

ELEVATION A - FRONT

SCALE: 3/16" = 1'-0"

LOT: 6 - PST PH.5 DATE: 10/29/2020



I, <u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALEGRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE IN-10 DAMING 10 BE USED IN CONSUMEDING WITH STREEDLE BETALLED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOSETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE (ACCEI
 + 20mm PROUD
 BRICK SLEEPER COURSE
 STACK BOND (ACCENT)
 BRICK SILL (ACCENT)
 BRICK SILL (ACCENT)
 BRICK CORBELLING
 BRICK CORBELLING
 BRICK CONING 20mm PROUD
) BRICK 20mm RECESSED
 SIDING (HORIZONTAL)
 STONE VENEER
 TRIM 200mm COVE SIDING
 ALUMINUM FASCIA
 ALUMINUM FASCIA
 ALUMINUM BAND
 ASPHALT SHINDELS
 FLASHING
 ROOF VENT (MAXIMUM)

- PLASHING
 ROOF VENT (MAXIMUM)
 PARGING
 PARGING

- PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINYL SHAKES
 VEC SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAI
NO.	DESCRIPTION	DATE	BY

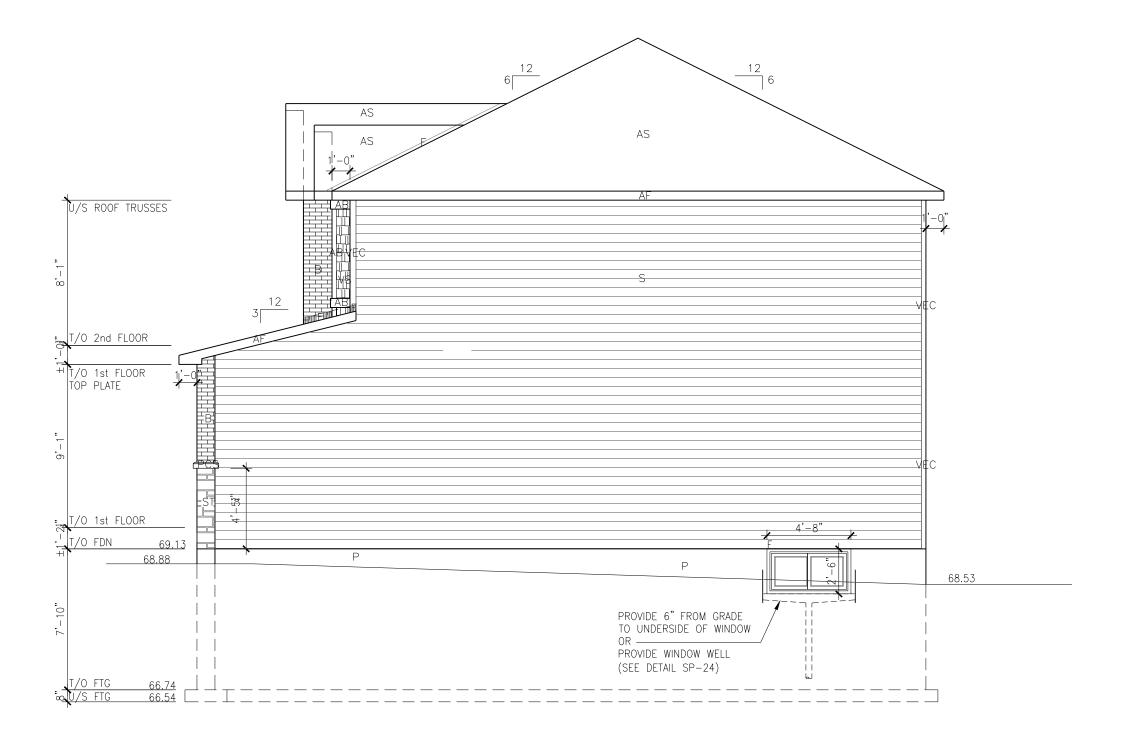
ELEVATION A - FRONT

SCALE: 3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A1a



ELEVATION A - RIGHT

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- R FINISH LEGENU:

 3 BRICK (MAIN)
 B1 BRICK SOLDIER COURSE (ACCENT)
 B2 BRICK SOLDIER COURSE (ACCENT)
 + 20mm PROUD
 B3 BRICK SLEEPER COURSE
 B4 STACK BOND (ACCENT)
 B5 BRICK SLEEPER COURSE
 B4 STACK BOND (ACCENT)
 B6 BRICK ROW LOCK (ACCENT)
 B7 BRICK ROW LOCK (ACCENT)
 B7 BRICK CORBELLING
 B8 BRICK CONBING 20mm PROUD
 +20 BRICK 20mm PROUD
 -20 BRICK 20mm PROUD
 -20 BRICK 20mm PROUD
 ST STONE VENEER
 T STONE VENEER
 T TRIM 200mm COVE SIDING
 AC ALUMINUM CADDING
 AB 48" ALUMINUM CADDING
 AB 48" ALUMINUM BAND
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)

