

ELEVATION A - FRONT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
- +20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

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1010 - THE FERRIS
2018 FOOTPRINT

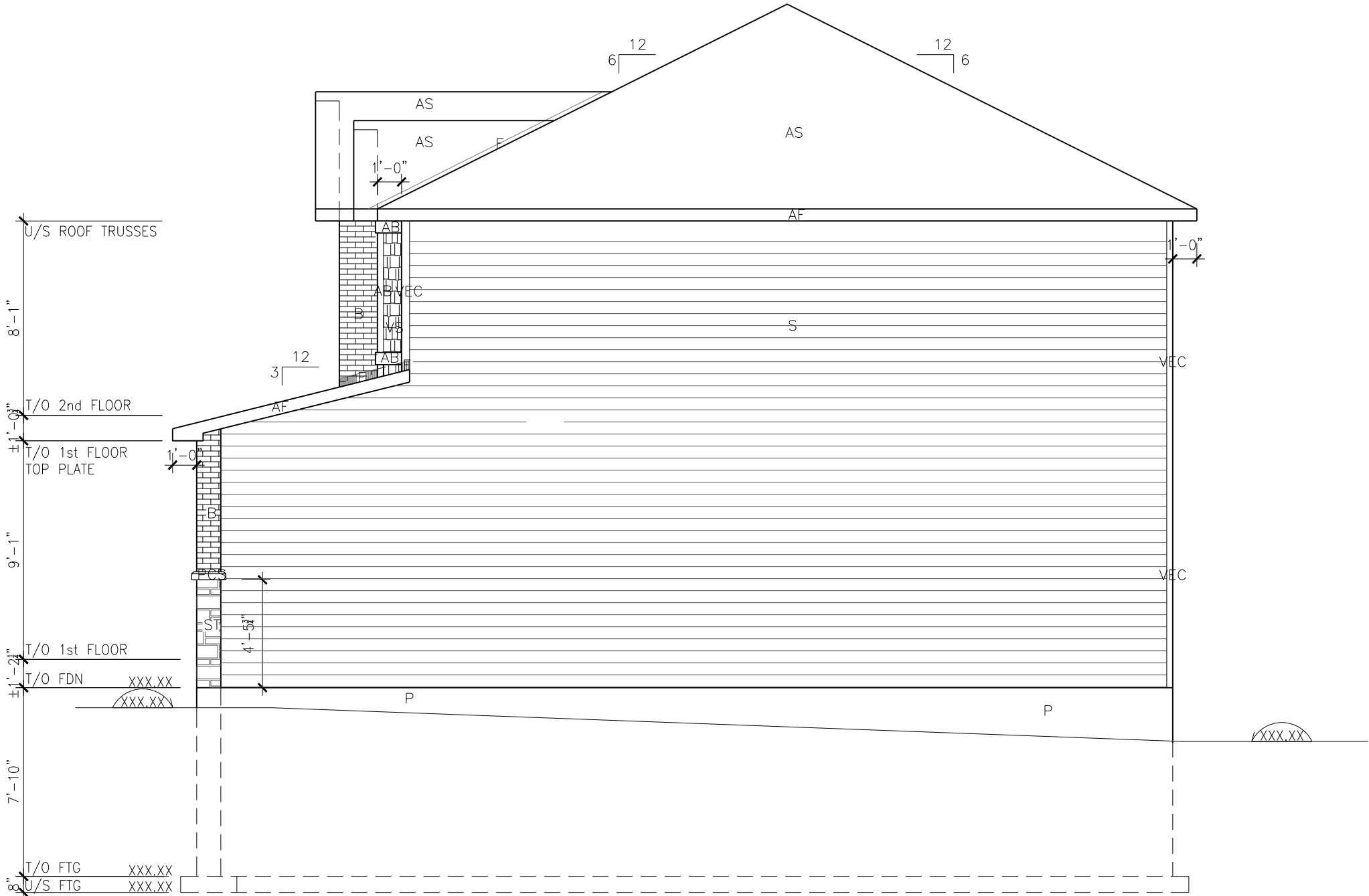
(STANDARD DRAWINGS)

SHEET:

A1a

ELEVATION A - RIGHT

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1010 - THE FERRIS
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SHEET:

A2a



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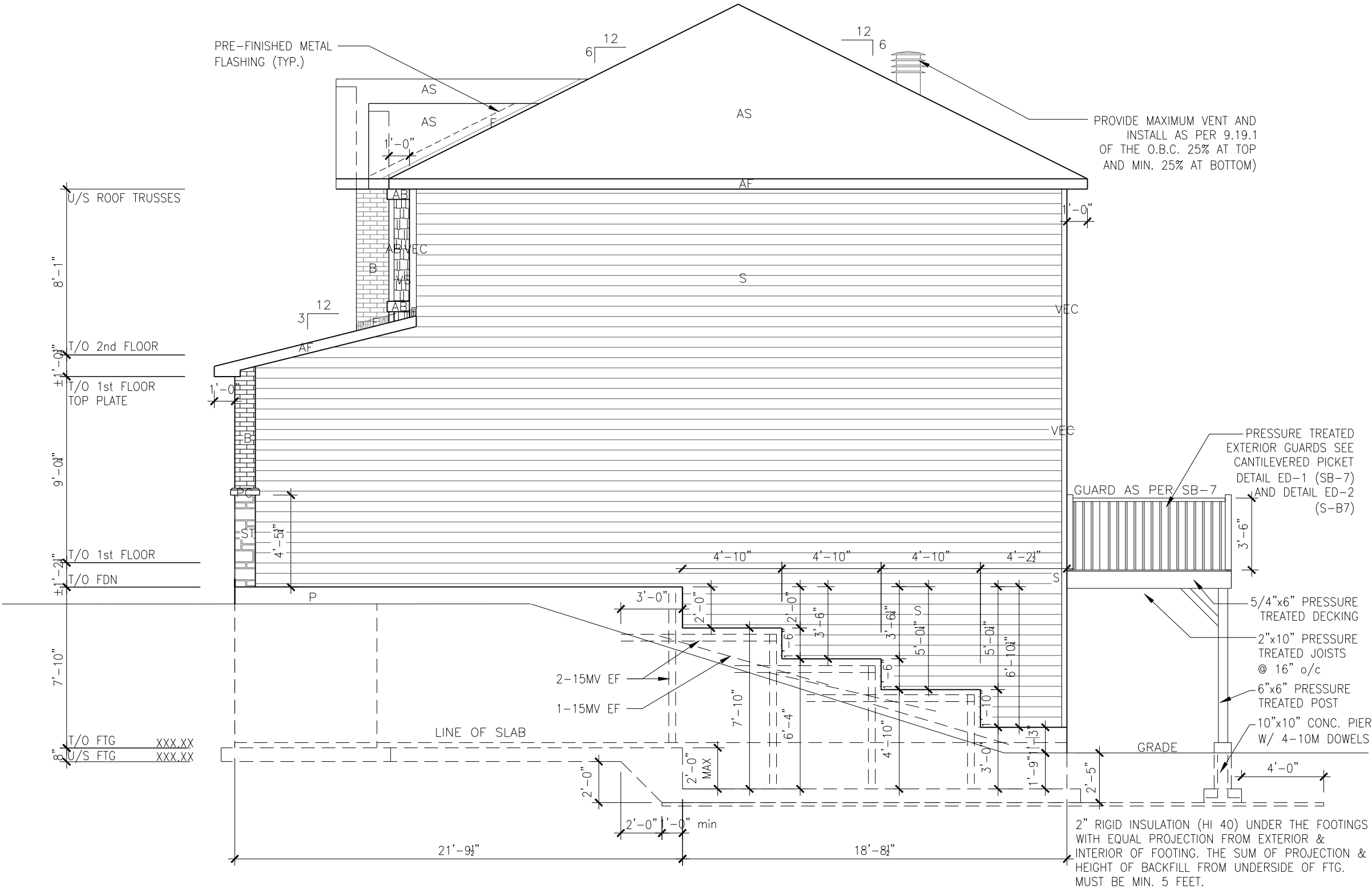
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1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2a

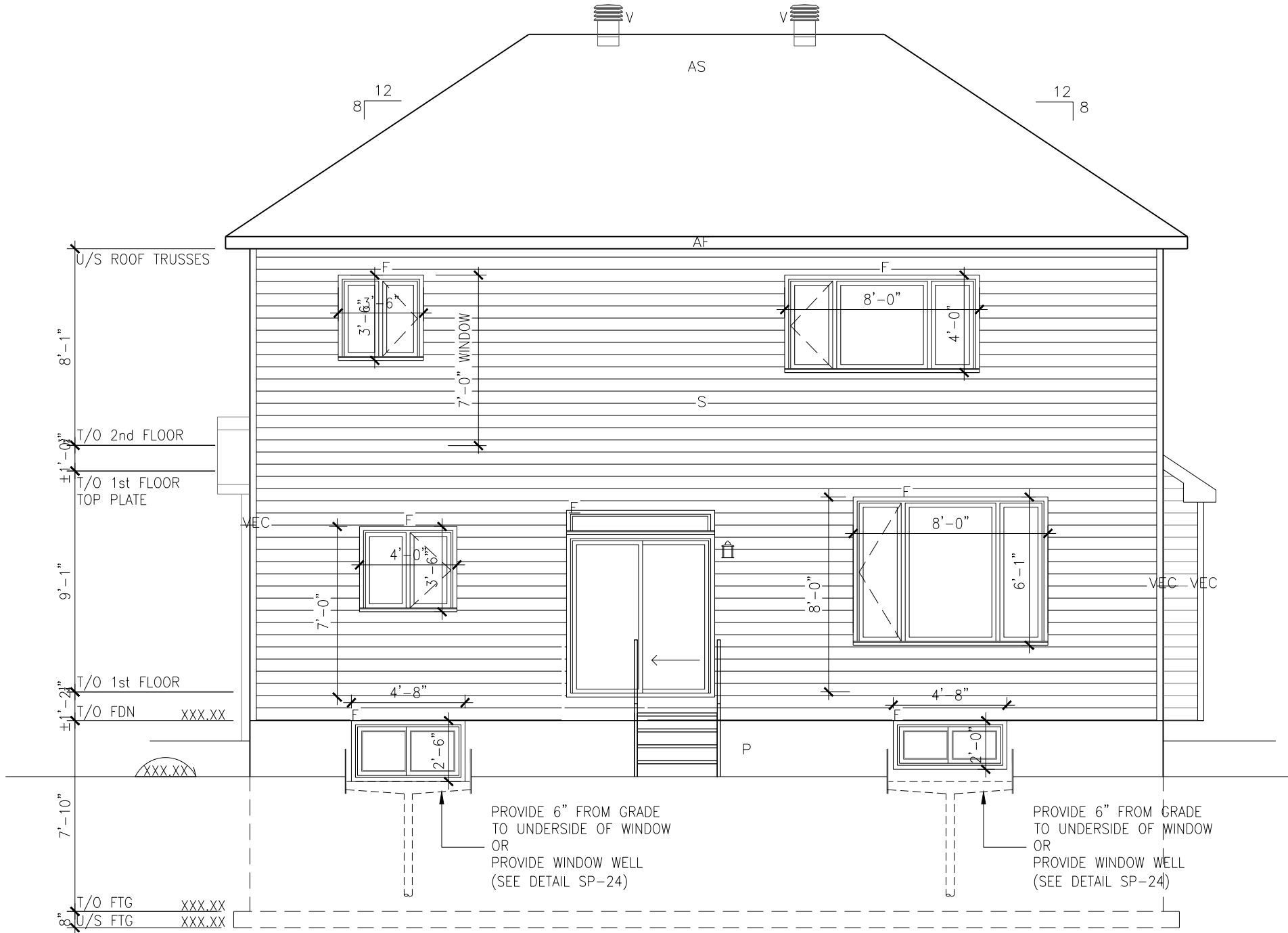


ELEVATION A - RIGHT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

ELEVATION A - REAR

SCALE: 3/16" = 1'-0"



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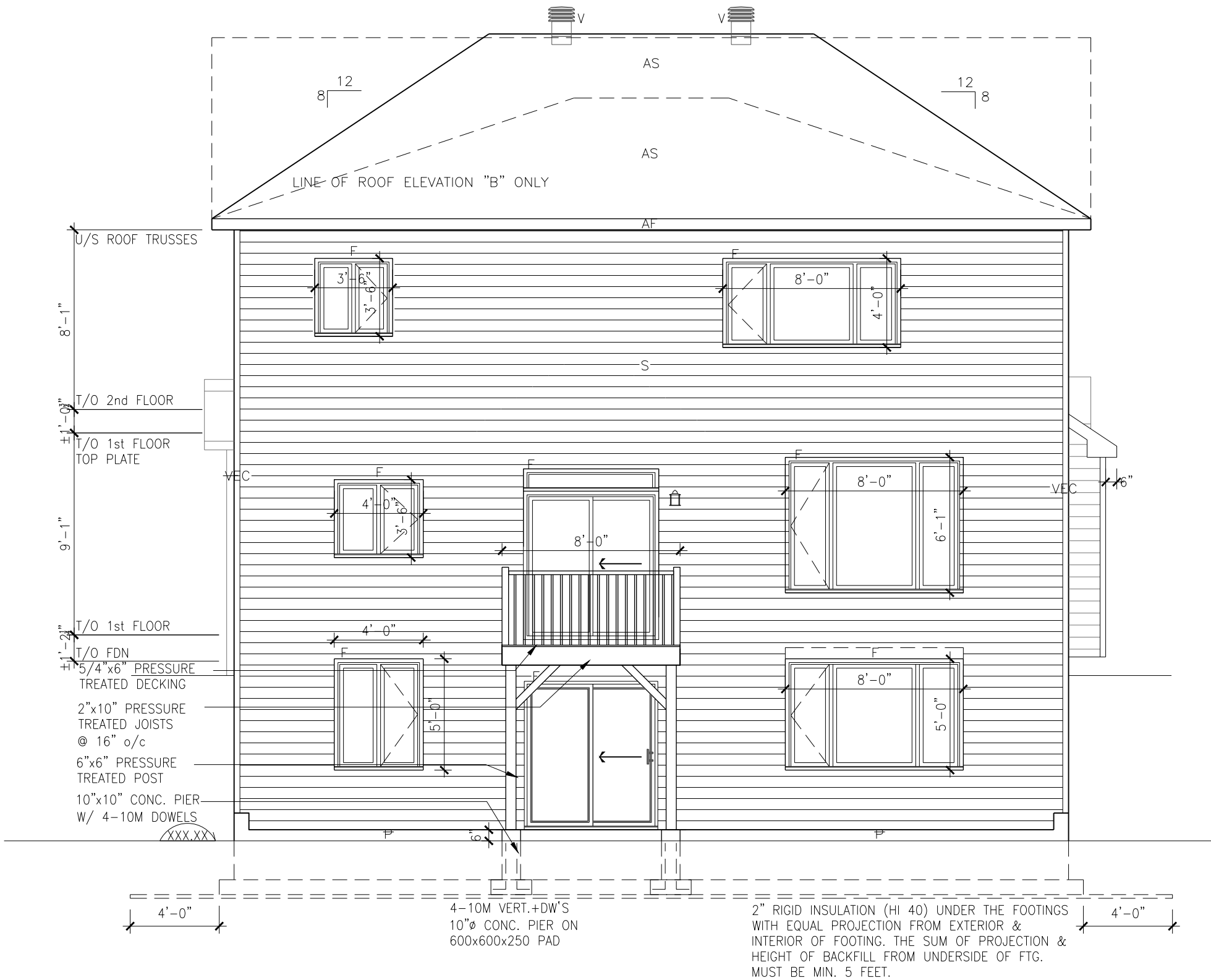
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SHEET:

A3a

ELEVATION A - REAR - WALKOUT BASEMENT

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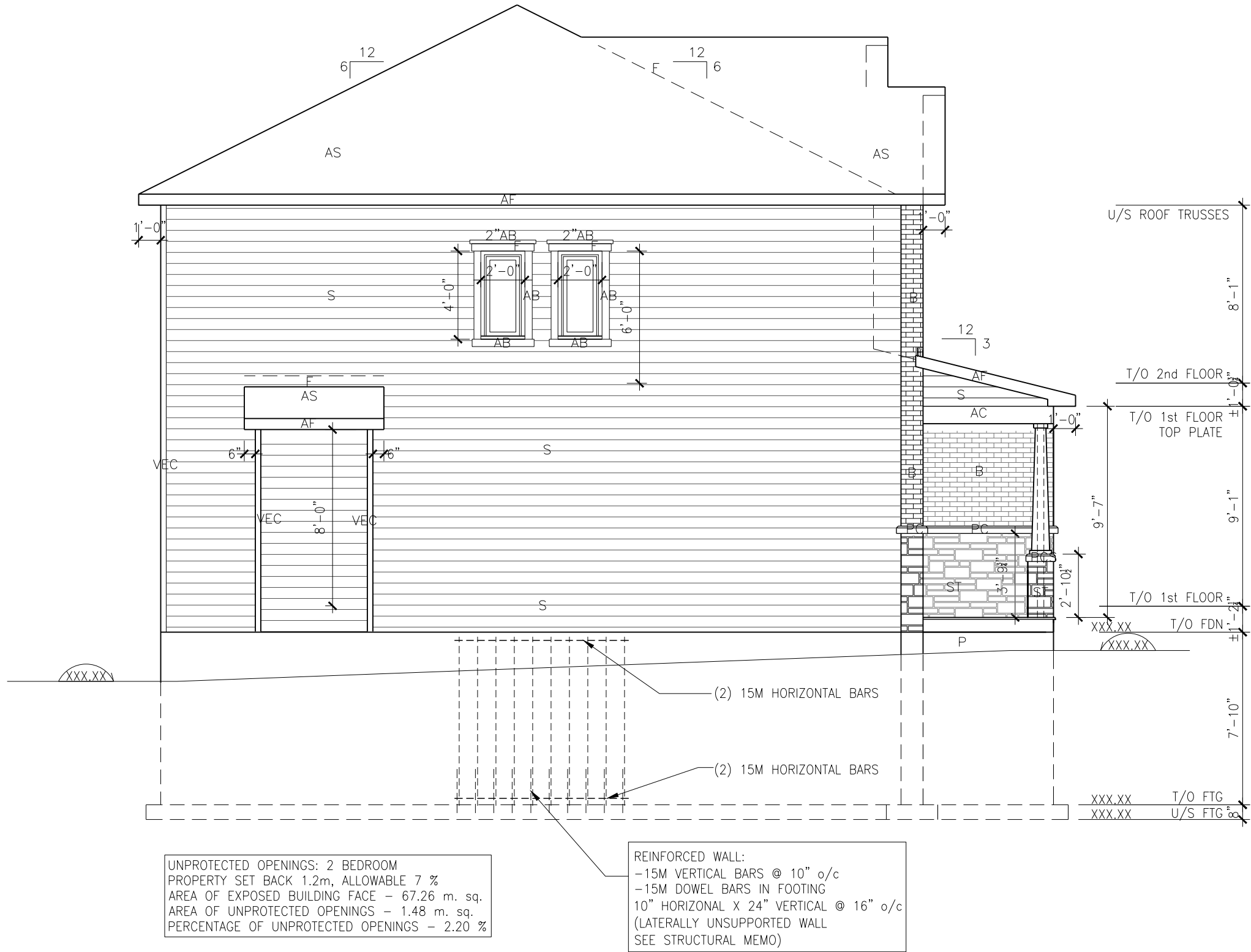
(STANDARD DRAWINGS)

SHEET:

A3a

ELEVATION A - LEFT

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SHEET:

A4a



Valecraft
Homes Ltd.

