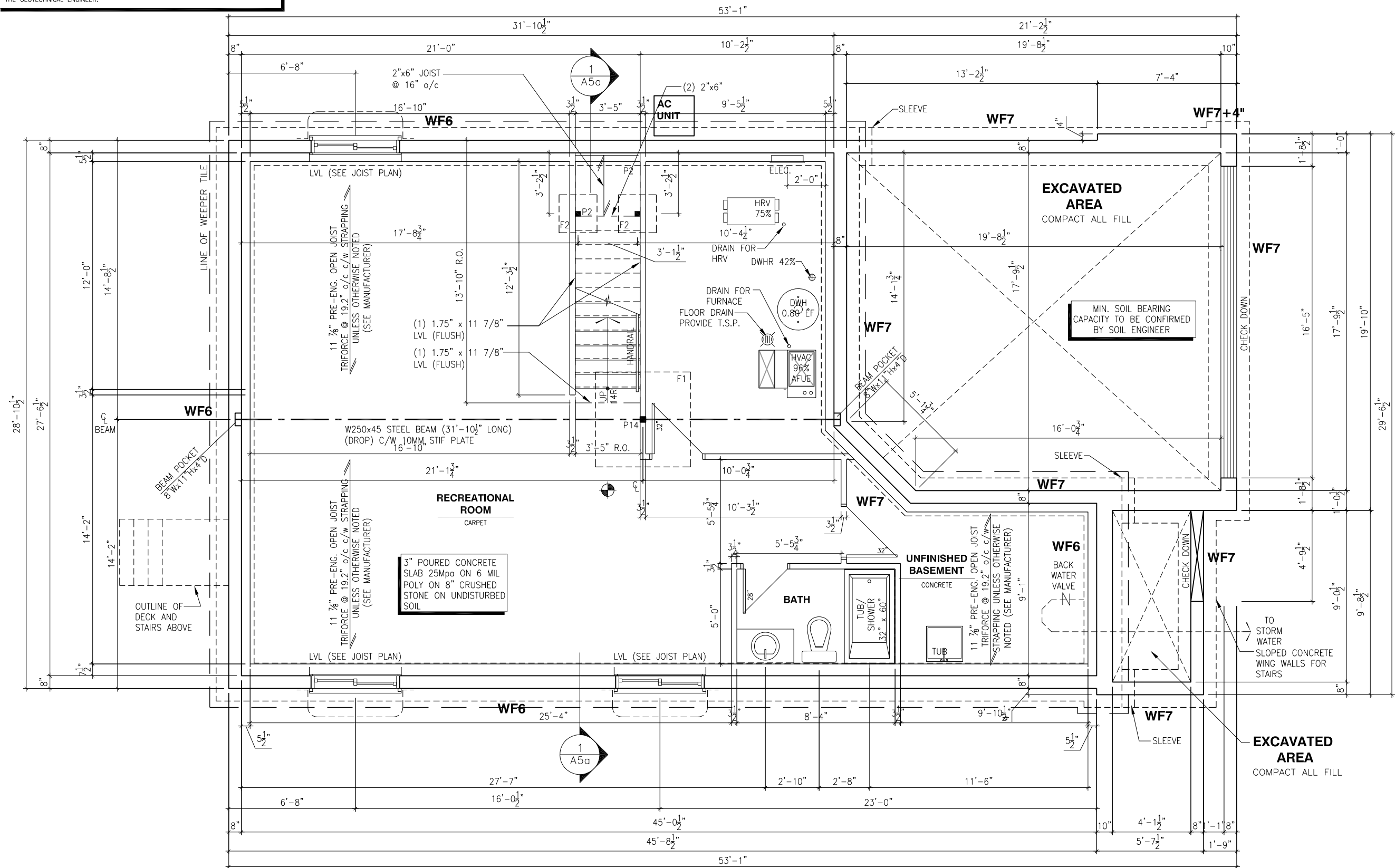
NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

**BASEMENT NOTE:**

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
  - A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
  - B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m<sup>2</sup> (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

SEE PAGE A6 FOR FOOTING SIZES AND DETAILS



**BASEMENT FLOOR PLAN - 3 AND 4 BEDROOMS - ELEVATION A, B**

SCALE: 3/16" = 1'-0"

**LOT: 8 PST5**

**DATE: 11/13/2020**



**Valecraft**  
Homes Ltd.

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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**LINTEL TABLE:**

- L1 = 2-2x10 + P2 ON BOTH SIDES
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**


REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **BASEMENT FLOOR PLAN**  
**3 AND 4 BED. - ELEV. A, B**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

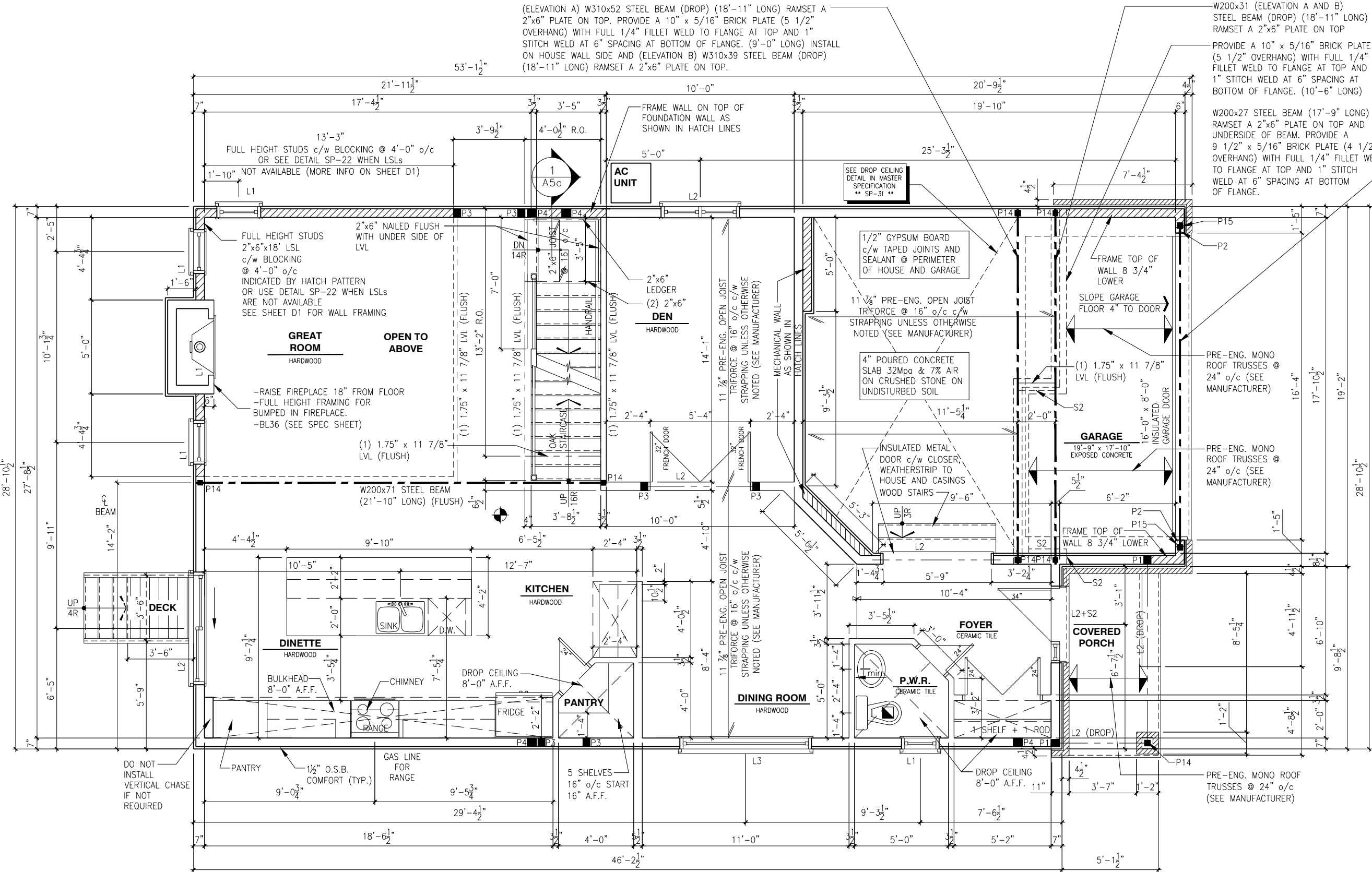
**826 - THE BRADLEY**  
**2018 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A6a**





