

SCALE: 3/16" = 1'-0"

FRONT ELEVATION - GARAGE END UNIT

LOT: DATE:

XX/XX/XXXX

XXXX

Homes (2019) Limited

I, <u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT CRRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

FRONT ELEVATION - END UNITS

SCALE: 3/16" = 1'-0" xx/xx/xxxx

130 - THE LEWIS 2020 FOOTPRINT

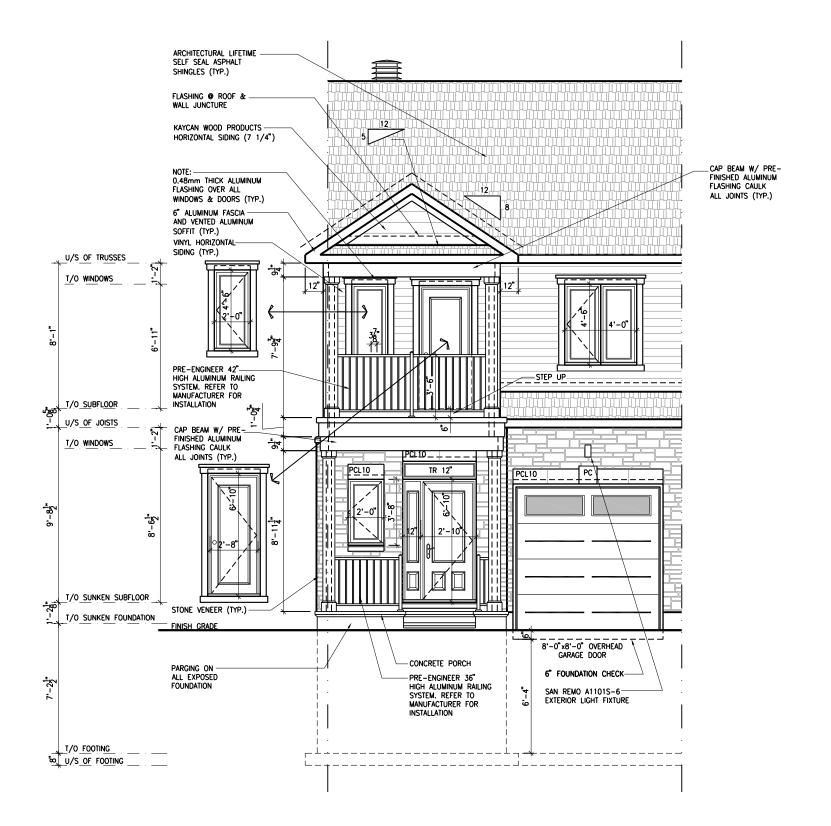
(STANDARD DRAWINGS)

A.1a

SHEET

FRONT ELEVATION - PORCH END UNIT (A.la

SCALE: 3/16" = 1'-0"





FRONT ELEVATION - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

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REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

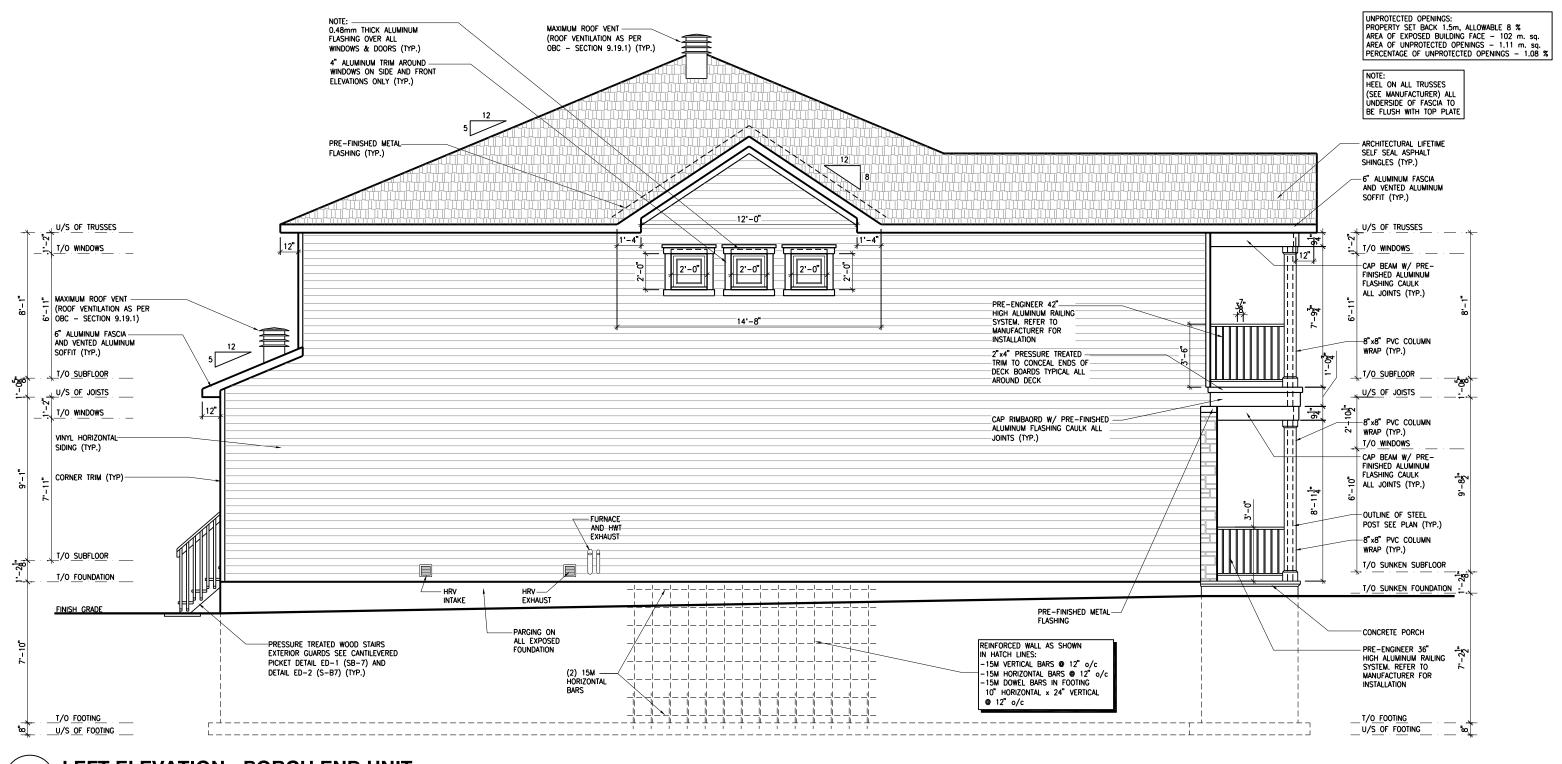
FRONT ELEVATION - MID UNIT

SCALE: 3/16" = 1'-0" xx/xx/xxxx SHEET

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.1b



LEFT ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALCERAFT'S ARCHITECTURAL DEPARTMENT.
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

SITE.

- THIS DRAWING IS TO BE USED IN CONJUNCTION WITH
SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF
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MM/DD/YYYY BY

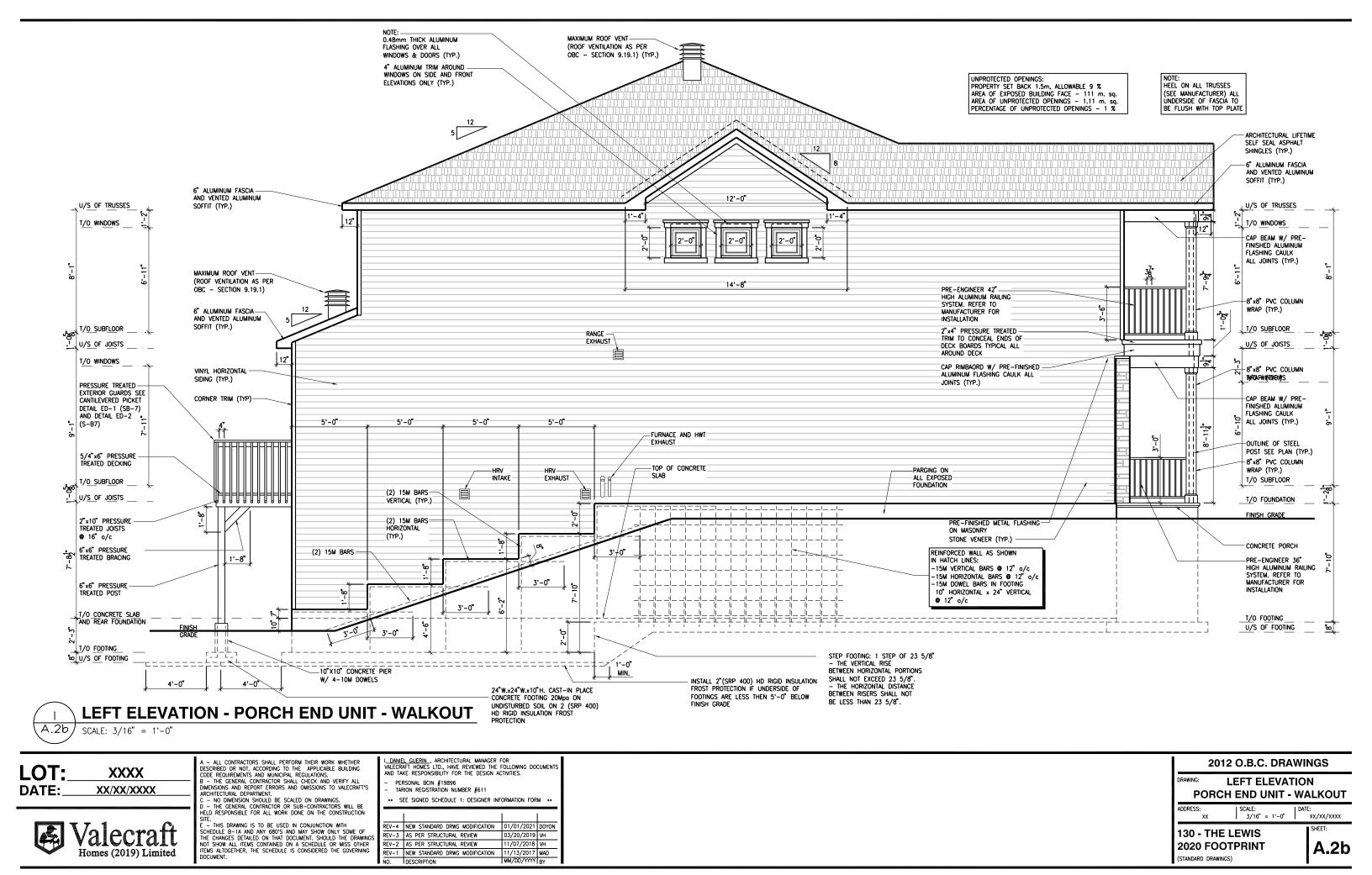
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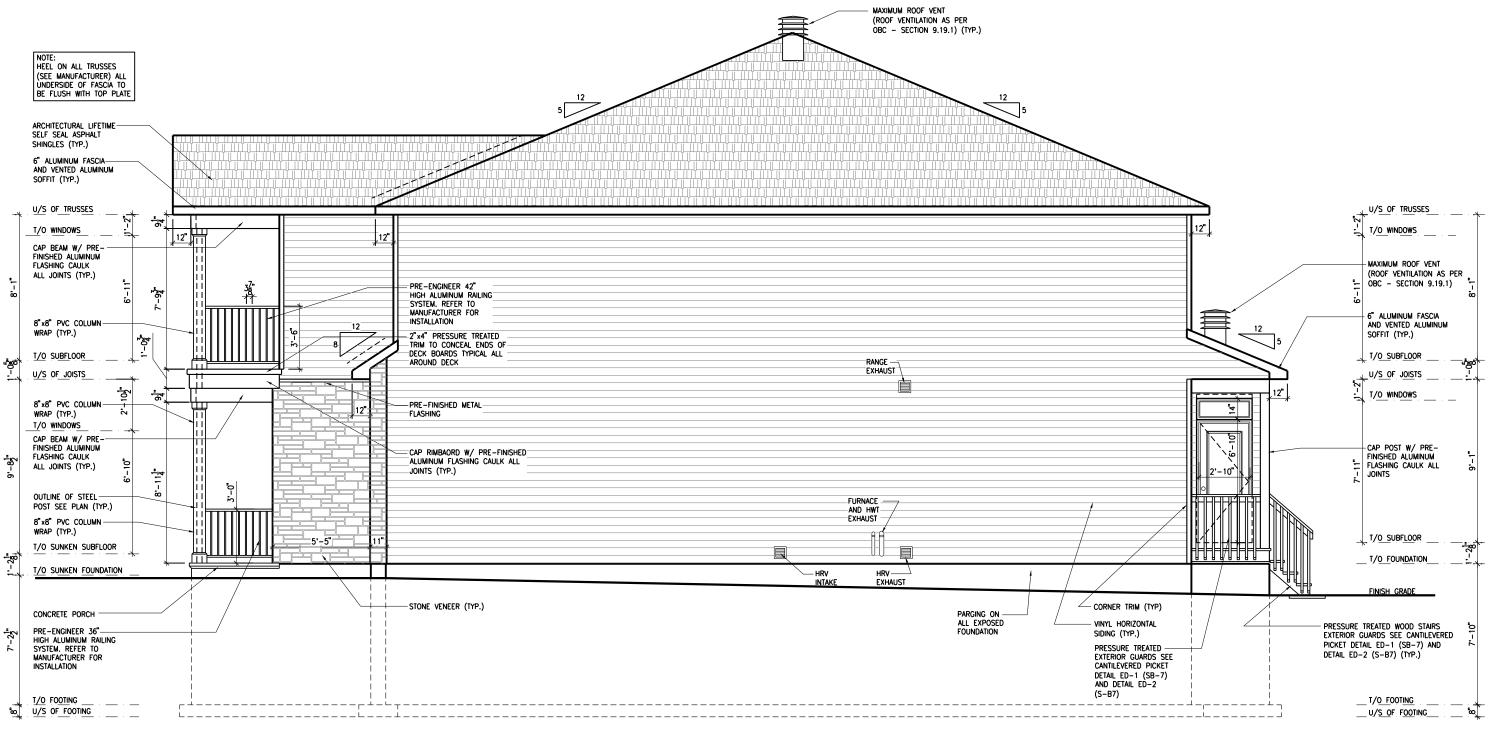
2012 O.B.C. DRAWINGS LEFT ELEVATION

PORCH END UNIT ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

A.2a







RIGHT ELEVATION - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

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B — THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

C — NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D — THE GENERAL CONTRACTOR OR SUB—CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION STIE.

SITE.

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MM/DD/YYYY BY

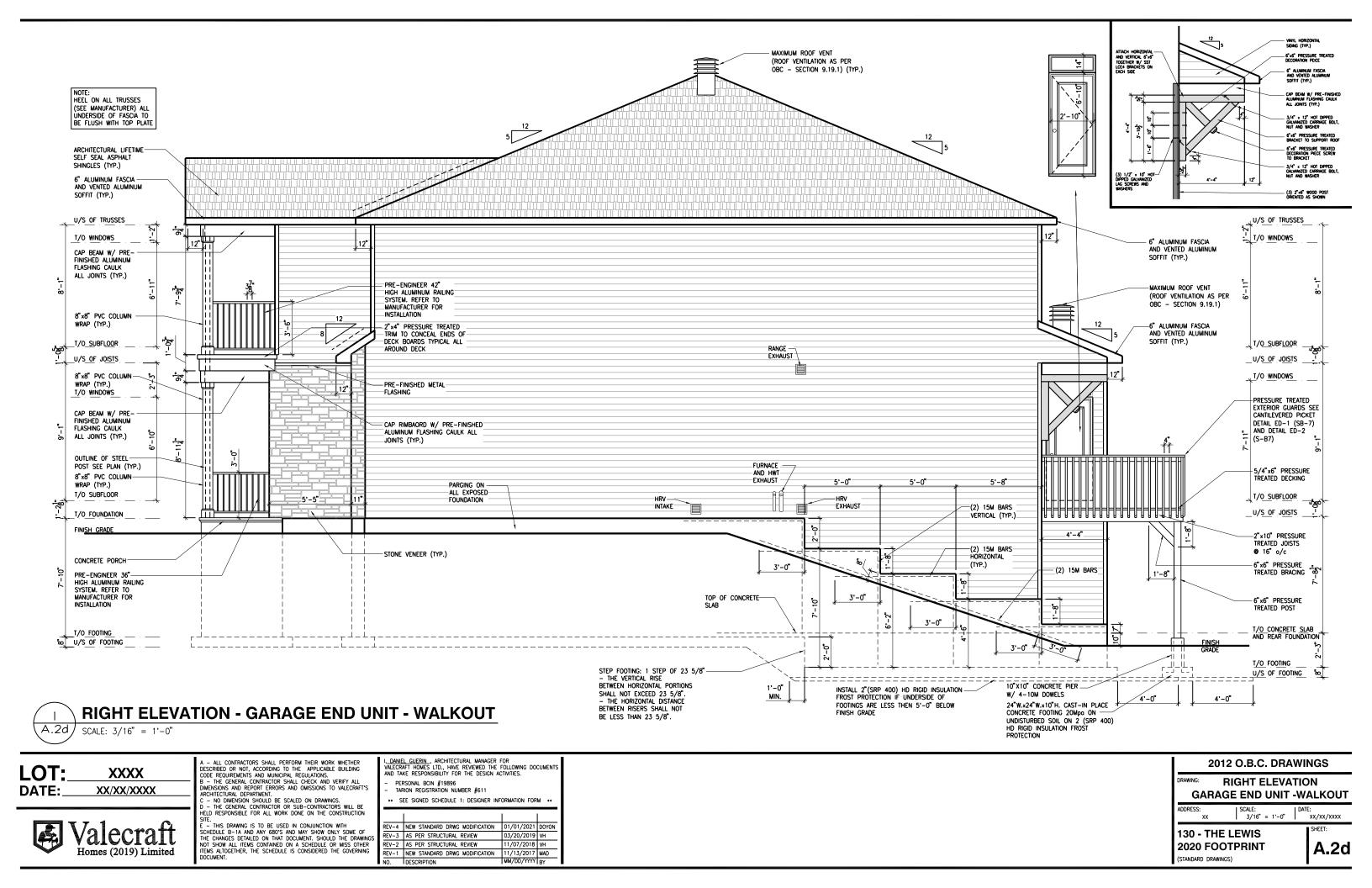
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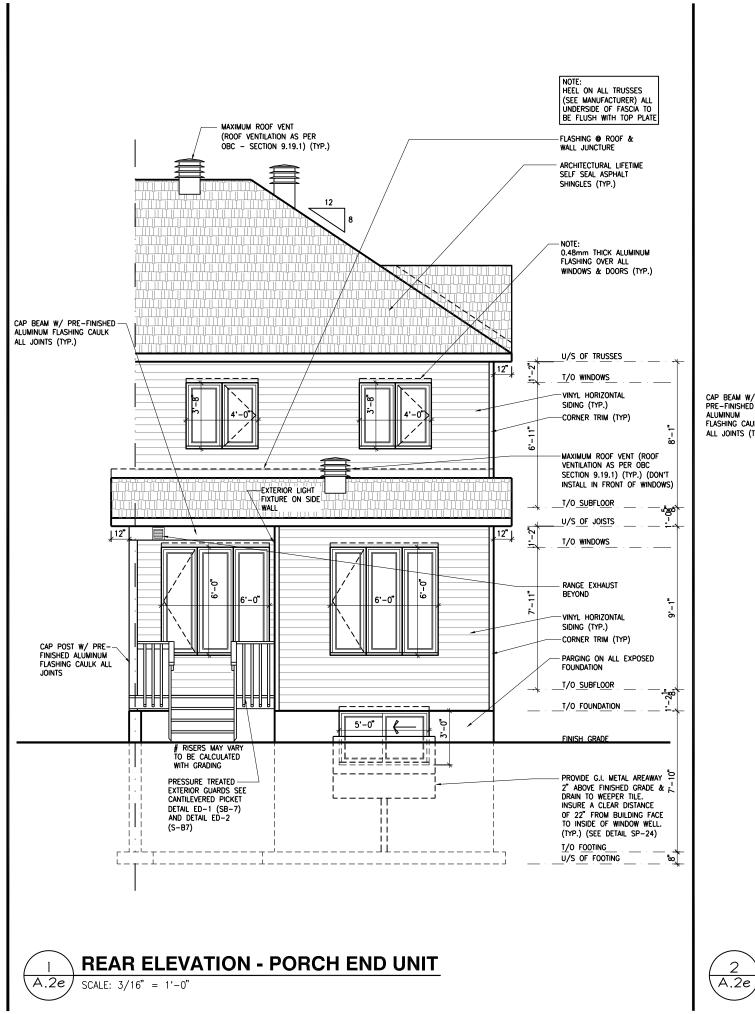
2012 O.B.C. DRAWINGS **RIGHT ELEVATION**

