

ELEVATION A - FRONT

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX

Homes (2019) Limited

I, DANIEL GUERIN , ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK SILL (ACCENT)

 BRICK CORBELLING

 BRICK CONBIGL 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 SIDING (VERTICAL)

 SIDING SENER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FLASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINT\ SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

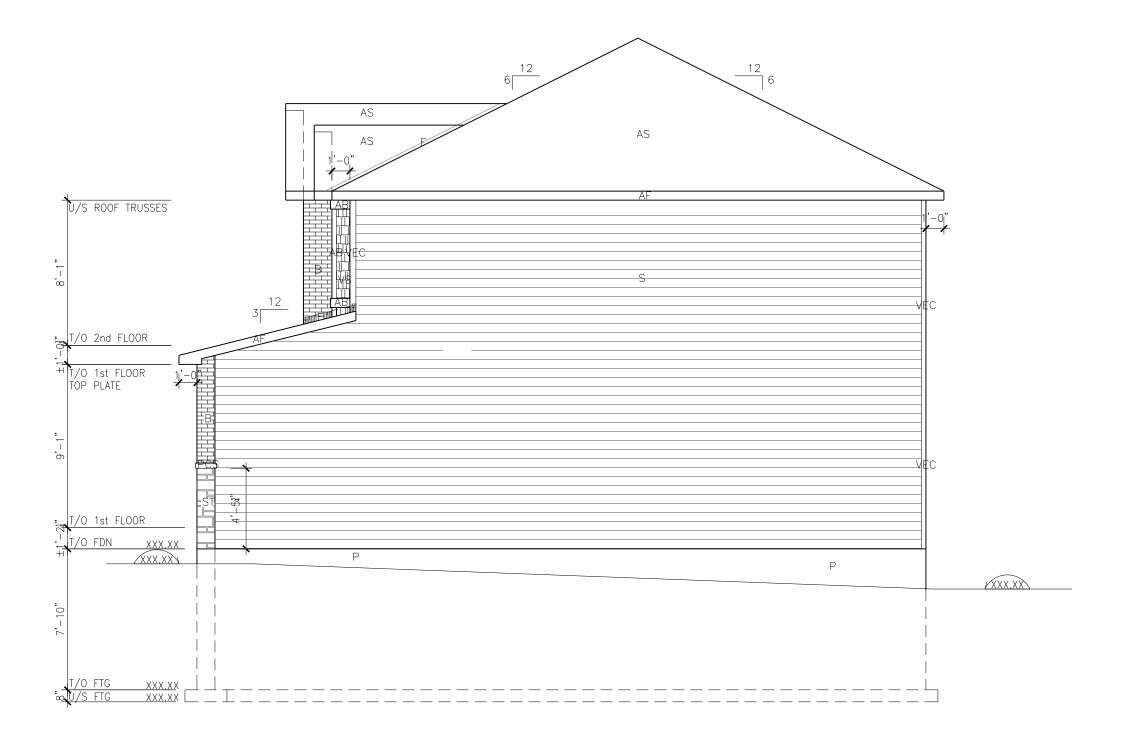
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

ELEVATION A - FRONT

SCALE: 3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT (STANDARD DRAWINGS)

A1a



ELEVATION A - RIGHT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX

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R FINISH LEGEND:

3 - BRICK (MAIN)
B11 - BRICK SOLDIER COURSE (ACCENT)
B2 - BRICK SOLDIER COURSE (ACCENT)
+ 20mm PROUD
B3 - BRICK SLEEPER COURSE
B4 - STACK BOND (ACCENT)
B5 - BRICK CORSE
B1 - BRICK CORSE
B1 - BRICK CORSE
B1 - BRICK CORSE
B1 - BRICK COMBELLING
B2 - BRICK COMBELLING
B3 - BRICK COMBELLING
B4 - BRICK COMBELLING
B5 - BRICK COMBELLING
B6 - BRICK COMBELLING
B7 - BRICK COMBELLING
B8 - BRICK COMBELLING
B9 -

V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING
PCH10 - PRECAST HEADER 10"
PCH8 - PRECAST HEADER 8"
PCS - PRECAST SILL
PCB - PRECAST BAND
VS - VINTL SHAKES
VEC - SIDING (VERTICAL CORNER) - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

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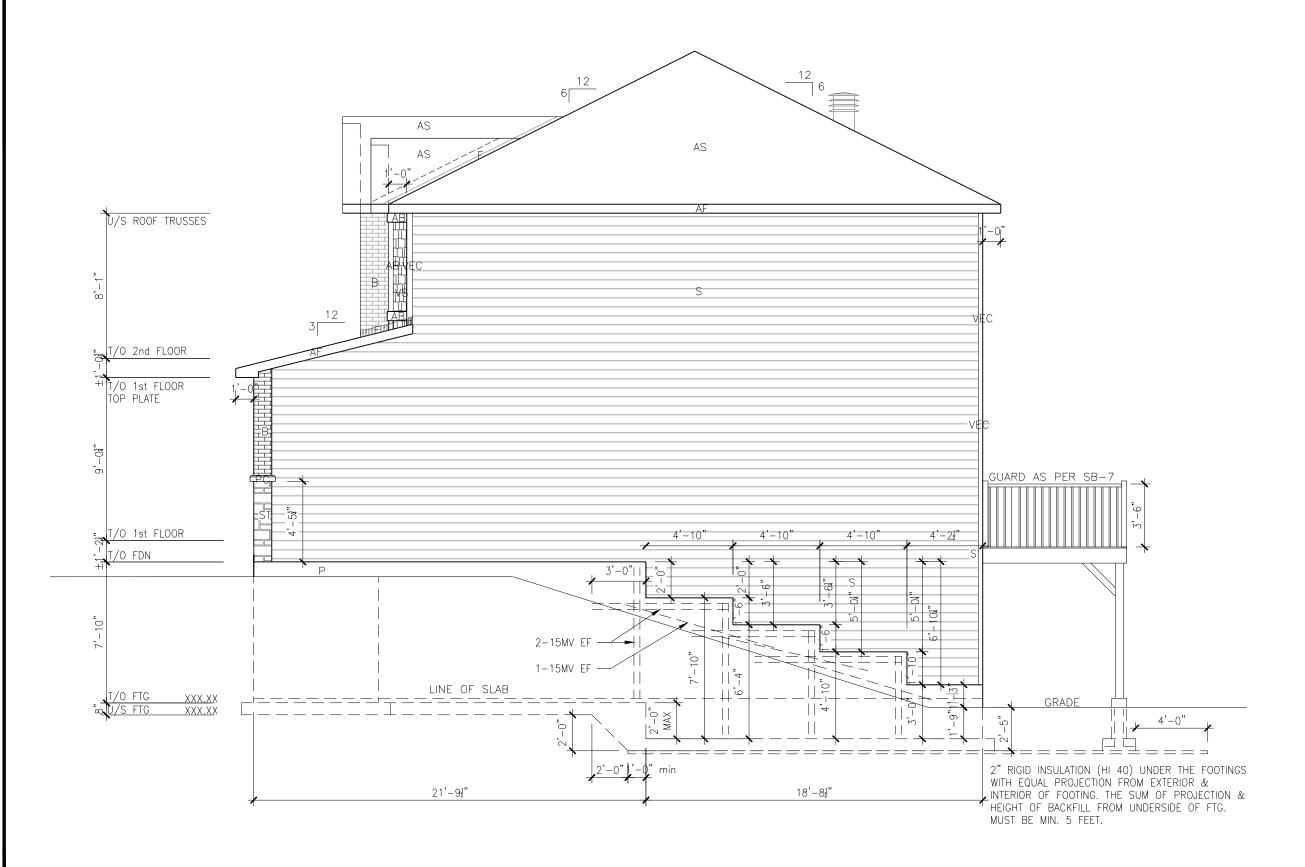
ELEVATION A - RIGHT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A2a



ELEVATION A - RIGHT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

LOT: **XXXX**

XX/XX/XXXX

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- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK SOLL (ACCENT)

 BRICK CORBELLING

 BRICK CORBELLING

 BRICK CONING 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FLASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

			Г
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MA
NΩ	DESCRIPTION	DATE	RY

RAWING: ELEVATION A - RIGHT **WALKOUT BASEMENT**

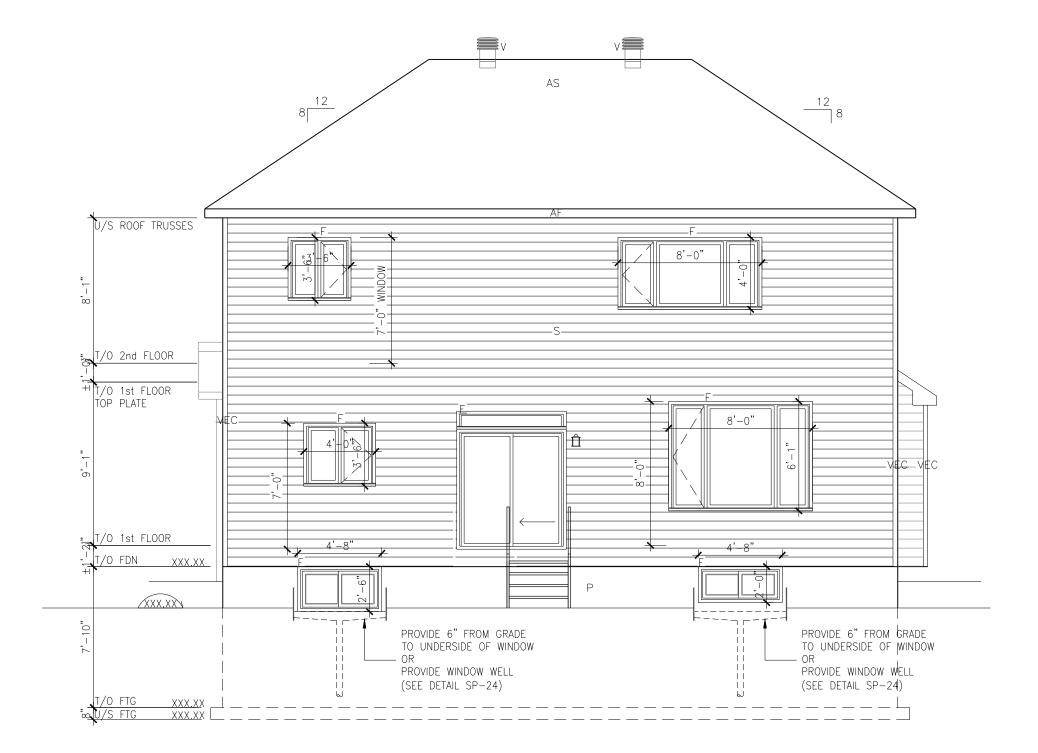
SCALE: 3/16" = 1'-0"

1010 - THE FERRIS

2018 FOOTPRINT (STANDARD DRAWINGS)

A2a

xx/xx/xxxx



ELEVATION A - REAR

SCALE: 3/16" = 1'-0"



XXXX XX/XX/XXXX

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- BRICK (MAIN)
 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- B2 BRICK SOLDIER COURSE (ACCEN + 20mm PROUD)
 B3 BRICK SLEEPER COURSE
 B4 STACK BOND (ACCENT)
 B5 BRICK SLEL (ACCENT)
 B6 BRICK SUL (ACCENT)
 B7 BRICK ROW LOCK (ACCENT)
 B8 BRICK CONING 20mm PROUD
 +20 BRICK 20mm PROUD
 +20 BRICK 20mm RECESSED
 S SIDING (HORIZONTAL)
 SV SIDING (VERTICAL)
 ST STONE VENEER
 T TRIM 200mm COVE SIDING
 AF ALUMINUM FASCIA
 AC ALUMINUM CLADDING
 AB 48" ALUMINUM BAND
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)
 P PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

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REV-2	AS PER STRUCTURAL	11/05/2018	VH
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NO.	DESCRIPTION	DATE	BY

ELEVATION A - REAR

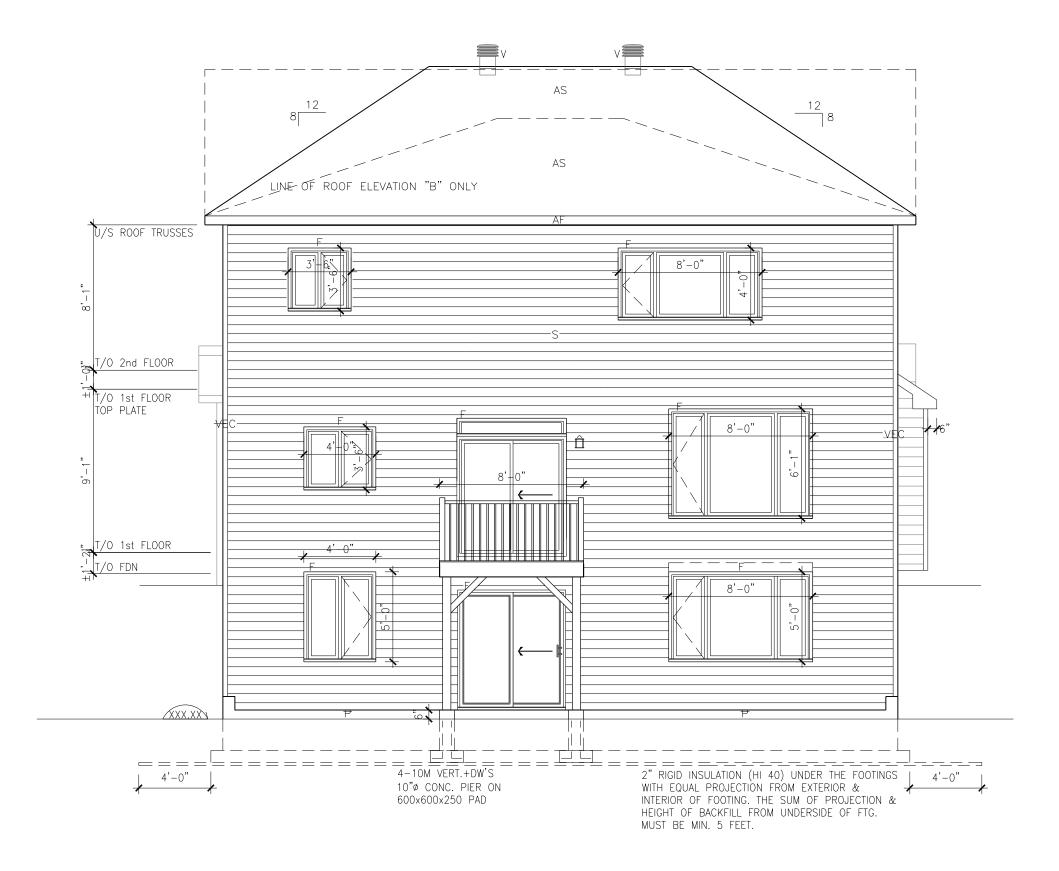
SCALE: 3/16" = 1'-0" 1010 - THE FERRIS

2018 FOOTPRINT

(STANDARD DRAWINGS)

A3a

DATE: XX/XX/XXXX



ELEVATION A - REAR - WALKOUT BASEMENT SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX

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- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SULL (ACCENT)

 BRICK CORBELLING

 BRICK CONNEC 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FIASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
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 PCB PRECAST BAND
 VS VINT\ SHAKES
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- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-3 FULL HEIGHT WALL DETAIL 11/06/2019 AB 11/05/2018 VH REV-2 AS PER STRUCTURAL REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD

DRAWING: ELEVATION A - REAR **WALKOUT BASEMENT**

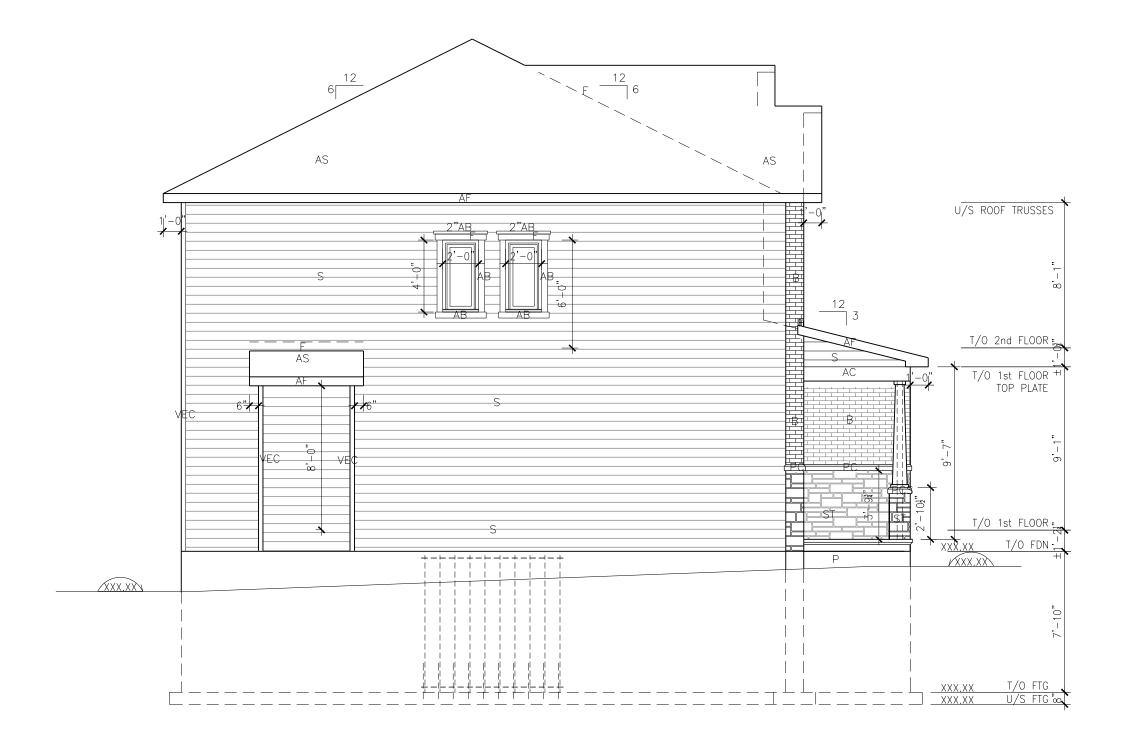
3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

NO DESCRIPTION

A3a



ELEVATION A - LEFT

SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX



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- BRICK (MAIN)
 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE (ACCE + 20mm PROUD BRICK SLEEPER COURSE STACK BOND (ACCENT) BRICK SILL (ACCENT) BRICK ROW (LOCK (ACCENT) BRICK CONNEC 20mm PROUD BRICK 20mm PROUD BRICK 20mm PROUD BRICK 20mm RECESSED SIDING (HORIZONTAL) SIDING (VERTICAL) STONE VENEER TRIM 200mm COVE SIDING ALUMINUM FASCIA A LUMINUM FASCIA A LUMINUM BAND ASPHALT SHINGELS FLASHING ROOF VENT (MAXIMUM) PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
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2012 O.B.C. DRAWINGS

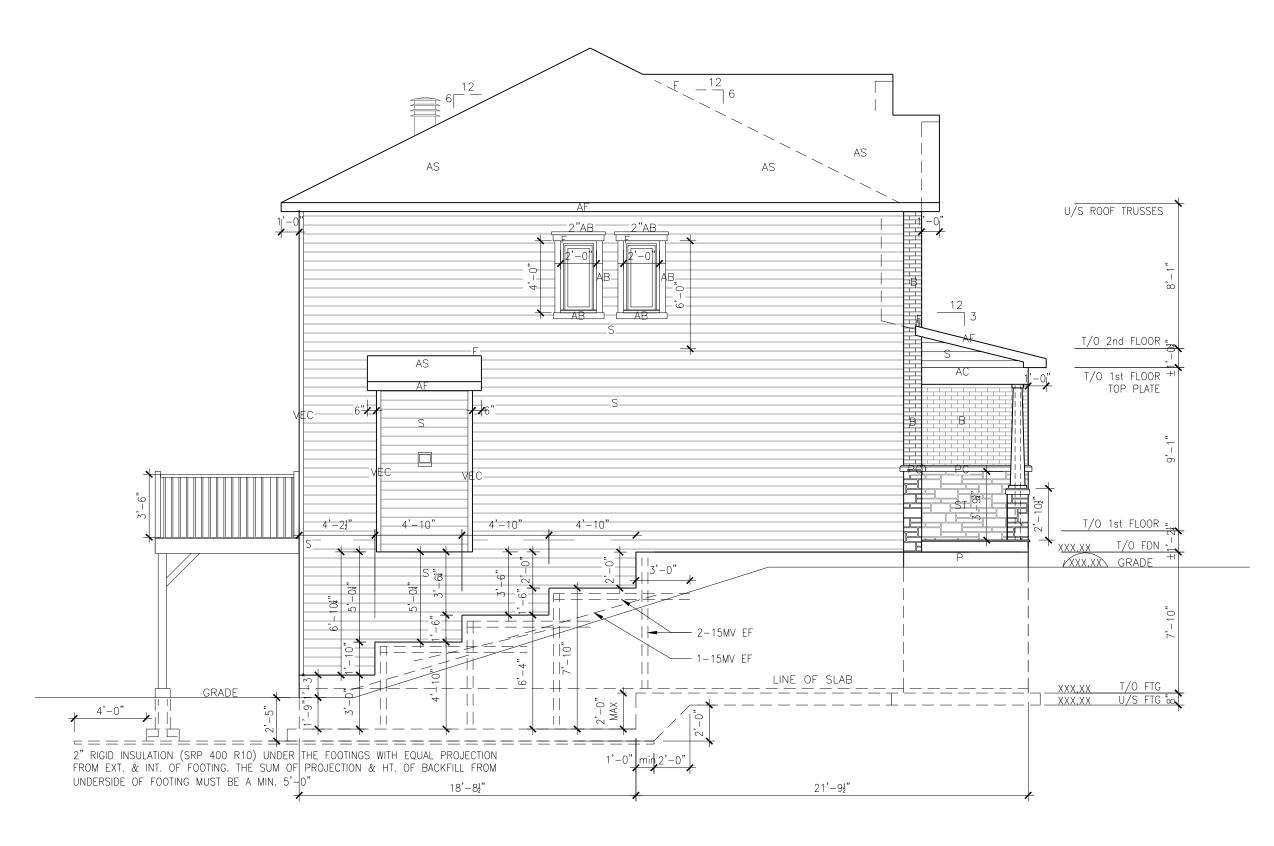
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NO.	DESCRIPTION	DATE	BY

ELEVATION A - LEFT

A4a

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT



ELEVATION A - LEFT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX

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- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK SILL (ACCENT)

 BRICK CORBELLING

 BRICK CONBIGL 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 SIDING (VERTICAL)

 SIDING SENER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FLASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
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 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
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 PCB PRECAST BAND
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- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

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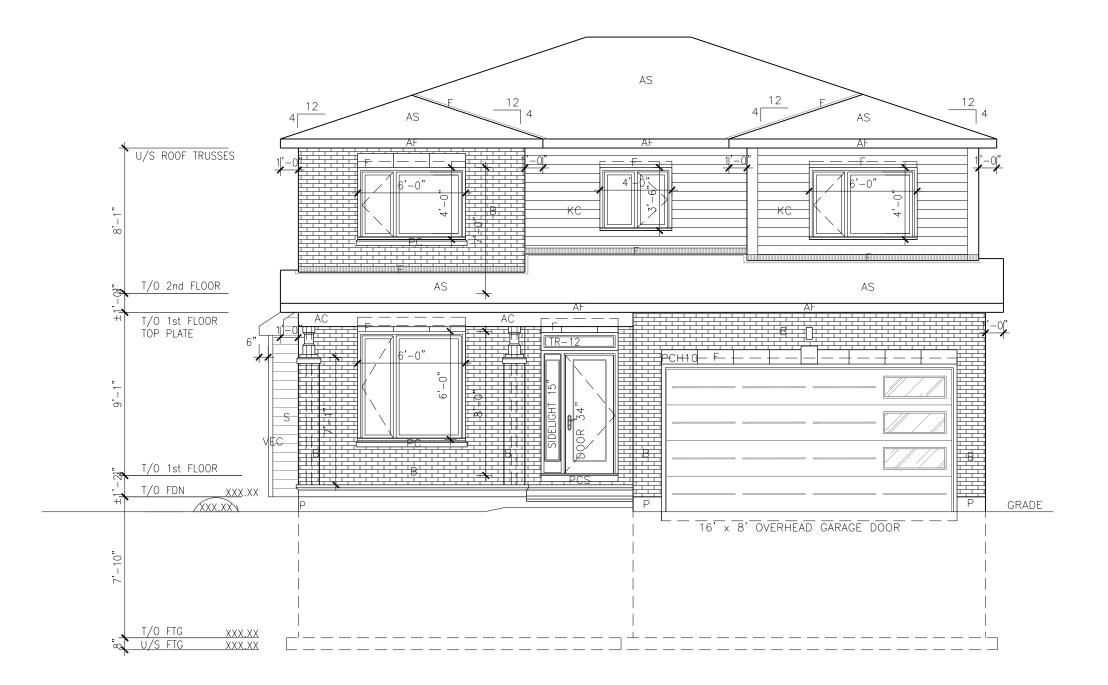
RAWING: ELEVATION A - LEFT