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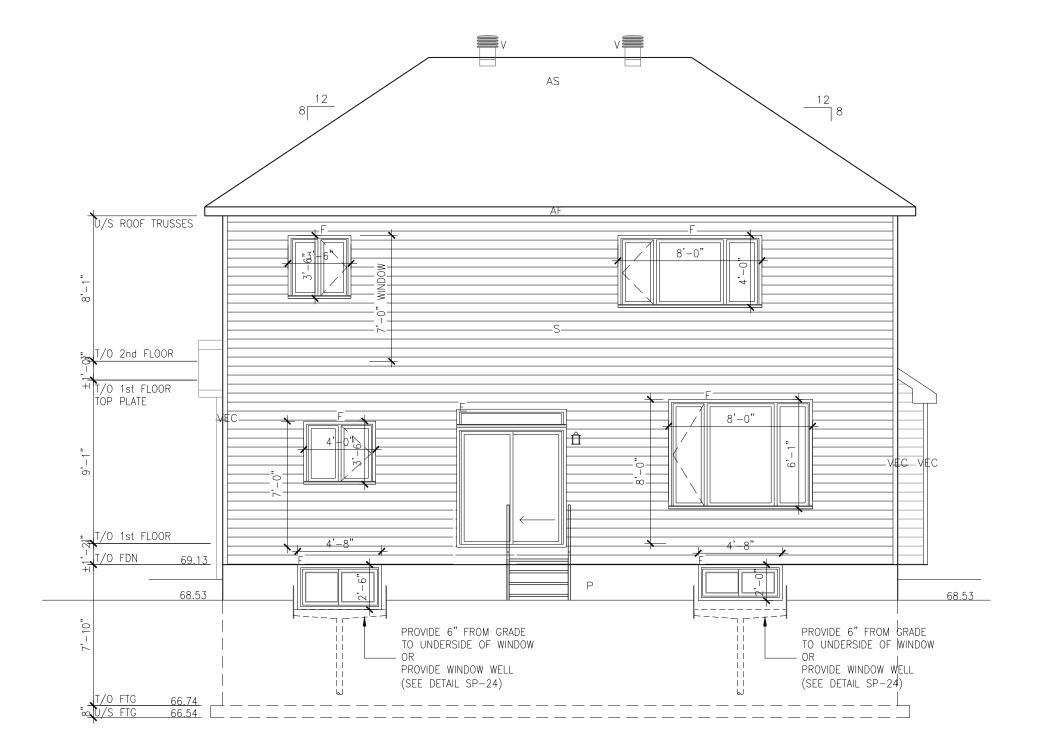
ELEVATION A - RIGHT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A2a



ELEVATION A - REAR

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 T TRIM 200mm COVE SIDING
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 AC ALUMINUM CADDING
 AB 48" ALUMINUM BAND
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)

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NO	DECODIDATION	DATE	501

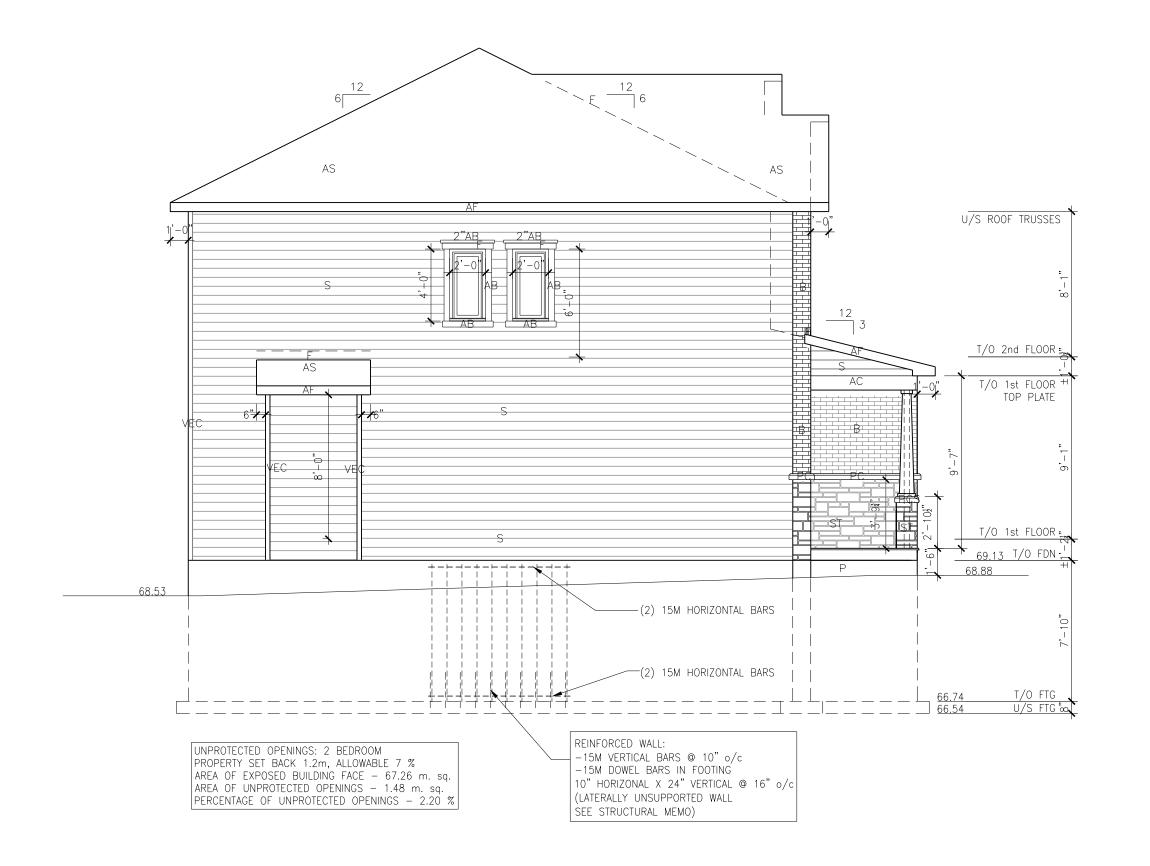
ELEVATION A - REAR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A3a