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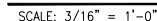
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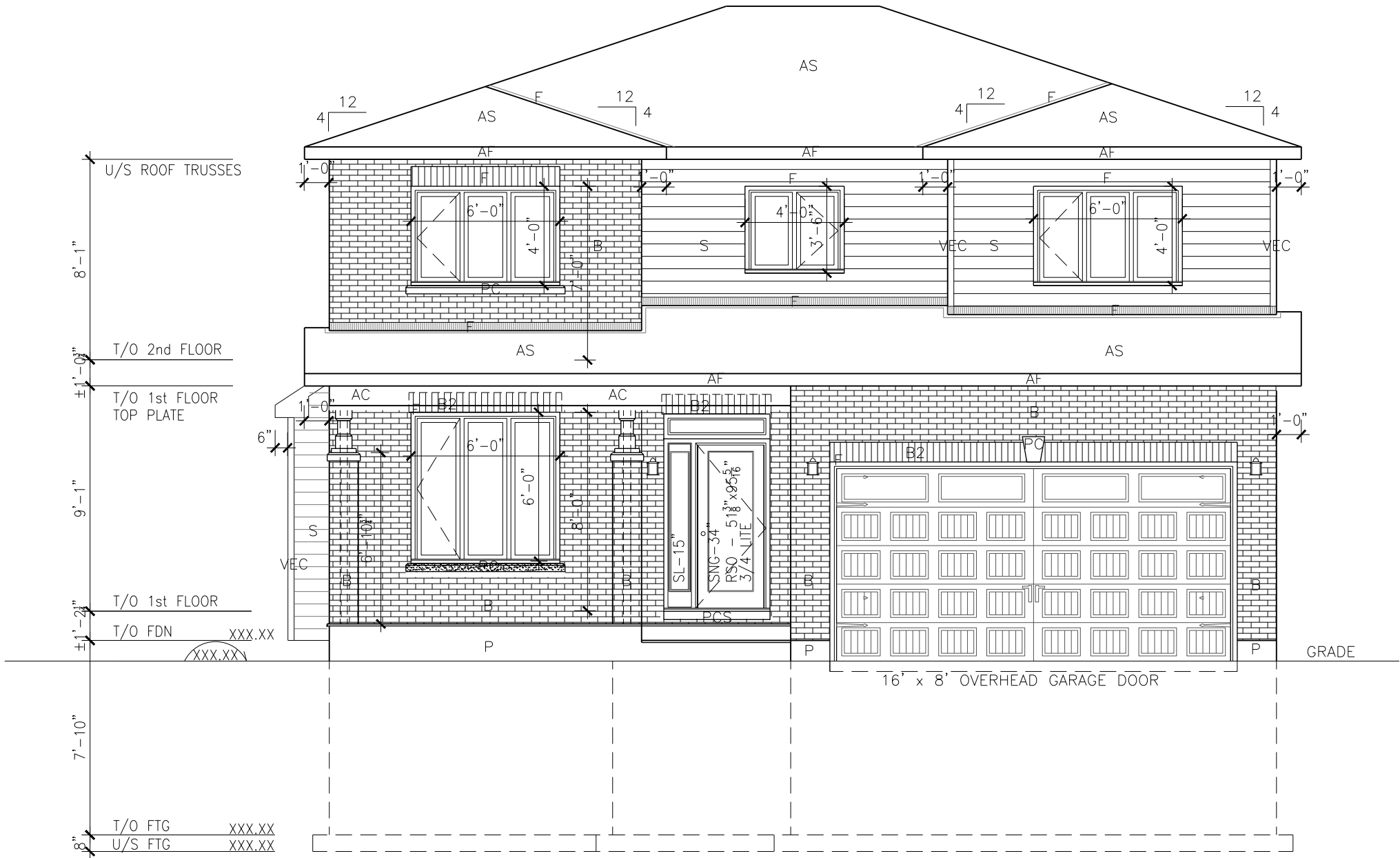
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A4a



ELEVATION B - FRONT

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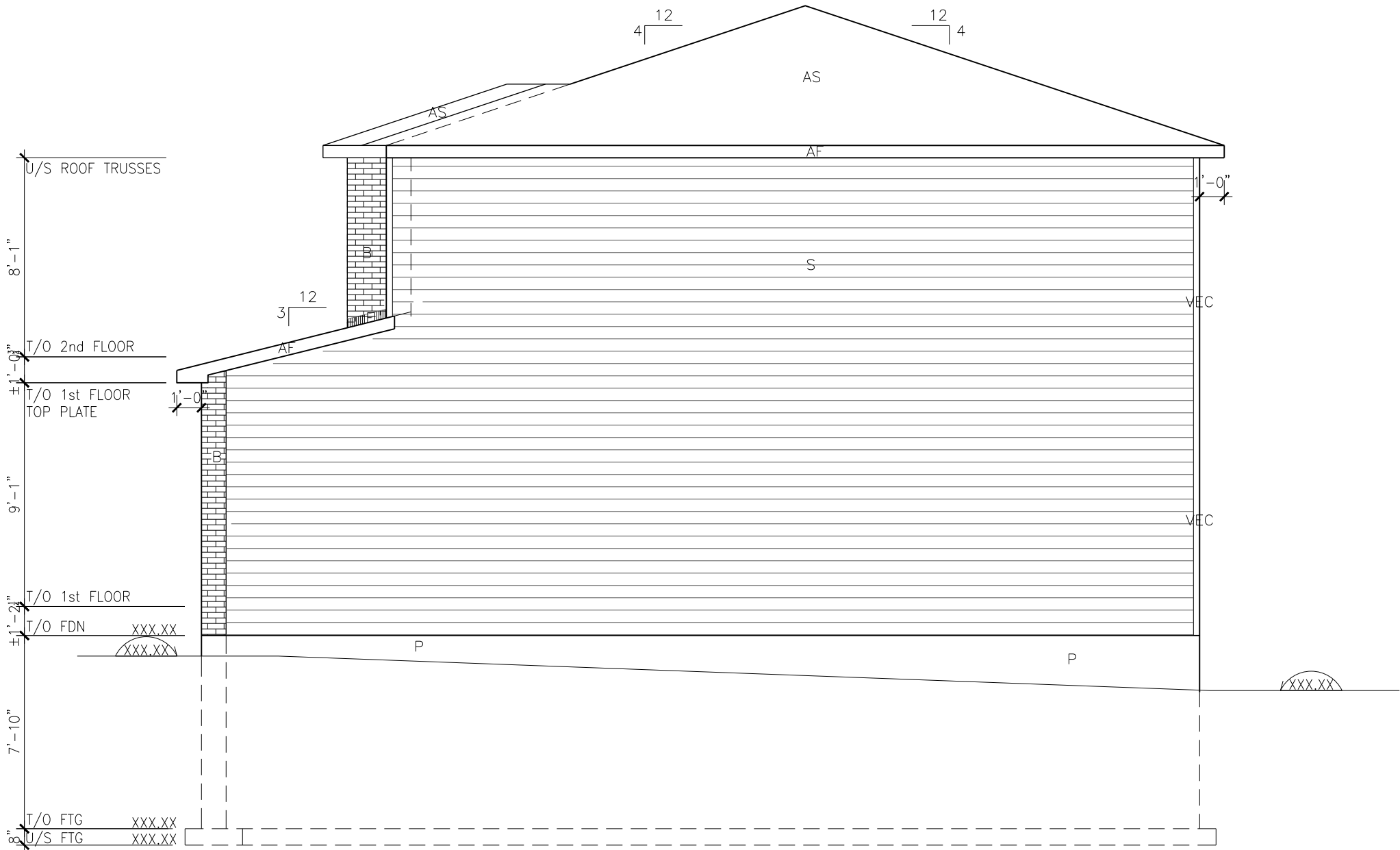
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A1b

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

ELEVATION B - RIGHT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2b



Valecraft
Homes Ltd.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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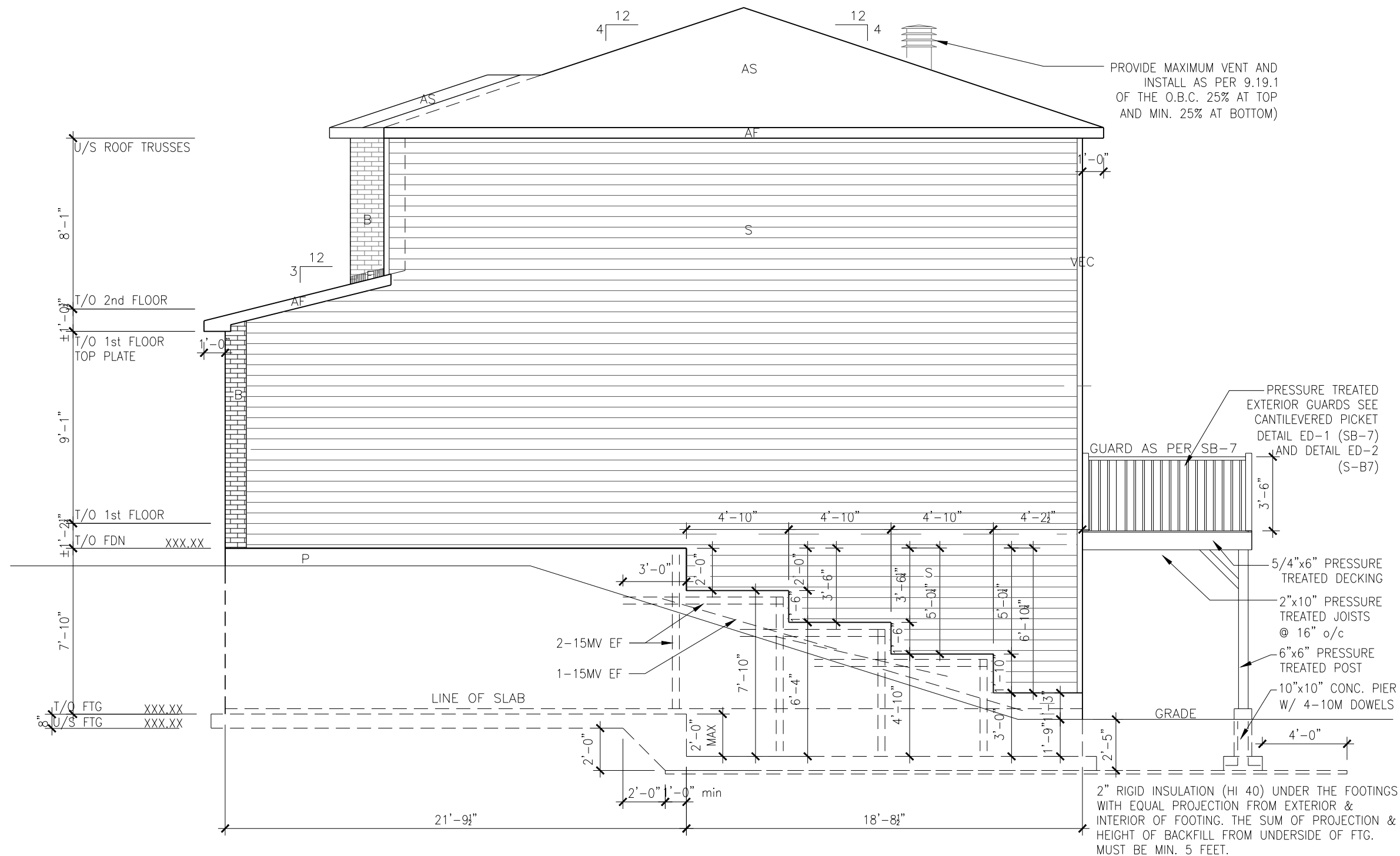
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(STANDARD DRAWINGS)

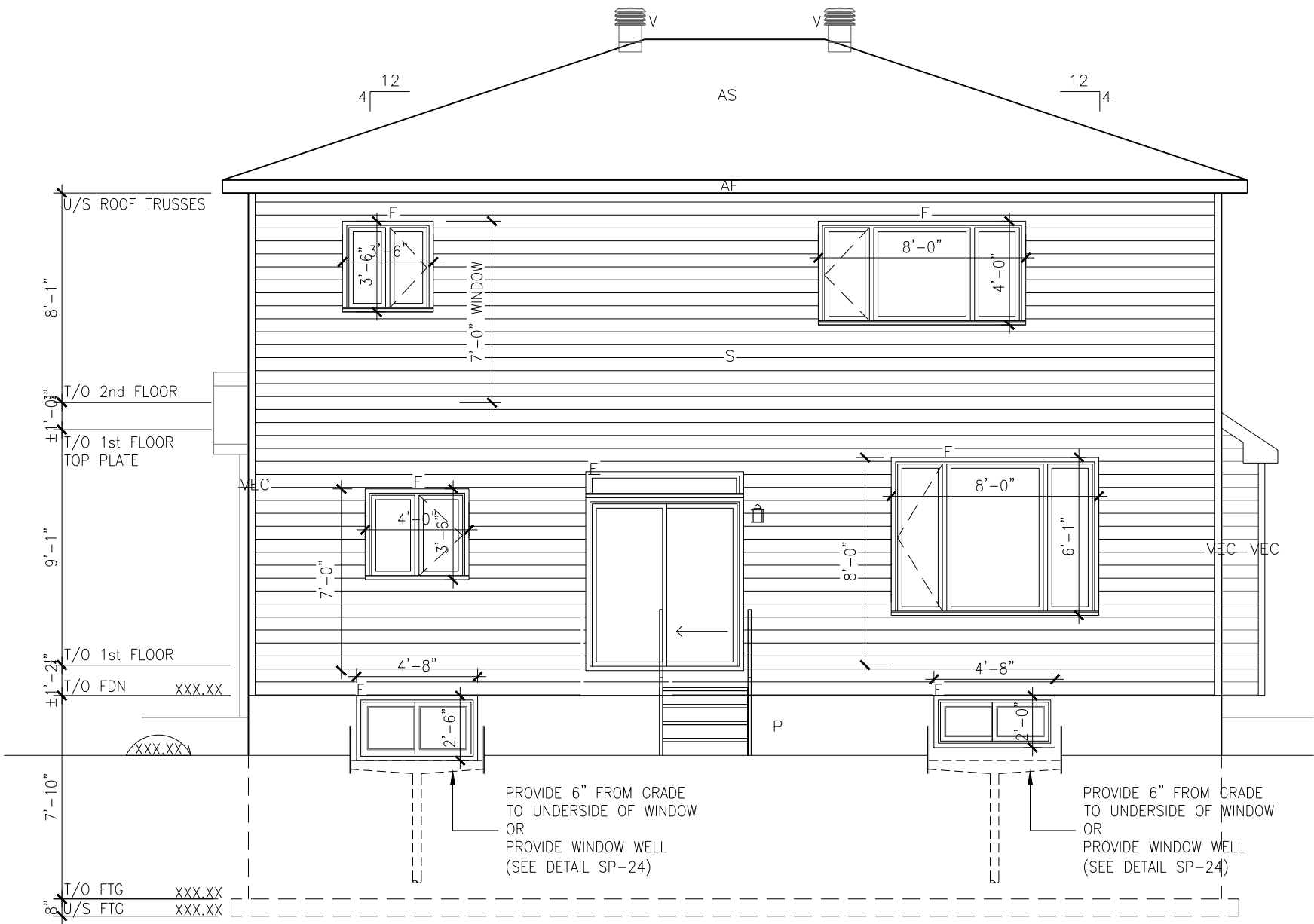
SHEET:
A2b



SCALE: 3/16" = 1'-0"

ELEVATION B - REAR

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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ELEVATION B - REAR

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1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A3b

ELEVATION B - REAR

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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WALKOUT BASEMENT

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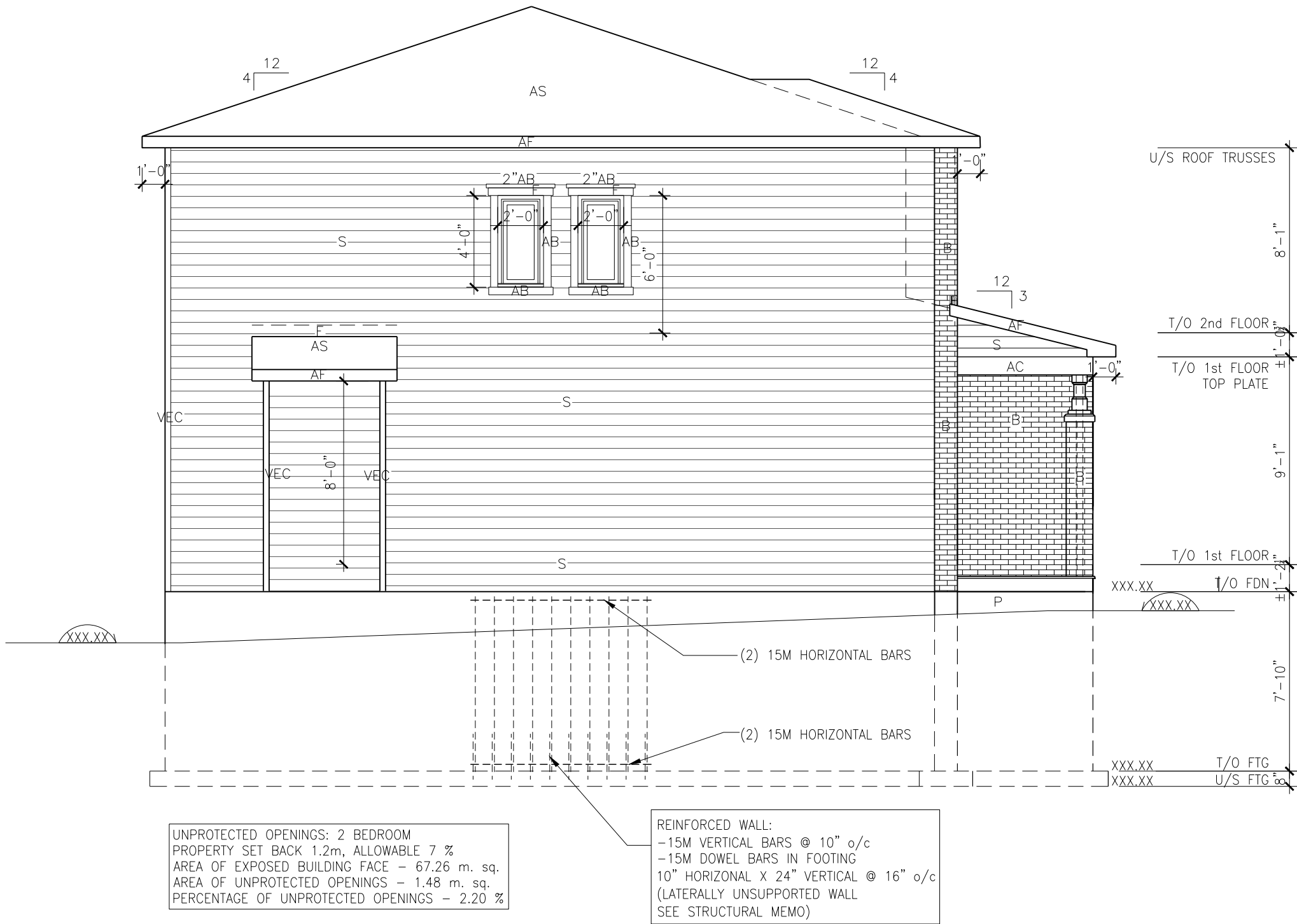
1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A3b

ELEVATION B - LEFT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

ELEVATION B - LEFT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A4b



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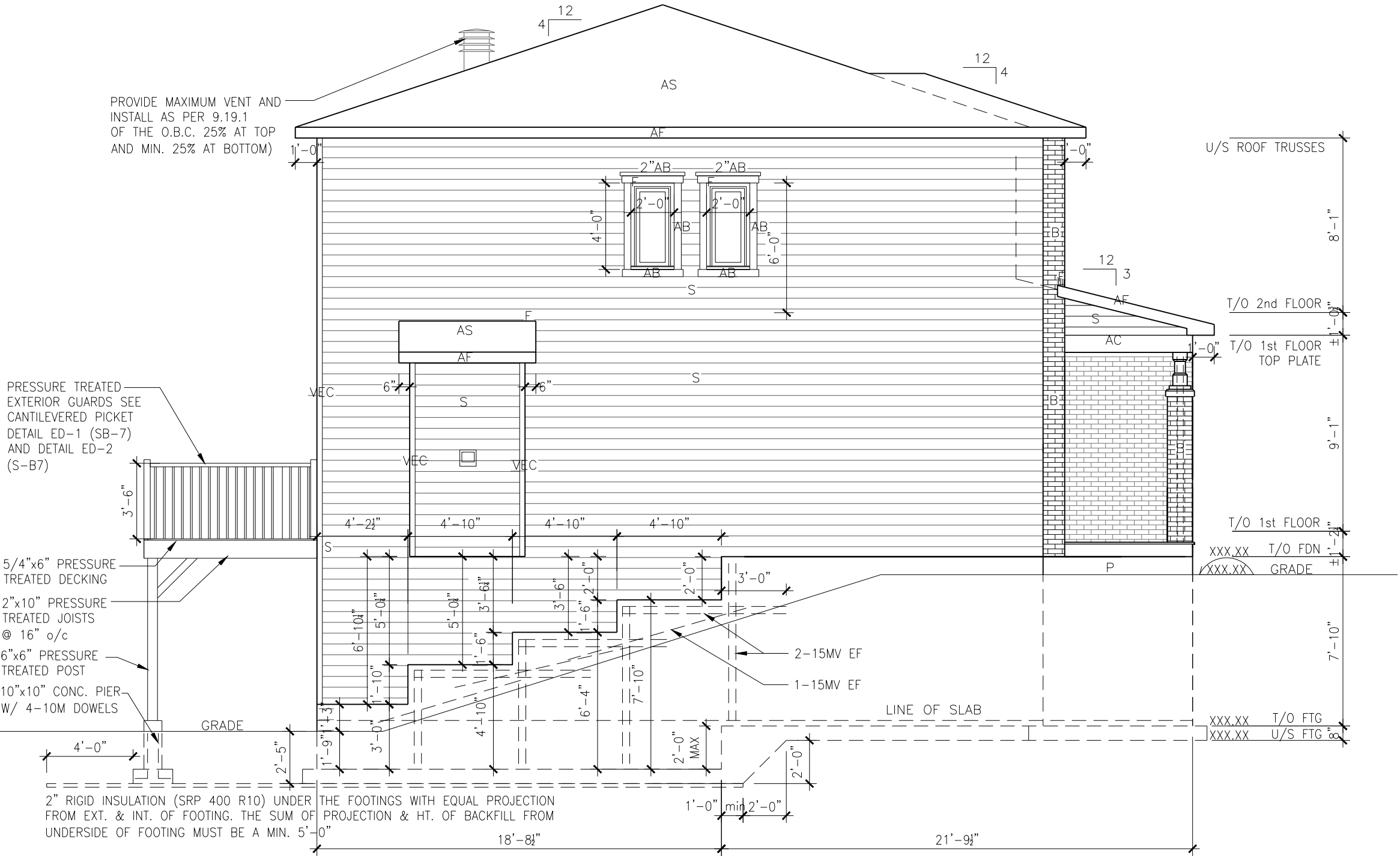
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1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A4b



ELEVATION B - LEFT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

ELEVATION C - FRONT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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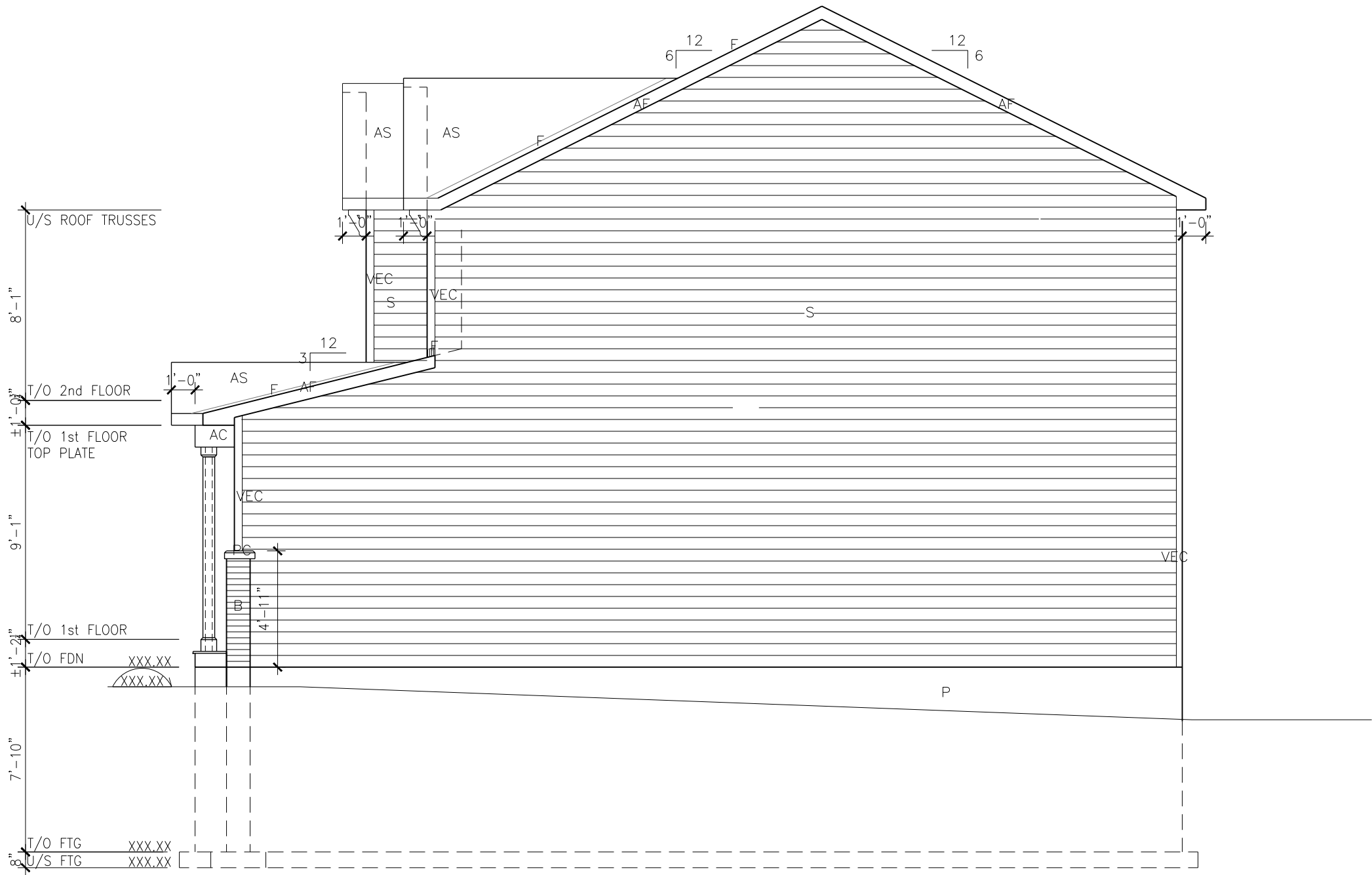
(STANDARD DRAWINGS)