WALKOUT BASEMENT SCALE: 3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A4a



ELEVATION B - FRONT

SCALE: 3/16" = 1'-0"



XXXX XX/XX/XXXX

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 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SULL (ACCENT)

 BRICK CORBELLING

 BRICK CONNEC 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM FASCIA

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 FIASHING

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 PARGING

- V ROOF VENT (MAXIMUM)
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- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

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ELEVATION B - FRONT

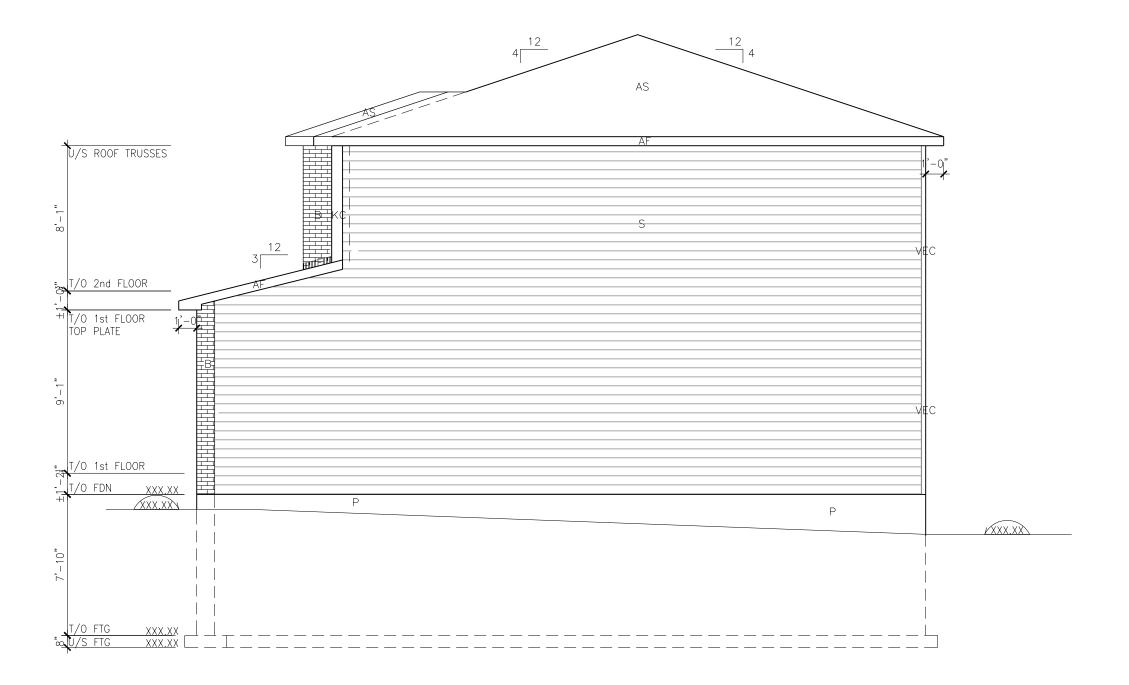
SCALE: 3/16" = 1'-0" 1010 - THE FERRIS

2018 FOOTPRINT

(STANDARD DRAWINGS)

A1b

xx/xx/xxxx



ELEVATION B - RIGHT

SCALE: 3/16" = 1'-0"

LOT: XX/XX/XXXX



XXXX

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 BRICK SOLDIER COURSE (ACCENT)
 + 20mm PROUD
 STACK BOND (ACCENT)
 5 BRICK SILL (ACCENT)
 6 BRICK SILL (ACCENT)
 7 BRICK CORBELLING
 8 BRICK SILL (ACCENT)
 7 BRICK CORBELLING
 18 BRICK CONING 20mm PROUD
 19 BRICK 20mm RECESSED
 5 SIDING (HORIZONTAL)
 SV SIDING (VERTICAL)
 ST STONE VENEER
 T TRIM 200mm COVE SIDING
 AF ALUMINUM FASCIO
 AC ALUMINUM FASCIO
 AC ALUMINUM BAND
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)
 P PARCING
 PC PARCING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST BAND
 VS VINYL SHAKES
 VEC SIDING (VERTICAL CORNER)
 KC KAYCAN WOOD SIDING 7½"

- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

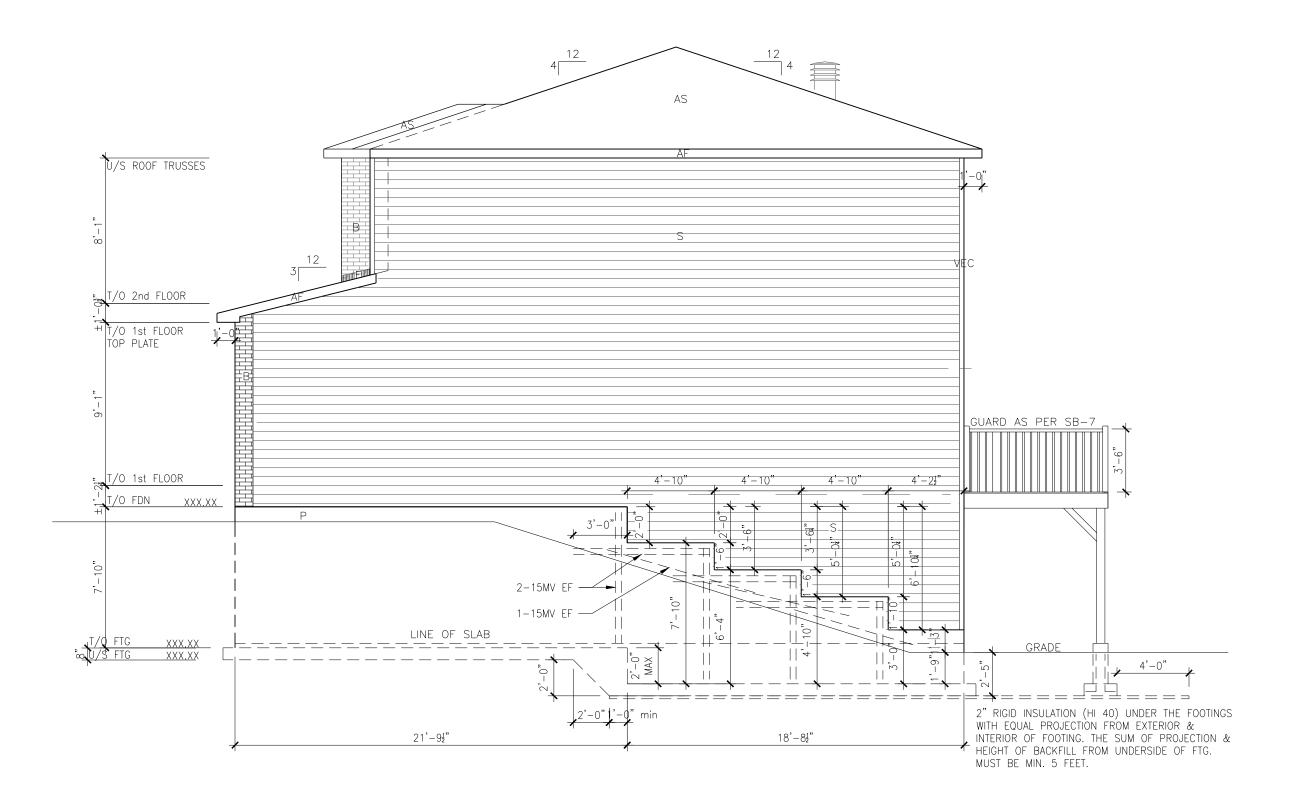
ELEVATION B - RIGHT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS

2018 FOOTPRINT (STANDARD DRAWINGS)

A2b



XXXX

XX/XX/XXXX



I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

LOT:

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
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- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE (ACCE

 + 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK SOLL (ACCENT)

 BRICK SOW LOCK (ACCENT)

 BRICK CORBELLING

 BRICK CONINIG 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FLASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: ELEVATION B - RIGHT **WALKOUT BASEMENT**

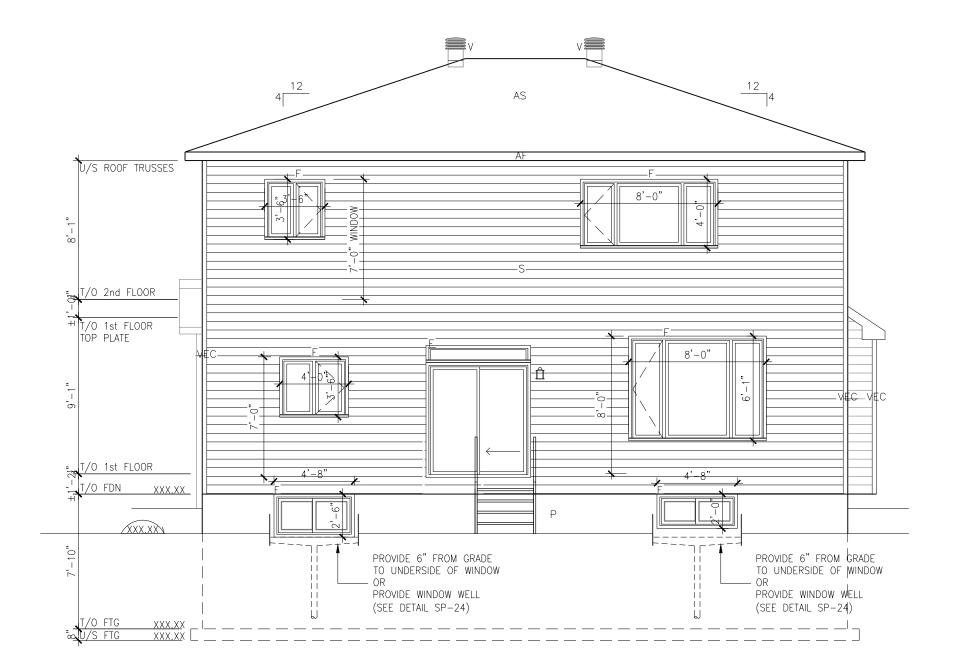
SCALE: 3/16" = 1'-0"

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A2b

xx/xx/xxxx



ELEVATION B - REAR

SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

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- BRICK (MAIN)
 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE (ACCE.

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SIL (ACCENT)

 BRICK ROW LOCK (ACCENT)

 BRICK CORBELLING

 BRICK CONING 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FIASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

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REV-2	AS PER STRUCTURAL	11/05/2018	VH
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NO.	DESCRIPTION	DATE	RY

ELEVATION B - REAR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

A3b



ELEVATION B - REAR

SCALE: 3/16" = 1'-0"



XXXX XX/XX/XXXX

Homes (2019) Limited

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- BRICK (MAIN)
 - BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE (ACCE.

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SIL (ACCENT)

 BRICK ROW LOCK (ACCENT)

 BRICK CORBELLING

 BRICK CONING 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

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 ALUMINUM BAND

 ASPHALT SHINGLES

 FIASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

ı				
ı				
ı				
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	NO	DESCRIPTION	DATE	RY

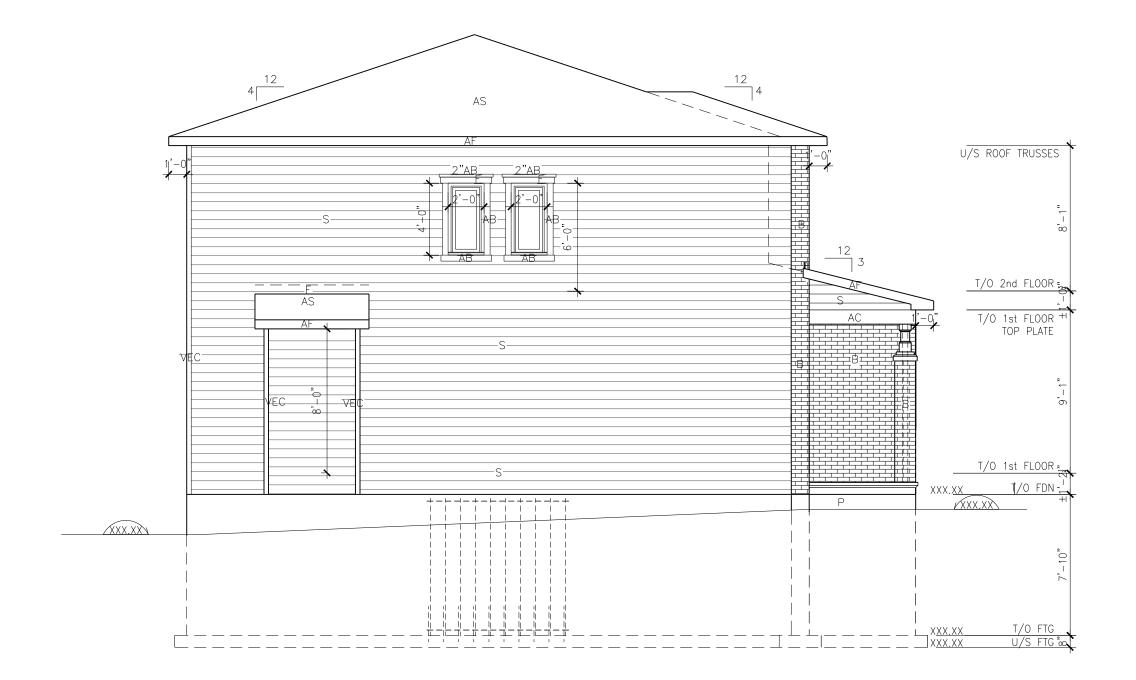
RAWING: ELEVATION B - REAR **WALKOUT BASEMENT**

SCALE: 3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A3b



ELEVATION B - LEFT

SCALE: 3/16" = 1'-0"

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

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- FINISH LEGEND:

 BRICK (MAIN)
 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
 + 20mm PROUD
 BRICK SEEPER COURSE
 STACK BOND (ACCENT)
 5 BRICK SLEEPER COURSE
 STACK BOND (ACCENT)
 5 BRICK SLIL (ACCENT)
 7 BRICK SOLL (ACCENT)
 7 BRICK SOM LOCK (ACCENT)
 7 BRICK CONING 20mm PROUD
 -20 BRICK 20mm RECESSED
 S SIDING (HORIZONTAL)
 SV SIDING (VERTICAL)
 ST STONE VENEER
 T TRIM 200mm COVE SIDING
 AC ALUMINUM CLADDING
 AB AS ALUMINUM BAND
 AS ASPHALT SHINGLES
 F FLASHING
 V ROOF VENT (MAXIMUM)
 P PARCING
 PARCING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAC
NO.	DESCRIPTION	DATE	BY

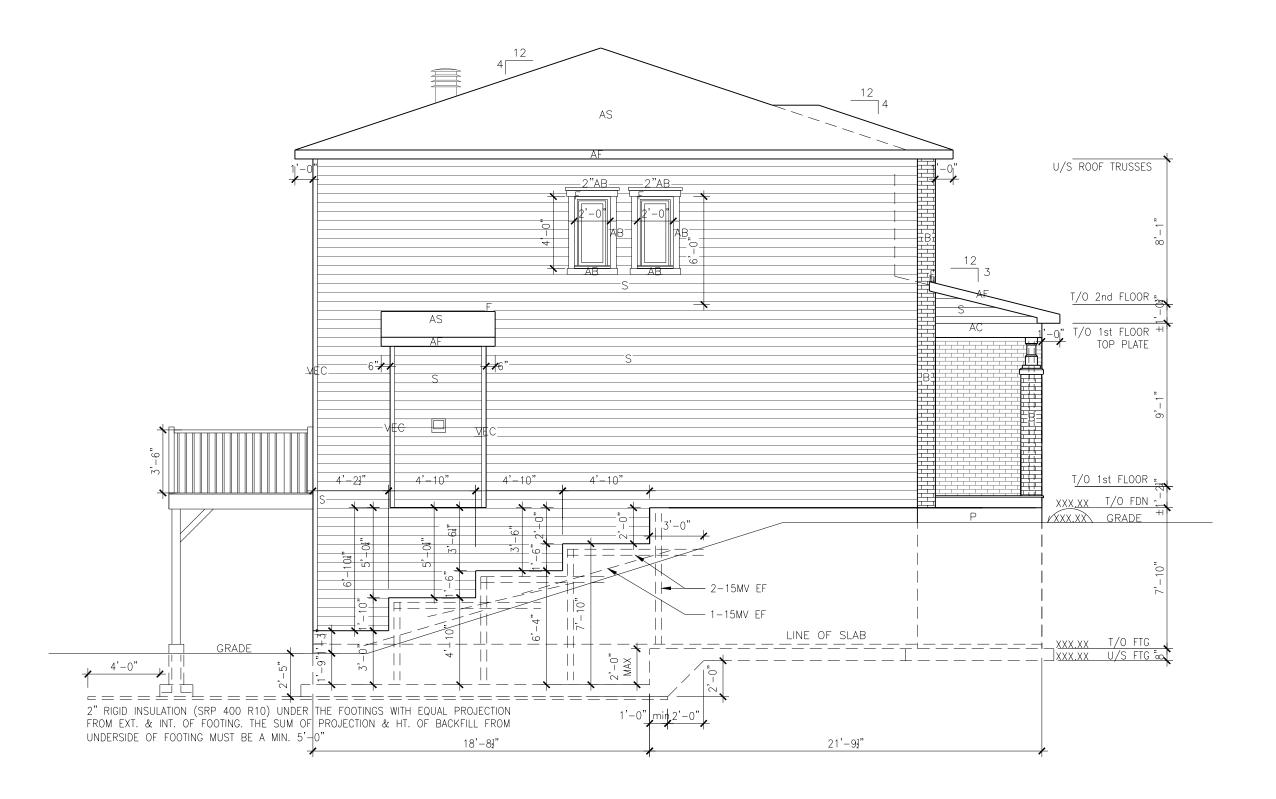
ELEVATION B - LEFT

SCALE: 3/16" = 1'-0" 1010 - THE FERRIS

2018 FOOTPRINT

A4b

DATE: XX/XX/XXXX



ELEVATION B - LEFT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

LOT: XX/XX/XXXX



XXXX

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- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK SILL (ACCENT)

 BRICK CORBELLING

 BRICK CONBIGL 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 SIDING (VERTICAL)

 SIDING SENER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FLASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

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REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO	DECODIDITION	DATE	DV

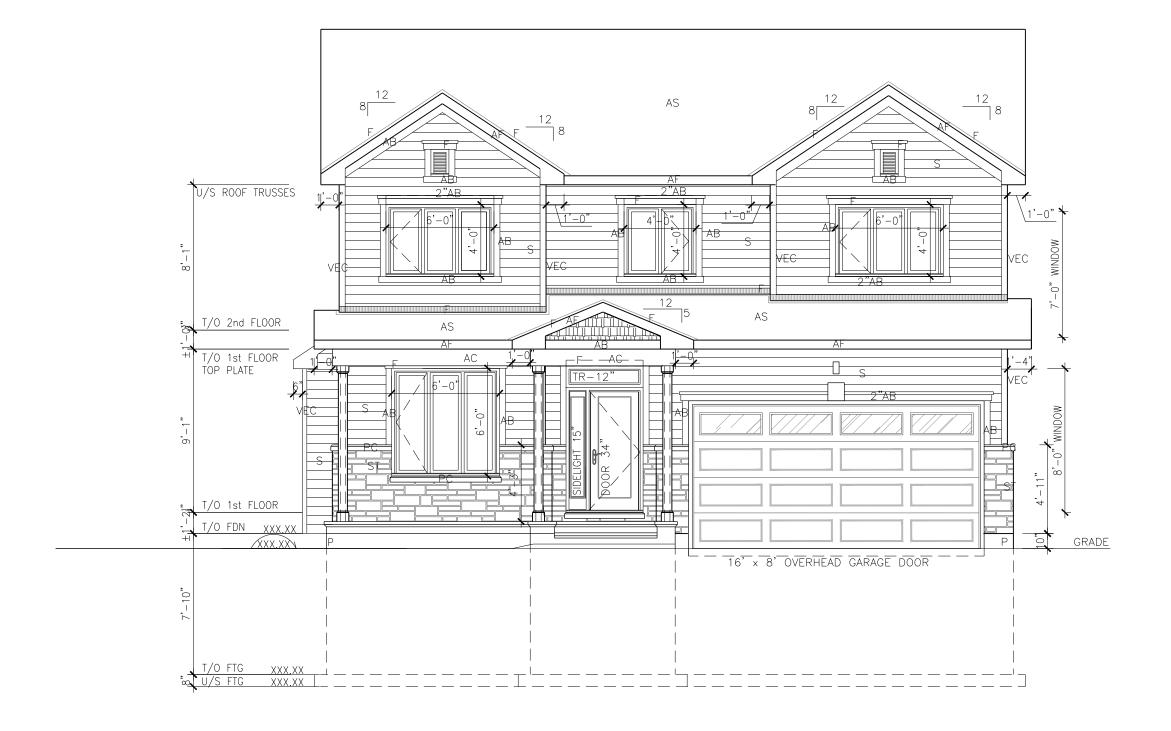
ELEVATION B - LEFT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A4b



ELEVATION C - FRONT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX DATE:



Homes (2019) Limited

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- BRICK (MAIN)
 - BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SULL (ACCENT)

 BRICK CORBELLING

 BRICK CONNEC 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FIASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINT\ SHAKES
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- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

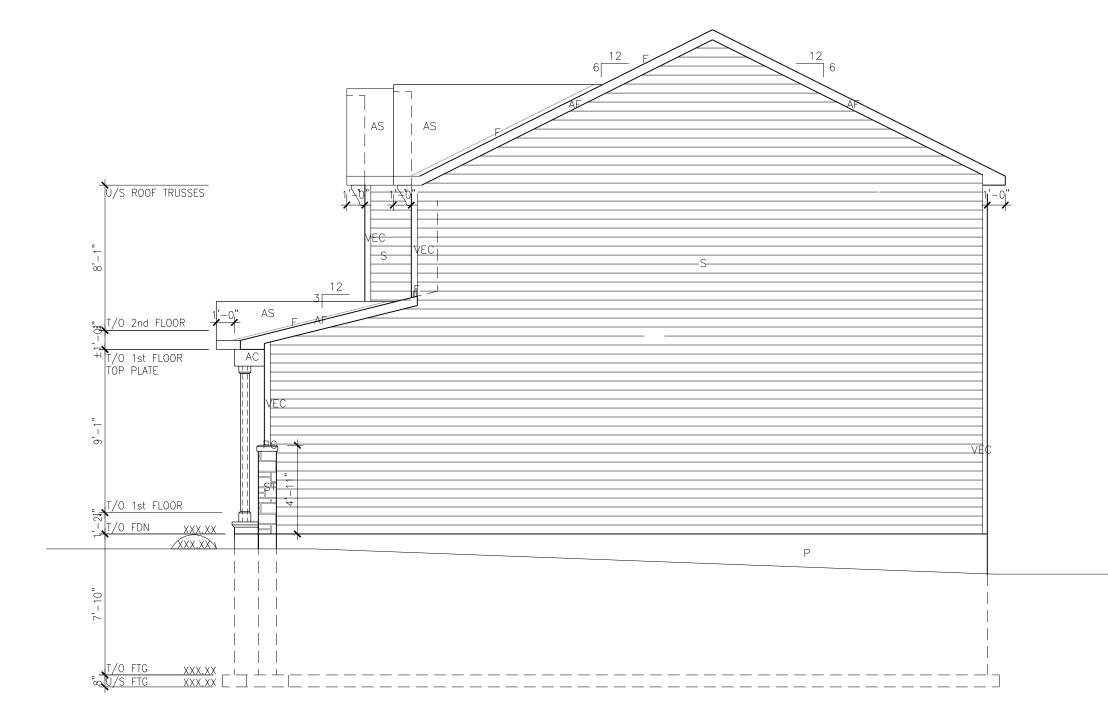
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REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAC
NO.	DESCRIPTION	DATE	BY
	REV-2 REV-1	REV-2 AS PER STRUCTURAL REV-1 NEW STANDARD DRWG MODIFICATION	REV-2 AS PER STRUCTURAL 11/05/2018 REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017

