

STANDARD PLAN:

GROSS INSULATED = 192.95 M. SQ.
WALL AREA

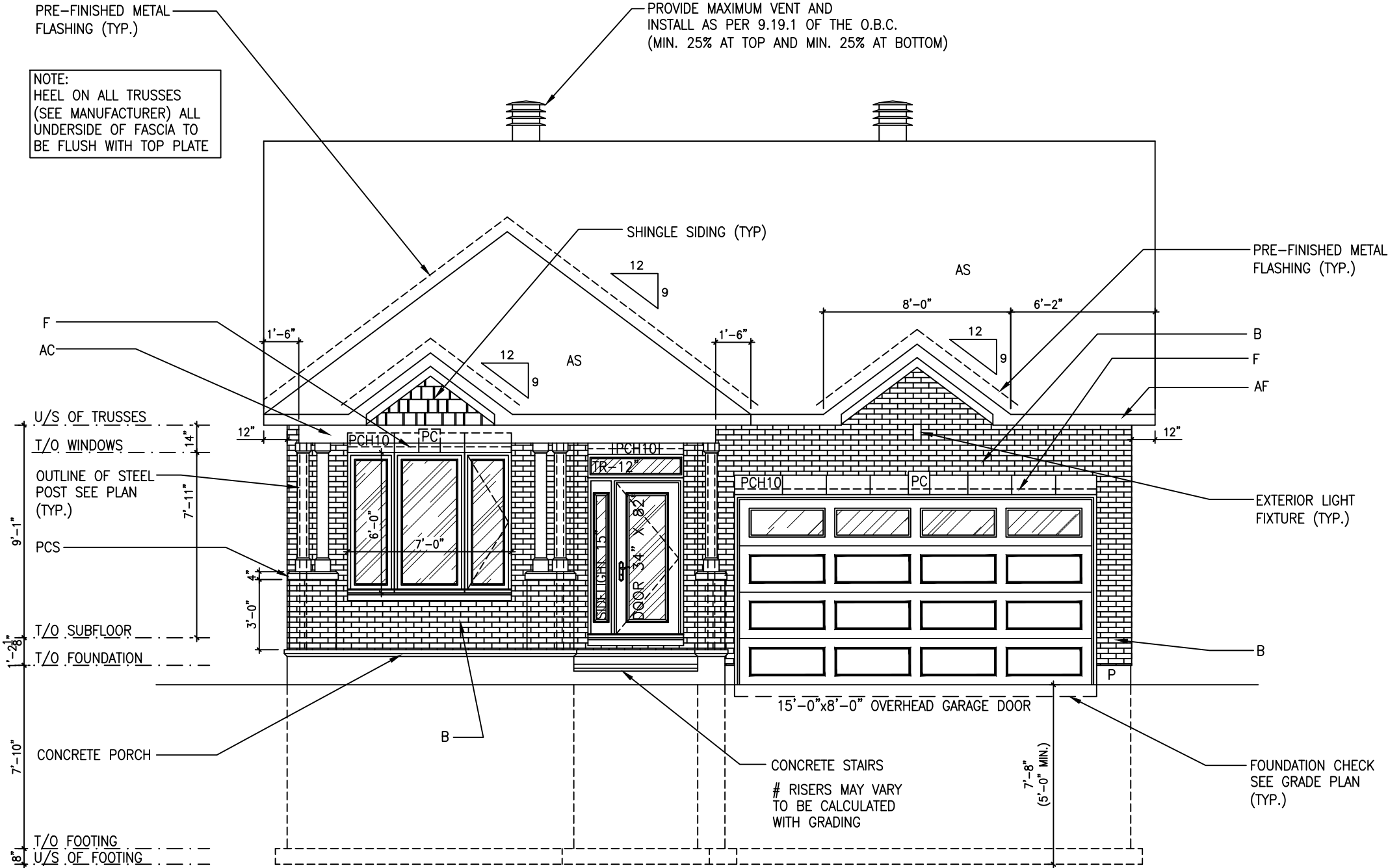
GROSS WINDOW = 18.76 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 9.72%

PRE-FINISHED METAL
FLASHING (TYP.)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)



ELEVATION A - FRONT

SCALE: 3/16" = 1'-0"

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE
B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
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EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
+ 20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BOND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORBELLING
- B8 - BRICK CORNING 20mm PROUD
- +20 - BRICK 20mm PROUD
- 20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
- PCH8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
NO.				

DRAWING:

ELEVATION A - FRONT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYO
NO.	DESCRIPTION	DATE	BY

DRAWING:

ELEVATION A - RIGHT

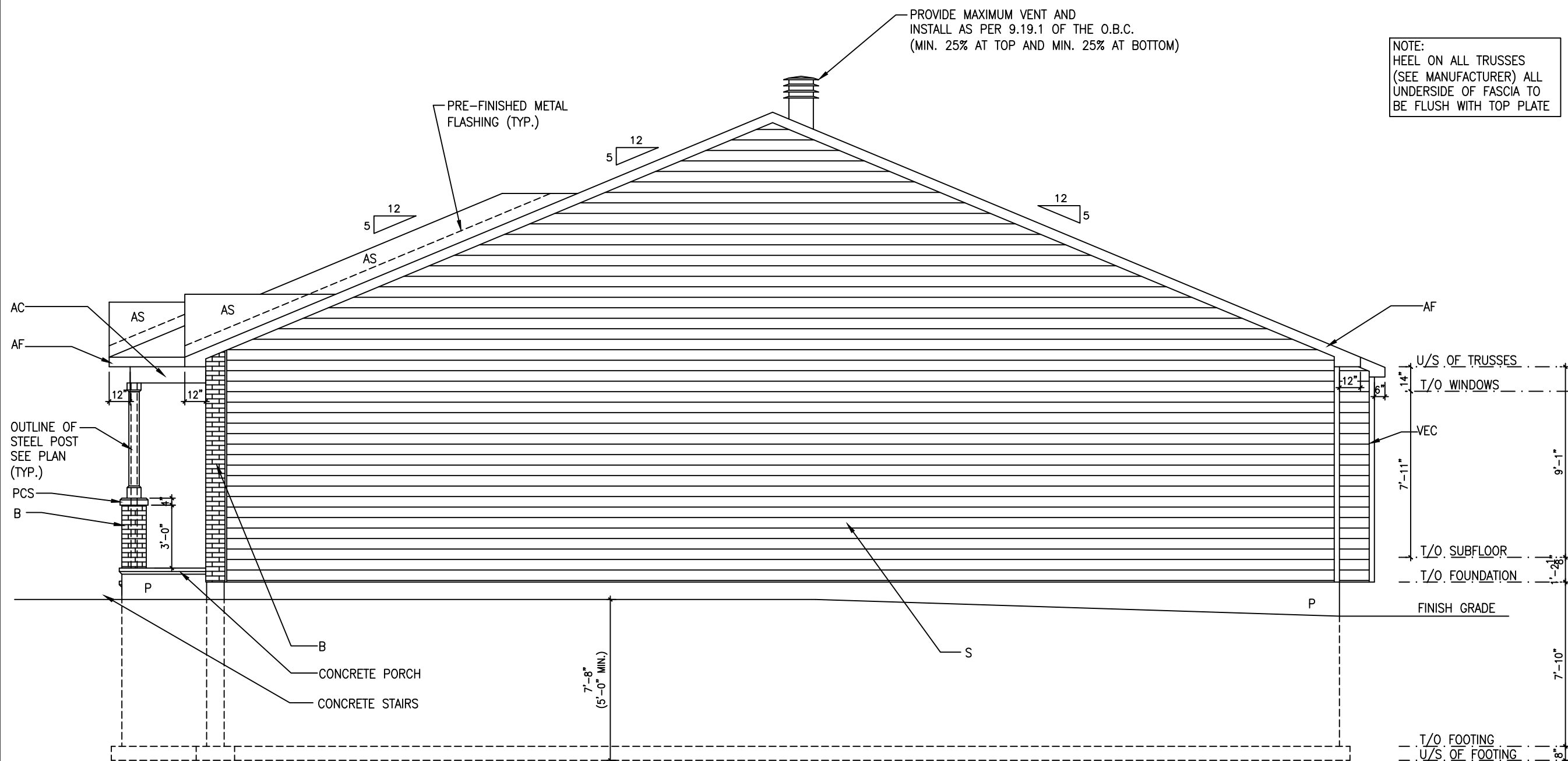
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1016 - THE McCABE 2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A2a



<p>UNPROTECTED OPENINGS:</p> <p>PROPERTY SET BACK 1.2m, ALLOWABLE 7 %</p> <p>AREA OF EXPOSED BUILDING FACE – 58.19 m. sq.</p> <p>AREA OF UNPROTECTED OPENINGS – 0 m. sq.</p> <p>PERCENTAGE OF UNPROTECTED OPENINGS – 0 %</p>
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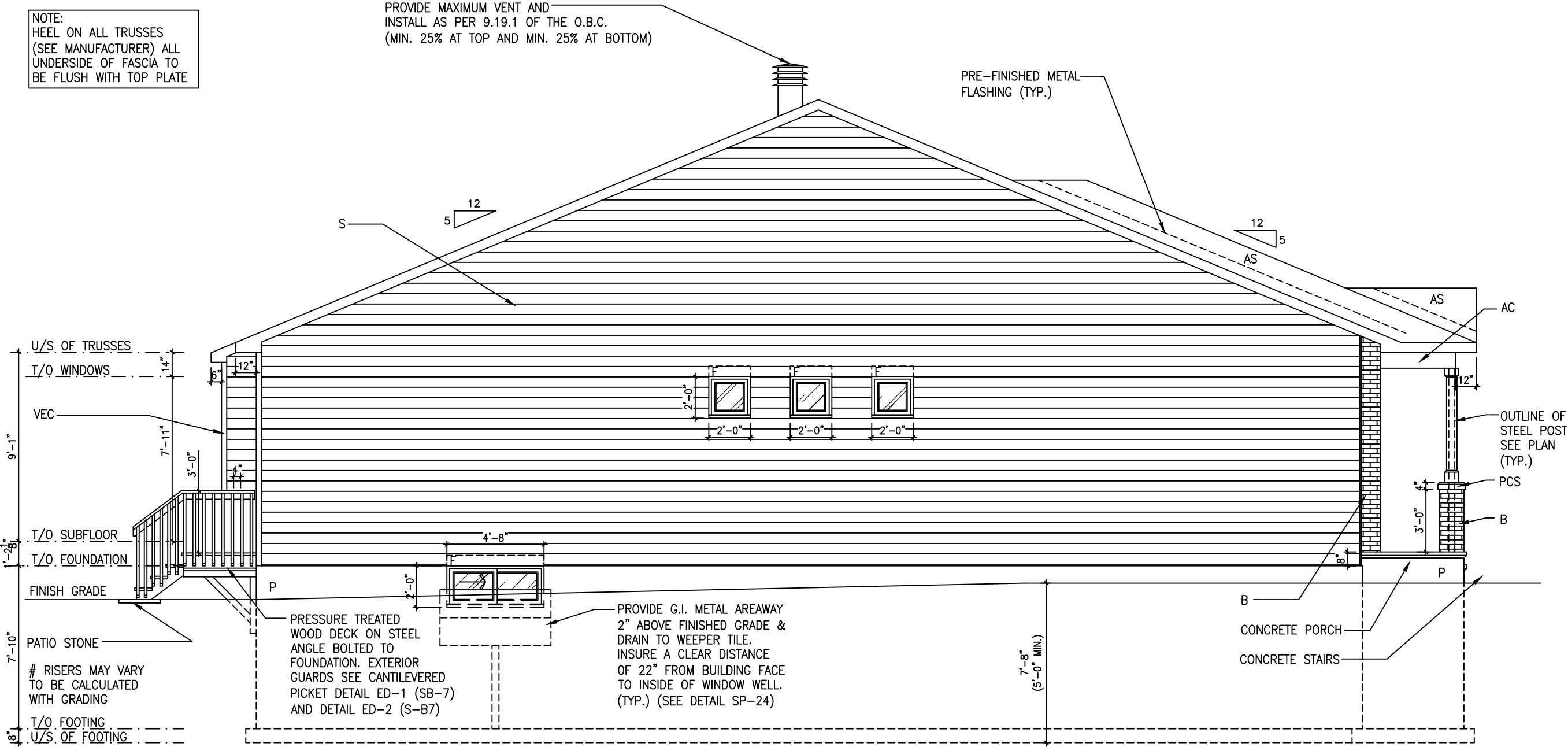
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PRE-FINISHED METAL
FLASHING (TYP.)



UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 58.6 m. sq.
AREA OF UNPROTECTED OPENINGS - 1.6 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 2.73 %

ELEVATION A - LEFT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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- VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING:

ELEVATION A - LEFT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT

(STANDARD DRAWINGS)

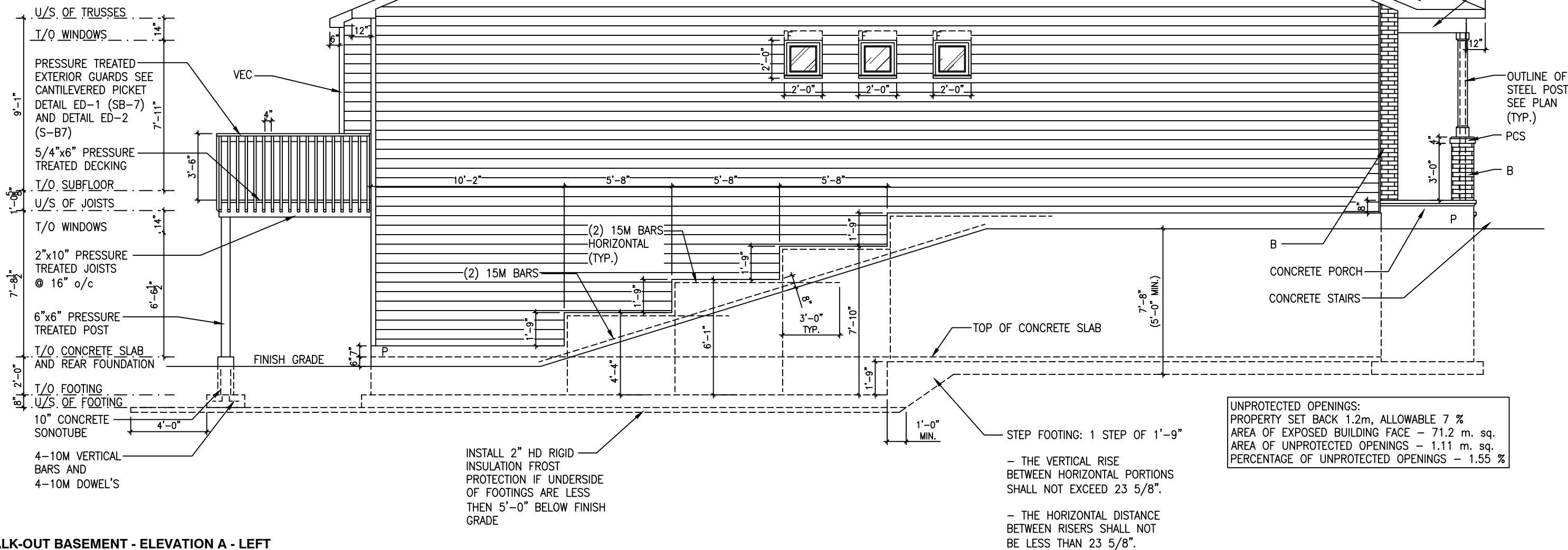
SHEET:

A3a

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I, MARC-ANDRE DECOEUR, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555			
- TARIION REGISTRATION NUMBER #611			
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2012 O.B.C. DRAWINGS

DRAWING: WALK-OUT BASEMENT
ELEVATION A - LEFT
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX
1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)
SHEET: A3a

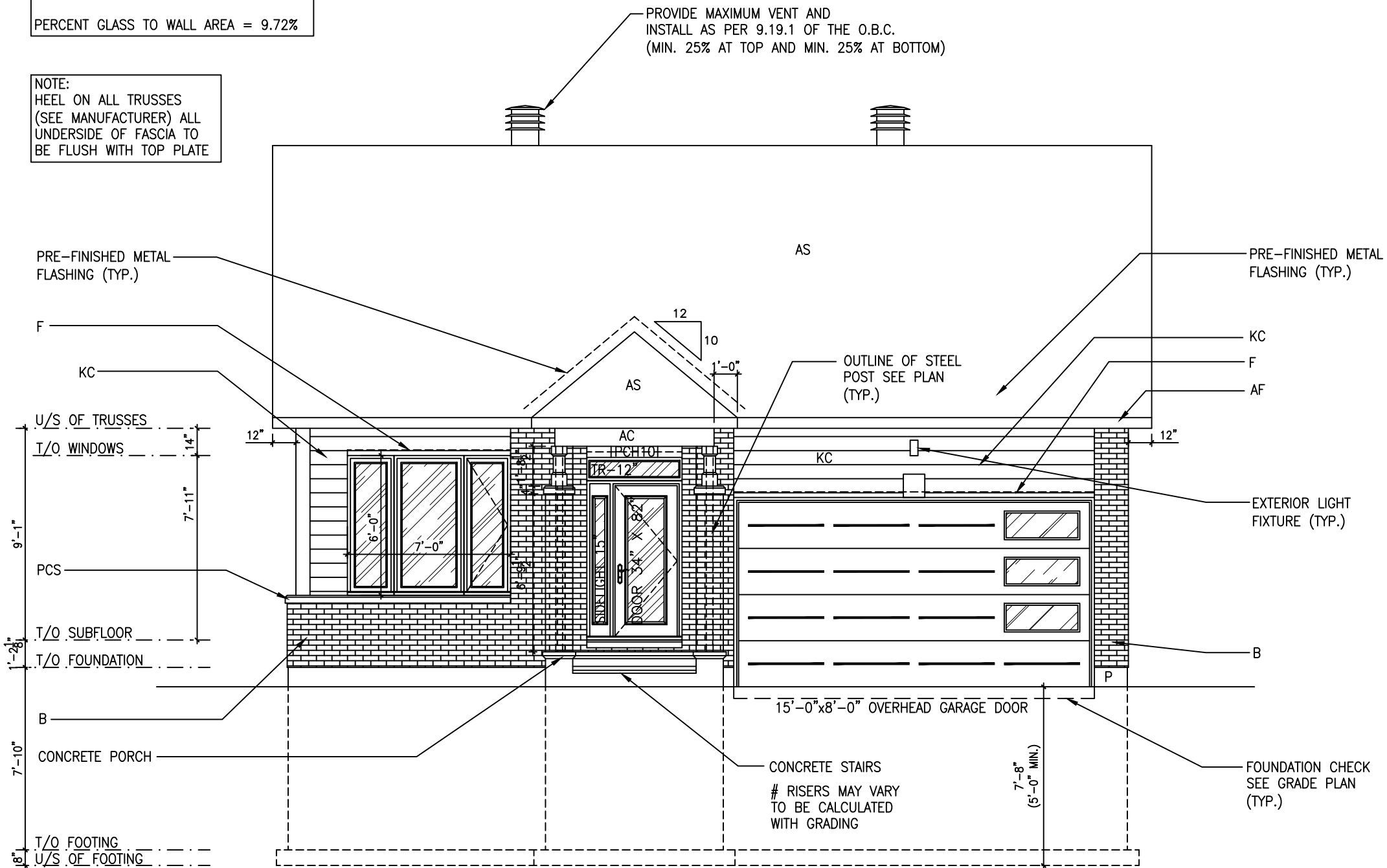
STANDARD PLAN:

GROSS INSULATED = 192.95 M. SQ.
WALL AREA

GROSS WINDOW = 18.76 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 9.72%

NOTE:
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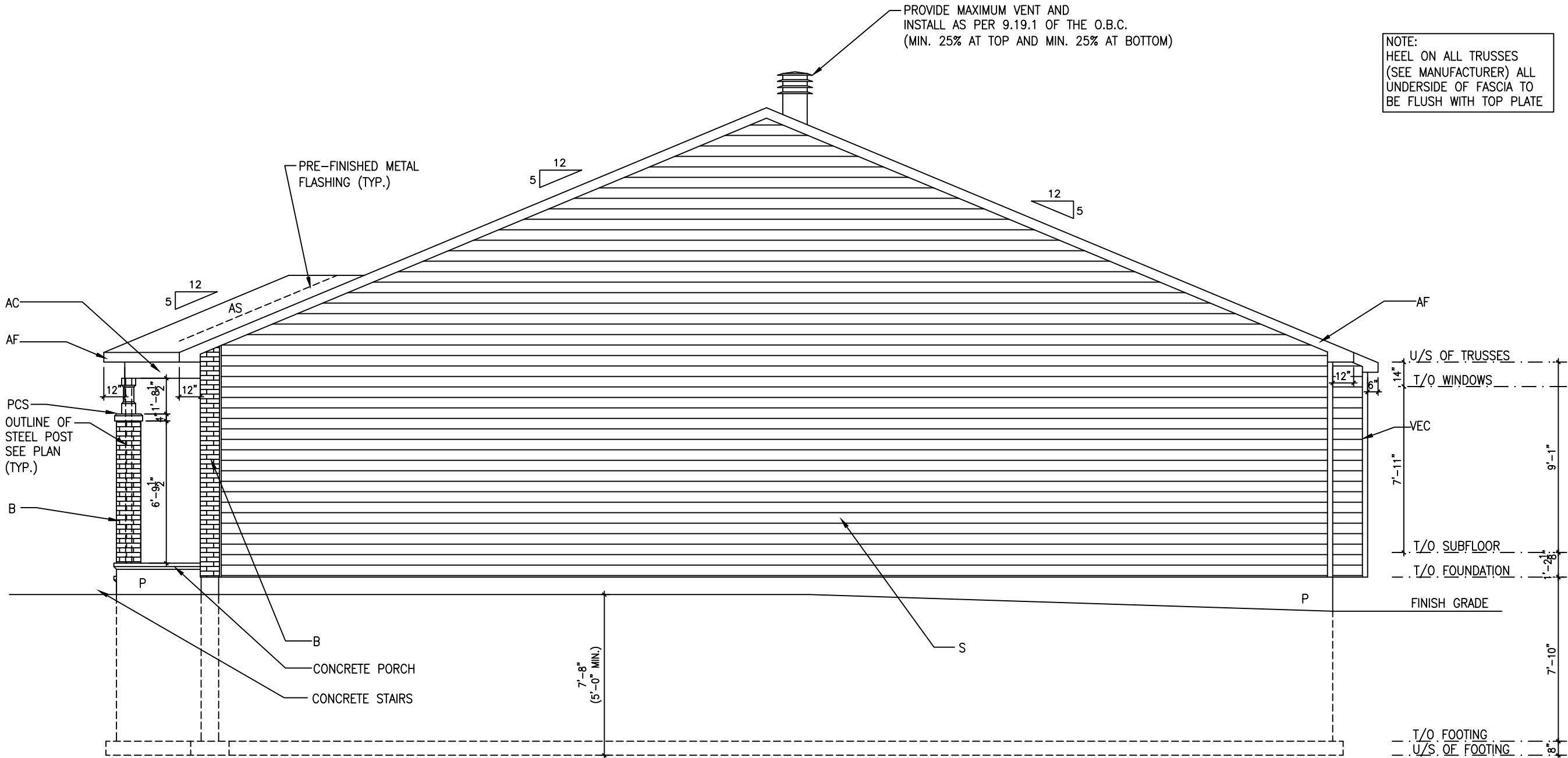
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2012 O.B.C. DRAWINGS

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PERCENTAGE OF UNPROTECTED OPENINGS - 0 %

ELEVATION B - RIGHT
SCALE: 3/16" = 1'-0"

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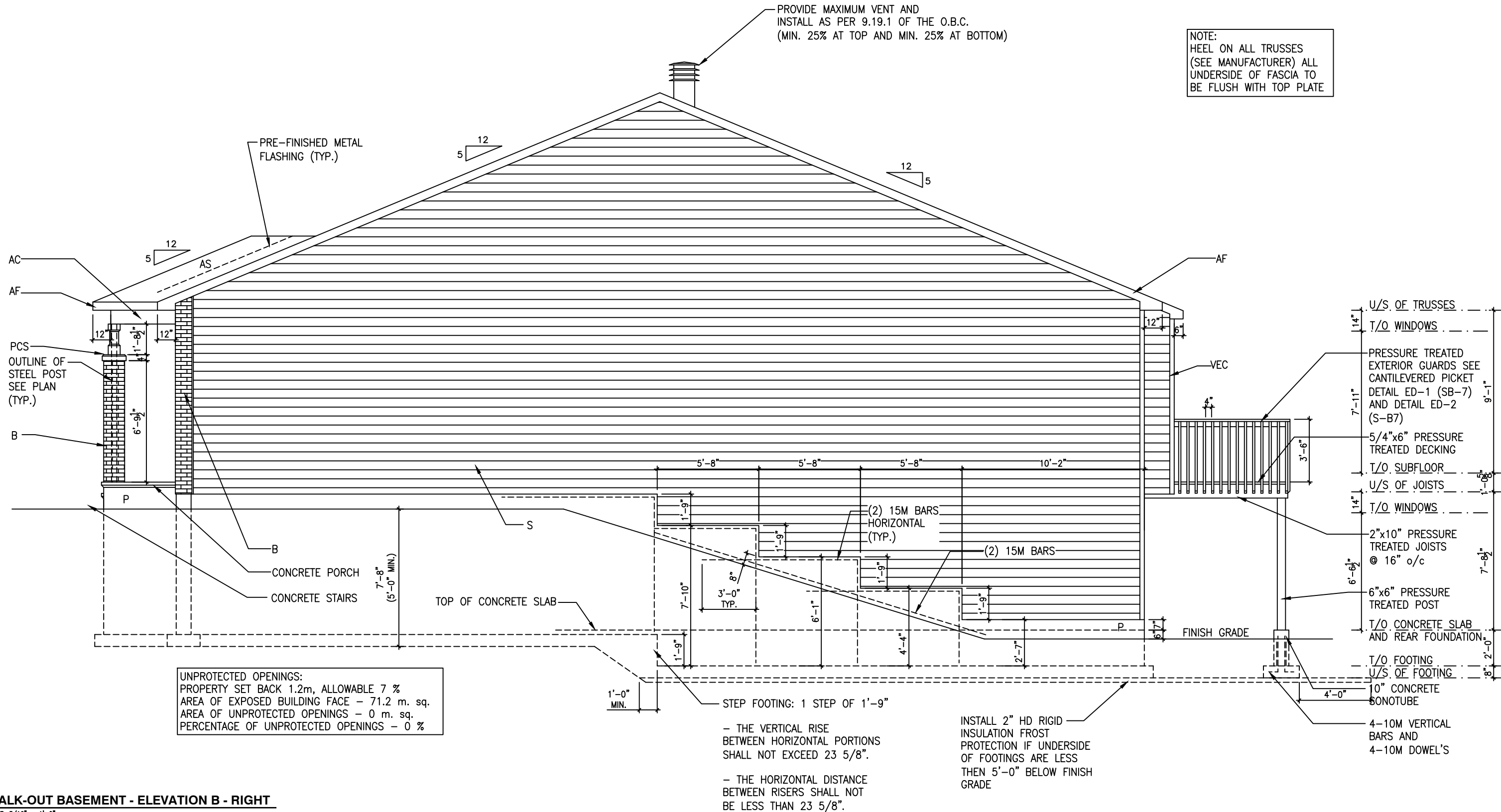
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1016 - THE McCABE
2018 FOOTPRINT
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SHEET:

A2b



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Valecraft
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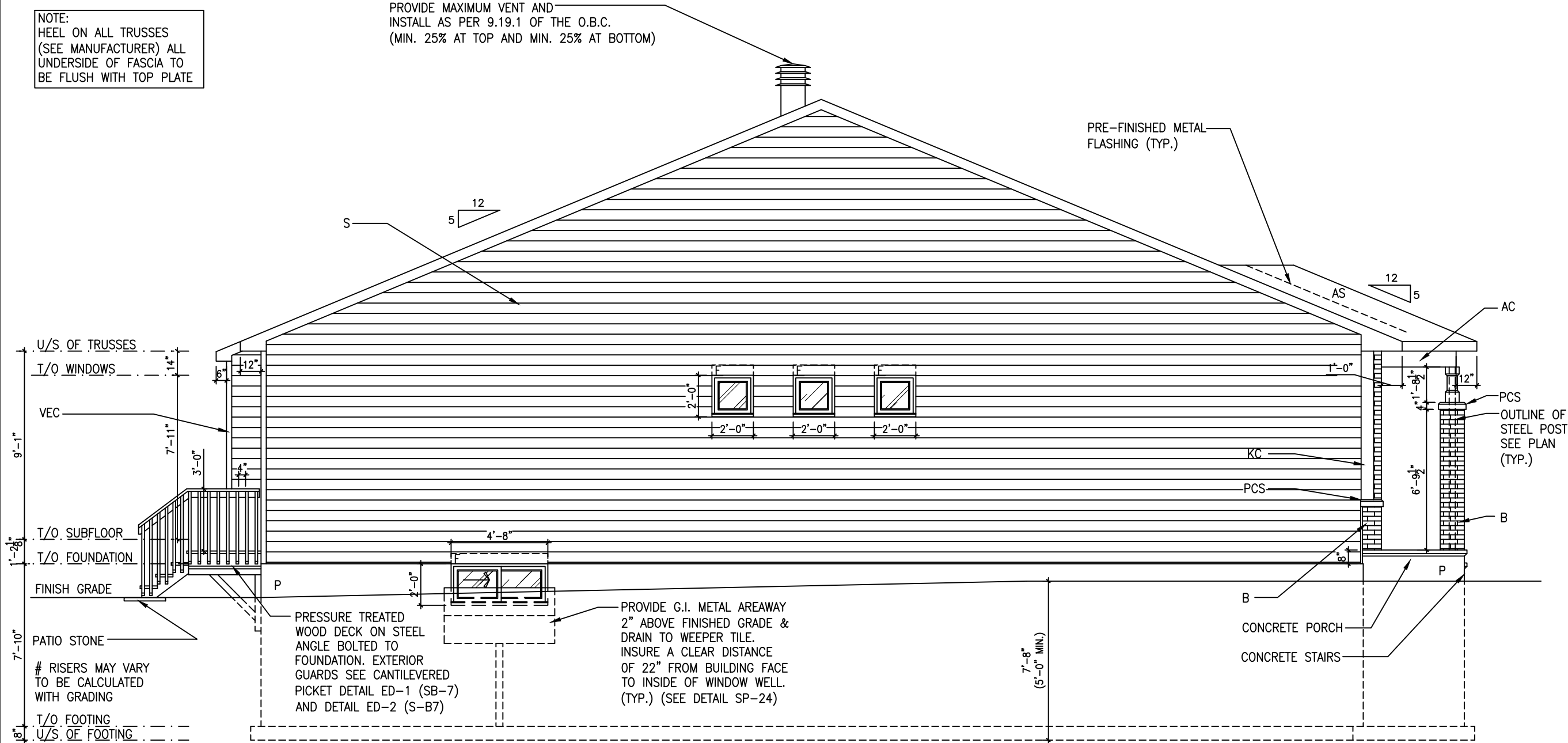
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- AF - ALUMINUM FASCIA
- AC - ALUMINUM CLADDING
- AB - 48" ALUMINUM BAND
- AS - ASPHALT SHINGLES
- F - FLASHING
- V - ROOF VENT (MAXIMUM)
- P - PARGING
- PC - PARGING
- PCH10 - PRECAST HEADER 10"
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- VS - VINYL SHAKES
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

ELEVATION B - LEFT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A3b

PROVIDE MAXIMUM VENT AND _____
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

PRE-FINISHED METAL
FLASHING (TYP.)

U/S. OF TRUSSES
 T/O WINDOWS
 9'-1"
 PRESSURE TREATED
 EXTERIOR GUARDS SEE
 CANTILEVERED PICKET
 DETAIL ED-1 (SB-7)
 AND DETAIL ED-2
 (S-B7)
 5/4"x6" PRESSURE
 TREATED DECKING
 T/O SUBFLOOR
 U/S. OF JOISTS
 T/O WINDOWS
 7'-6 1/2"
 2"x10" PRESSURE
 TREATED JOISTS
 @ 16" o/c
 6"x6" PRESSURE
 TREATED POST
 T/O CONCRETE SLAB
 AND REAR FOUNDATION
 T/O FOOTING
 U/S. OF FOOTING
 8" 2'-0"
 10" CONCRETE
 SONOTUBE
 4'-0"
 4-10M VERTICAL
 BARS AND
 4-10M DOWEL'S

VEC

FINISH GRADE

INSTALL 2" HD RIGID
INSULATION FROST
PROTECTION IF UNDERSIDE
OF FOOTINGS ARE LESS
THEN 5'-0" BELOW FINISH
GRADE

STEP FOOTING: 1 STEP OF 1'-9"

— THE VERTICAL RISE
BETWEEN HORIZONTAL PORTIONS
SHALL NOT EXCEED 23 5/8".

– THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL NOT BE LESS THAN 23 5/8".

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE – 71.2 m. sq.
AREA OF UNPROTECTED OPENINGS – 1.11 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS – 1.55 %

WALK-OUT BASEMENT - ELEVATION B - LEFT

SCALE: $3/16" = 1'-0"$

LOT: _____ **XXXX**
DATE: _____ **XX/XX/XXXX**



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I, MARC-ANDRE DECOEUR, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARION REGISTRATION NUMBER #611

**** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ****

REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

EXTERIOR FINISH LEGEND:

- B - BRICK (MAIN)
B1 - BRICK SOLDIER COURSE (ACCENT)
B2 - BRICK SOLDIER COURSE (ACCENT)
+ 20mm PROUD
B3 - BRICK SLEEPER COURSE
B4 - STACK BOND (ACCENT)
B5 - BRICK SILL (ACCENT)
B6 - BRICK ROW LOCK (ACCENT)
B7 - BRICK CORBELING
B8 - BRICK COINING 20mm PROUD
+20 - BRICK 20mm PROUD
-20 - BRICK 20mm RECESSED

- S - SIDING (HORIZONTAL)
ST - STONE VENEER
T - TRIM 200mm COVE SIDING
AF - ALUMINUM FASCIA
AC - ALUMINUM CLADDING
AB - 48" ALUMINUM BAND
AS - ASPHALT SHINGLES
F - FLASHING
V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING
PCH10 - PRECAST HEADER 10"

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2012 O.B.C. DRAWINGS		
DRAWING: WALK-OUT BASEMENT ELEVATION B - LEFT		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
1016 - THE McCABE 2018 FOOTPRINT (STANDARD DRAWINGS)		SHEET: A3b

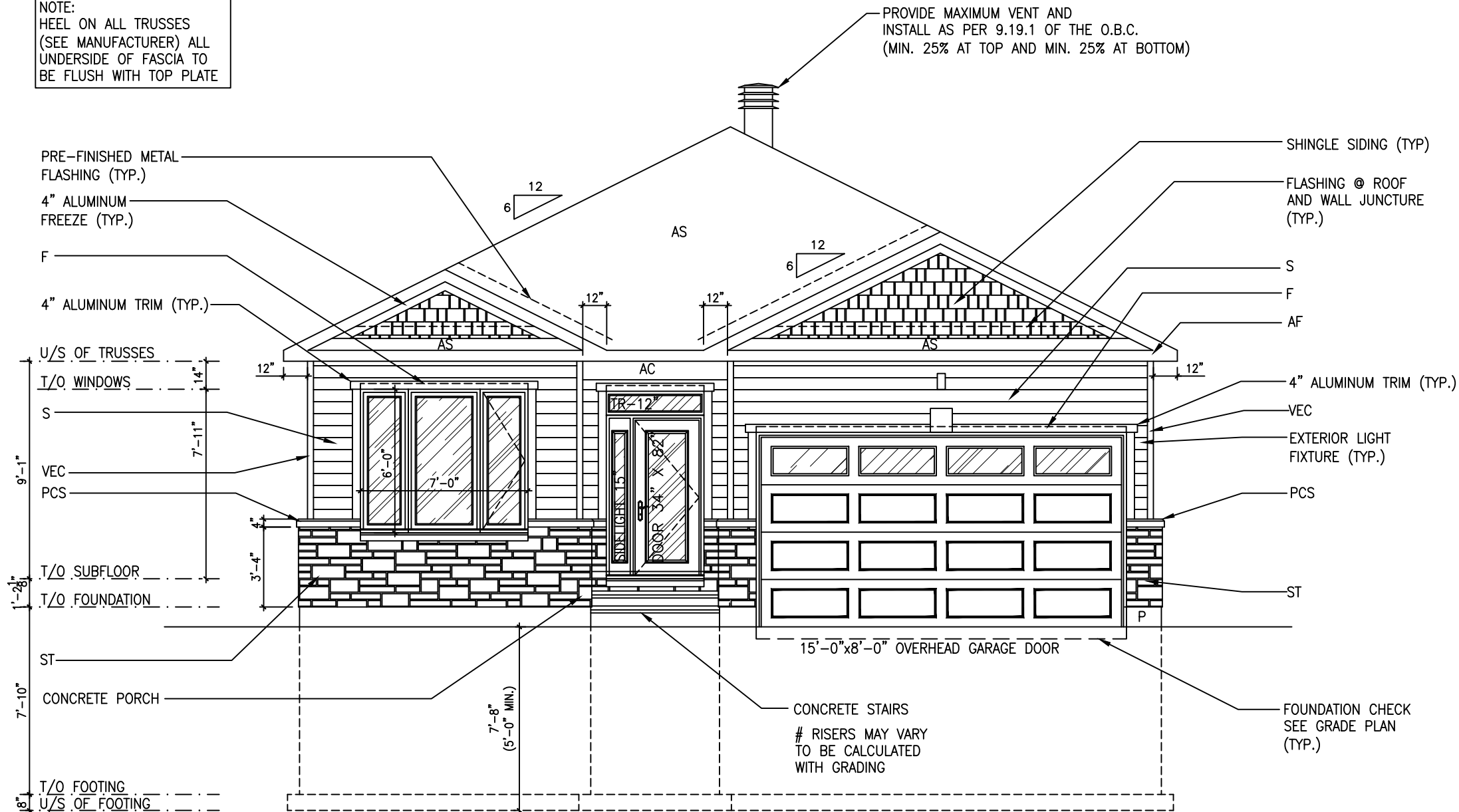
STANDARD PLAN:

GROSS INSULATED = 192.95 M. SQ.
WALL AREA

GROSS WINDOW = 18.76 M. SQ.
AREA

PERCENT GLASS TO WALL AREA = 9.72%

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



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2012 O.B.C. DRAWINGS

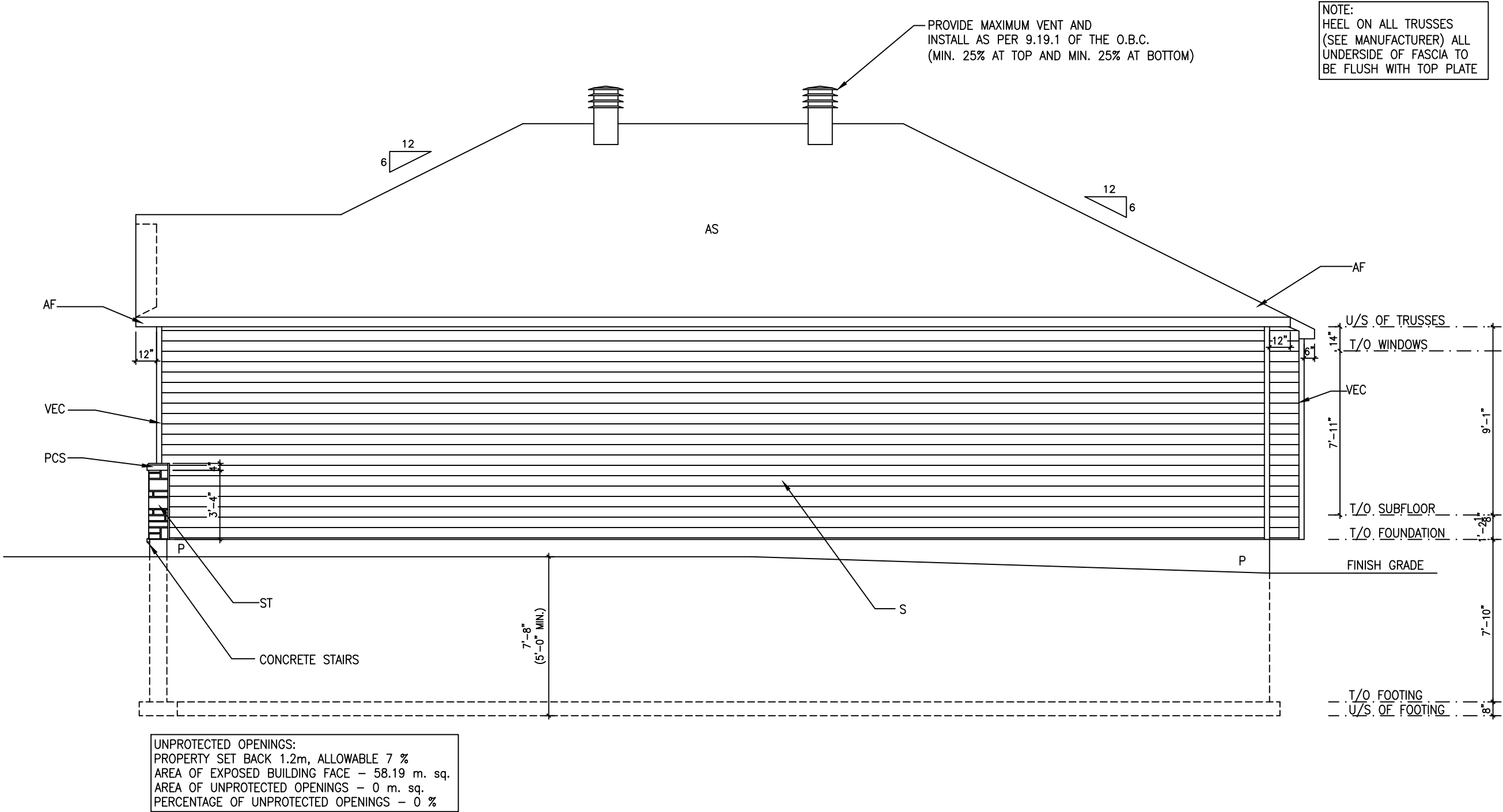
REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON		