SHEET:

A1c

ELEVATION C - RIGHT

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A2c



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DRAWING:

ELEVATION C - RIGHT

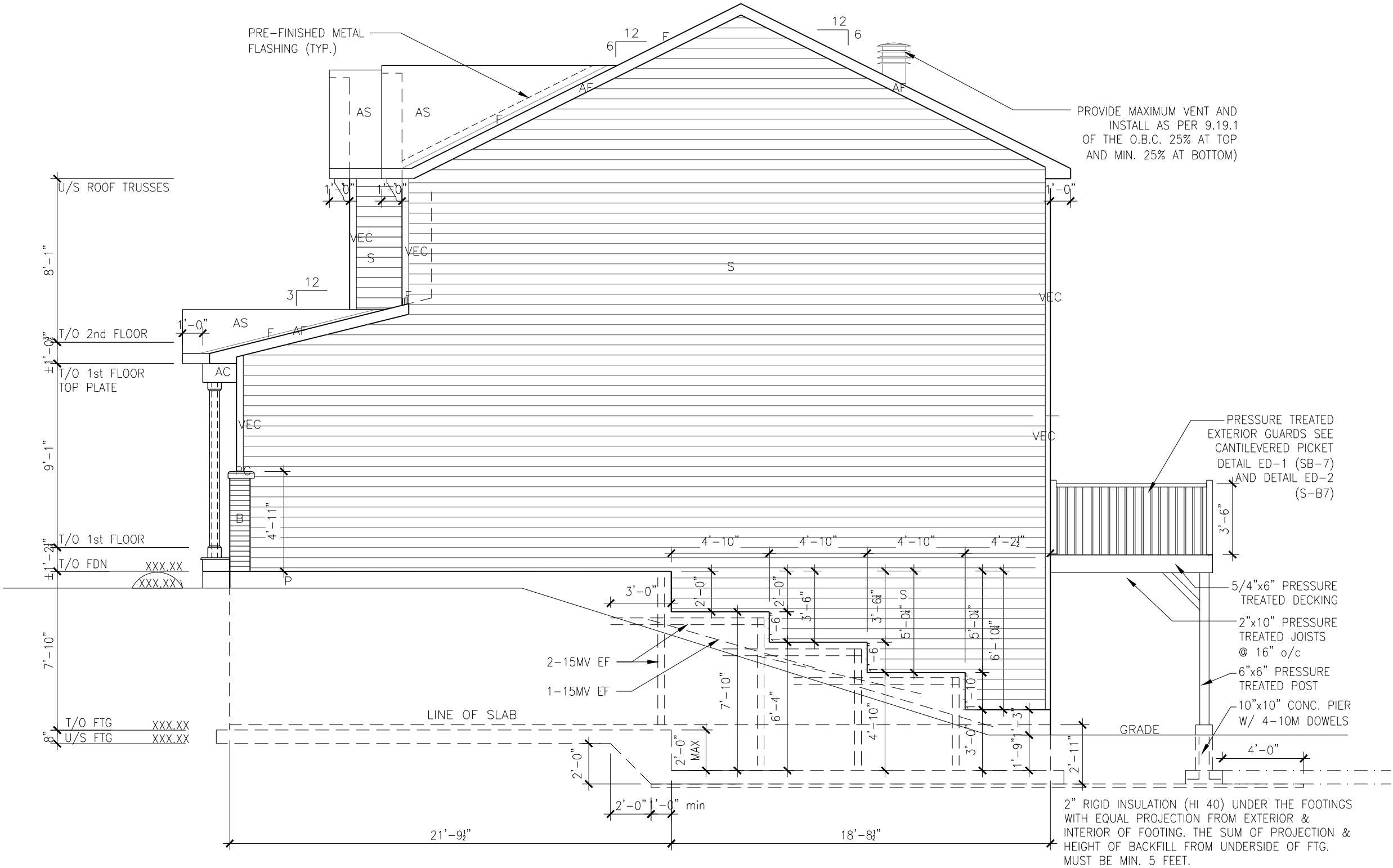
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2c

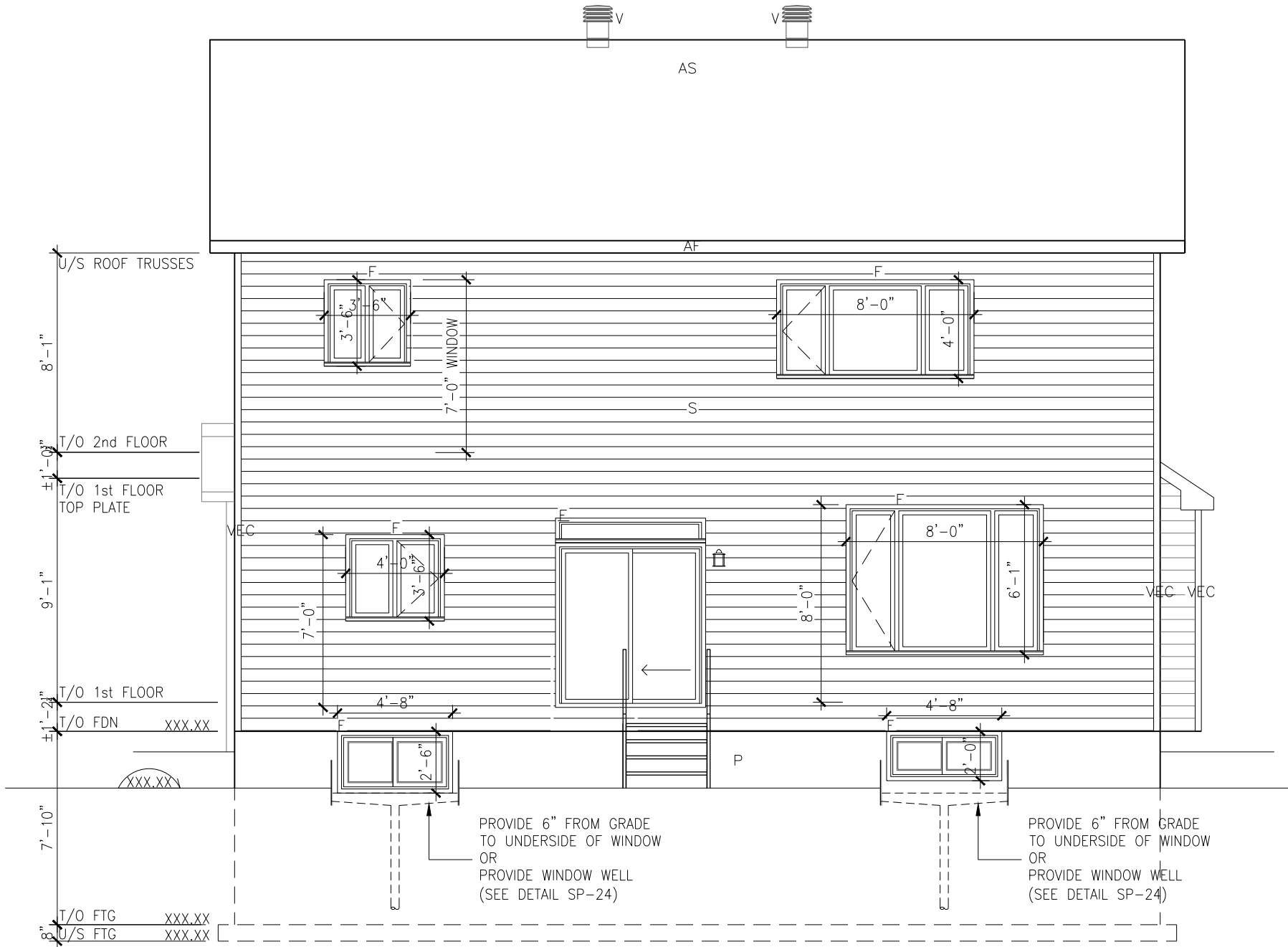


ELEVATION C - RIGHT - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

ELEVATION C - REAR

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
- + 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK COINING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
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- VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

ELEVATION C - REAR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A3c

ELEVATION C - REAR - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

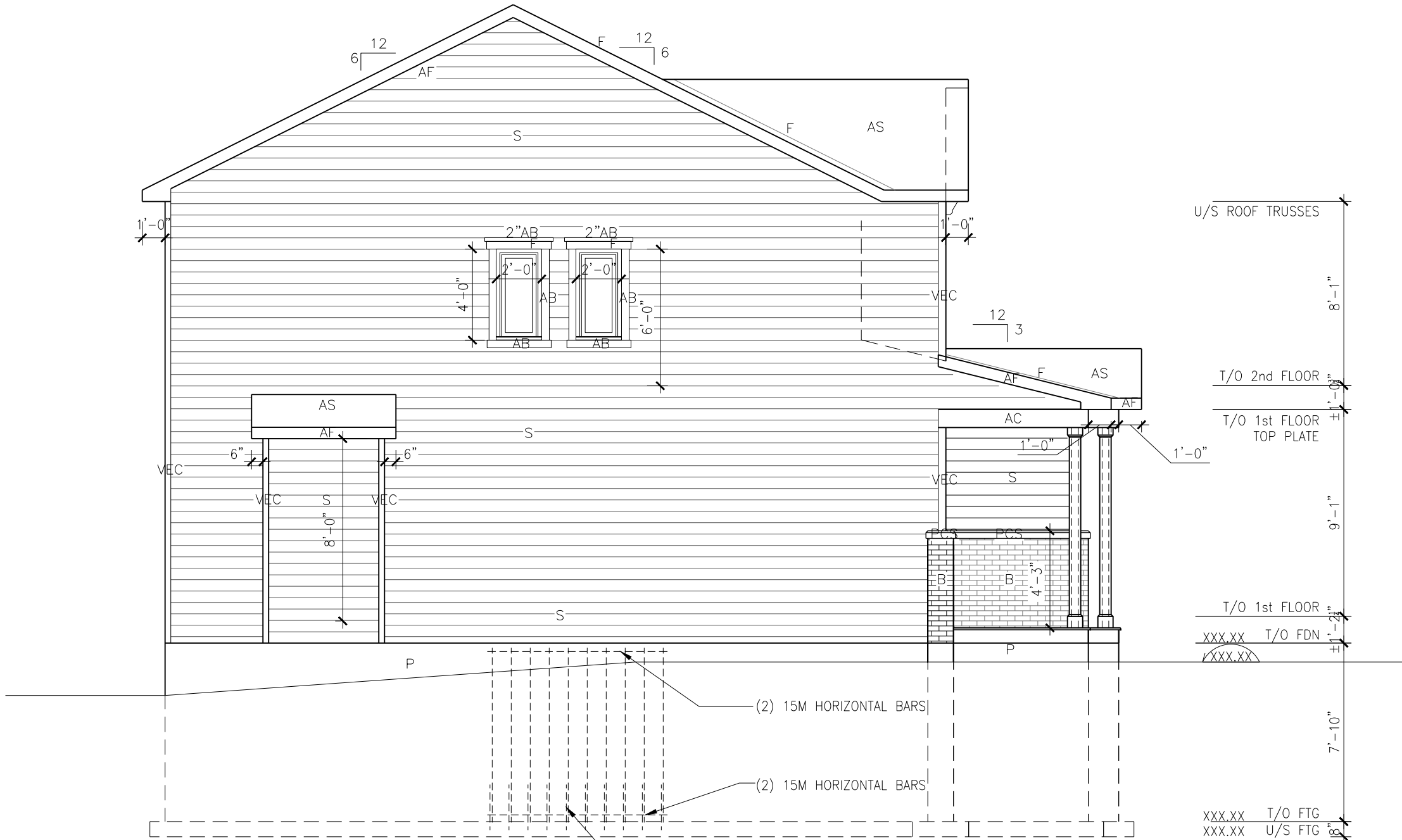
DRAWING: ELEVATION C - REAR WALKOUT BASEMENT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT (STANDARD DRAWINGS) SHEET: A3c

ELEVATION C - LEFT

SCALE: 3/16" = 1'-0"



UNPROTECTED OPENINGS: 2 BEDROOM
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 67.26 m. sq.
AREA OF UNPROTECTED OPENINGS - 1.48 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 2.20 %

REINFORCED WALL:
-15M VERTICAL BARS @ 10" o/c
-15M DOWEL BARS IN FOOTING
10" HORIZONTAL X 24" VERTICAL @ 16" o/c
(LATERALLY UNSUPPORTED WALL
SEE STRUCTURAL MEMO)

LOT: XXXX
DATE: XX/XX/XXXX



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DRAWING:

ELEVATION C - LEFT

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1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A4c

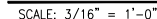

Valecraft
Homes Ltd.

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

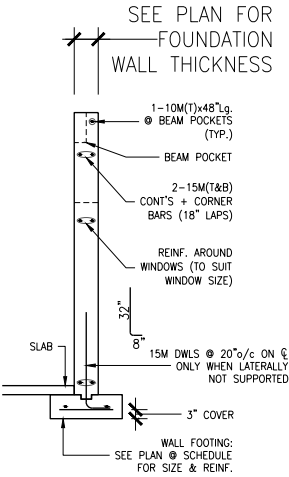
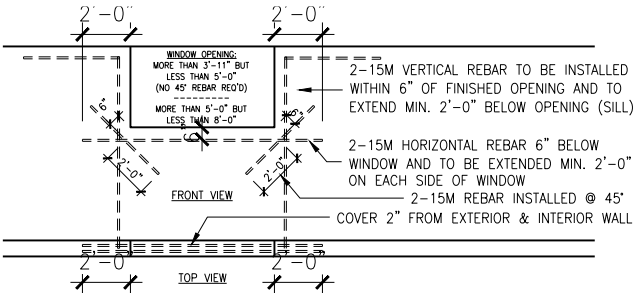
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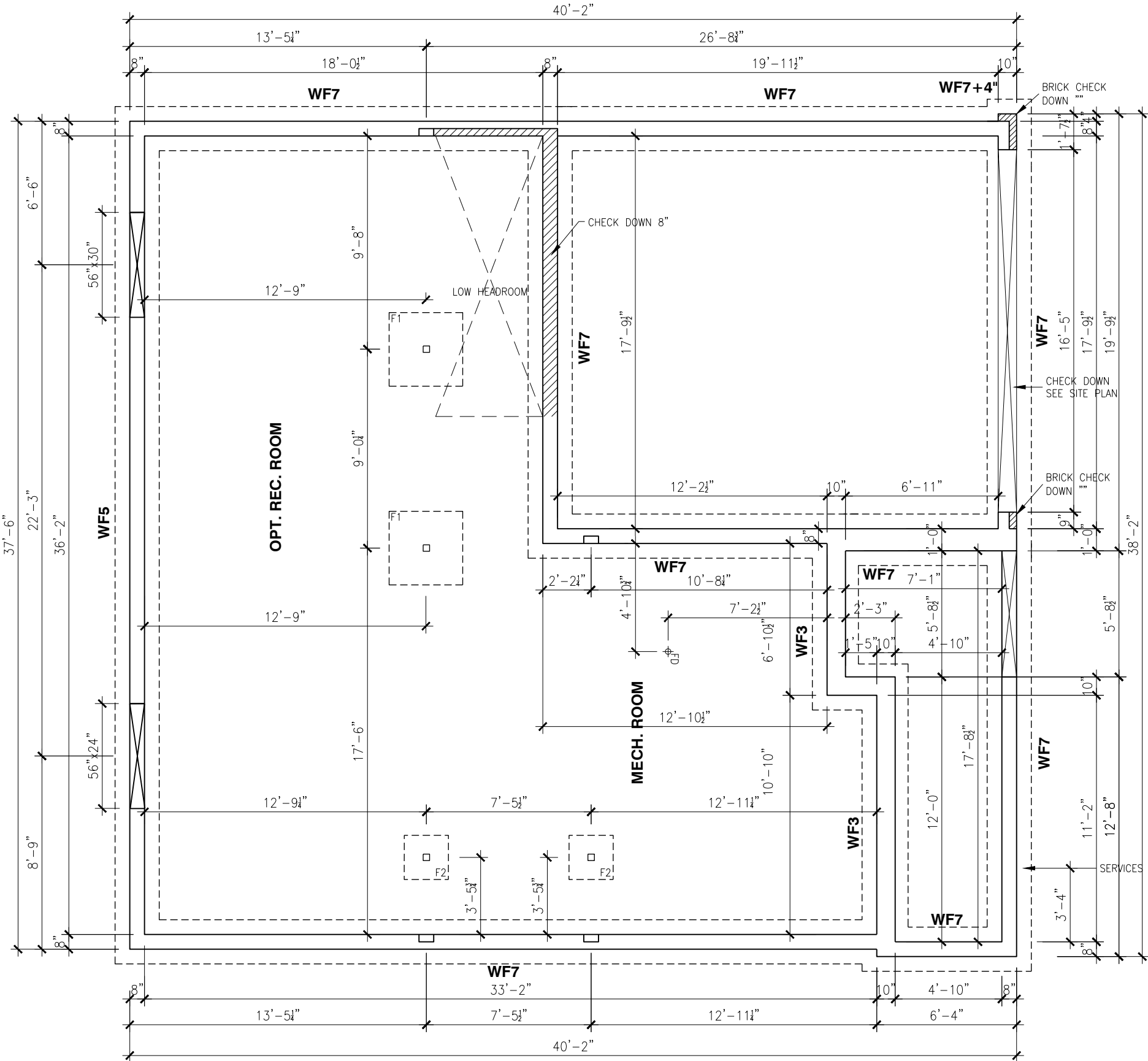


FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.
PAD FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
PAD FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	36"x36"x10" DP. 3-15M(B)x 30"L.G.	40"x40"x10" DP. 3-15M(B)x 34"L.G.	44"x44"x10" DP. 4-15M(B)x 38"L.G.	48"x48"x10" DP. 4-15M(B)x 42"L.G.
F2	24"x24"x10"	24"x24"x10"	24"x24"x10"	28"x28"x12"



PLAN - FOOTING
ELEVATION A - STANDARD

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

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DRAWING: FOOTING PLAN
ELEVATION A,B,C - STANDARD

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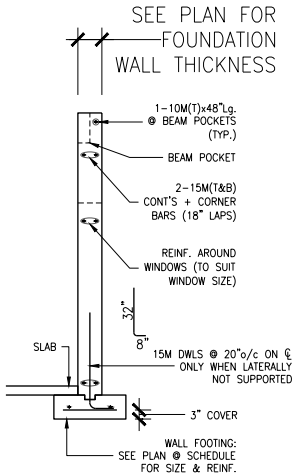
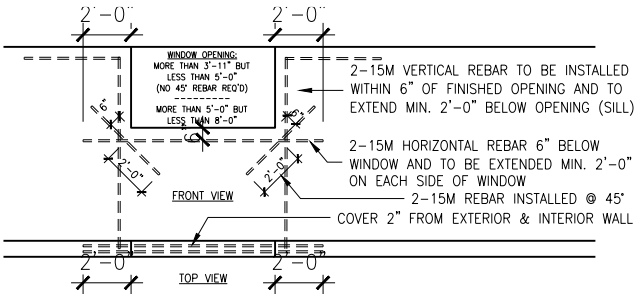
1010 - THE FERRIS
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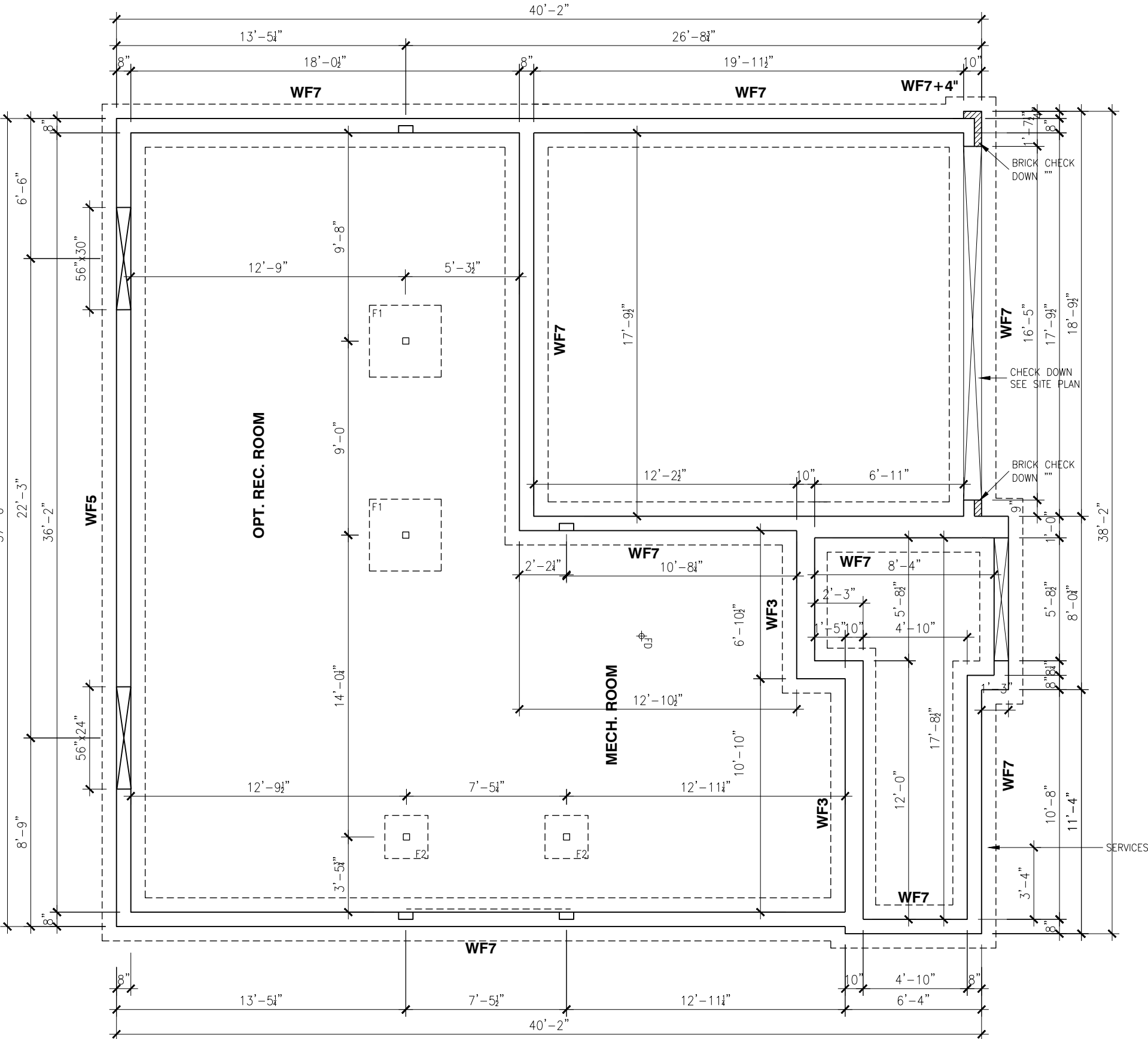
SHEET:

A5a

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PLAN - FOOTING
ELEVATION A - STANDARD
SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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ELEVATION A,B,C - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

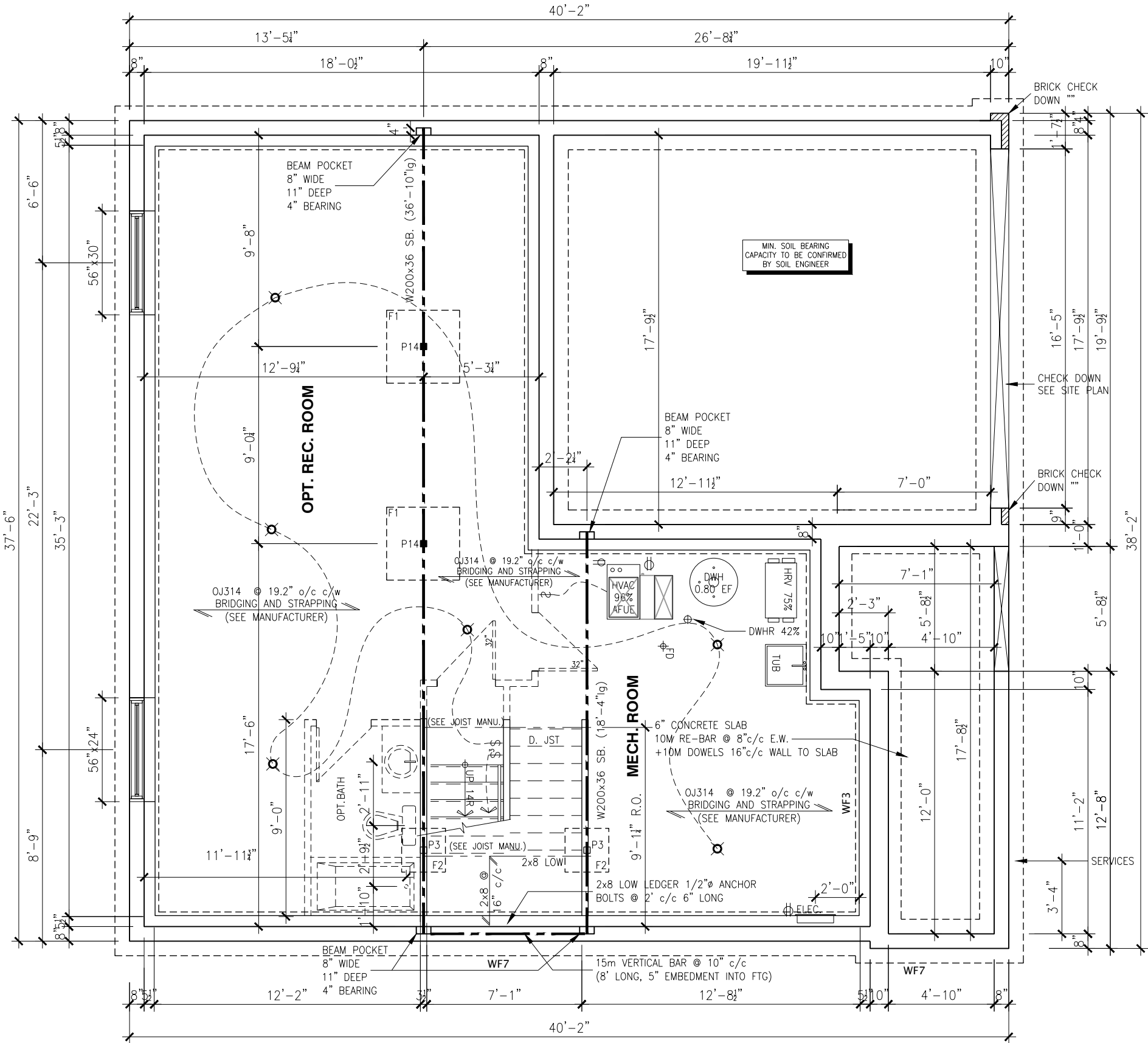
1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A5a

PLAN - FOUNDATION - ELEVATION A/B (STANDARD)

SCALE: 3/16" = 1'-0"



- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
 - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
 - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
 - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
 - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
 - 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
 - A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
 - B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.3m² (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT:XXXX

DATE:XX/XX/XXXX



L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)


- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P1o = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
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 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
 - (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

FOUNDATION PLAN - STANDARD

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

A6a

SHEET:

PLAN - FOUNDATION - ELEVATION A/B (WALKOUT BASEMENT)

SCALE: 3/16" = 1'-0"

BASEMENT NOTE:

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- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

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- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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LINTEL TABLE:

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

FOUNDATION PLAN - STANDARD

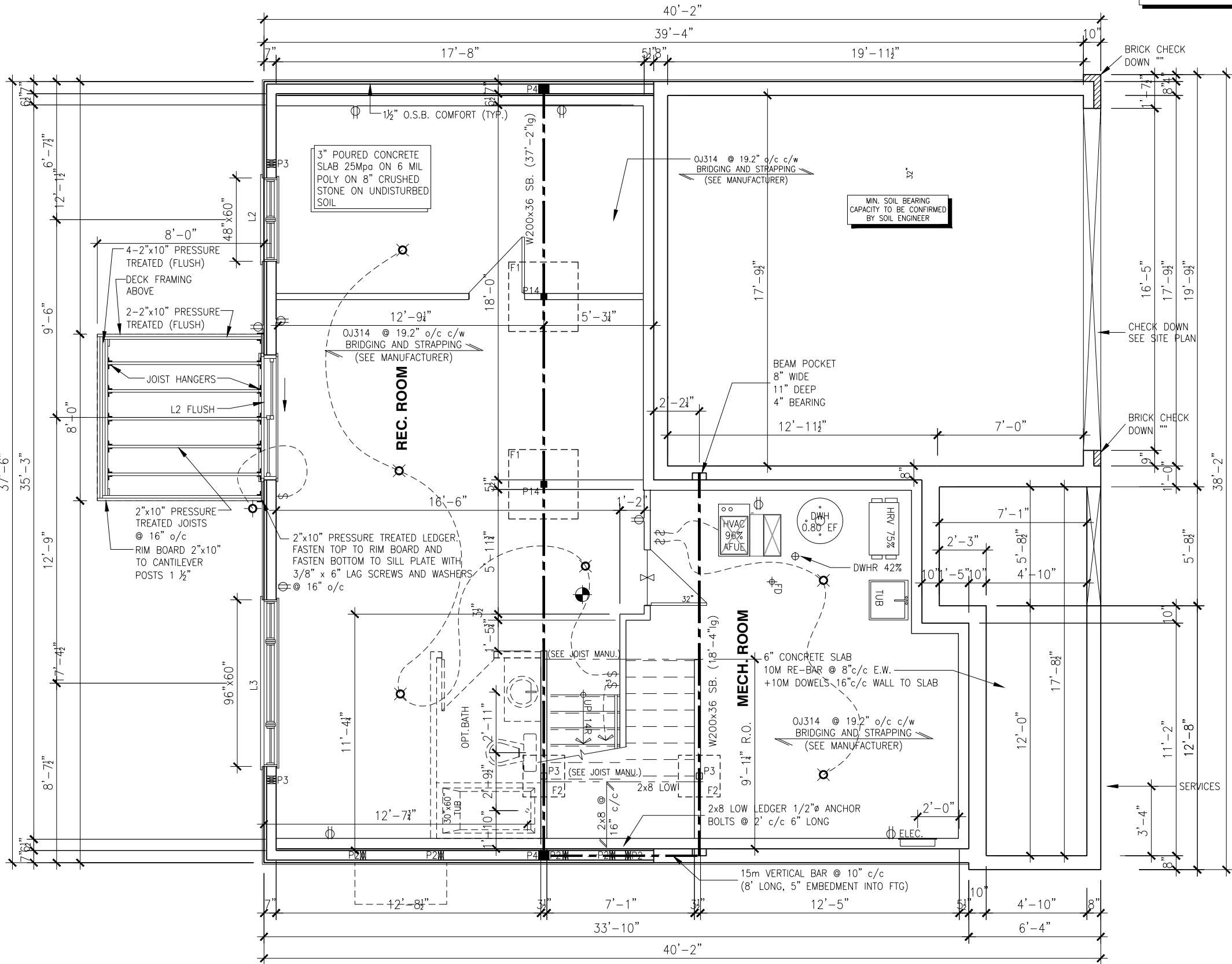
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A6a



SCALE: $3/16" = 1'-0"$



Valecraft

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- PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING

FOUNDATION PLAN - STANDARD

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

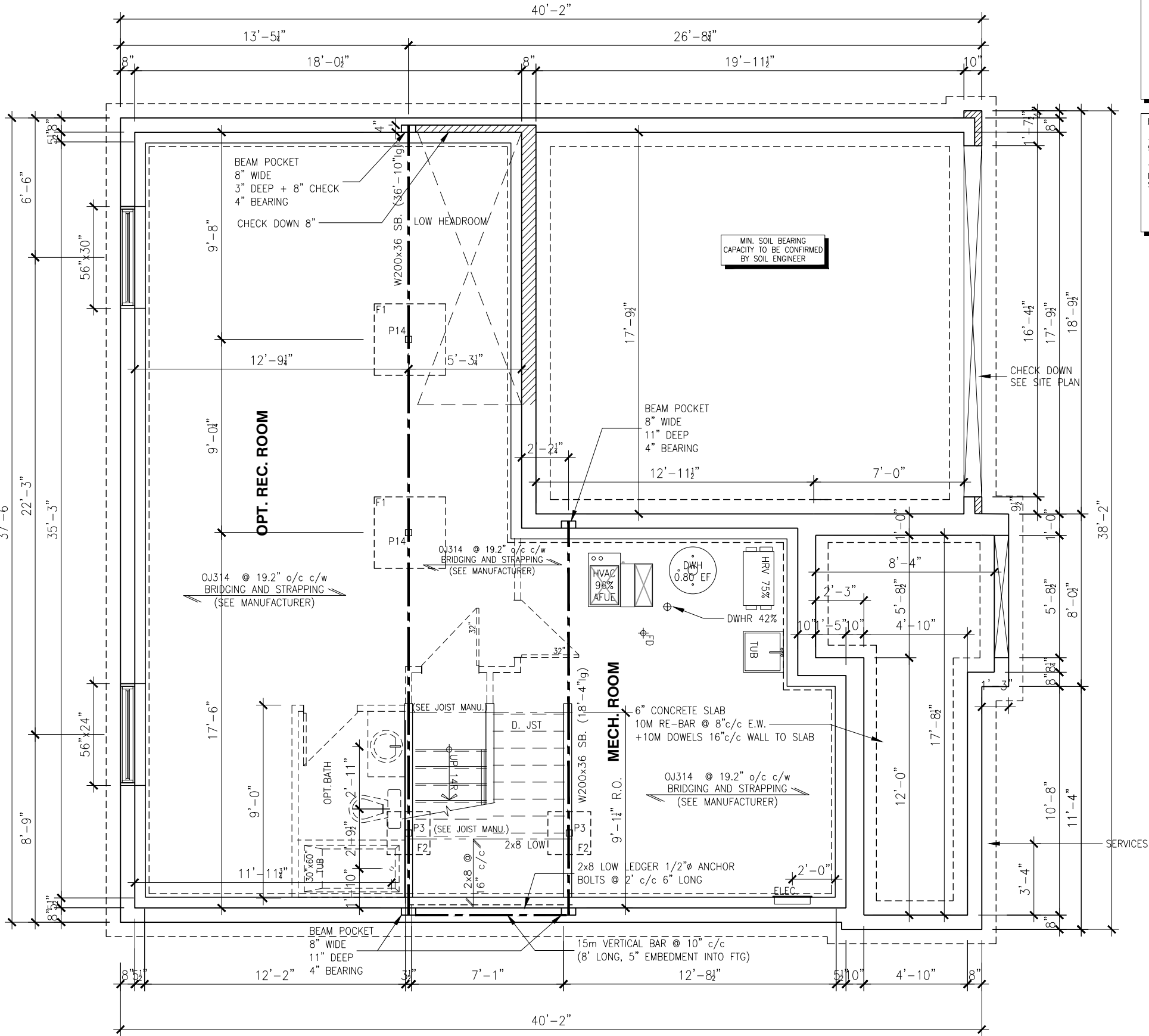
STANDARD DRAWINGS

SHEET:

A6a

PLAN - FOUNDATION - ELEVATION C (SUNKEN)

SCALE: 3/16" = 1'-0"



- NOTES:
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LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes Ltd.

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- LINTEL TABLE:
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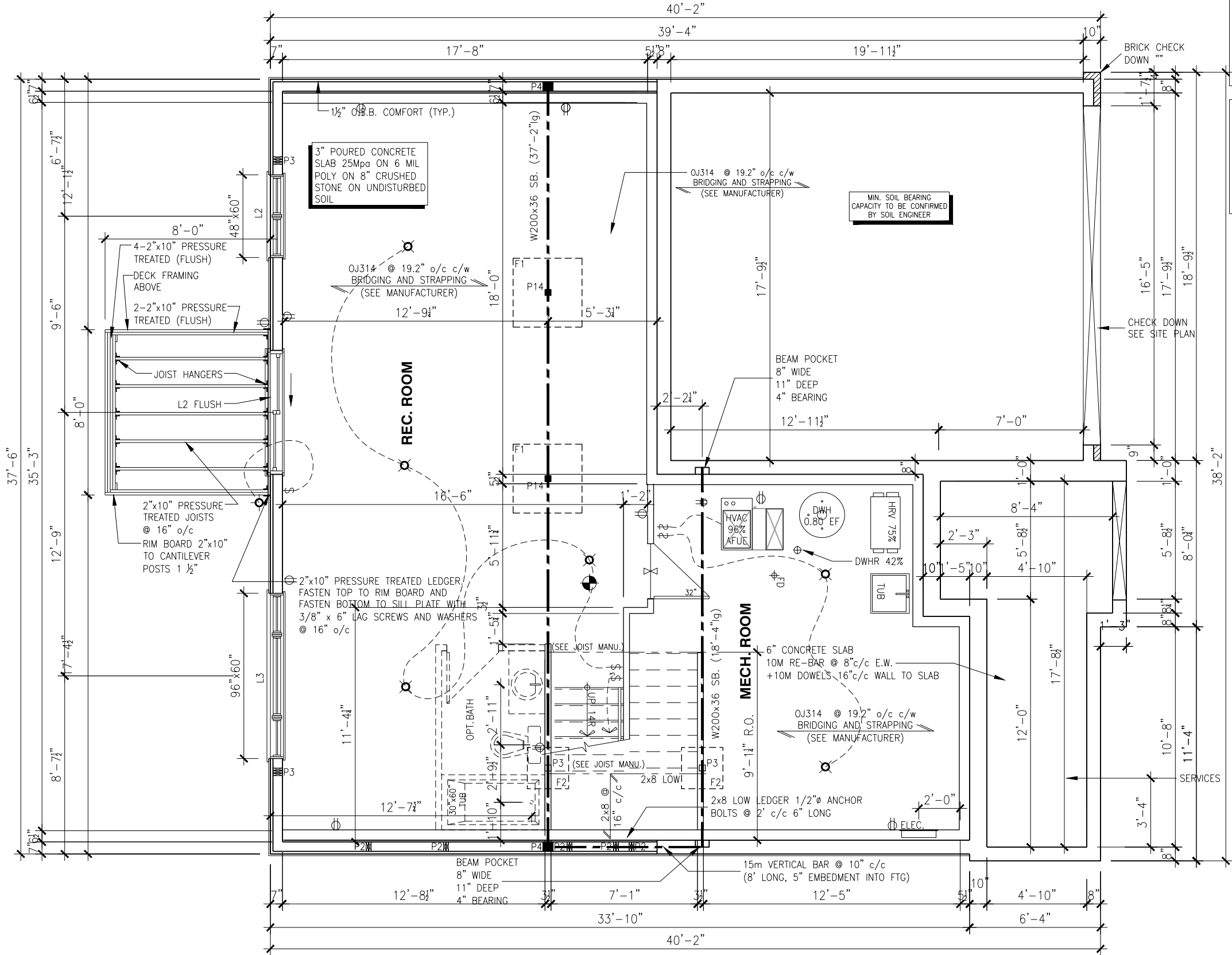
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NO.	DESCRIPTION	DATE	BY

DRAWING:
FOUNDATION PLAN - SUNKEN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

A6a



PLAN - FOUNDATION - ELEVATION C (WALKOUT BASEMENT)

SCALE: 3/16" = 1'-0"

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LOT:XXXX

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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: FOUNDATION PLAN - WOB

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ROOF AND FLOOR LAYOUT NOTES:

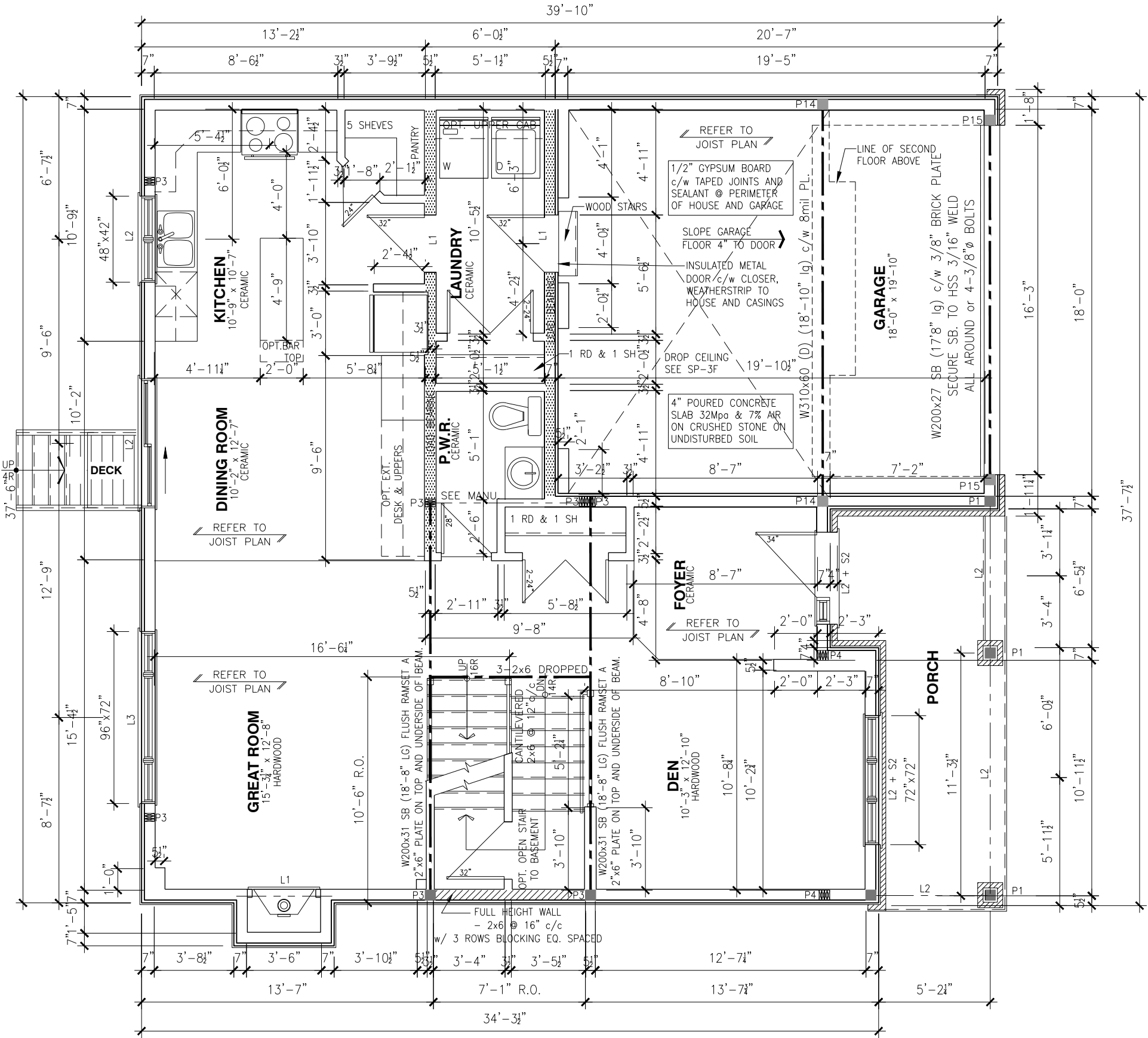
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NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
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- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - GROUND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

POST BY USP

- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.