ELEVATION C - FRONT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

A1c



ELEVATION C - RIGHT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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- R FINISH LEGEND:

 3 BRICK (MAIN)
 B11 BRICK SOLDIER COURSE (ACCENT)
 B2 BRICK SOLDIER COURSE (ACCENT)
 + 20mm PROUD
 B3 BRICK SLEEPER COURSE
 B4 STACK BOND (ACCENT)
 B5 BRICK CORSE
 B1 BRICK CORSE
 B1 BRICK CORSE
 B1 BRICK CORSE
 B1 BRICK COMBELLING
 B2 BRICK COMBELLING
 B3 BRICK COMBELLING
 B4 BRICK COMBELLING
 B5 BRICK COMBELLING
 B6 BRICK COMBELLING
 B7 BRICK COMBELLING
 B8 BRICK COMBELLING
 B9 -

 - V
 - ROOF VENT (MAXIMUM)

 P
 - PARGING

 PC
 - PARGING

 PCH010
 - PRECAST HEADER 10"

 PCB
 - PRECAST HEADER 8"

 PCS
 - PRECAST SILL

 PCB
 - PRECAST BAND

 VS
 - VINTL SHAKES

 VEC
 - SIDING (VERTICAL CORNER)
 - KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
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NO	DESCRIPTION	DATE	RY

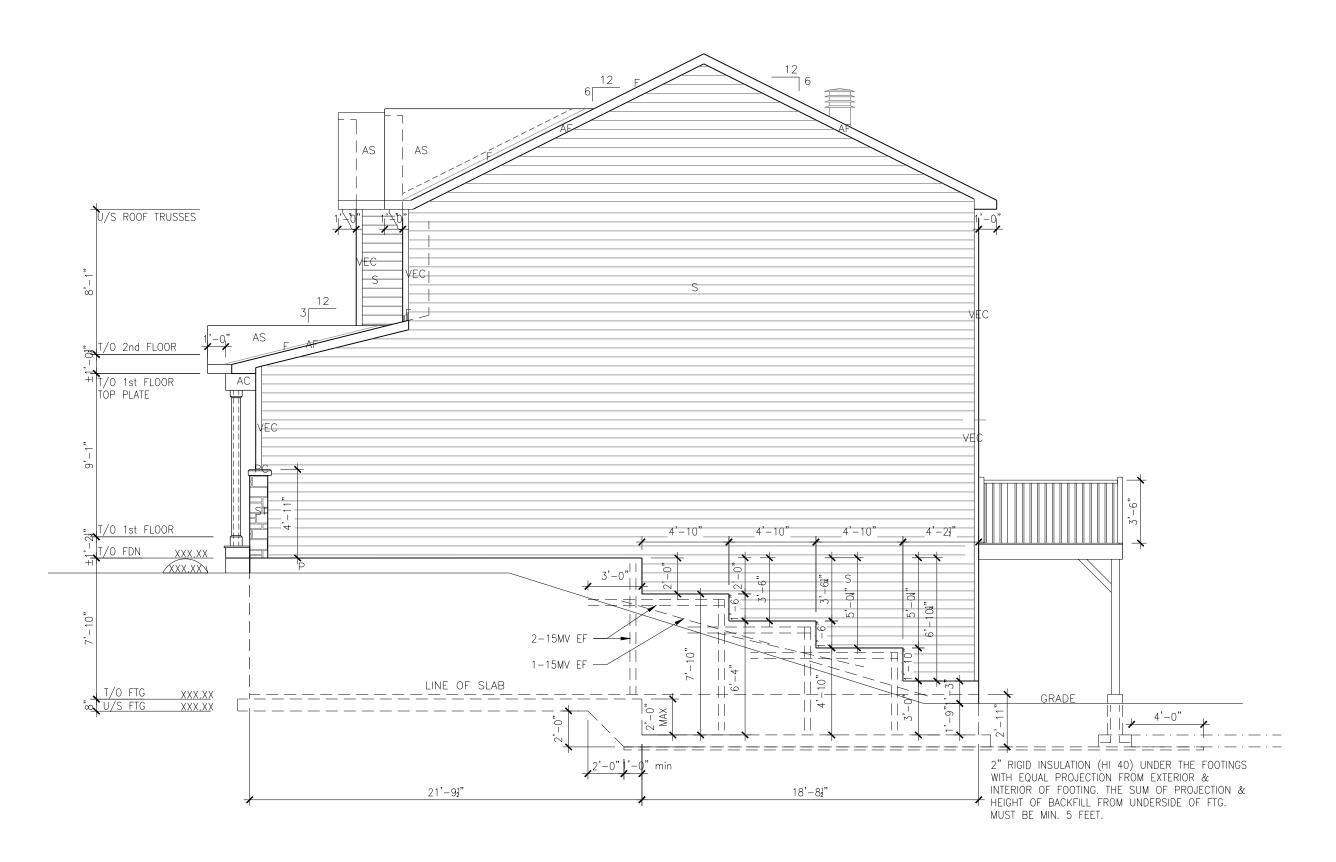
ELEVATION C - RIGHT

SCALE: 3/16" = 1'-0" 1010 - THE FERRIS

2018 FOOTPRINT (STANDARD DRAWINGS)

A₂c

DATE: XX/XX/XXXX



(STANDARD DRAWINGS)

LOT: **XXXX** XX/XX/XXXX

Homes (2019) Limited

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- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK SOLL (ACCENT)

 BRICK CORBELLING

 BRICK CONINIG 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm PROUD

 SIDING (HORIZONTAL)

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONE VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM CLADDING

 48" ALUMINUM BAND

 ASPHALT SHINGLES

 FLASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINT\ SHAKES
 VEC SIDING (VERTICAL CORNER) - KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
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NO.	DESCRIPTION	DATE	BY

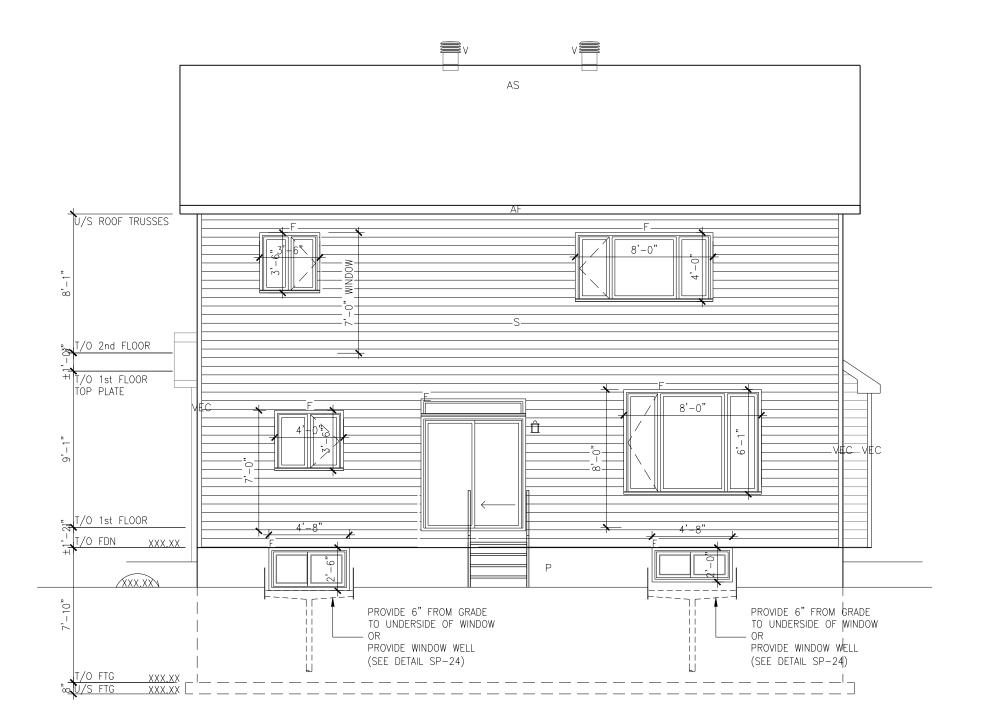
ELEVATION C - RIGHT

SCALE: 3/16" = 1'-0" xx/xx/xxxx

A₂c

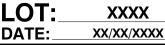
1010 - THE FERRIS 2018 FOOTPRINT

ELEVATION C - RIGHT - WALKOUT BASEMENT



ELEVATION C - REAR

SCALE: 3/16" = 1'-0"





Homes (2019) Limited

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- BRICK (MAIN)
 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- B2 BRICK SOLDIER COURSE (ACCEN + 20mm PROUD |
 B3 BRICK SLEPER COURSE |
 B4 STACK BOND (ACCENT) |
 B5 BRICK SLEPER COURSE |
 B6 BRICK SLE (ACCENT) |
 B7 BRICK SUL (ACCENT) |
 B8 BRICK CONING 20mm PROUD |
 +20 BRICK 20mm PROUD |
 +20 BRICK 20mm PROUD |
 50 SIDING (HORIZONTAL) |
 50 SIDING (HORIZONTAL) |
 51 STONE VENEER |
 51 TSTONE VENEER |
 51 ALUMINUM FASCIA |
 AC ALUMINUM FASCIA |
 AC ALUMINUM CADDING |
 AB 48" ALUMINUM BAND |
 AS ASPHALT SHINGLES |
 51 FLASHING |
 52 PARGING |
 53 PARGING |
 54 PARGING |
 55 PARGING |
 56 PARGING |
 57 PARGING |
 58 PARGING |
 58 PARGING |
 59 PARGING |
 50 PARGING |
 51 PARG

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

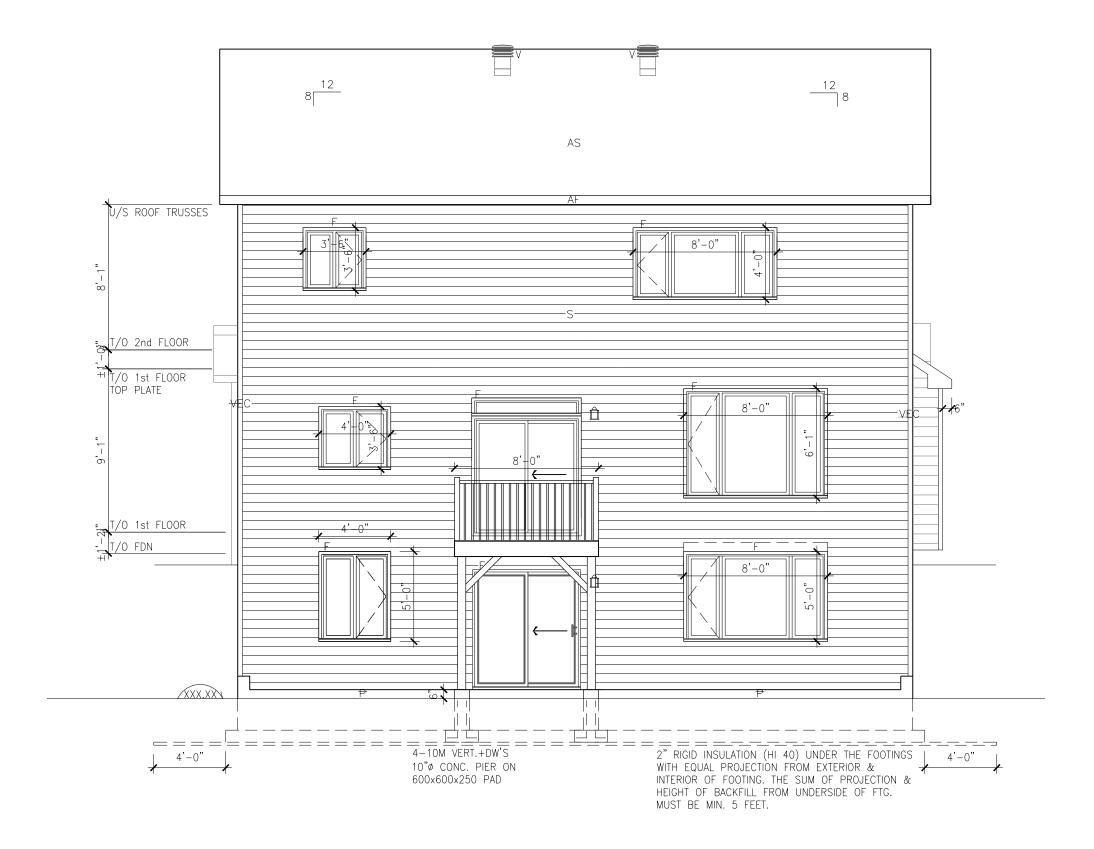
ELEVATION C - REAR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

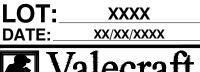
(STANDARD DRAWINGS)

A3c



ELEVATION C - REAR - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"



I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALEGRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

Homes (2019) Limited

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE IN-10 DAMING 10 BE USED IN CONSUMEDING WITH STREEDLE BETALLED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOSETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- BRICK (MAIN)
- BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
- BRICK SOLDIER COURSE (ACCEI

 20mm PROUD

 BRICK SLEEPER COURSE

 STACK BOND (ACCENT)

 BRICK SILL (ACCENT)

 BRICK CORBELLING

 BRICK CORBELLING

 BRICK CONING 20mm PROUD

 BRICK 20mm PROUD

 BRICK 20mm RECESSED

 SIDING (HORIZONTAL)

 SIDING (VERTICAL)

 STONG VENEER

 TRIM 200mm COVE SIDING

 ALUMINUM FASCIA

 ALUMINUM FASCIA

 ALUMINUM BAND

 ASPHALT SHINGLES

 FLASHING

 ROOF VENT (MAXIMUM)

 PARGING

- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
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 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

REV-3 FULL HEIGHT WALL DETAIL 11/06/2019 AB REV-2 AS PER STRUCTURAL 11/05/2018 VH REV-1 NEW STANDARO DRWG MODIFICATION 13/11/2017 MAC DESCRIPTION DATE BY				
REV-2 AS PER STRUCTURAL 11/05/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD				
REV-2 AS PER STRUCTURAL 11/05/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD				
REV-2 AS PER STRUCTURAL 11/05/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD				
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REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD	REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
	REV-2	AS PER STRUCTURAL	11/05/2018	VH
NO. DESCRIPTION DATE BY	REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAC
	NO.	DESCRIPTION	DATE	BY

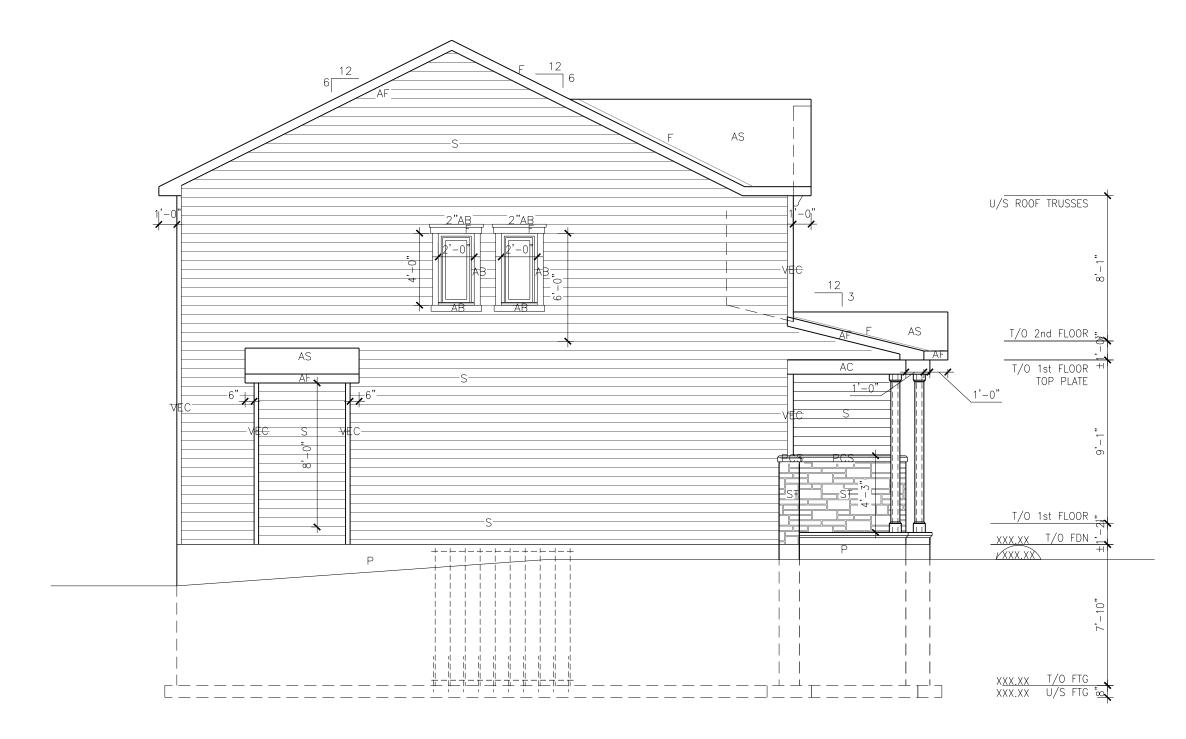
RAWING: ELEVATION C - REAR **WALKOUT BASEMENT**

SCALE: 3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A3c



ELEVATION C - LEFT

SCALE: 3/16" = 1'-0"

LOT: XX/XX/XXXX

XXXX

Homes (2019) Limited

I, DANIEL GUERIN. ARCHITECTURAL MANAGER FOR WALECRAFT HOMES LID., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- INISH LEGEND:

 BRICK (MAIN)
 BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)
 + 20mm PROUD

 BRICK SULEPER COURSE

 STACK BOND (ACCENT)
 BRICK SILE (ACCENT)
 BRICK CORBELLING
 BRICK CORBELLING
 BRICK CONSINC 20mm PROUD
 BRICK 20mm PROUD
 BRICK 20mm PROUD
 BRICK 20mm PROUD
 STONE (VERTICAL)
 STONE VENER
 SIDING (VERTICAL)
 STONE VENER
 TEIM 200mm COVE SIDING
 ALUMINUM FASCIA
 ALUMINUM FASCIA
 ALUMINUM LEADDING
 AB ASPHALT SHINGLES
 F F FLASHING
 PARGING
 PARGING
 PARGING
 PARGING
 PARGING
 PARGING
 PARGING
 PARGING
 POURSE
 SIDING (MAXIMUM)
 PARGING
 PARGING
 PARGING
 COURSE
 SIDING (MAXIMUM)
 PARGING
 PARGING
 COURSE
 COURS
- V ROOF VENT (MAXIMUM)
 P PARGING
 PC PARGING
 PCH10 PRECAST HEADER 10"
 PCH8 PRECAST HEADER 8"
 PCS PRECAST SILL
 PCB PRECAST BAND
 VS VINTL SHAKES
 VEC SIDING (VERTICAL CORNER)
- KAYCAN WOOD SIDING 74" LAP

2012 O.B.C. DRAWINGS

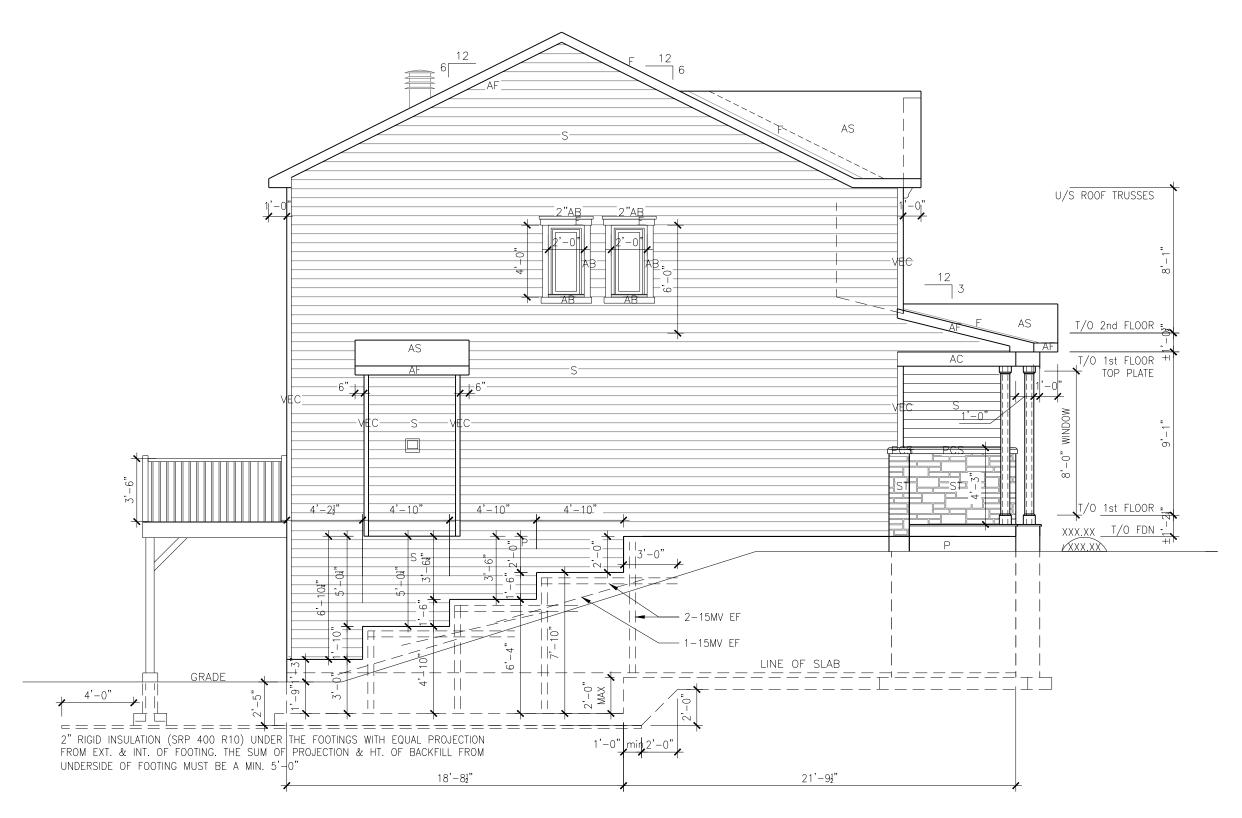
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAC
NO.	DESCRIPTION	DATE	RY

ELEVATION C - LEFT

A4c

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT



ELEVATION C - LEFT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX

Homes (2019) Limited

I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896 - TARION REGISTRATION NUMBER #611

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- BRICK (MAIN)

BRICK SOLDIER COURSE (ACCENT)
 BRICK SOLDIER COURSE (ACCENT)

BRICK SOLDIER COURSE

20mm PROUD

BRICK SLEEPER COURSE

STACK BOND (ACCENT)

BRICK SILL (ACCENT)

BRICK SILL (ACCENT)

BRICK CORBELLING

BRICK CONBIGL 20mm PROUD

BRICK 20mm PROUD

BRICK 20mm RECESSED

SIDING (HORIZONTAL)

SIDING (VERTICAL)

SIDING (VERTICAL)

SIDING SENER

TRIM 200mm COVE SIDING

ALUMINUM FASCIA

ALUMINUM BAND

ASPHALT SHINGLES

FLASHING

ROOF VENT (MAXIMUM)

PARGING

V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING
PCH10 - PRECAST HEADER 10"
PCH8 - PRECAST HEADER 8"
PCS - PRECAST SILL
PCB - PRECAST BAND
VS - VINT\ SHAKES
VEC - SIDING (VERTICAL CORNER)

- KAYCAN WOOD SIDING - 74" LAP

2012 O.B.C. DRAWINGS

			_
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

RAWING: ELEVATION C - LEFT **WALKOUT BASEMENT**

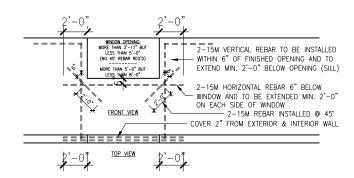
SCALE: 3/16" = 1'-0"

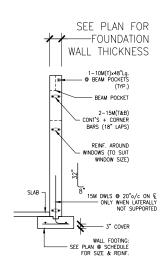
1010 - THE FERRIS 2018 FOOTPRINT

A4c

xx/xx/xxxx

		FOOTING S	SCHEDULE		
	ALLOWABLE SOIL BEARING	CAPACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D»		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3−15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	N/A
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	N/A
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	48"x10" W/ 4-15M LONG REBARS & 15M TRANSVERS REBAR @ 15" O.C.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3−15M(B) LONG.	N/A
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x10" W/ 4-15M LONG REBARS AND 15M TRANSVER REBARS @ 15" O.C.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	N/A
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x10" W/ 3-15M LONG REBARS AND 15M TRANSVER REBARS @ 15" O.C.
	P	AD FOOTING SCHEDU	LE		
	ALLOWABLE SOIL BEARING	CAPACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D»		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	36"x36"x10" DP. 3-15M(B)x 30"LG.	40"x40"x10" DP. 3-15M(B)x 34"LG.	44"x44"x10" DP. 4-15M(B)x 38"LG.	48"x48"x10" DP. 4-15M(B)x 42"LG.	60"x60"x10" DP 6-15M(B)x54" LG.
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	36"x36"x12" DP. 3-15M(B)x30"LG.