ELEVATION A - LEFT

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 STACK BOND (ACCENT)
 BRICK SILL (ACCENT)
 BRICK ROW LOCK (ACCENT)
 BRICK CORBELLING
 BRICK CONBINE 20mm PROUD
 0 BRICK 20mm PROUD
 0 BRICK 20mm RECESSED
 SIDING (HOPE/20NIX)

- BRICK 20mm RECESSED
 SIDING (HORIZONTAL)
 STONE VENEER
 TRIM 200mm COVE SIDING
 ALUMINUM FASCIA
 ALUMINUM CLADDING
 48" ALUMINUM BAND
 ASPHALT SHINGLES
 FLASHING

- PLASHING
 ROOF VENT (MAXIMUM)
 PARGING
 PARGING

- PCH 10 PARKSING PCH10 PRECAST HEADER 10"
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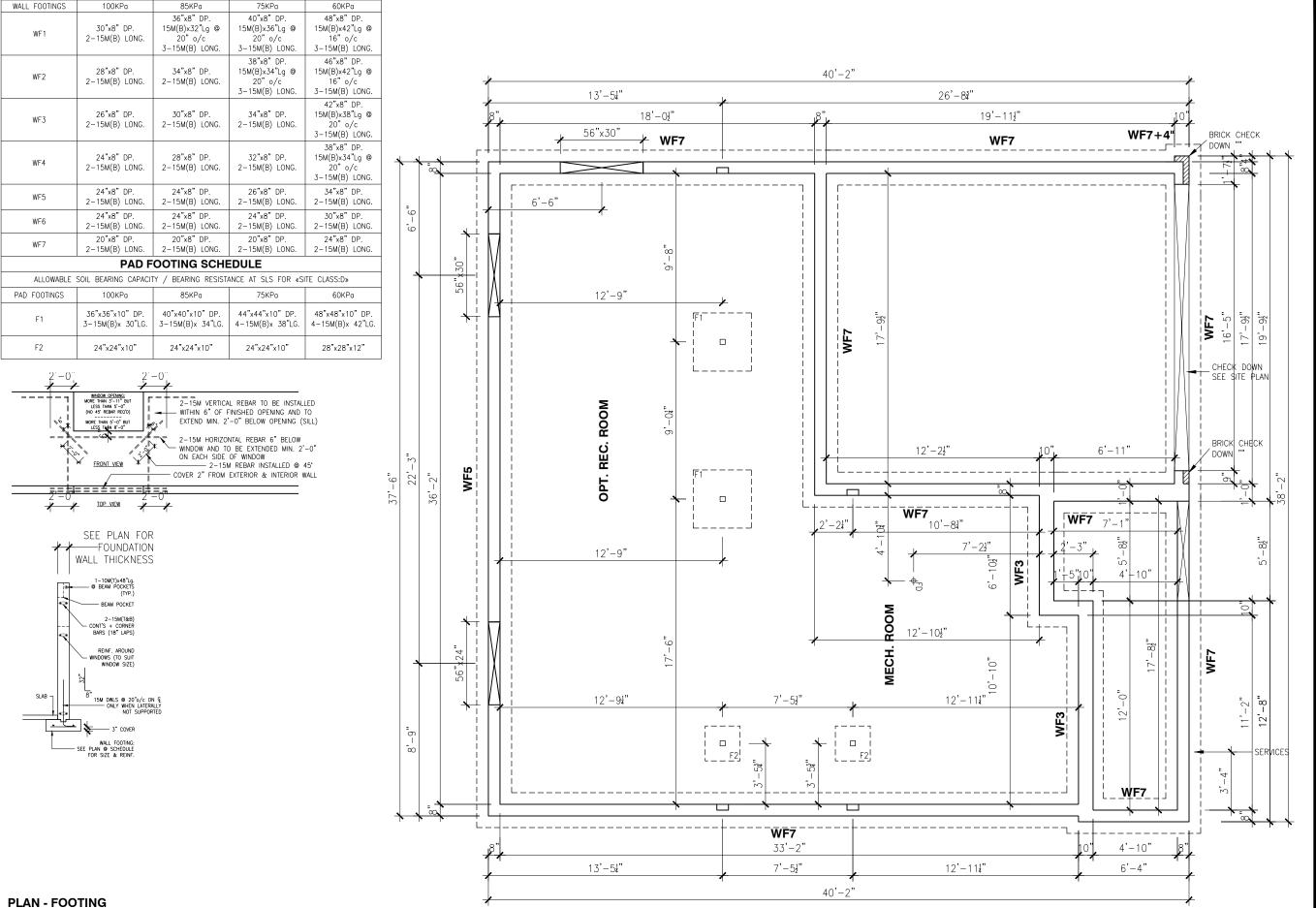
ELEVATION A - LEFT

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1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A4a



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DATE: 10/29/2020



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NOTE

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST):

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTATTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

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AWING: FOOTING PLAN

ELEVATION A,B - STANDARD

xx 3/16" = 1'-0"