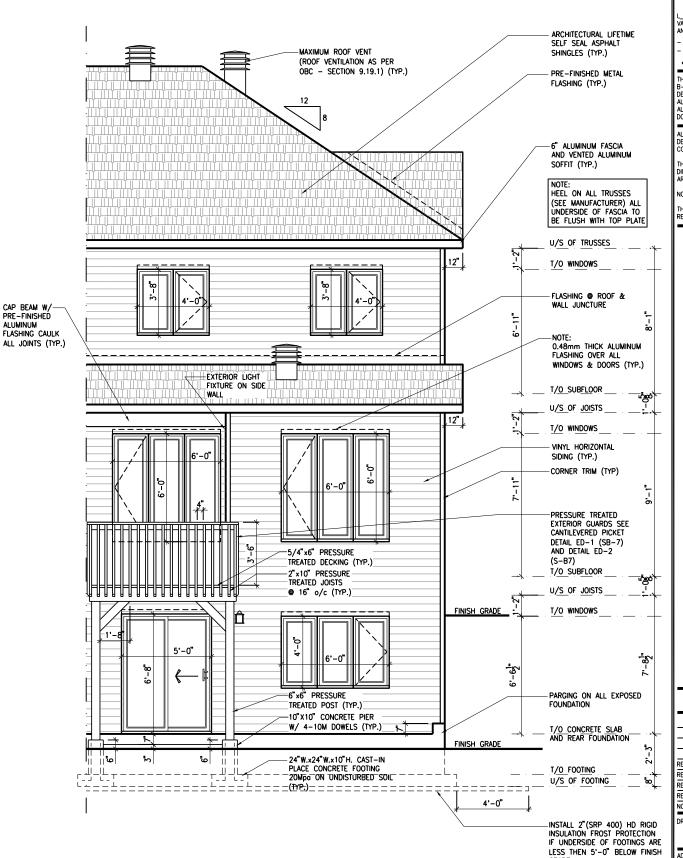
GARAGE END UNIT ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

A.2c







REAR ELEVATION - PORCH END UNIT - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON REV-3 AS PER STRUCTURAL REVIEW 03/20/2019 VH REV-2 AS PER STRUCTURAL REVIEW 11/07/2018 VH
 REV-1
 NEW STANDARD DRWG MODIFICATION
 11/13/2017
 MAD

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

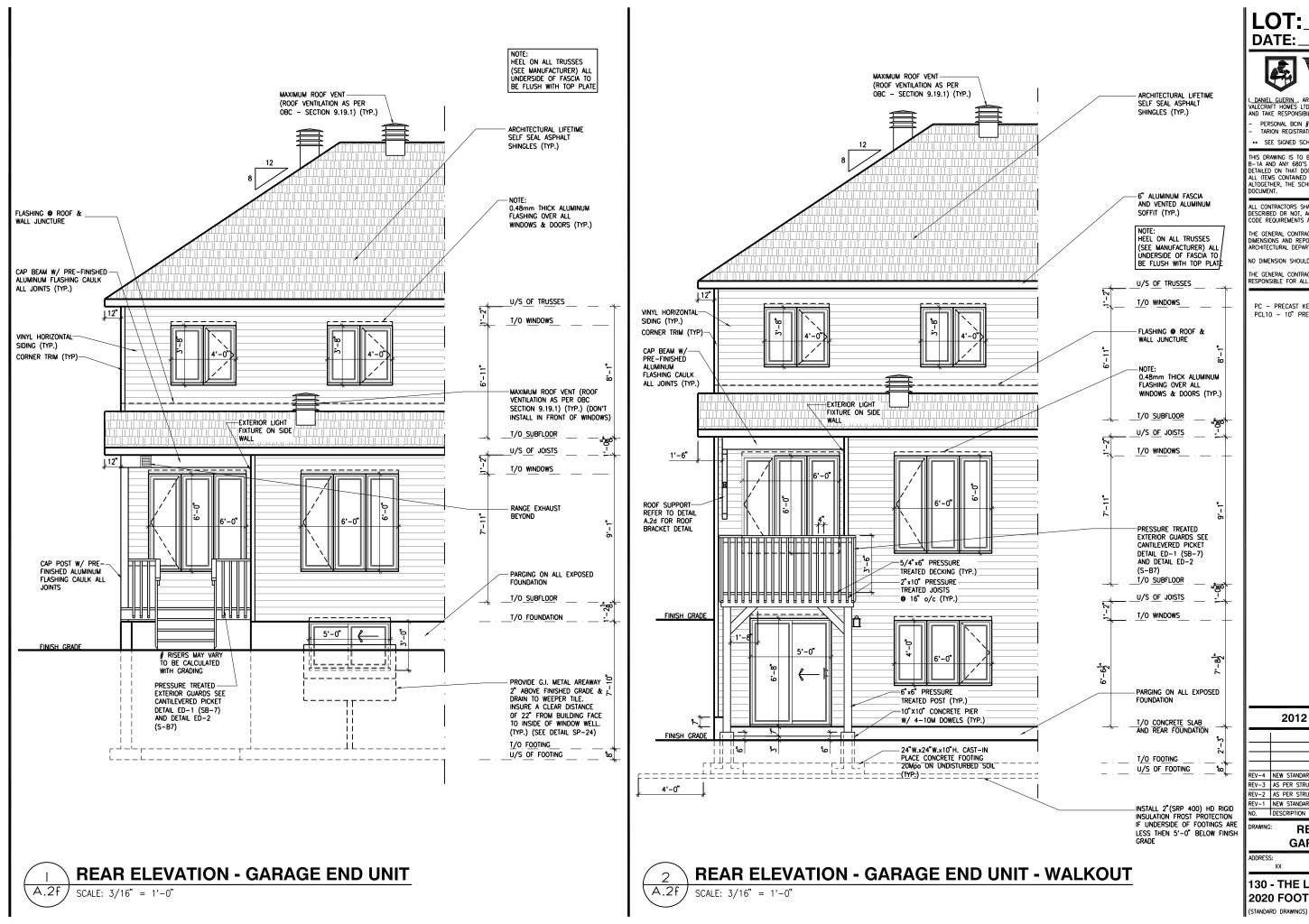
> **REAR ELEVATION** PORCH END UNITS

3/16" = 1'-0" XX/XX/XXXX SHEET

A.2e

130 - THE LEWIS

2020 FOOTPRINT



LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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 NEW STANDARD DRWG MODIFICATION
 11/13/2017
 MAD

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 DESCRIPTION
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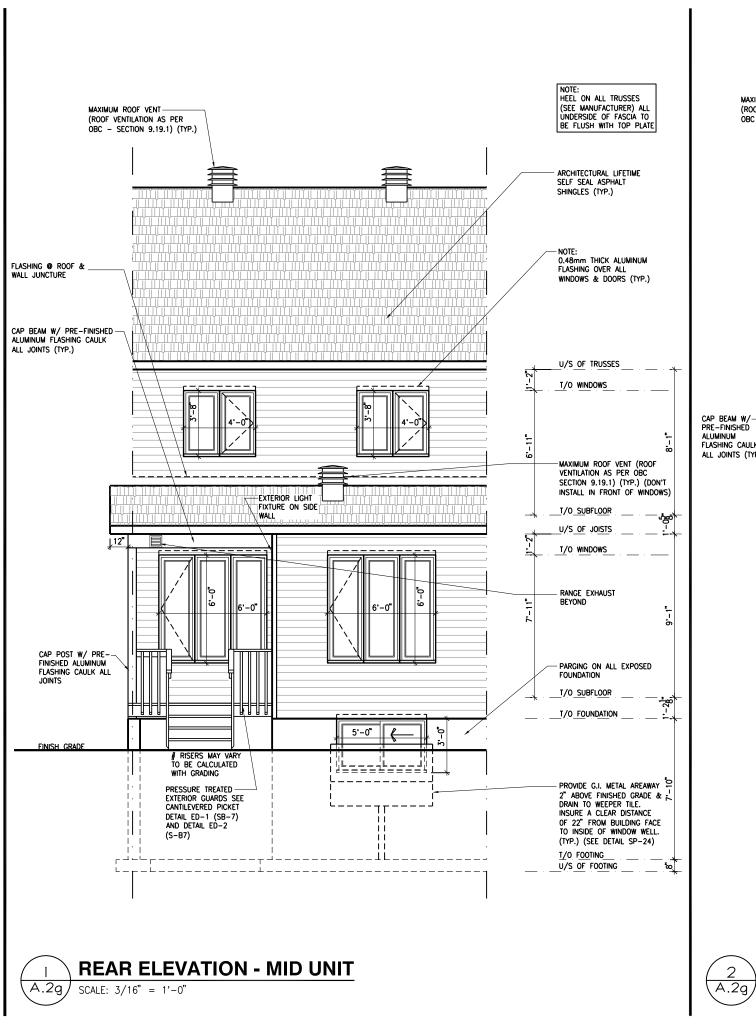
> **REAR ELEVATION GARAGE END UNITS**

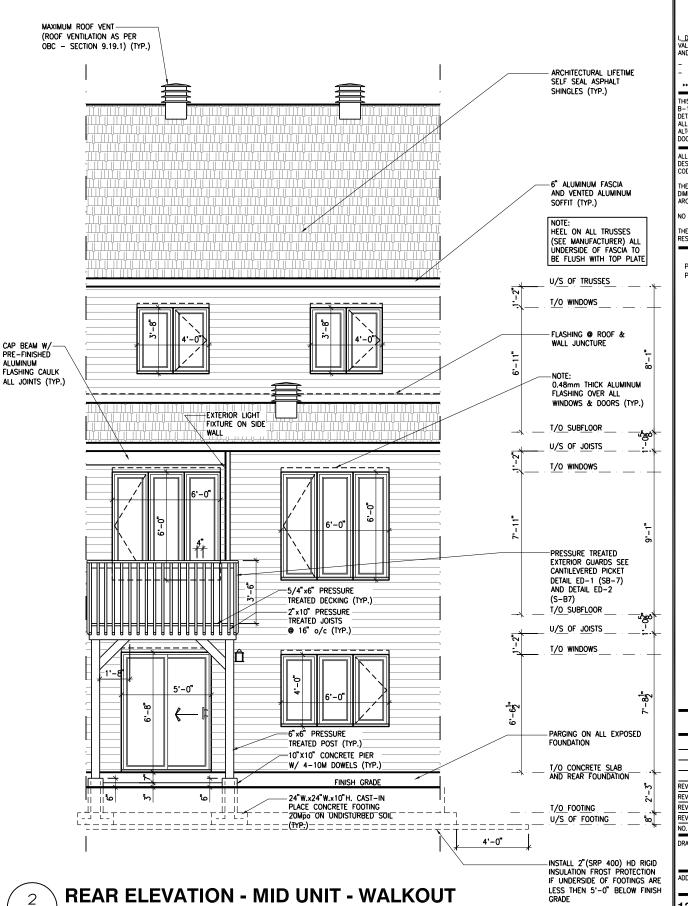
SCALE: 3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

A.2f

SHEET





SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

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 REV-1
 NEW STANDARD DRWG MODIFICATION
 11/13/2017
 MAD

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

REAR ELEVATION - MID UNITS

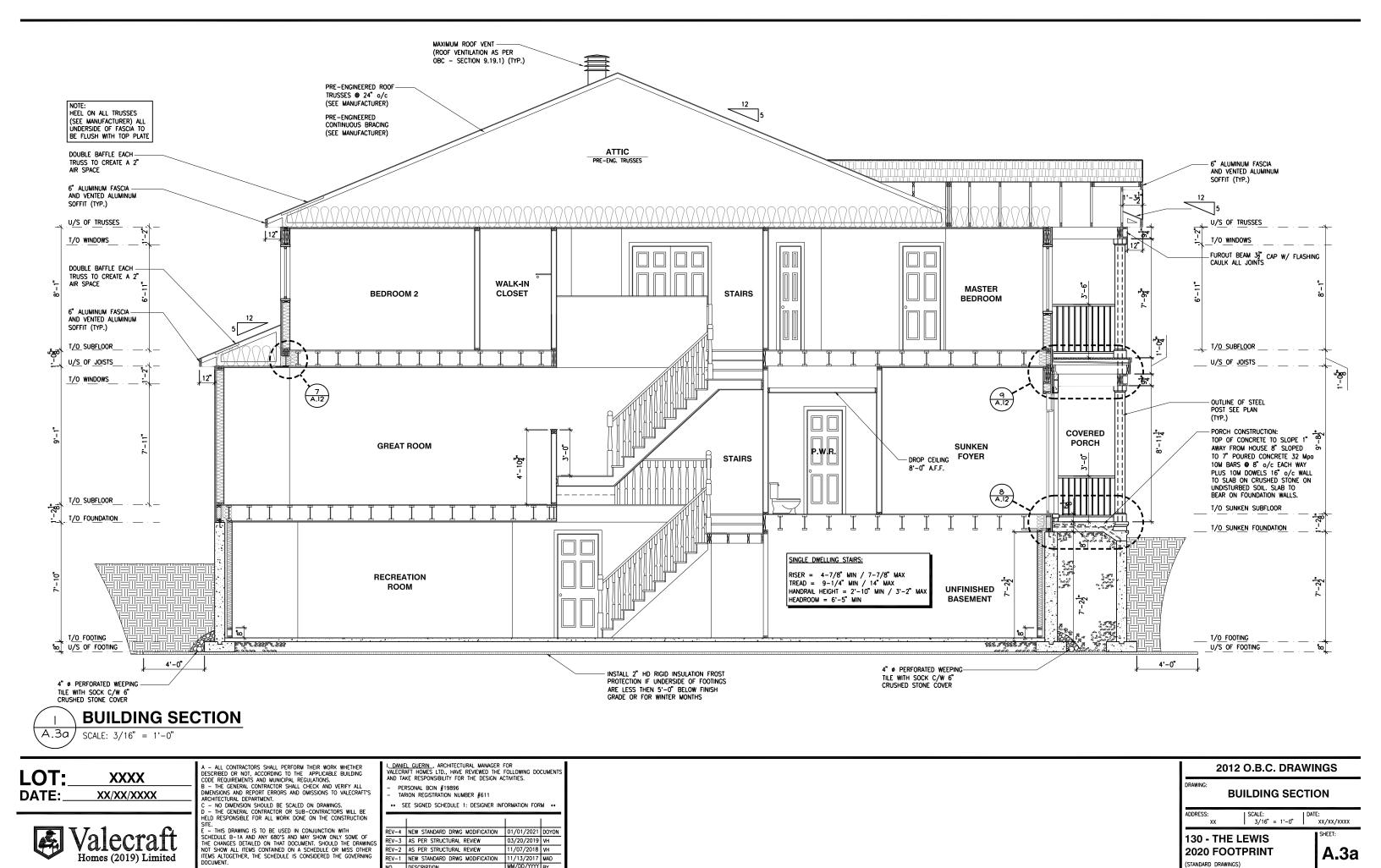
SHEET

A.2g

3/16" = 1'-0" XX/XX/XXXX

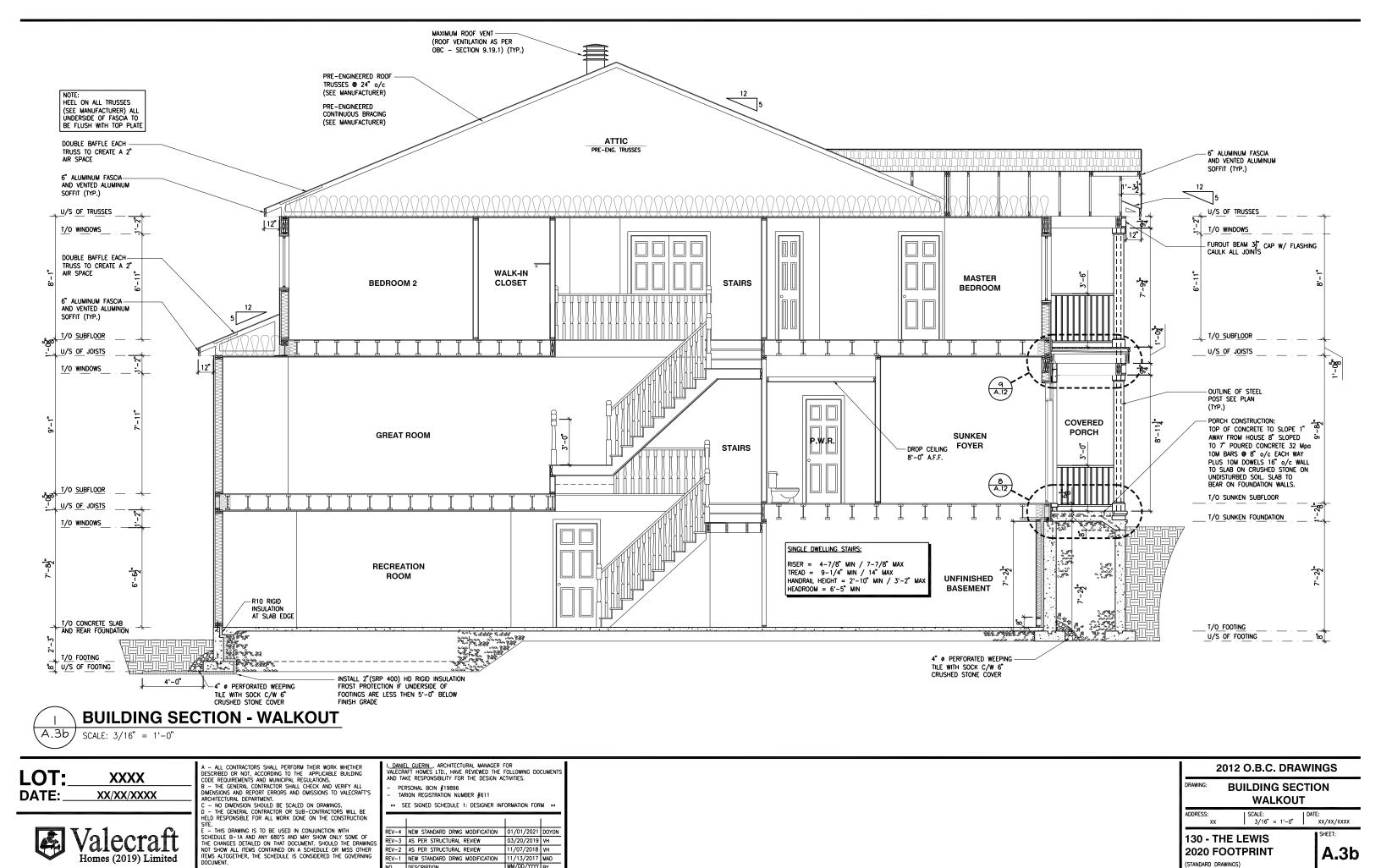
130 - THE LEWIS

2020 FOOTPRINT



DESCRIPTION

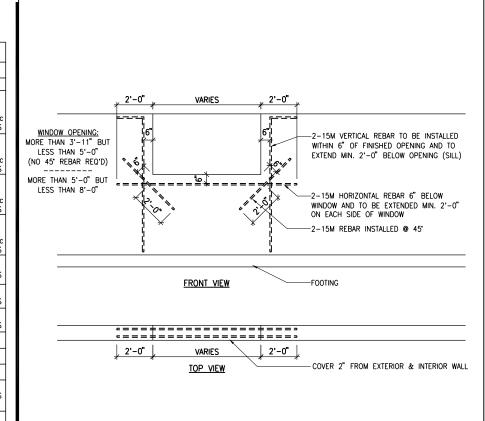
MM/DD/YYYY BY



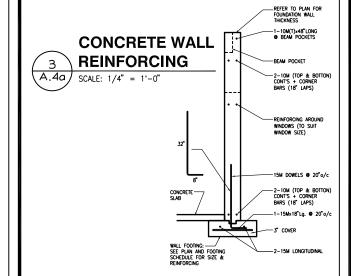
DESCRIPTION

MM/DD/YYYY BY

	F	OOTING SCHEDUL	E		
	ALLOWABLE SOIL BEARING CA	PACITY / BEARING RESISTANCE	E AT SLS FOR «SITE CLASS:D)	>	
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS		40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS	
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	
	PAI	D FOOTING SCHED	JLE		
	ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa	
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	
F2 24"W. x 24"W. x 10"H. 24"W. x 24"W. x 10"H. 24"W. x 24"W. x 10"H. 28"W. x 28"W. x 12"H.				28"W. x 28"W. x 12"H.	