GROUND FLOOR PLAN - 3 BEDROOM - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

ROOF AND FLOOR LAYOUT NOTES:  
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:  
- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12.3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:  
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;  
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;  
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;  
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.E.N.G. IN OTHER CASE;  
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

FLOOR	SQARE FOOT
GROUND FLOOR	1072
SECOND FLOOR (WITHOUT OPEN TO BELOW)	1131
GARAGE	383
TOTAL	2203 383

LOT: 8 PST5  
DATE: 11/13/2020



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- PERSONAL BCIN #19896
- TARIOR REGISTRATION NUMBER #611

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NOTES:  
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  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR PLAN  
3 BEDROOM - ELEV. A AND B

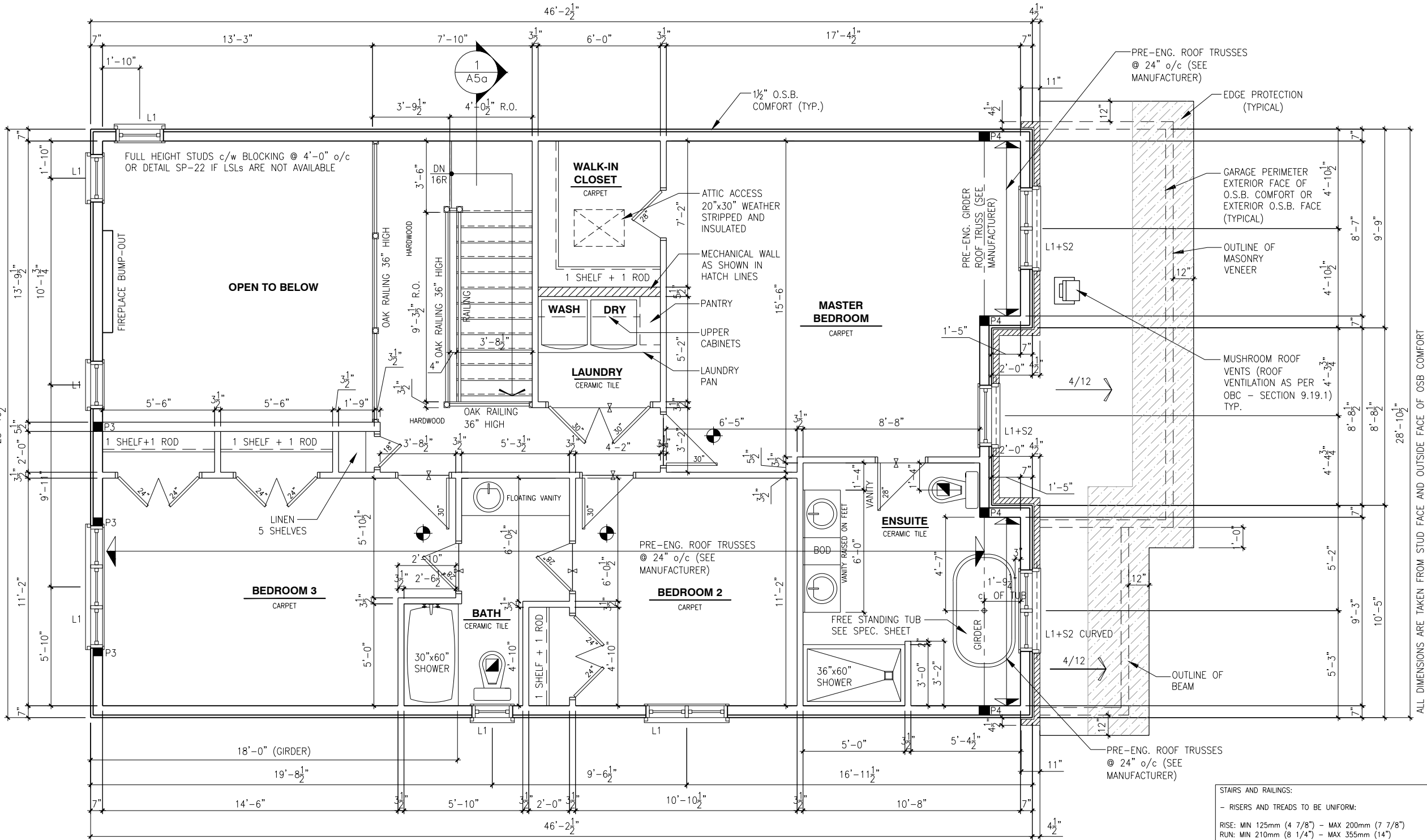
ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

826 - THE BRADLEY  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A7a

SECOND FLOOR PLAN - 3 BEDROOM - ELEVATION B (JACK & JILL + ENSUITE)

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;  
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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:  
RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")  
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")  
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")  
WIDTH: MIN 860mm (2'-10")  
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")  
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS  
- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");  
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;  
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";  
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";  
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;  
- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