ELEVATION C - FRONT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A1c



ELEVATION C - RIGHT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING:

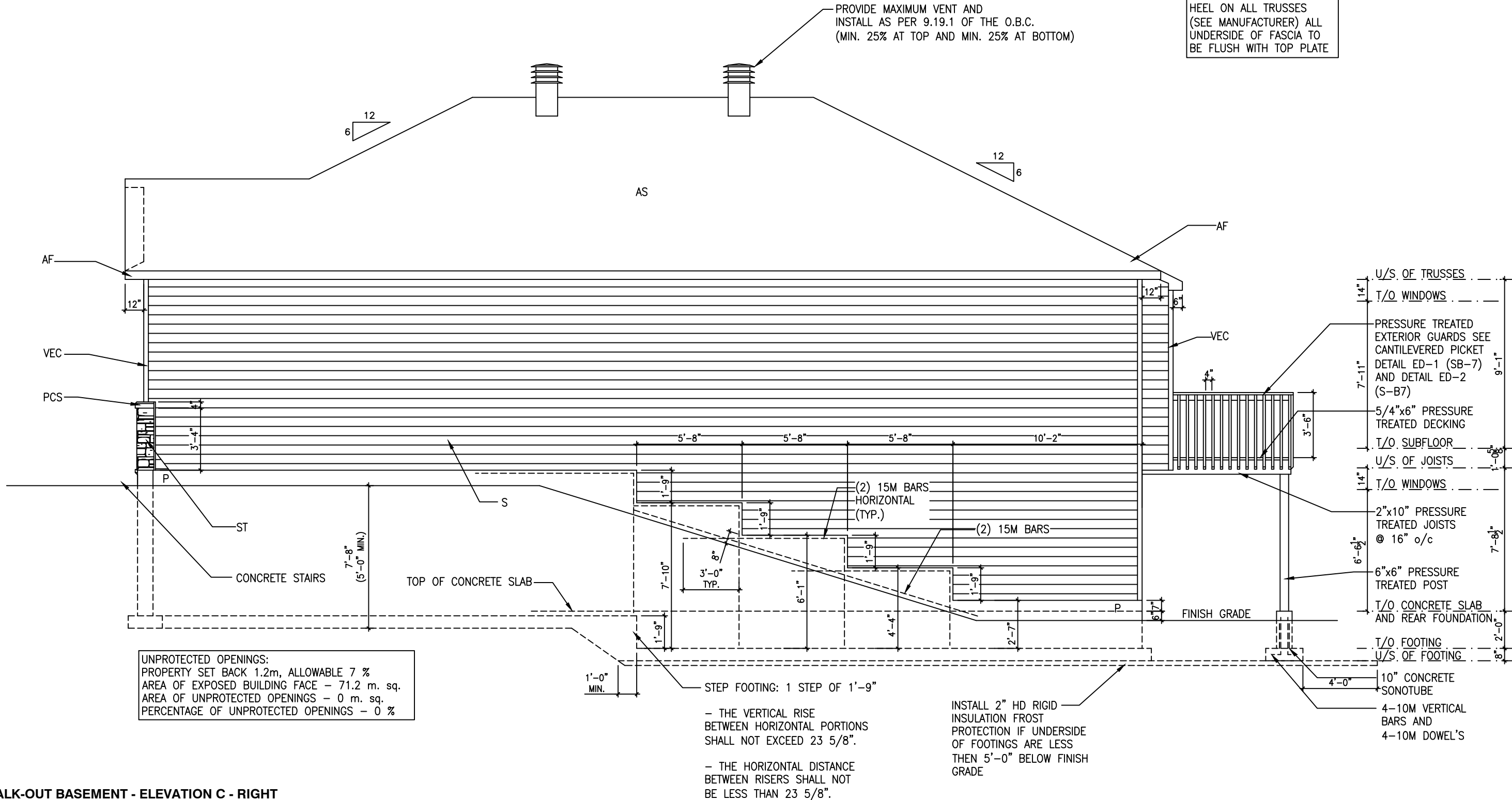
ELEVATION C - RIGHT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A2c



WALK-OUT BASEMENT - ELEVATION C - RIGHT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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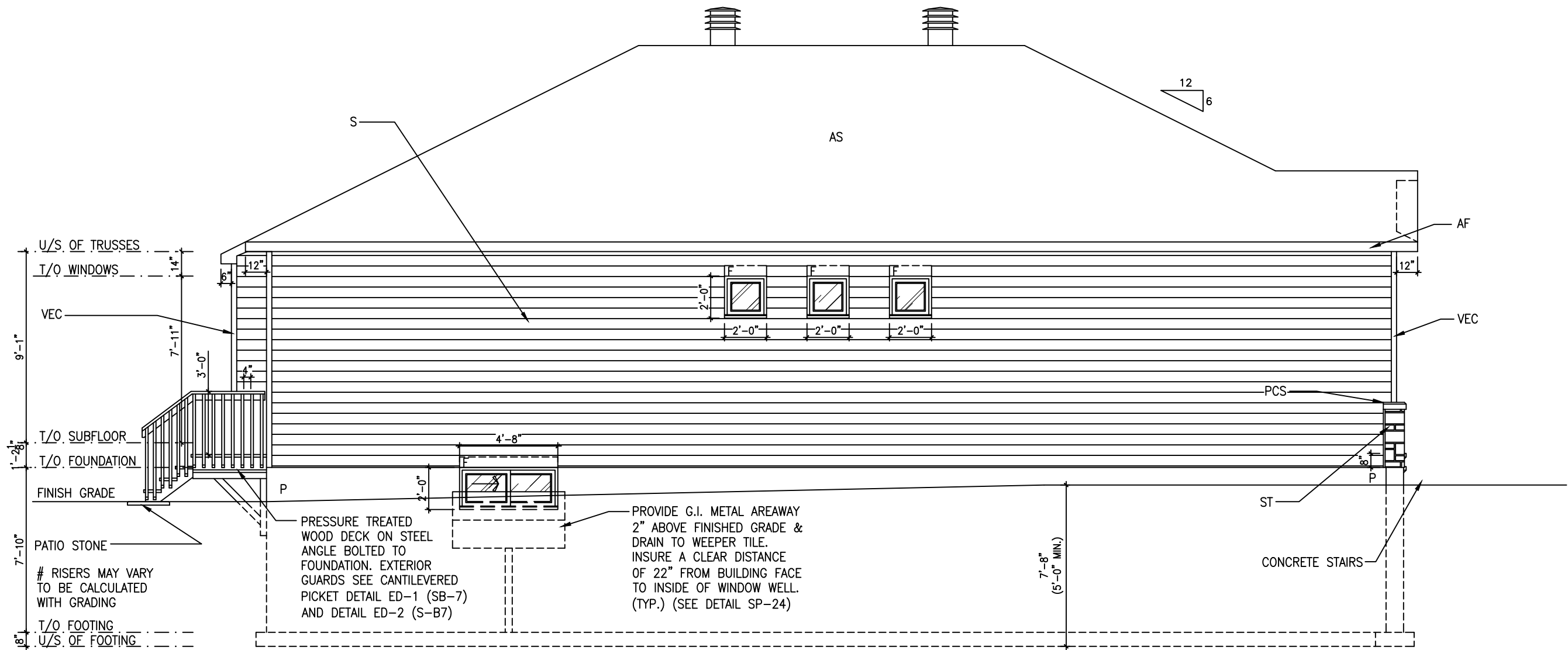
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B7	- BRICK CORRELLING	F	- FLASHING
B8	- BRICK CORNING 20mm PROUD	V	- ROOF VENT (MAXIMUM)
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2012 O.B.C. DRAWINGS		
DRAWING:	WALK-OUT BASEMENT ELEVATION C -RIGHT	
ADDRESS:	XX	SCALE: 3/16" = 1'-0"
DATE:	XX/XX/XXXX	
1016 - THE McCABE 2018 FOOTPRINT		SHEET: A2c
(STANDARD DRAWINGS)		

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE



UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 58.6 m. sq.
AREA OF UNPROTECTED OPENINGS - 1.6 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 2.73 %

ELEVATION C - LEFT
SCALE: 3/16" = 1'-0"

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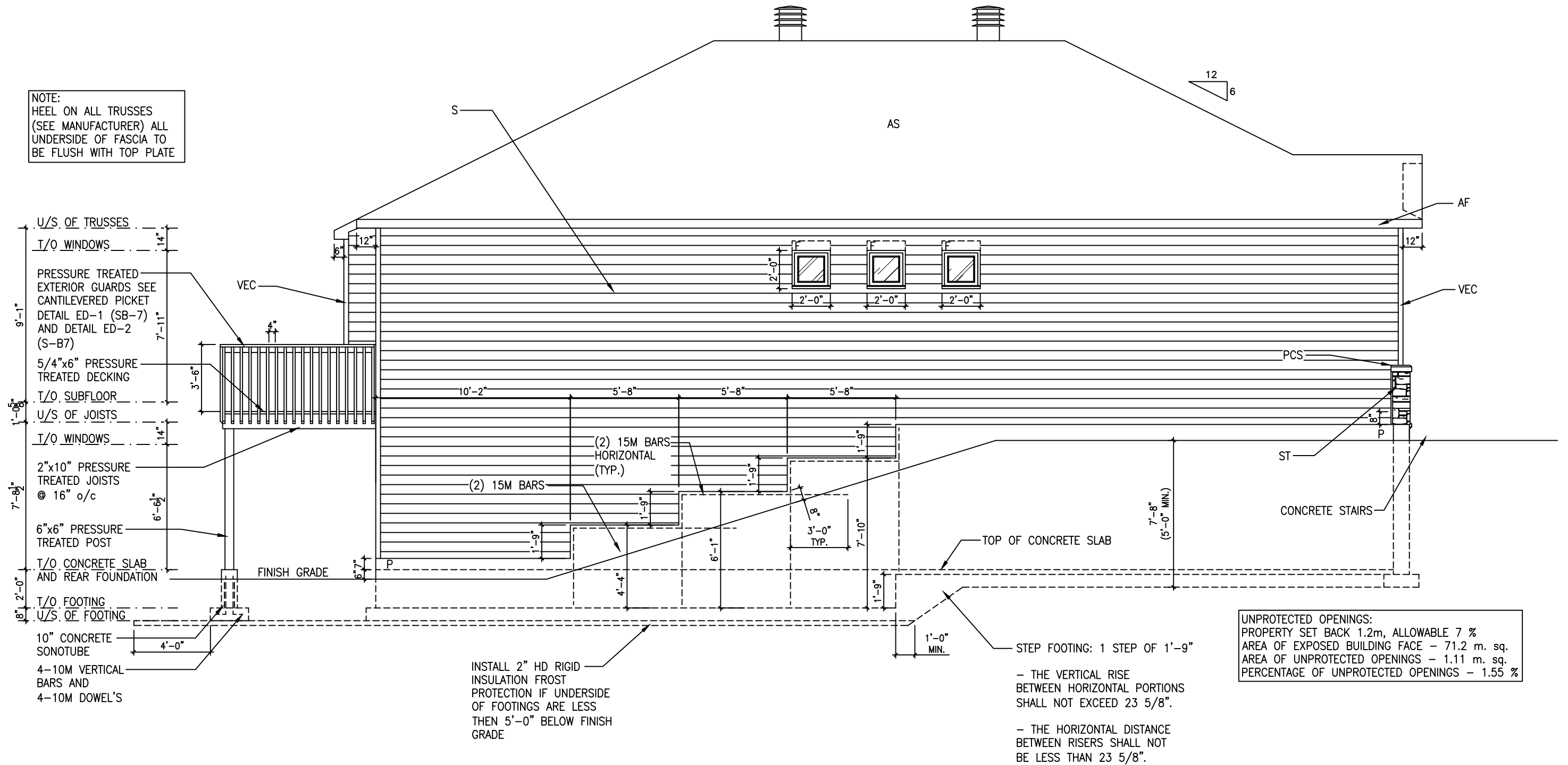
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2012 O.B.C. DRAWINGS			
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NO.	DESCRIPTION	DATE	BY
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ADDRESS: XX		SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
1016 - THE McCABE		SHEET: A3c	
2018 FOOTPRINT		(STANDARD DRAWINGS)	