BASEMENT WINDOW REINFORCING





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- TARION REGISTRATION NUMBER #611
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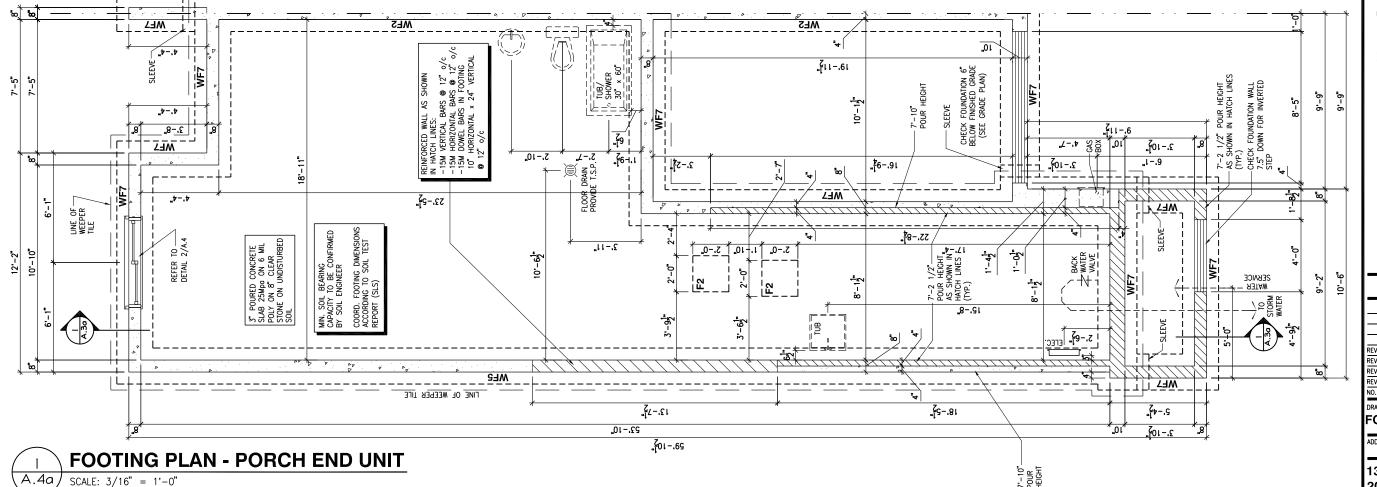
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NOTE

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION.
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.



2 (A.4a)

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

	REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
	REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
	REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
*	REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
	NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:

FOOTING PLAN -PORCH END UNIT

DDRESS: | SCALE: | DATE: | XX/XX/XXXX

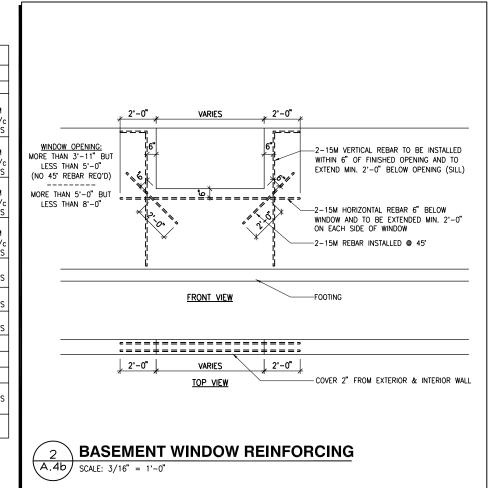
130 - THE LEWIS 2020 FOOTPRINT

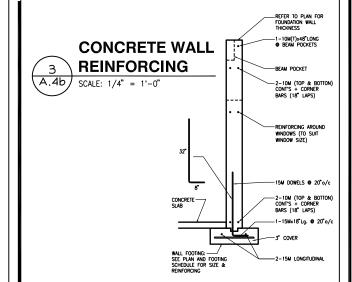
(STANDARD DRAWINGS)

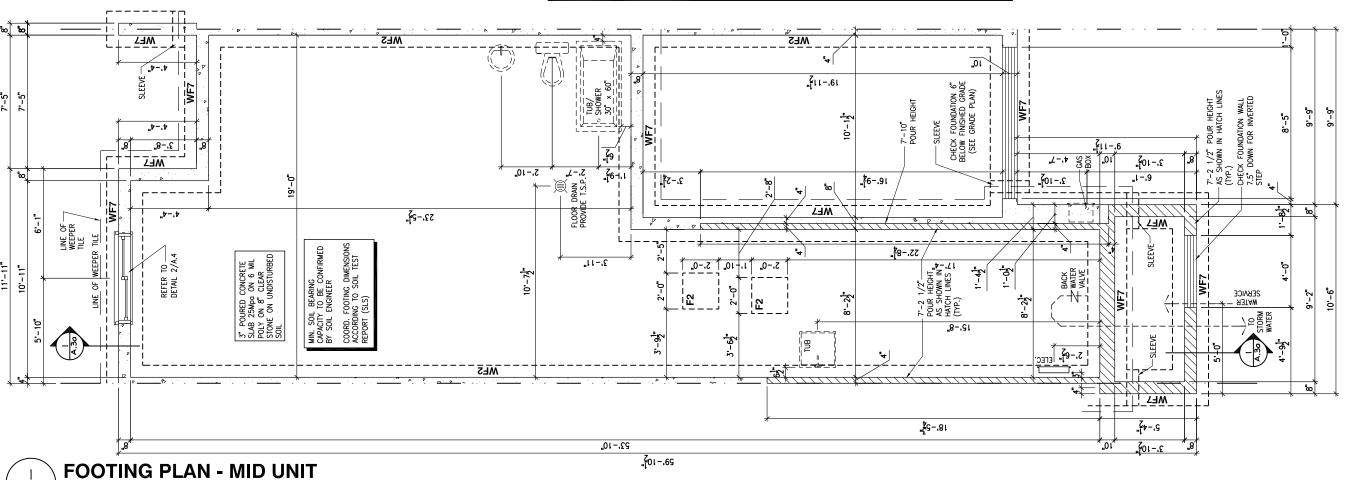
A.4a

SHEET

	F	OOTING SCHEDUL	E	
	ALLOWABLE SOIL BEARING CAR	PACITY / BEARING RESISTANCE	E AT SLS FOR «SITE CLASS:D»	,
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS		40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	BARS 42" LONG @ 16" o/c
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS
	PAI	D FOOTING SCHED	ULE	
	ALLOWABLE SOIL BEARING CAR	PACITY / BEARING RESISTANCE	E AT SLS FOR «SITE CLASS:D»	,
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F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 12"H.







LOT: XXXX
DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for valegraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANCES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

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NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
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 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
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- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
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2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:

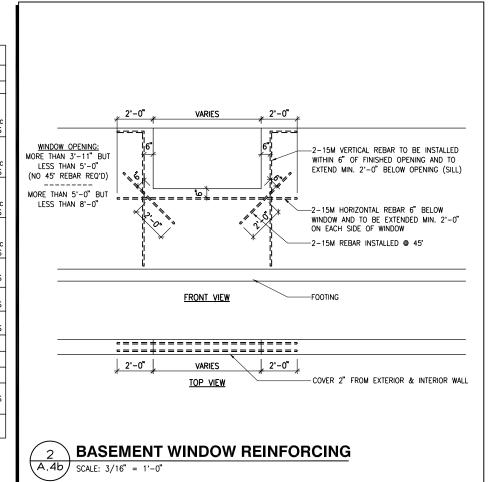
FOOTING PLAN - MID UNIT

ADDRESS: | SCALE: | DATE: | XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT A.4b

(A.4b) SCALE: 3/16" = 1'-0"

	F	OOTING SCHEDUL	E	
	ALLOWABLE SOIL BEARING CAR	PACITY / BEARING RESISTANCE	E AT SLS FOR «SITE CLASS:D»	,
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS		40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	BARS 42" LONG @ 16" o/c
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WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS
	PAI	D FOOTING SCHED	ULE	
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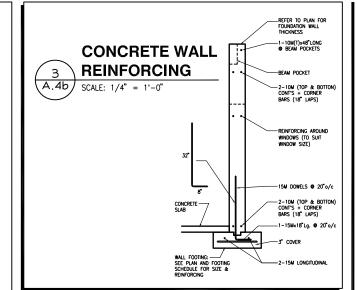
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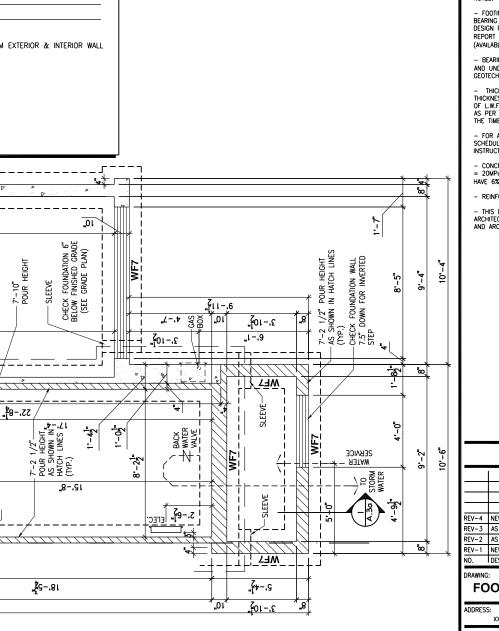
BEARING TO BE CONFIF ENGINEER

SOIL E

7'-10" POUR F

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LOT: **XXXX** DATE: XX/XX/XXXX

Homes (2019) Limited

<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR MALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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2012 O.B.C. DRAWINGS

1				
	l			
	REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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r	NO.	DESCRIPTION	MM/DD/YYYY	BY

FOOTING PLAN - GARAGE END

3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.4c

FOOTING PLAN - GARAGE END UNIT (A.4c SCALE: 3/16" = 1'-0"

7**7**W

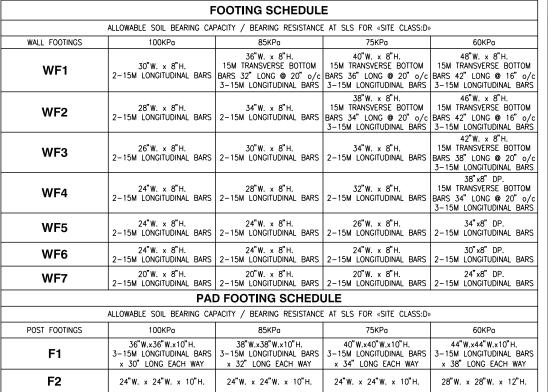
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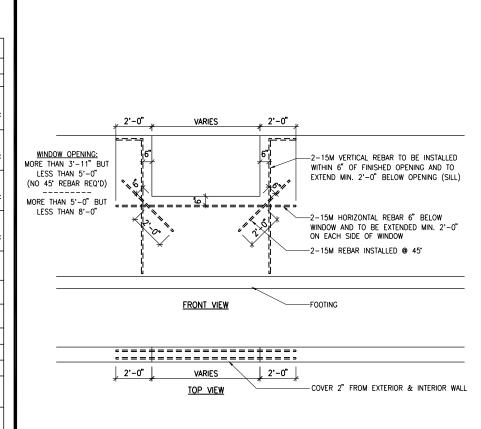
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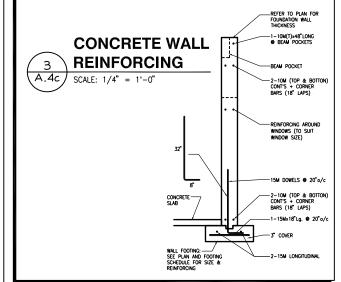
71W

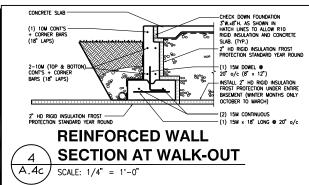
WF7

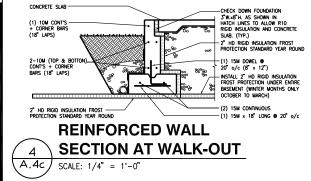


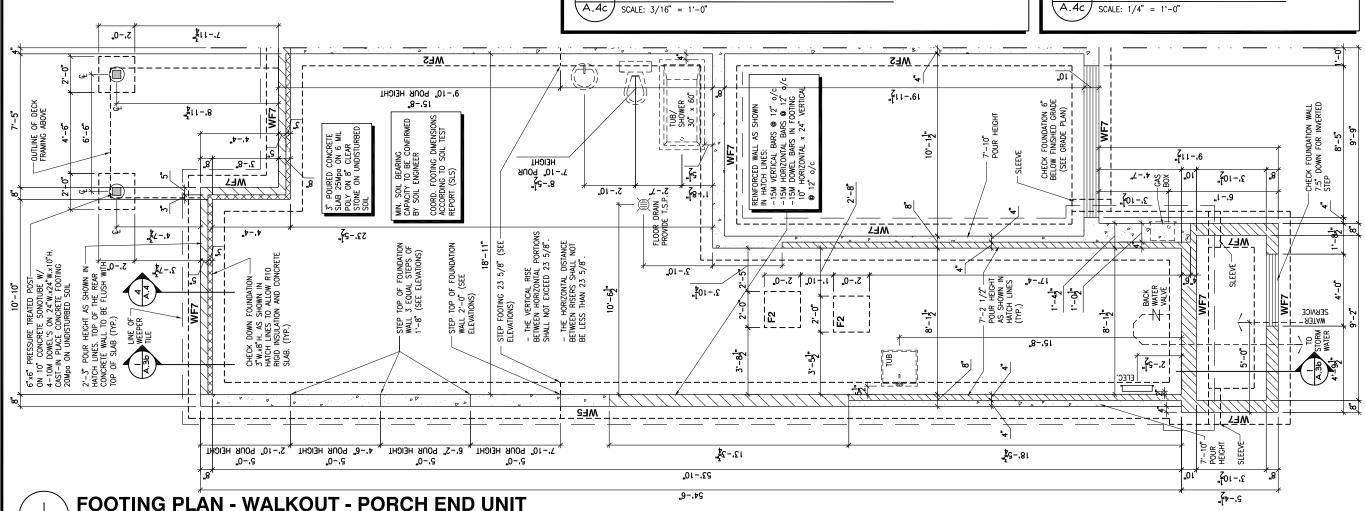


BASEMENT WINDOW REINFORCING









2012 O.B.C. DRAWINGS

		, in the second		
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	REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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	REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
	NO.	DESCRIPTION	MM/DD/YYYY	BY

FOOTING PLAN WALKOUT - PORCH END UNIT

3/16" = 1'-0" XX/XX/XXXX SHEET

130 - THE LEWIS 2020 FOOTPRINT

SCALE: 3/16" = 1'-0"

(A.4d)

(STANDARD DRAWINGS)

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

DATE:

XXXX

XX/XX/XXXX

Homes (2019) Limited

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REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS

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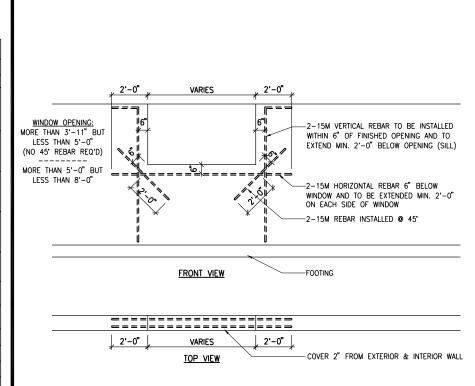
(AVAILABLE UPON REQUEST);

TIME OF EXCAVATION:

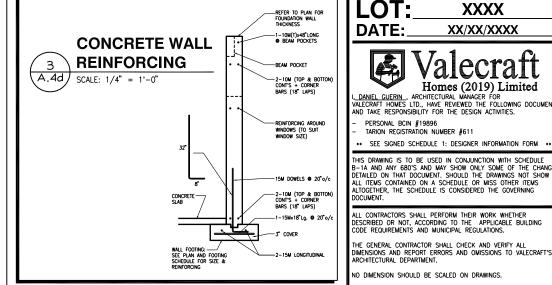
AND ARCHITECTURAL SPECIFICATION.

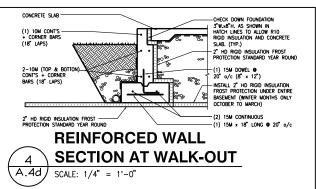
A.4d

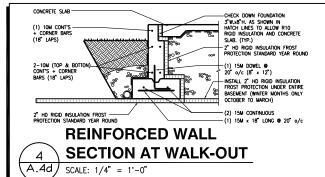
	FOOTING SCHEDULE				
	ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	
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WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	
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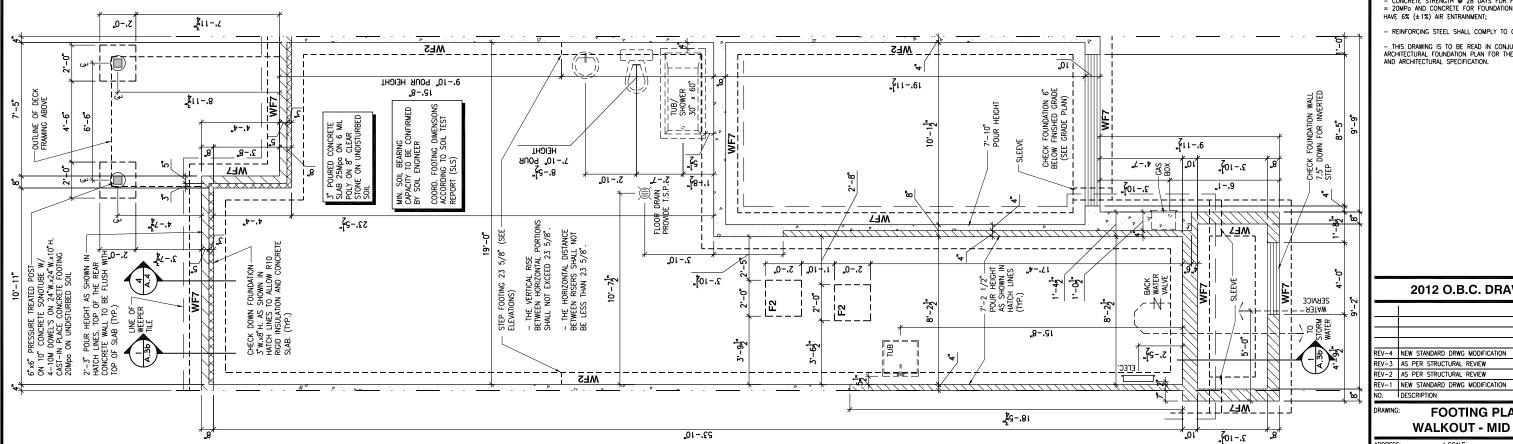


BASEMENT WINDOW REINFORCING









(2) (A.4d)

SCALE: 3/16" = 1'-0"

FOOTING PLAN - WALKOUT - MID UNIT

SCALE: 3/16" = 1'-0"

(A.4e)

 REV-1
 NEW STANDARD DRWG MODIFICATION
 11/13/2017
 MAD

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY
 FOOTING PLAN

2012 O.B.C. DRAWINGS

WALKOUT - MID UNIT 3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

DATE:

XXXX

XX/XX/XXXX

Homes (2019) Limited

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his drawing is to be used in conjunction with schedule --1a and any 680's and May show only some of the Change 'Erailed on that document. Should the Drawings not show LL items contained on a schedule or Miss other items

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THE TIME OF EXCAVATION;

AND ARCHITECTURAL SPECIFICATION.

A.4e

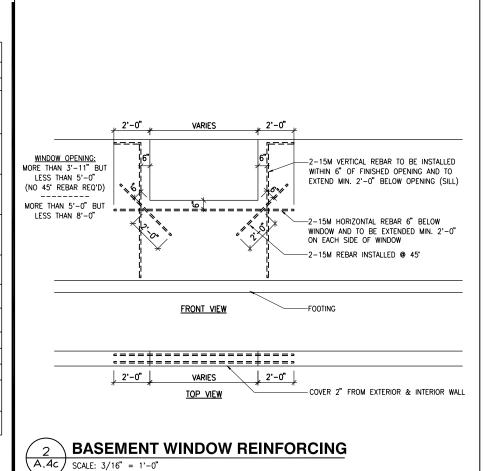
SHEET

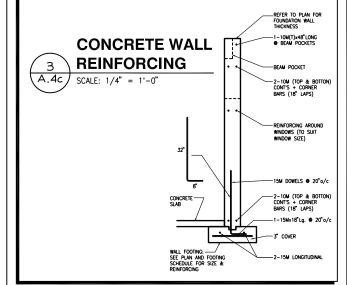
01/01/2021 DOYON

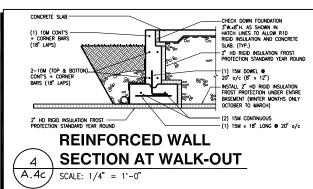
03/20/2019 VH

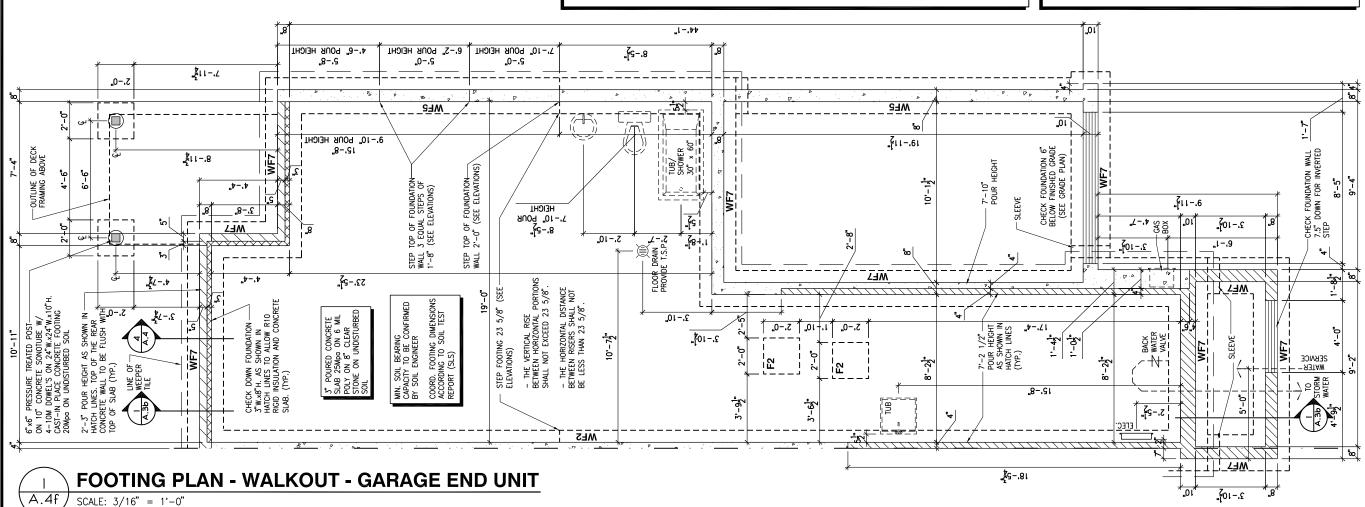
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	ALLOWABLE SOIL BEARING CAR	PACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D»	<u> </u>		
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa		
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY		
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 12"H.		









SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR MALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

his drawing is to be used in conjunction with schedule --1a and any 680's and May show only some of the Change 'Erailed on that document. Should the Drawings not show LL items contained on a schedule or Miss other items LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

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IO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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- Footings have been designed for the allowable soil Bearing Capacity or bearing resistance at SLS and Design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
 AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

I			
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO	DESCRIPTION	MM/DD/YYYY	RY

FOOTING PLAN

WALKOUT - GARAGE END UNIT SCALE: 3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT SHEET A.4f

XX/XX/XXXX

SCALE: 3/16" = 1'-0"

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

............................**.**

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

NAIL A 2"x8" PRESSURE TREATED SOLID BLOCKING TO L.V.I.

RIM BOARD AT LEDGER. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYYEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING. BOLT A 2"x8" PRESSURE TREATED LEDGER TO BLOCKING AND L.V.L. RIM BOARD WITH 3/8" x 5" HOT

DIPPED GALVANIZED LAG SCREWS AND WASHERS @ 16" o/c TOP

WALK-OUT DECK FRAMING NOTES:

- $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort Board and install typek homewrap or equivalent continuous over solid blocking
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 $\frac{1}{2}$ " ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED:

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

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LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x10 S5 = L 125x90x10
- $S6 = L 200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
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POST TABLE:

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 POST BY USP
 P2 = 2-224 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - PORCH END

3/16" = 1'-0" XX/XX/XXXX

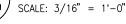
SHEET

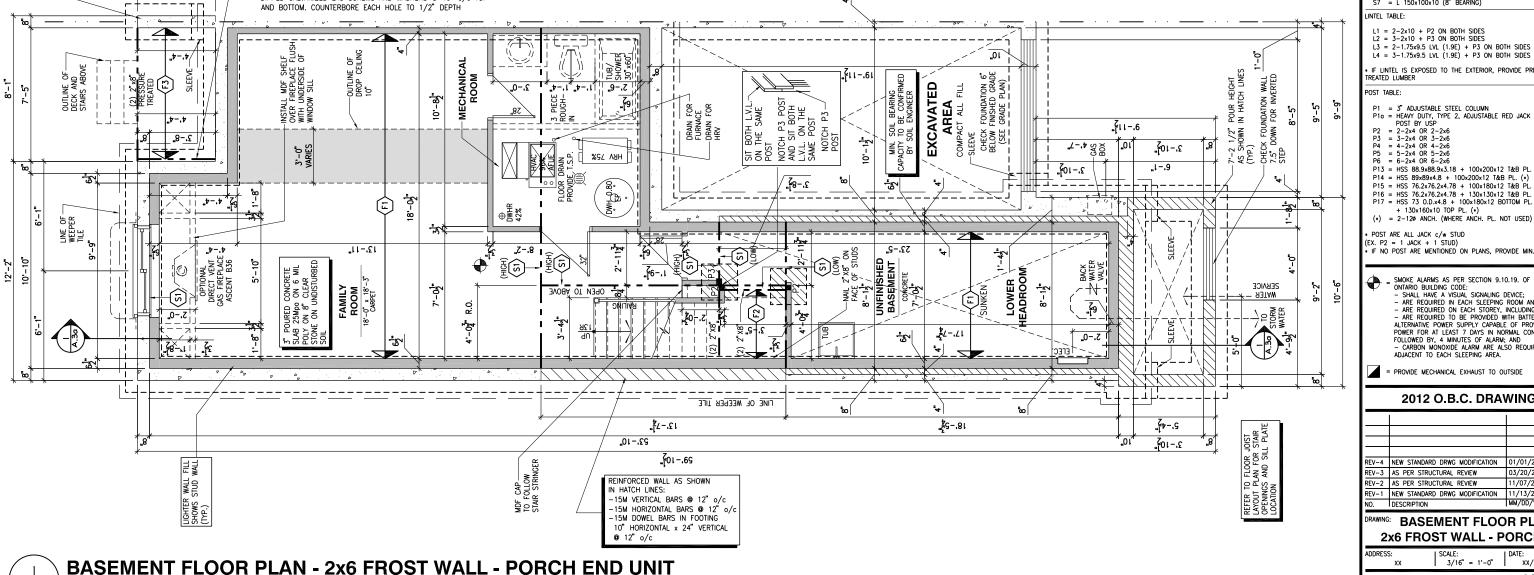
A.5a

130 - THE LEWIS

2020 FOOTPRINT

(STANDARD DRAWINGS)





(A.5a

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GENERAL NOTES:

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TO BLOCKING AND L.V.L. RIM BOARD WITH 3/8" x 5" HOT

AND BOTTOM. COUNTERBORE EACH HOLE TO 1/2" DEPTH

OUTLI DROP 10"

13.-11

10'-8½"

7:-11

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-INSTALL MDF SHELF OVER FIREPLACE FLUS WITH UNDERSIDE OF WINDOW SILL

DIPPED GALVANIZED LAG SCREWS AND WASHERS @ 16" o/c TOP

WALK-OUT DECK FRAMING NOTES:

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42% 12% 12%

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MDF CAP— TO FOLLOW STAIR STRING

JOIST HANGERS AT EVERY JOIST CONNECTION

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53.-10"

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BASEMENT NOTE:

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OUR HEIGHT HATCH LINES

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2 1/2" SHOWN

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LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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- (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

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NO.	DESCRIPTION	MM/DD/YYYY	RY

AWING: BASEMENT FLOOR PLAN

3/16" = 1'-0" XX/XX/XXXX

SHEET

A.5b

2x6 FROST WALL - MID UNIT

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

BASEMENT FLOOR PLAN - 2x6 FROST WALL - MID UNIT

(A.5b

SCALE: 3/16" = 1'-0"

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<u>"4-'4</u>

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WALL

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OUTLII DROP 10"

3'-0" /ARIES

3" POURED CO SLAB 25Mpa (POLY ON 8" (STONE ON UN

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HRV 75%

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53.-10"

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BASEMENT NOTE:

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AND SIT BOTH
L.V.L. ON THE
SAME POST
POST

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IUR HEIGHT HATCH LINES

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WATER —

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LOT: DATE: XX/XX/XXXX

Homes (2019) Limited

XXXX

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 $S6 = L 200 \times 100 \times 12$

S7 = L 150x100x10 (8" BEARING)

INTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

. IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-2x6
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

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		-	
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - GARAGE END

3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.5c

XX/XX/XXXX

SHEET

BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT

(A.5c

SCALE: 3/16" = 1'-0"

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort Board and install typek homewrap or equivalent continuous over solid blocking
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 $\frac{1}{2}$ " ALL AROUND
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- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

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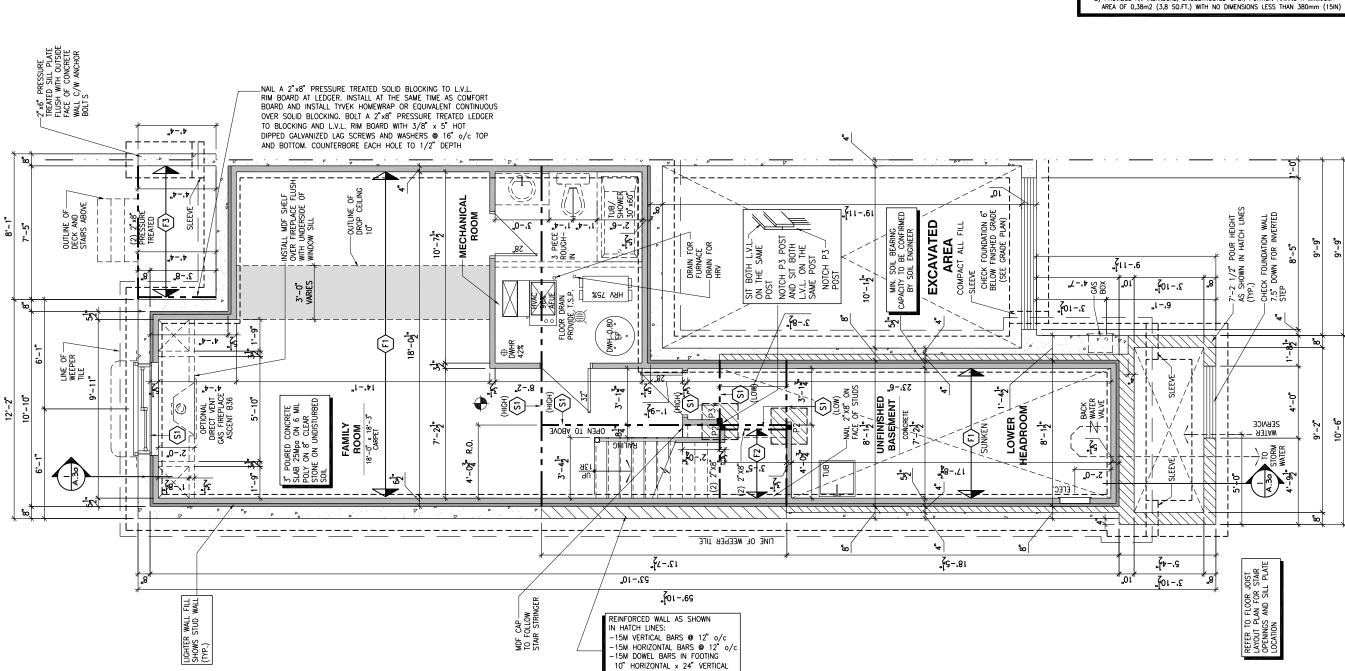
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(A.5d

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

@ 12" o/c

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Homes (2019) Limited

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XX/XX/XXXX

PERSONAL BOIN #19896

LOT:

DATE:

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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RAWING: BASEMENT FLOOR PLAN **ENERGY STAR - PORCH END**

3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

A.5d

SHEET

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_NAIL A 2"x8" PRESSURE TREATED SOLID BLOCKING TO L.V.L. RIM BOARD AT LEDGER. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING BOLT A 2"x8" PRESSURE TREATED LEDGER TO BLOCKING AND L.V.L. RIM BOARD WITH 3/8" x 5" HOT

DIPPED GALVANIZED LAG SCREWS AND WASHERS @ 16" o/c TOP AND BOTTOM. COUNTERBORE EACH HOLE TO 1/2" DEPTH

-OUTLINE OF DROP CEILING 10"

_l-.bl

FAMILY ROOM 3'-0" x 18'-

SE SE SE

INSTALL MDF OVER FIREPLA WITH UNDERS

CONCRE ON 6 CLEAR

25Mpa ON 8"

WALK-OUT DECK FRAMING NOTES:

MECHANICA ROOM

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10'-7½"

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42% 12% 12%

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BASEMENT NOTE:

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3'-1012

2,-4¦"

3,-10¹"

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EXCAVATED AREA COMPACT ALL FILL

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23.-6"

<u>+</u>2

SIT BOTH L.V.L.
ON THE SAME
POST
NOTCH P3 POST
AND SIT BOTH
L.V.L. ON THE
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POUR HEIGHT IN HATCH LINES

-2 1/2" SHOWN

7'-2 AS S (TYP.

FOUNDATION WALL IOWN FOR INVERTED

SERVICE

- A3TAW

OIST STAIR - PLATE

JOR . FOR .

8.-5

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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RAWING: BASEMENT FLOOR PLAN

3/16" = 1'-0"

ENERGY STAR - MID UNIT

SHEET A.5e

XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT

MDF TO F STAIR

(A.5e SCALE: 3/16" = 1'-0"

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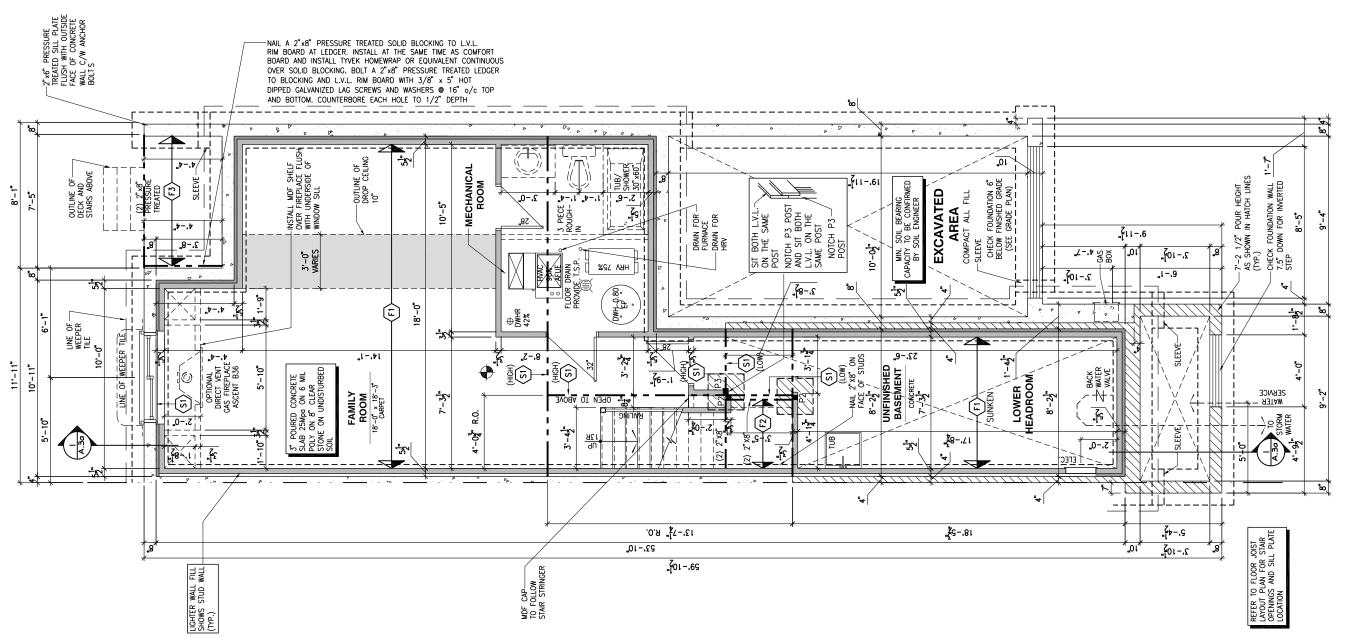
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: BASEMENT FLOOR PLAN **ENERGY STAR - GARAGE END**

3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.5f

XX/XX/XXXX

SHEET

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

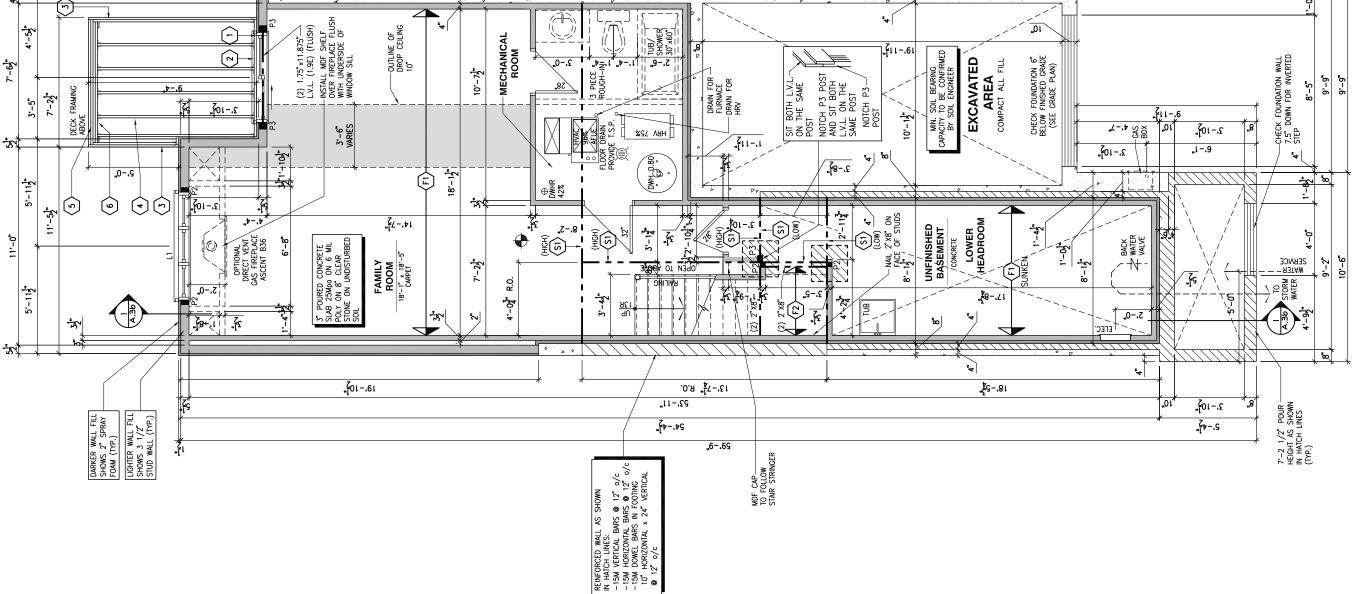
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BASEMENT FLOOR PLAN - WALKOUT - PORCH END UNIT

SCALE: 3/16" = 1'-0"

(A.5g)

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BASEMENT NOTE:

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

DANIEL GUERIN , ARCHITECTURAL MANAGER FOR ALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS ND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BOIN #19896

TARION REGISTRATION NUMBER #611

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WALKOUT - PORCH END UNIT

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.5g

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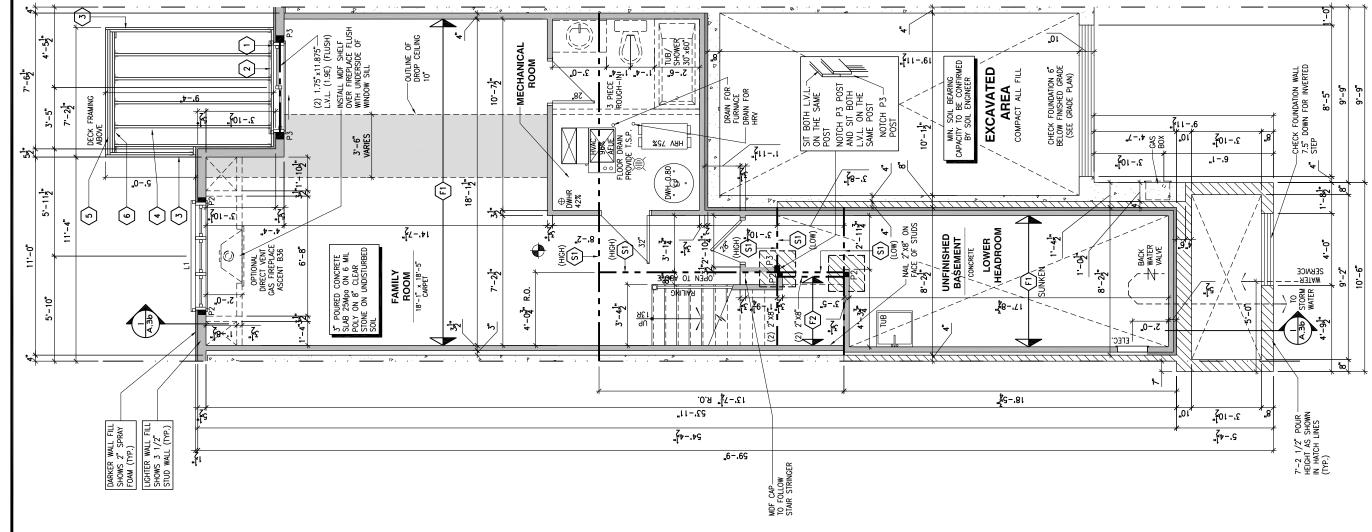
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(A.5h)

BASEMENT FLOOR PLAN - WALKOUT - MID UNIT

SCALE: 3/16" = 1'-0"

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PERSONAL BCIN #19896

LOT:

DATE:

TARION REGISTRATION NUMBER #611

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NΟ	DESCRIPTION	MM/DD/YYYY	DV

RAWING: BASEMENT FLOOR PLAN

WALKOUT - MID UNIT

3/16" = 1'-0" XX/XX/XXXX SHEET

130 - THE LEWIS 2020 FOOTPRINT

A.5h

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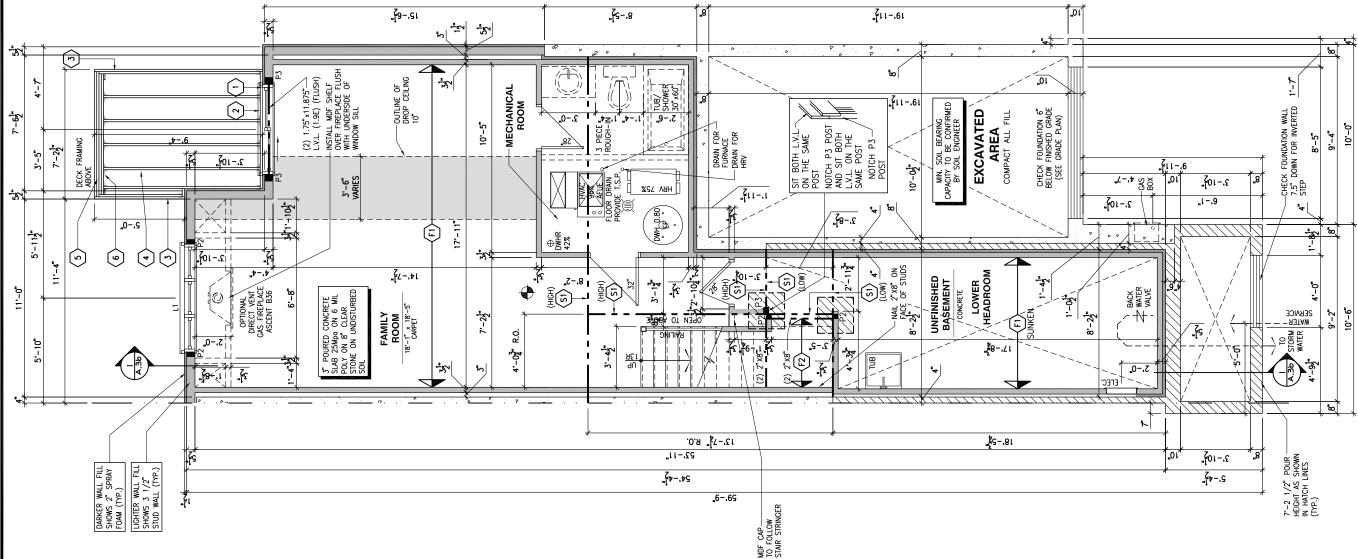
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S7 = L 150x100x10 (8" BEARING) INTEL TABLE:

NOTES: STEEL LINTEL:

LOT:

PERSONAL BCIN #19896

ARCHITECTURAL DEPARTMENT.