PLAN - FOOTING ELEVATION A & B - STANDARD SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX

Homes (2019) Limited

I<u>, Daniel Guerin</u>, architectural Manager för Valecraft Homes Ltd., have reviewed the following documents AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

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- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON - THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IS REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
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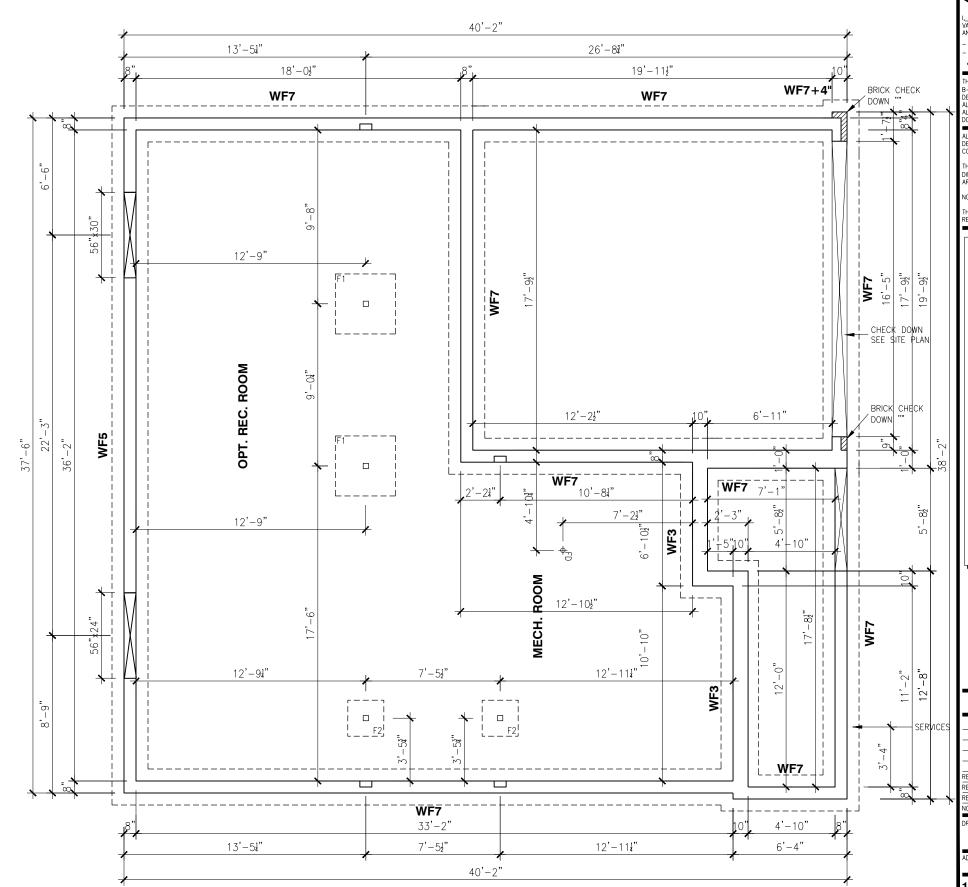
2012 O.B.C. DRAWINGS

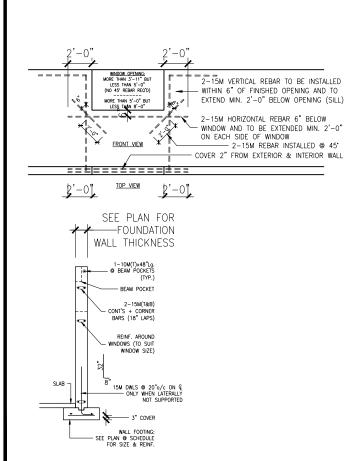
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REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

FOOTING TABLE

3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT





PLAN - FOOTING
ELEVATION A & B - STANDARD

SCALE: 3/16" = 1'-0"

Valecraft
Homes (2019) Limited
L GUERN, ARCHITECTURAL MANAGER FOR

XXXX XX/XX/XXXX

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2012 O.B.C. DRAWINGS

1				
П				
П				
П				
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П	REV-2	AS PER STRUCTURAL	11/05/2018	VH
H	REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
-	NO.	DESCRIPTION	DATE	BY

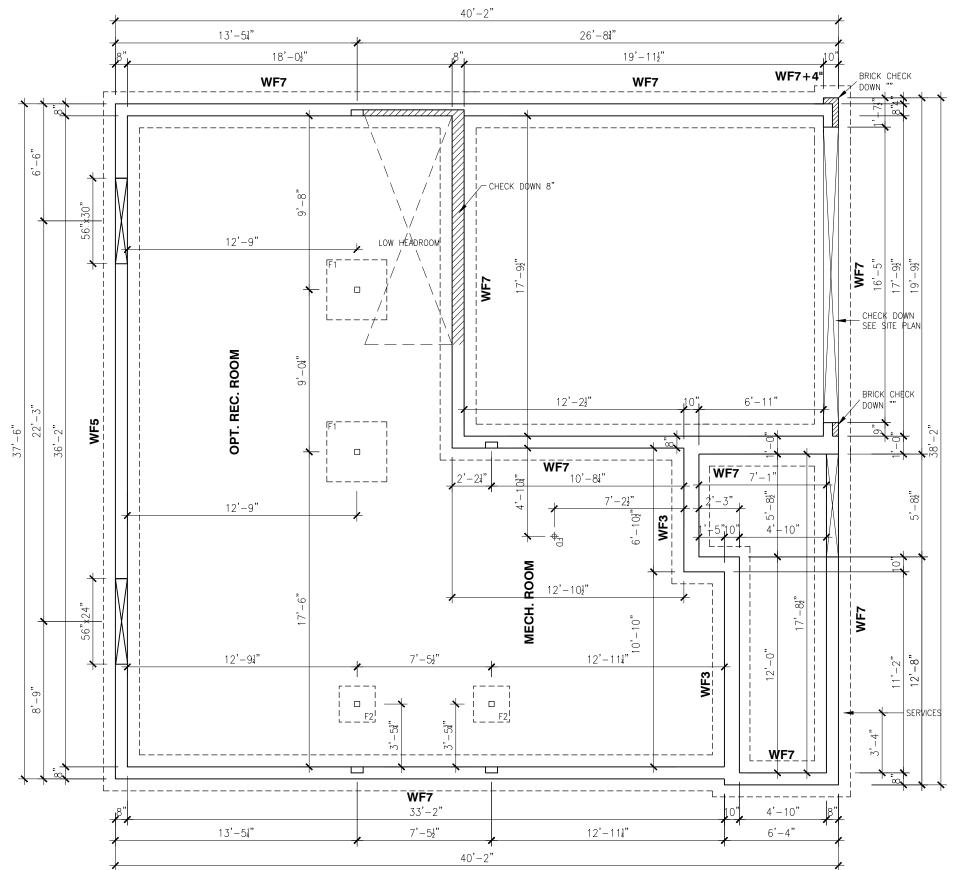
WING: FOOTING PLAN
ELEVATION A,B - STANDARD

DDRESS: | SCALE: | DATE: | XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A5a



PLAN - FOOTING ELEVATION A - STANDARD

SCALE: 3/16" = 1'-0"

FRONT VIEW

SEE PLAN FOR

- BEAM POCKET

REINF. AROUND - WINDOWS (TO SUIT WINDOW SIZE)

15M DWLS @ 20"o/c ON & ONLY WHEN LATERALLY NOT SUPPORTED

---FOUNDATION WALL THICKNESS

2-15M VERTICAL REBAR TO BE INSTALLED WITHIN 6" OF FINISHED OPENING AND TO EXTEND MIN. 2'-0" BELOW OPENING (SILL)

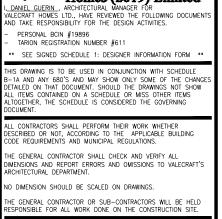
2-15M HORIZONTAL REBAR 6" BELOW

- WINDOW AND TO BE EXTENDED MIN. 2'-0" ON EACH SIDE OF WINDOW

- 2-15M REBAR INSTALLED @ 45* COVER 2" FROM EXTERIOR & INTERIOR WALL

A5a

xx/xx/xxxx



XXXX XX/XX/XXXX

Homes (2019) Limited

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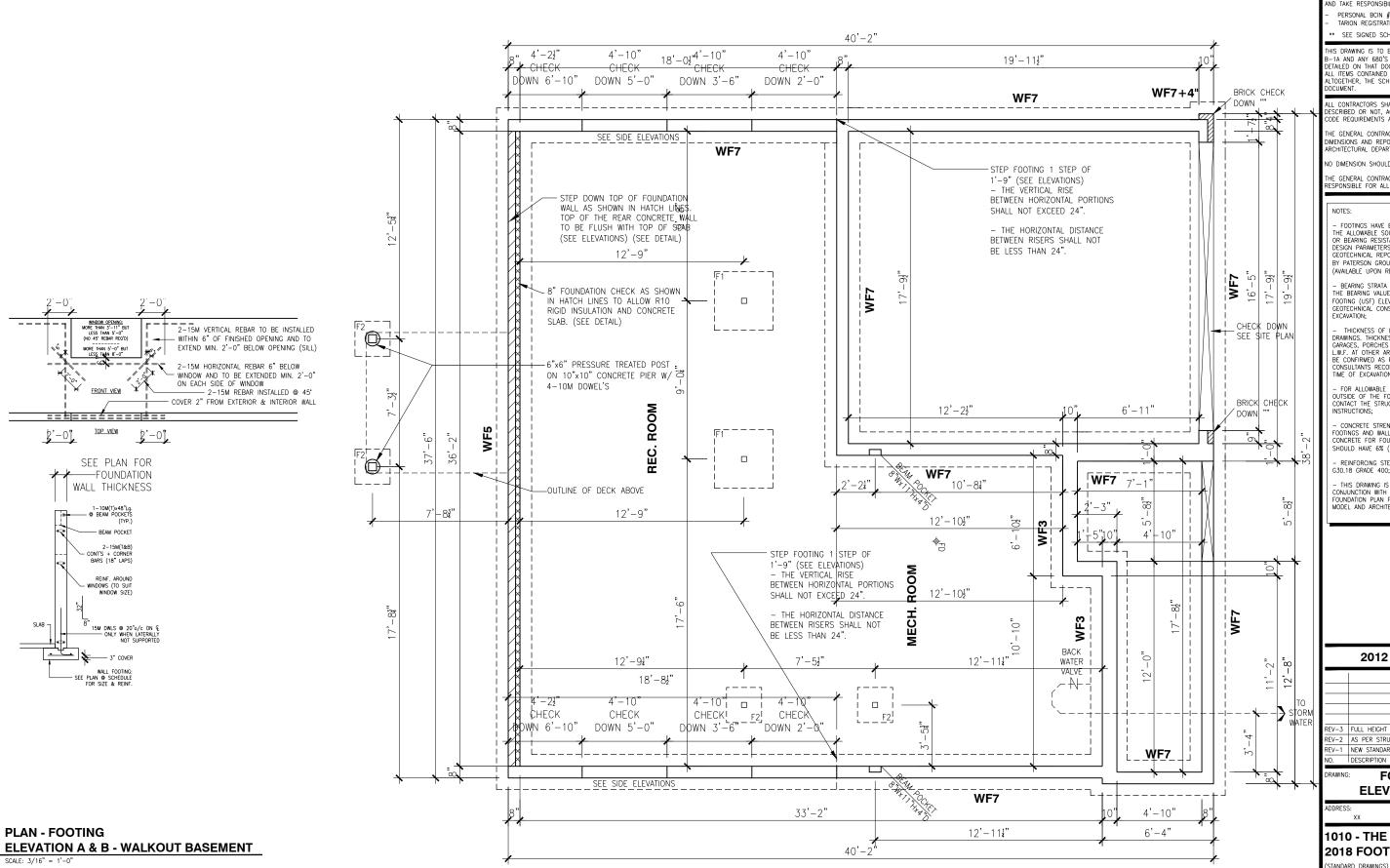
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NO.	DESCRIPTION	DATE	BY

FOOTING PLAN

ELEVATION A,B,C - STANDARD 3/16" = 1'-0"

1010 - THE FERRIS 2018 FOOTPRINT



LOT: **XXXX** XX/XX/XXXX

I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

Homes (2019) Limited

- PERSONAL BCIN #19896
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

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- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF
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- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

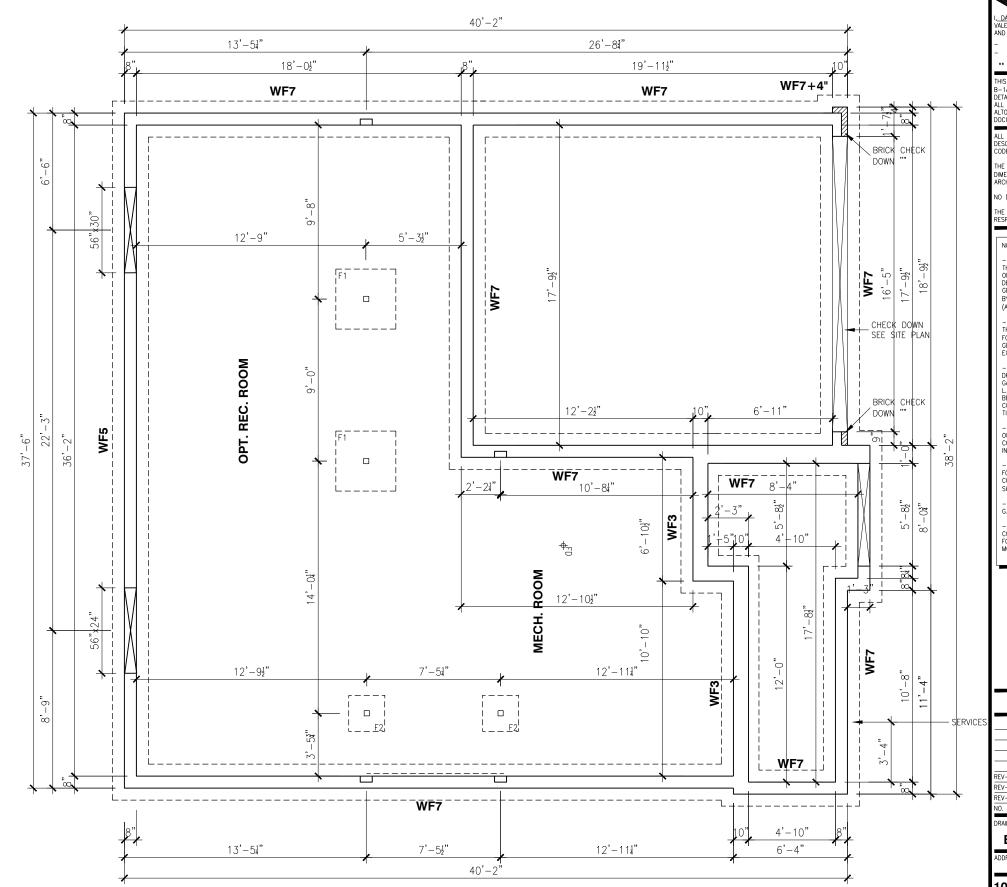
EV-3 FULL HEIGHT WALL DETAIL 11/06/2019 AB REV-2 AS PER STRUCTURAL 11/05/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD DESCRIPTION

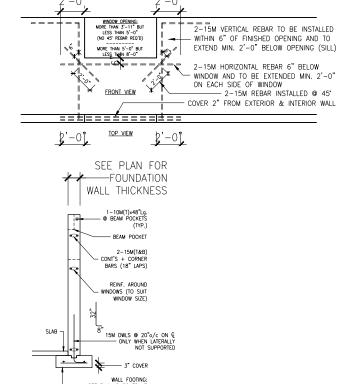
> **FOOTING PLAN ELEVATION A,B - WOB**

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

A5a





PLAN - FOOTING ELEVATION A - STANDARD SCALE: 3/16" = 1'-0"

XX/XX/XXXX

XXXX

Homes (2019) Limited I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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2012 O.B.C. DRAWINGS

- 1				
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	REV-2	AS PER STRUCTURAL	11/05/2018	VH
	REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
	NO.	DESCRIPTION	DATE	BY

FOOTING PLAN

ELEVATION A,B,C - STANDARD

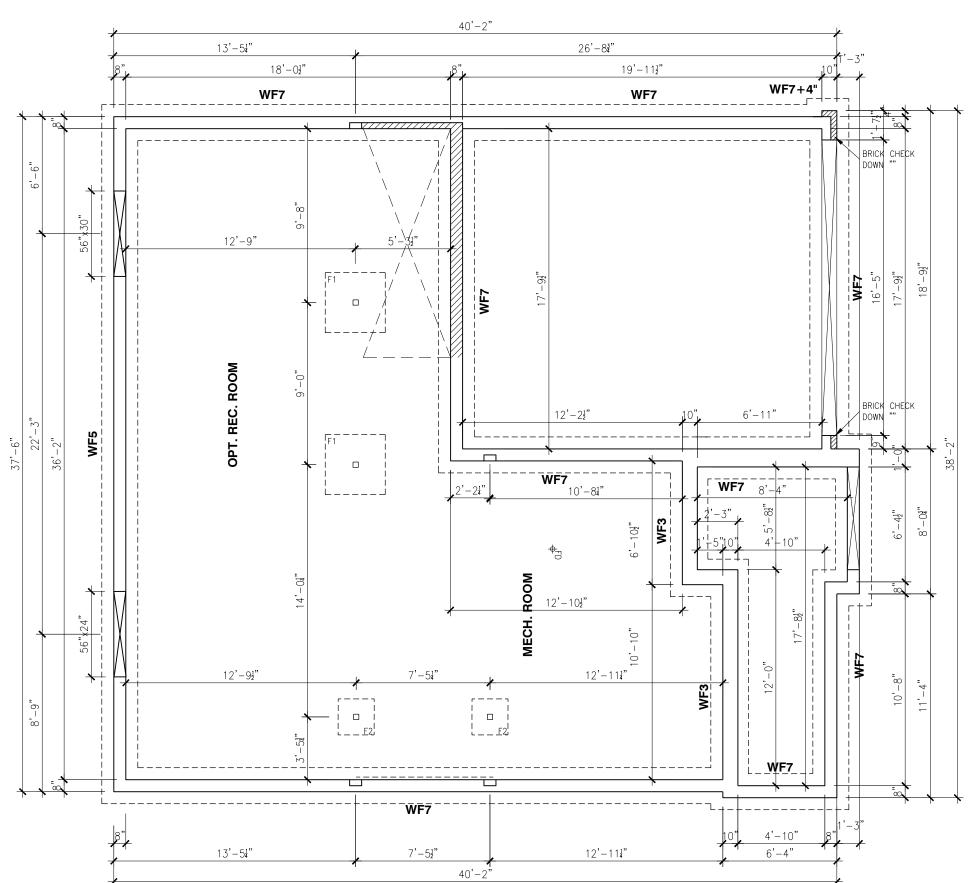
3/16" = 1'-0"

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A5a

xx/xx/xxxx



- CONT'S + CORNER BARS (18" LAPS) REINF. AROUND WINDOWS (TO SUIT WINDOW SIZE) — 3" COVER

FRONT VIEW

SEE PLAN FOR

WALL THICKNESS

-FOUNDATION

2-15M(T&B)

2-15M VERTICAL REBAR TO BE INSTALLED WITHIN 6" OF FINISHED OPENING AND TO EXTEND MIN. 2'-0" BELOW OPENING (SILL)

2-15M HORIZONTAL REBAR 6" BELOW WINDOW AND TO BE EXTENDED MIN. 2'-0"

ON EACH SIDE OF WINDOW

2-15M REBAR INSTALLED @ 45*

COVER 2" FROM EXTERIOR & INTERIOR WALL

PLAN - FOOTING ELEVATION A - STANDARD SCALE: 3/16" = 1'-0"

XX/XX/XXXX

XXXX

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FOOTING PLAN

3/16" = 1'-0"