+ 130x160x10 TOP PL. (*)

(*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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(EX. P2 = 1 JACK + 1 STUD)

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR - STANDARD

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7a

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

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RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
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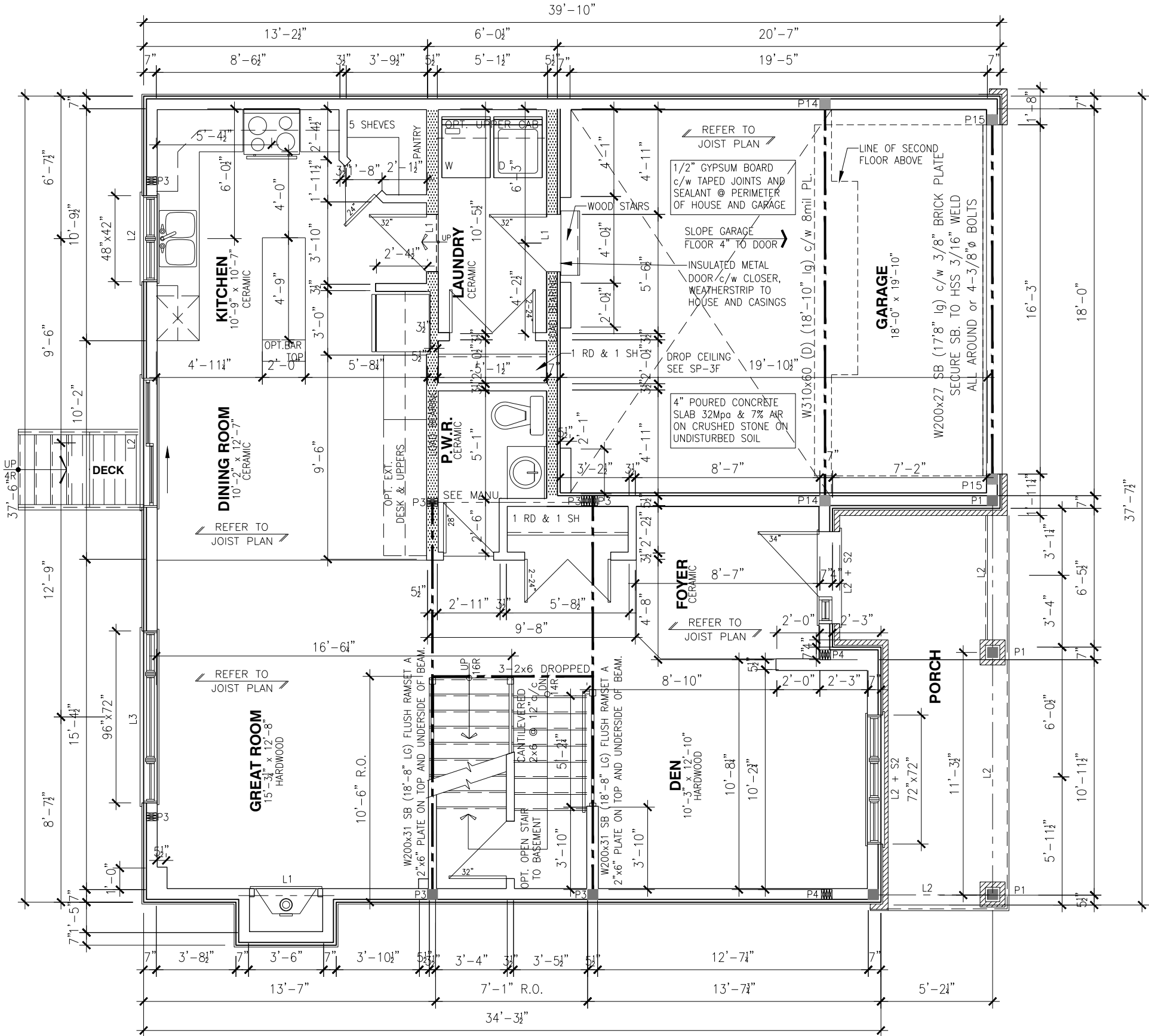
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PLAN - GROUND FLOOR - ELEVATION A (SUNKEN)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

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- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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POST TABLE:

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- P1o = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
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REV	DESCRIPTION	DATE	BY
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REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:
GROUND FLOOR - SUNKEN

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A7a

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

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RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
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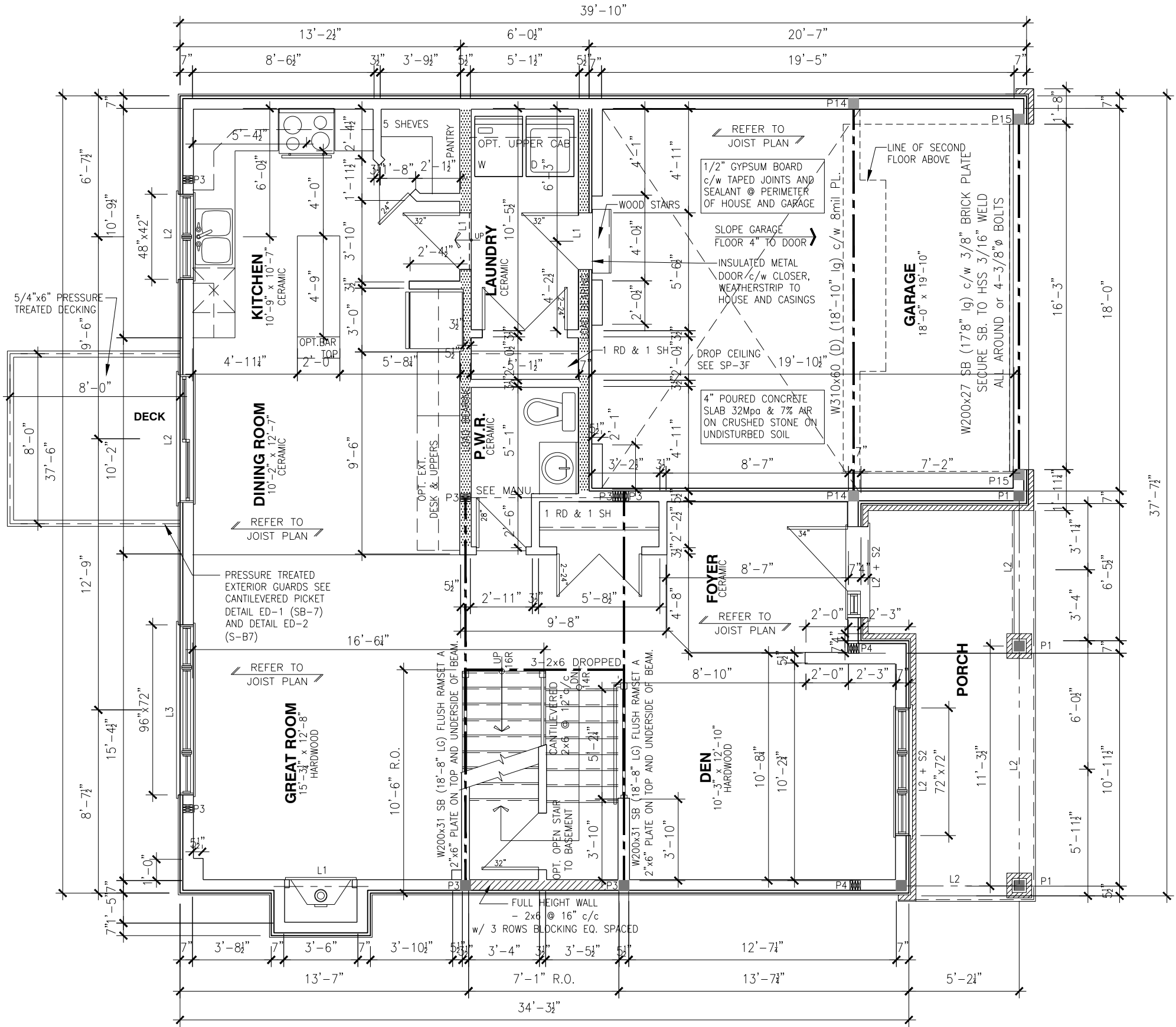
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PLAN - GROUND FLOOR - ELEVATION A (WALKOUT BASEMENT)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - A
WALKOUT BASEMENT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A7a

STAIRS AND RAILINGS:

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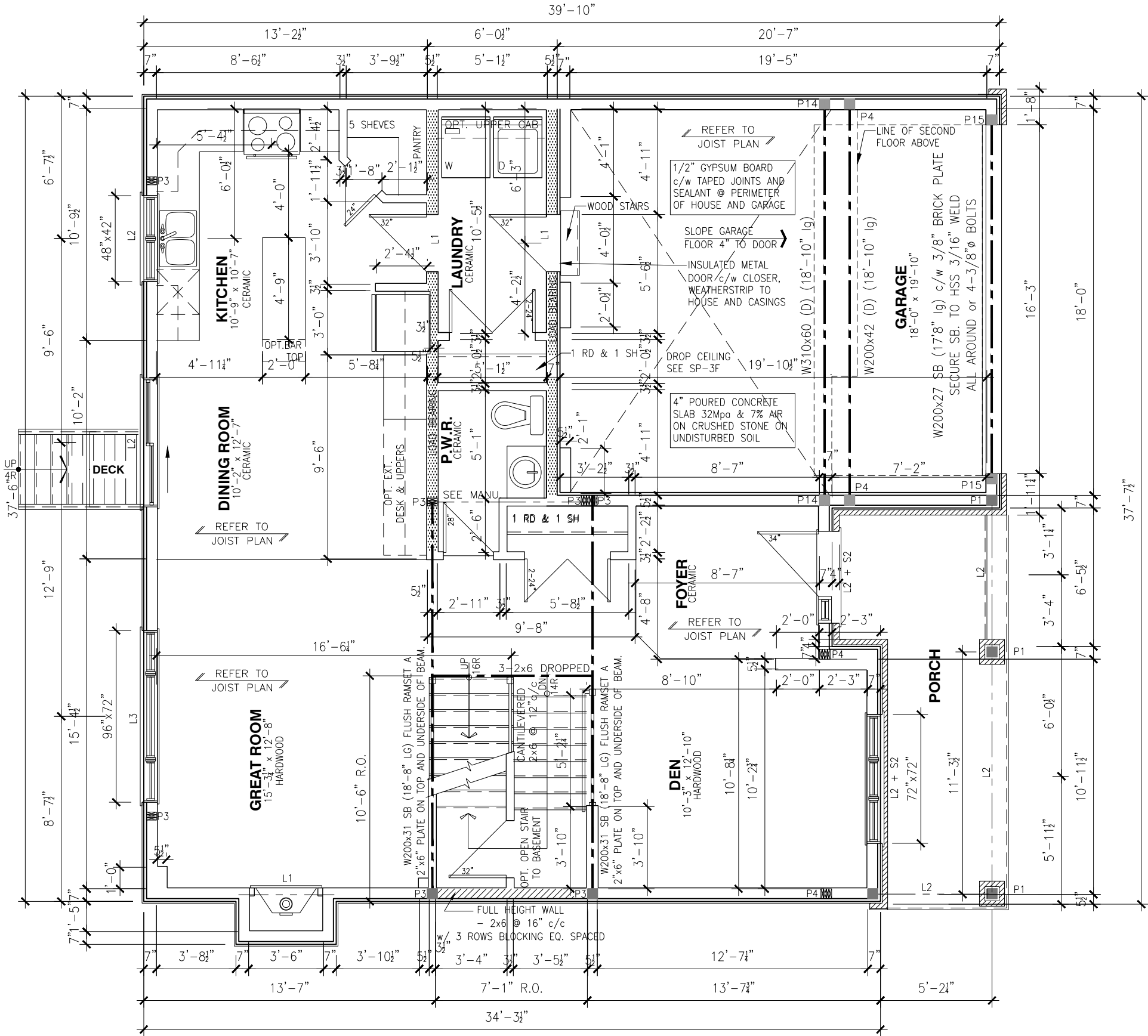
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PLAN - GROUND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6
S2 = 90x90x8
S3 = L 100x90x8
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S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A7b

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
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ROOF AND FLOOR LAYOUT NOTES:

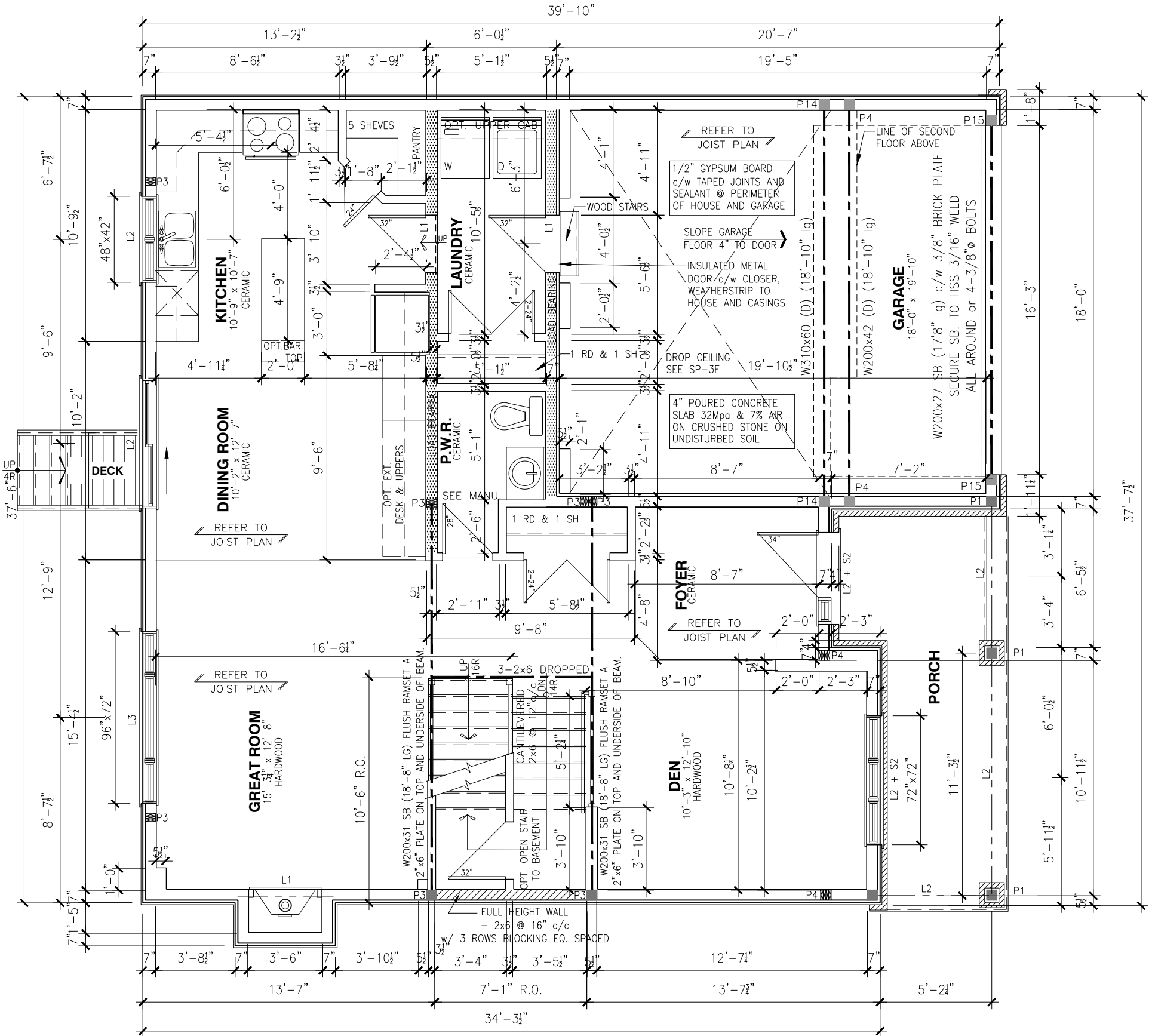
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PLAN - GROUND FLOOR - ELEVATION B - SUNKEN

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - B SUNKEN		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7b

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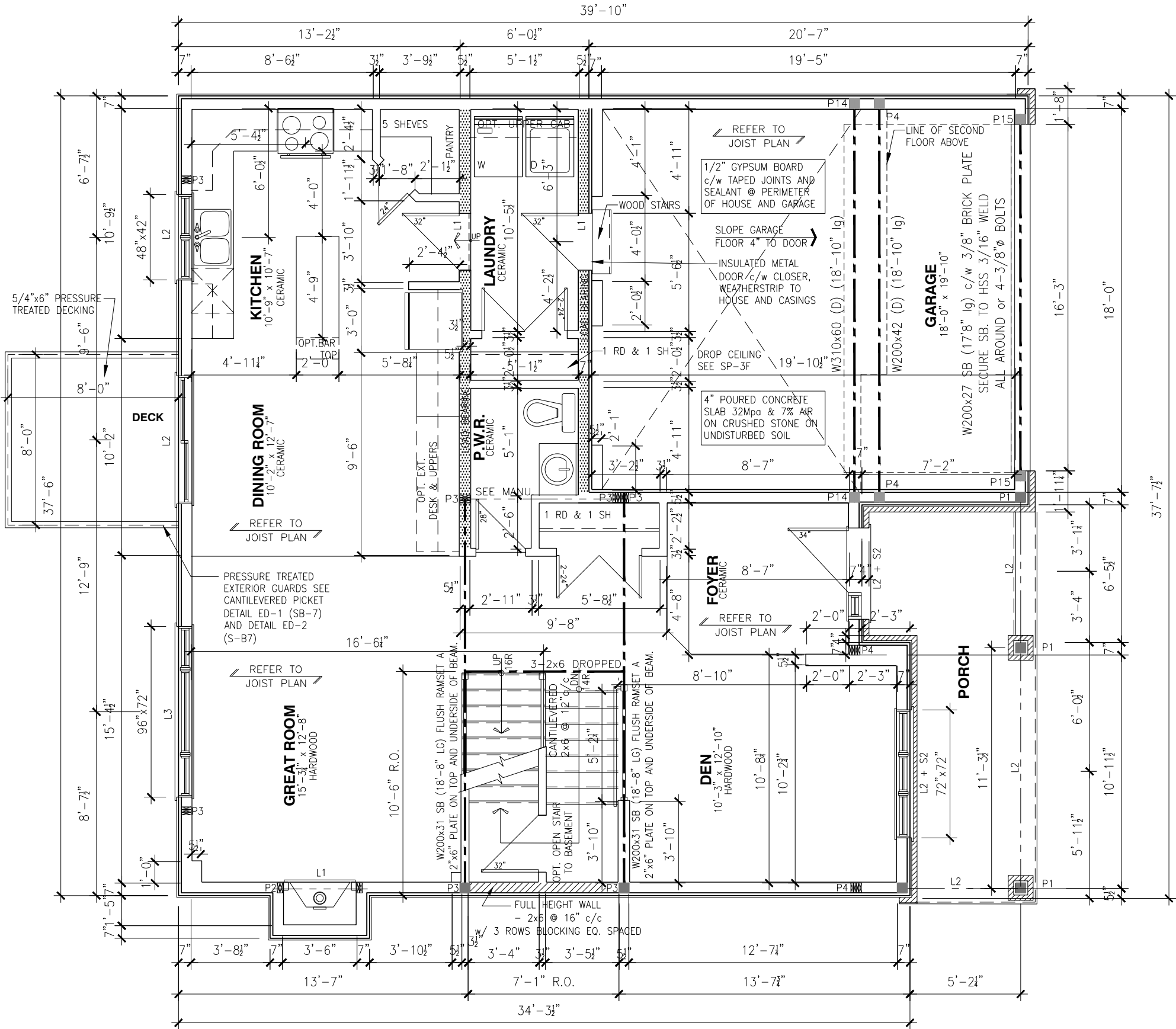
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PLAN - GROUND FLOOR - ELEVATION B - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX
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DRAWING: GROUND FLOOR - B
WALKOUT BASEMENT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
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SHEET: A7b

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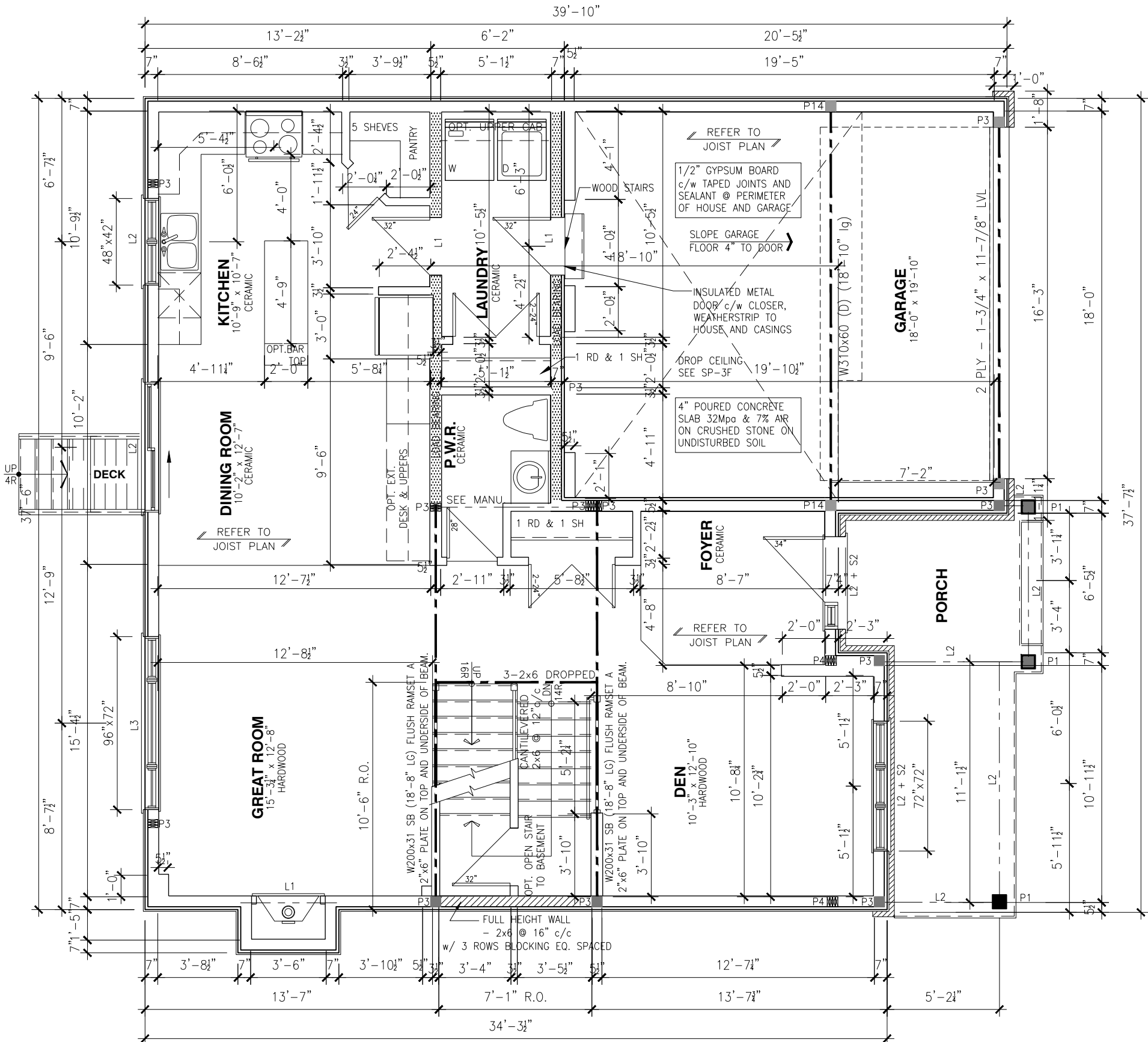
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PLAN - GROUND FLOOR - ELEVATION C

SCALE: 3/16" = 1'-0"



LOT: XXXX

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Valecraft
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

■ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

GROUND FLOOR - STANDARD

ADDRESS:	SCALE:	DATE:
xx	3/16" = 1'-0"	xx/xx/xxxx

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A7c

A7c

STAIRS AND RAILINGS:

- RISERS AND TREADS TO BE UNIFORM:

RISE: MIN 125mm (4 7/8") - MAX 200mm (7 7/8")
RUN: MIN 210mm (8 1/4") - MAX 355mm (14")
TREAD: MIN 235mm (9 1/4") - MAX 355mm (14")
WIDTH: MIN 860mm (2'-10")
HEIGHT OVER STAIRS: MIN 1950mm (6'-5")
LANDING: MIN 860mm (2'-10") OR WIDTH OF STAIRS

- HANDRAILS: MIN 860mm (34") - MAX 900mm (36");

- GUARDS SHALL BE PROVIDED WHEN THERE IS A DIFFERENCE IN ELEVATION MORE THAN 1'-11 5/8" (600mm) BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE;

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-6" (1070mm) IN HEIGHT WHERE DECK HEIGHT IS HIGHER THAN 5'-11";

- EXTERIOR GUARDS (BALCONY/DECK RAILINGS) TO BE 3'-0" (915mm) IN HEIGHT WHERE DECK HEIGHT IS BETWEEN 2'-0" AND 5'-11";

- INTERIOR GUARDS SHALL NOT BE LESS THAN 900mm (2'-11") IN HEIGHT;

- MAXIMUM SPACING BETWEEN VERTICAL MEMBERS IS 4" (100mm) MIN. AND TO COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE AND SB-7 OF THE ONTARIO BUILDING CODE SUPPLEMENT.