1010 - THE FERRIS

A5a

XX/XX/XXXX

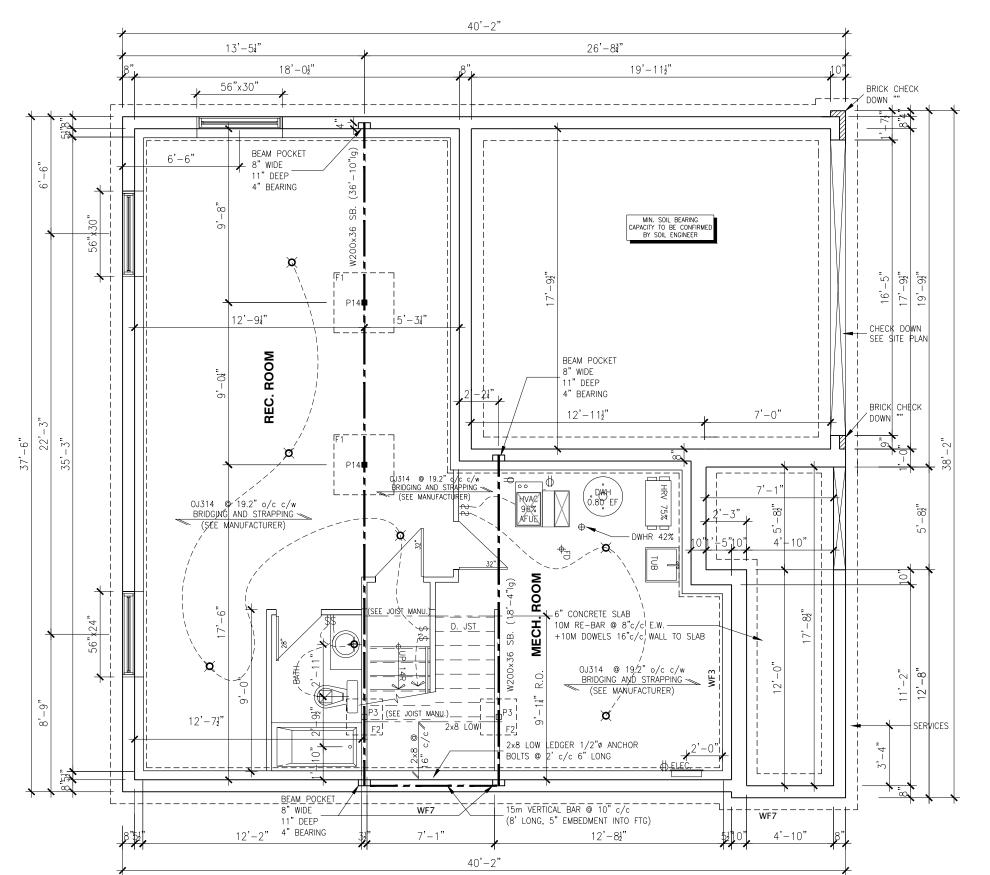
2018 FOOTPRINT

SCALE: 3/16" = 1'-0"

ELEVATION A & B - STANDARD

FOOTING SCHEDULE

ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»



NOTES: - ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE):

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY HE GEOTECHNICAL ENGINEER

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH $9.7.1.3.\colon$

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS: AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: 6 - PST PH.5 DATE: 10/29/2020



<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR MALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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TARION REGISTRATION NUMBER #611

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 $S6 = 1.200 \times 100 \times 100$
- S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
- $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-2x6
P3 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

13 - 133 69.39.48 + 100x200x12 1&B PL. (*) P15 = HSS 89x89x4.8 + 100x200x12 1&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 1&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 1&B PL. (*) P17 = HSS 73 0.0.x4.8 + 100x180x12 BOTTOM PL.

(*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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FOUNDATION PLAN - STANDARD

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A6a

STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14") WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5")

LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") MAX 900mm (36"):
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6"
- FXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0' (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN
- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

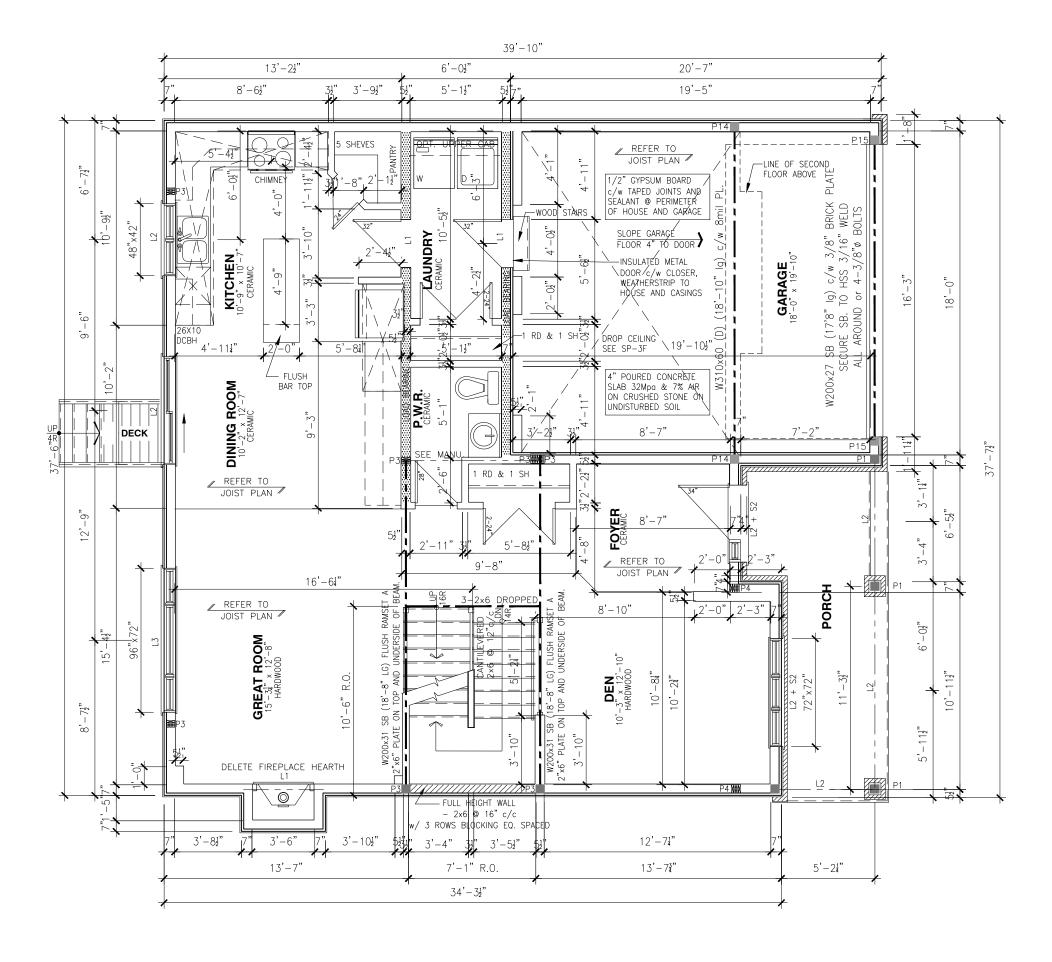
ROOF AND FLOOR LAYOUT NOTES:

 ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO B AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF
AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION
BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID
BLOCKING DOWN TO FOUNDATION.

- GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - GROUND FLOOR - ELEVATION A

6 - PST PH.5 DATE: 10/29/2020



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- ARE REQUIRED IN EACH SICEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

AND RECOURSED TO BE REPORTED WITH AUTRED AS ANALONE.

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAC
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - STANDARD

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A7a

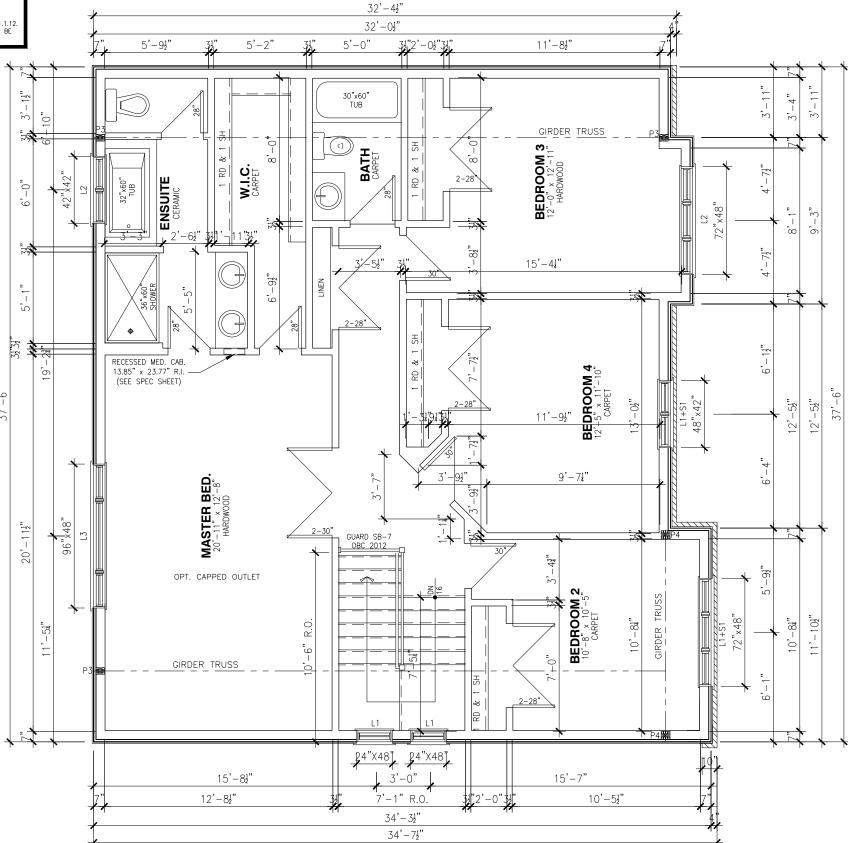
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT:
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST TH RUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - SECOND FLOOR - ELEVATION A

LOT: 6 - PST PH.5 DATE: 10/29/2020



I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT.

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
 - $= 1.200 \times 100 \times 12$

S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P1a = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6