LOT: 8 PST5

DATE: 11/13/2020



**Valecraft**  
Homes Ltd.

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- S3 = L 100x90x8
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- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD

(EX. P2 = 1 JACK + 1 STUD)

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR - 3 BED.**  
**ELEV. B (JACK AND JILL & ENS)**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**826 - THE BRADLEY**  
**2018 FOOTPRINT**

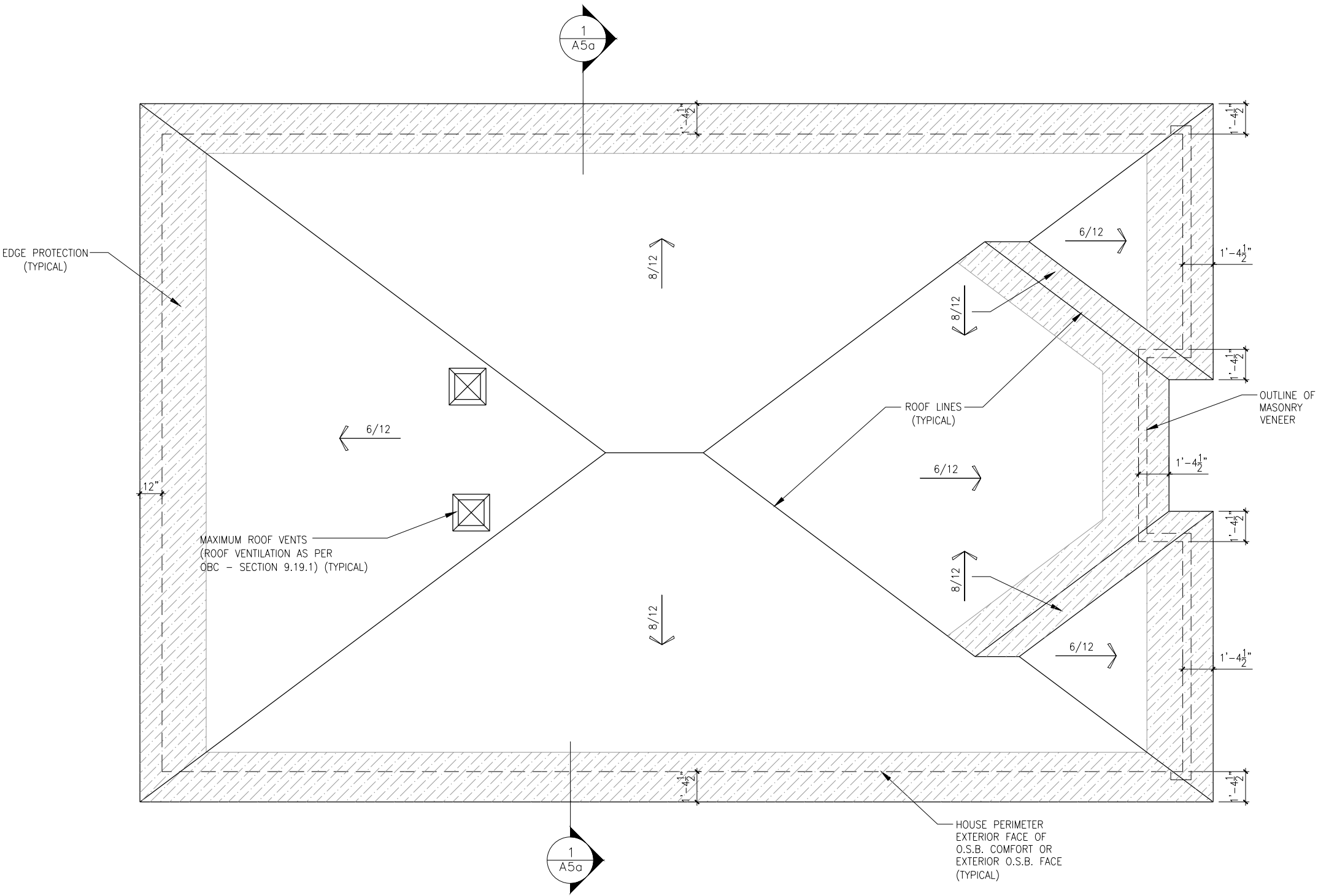
(STANDARD DRAWINGS)

SHEET:

**A8b**

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.



ROOF PLAN - 4 BEDROOM -ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: 8 PST5  
DATE: 11/13/2020



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
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- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
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- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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POST TABLE:

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- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

POST BY USP

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- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
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(EX. P2 = 1 JACK + 1 STUD)

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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ROOF PLAN  
3 & 4 BEDROOM - ELEVATION B

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

826 - THE BRADLEY  
2018 FOOTPRINT

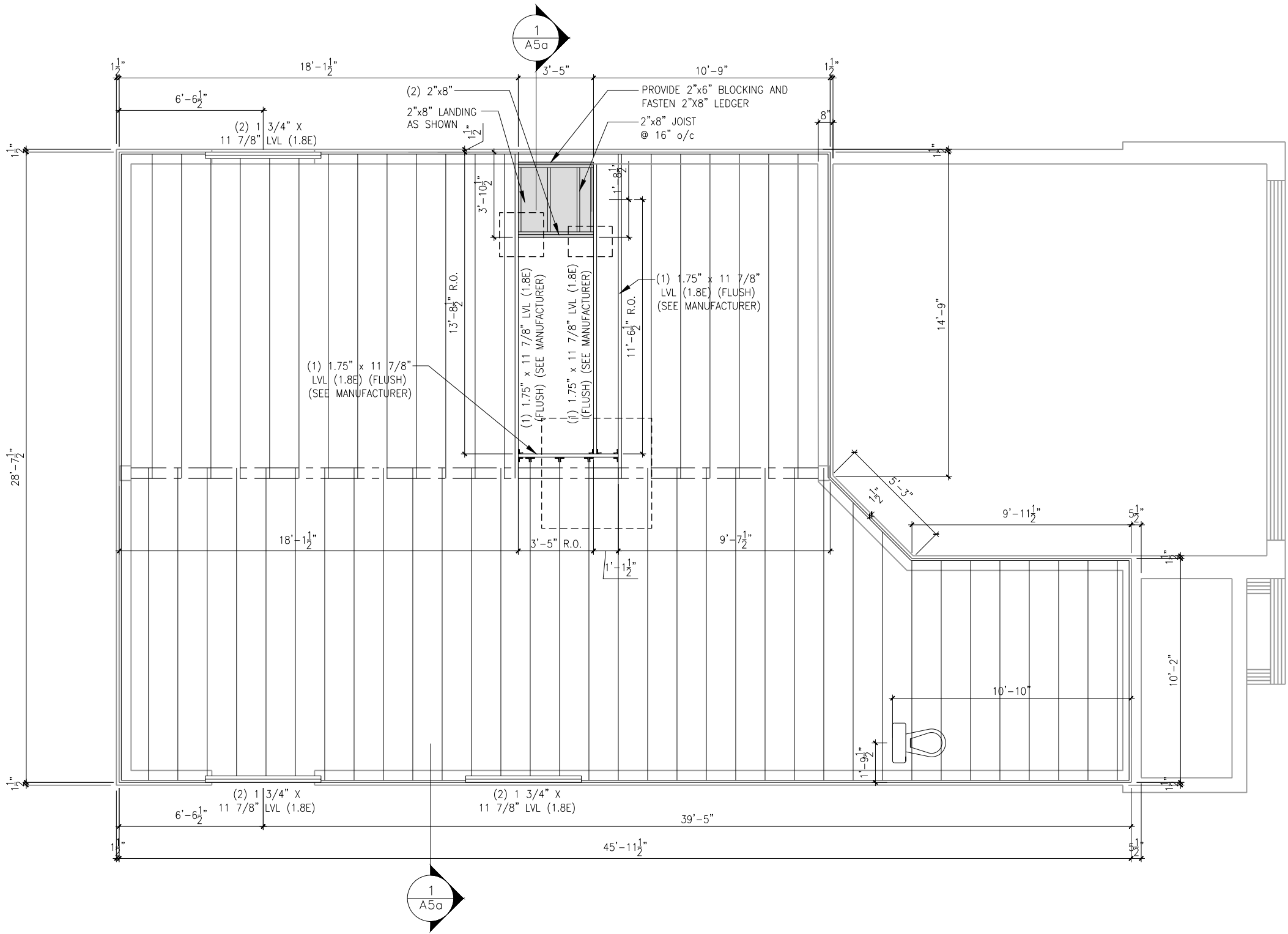
(STANDARD DRAWINGS)