ROOF AND FLOOR LAYOUT NOTES:

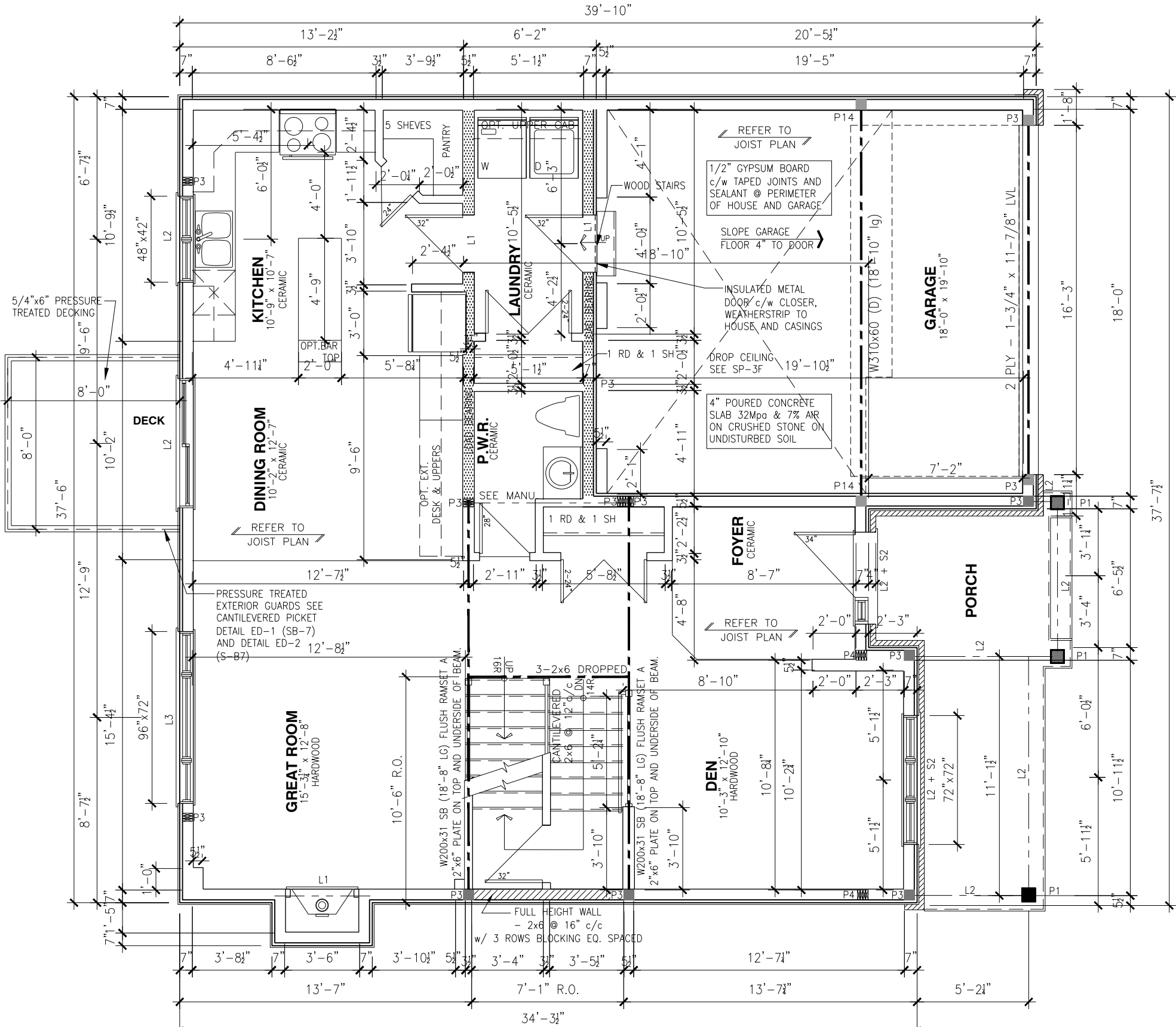
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NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
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NOTE:

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PLAN - GROUND FLOOR - ELEVATION C (WALKOUT BASEMENT)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:
STEEL LINTEL:

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2012 O.B.C. DRAWINGS

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REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: GROUND FLOOR - C
WALKOUT BASEMENT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A7c

NOTES:

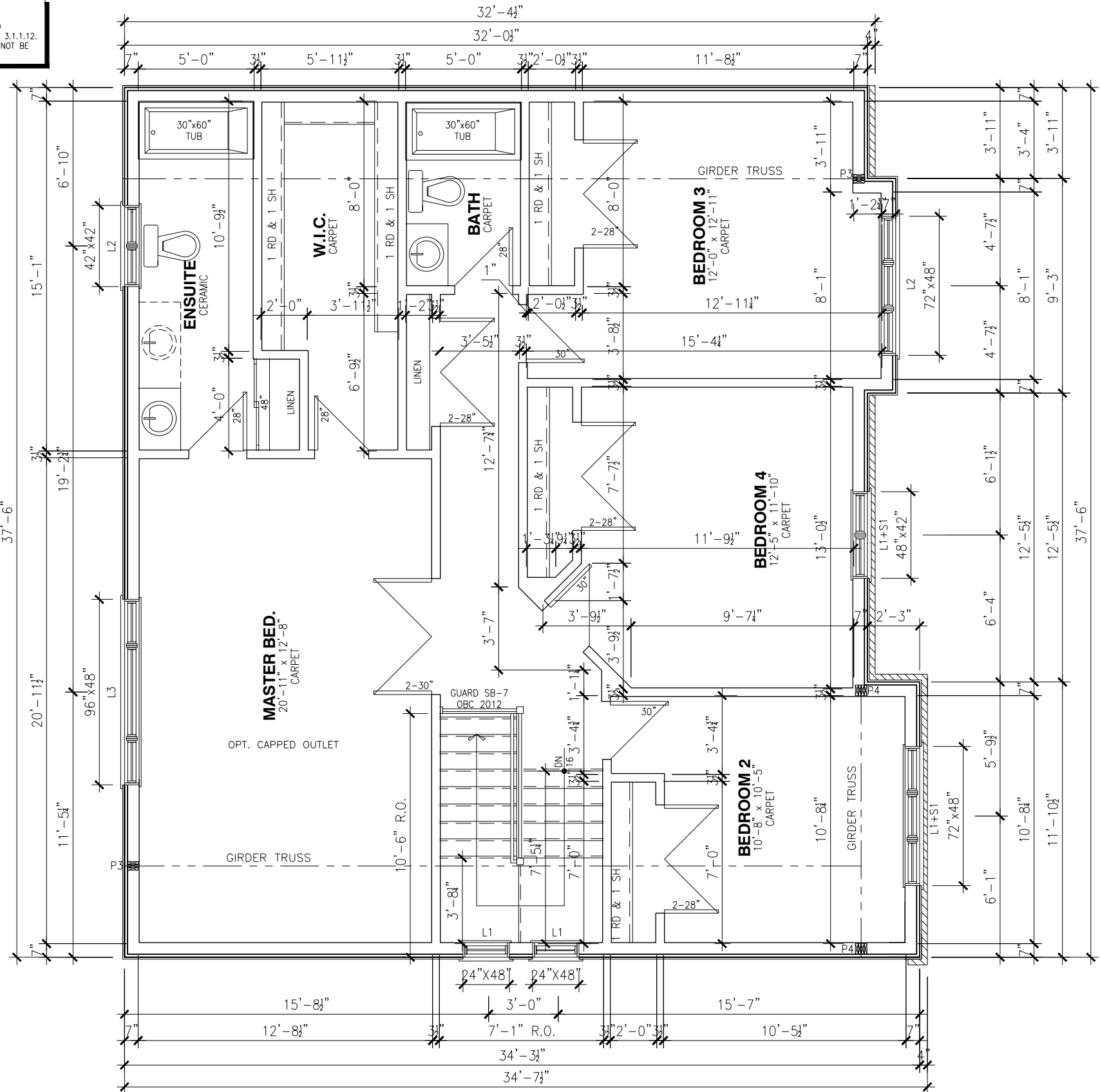
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PLAN - SECOND FLOOR - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes Ltd.

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NO.	DESCRIPTION	DATE	BY

DRAWING:
SECOND FLOOR - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

A8a

NOTES:

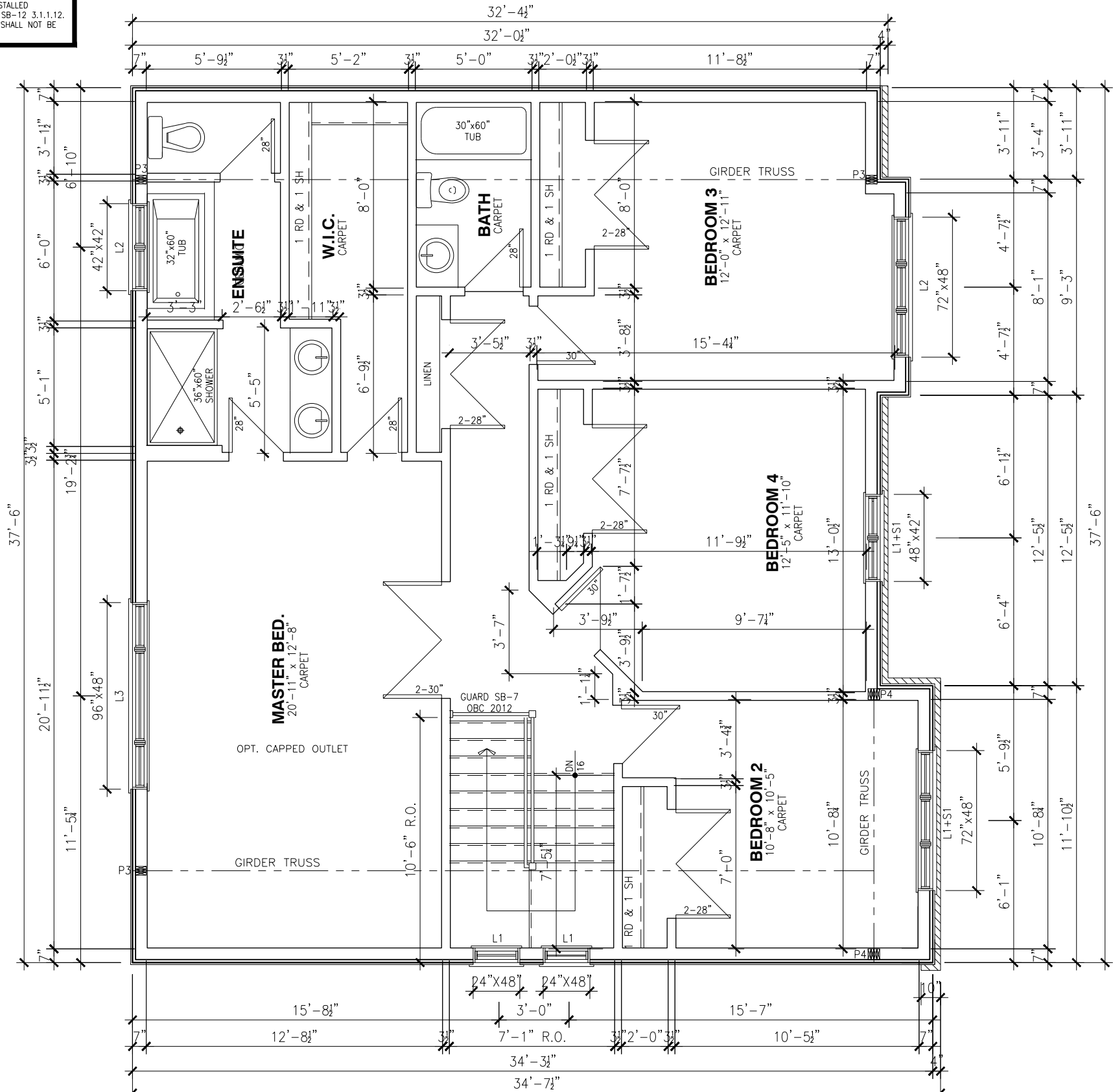
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PLAN - SECOND FLOOR - ELEVATION A (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
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NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR ENSUITE UPGRADE**

ADDRESS: xx SCALE: 3/16" = 1'-0" DATE: xx/xx/xxxx

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A8a**

NOTES:

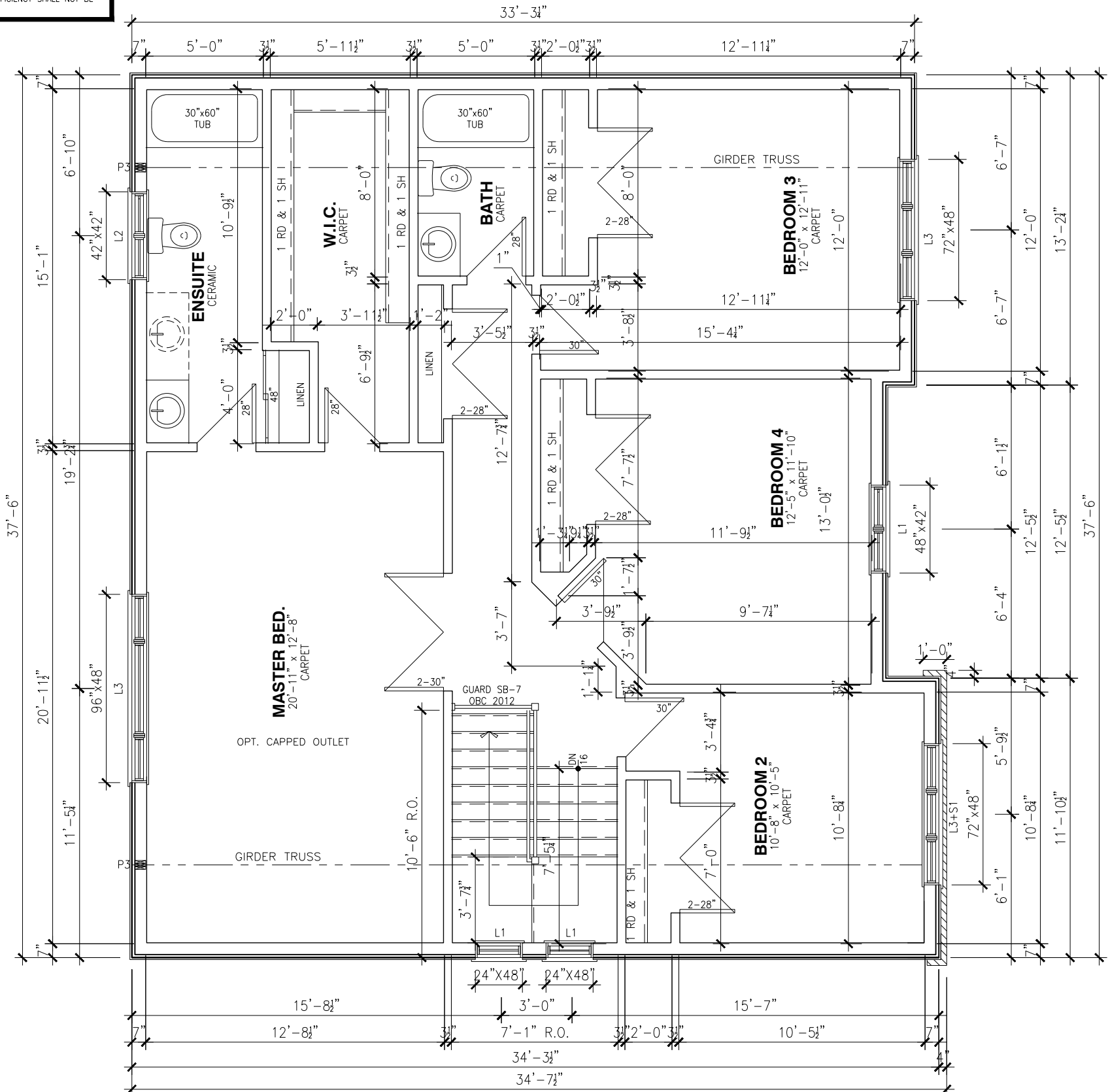
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PLAN - SECOND FLOOR - ELEVATION B

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

SECOND FLOOR - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A8b

NOTES:

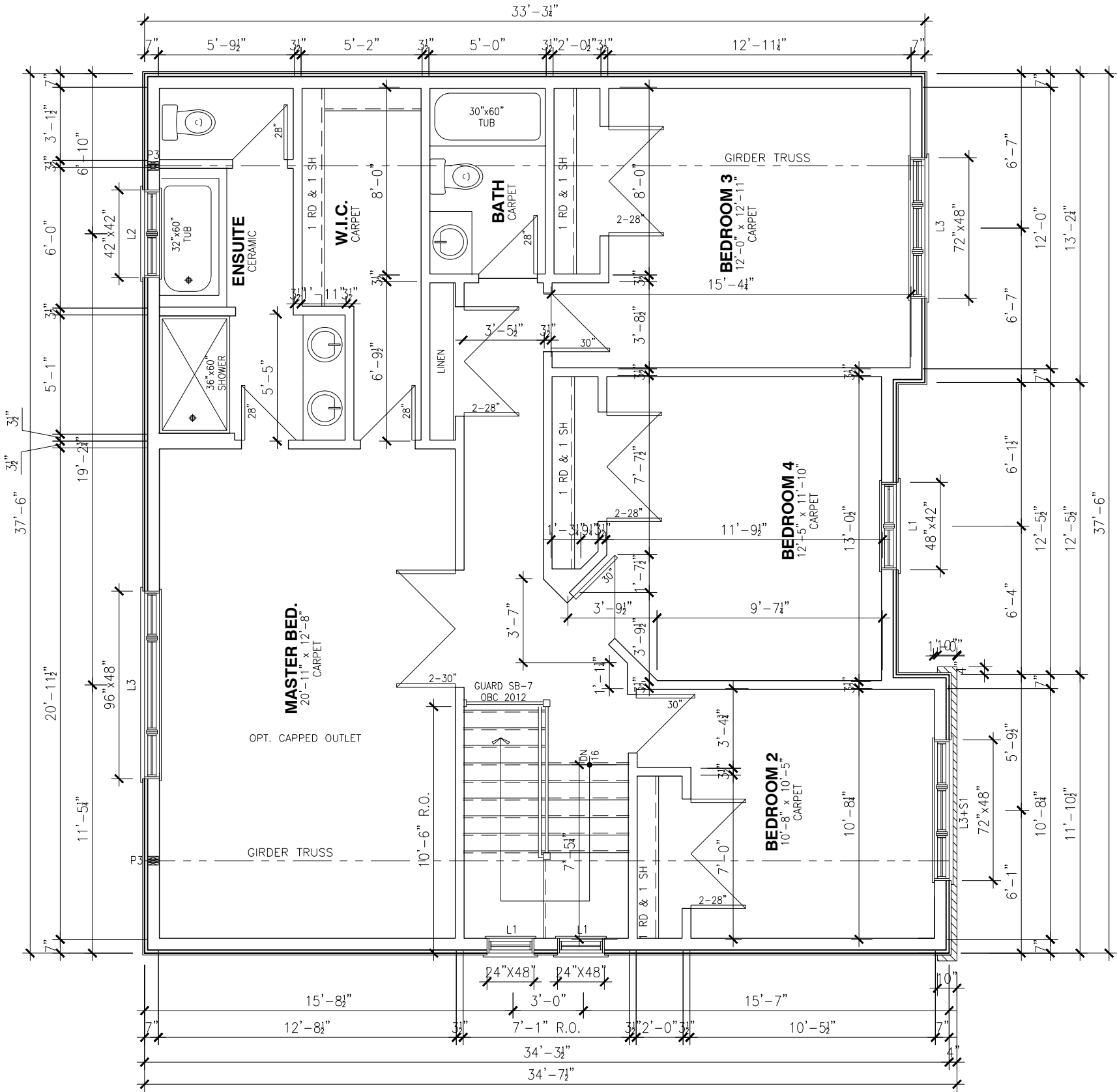
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ROOF AND FLOOR LAYOUT NOTES:

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NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



PLAN - SECOND FLOOR - ELEVATION B (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
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LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
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POST TABLE:

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: **SECOND FLOOR ENSUITE UPGRADE**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A8b