NOTE:
HEEL ON ALL TRUSSES
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WALK-OUT BASEMENT - ELEVATION C - LEFT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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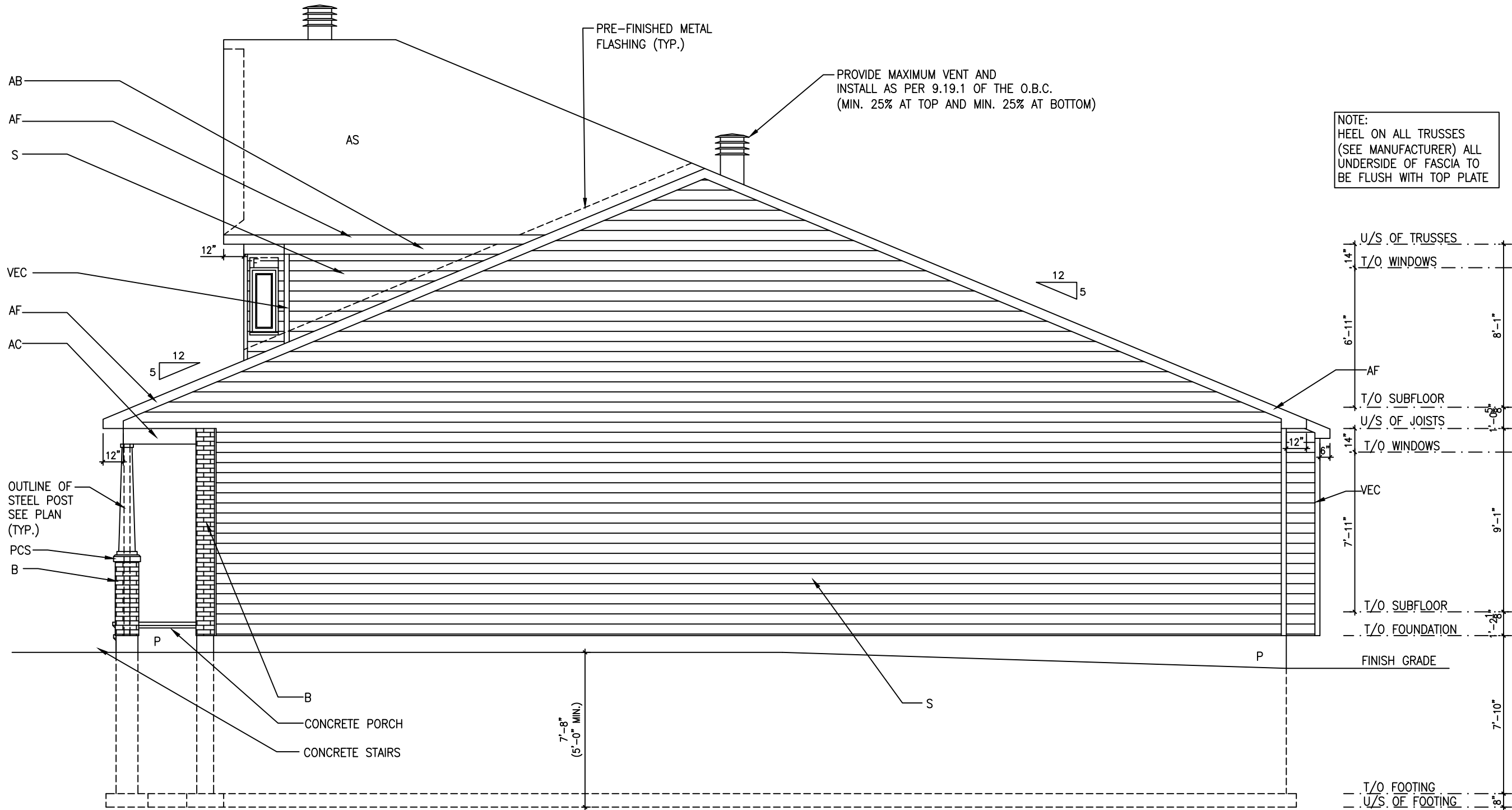
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1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A3c



UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 61.89 m. sq.
AREA OF UNPROTECTED OPENINGS - 0.6 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 0.96 %

NOTE:
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(SEE MANUFACTURER) ALL
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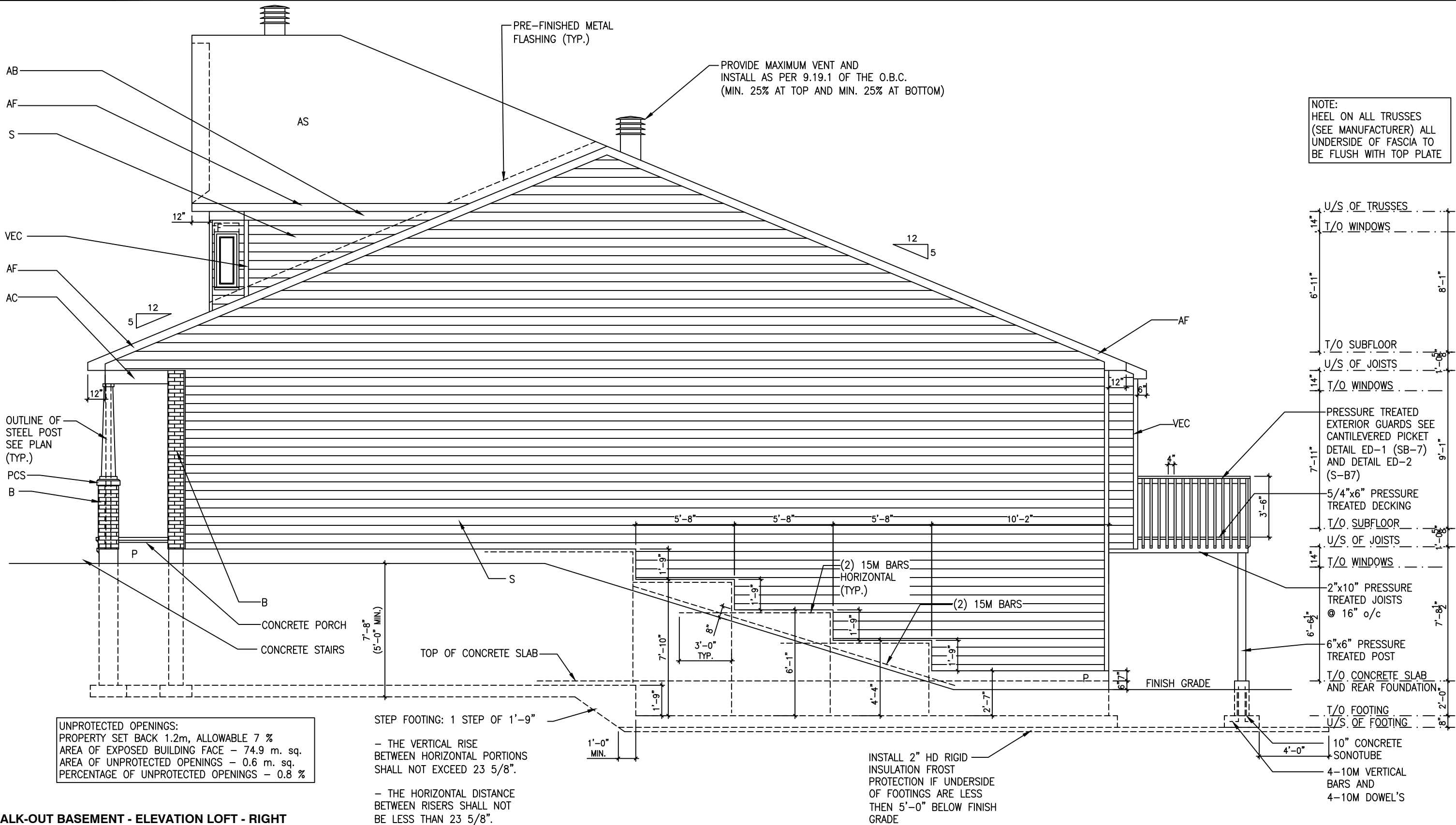
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NO.	DESCRIPTION	DATE	BY

ELEVATION LOFT - RIGHT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A2d



WALK-OUT BASEMENT - ELEVATION LOFT - RIGHT

SCALE: 3/16" = 1'-0"

LOT: XXXX
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I, MARC-ANDRE DECOEUR, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #44555
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

REV-1	NO.	DESCRIPTION	DATE	BY
NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON		

EXTERIOR FINISH LEGEND:

B - BRICK (MAIN)
B1 - BRICK SOLDIER COURSE (ACCENT)
B2 - BRICK SOLDIER COURSE (ACCENT) + 20mm PROUD
B3 - BRICK SLEEPER COURSE
B4 - STACK BOND (ACCENT)
B5 - BRICK SILL (ACCENT)
B6 - BRICK ROW LOCK (ACCENT)
B7 - BRICK CORRELLING
B8 - BRICK CORNING 20mm PROUD
+20 - BRICK 20mm PROUD
-20 - BRICK 20mm RECESSED
S - SIDING (HORIZONTAL)
ST - STONE VENEER
T - TRIM 200mm COVE SIDING
AF - ALUMINUM FASCIA
AC - ALUMINUM CLADDING
AB - 48" ALUMINUM BAND
AS - ASPHALT SHINGLES
F - FLASHING
V - ROOF VENT (MAXIMUM)
P - PARGING
PC - PARGING
PCH10 - PRECAST HEADER 10"

PCH8 - PRECAST HEADER 8"
PCS - PRECAST SILL
PCB - PRECAST BAND
VS - VINYL SHAKES
VEC - SIDING (VERTICAL CORNER)

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

U/S OF TRUSSES . . . 14"
T/O WINDOWS . . . 6'-11"
T/O SUBFLOOR . . . 6'-11"
U/S OF JOISTS . . . 14"
T/O WINDOWS . . . 6'-11"
PRESSURE TREATED EXTERIOR GUARDS SEE CANTILEVERED PICKET DETAIL ED-1 (SB-7) AND DETAIL ED-2 (S-B7)
5/4"x6" PRESSURE TREATED DECKING
T/O SUBFLOOR . . . 6'-11"
U/S OF JOISTS . . . 14"
T/O WINDOWS . . . 6'-11"
2"x10" PRESSURE TREATED JOISTS @ 16" o/c
6"x6" PRESSURE TREATED POST
T/O CONCRETE SLAB AND REAR FOUNDATION . . . 6'-11"
T/O FOOTING . . . 6'-11"
U/S OF FOOTING . . . 6'-11"
10" CONCRETE SONOTUBE
4-10M VERTICAL BARS AND 4-10M DOWEL'S

2012 O.B.C. DRAWINGS
DRAWING: WALK-OUT BASEMENT ELEVATION LOFT - RIGHT
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX
1016 - THE McCABE 2018 FOOTPRINT (STANDARD DRAWINGS)
SHEET: A2d

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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 - B5 - BRICK SILL (ACCENT)
 - B6 - BRICK ROW LOCK (ACCENT)
 - B7 - BRICK CORBELLING
 - B8 - BRICK CORNING 20mm PROUD
 - +20 - BRICK 20mm PROUD
 - 20 - BRICK 20mm RECESSED
 - S - SIDING (HORIZONTAL)
 - ST - STONE VENEER
 - T - TRIM 200mm COVE SIDING
 - AF - ALUMINUM FASCIA
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 - AS - ASPHALT SHINGLES
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 - VS - VINYL SHAKES
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2012 O.B.C. DRAWINGS

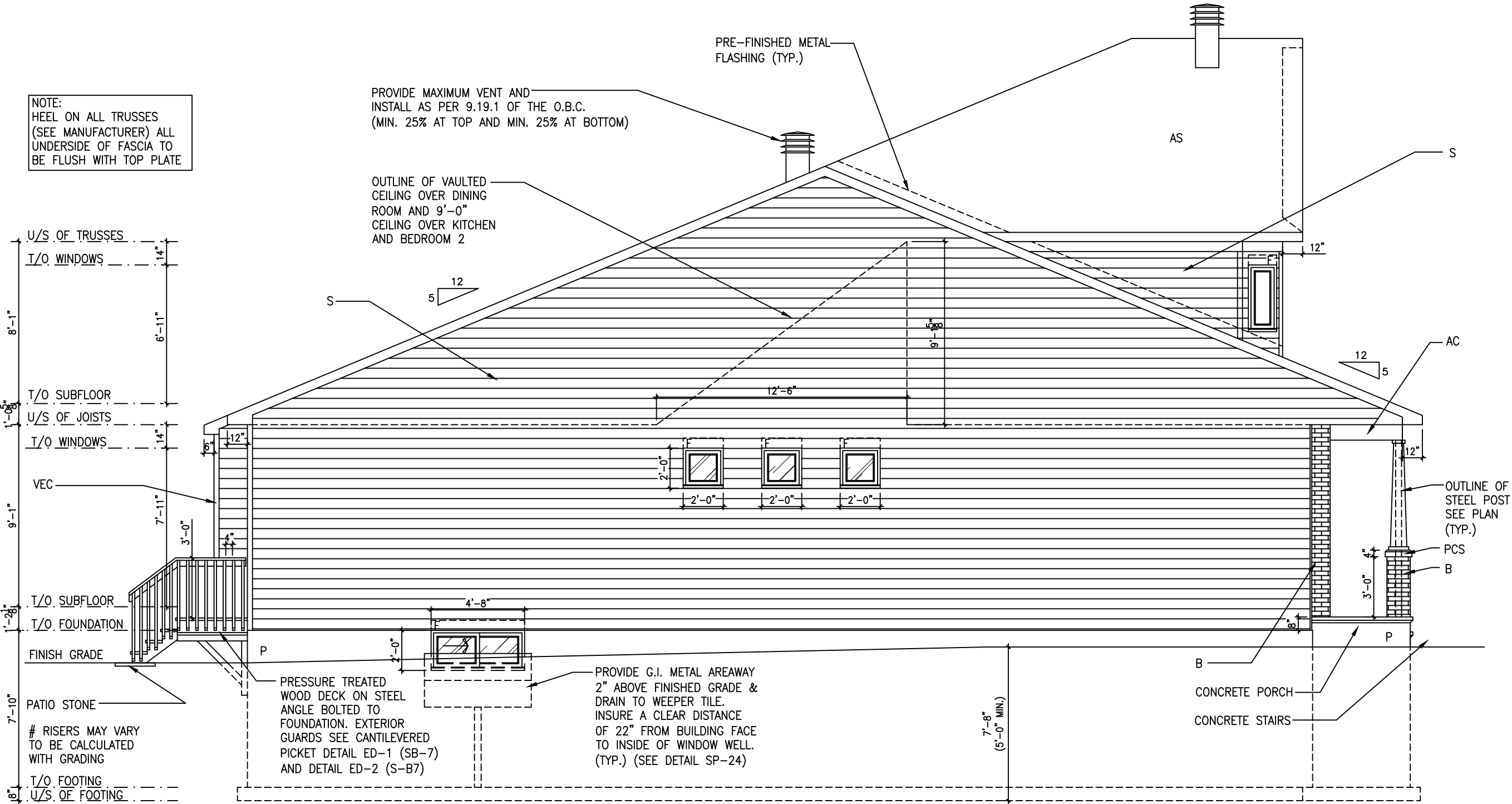
REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: ELEVATION LOFT - LEFT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A3d



NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

PROVIDE MAXIMUM VENT AND
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

OUTLINE OF VAULTED
CEILING OVER DINING
ROOM AND 9'-0"
CEILING OVER KITCHEN
AND BEDROOM 2

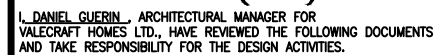
PRESSURE TREATED
WOOD DECK ON STEEL
ANGLE BOLTED TO
FOUNDATION. EXTERIOR
GUARDS SEE CANTILEVERED
PICKET DETAIL ED-1 (SB-7)
AND DETAIL ED-2 (S-B7)

PROVIDE G.I. METAL AREAWAY
2" ABOVE FINISHED GRADE &
DRAIN TO WEEPER TILE.
INSURE A CLEAR DISTANCE
OF 22" FROM BUILDING FACE
TO INSIDE OF WINDOW WELL.
(TYP.) (SEE DETAIL SP-24)

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 62.3 m. sq.
AREA OF UNPROTECTED OPENINGS - 2.2 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 3.53 %

ELEVATION LOFT - LEFT
SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX



- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

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- B1 - BRICK SOLDIER COURSE (ACCENT)
- B2 - BRICK SOLDIER COURSE (ACCENT)
20mm PROUD
- B3 - BRICK SLEEPER COURSE
- B4 - STACK BAND (ACCENT)
- B5 - BRICK SILL (ACCENT)
- B6 - BRICK ROW LOCK (ACCENT)
- B7 - BRICK CORRELLING
- B8 - BRICK COMING 20mm PROUD
- +20 - BRICK 20mm PROUD
- +20 - BRICK 20mm RECESSED
- S - SIDING (HORIZONTAL)
- ST - STONE VENEER
- T - TRIM 200mm COVE SIDING
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- AS - ASPHALT SHINGLES
- F - FLASHING
- V - DRAIN VENT (MAXIMUM)
- P - PAVING
- PC - PAVING
- PC10 - PRECAST HEADER 10"
- PC8 - PRECAST HEADER 8"
- PCS - PRECAST SILL
- PCB - PRECAST BAND
- VS - VINYL SHAKES
- VEC - VENT (VERTICAL CORNER)

REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYO
NO.	DESCRIPTION	DATE	BY

DRAWING:

ELEVATION A-B - REAR

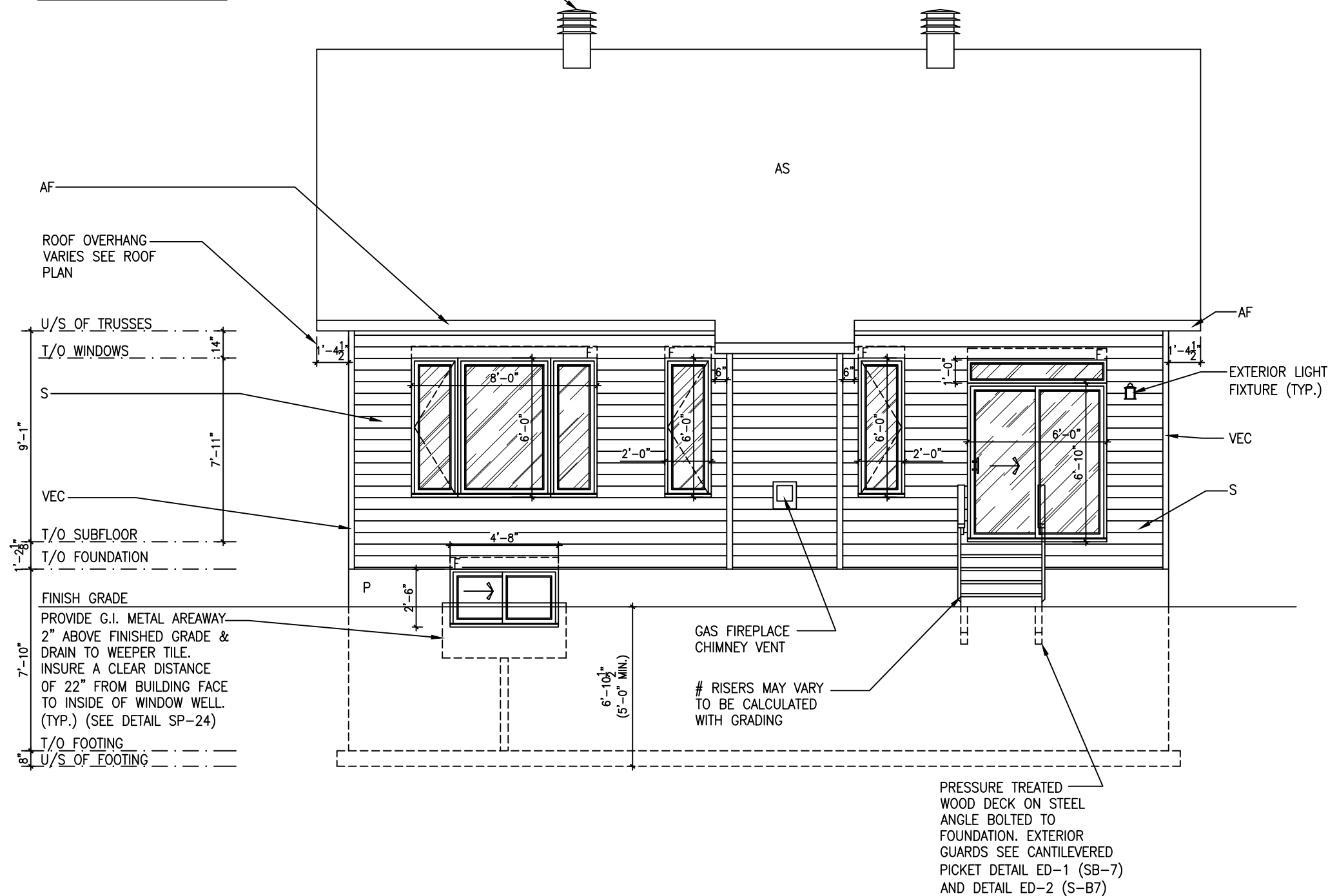
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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1016 - THE McCABE 2018 FOOTPRINT

SHEET:
A4a

PROVIDE MAXIMUM VENT AND _____
INSTALL AS PER 9.19.1 OF THE O.B.C.
(MIN. 25% AT TOP AND MIN. 25% AT BOTTOM)

NOTE:
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(SEE MANUFACTURER) ALL
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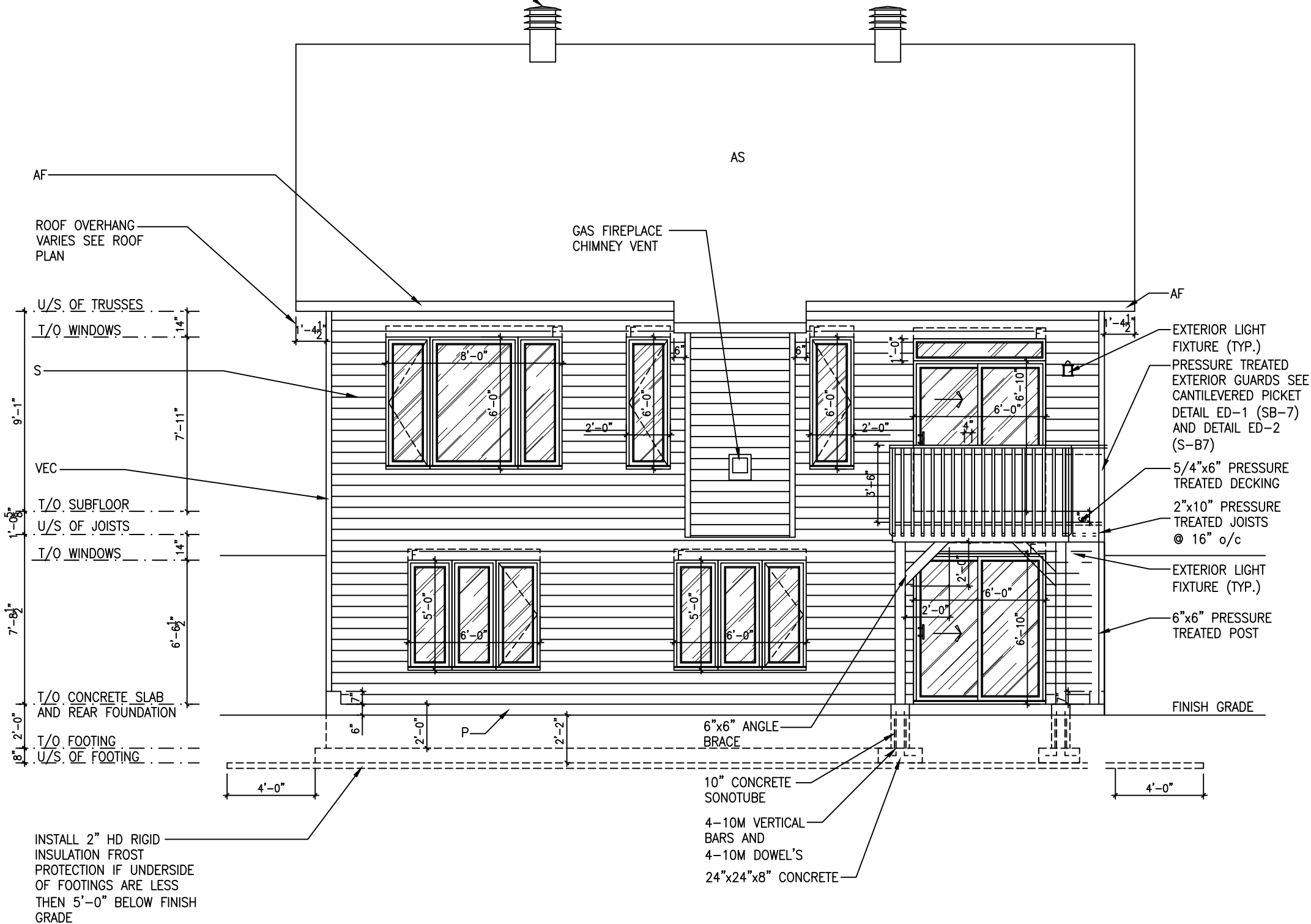


ELEVATION A-B - REAR

SCALE: $3/16" = 1'-0"$

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- PERSONAL BCIN #19896
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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: WALK-OUT BASEMENT
ELEVATION A-B - REAR