P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P15 = HSS 89x89x4.8 + 100x200x12 T&B PL (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL (*)
P17 = HSS 73 .0.x4.8 + 100x180x12 BOTTOM PL + 130x160x10 TOP PL (*)
(*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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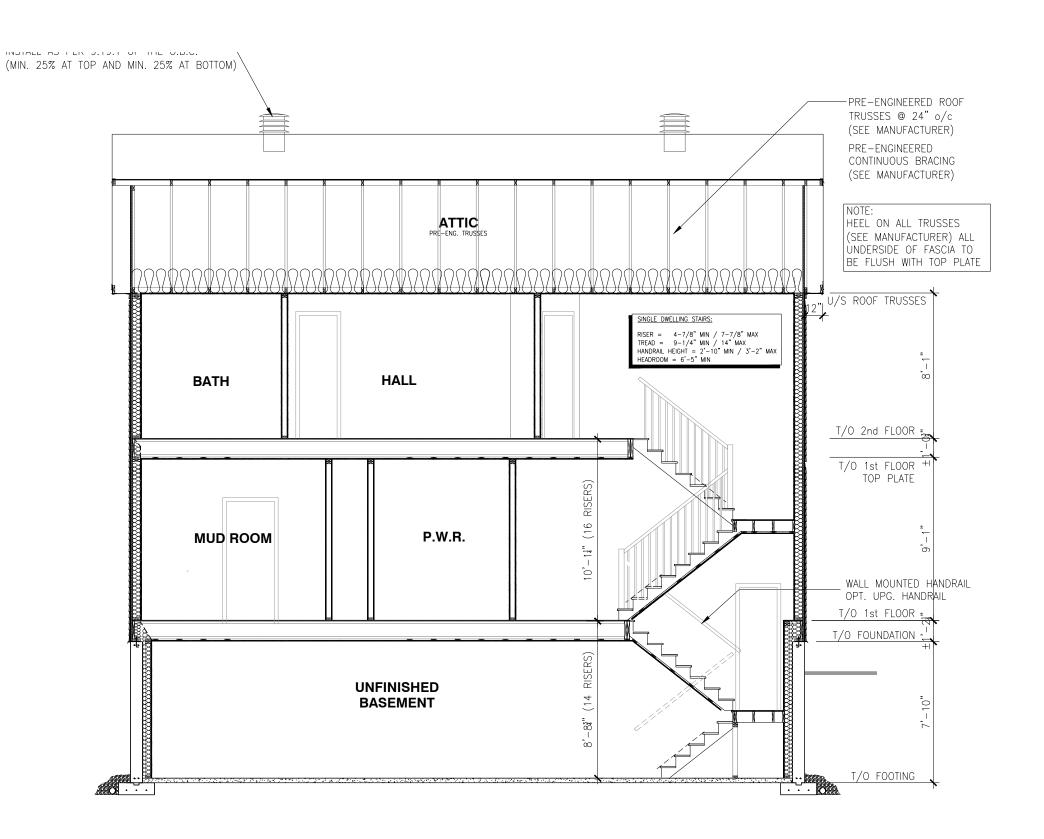
SECOND FLOOR - STANDARD

3/16" = 1'-0"

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

xx/xx/xxxx



SECTION

SCALE: 3/16" = 1'-0"

LOT: 6 - PST PH.5 DATE: 10/29/2020



I, DANIEL GUERIN , ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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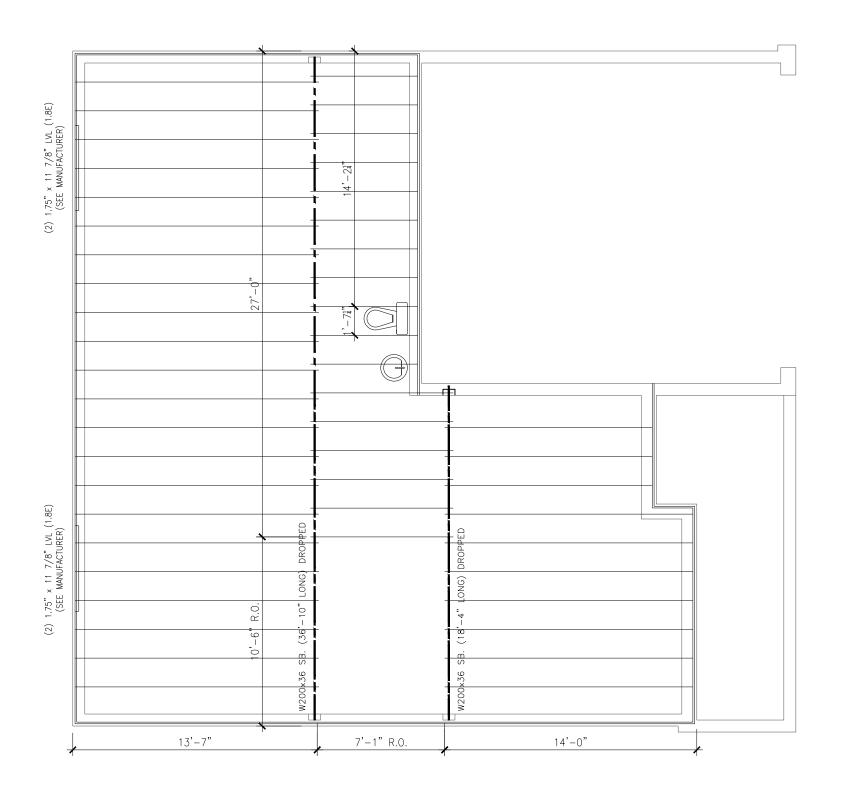
2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

SECTION

DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT



FIRST FLOOR JOIST LAYOUT

SCALE: 1/4" = 1'-0"