NOTES:

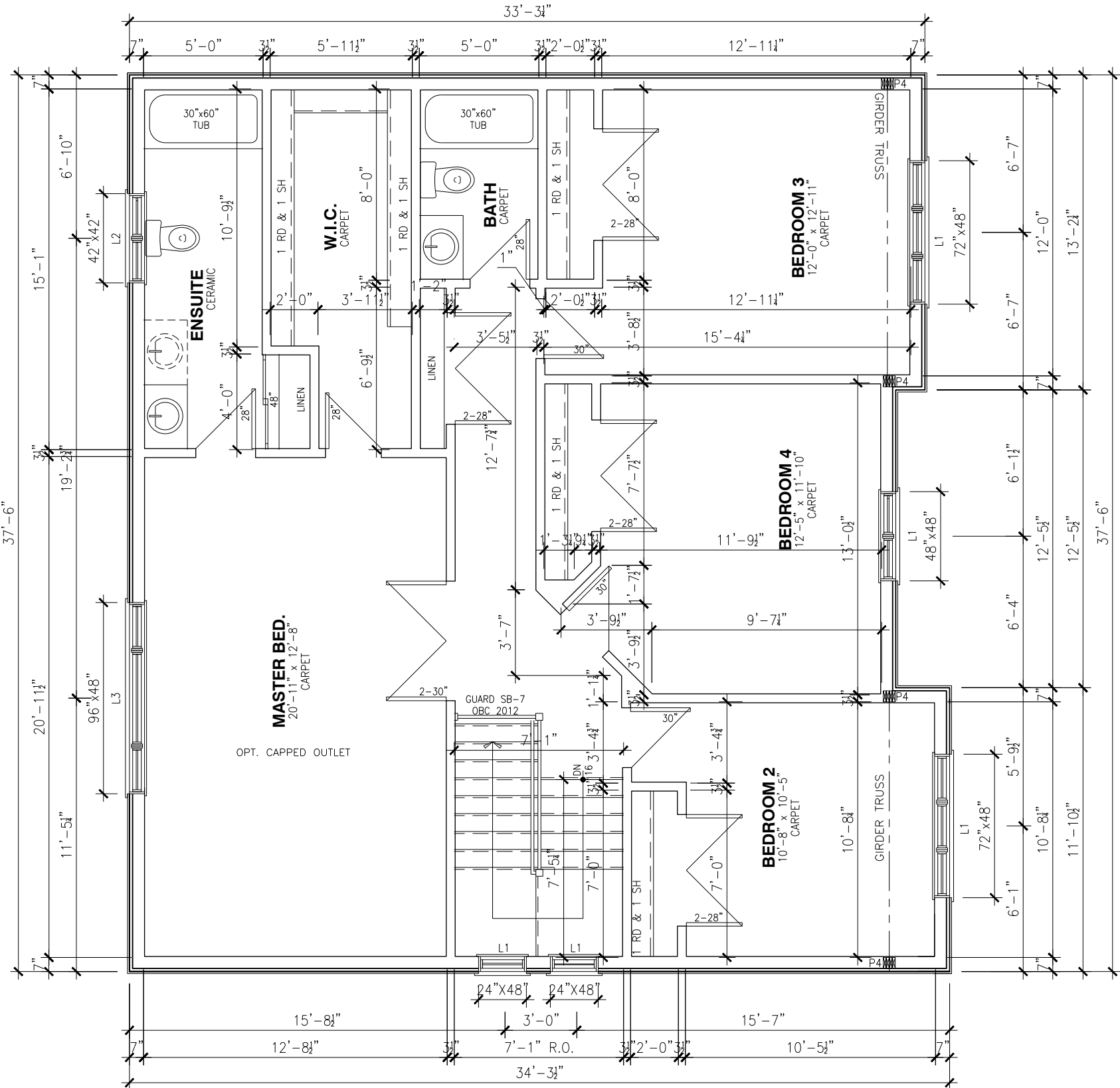
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PLAN - SECOND FLOOR - ELEVATION C

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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SECOND FLOOR - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
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SHEET:
A8c

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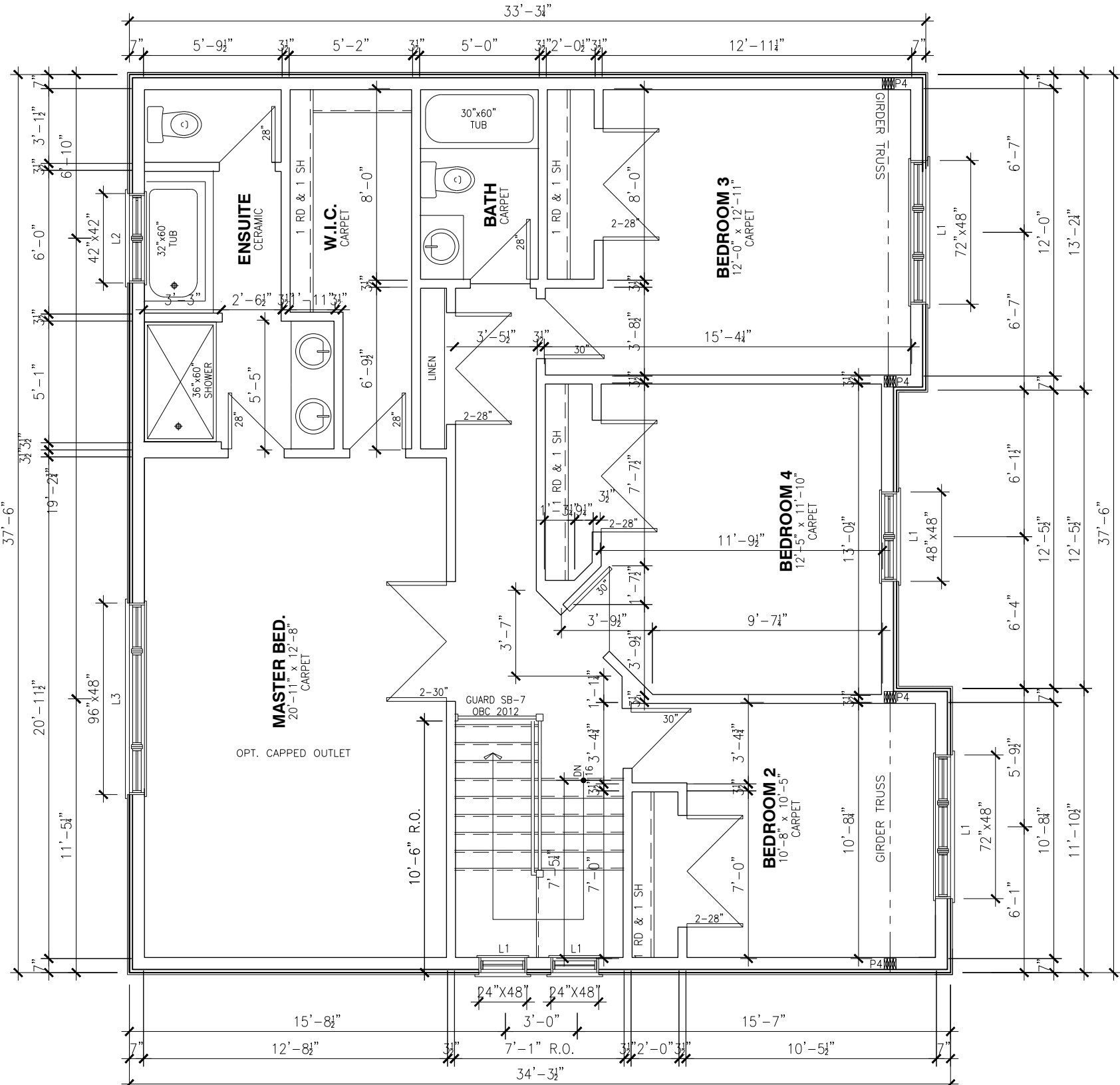
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PLAN - SECOND FLOOR - ELEVATION C (ENSUITE UPGRADE)

SCALE: 3/16" = 1'-0"

LOT:XXXX

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DRAWING:SECOND FLOOR ENSUITE UPGRADE

ADDRESS:XX

SCALE:3/16" = 1'-0"

DATE:XX/XX/XXXX

1010 - THE FERRIS 2018 FOOTPRINT

(STANDARD DRAWINGS)

A8c

SHEET:

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FIRST FLOOR JOIST PLAN

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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DRAWING:
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NOTES:

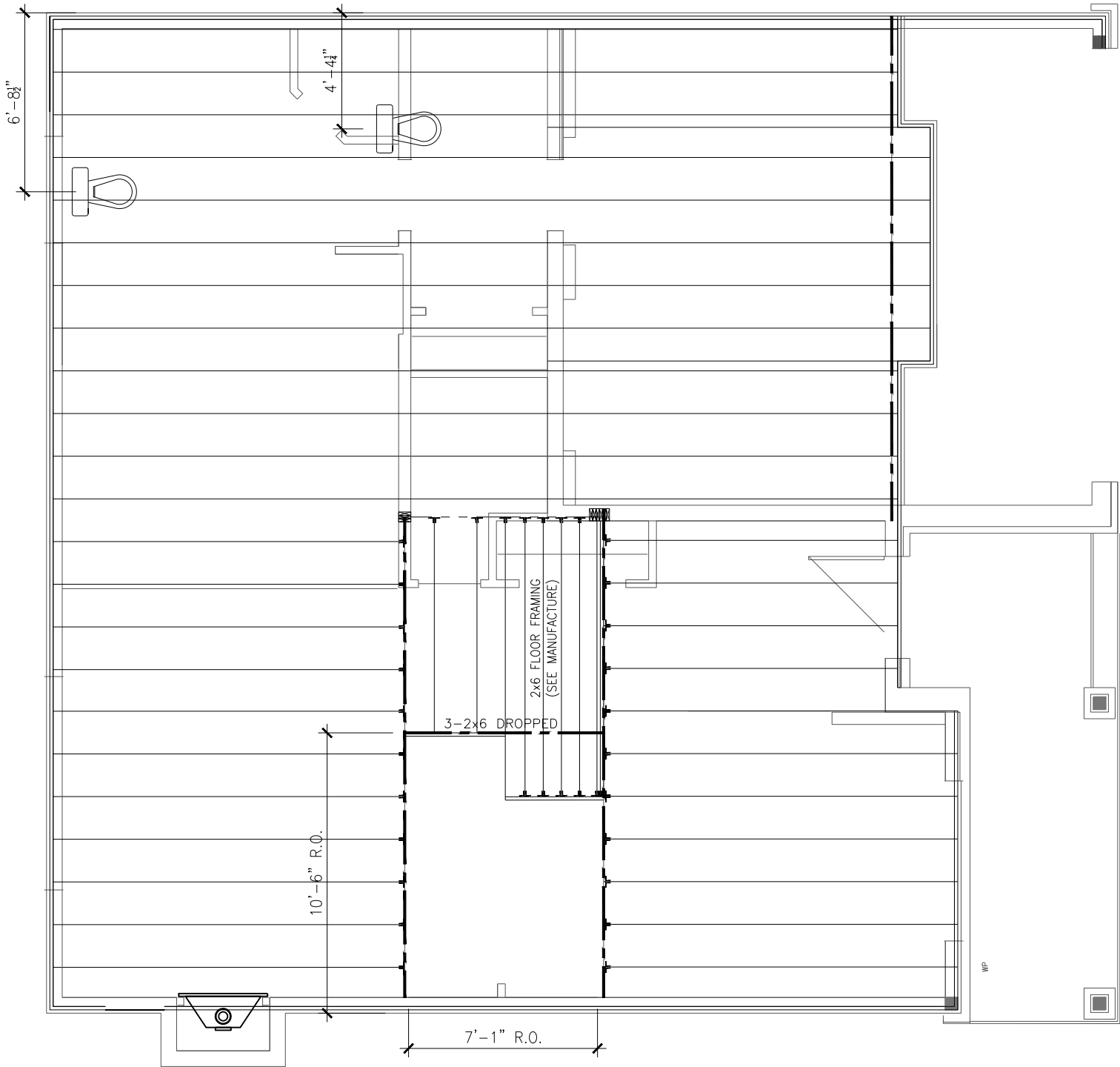
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

NOTE:

- DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED ACCORDING TO THE ONTARIO BUILDING CODE 2012, SB-12 3.1.1.12. DRAIN WATER HEAT RECOVERY AND THE EFFICIENCY SHALL NOT BE LESS THAN 42%.



SECOND FLOOR JOIST PLAN

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P1o = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
 - (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)

* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS			
REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

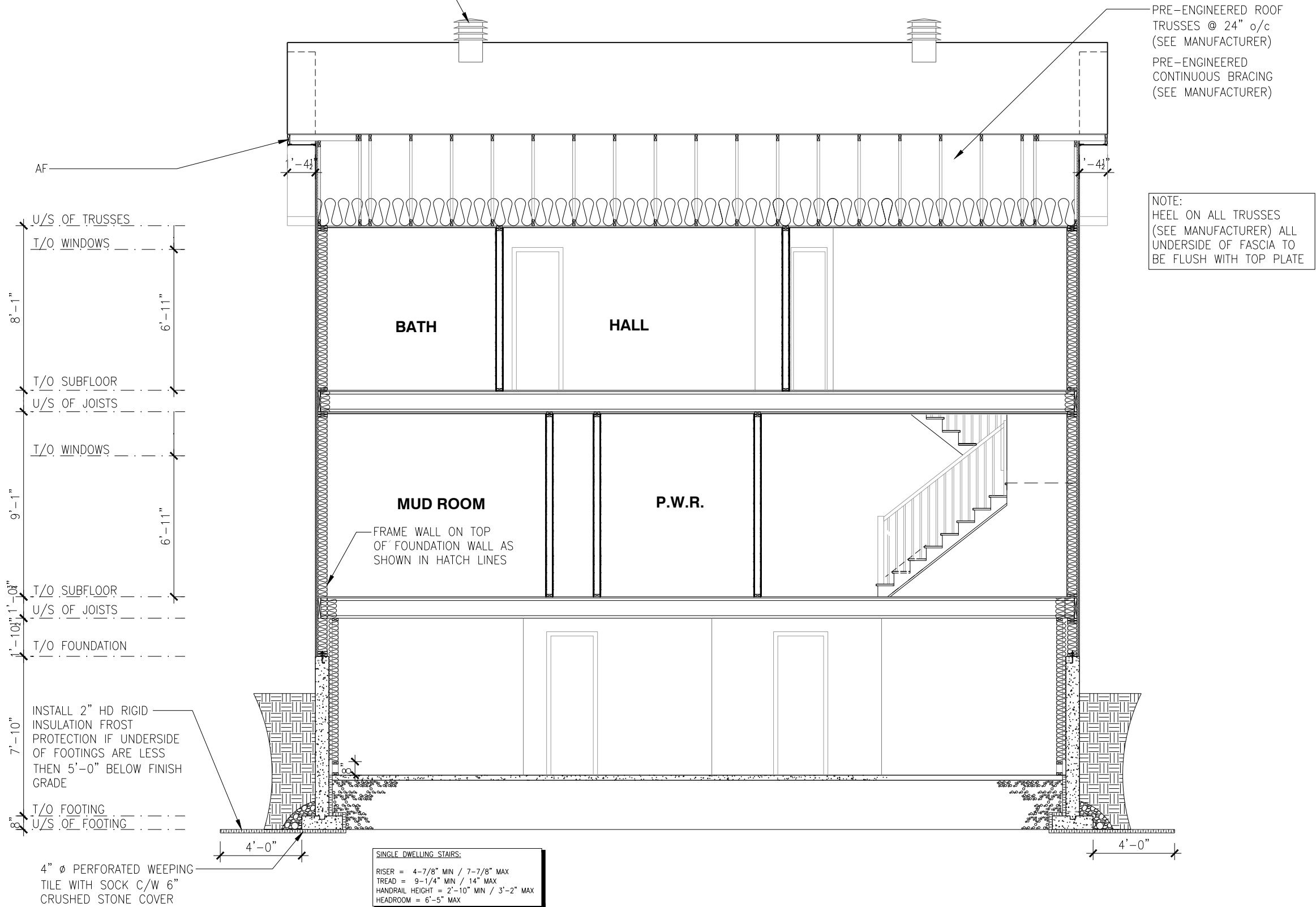
SECOND FLOOR JOIST PLAN

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



SECTION - WALKOUT BASEMENT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

NO.	DESCRIPTION	DATE	BY
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REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD

DRAWING:
SECTION - WALKOUT BASEMENT

ADDRESS: XX SCALE: AS INDICATED DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

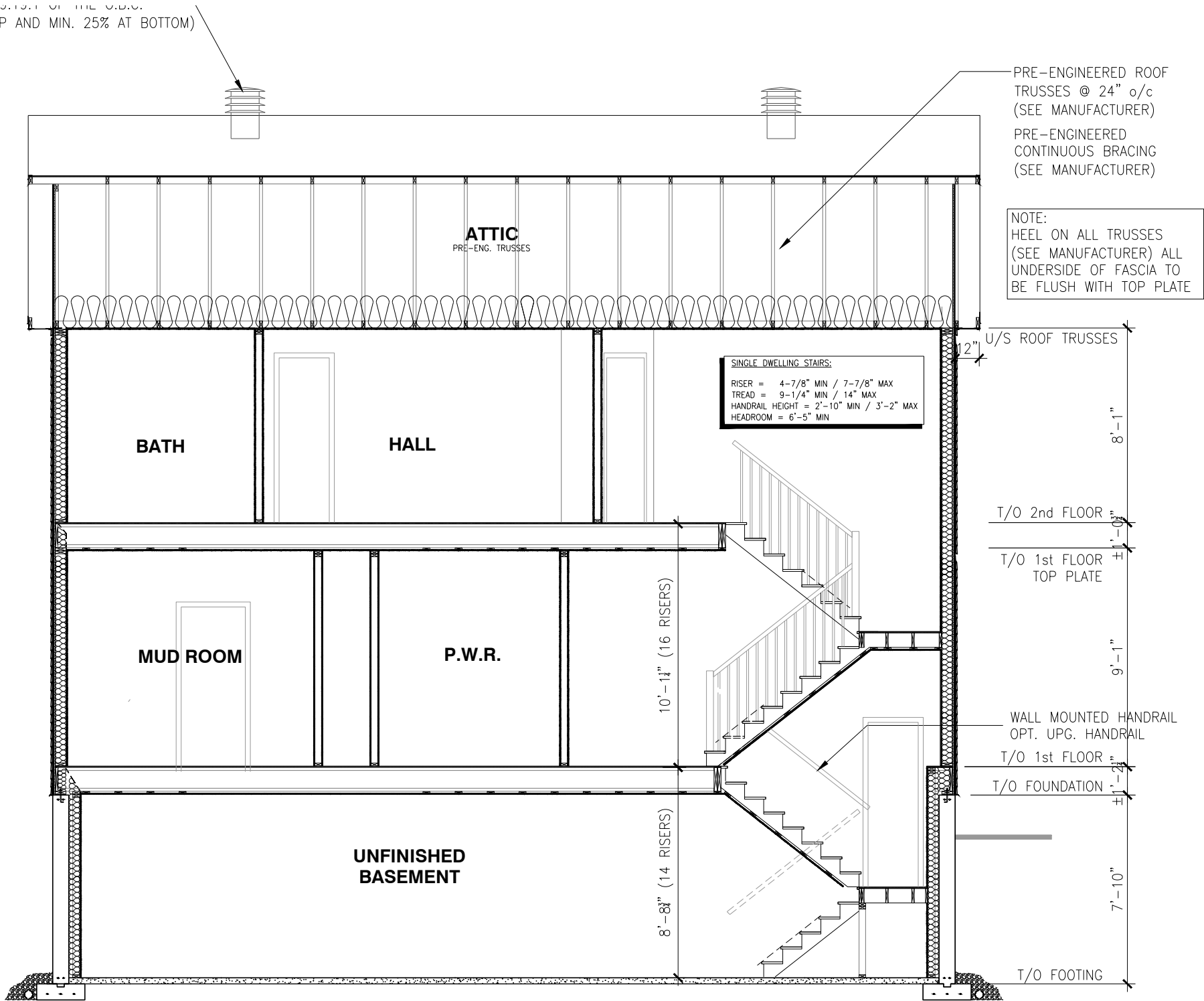
SHEET:

A10

SECTION

SCALE: 3/16" = 1'-0"

INSTALL AS PER S.I.S.T. OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



LOT: XXXX
DATE: XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING:

SECTION

ADDRESS:	SCALE:	DATE:
XX	AS INDICATED	XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

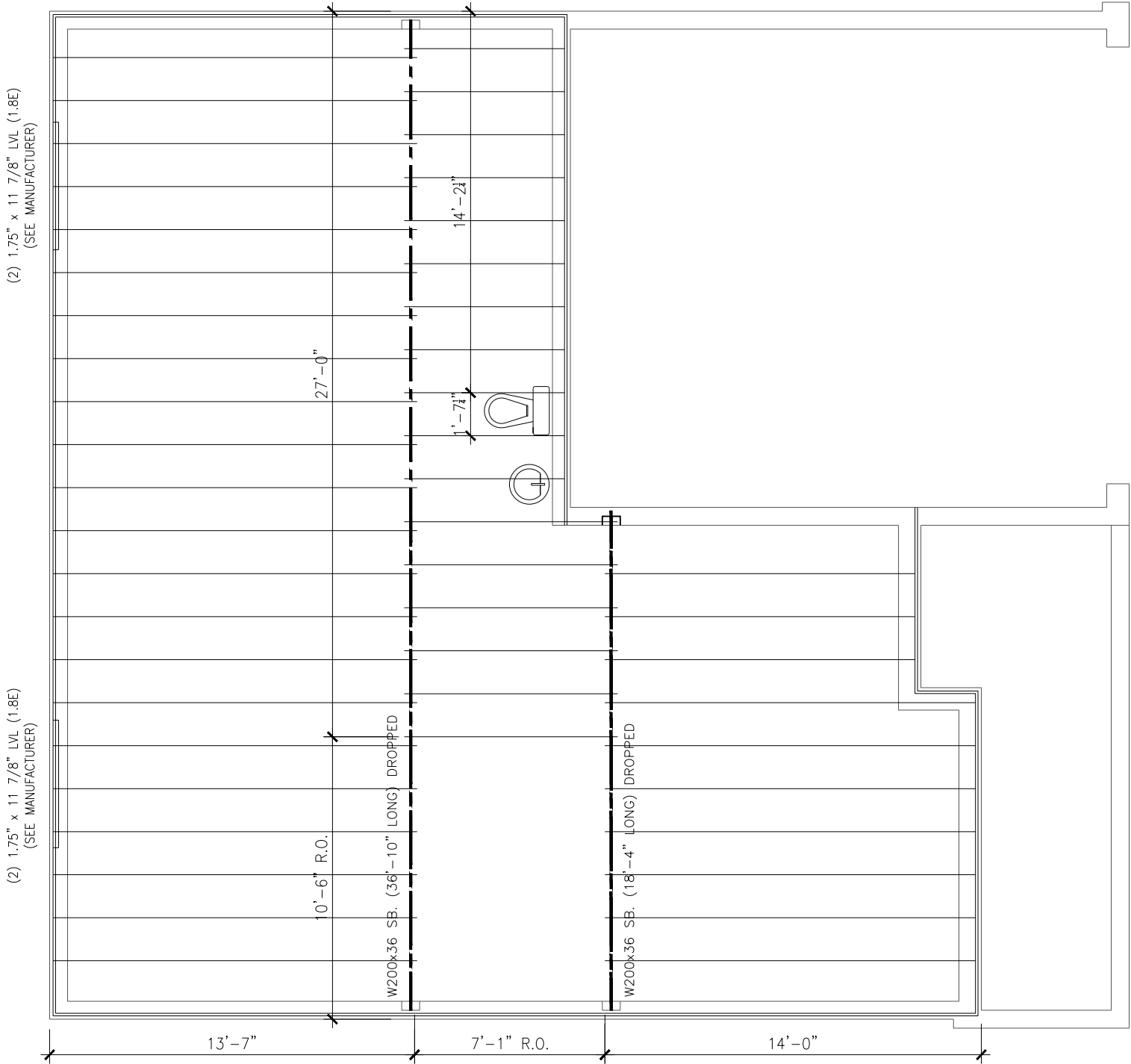
(STANDARD DRAWINGS)