SHEET:

A9e

FIRST FLOOR - JOIST LAYOUT - 3 AND 4 BEDROOM - ELEVATION A, B, C (STANDARD)

SCALE: 3/16" = 1'-0"



ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: 8 PST5

DATE: 11/13/2020



**Valecraft**  
Homes Ltd.

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- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
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- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
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- P5 = 5-2x4 OR 5-2x6

- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-2	1	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON

DRAWING: **FIRST FLOOR-JOIST LAYOUT**  
**3 AND 4 BED. - ELEV. A, B, C**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

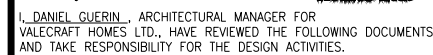
**826 - THE BRADLEY**  
**2018 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

**A10a**

DATE: 11/13/2020



- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*

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NOTES:

STEEL LINTEL:

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S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

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POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK  
POST BY USP  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x89x3.18 + 100x200x12 TAB & L  
P14 = HSS 89x89x4.8 + 100x200x12 TAB & L (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 TAB & L  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 TAB & L  
P17 = HSS 73.0x4.8x100 + 100x180x12 BOTTOM PL  
+ 130x160x10 TOP PL (\*)  
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

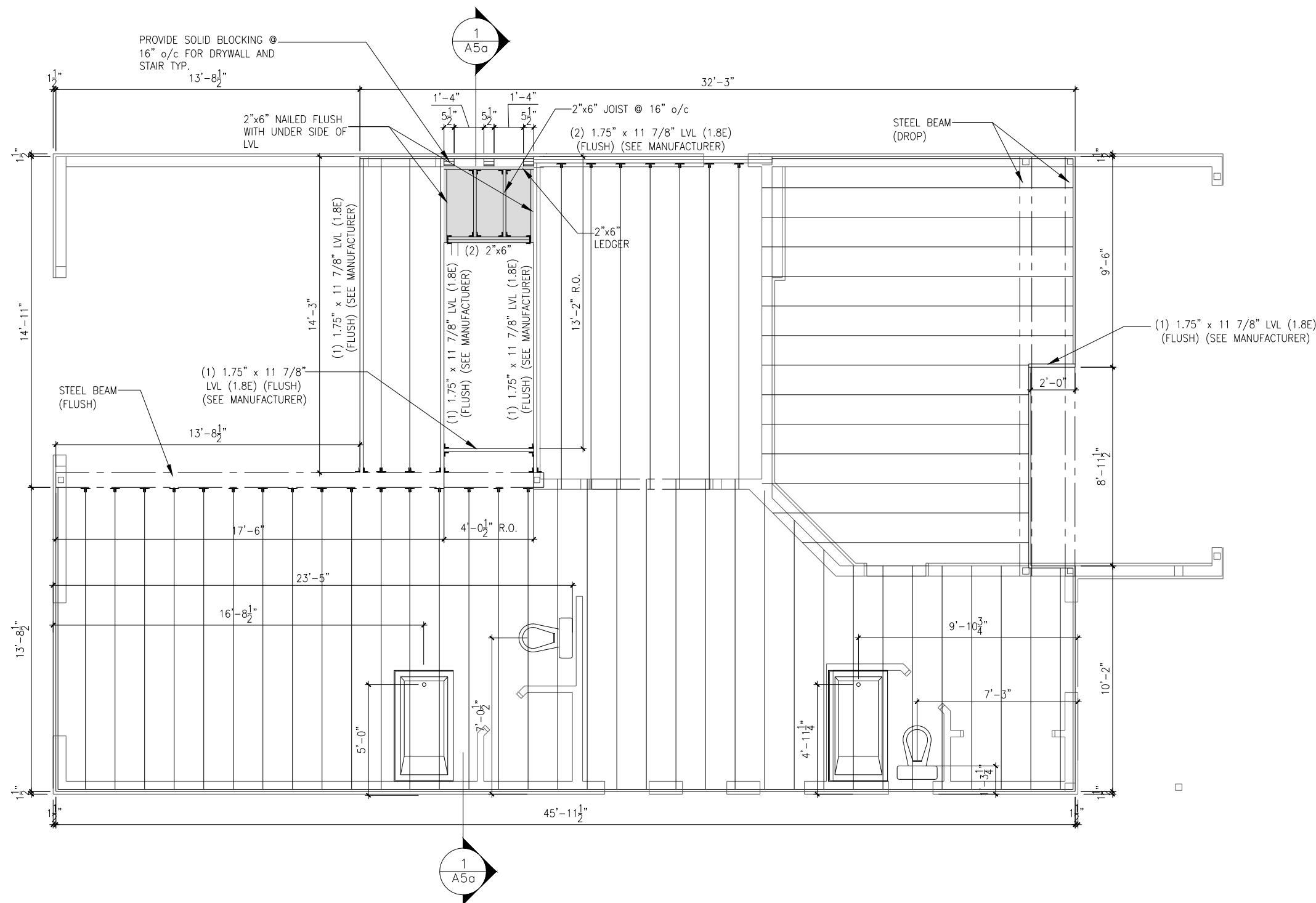
REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR - JOIST  
LAYOUT - 3 BEDROOM - ELEV. A-B**