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TARION REGISTRATION NUMBER #611

DATE:

DOCUMENT

XXXX

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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: BASEMENT FLOOR PLAN **WALKOUT - GARAGE END UNIT**

3/16" = 1'-0" XX/XX/XXXX

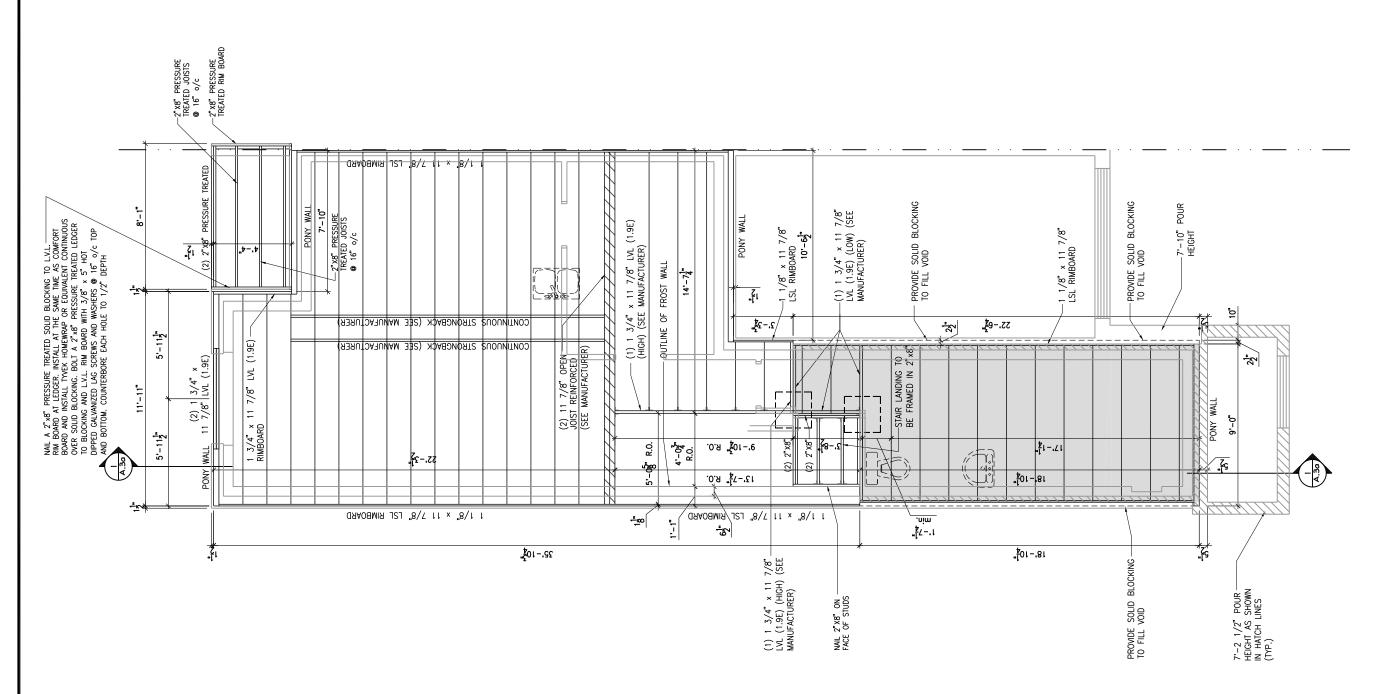
130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET **A.5i**

BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT

A.5i SCALE: 3/16" = 1'-0"



(A.6a)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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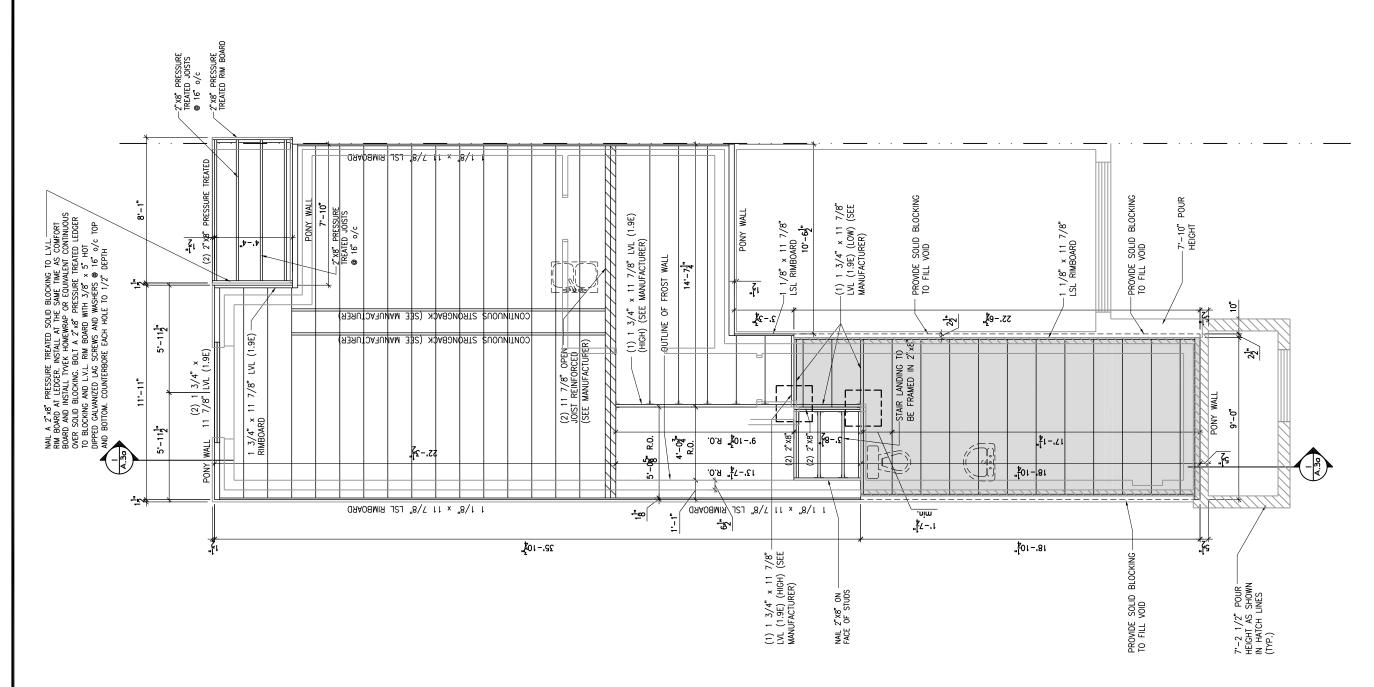
RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.6a



(A.6b)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

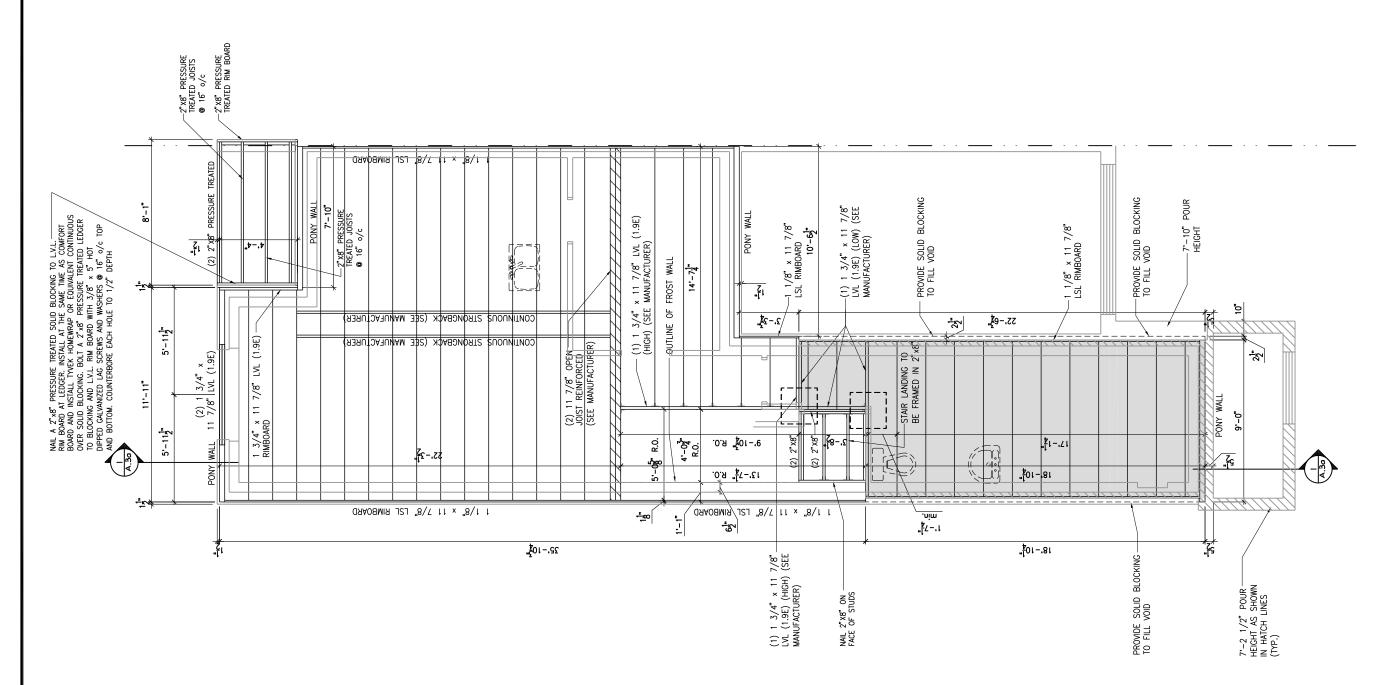
RAWING: GROUND FLOOR - FLOOR

JOIST FRAMING - PORCH END SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS

SHEET: A.6b

2020 FOOTPRINT



(A.6c

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

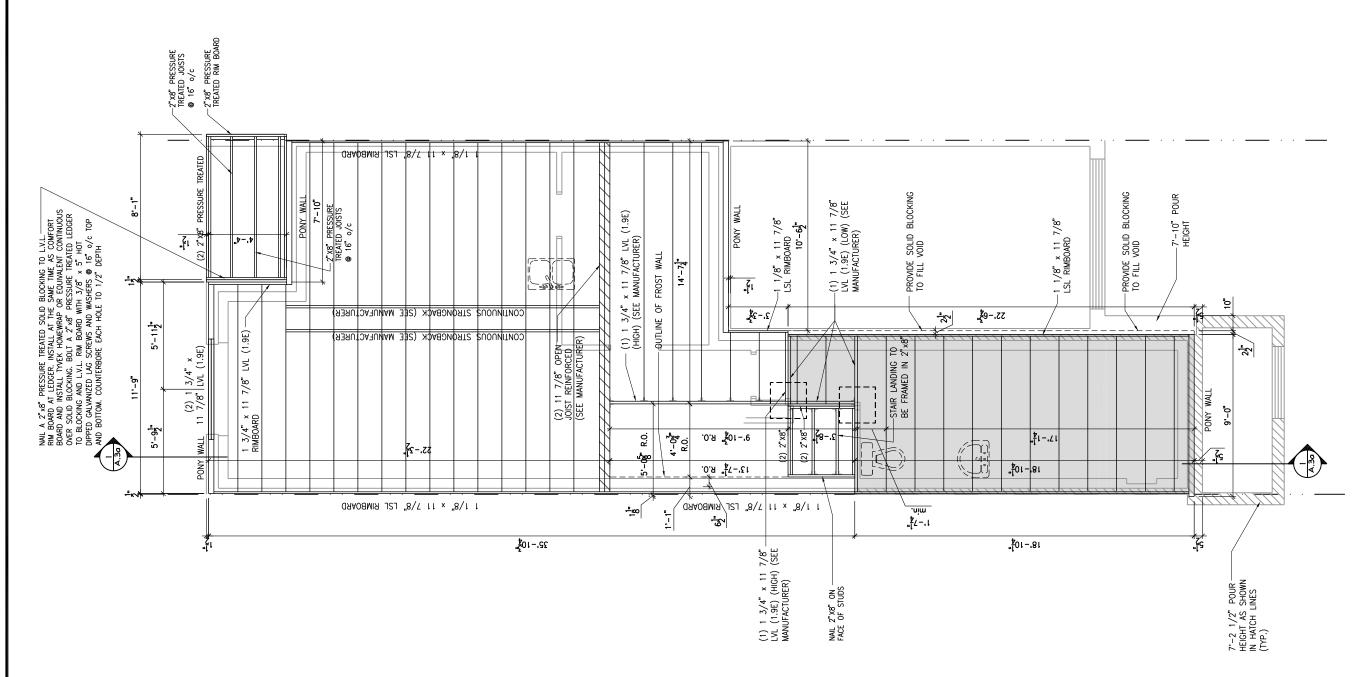
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

SHEET A.6c



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - MID UNIT

(A.6d)

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

SCALE: 3/16" = 1'-0"

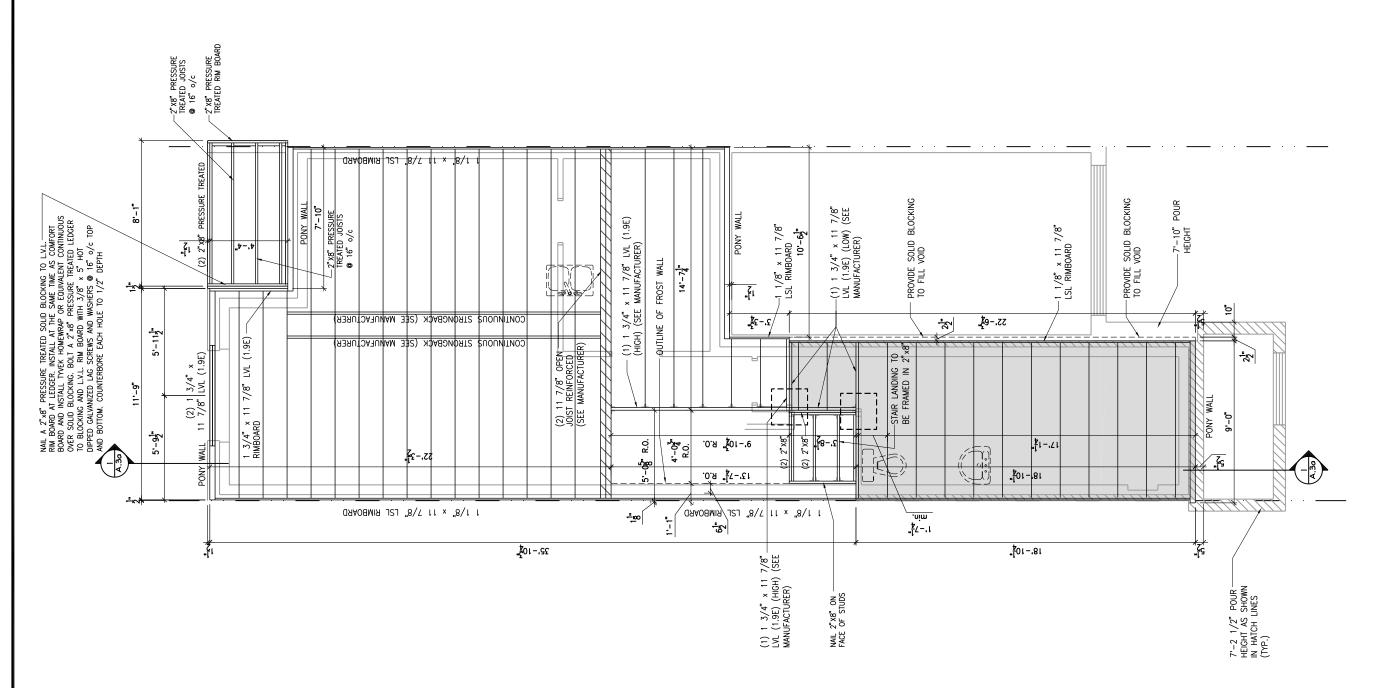
130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6d

xx/xx/xxxx

SHEET:



(A.6e)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - MID UNIT

LOT: XXXX XX/XX/XXXX



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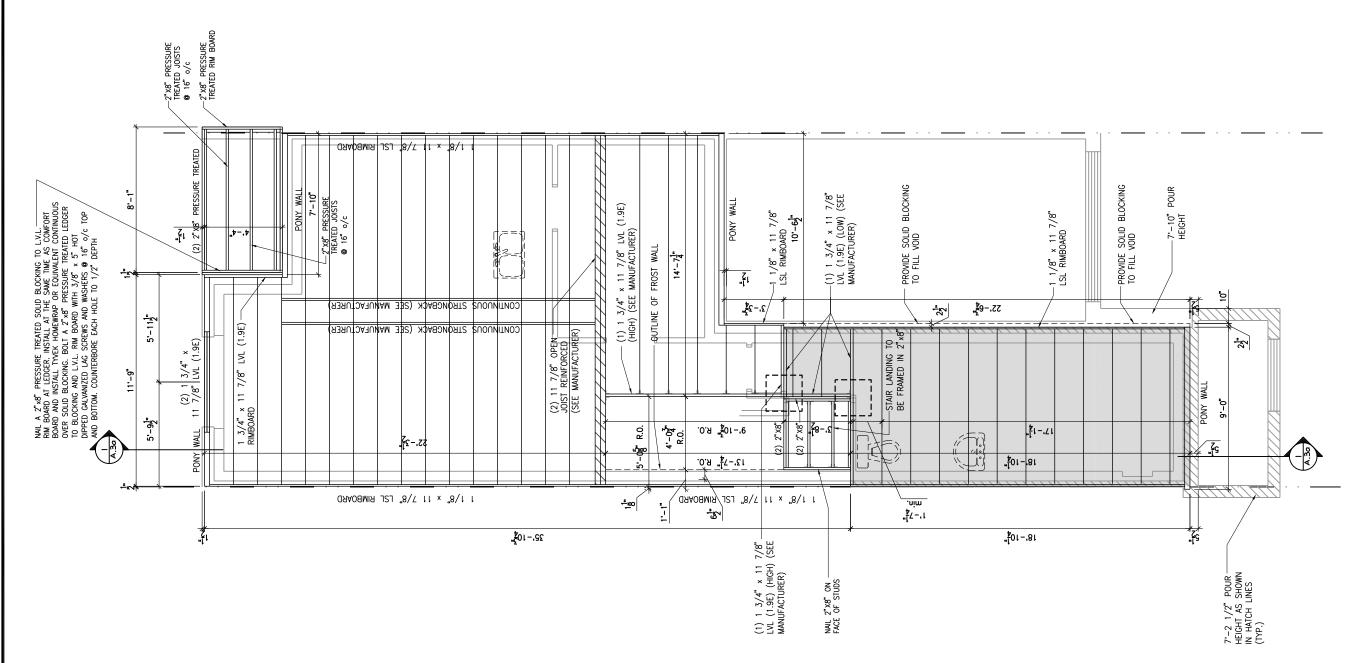
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