SHEET:

A10

FIRST FLOOR JOIST LAYOUT

SCALE: 1/4" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

FIRST FLOOR JOIST LAYOUT

ADDRESS: XX SCALE: AS INDICATED DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

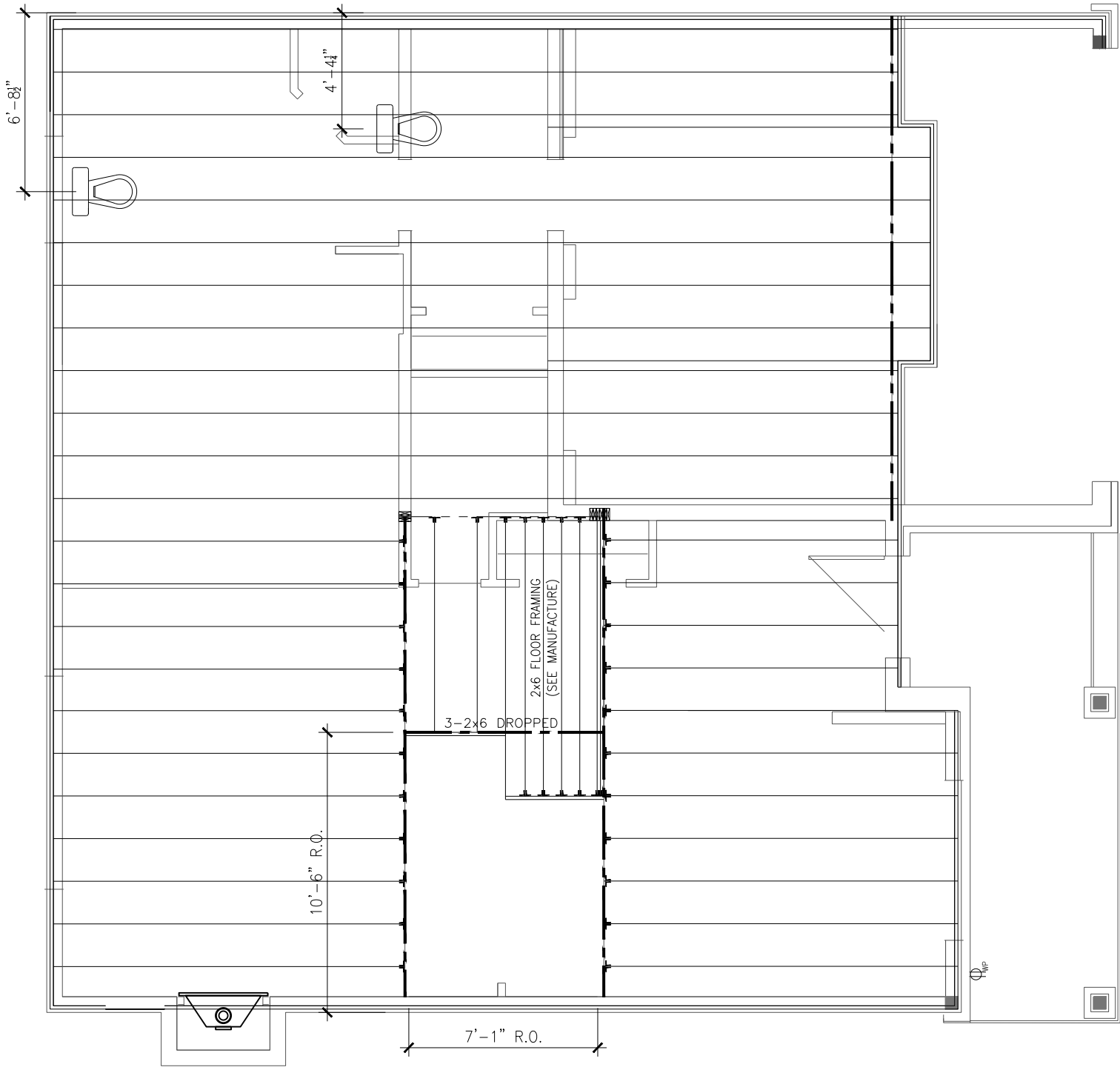
(STANDARD DRAWINGS)

SHEET:

A10b

SECOND FLOOR JOIST LAYOUT

SCALE: 1/4" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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SECOND FLOOR JOIST LAYOUT

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1010 - THE FERRIS
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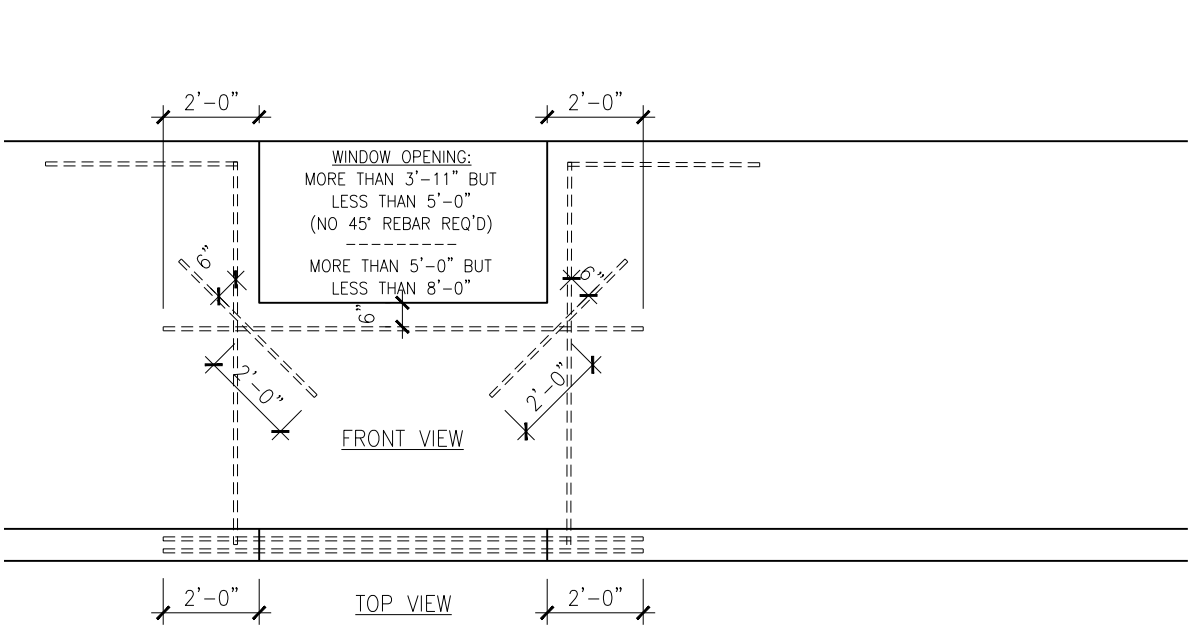
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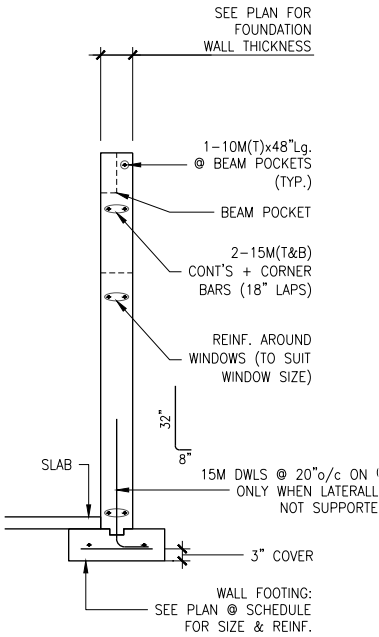
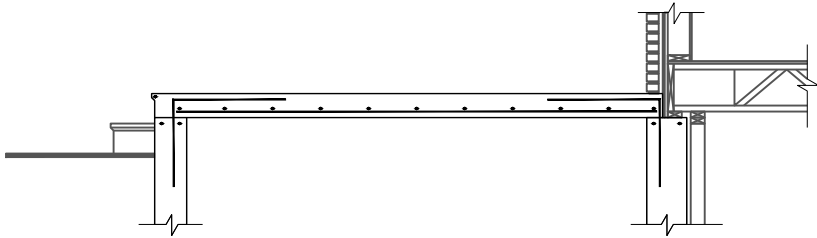
A11b

TYPICAL DETAILS

SCALE: 1/4" = 1'-0"



PROVIDE MIN. 1.5" CONCRETE COVER OVER REBAR



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	DATE	BY

DRAWING: TYPICAL DETAIL

ADDRESS: XX SCALE: AS INDICATED DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

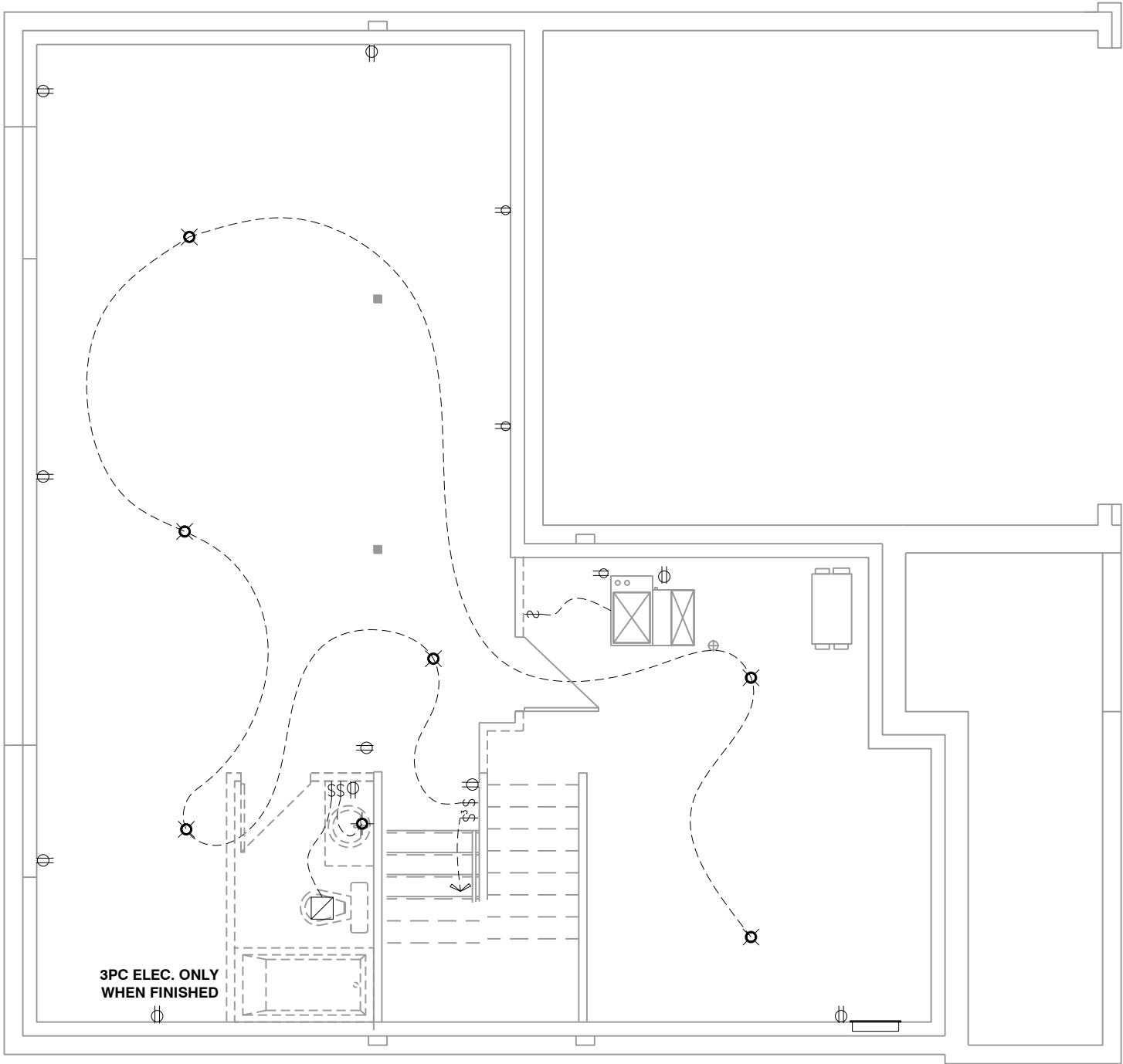
(STANDARD DRAWINGS)

SHEET:

A10b

PLAN - ELECTRICAL
FOUNDATION - ELEVATION A/B/C (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: **ELECTRICAL**
FOUNDATION PLAN - STANDARD

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E1a

PLAN - ELECTRICAL
GROUND FLOOR - ELEVATION (STANDARD)

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL
GROUND FLOOR - STANDARD

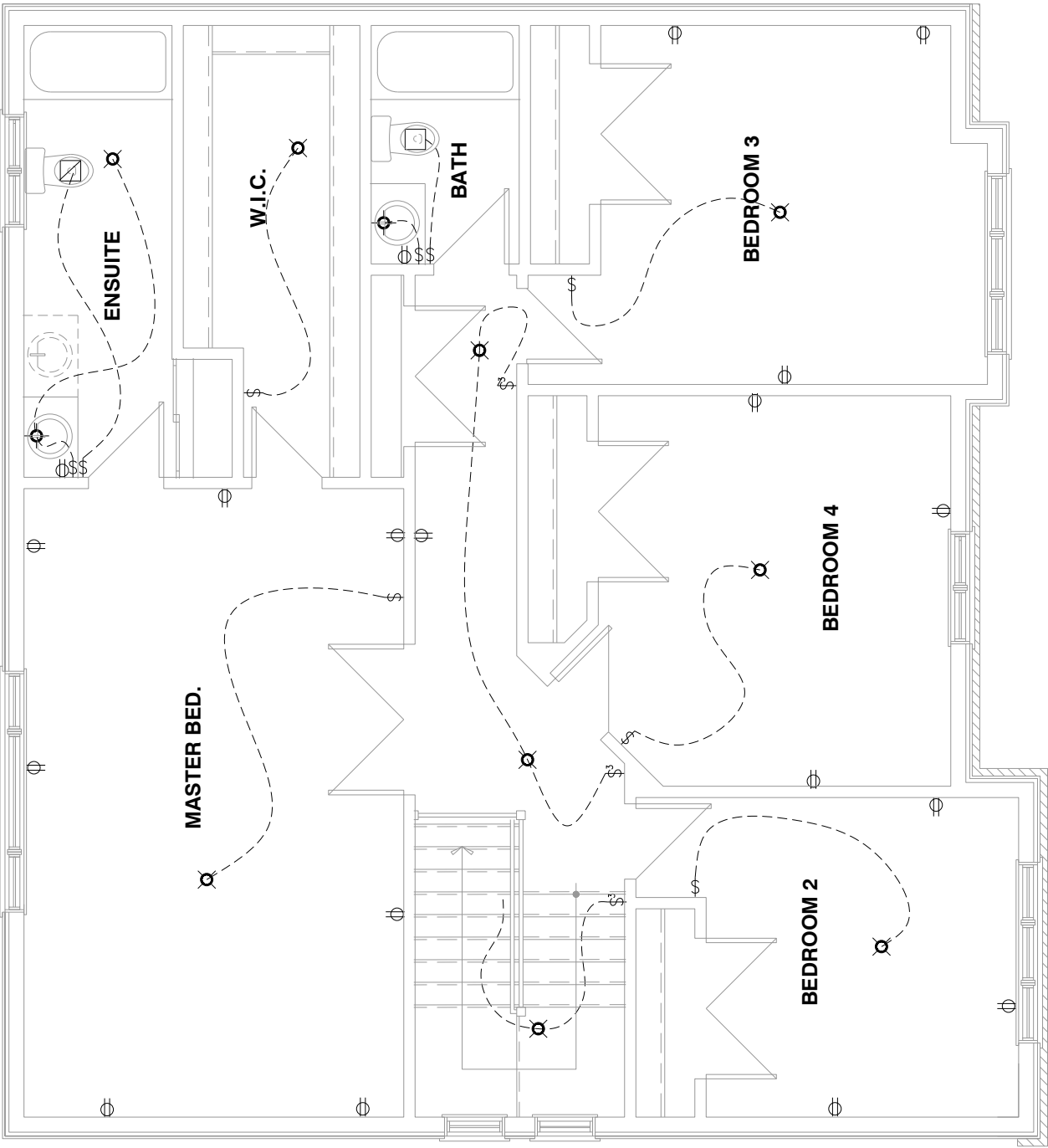
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E2a

PLAN - ELECTRICAL
SECOND FLOOR - 3 BED

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL
SECOND FL. - 3 BED

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT

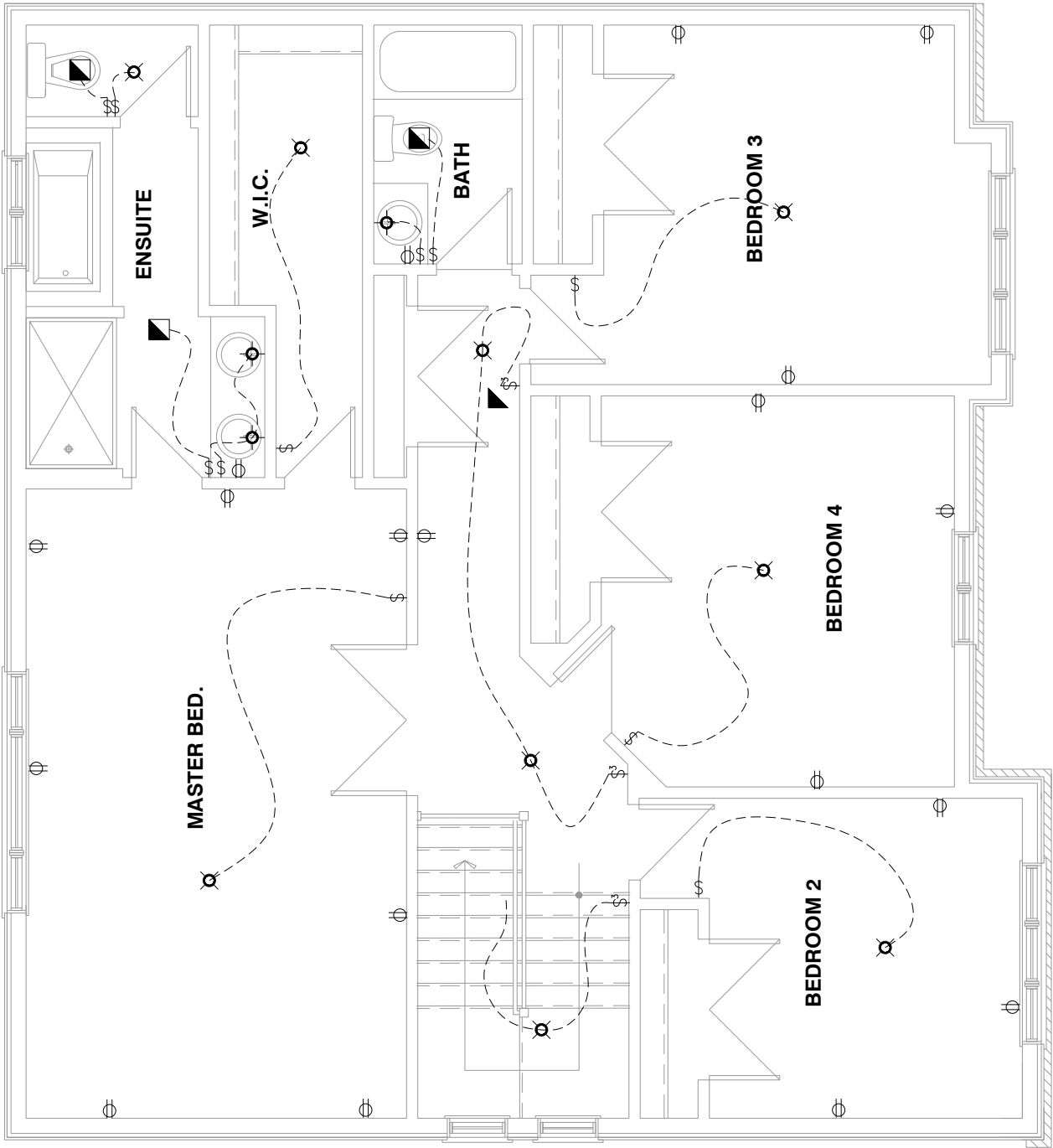
(STANDARD DRAWINGS)

SHEET:

E3a

PLAN - ELECTRICAL
SECOND FLOOR - ENSUITE UPGRADE

SCALE: 3/16" = 1'-0"



LOT: XXXX
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THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-3	FULL HEIGHT WALL DETAIL	11/06/2019	AB
REV-2	AS PER STRUCTURAL	11/05/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	13/11/2017	MAD
NO.	DESCRIPTION	DATE	BY

DRAWING: ELECTRICAL
SECOND FL. - ENS. UPG.

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1010 - THE FERRIS
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E4a