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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826 - THE BRADLEY  
2018 FOOTPRINT

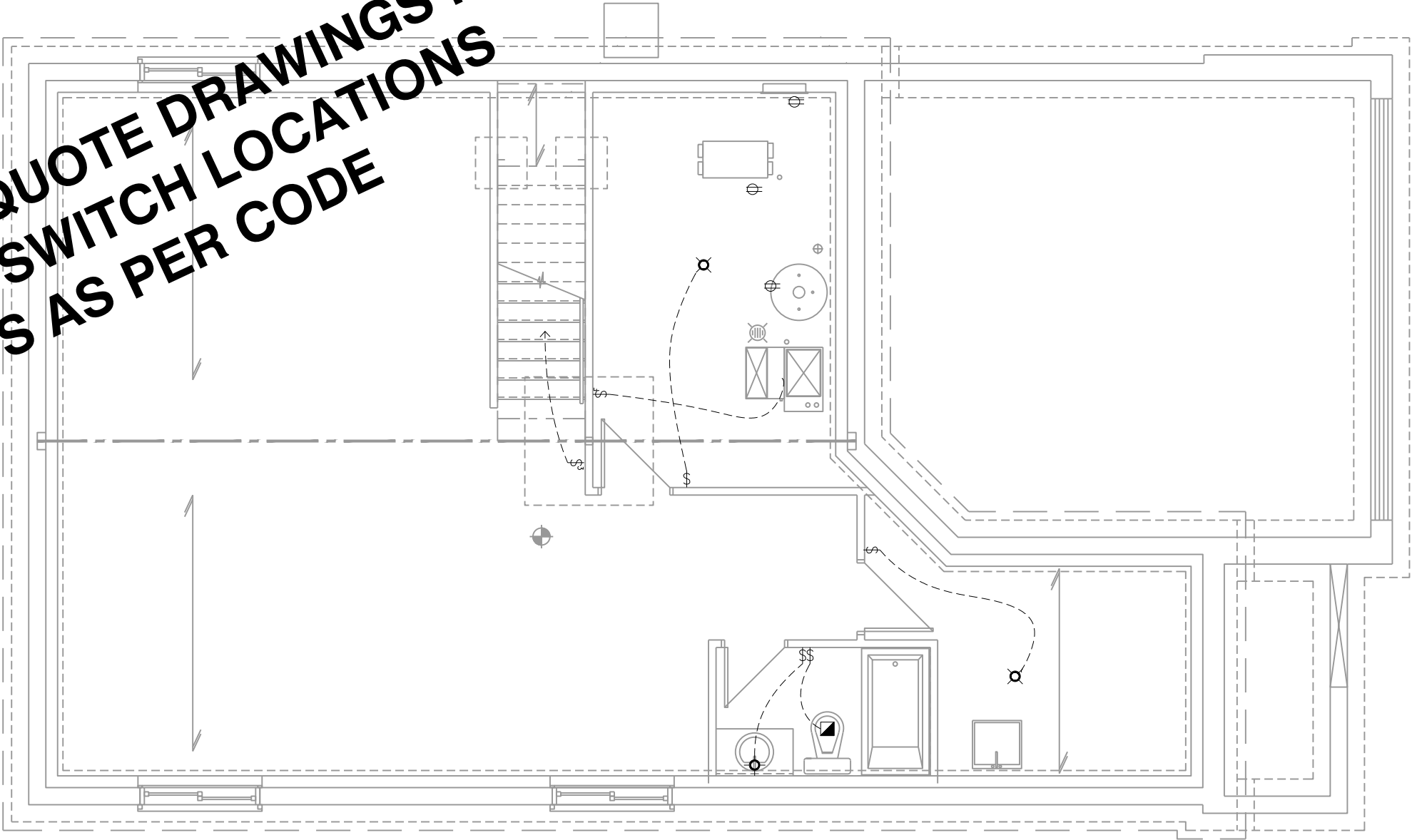
SHEET:  
**A11a**



**SECOND FLOOR - JOIST LAYOUT - 3 BEDROOM - ELEVATION A-B**

SCALE: 3/16" = 1'-0"

SEE S&S QUOTE DRAWINGS FOR ELECTRICAL  
FIXTURE/SWITCH LOCATIONS  
OUTLETS AS PER CODE



ROOF AND FLOOR LAYOUT NOTES:

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NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.

NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

GROUND FLOOR PLAN - 3 BEDROOM - ELEVATION A AND B

SCALE: 3/16" = 1'-0"