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

ELEVATION C - REAR

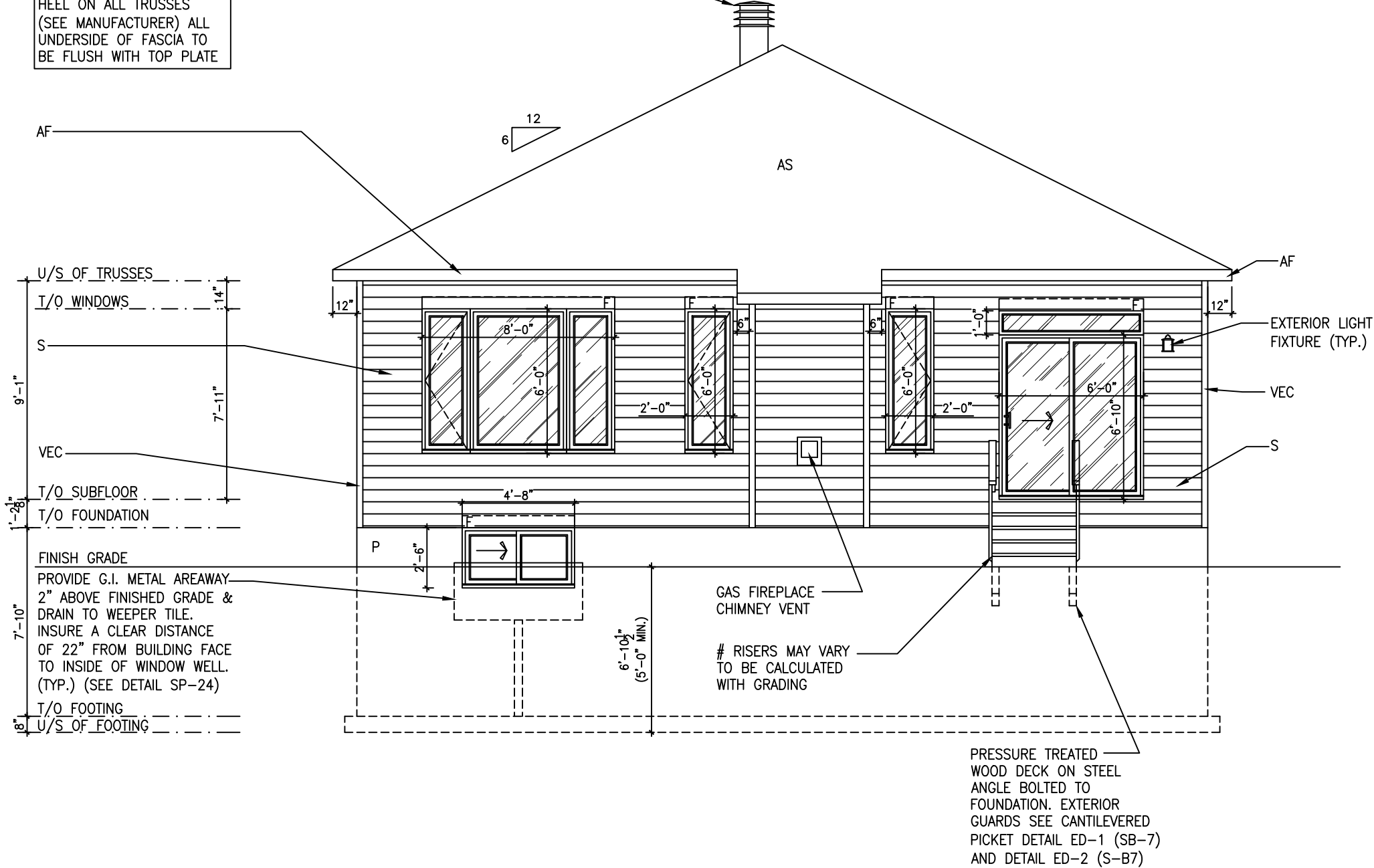
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A4b

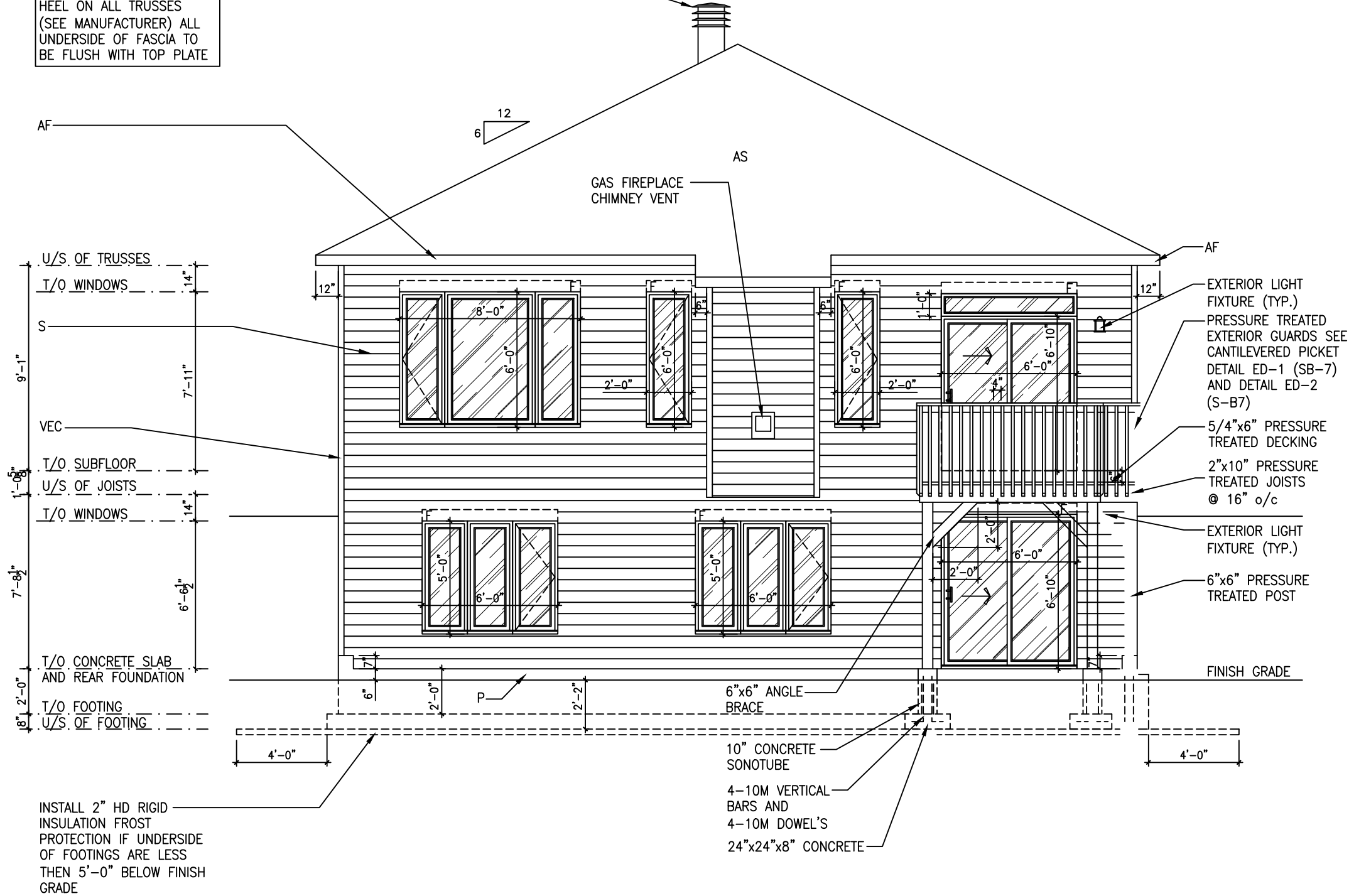
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NOTE:
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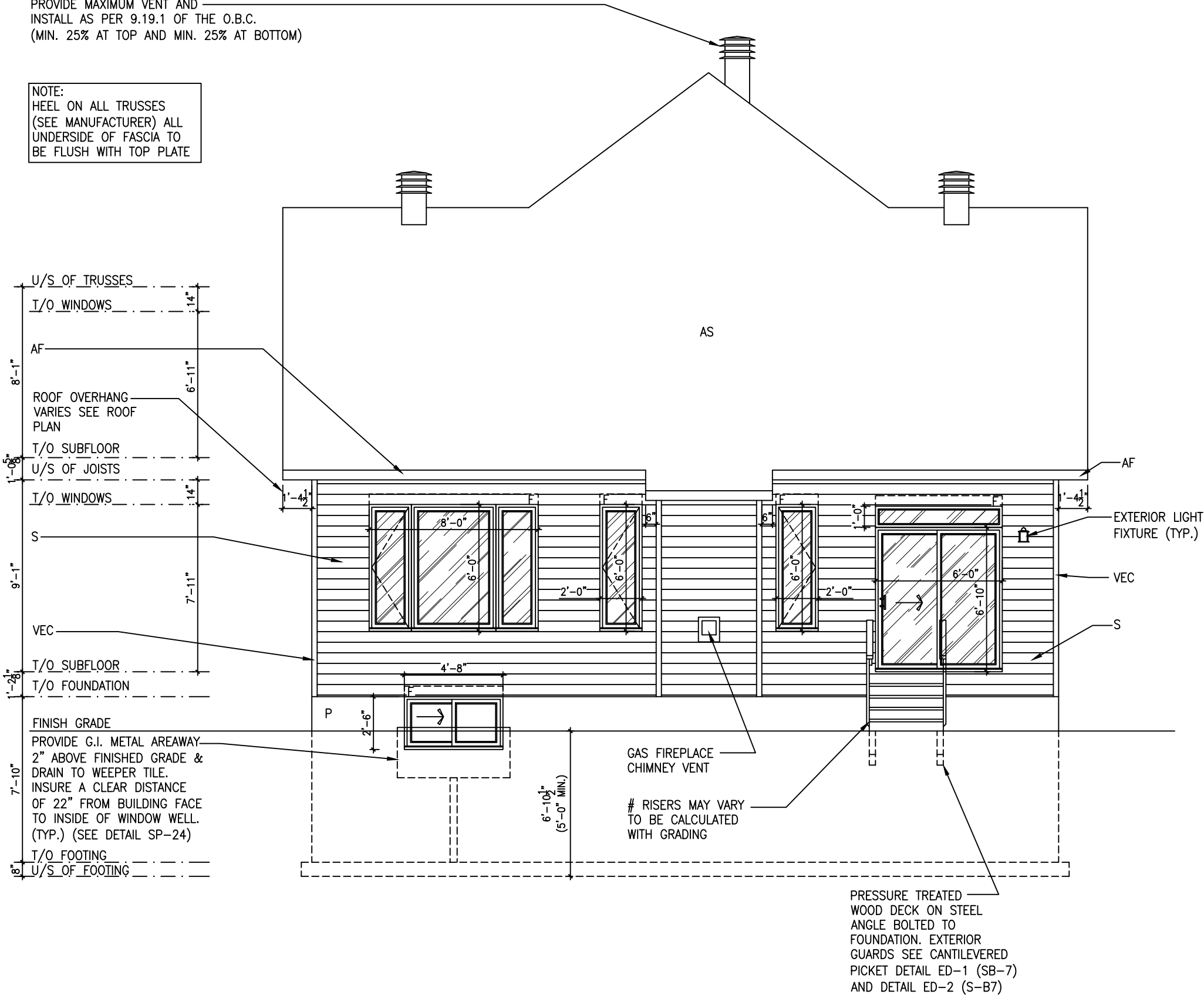
REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: WALK-OUT BASEMENT
ELEVATION C - REAR

ADDRESS:	SCALE:	DATE:
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ELEVATION LOFT - REAR
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	DATE	BY

DRAWING:

ELEVATION LOFT - REAR

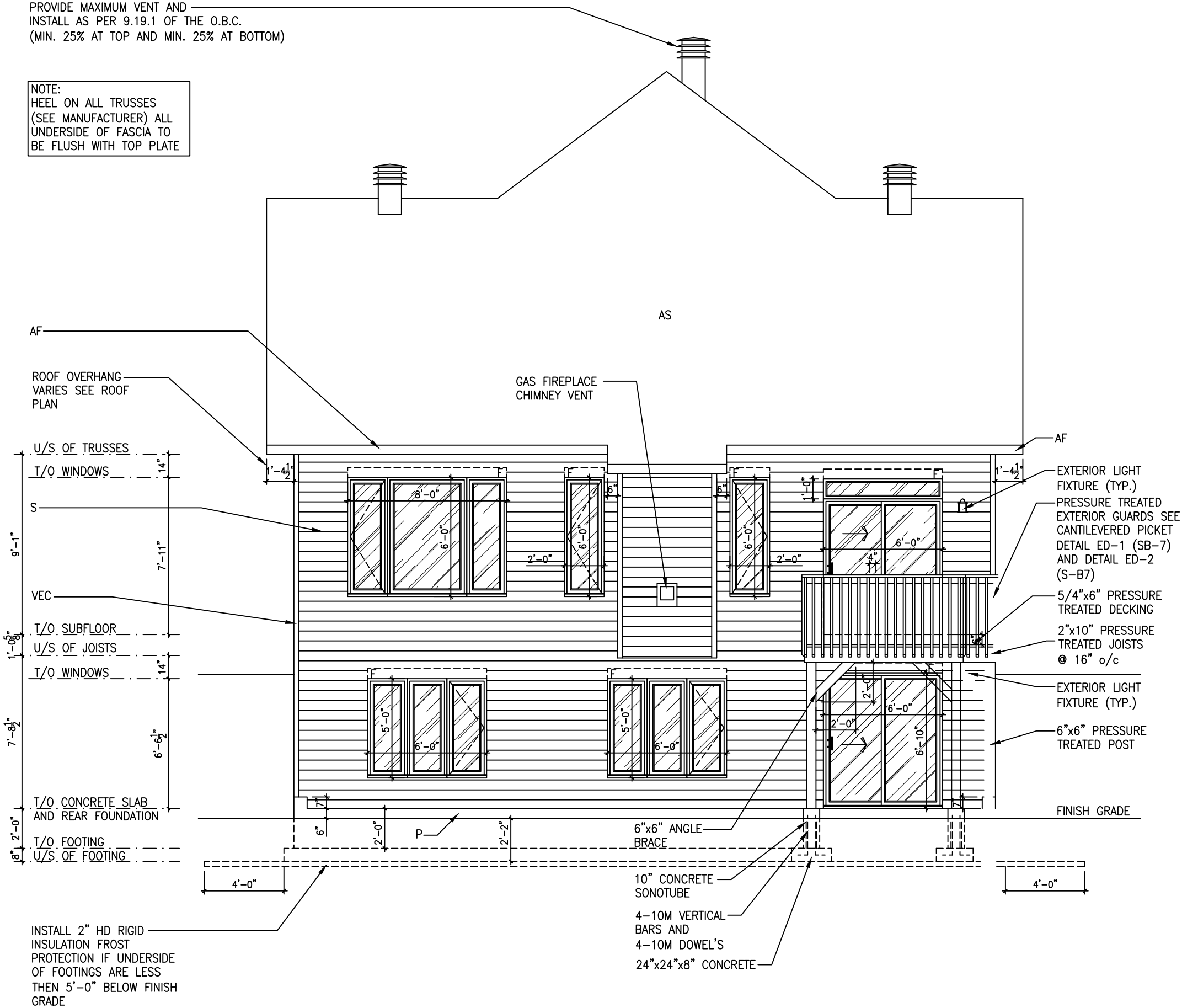
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A4c