SHEET: A.6e



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - MID UNIT

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON REV-3 AS PER STRUCTURAL REVIEW 03/20/2019 VH 11/07/2018 VH REV-2 AS PER STRUCTURAL REVIEW REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD
NO. DESCRIPTION MM/DD/YYYY BY

DRAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

LOT:

DOCUMENT

XXXX XX/XX/XXXX

Homes (2019) Limited

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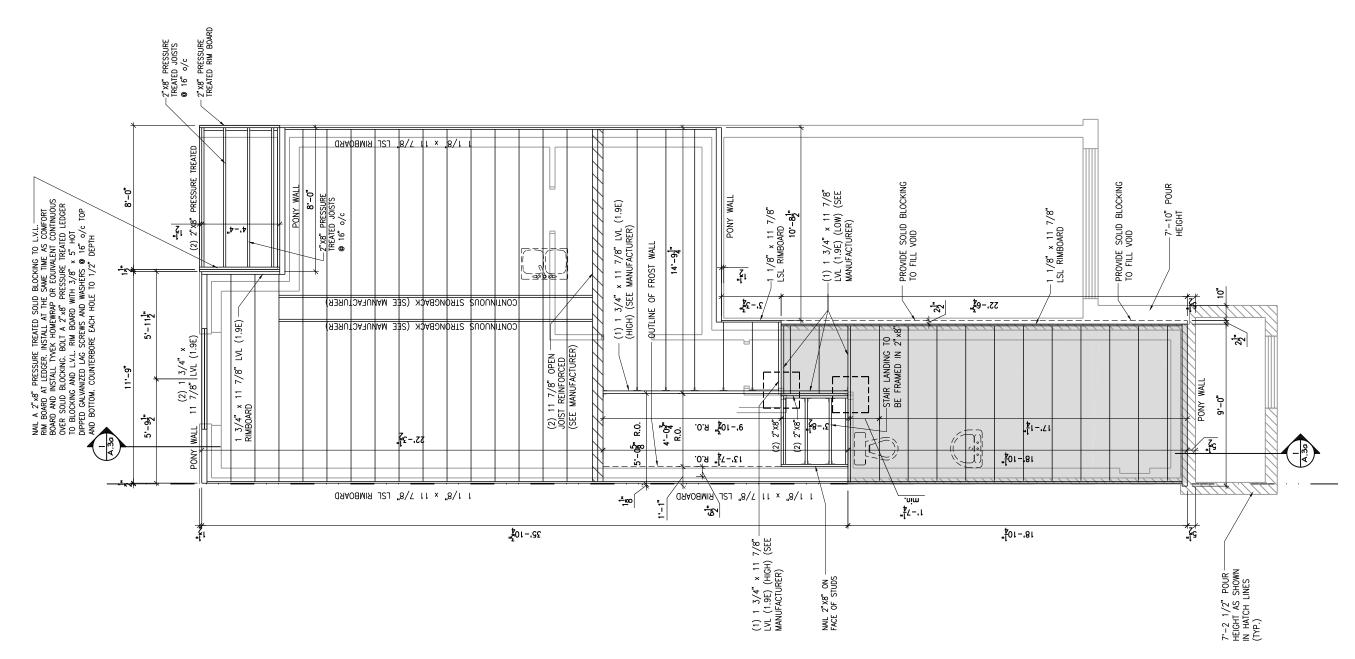
SCALE: 3/16" = 1'-0" xx/xx/xxxx

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6f

SHEET:



(A.6g)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - GARAGE END UNIT

LOT: XXXX XX/XX/XXXX

Homes (2019) Limited

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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

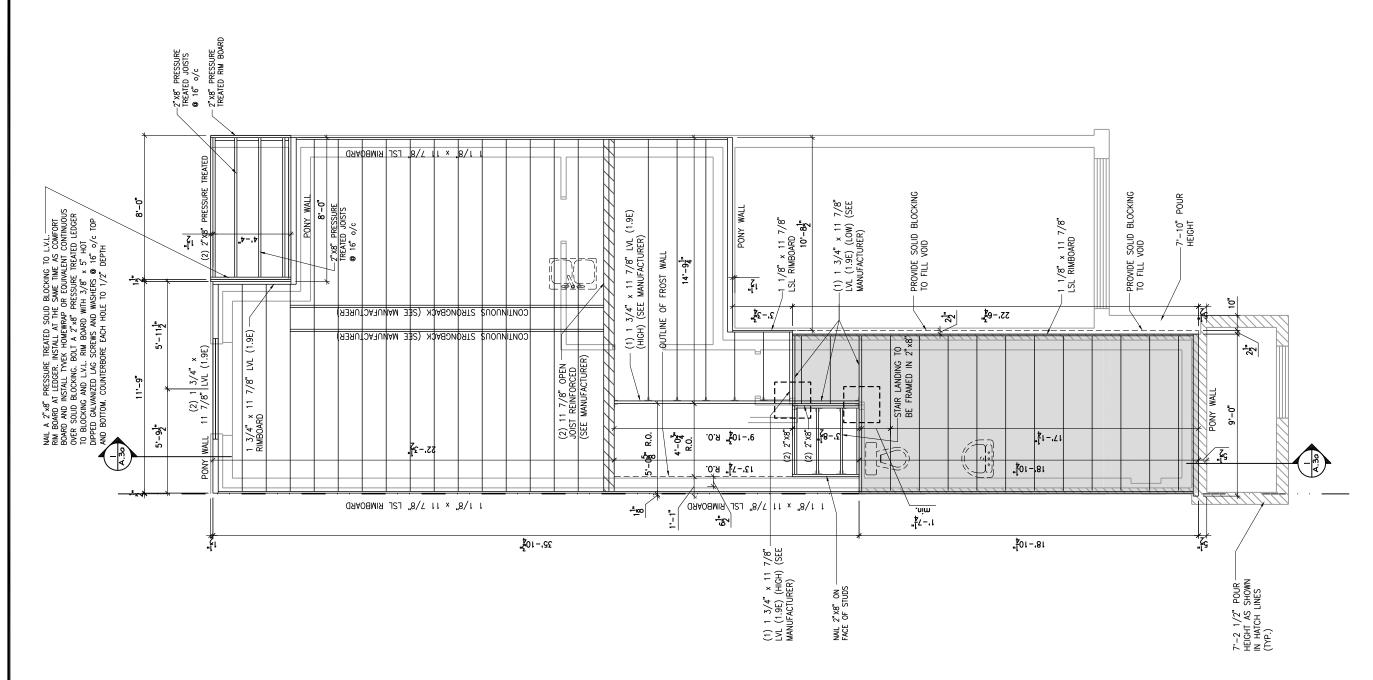
SCALE: 3/16" = 1'-0" xx/xx/xxxx

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.6g

SCALE: 3/16" = 1'-0"



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

XX/XX/XXXX

XXXX

Homes (2019) Limited

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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

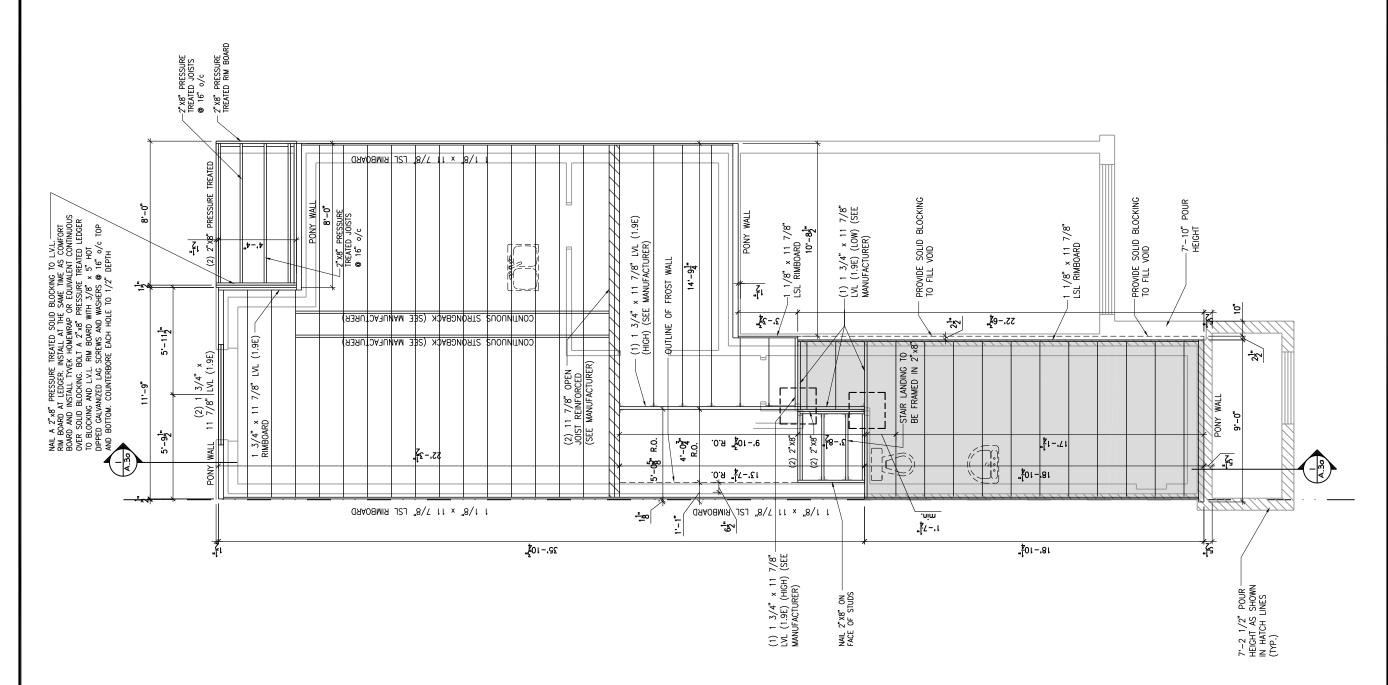
SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6h

SHEET:



(A.6i

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

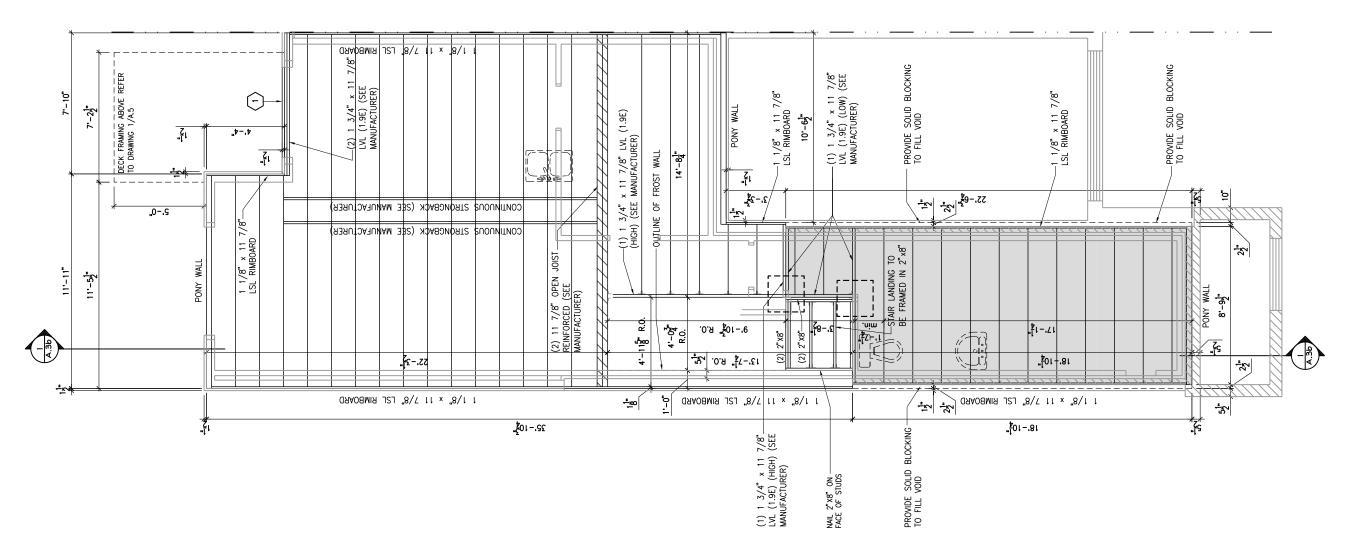
SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6i

SHEET



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

130 - THE LEWIS 2020 FOOTPRINT

REV-3 AS PER STRUCTURAL REVIEW

REV-2 AS PER STRUCTURAL REVIEW

2012 O.B.C. DRAWINGS

REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON

REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD
NO. DESCRIPTION MM/DD/YYYY BY DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END SCALE: 3/16" = 1'-0"

(STANDARD DRAWINGS)

SHEET A.6j

xx/xx/xxxx

03/20/2019 VH 11/07/2018 VH

Homes (2019) Limited I, <u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

XXXX

XX/XX/XXXX

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

LOT:

DATE:

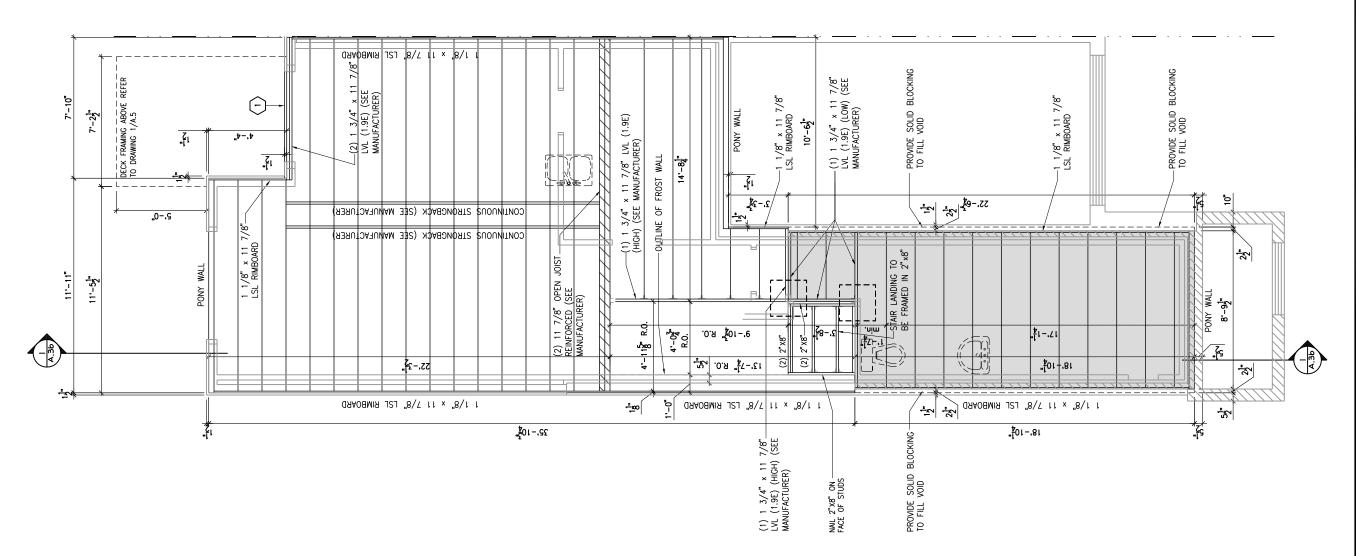
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(A.6k)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-PORCH END

SCALE: 3/16" = 1'-0" xx/xx/xxxx

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6k

SHEET:

LOT:

DATE:

XXXX

XX/XX/XXXX

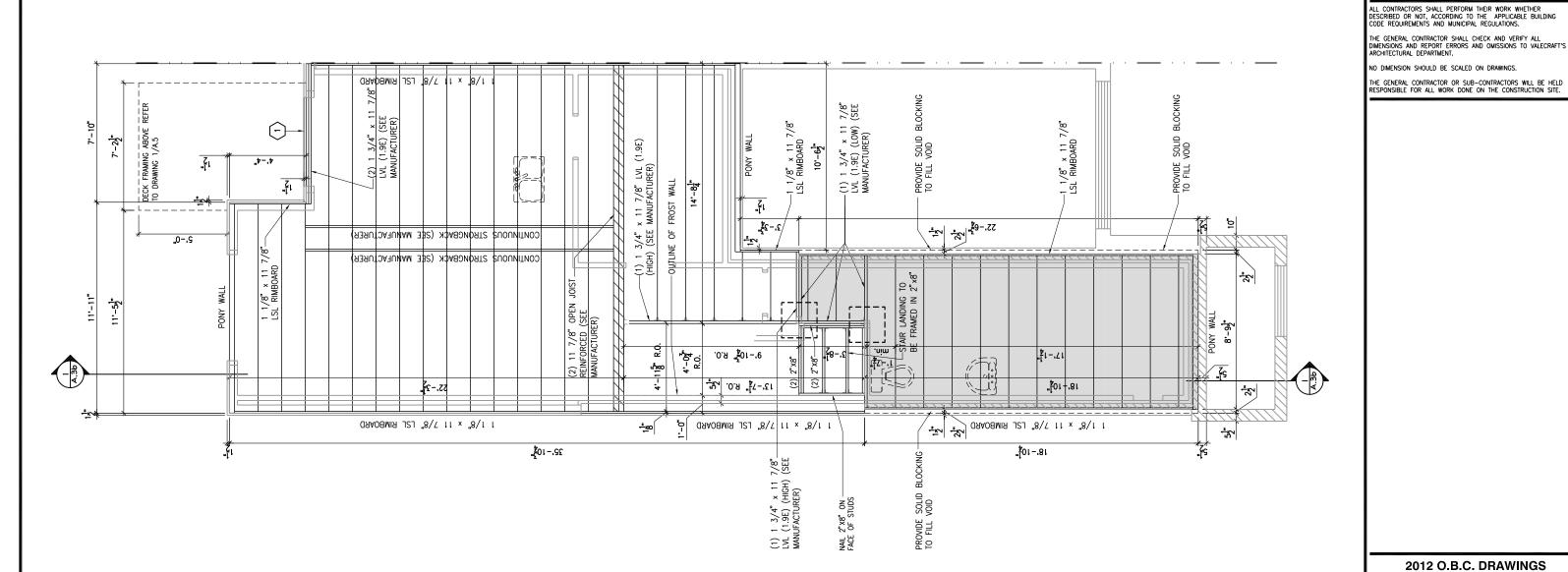
Homes (2019) Limited

I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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(A.61

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - PORCH END UNIT

130 - THE LEWIS 2020 FOOTPRINT

REV-3 AS PER STRUCTURAL REVIEW

REV-2 AS PER STRUCTURAL REVIEW

2012 O.B.C. DRAWINGS

REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON

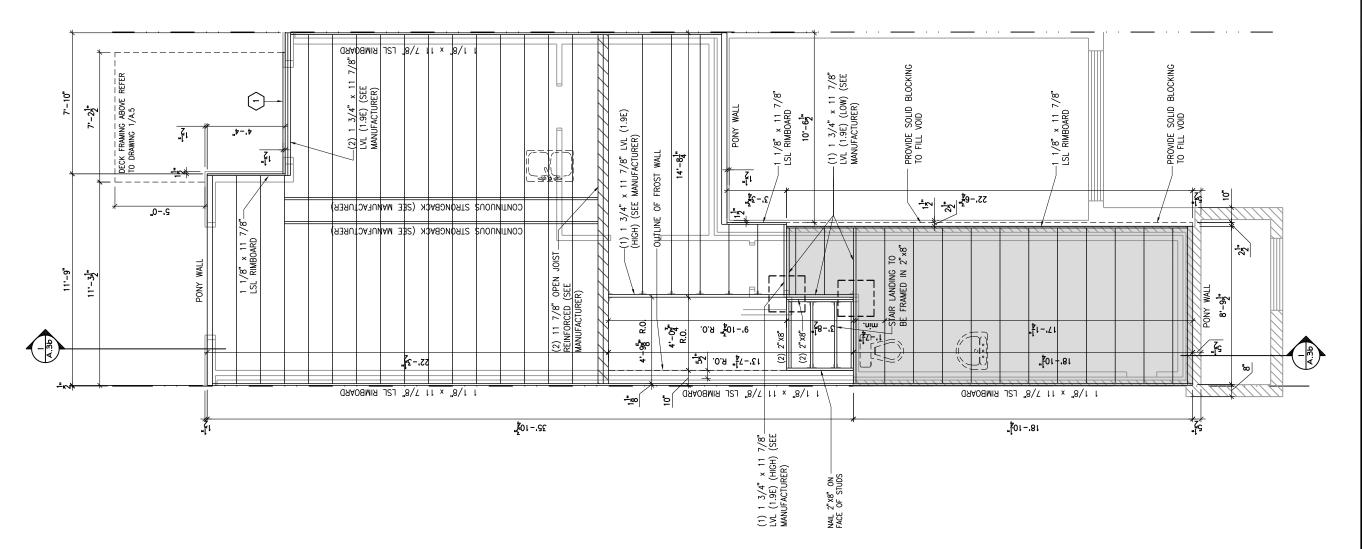
REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD
NO. DESCRIPTION MM/DD/YYYY BY DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END SCALE: 3/16" = 1'-0"