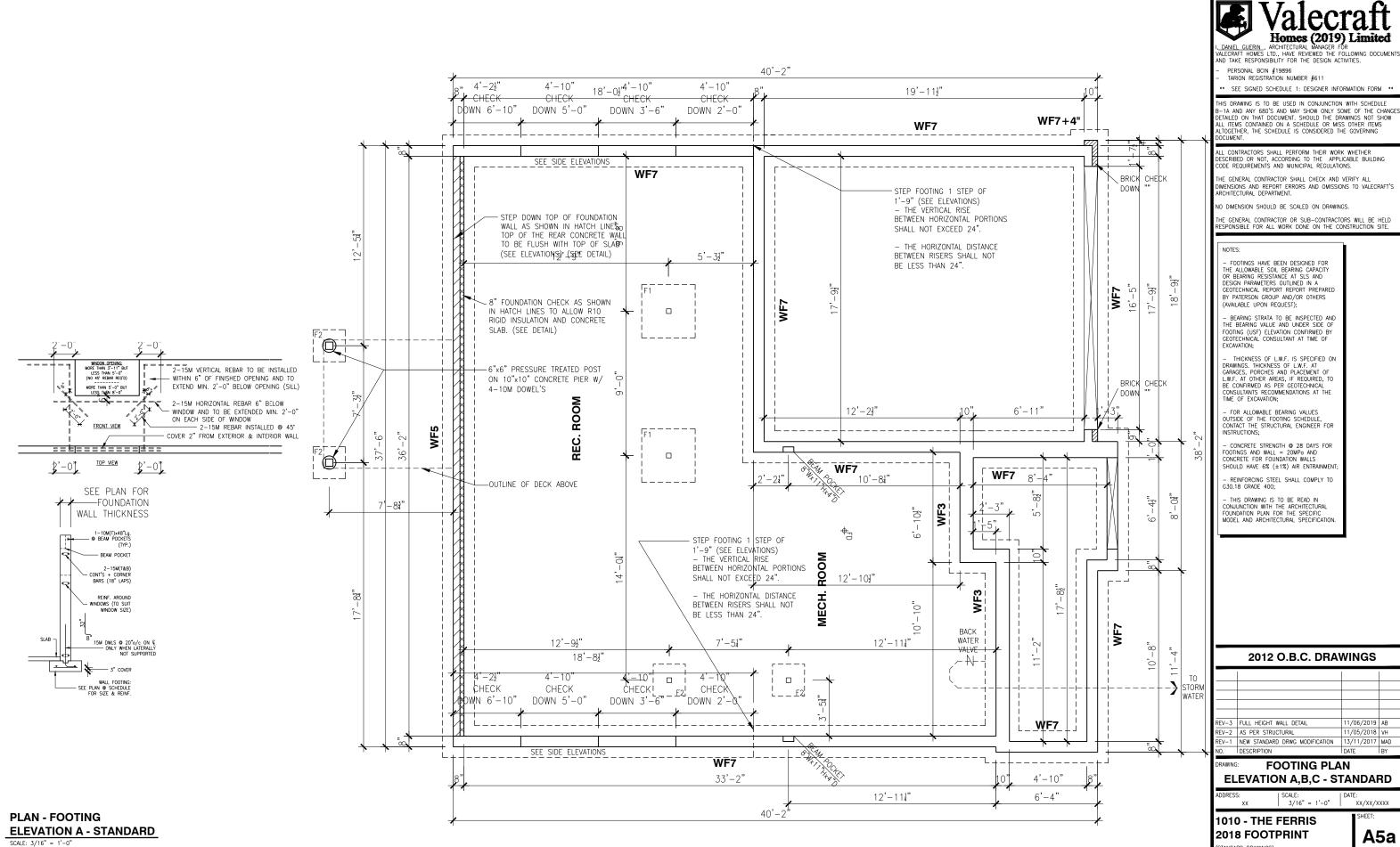
ELEVATION A,B,C - STANDARD

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A5a

xx/xx/xxxx



LOT: **XXXX** XX/XX/XXXX

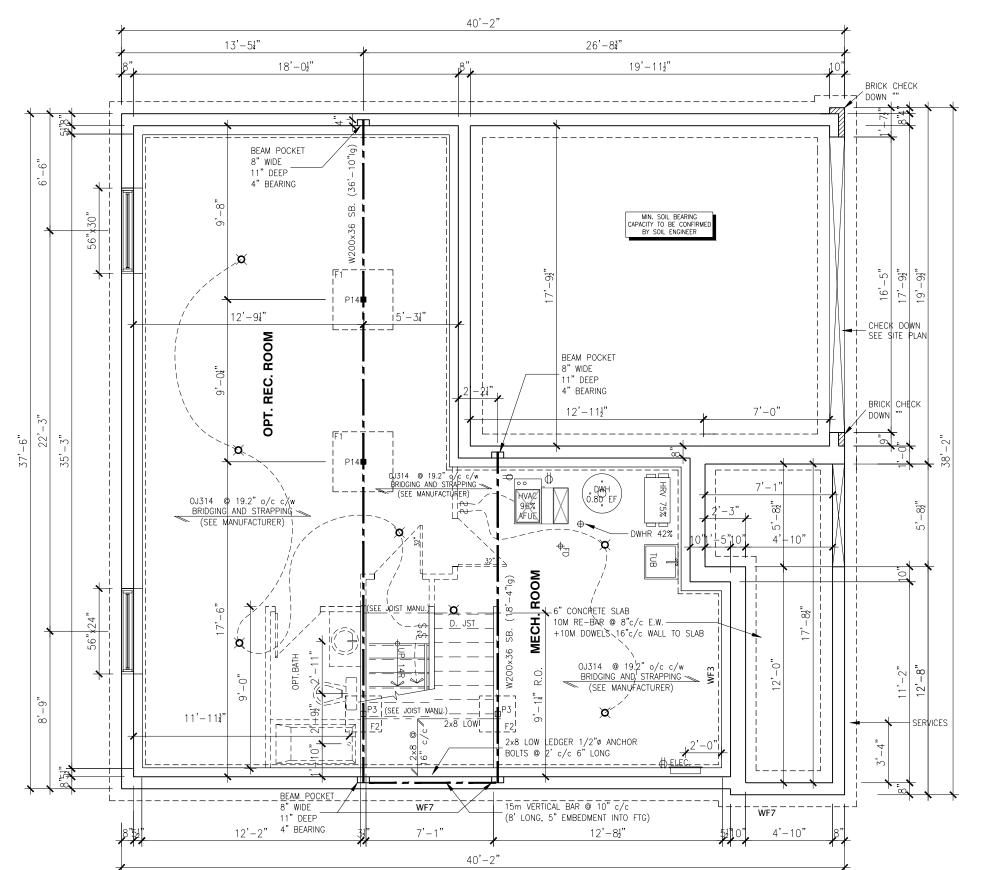
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REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD

2018 FOOTPRINT

(STANDARD DRAWINGS)

A5a



NOTES:
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BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH $9.7.1.3.\colon$

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS: AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN) LOT: DATE:

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10 $S6 = 1.200 \times 100 \times 100$
- S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
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- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

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POST BY USP
P2 = 2-2x4 OR 2-2x6
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P17 = HSS 73 0.0.x4.8 + 100x180x12 T&B PL. (*)

(*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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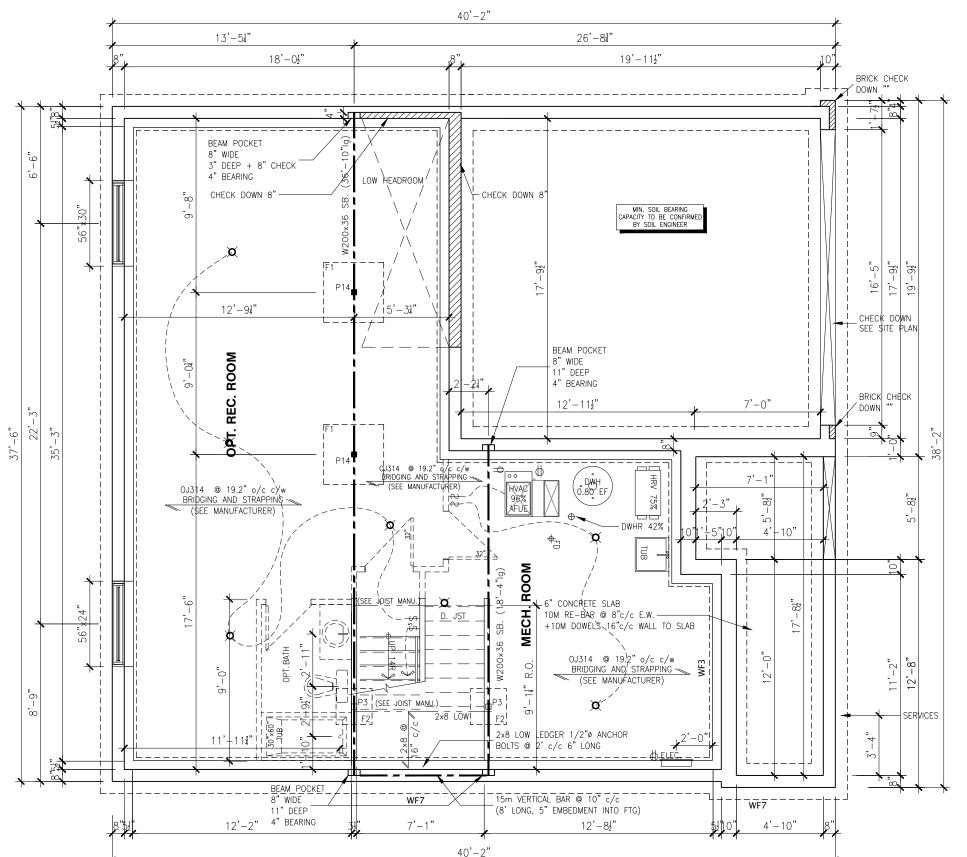
FOUNDATION PLAN - STANDARD

A6a

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS

2018 FOOTPRINT (STANDARD DRAWINGS)



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FOUNDATION PLAN - SUNKEN

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A6a

PLAN - FOUNDATION - ELEVATION A/B (SUNKEN)

BASEMENT NOTE:

19'-111"

MIN. SOIL BEARING APACITY TO BE CONFIRM BY SOIL ENGINEER

HRV

75%

DWHR 42%

40'-2"

OJ314 @ 19.2" c/c c/w
BRIDGING AND STRAPPING
(SEE MANUFACTURER)

HVAC 98%

⇟

6" CONCRETE SLAB

10M RE-BAR @ 8"c/c E.W. +10M DOWELS 16"c/c WALL TO SLAB

Ø

15m VERTICAL BAR @ 10" c/c

(8' LONG, 5" EMBEDMENT INTO FTG)

12'-5"

2x8 LOW LEDGER 1/2"ø ANCHOR

BOLTS @ 2' c/c 6" LONG

OJ314 @ 19.2" o/c c/w BRIDGING AND STRAPPING

(SEE MANUFACTURER)

BEAM POCKET

8" WIDE

1" DEEP

4" BEARING

 $12' - 11\frac{1}{2}$ "

39'-4"

17'-8"

SB.

W200x36

i5'-3⅓"

Ø

(SEE JOIST MANU.)

7'-1"

33'-10"

40'-2"

-1½" O.S.B. COMFORT (TY

" POURED CONCRETE

SLAB 25Mpa ON 6 MIL

POLY ON 8" CRUSHED

...48

8'-0"

2-2"x10" PRESSURE

-JOIST HANGERS-

2"x10" PRESSURE

TREATED JOISTS

-RIM BOARD 2"x10"

TO CANTILEVER

@ 16" o/c

POSTS 1½"

-4-2"x10" PRESSURE TREATED (FLUSH)

-DECK FRAMING

TREATED (FLUSH)

6

STONE ON UNDISTURBED

12'-94"

BRIDGING AND STRAPPING

OJ314 @ 19.2" o/c c/w

(SEE MANUFACTURER)

R00R

REC.

Ø

2"x10" PRESSURE TREATED LEDGER SASTEN TOP TO RIM BOARD AND

FASTEN BOTTOM TO SILL PLATE WITH

⊕ @ 16" o/c

3/8" x 6" LAG SCREWS AND WASHERS

Ø

12'-73"

---+2'-81"-

16',-6"

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7'-0"

. 22

4'-10"

6'-4"

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BRICK CHECK

-5" -9½"

CHECK DOWN

BRICK CHECK

. 22

SERVICES

DOWN

SEE SITE PLAN

16,

DOWN

LOT: **XXXX** DATE: XX/XX/XXXX

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TARION REGISTRATION NUMBER #611

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STEEL LINTEL: S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10

S7 = L 150x100x10 (8" BEARING) INTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

 $L3 = 2 - 1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3* ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6

 $= 1.200 \times 100 \times 12$

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)

(*) = 2-12ø ANCH. (WHERE ANCH. PL. NOT USED)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3 FULL HEIGHT WALL DETAIL 11/06/2019 AB

REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD

11/05/2018 VH

A6a

NO DESCRIPTION

FOUNDATION PLAN - STANDARD

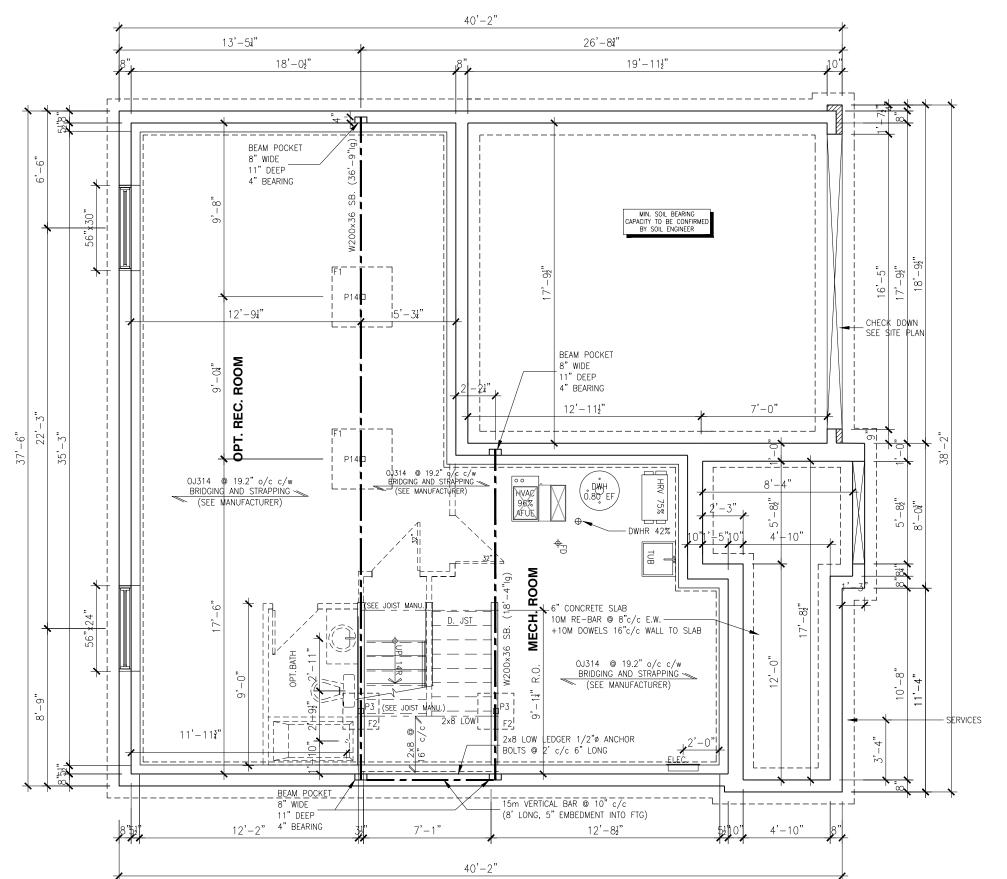
3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

REV-2 AS PER STRUCTURAL







TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS:

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE):

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

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A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS: AND B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: DATE:

XXXX XX/XX/XXXX



<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR IALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BOIN #19896

TARION REGISTRATION NUMBER #611

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NO.	DESCRIPTION	DATE	BY

FOUNDATION PLAN - STANDARD

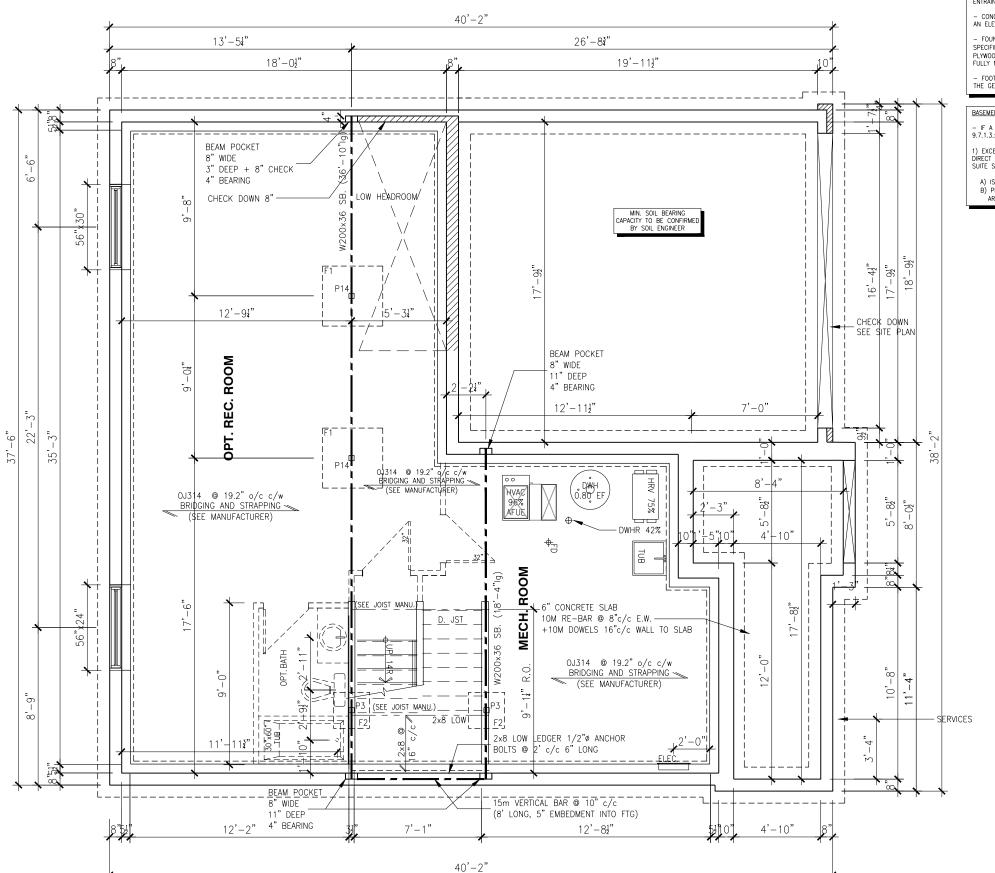
3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A6a

PLAN - FOUNDATION - ELEVATION C (STANDARD)



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/alecra Homes (2019) Limited

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FOUNDATION PLAN - SUNKEN

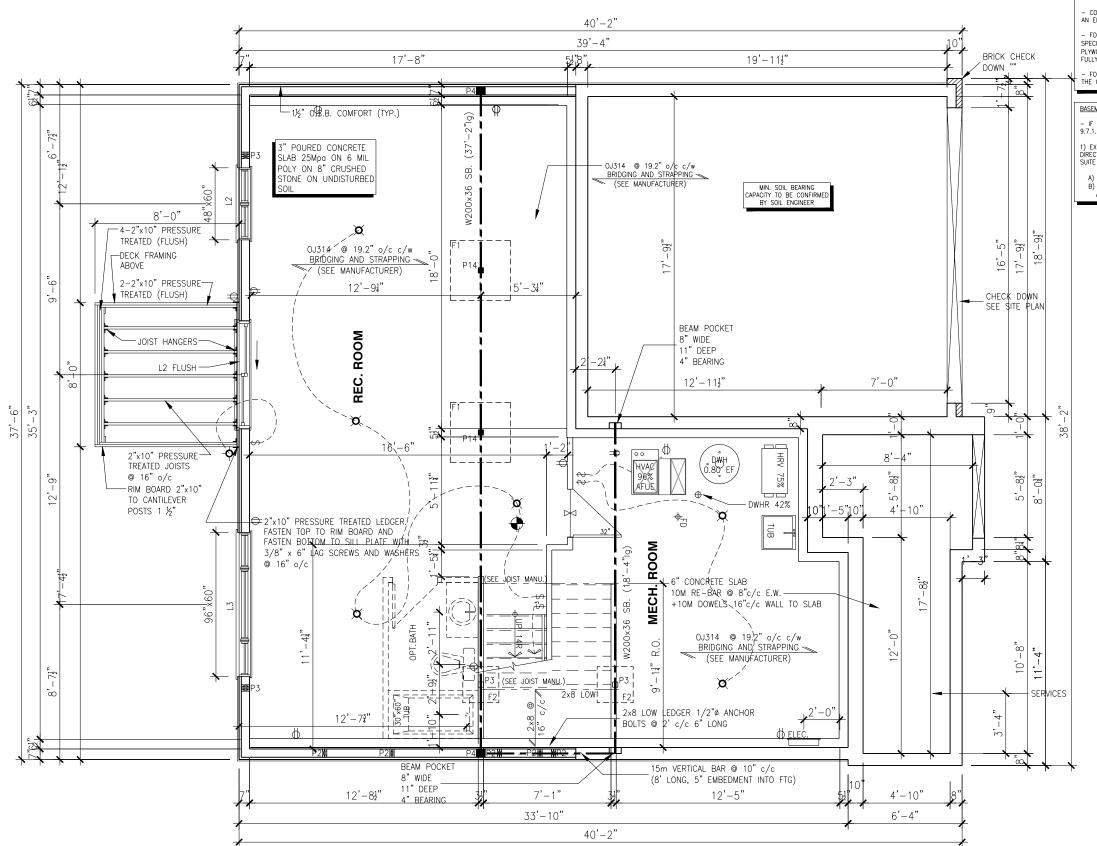
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1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A6a

PLAN - FOUNDATION - ELEVATION C (SUNKEN)



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FOUNDATION PLAN - WOB

A6a

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS

2018 FOOTPRINT

STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14") WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5")

LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") MAX 900mm (36"):
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6"
- FXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0' (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN
- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

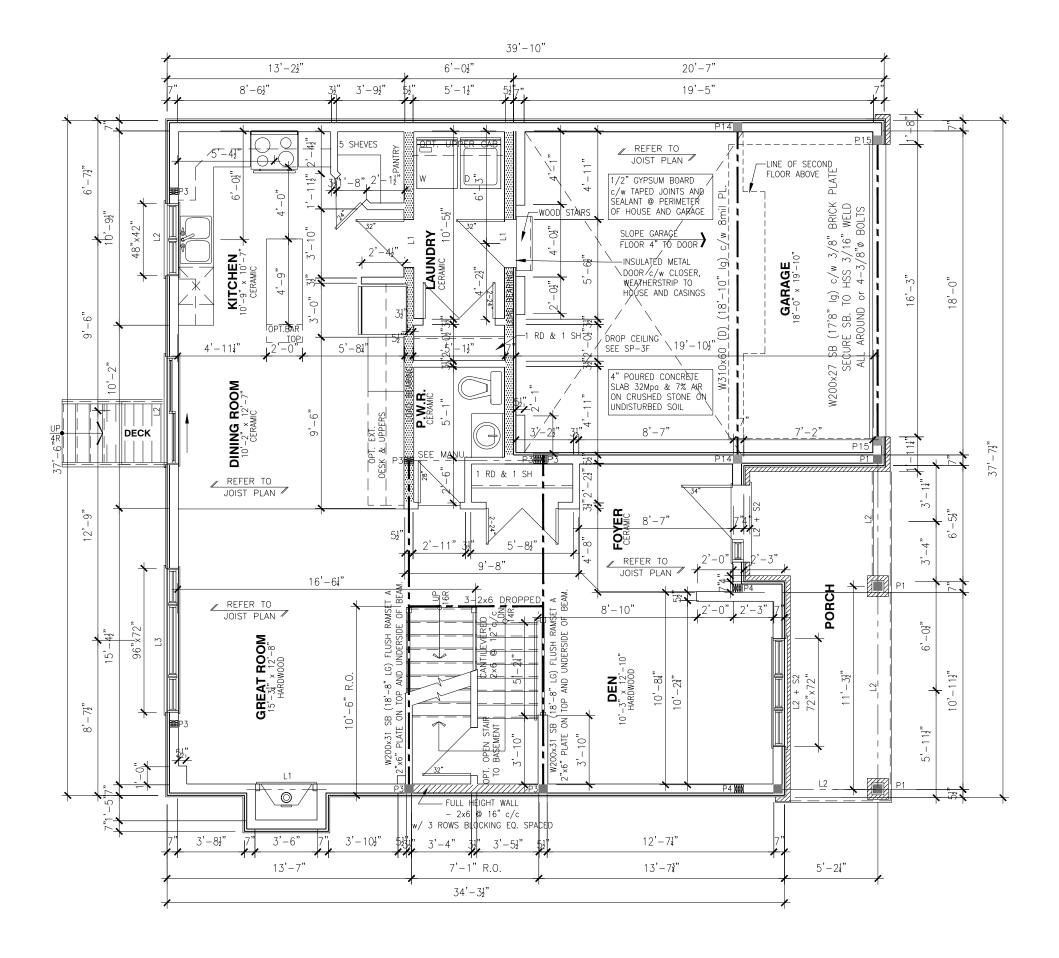
ROOF AND FLOOR LAYOUT NOTES:

 ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO B AWARE OF ANY ALTERNATIVES OR CHANGES RECARDING THE ROOF
AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION
BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID
BLOCKING DOWN TO FOUNDATION.