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 - B3 - BRICK SLEEPER COURSE
 - B4 - STACK BOND (ACCENT)
 - B5 - BRICK SILL (ACCENT)
 - B6 - BRICK ROW LOCK (ACCENT)
 - B7 - BRICK CORBELLING
 - B8 - BRICK CORNING 20mm PROUD
 - +20 - BRICK 20mm PROUD
 - 20 - BRICK 20mm RECESSED
 - S - SIDING (HORIZONTAL)
 - ST - STONE VENEER
 - T - TRIM 200mm COVE SIDING
 - AF - ALUMINUM FASCIA
 - AC - ALUMINUM CLADDING
 - AB - 48" ALUMINUM BAND
 - AS - ASPHALT SHINGLES
 - F - FLASHING
 - V - ROOF VENT (MAXIMUM)
 - P - PARGING
 - PC - PRECAST
 - PCH10 - PRECAST HEADER 10"
 - PCH8 - PRECAST HEADER 8"
 - PCS - PRECAST SILL
 - PCB - PRECAST BAND
 - VS - VINYL SHAKES
 - VEC - SIDING (VERTICAL CORNER)

2012 O.B.C. DRAWINGS

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON

DRAWING: WALK-OUT BASEMENT
ELEVATION LOFT - REAR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

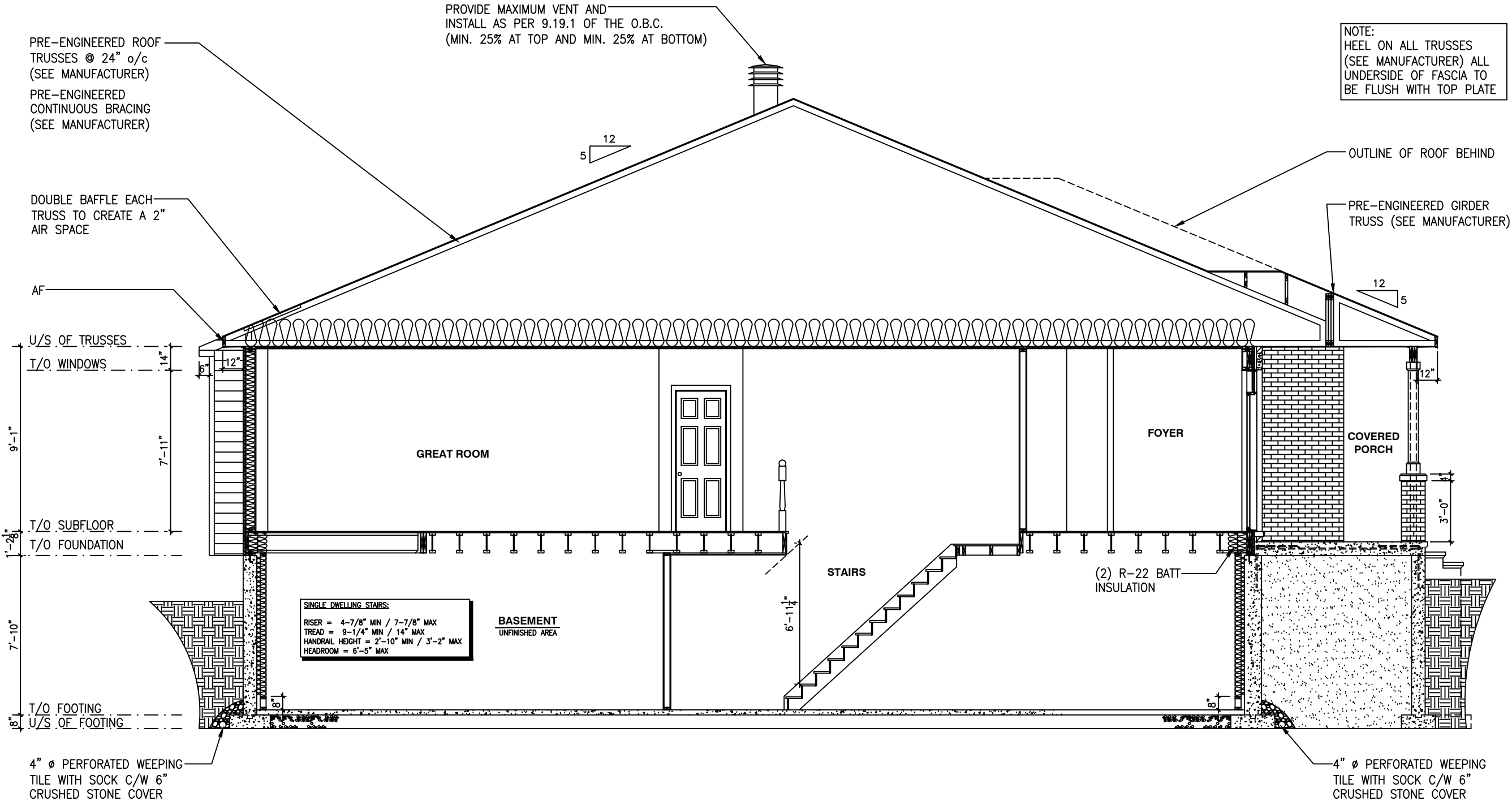
REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: BUILDING SECTION
ELEVATION A

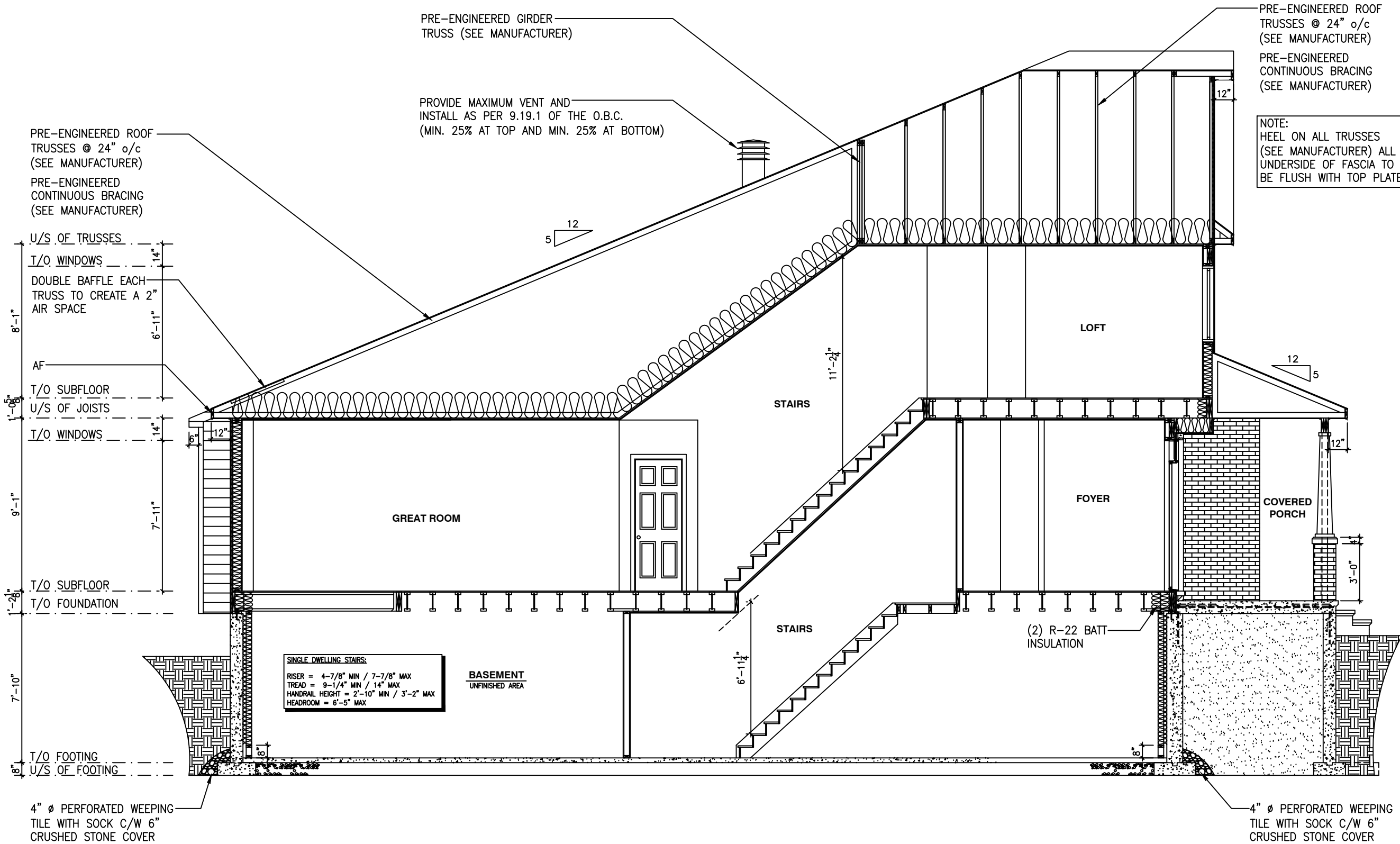
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A5a



BUILDING SECTION - ELEVATION A
SCALE: 3/16" = 1'-0"



BUILDING SECTION - ELEVATION LOFT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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2012 O.B.C. DRAWINGS			
NO.	DESCRIPTION	DATE	BY

REV-1

NEW STANDARD DRWG MODIFICATION

20/06/2018

DOYON

DRAWING: **BUILDING SECTION ELEVATION LOFT**

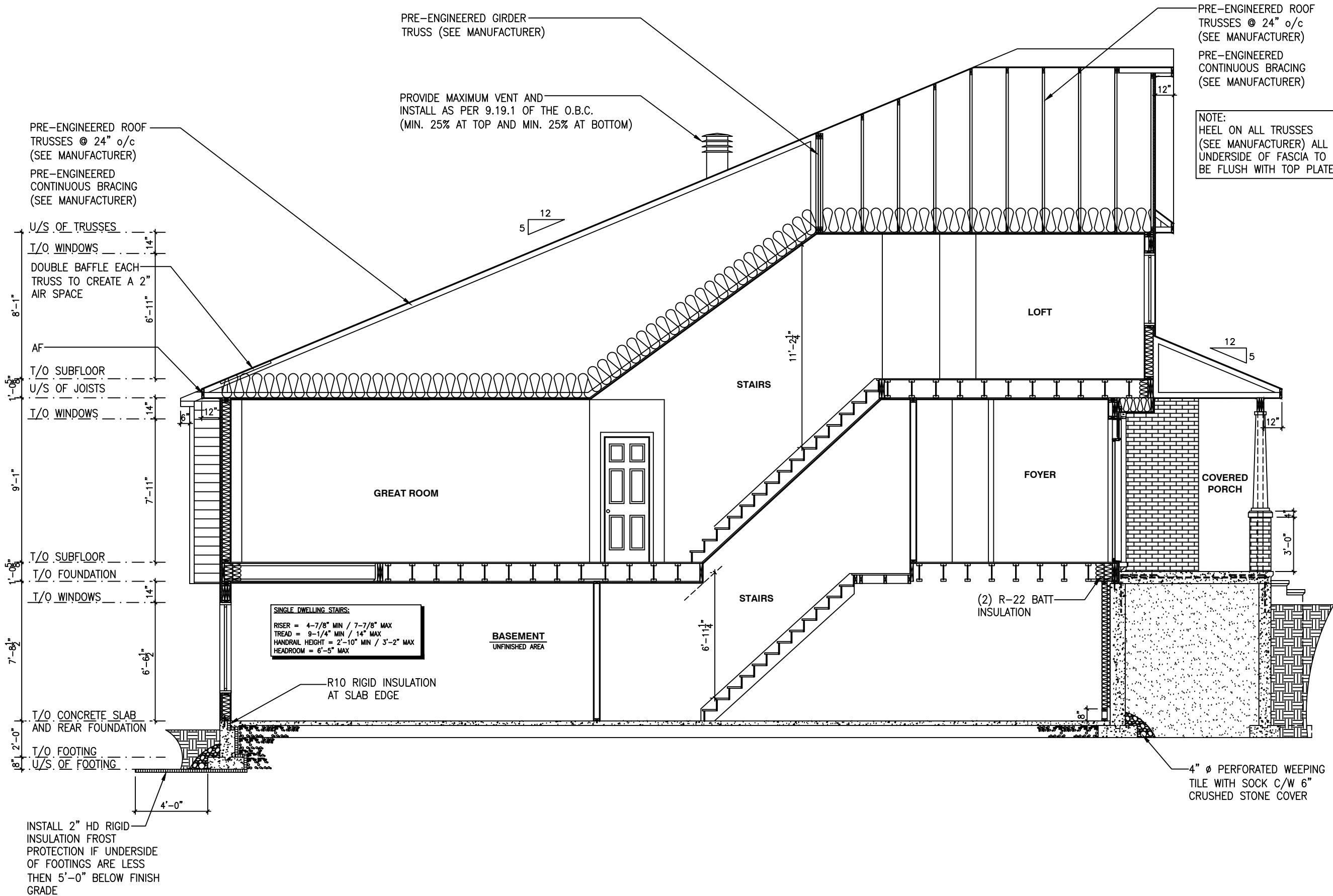
ADDRESS: XX

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

A5b



WALK-OUT BASEMENT - BUILDING SECTION - ELEVATION LOFT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-1	NEW STANDARD DRWG MODIFICATION	20/06/2018	DOYON
NO.	DESCRIPTION	DATE	BY

DRAWING: WALK-OUT - BUILDING
SECTION - ELEVATION LOFT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

1016 - THE McCABE
2018 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A5b