(STANDARD DRAWINGS)

SHEET: **A.6**I

xx/xx/xxxx

03/20/2019 VH 11/07/2018 VH



(A.6m)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

FRAMING PLAN - WALKOUT - MID DATE: XX/XX/XXXX

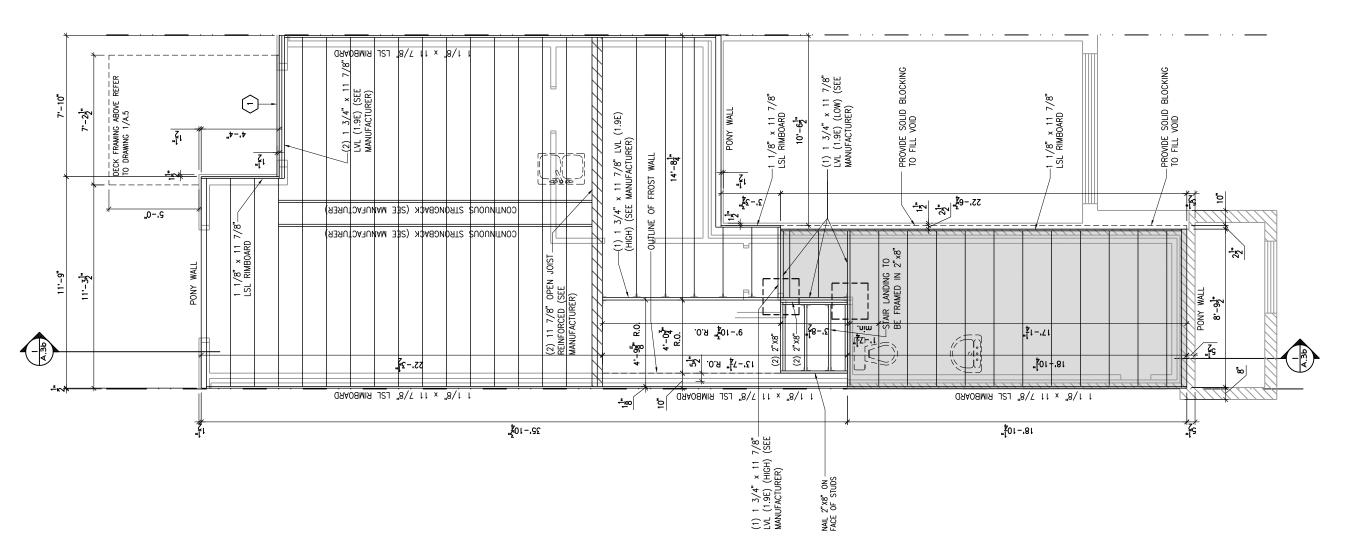
| SCALE: | 3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

|A.6m|

SHEET:



(A.6n)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

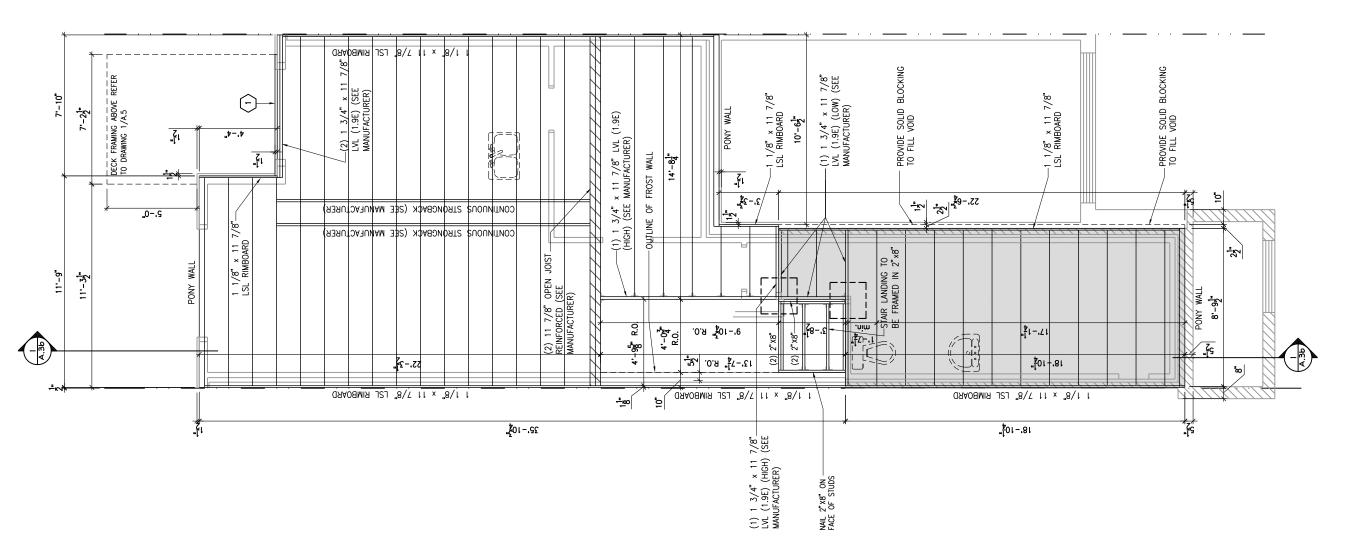
FRAMING PLAN - WALKOUT - MID

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx SHEET:

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6n



(A.60)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

FRAMING PLAN - WALKOUT - MID

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx SHEET:

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.60

LOT:

DATE:

XXXX

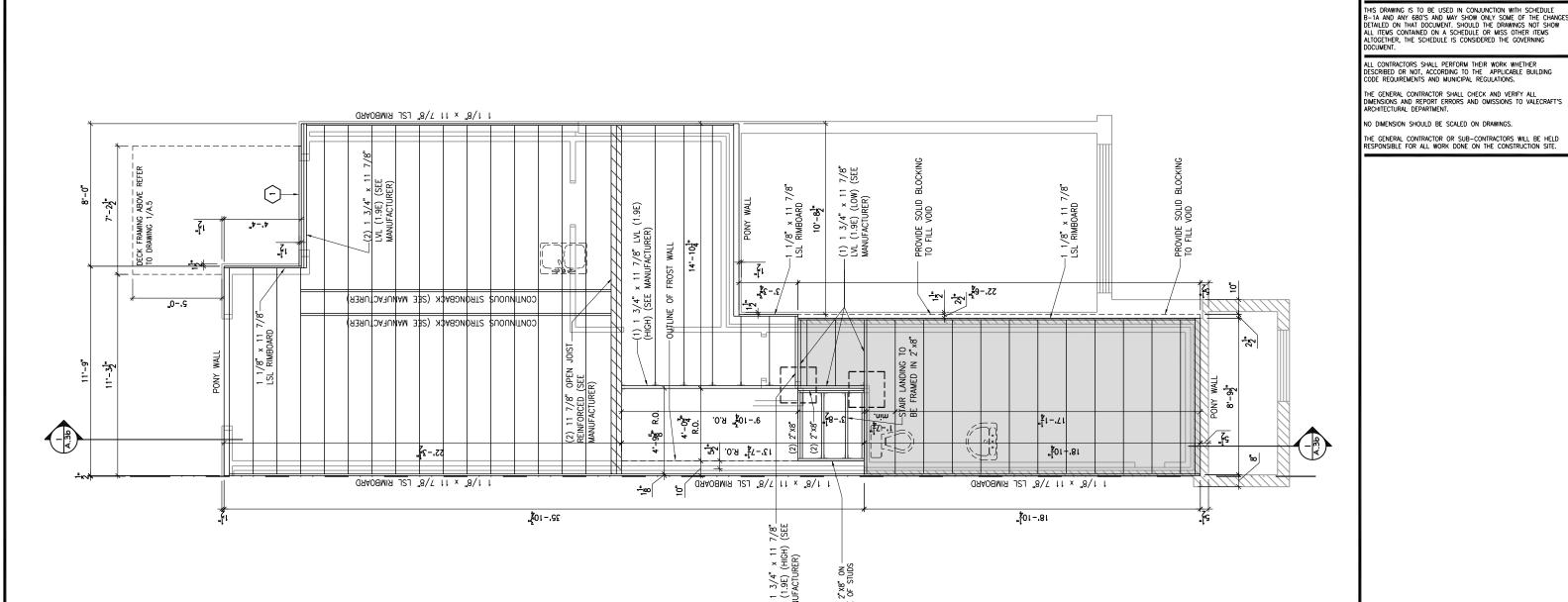
XX/XX/XXXX

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NAIL

EZ A

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT (A.6p)

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

REV-3 AS PER STRUCTURAL REVIEW

REV-2 AS PER STRUCTURAL REVIEW

2012 O.B.C. DRAWINGS

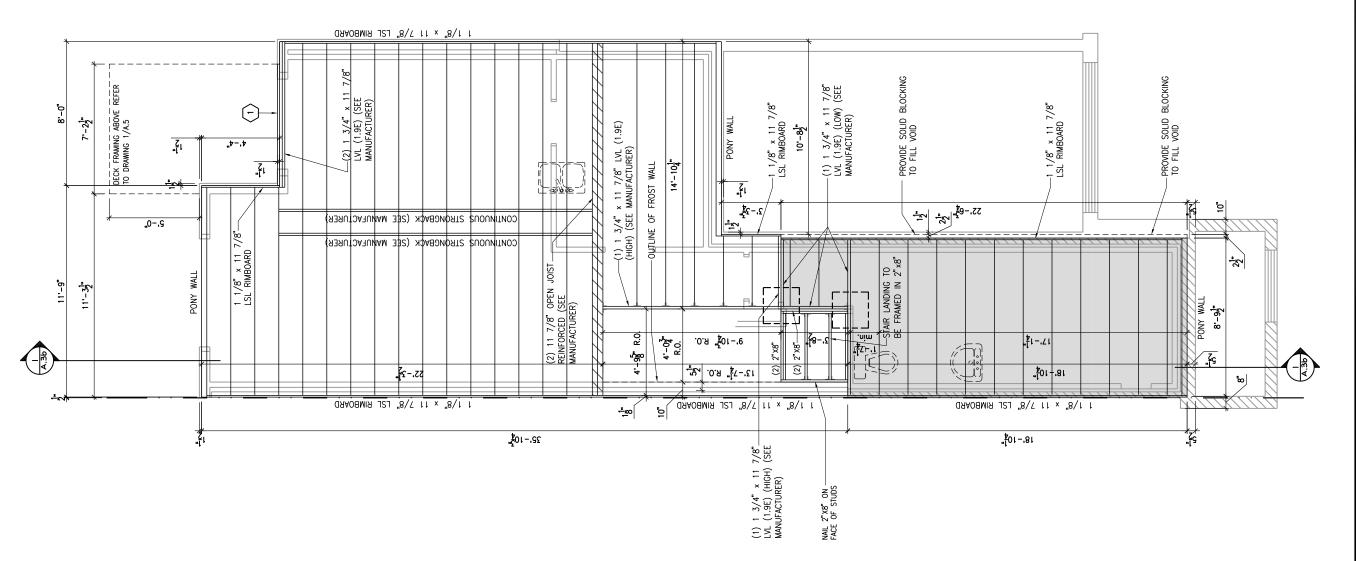
REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON

REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD
NO. DESCRIPTION MM/DD/YYYY BY DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END | SCALE: | 3/16" = 1'-0"

xx/xx/xxxx SHEET A.6p

03/20/2019 VH 11/07/2018 VH

SCALE: 3/16" = 1'-0"



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - GARAGE END UNIT

(A.6q) SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

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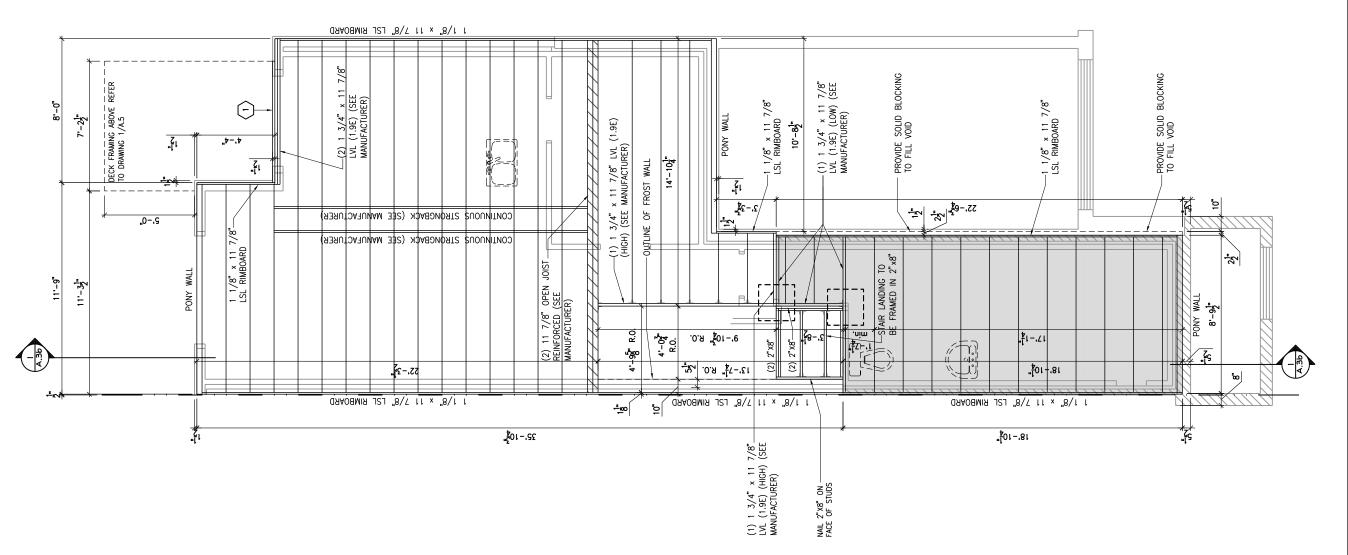
FRAMING-WALKOUT-GARAGE END

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx SHEET

130 - THE LEWIS 2020 FOOTPRINT

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PRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-GARAGE END

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

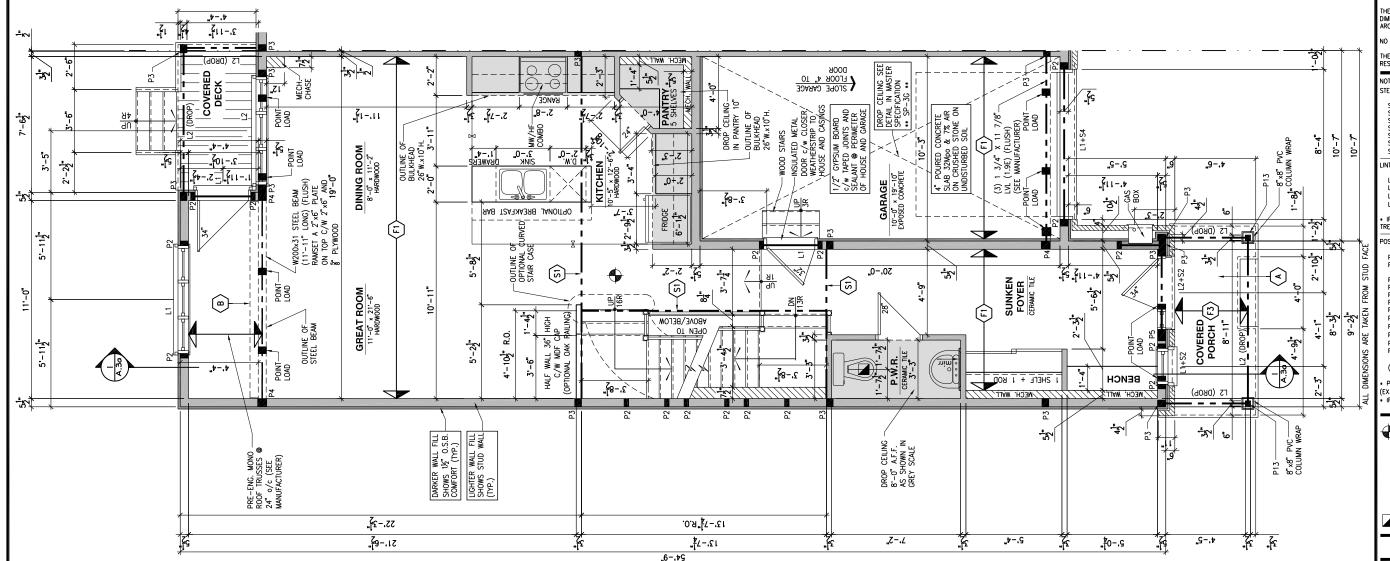
SHEET: A.6r

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - GARAGE END UNIT

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19:2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
 SOIL. SLAB TO BEAR ON FOUNDATION WALLS.
- PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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STEEL LINTEL:

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- $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*)

 (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN - PORCH END

3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

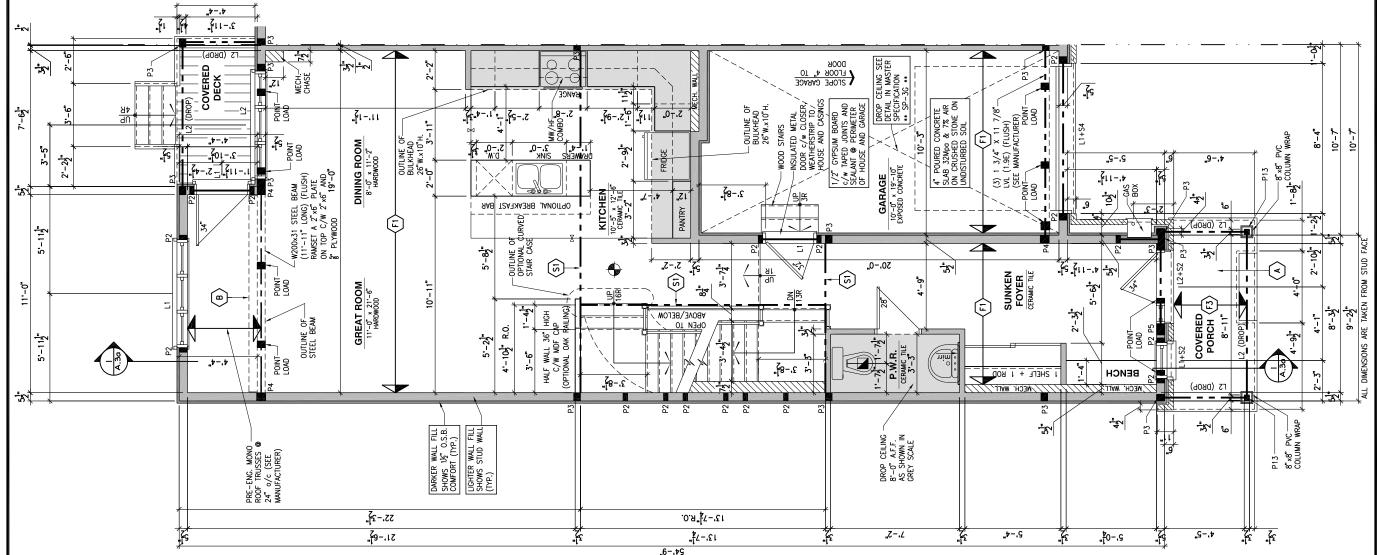
SHEET **A.7**a

XX/XX/XXXX

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN OPT. KITCHEN #1 - PORCH END

SCALE: 3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

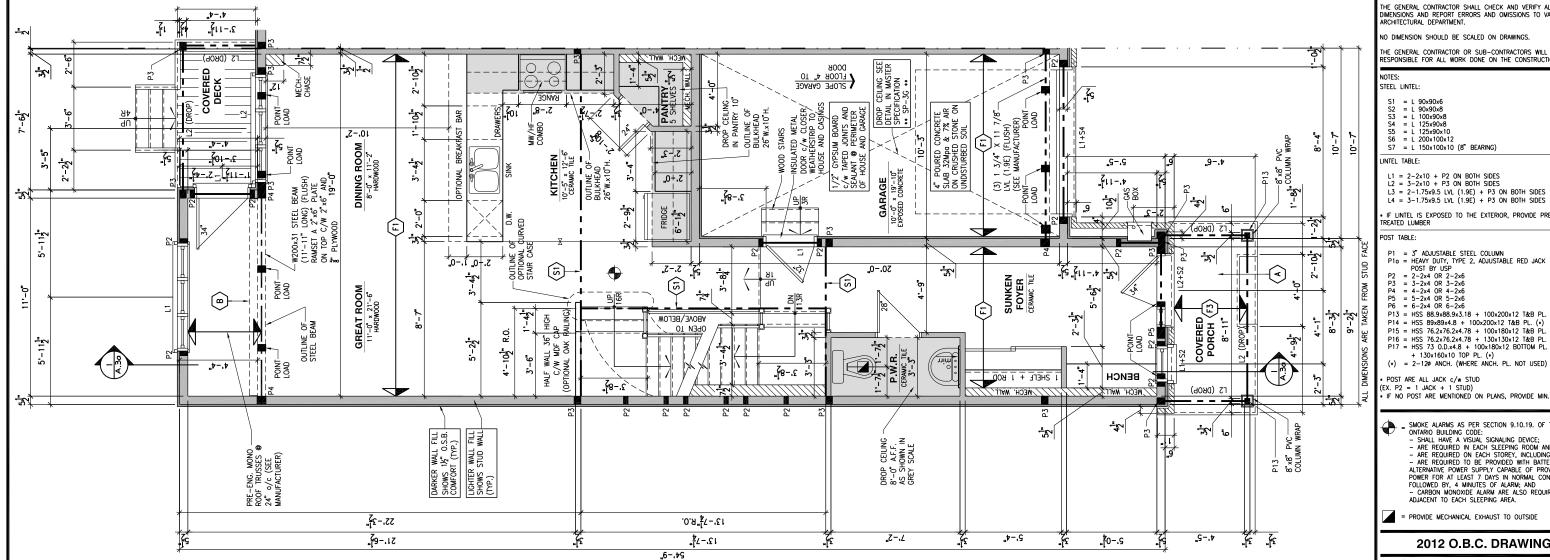
(STANDARD DRAWINGS)