LOT: 8 PST5

DATE: 11/13/2020



**Valecraft**  
Homes Ltd.

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

BASEMENT ELECTRICAL PLAN

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

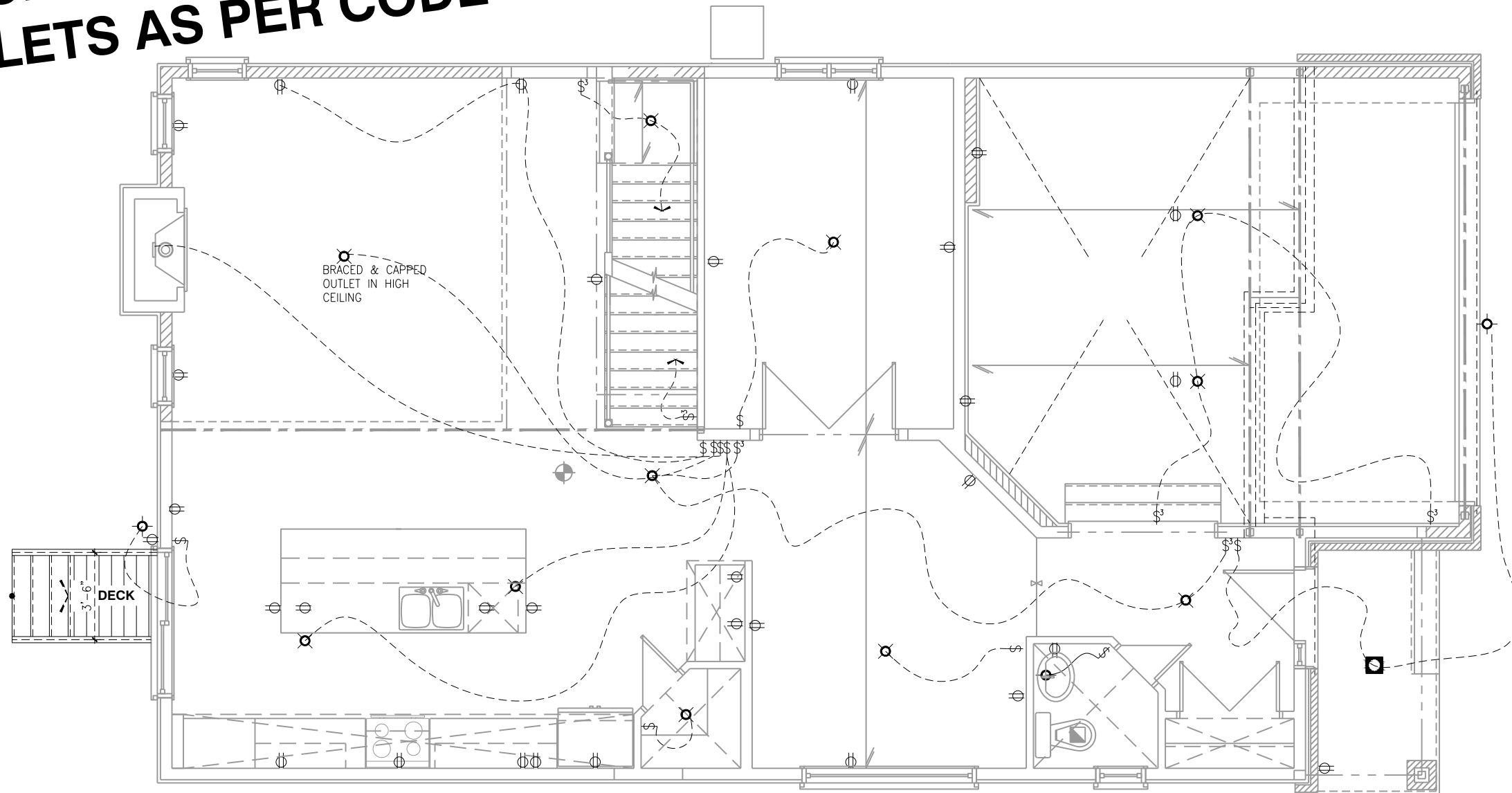
826 - THE BRADLEY  
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E1

SEE S&S QUOTE DRAWINGS FOR ELECTRICAL  
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OUTLETS AS PER CODE



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– FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;  
– INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;  
– WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;  
– COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;  
– COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

GROUND FLOOR PLAN ELECTRICAL PLAN - 3 BEDROOM

SCALE: 3/16" = 1'-0"

LOT: 8 PST5

DATE: 11/13/2020



**Valecraft**  
Homes Ltd.

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P14 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
- POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
– SHALL HAVE A VISUAL SIGNALING DEVICE;  
– ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
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– ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND  
– CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS


REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 1ST FLOOR ELECTRICAL

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

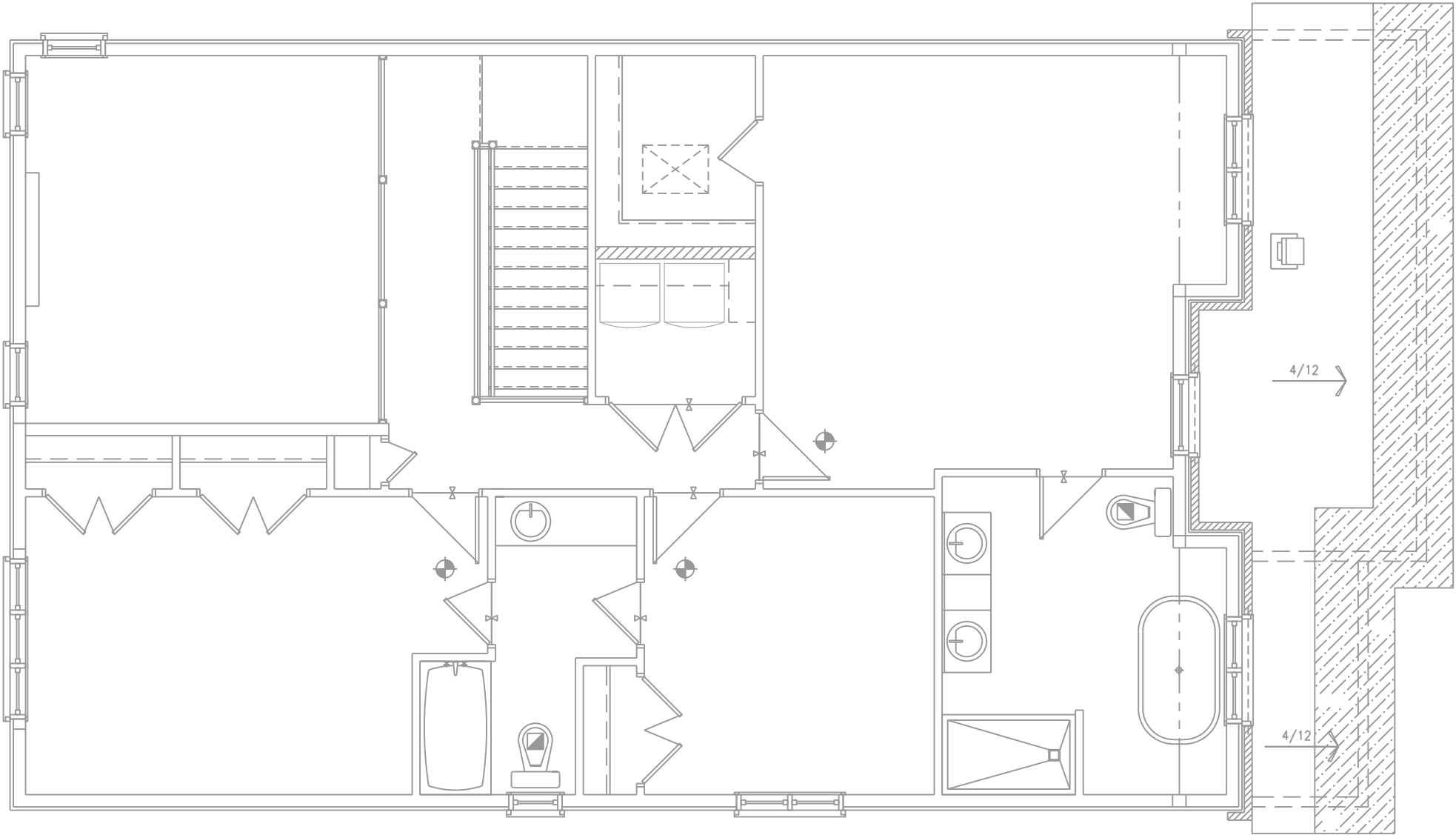
826 - THE BRADLEY  
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E2