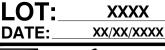
- GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - GROUND FLOOR - ELEVATION A



Homes (2019) Limited

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GROUND FLOOR - STANDARD

3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A7a

STAIRS AND RAILINGS:

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14") WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5")

LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") MAX 900mm (36"):
- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6"
- FXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0' (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";
- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN
- MAXIMIM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ROOF AND FLOOR LAYOUT NOTES:

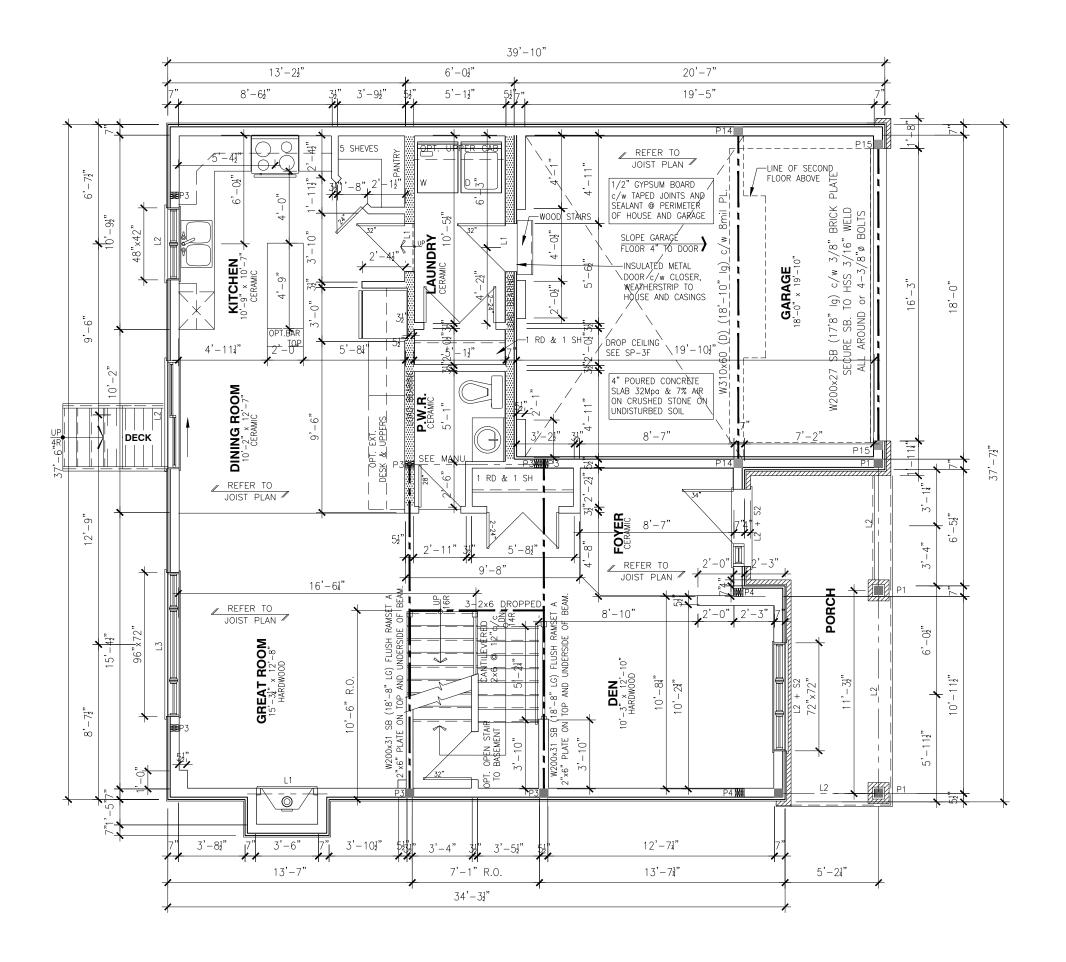
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST TH TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO B AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AWARE OF AMT ALTERNATIVES OR CHARGES RESAMINED THE AMD FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTES:

- GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD, FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

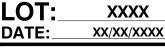
NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - GROUND FLOOR - ELEVATION A (SUNKEN)

SCALE: 3/16" = 1'-0"



Homes (2019) Limited

I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE :-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS. TOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

STEEL LINTEL:

- = L 90x90x6 = L 90x90x8 = L 100x90x8
- S4 = L 125x90x8 S5 = L 125x90x10
- $= 1.200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2 1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3* ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL
- (*) = 2-12ø ANCH, (WHERE ANCH, PL, NOT USED)
- * POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"



- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - SUNKEN

3/16" = 1'-0"

1010 - THE FERRIS 2018 FOOTPRINT (STANDARD DRAWINGS)

A7a

XX/XX/XXXX

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14") WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5")

LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

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- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;
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ROOF AND FLOOR LAYOUT NOTES:

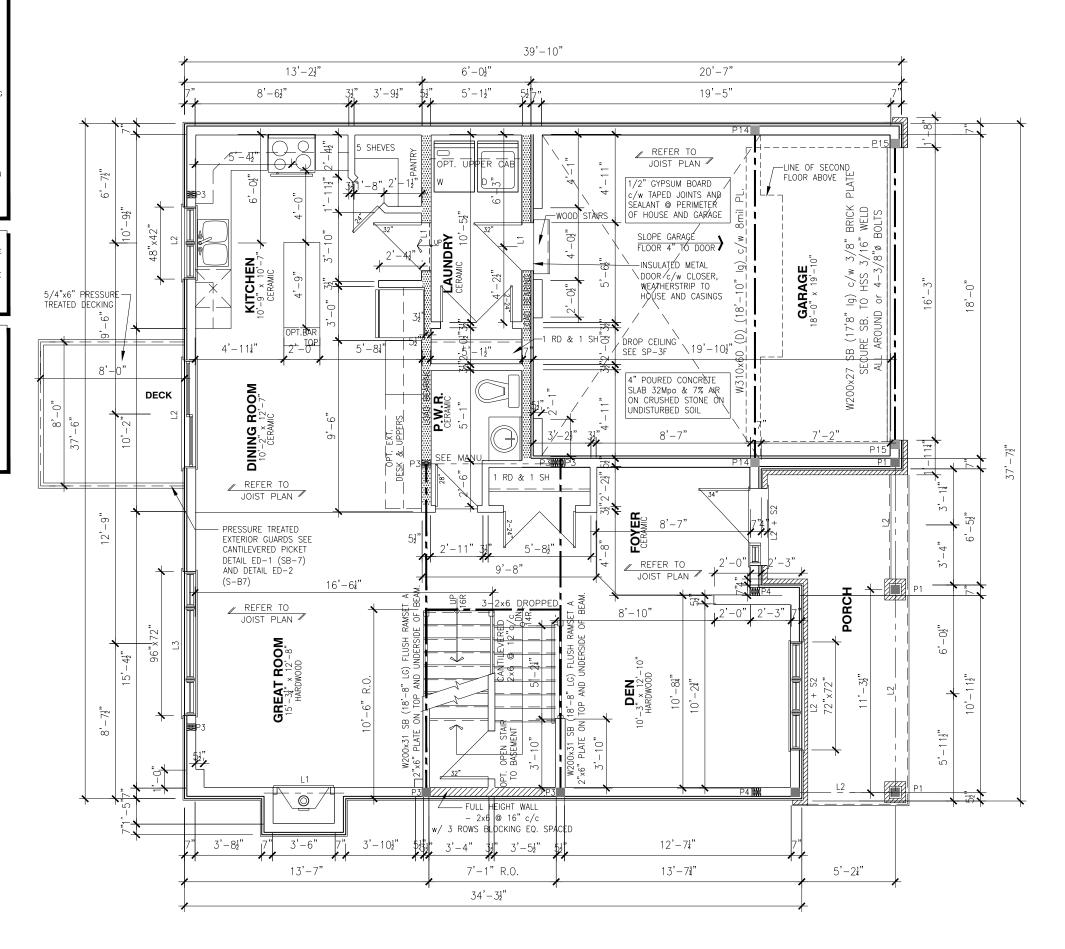
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NOTE:

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PLAN - GROUND FLOOR - ELEVATION A (WALKOUT BASEMENT)



XXXX XX/XX/XXXX

Homes (2019) Limited

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STEEL LINTEL:

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INTEL TABLE:

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - A

WALKOUT BASEMENT SCALE: 3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

A7a

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
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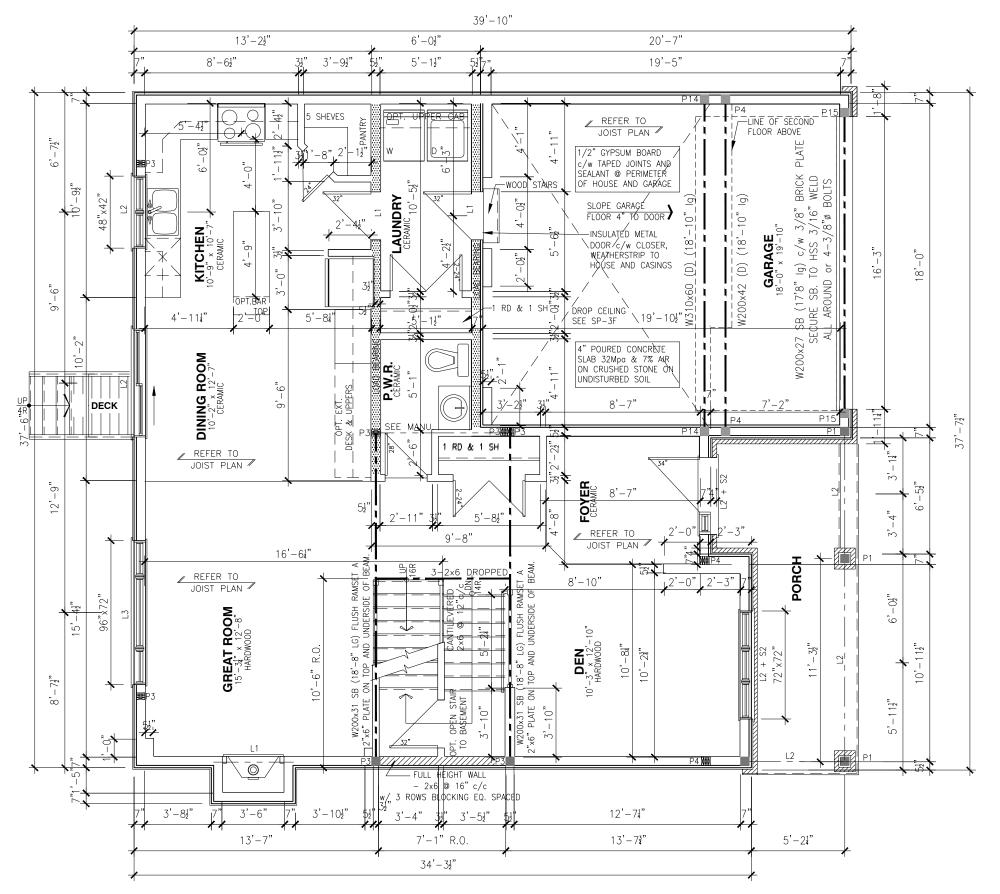
ROOF AND FLOOR LAYOUT NOTES:

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- MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTE:

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PLAN - GROUND FLOOR - ELEVATION B

LOT: DATE:

Homes (2019) Limited

XXXX

XX/XX/XXXX

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- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

TREATED LUMBER POST TABLE:

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P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-2x6
P3 = 3-2x4 OR 3-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- 13 6 3 6 3 6 3 6 5 6 7 6 2 4 7 6 7 6 7 6 7 6 7 6 7 6 7 6 7 6 7 7 6

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - STANDARD

3/16" = 1'-0"

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A7b

XX/XX/XXXX

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14") WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5")

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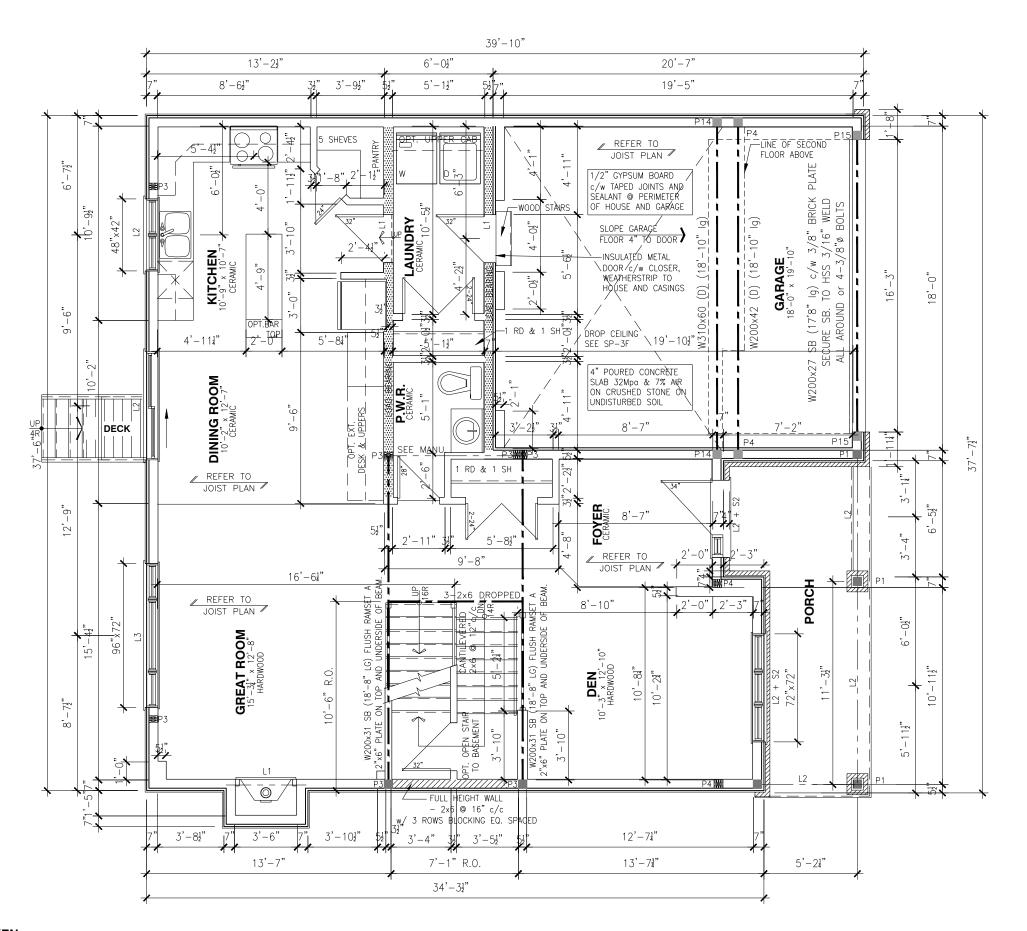
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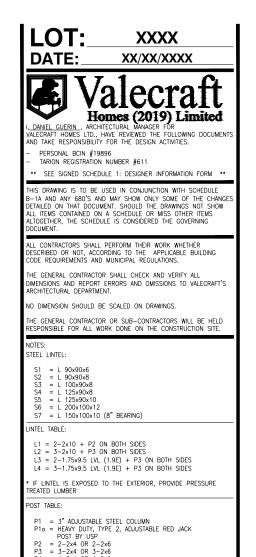
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GROUND FLOOR - B SUNKEN

SCALE: 3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A7b

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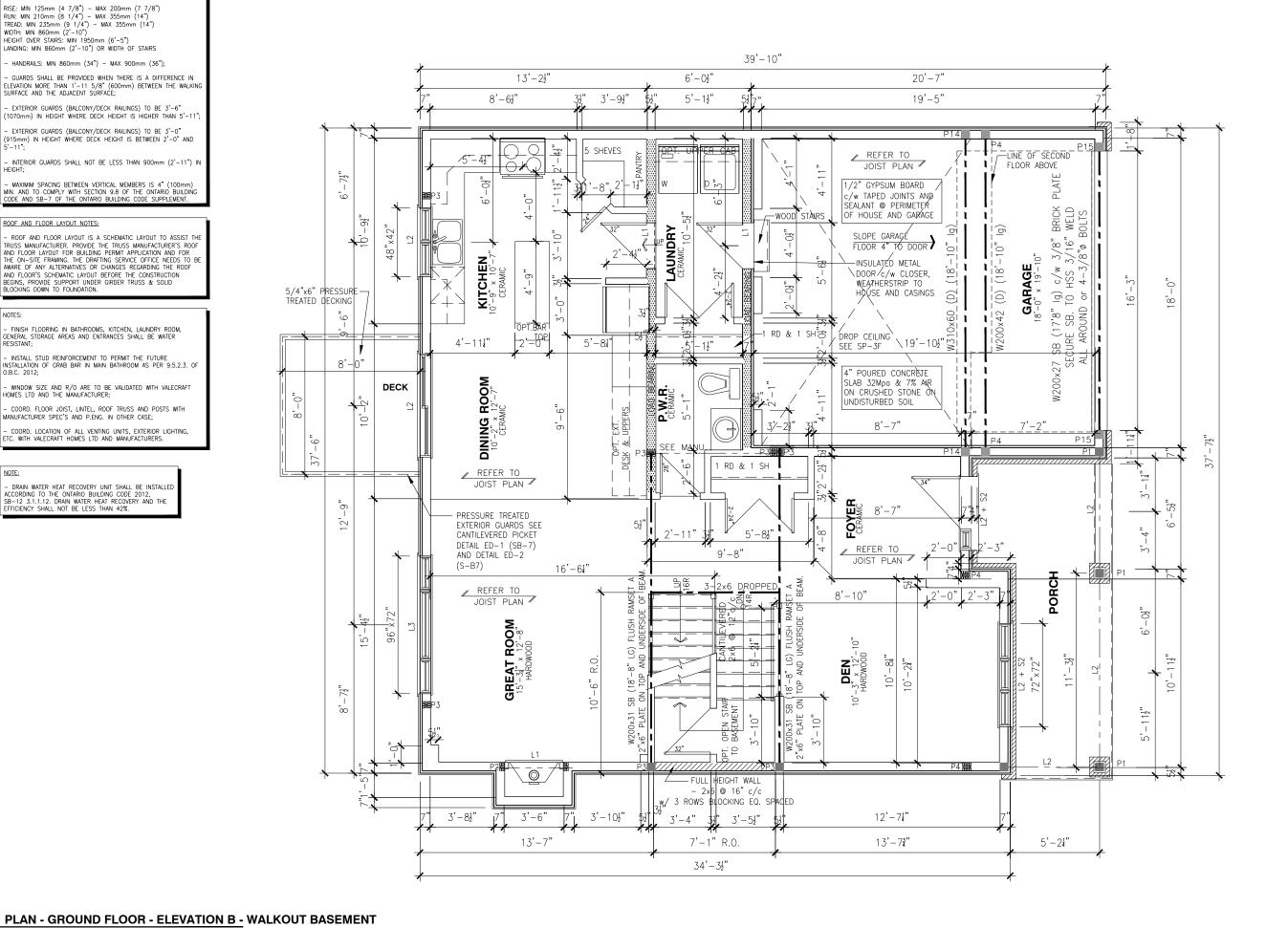
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LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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STEEL LINTEL:

= L 90x90x6 = L 90x90x8 = L 100x90x8

= L 125x90x8 = L 125x90x10

= 1 200x100x12

S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
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NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - B WALKOUT BASEMENT

3/16" = 1'-0" xx/xx/xxxx

A7b

1010 - THE FERRIS 2018 FOOTPRINT

RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8") RUN: MIN 210mm (8 1/4") - MAX 355mm (14") TREAD: MIN 235mm (9 1/4") - MAX 355mm (14") WIDTH: MIN 860mm (2'-10") HEIGHT OVER STAIRS: MIN 1950mm (6'-5")

LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") MAX 900mm (36"):
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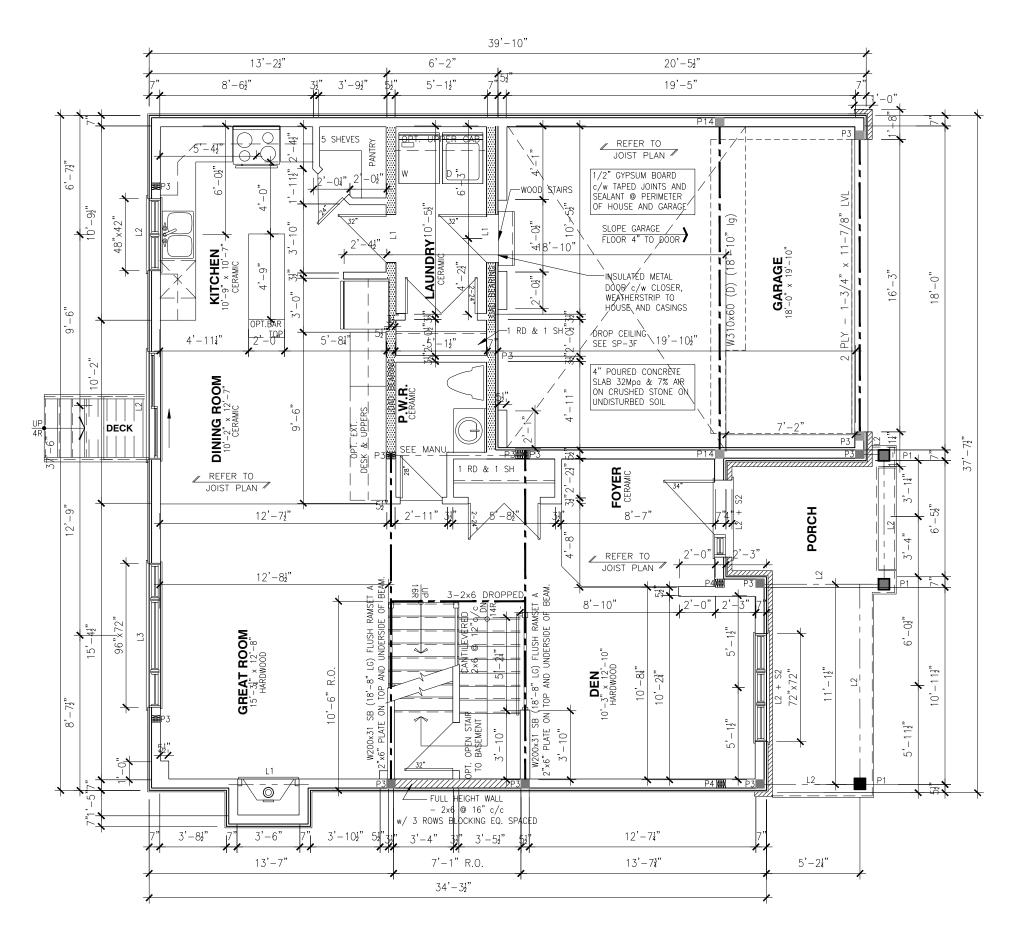
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LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

GROUND FLOOR - STANDARD

3/16" = 1'-0"

1010 - THE FERRIS 2018 FOOTPRINT (STANDARD DRAWINGS)