LOT: 6 - PST PH.5 DATE: 10/29/2020



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2012 O.B.C. DRAWINGS

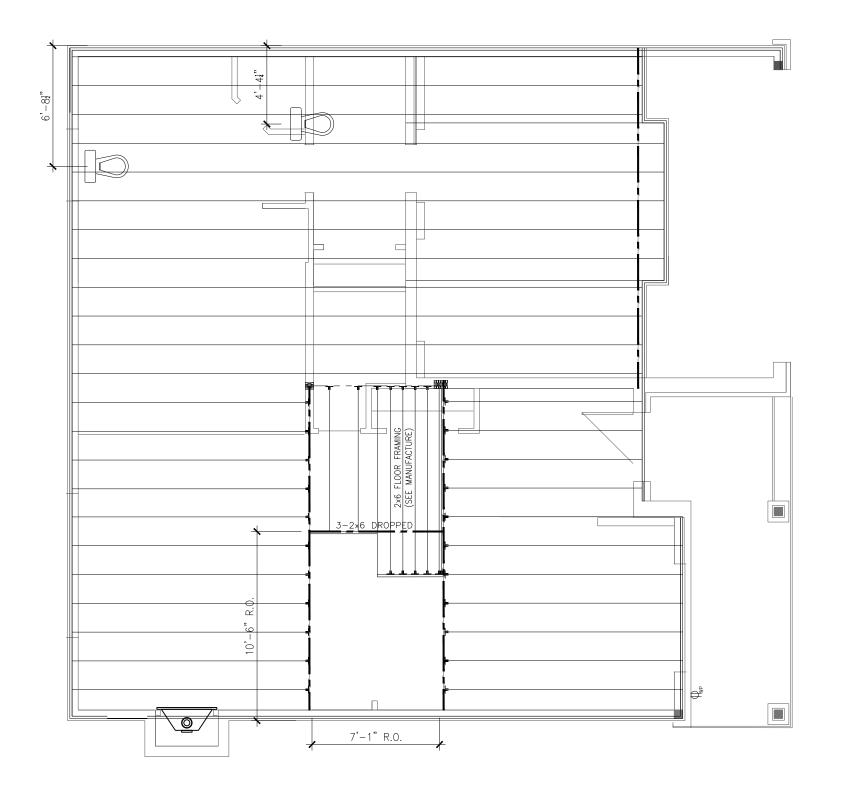
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NO.	DESCRIPTION	DATE	BY

FIRST FLOOR JOIST LAYOUT

DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

A10b



SECOND FLOOR JOIST LAYOUT

SCALE: 1/4" = 1'-0"

LOT: 6 - PST PH.5 DATE: 10/29/2020



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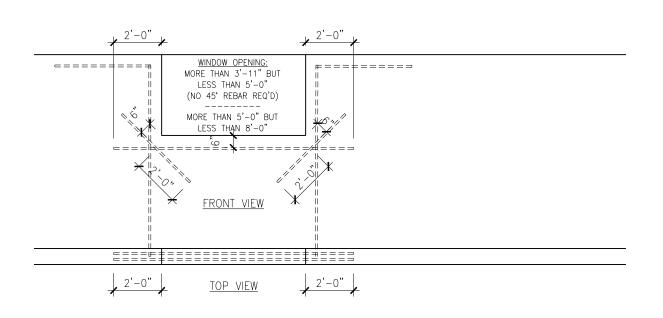
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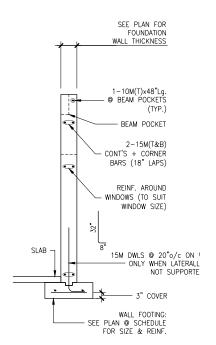
SECOND FLOOR JOIST LAYOUT

DATE: XX/XX/XXXX

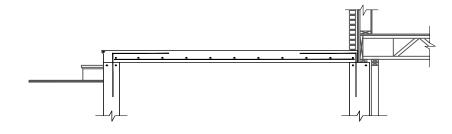
1010 - THE FERRIS 2018 FOOTPRINT

A11b





PROVIDE MIN. 1.5" CONCRETE COVER OVER REBAR



TYPICAL DETAILS

SCALE: 1/4" = 1'-0"

LOT: 6 - PST PH.5 DATE: 10/29/2020



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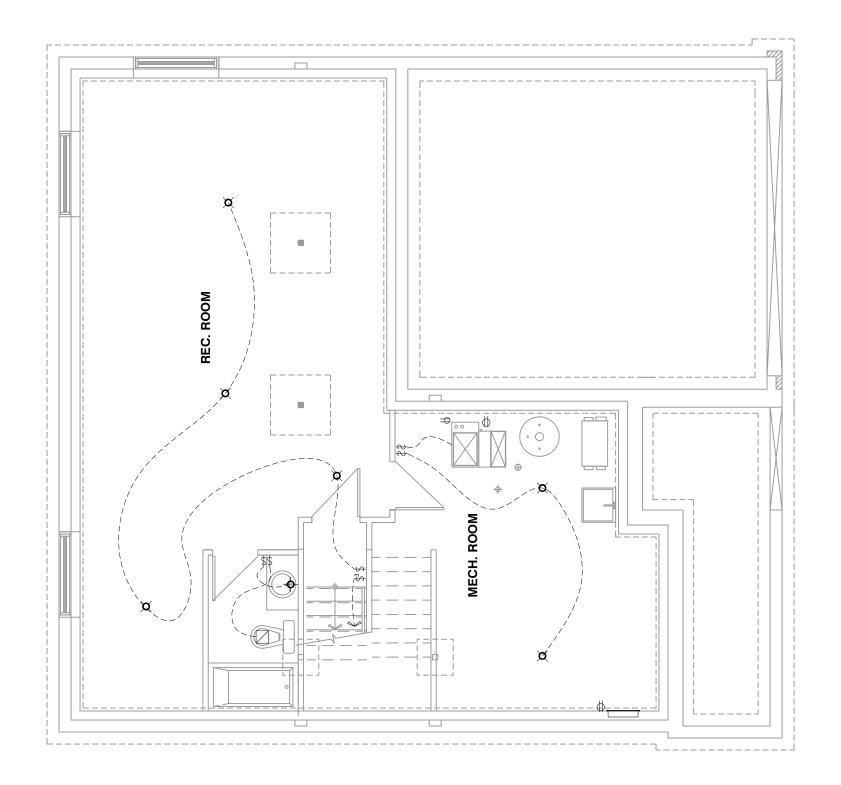
TYPICAL DETAIL

DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A10b



PLAN - ELECTRICAL FOUNDATION - ELEVATION A/B/C (STANDARD)

LOT: 6 - PST PH.5 10/29/2020



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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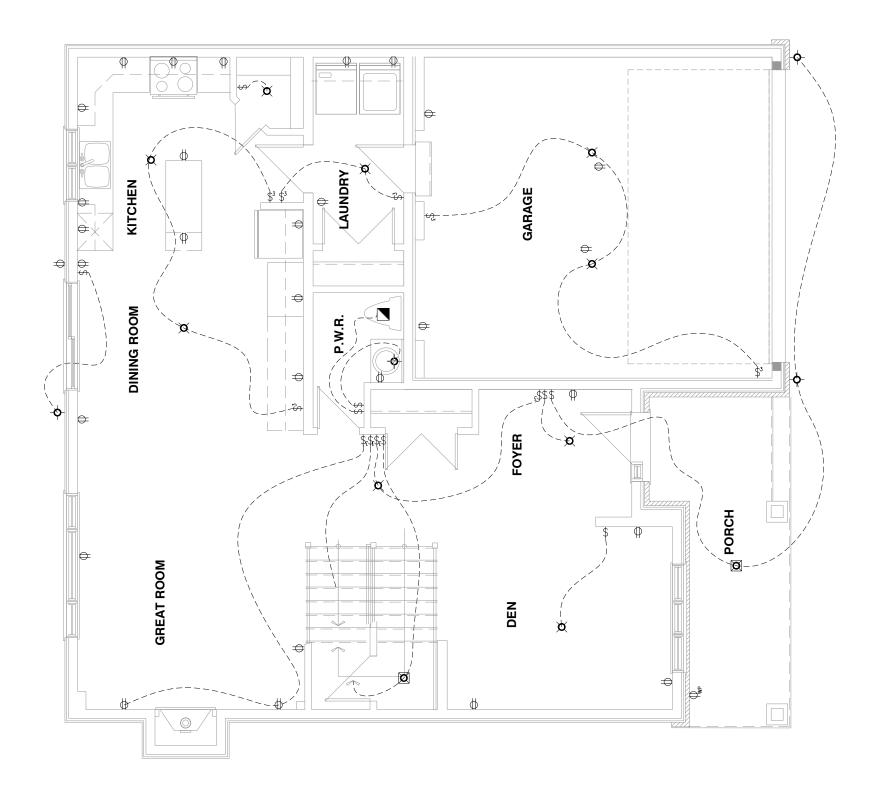
ELECTRICAL

FOUNDATION PLAN - STANDARD

SCALE: 3/16" = 1'-0"

1010 - THE FERRIS 2018 FOOTPRINT

E1a



PLAN - ELECTRICAL GROUND FLOOR - ELEVATION (STANDARD)

LOT: 6 - PST PH.5 10/29/2020



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2012 O.B.C. DRAWINGS

ı				
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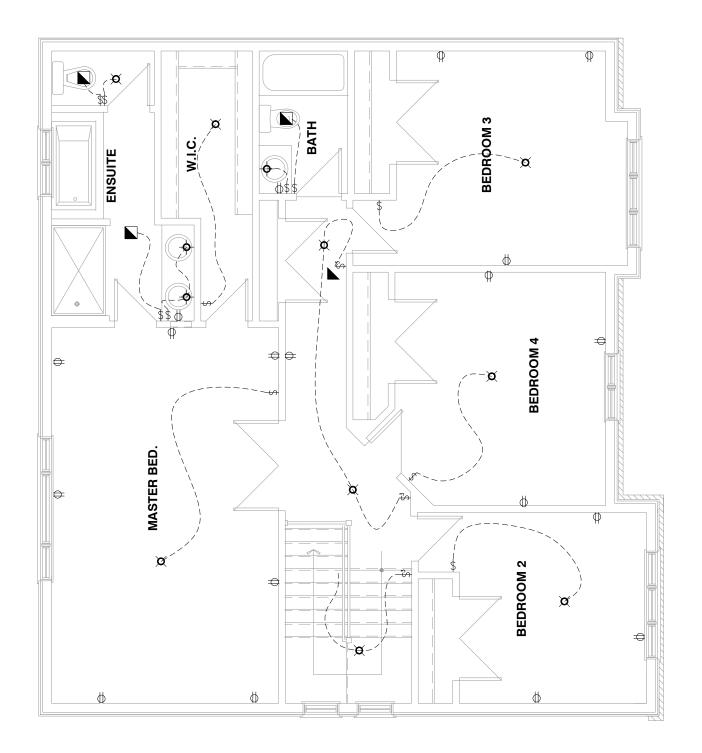
ELECTRICAL

GROUND FLOOR - STANDARD

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX 1010 - THE FERRIS

2018 FOOTPRINT

E2a



PLAN - ELECTRICAL SECOND FLOOR - ENSUITE UPGRADE

LOT: 6 - PST PH.5 DATE: 10/29/2020



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ELECTRICAL SECOND FL. - ENS. UPG.

SCALE: 3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

E4a