SEE S&S QUOTE DRAWINGS FOR ELECTRICAL  
FIXTURE/SWITCH LOCATIONS  
OUTLETS AS PER CODE



SECOND FLOOR ELECTRICAL PLAN - 3 BEDROOM

SCALE: 3/16" = 1'-0"

LOT: 8 PST5  
DATE: 11/13/2020



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVIEW	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	24/08/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: 2ND FLOOR ELECTRICAL PLAN

ADDRESS: xxSCALE: 3/16" = 1'-0"DATE: xx/xx/xxxx

826 - THE BRADLEY 2018 FOOTPRINT (STANDARD DRAWINGS)

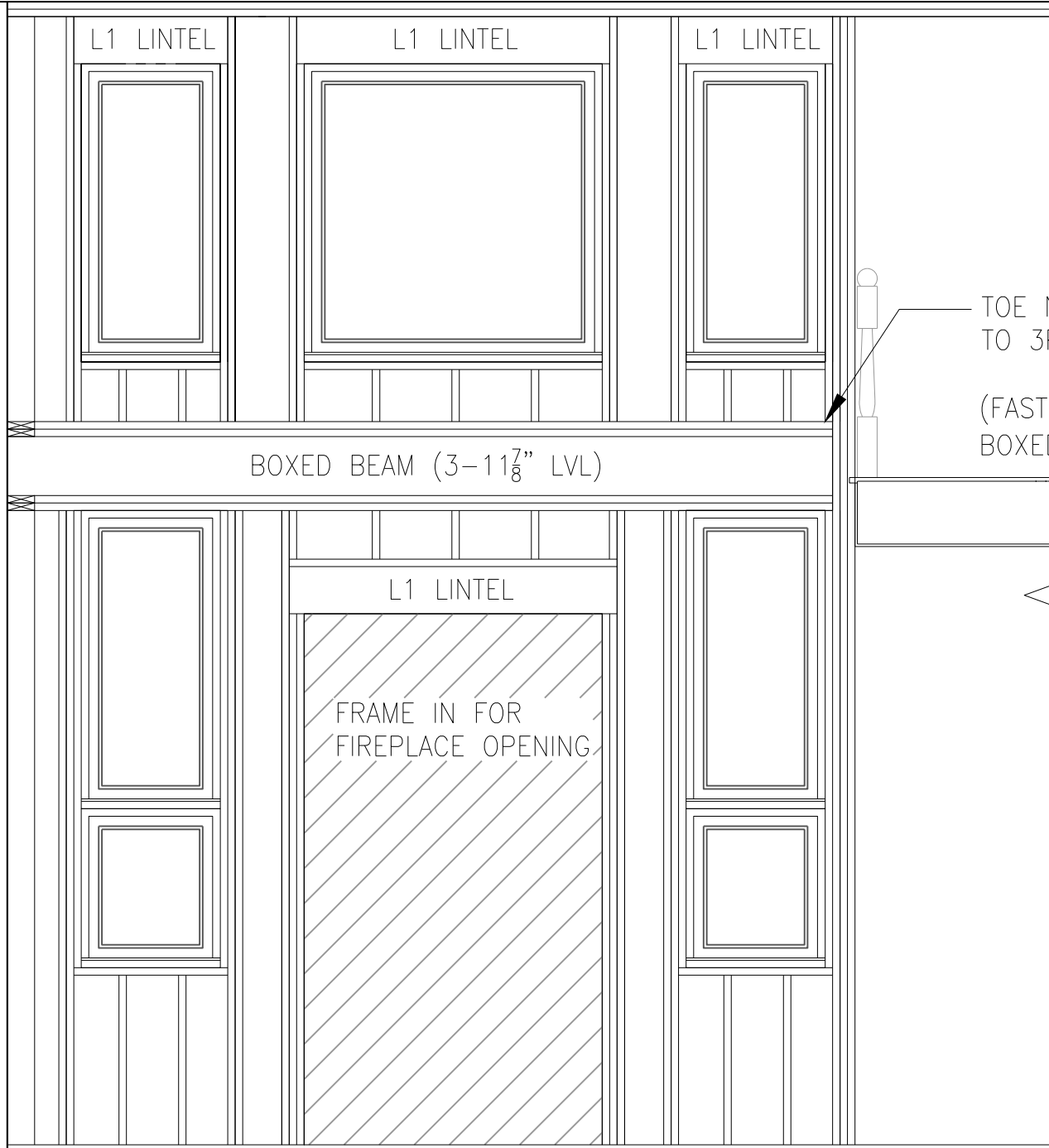
SHEET: E3



FRAMING DETAIL - REAR FULL HEIGHT WALL

SCALE: 1/4" = 1'-0"

SEE BOXED BEAM DETAIL (SP-22)



TOE NAIL DOUBLE PLATE & BOXED BEAM  
TO 3PLY FULL HEIGHT POST

(FASTENED OTHER END OF PERPENDICULAR  
BOXED BEAM THE SAME WAY)

LOT: XXXX  
DATE: XX/XX/XXXX



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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK CORNING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- SV - SIDING (VERTICAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)
- KC - KAYCAN WOOD SIDING - 7 1/4" LAP

2012 O.B.C. DRAWINGS

REV-2	STRUCTURAL REVISION #1	09/14/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