A7c

XX/XX/XXXX

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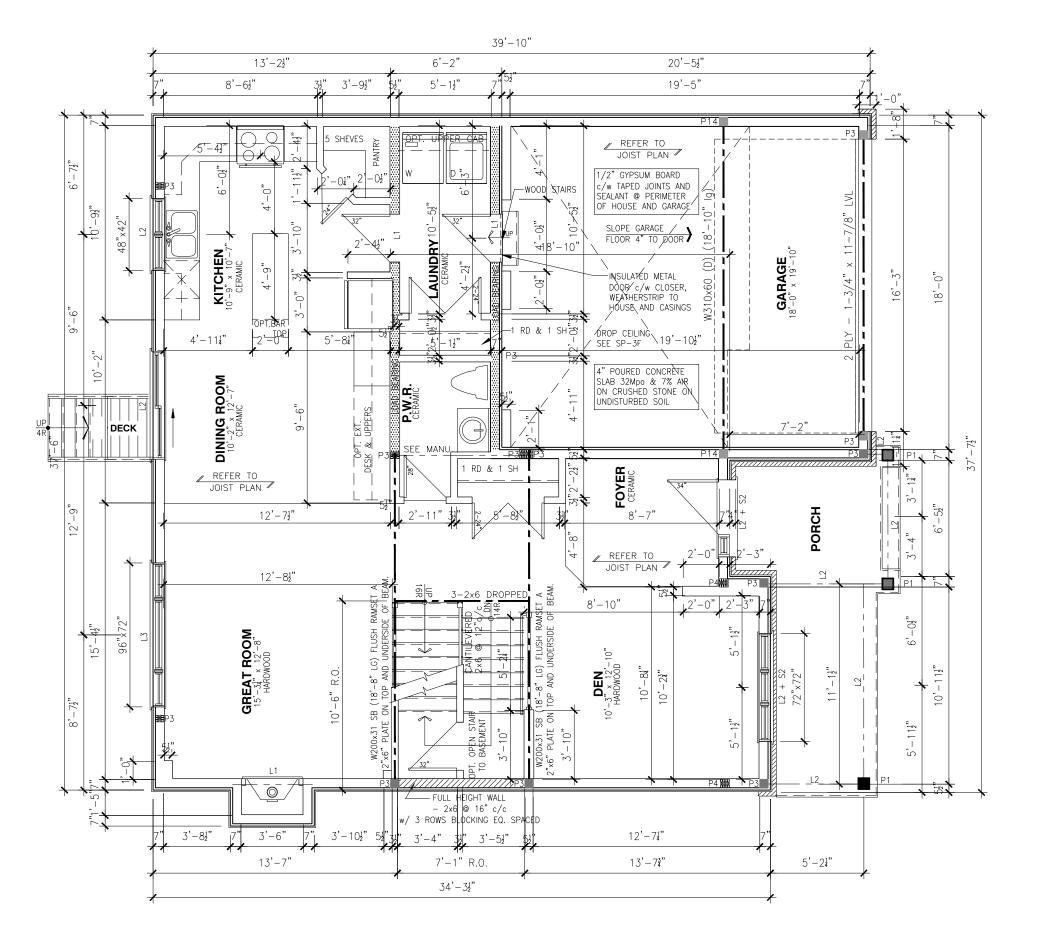
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Homes (2019) Limited

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NO.	DESCRIPTION	DATE	BY

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1010 - THE FERRIS 2018 FOOTPRINT (STANDARD DRAWINGS)



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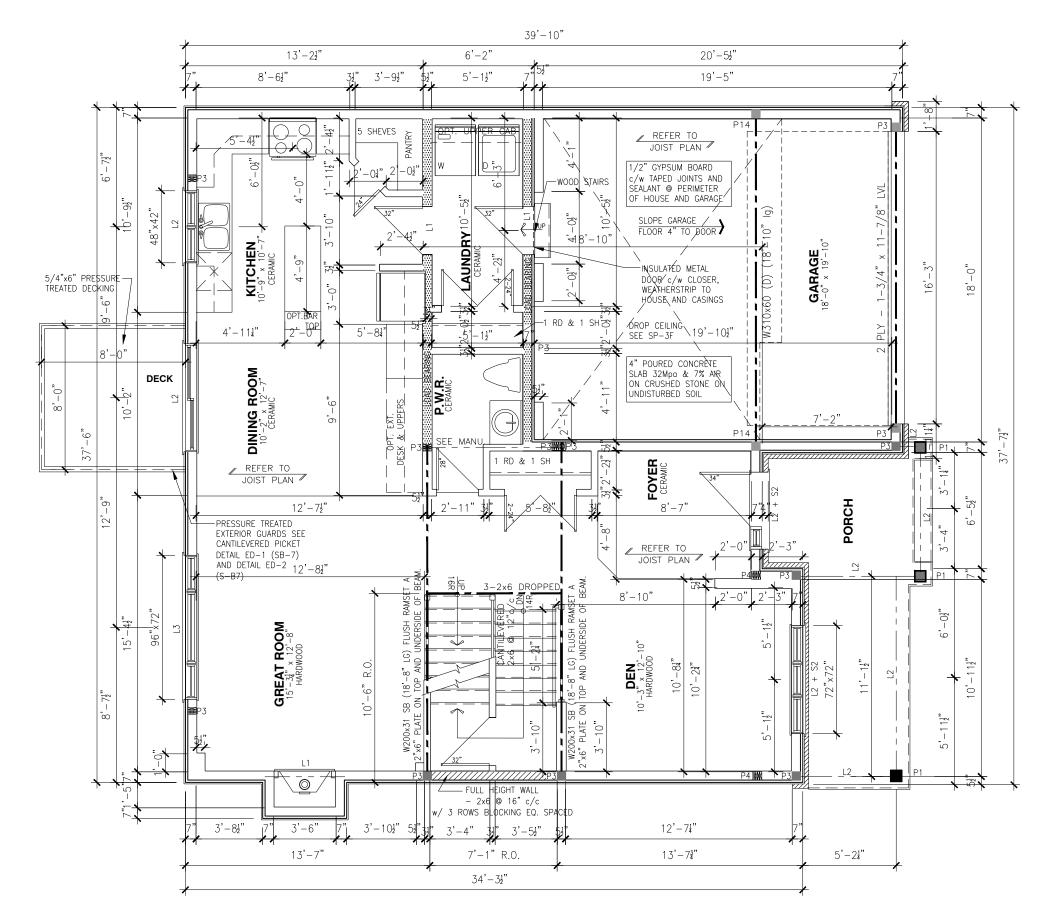
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LOT:

PERSONAL BCIN #19896

ARCHITECTURAL DEPARTMENT.

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REV 3 FULL HEIGHT WALL DETAIL 11/06/2019 AB REV-2 AS PER STRUCTURAL 1/05/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD IO DESCRIPTION

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1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A7c

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- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

NOTE:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST TH RUSS MANUFACTURER, PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

32'-41" - DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%. 32'-0<u>1</u>" $3\frac{1}{2}$ "2'-0\frac{1}{2}"3\frac{1}{2}1 5'-0" $5'-11\frac{1}{2}$ " 5'-0" $11'-8\frac{1}{2}"$ 30"x60" TUB 30"x60" TUB GIRDER TRUSS 6,-ચ n: **BATH** Carpet **BEDROOM** 12'-0" x 12'-11 CARPET SARP. Ö, 15'-1" ENSUITI œ 12'-114" 15'-41''LINEN 7 EDROOM. 2-28"` .51 $11'-9_2^1$ " 9'-74" BED. MASTER 1 20'-11" × 1; 2-30" GUARD SB-7 OBC 2012 20, OPT. CAPPED OUTLET N. **BEDROOM** 10'-8" × 10'-5' CARPET 10' - 84". . R.O. 5 GIRDER GIRDER TRUSS 224 P4WW 24"X48" 24"X48" 15'-7" 3'-0" $15'-8^{1}_{2}$ " 12'-81" . 7'–1" R.O. $10'-5\frac{1}{2}$ " $34' - 3\frac{1}{2}$ "

 $34' - 7\frac{1}{2}$ "

PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX

Valecra Homes (2019) Limited

I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FÖR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BOIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $= 1.200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- $L3 = 2-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
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P15 = HSS 89x89x4.8 + 100x200x12 T&B PL (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL (*)
P17 = HSS 73 .0.x4.8 + 100x180x12 BOTTOM PL + 130x160x10 TOP PL (*)
(*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDION POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3 FULL HEIGHT WALL DETAIL 11/06/2019 AB REV-2 AS PER STRUCTURAL 11/05/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 13/11/2017 MAD NO DESCRIPTION DATE

SECOND FLOOR - STANDARD

3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

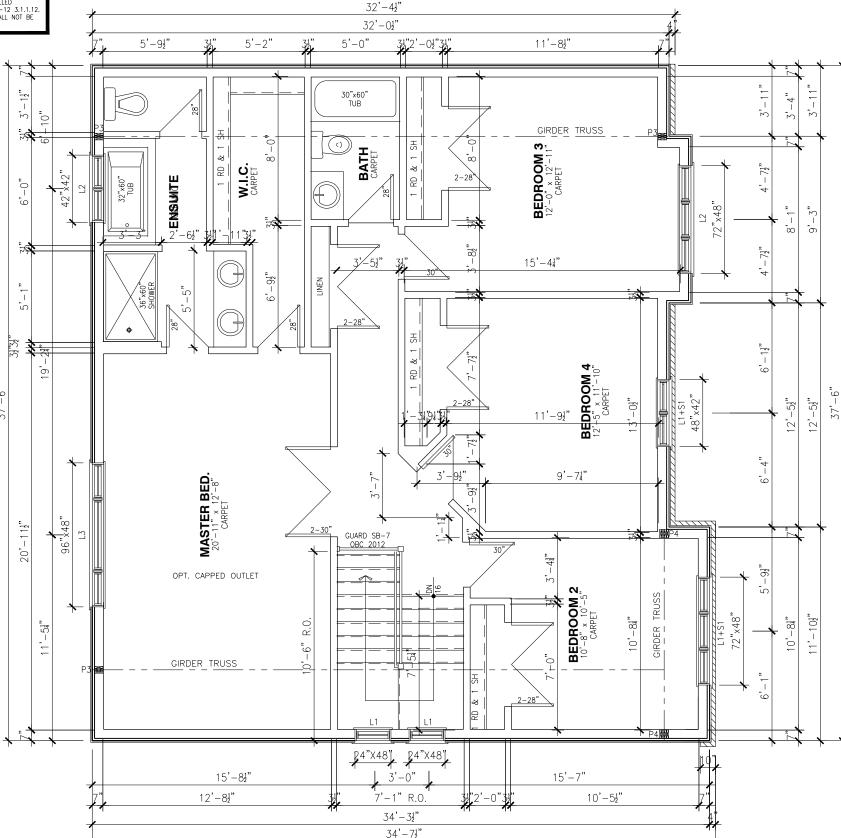
A8a

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER
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NOTE:

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PLAN - SECOND FLOOR - ELEVATION A (ENSUITE UPGRADE)

LOT:

XXXX XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAC
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR ENSUITE UPGRADE

3/16" = 1'-0"

A8a

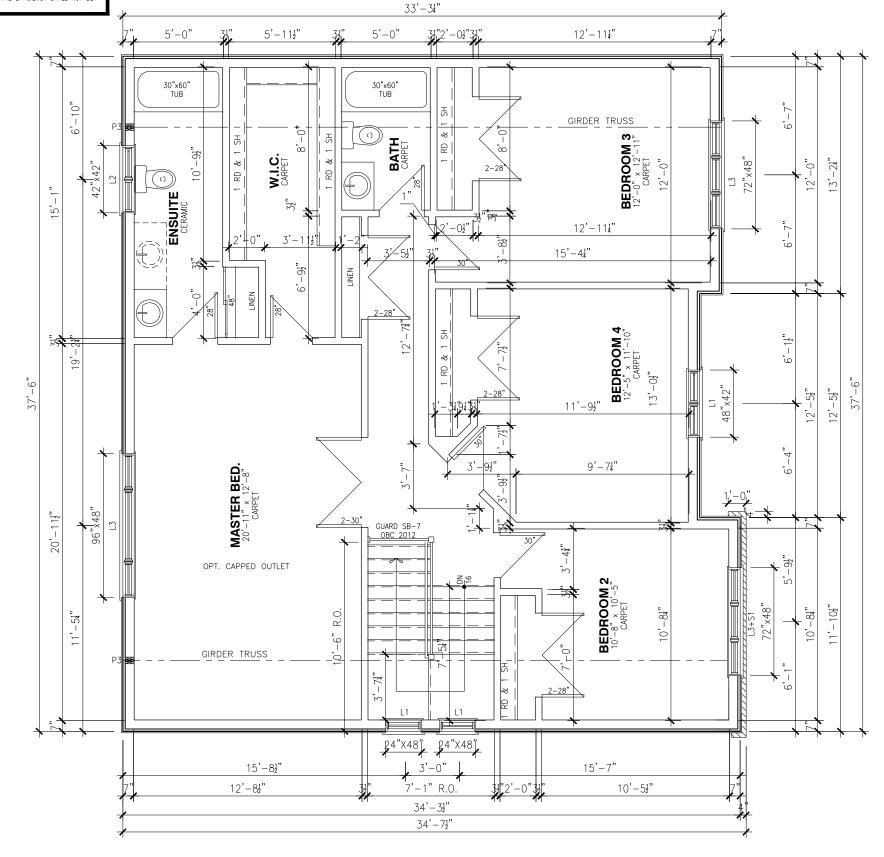
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1010 - THE FERRIS 2018 FOOTPRINT

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NOTE:

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

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2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
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SECOND FLOOR - STANDARD

3/16" = 1'-0" XX/XX/XXXX

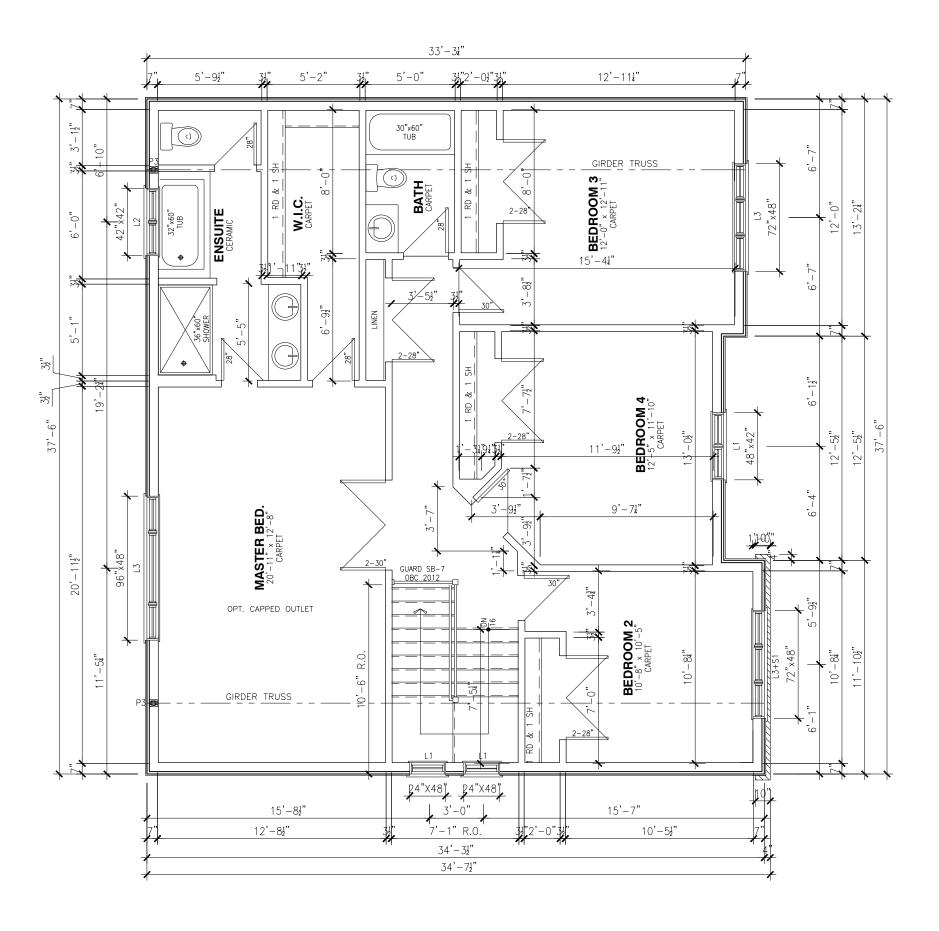
1010 - THE FERRIS 2018 FOOTPRINT

A8b

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DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE
LESS TIAN 409



PLAN - SECOND FLOOR - ELEVATION B (ENSUITE UPGRADE)

LOT:

XXXX XX/XX/XXXX

Homes (2019) Limited

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SECOND FLOOR ENSUITE UPGRADE

3/16" = 1'-0" 1010 - THE FERRIS

2018 FOOTPRINT (STANDARD DRAWINGS)

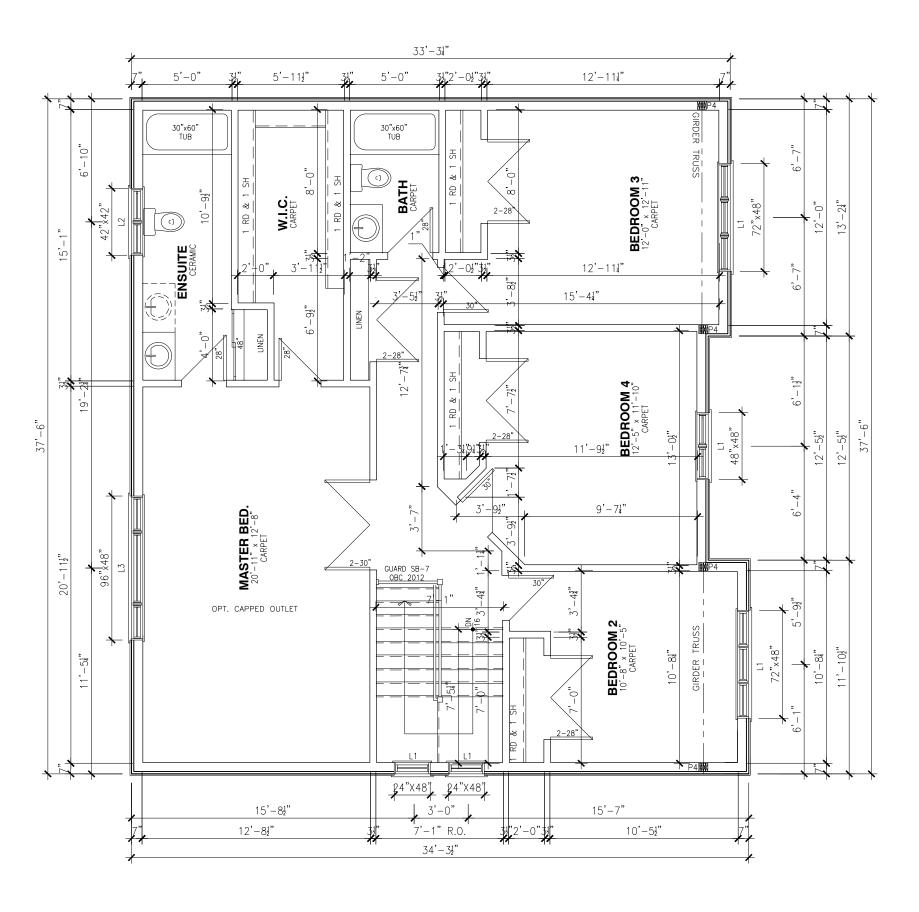
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PLAN - SECOND FLOOR - ELEVATION C

SCALE: 3/16" = 1'-0"



XXXX XX/XX/XXXX

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OTES:

STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $= 1.200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

13 6 3 6 3 6 3 6 5 6 7 6 2 4 7 6 7 6 7 6 7 6 7 6 7 6 7 6 7 6 7 7 6

+ 130x160x10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

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CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR - STANDARD

3/16" = 1'-0" 1010 - THE FERRIS

2018 FOOTPRINT

A8c

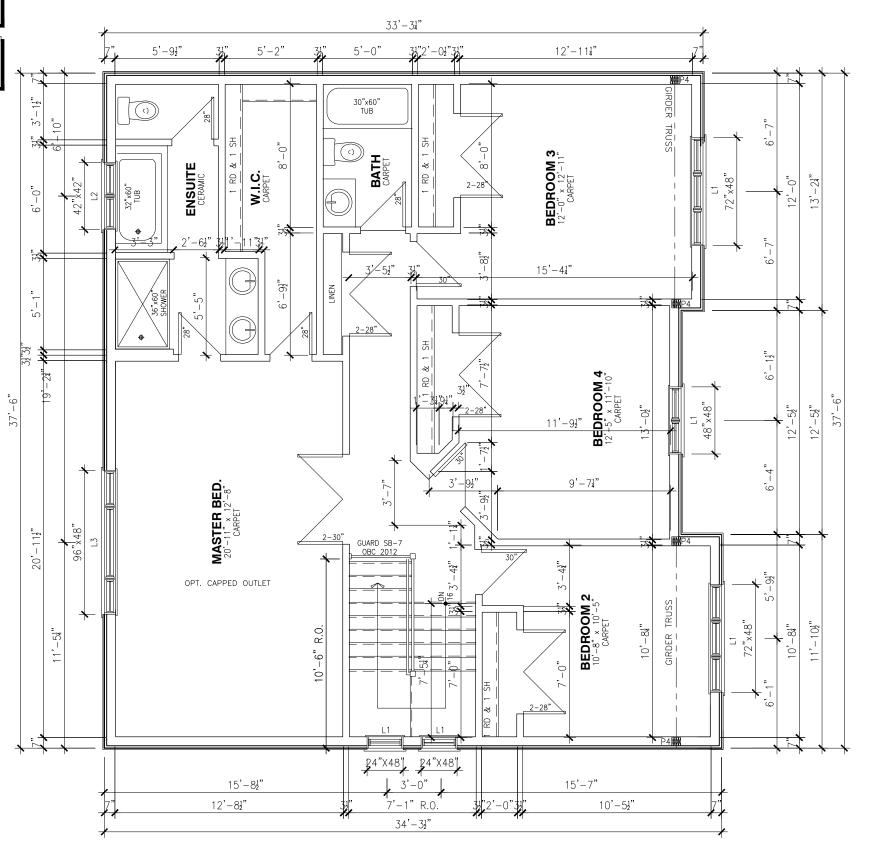
xx/xx/xxxx

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NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - SECOND FLOOR - ELEVATION C (ENSUITE UPGRADE)

LOT:

XX/XX/XXXX

XXXX

Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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- P15 = HSS 88.9x86.9x3.18 + 100x200x12 1c88 PL. (*)
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SECOND FLOOR ENSUITE UPGRADE

3/16" = 1'-0" XX/XX/XXXX

A8c

1010 - THE FERRIS 2018 FOOTPRINT

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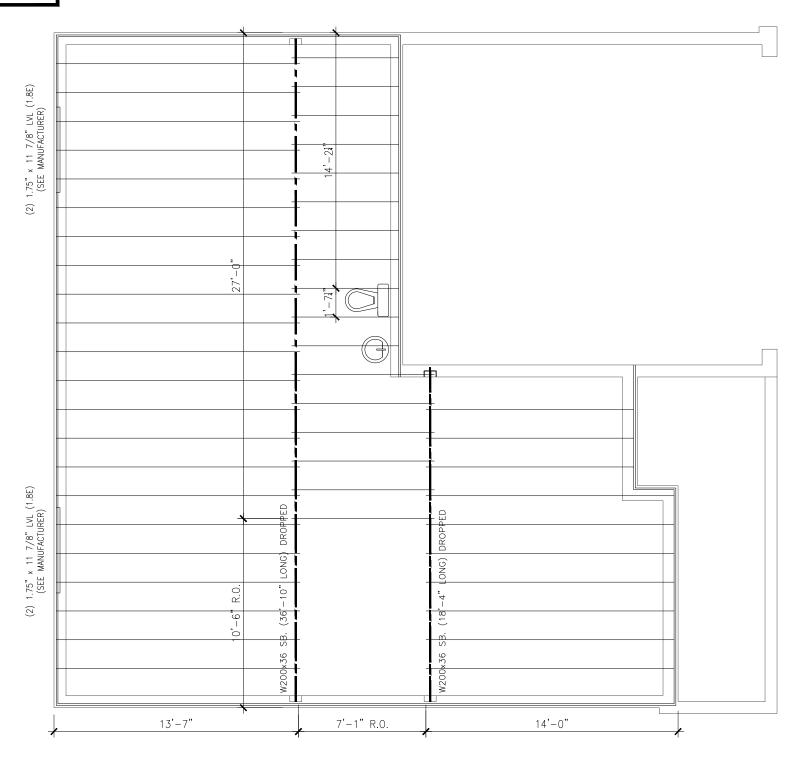
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FIRST FLOOR JOIST PLAN

SCALE: 3/16" = 1'-0"

LOT:

XXXX

XX/XX/XXXX Valecra

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NO.	DESCRIPTION	DATE	BY

FIRST FLOOR JOIST PLAN

3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

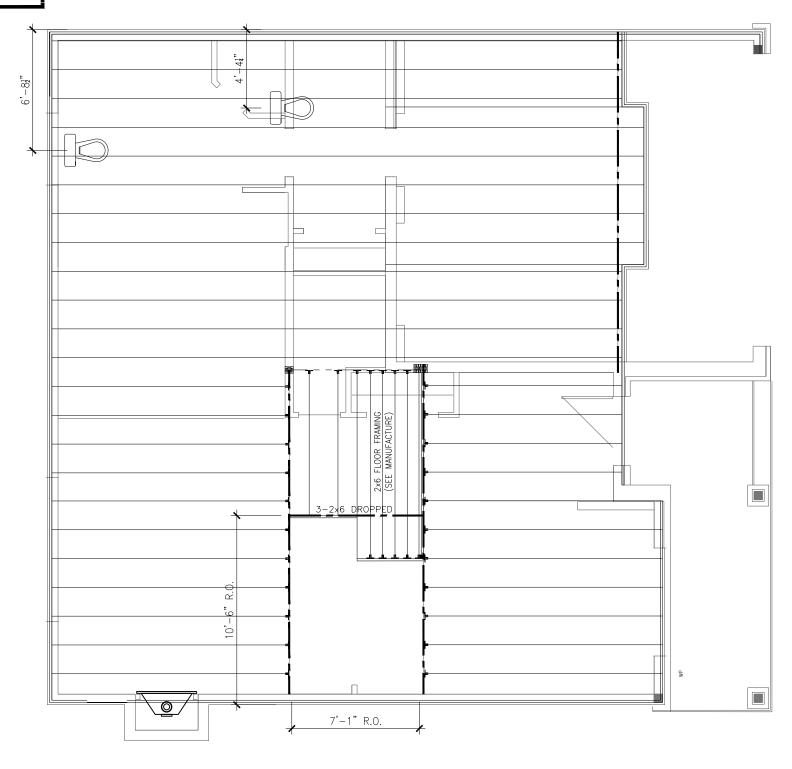
A9a

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SECOND FLOOR JOIST PLAN

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX

Valecra Homes (2019) Limited

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2012 O.B.C. DRAWINGS

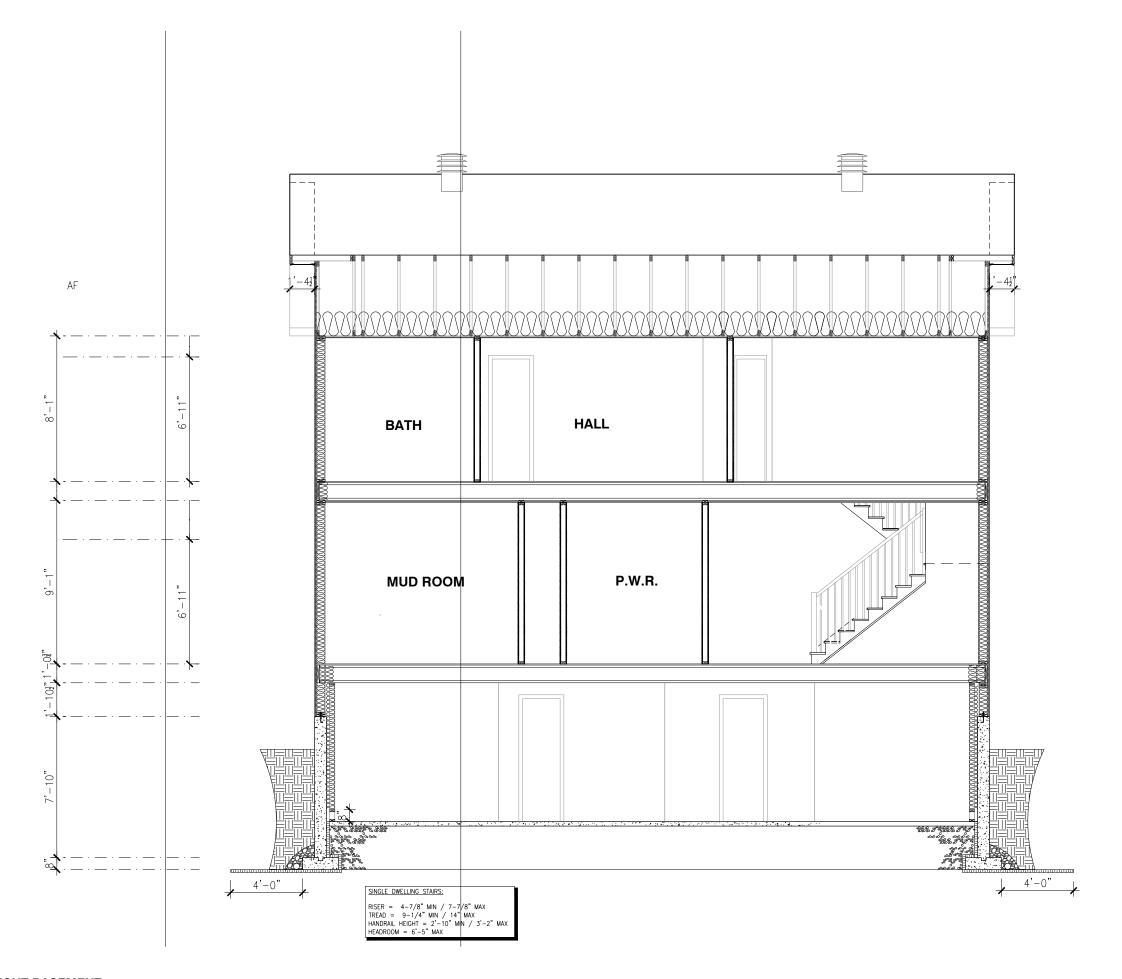
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SECOND FLOOR JOIST PLAN

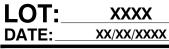
3/16" = 1'-0" xx/xx/xxxx

1010 - THE FERRIS 2018 FOOTPRINT

A9b



SECTION - WALKOUT BASEMENT



Homes (2019) Limited I, DANIEL GUERIN. ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LID., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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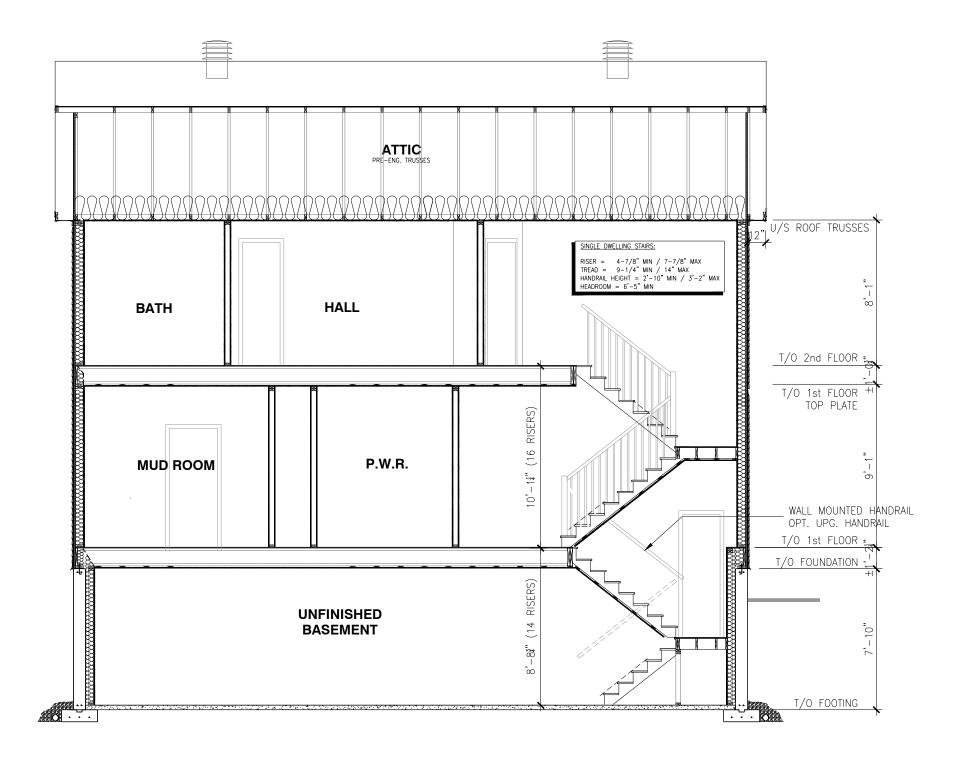
SECTION - WALKOUT BASEMENT

DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A10



SECTION

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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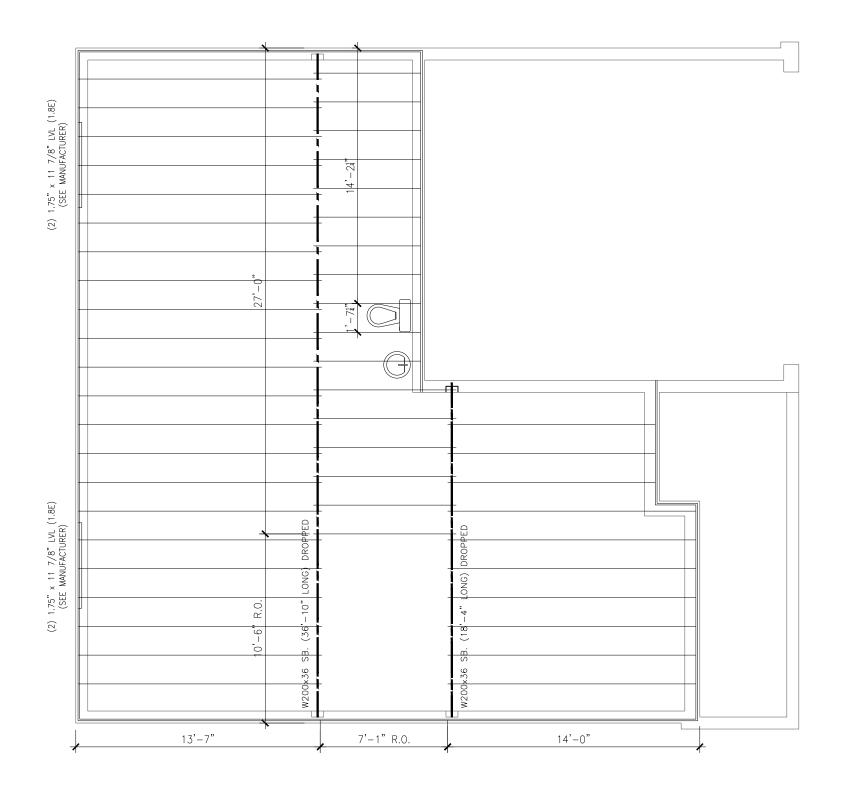
SECTION

SCALE: AS INDICATED DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A10



FIRST FLOOR JOIST LAYOUT

SCALE: 1/4" = 1'-0"



XX/XX/XXXX

Homes (2019) Limited

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2012 O.B.C. DRAWINGS

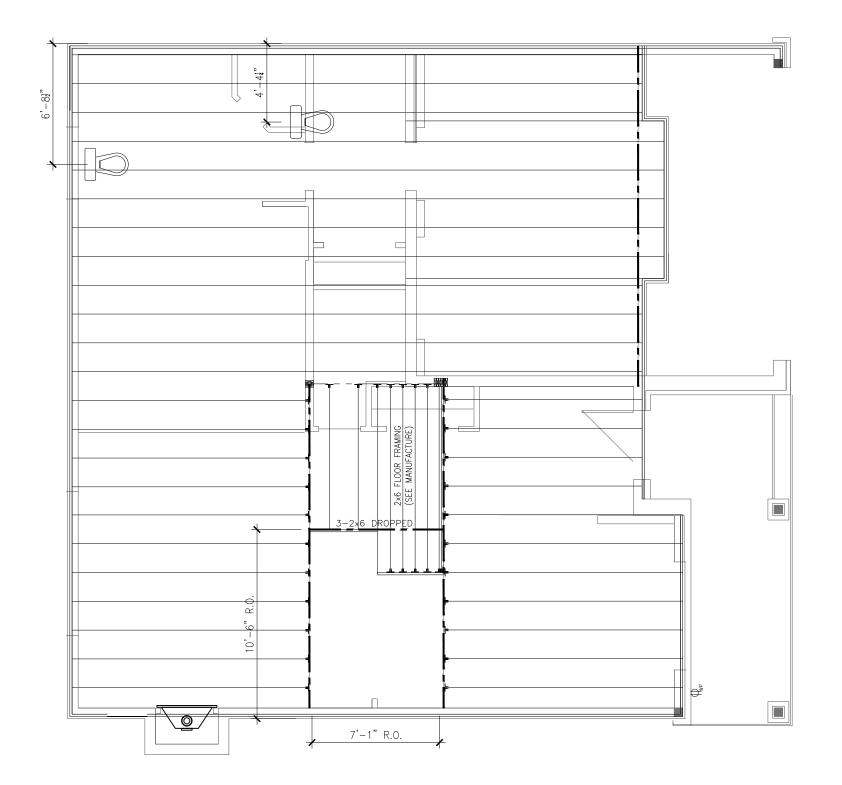
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

FIRST FLOOR JOIST LAYOUT

DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

A10b



SECOND FLOOR JOIST LAYOUT

SCALE: 1/4" = 1'-0"



XXXX XX/XX/XXXX

Homes (2019) Limited

I_DANIEL_GUERIN_, ARCHITECTURAL MANAGER FOR
VALEGRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
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- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE IHIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE
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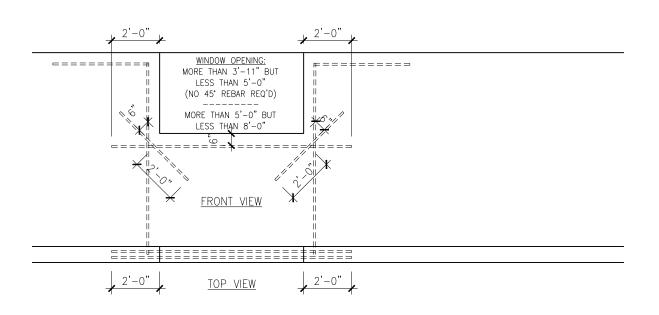
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REV-2	AS PER STRUCTURAL	11/05/2018	VΗ
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

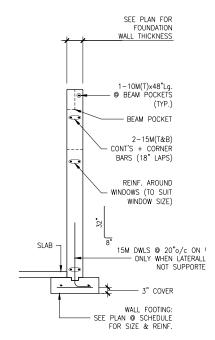
SECOND FLOOR JOIST LAYOUT

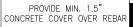
DATE: XX/XX/XXXX

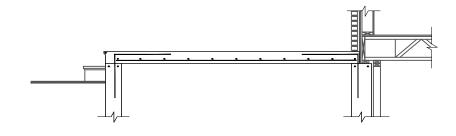
1010 - THE FERRIS 2018 FOOTPRINT

A11b









TYPICAL DETAILS

SCALE: 1/4" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX Homes (2019) Limited

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REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
	DECODIDION	DATE	

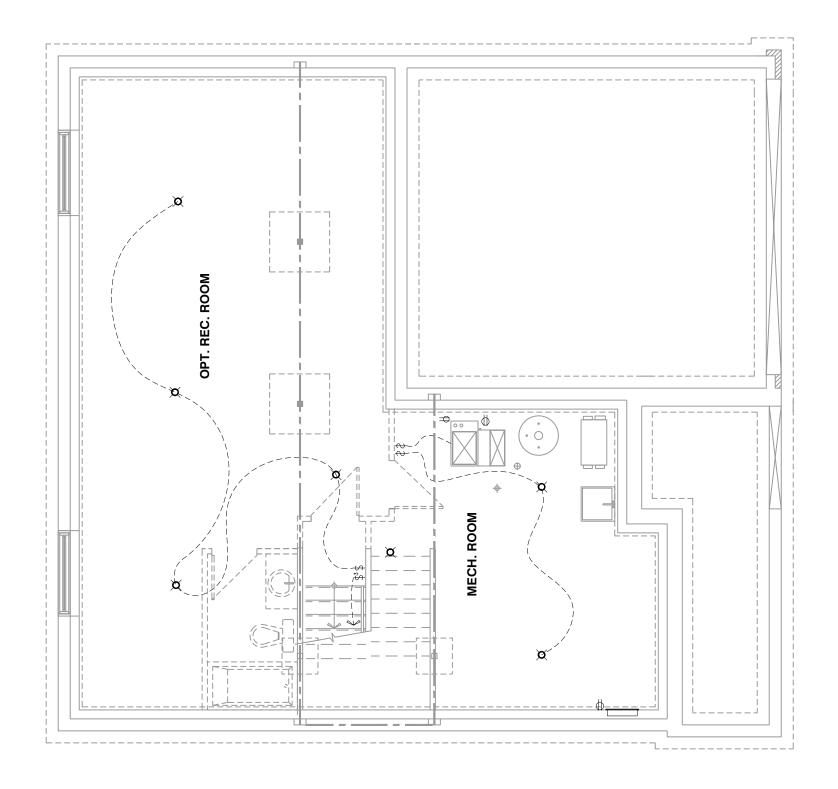
TYPICAL DETAIL

DATE: XX/XX/XXXX

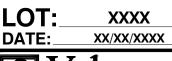
1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A10b



PLAN - ELECTRICAL FOUNDATION - ELEVATION A/B/C (STANDARD)



Homes (2019) Limited

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- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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 SHALL HAVE A VISUAL SIGNALING DEVICE;
 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
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 POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
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 CARBON MONOXIDE ALARM ARE ALSO REQUIRED
 ADJACENT TO EACH SLEEPING AREA.



= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

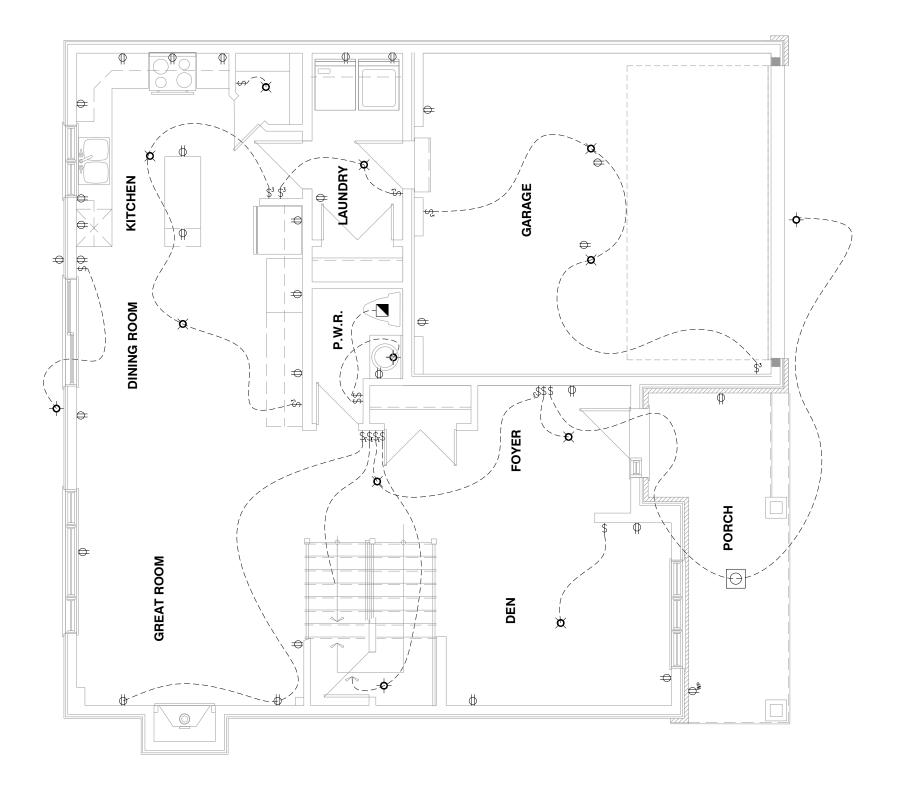
ELECTRICAL

FOUNDATION PLAN - STANDARD SCALE: 3/16" = 1'-0"

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

E1a



PLAN - ELECTRICAL GROUND FLOOR - ELEVATION (STANDARD)



XXXX XX/XX/XXXX

Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

ELECTRICAL

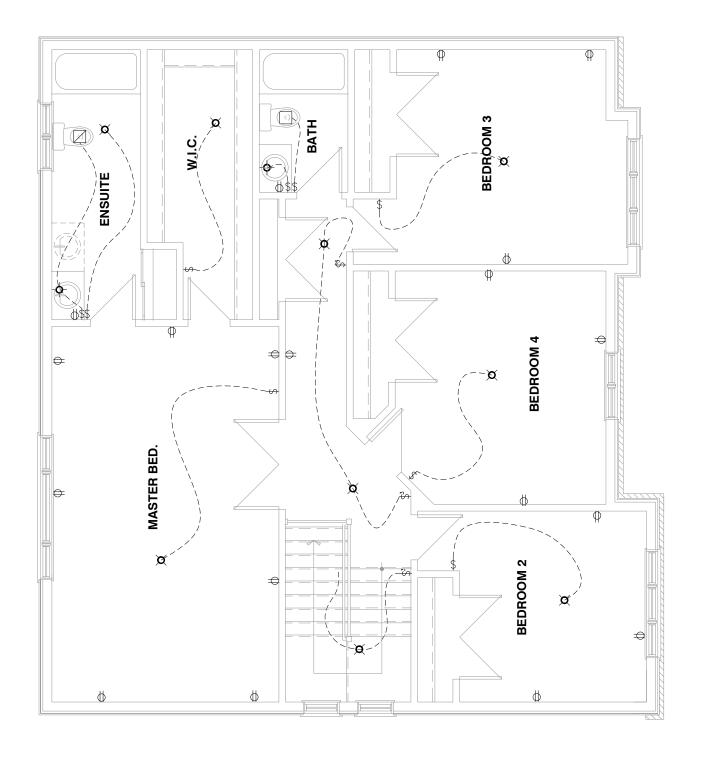
GROUND FLOOR - STANDARD

1010 - THE FERRIS 2018 FOOTPRINT

DATE: XX/XX/XXXX

(STANDARD DRAWINGS)

E2a



PLAN - ELECTRICAL SECOND FLOOR - 3 BED



XXXX XX/XX/XXXX

Homes (2019) Limited

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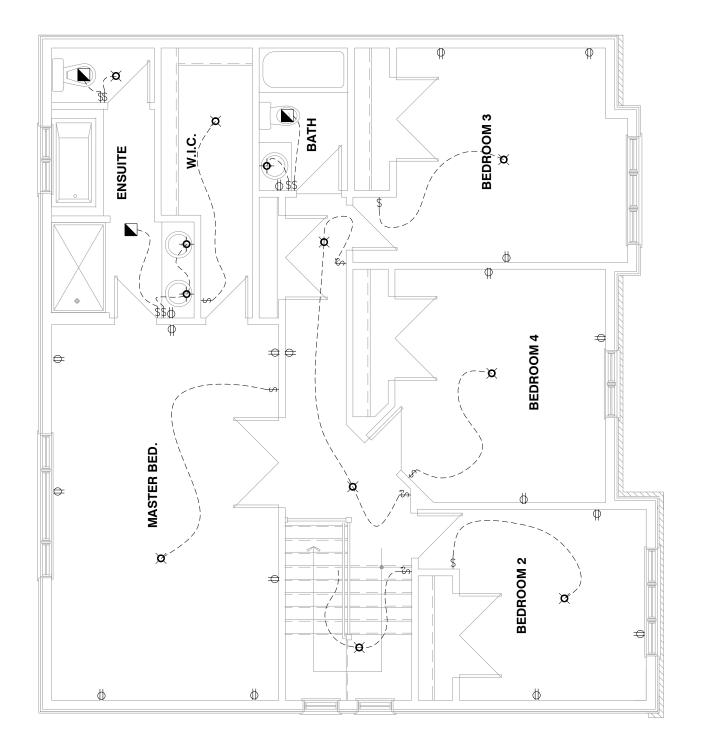
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NO.	DESCRIPTION	DATE	BY

ELECTRICAL

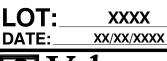
SECOND FL. - 3 BED SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

E3a



PLAN - ELECTRICAL SECOND FLOOR - ENSUITE UPGRADE



Homes (2019) Limited

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NO.	DESCRIPTION	DATE	BY

ELECTRICAL

SECOND FL. - ENS. UPG.

SCALE: 3/16" = 1'-0" XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

E4a