REAR WALL DETAIL

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

826 - THE BRADLEY  
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

D1



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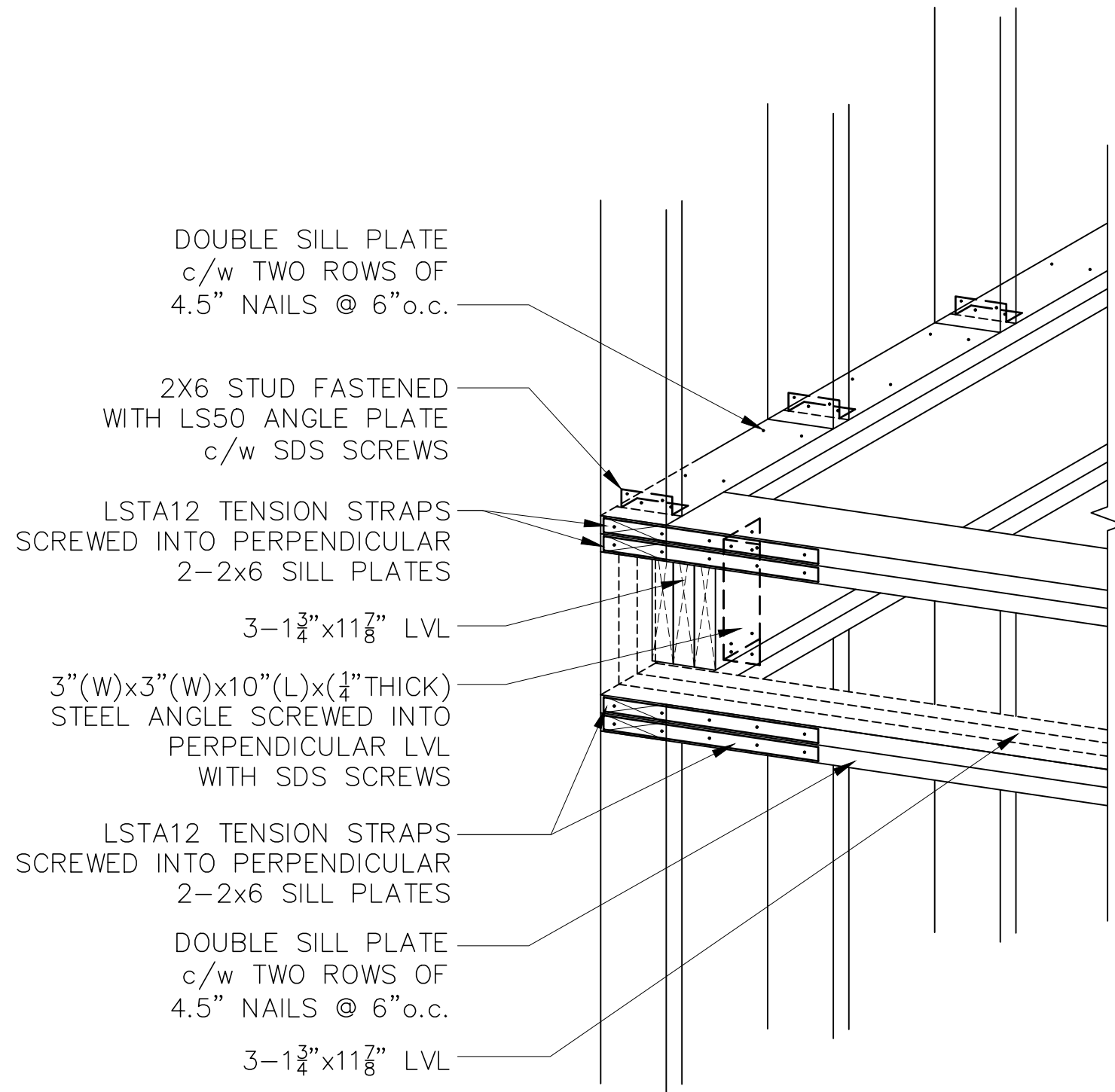
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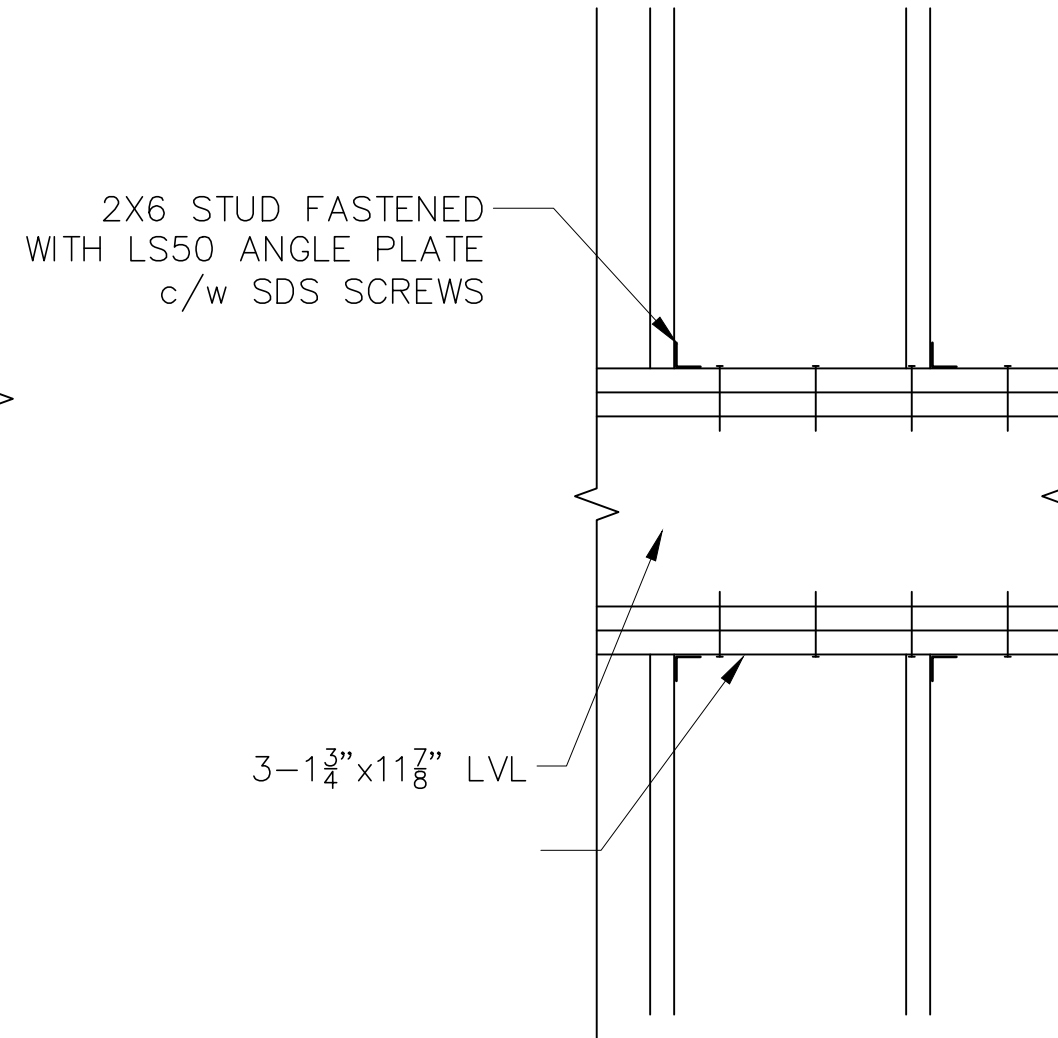
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1 **BOXED BEAM AT CORNER**  
SP-11 AS SHOWN

1 **BOXED BEAM DETAIL**  
SP-11 AS SHOWN



2 **BOXED BEAM SECTION**  
SP-11 AS SHOWN

2012 O.B.C. DRAWINGS

REV-1	ISSUED FOR BUILDING PERMIT	07/27/20	VH
NO.	DESCRIPTION	DATE	BY

DRAWING:

BOX BEAM DETAIL

ADDRESS:	SCALE:	DATE:
XX	AS SHOWN	01/14/21

MODEL NAME  
(STANDARD DRAWINGS)

SHEET:

SP-22