SHEET A.7b

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN

OPT. KITCHEN #2 - PORCH END 3/16" = 1'-0"

130 - THE LEWIS

2020 FOOTPRINT

XX/XX/XXXX

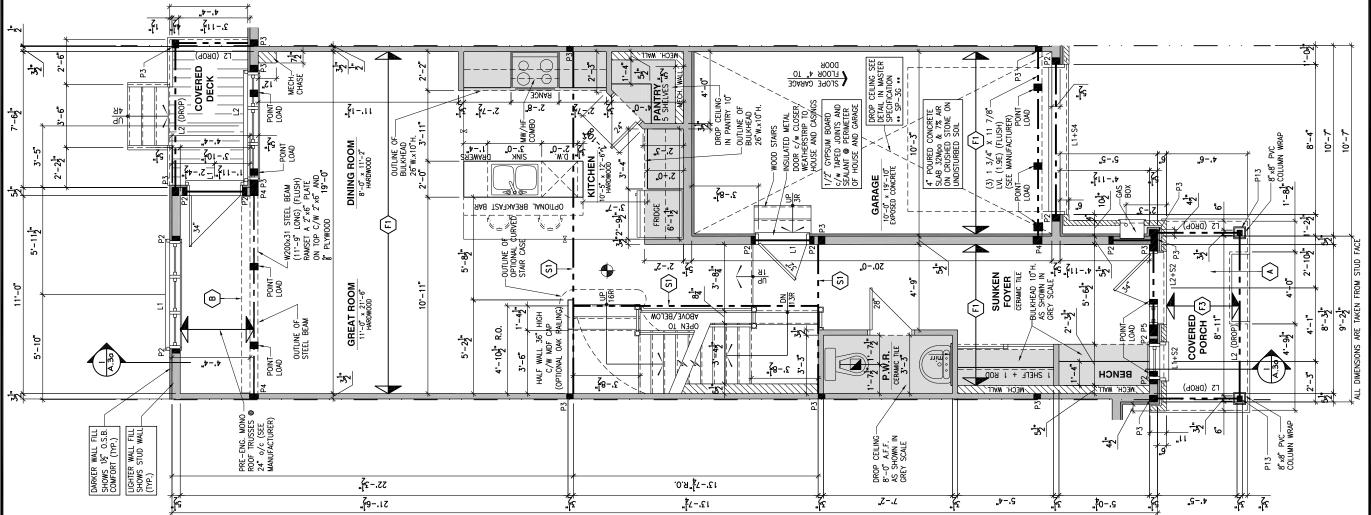
A.7c

SHEET

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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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GROUND FLOOR PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

XX/XX/XXXX SHEET

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
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- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

ORAWING: GROUND FLOOR PLAN **STANDARD KITCHEN - MID**

3/16" = 1'-0" 130 - THE LEWIS

2020 FOOTPRINT (STANDARD DRAWINGS)

A.7d

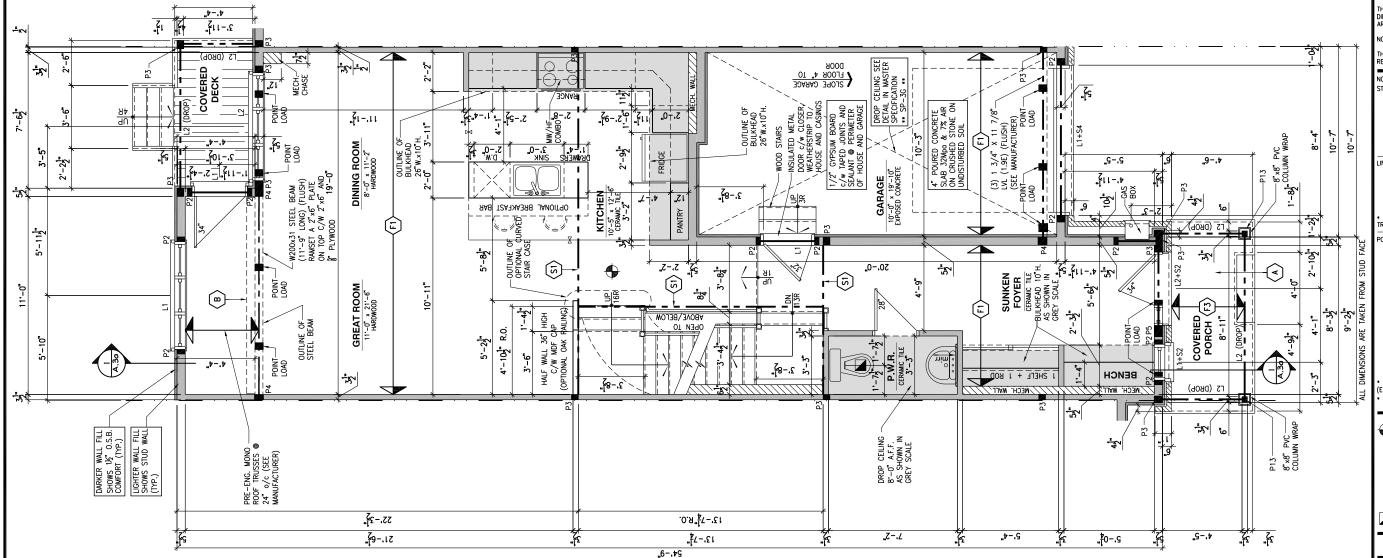
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #1 - MID**

3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.7e

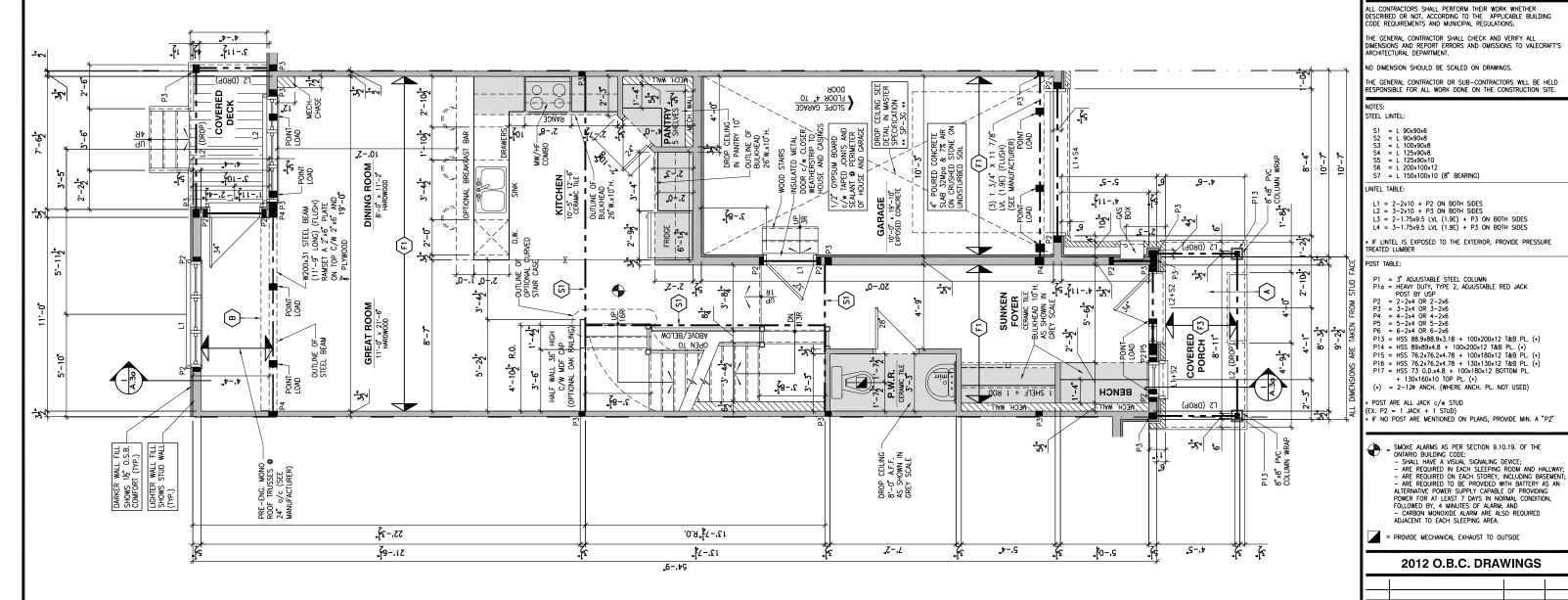
xx/xx/xxxx

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

(STANDARD DRAWINGS)

SHEET A.7f

xx/xx/xxxx

01/01/2021 DOYON

03/20/2019 VH

11/07/2018 VH



LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

DATE:

DOCUMENT

XXXX

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Homes (2019) Limited

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3/16" = 1'-0" 2020 FOOTPRINT

REV-4 NEW STANDARD DRWG MODIFICATION

REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD

DRAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #2 - MID**

REV-3 AS PER STRUCTURAL REVIEW

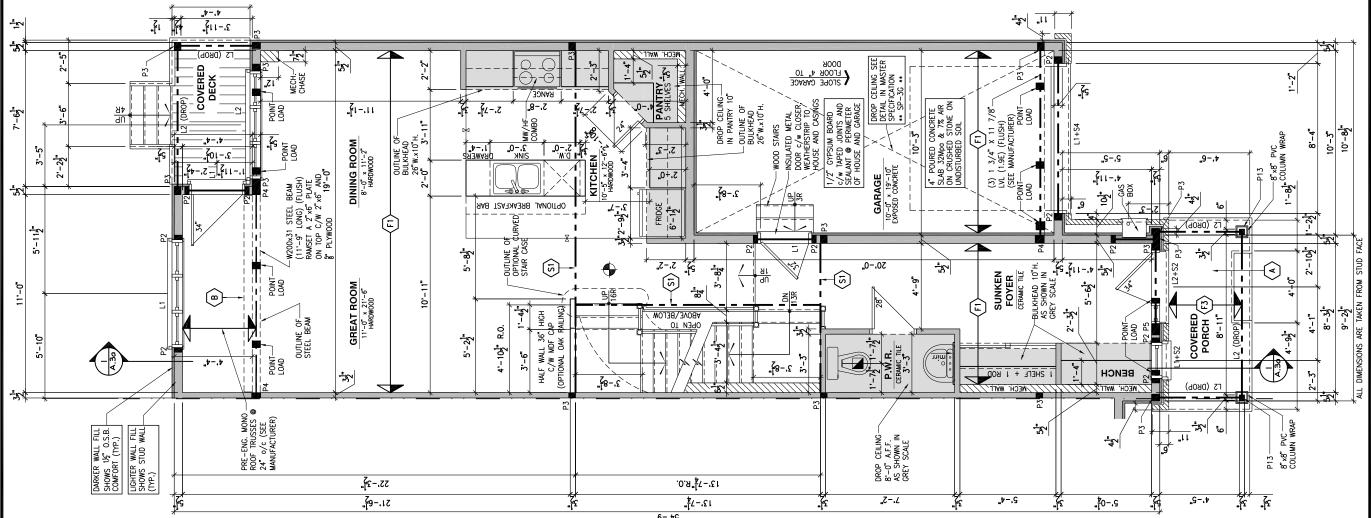
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GROUND FLOOR PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



I. <u>Daniel Guerin</u>, architectural manager for valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

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DRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN-GARAGE END

SCALE: 3/16" = 1'-0" 130 - THE LEWIS

SHEET A.7g

XX/XX/XXXX

(STANDARD DRAWINGS)

2020 FOOTPRINT

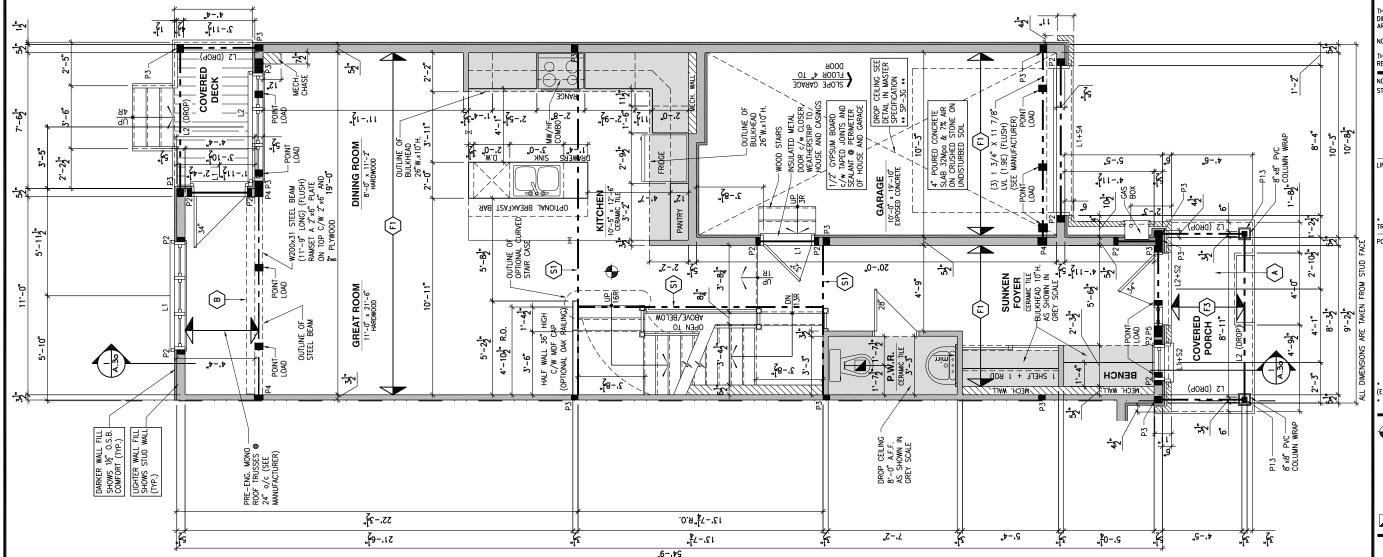
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - GARAGE END UNIT

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LOT: XXXX DATE: XX/XX/XXXX



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

ORAWING: GROUND FLOOR PLAN **OPT. KITCHEN #1 - GARAGE END**

3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

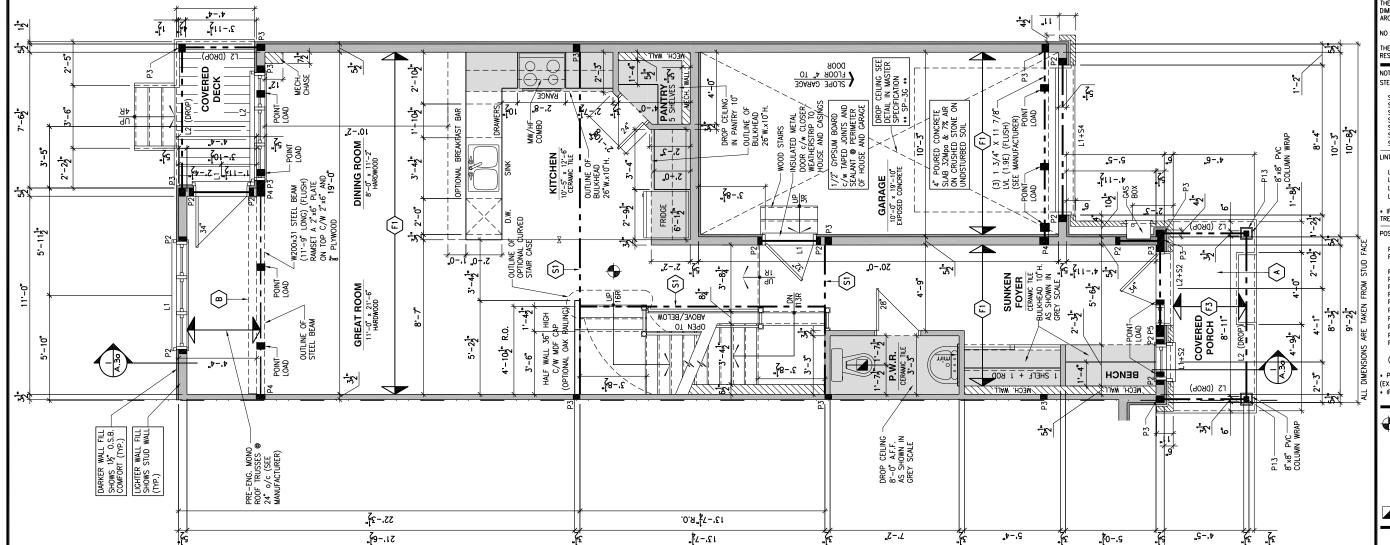
A.7h

SHEET

- , 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19:2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS
- PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
 SOIL. SLAB TO BEAR ON FOUNDATION WALLS.
 - PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



.6-.79

SCALE: 3/16" = 1'-0"

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT

LOT: XXXX DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
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LINTEL TABLE:

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- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

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POST BY USP
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P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*)

 (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN **OPT. KITCHEN #2 - GARAGE END**

SCALE: 3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.7i

SHEET

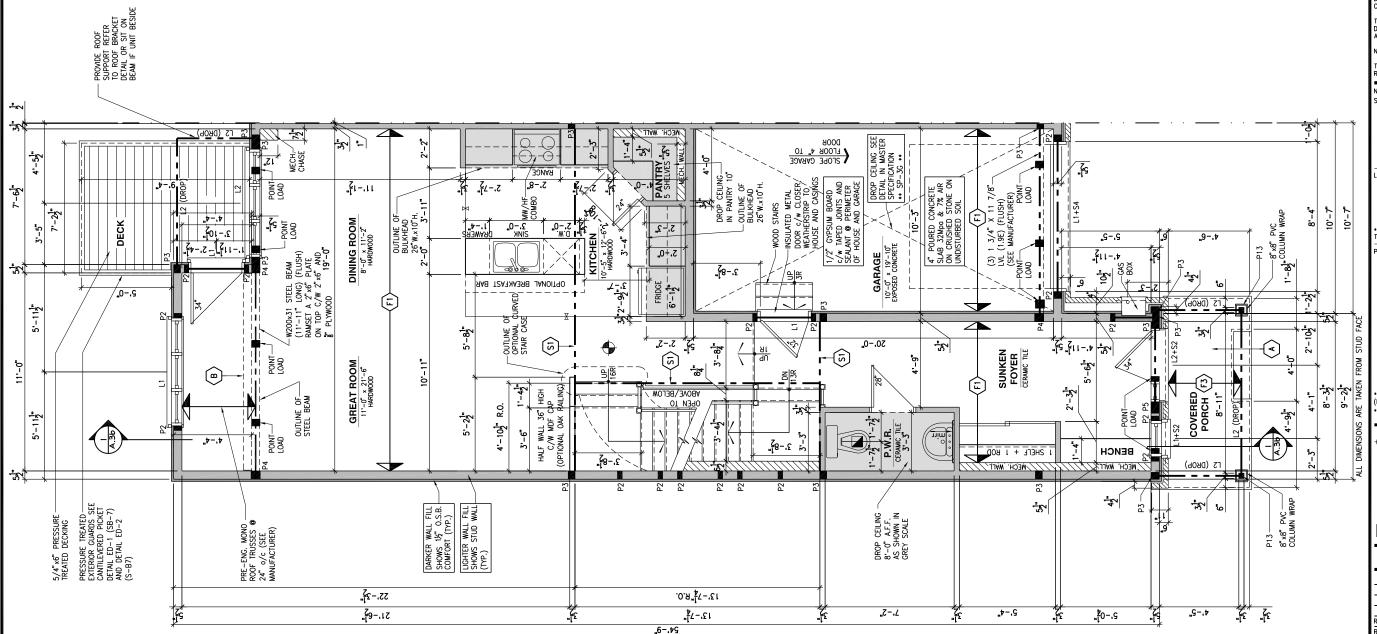
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GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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AWOROUND FLOOR - WALKOUT

STANDARD KITCHEN - PORCH END SCALE: 3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET **A.7**j

XX/XX/XXXX

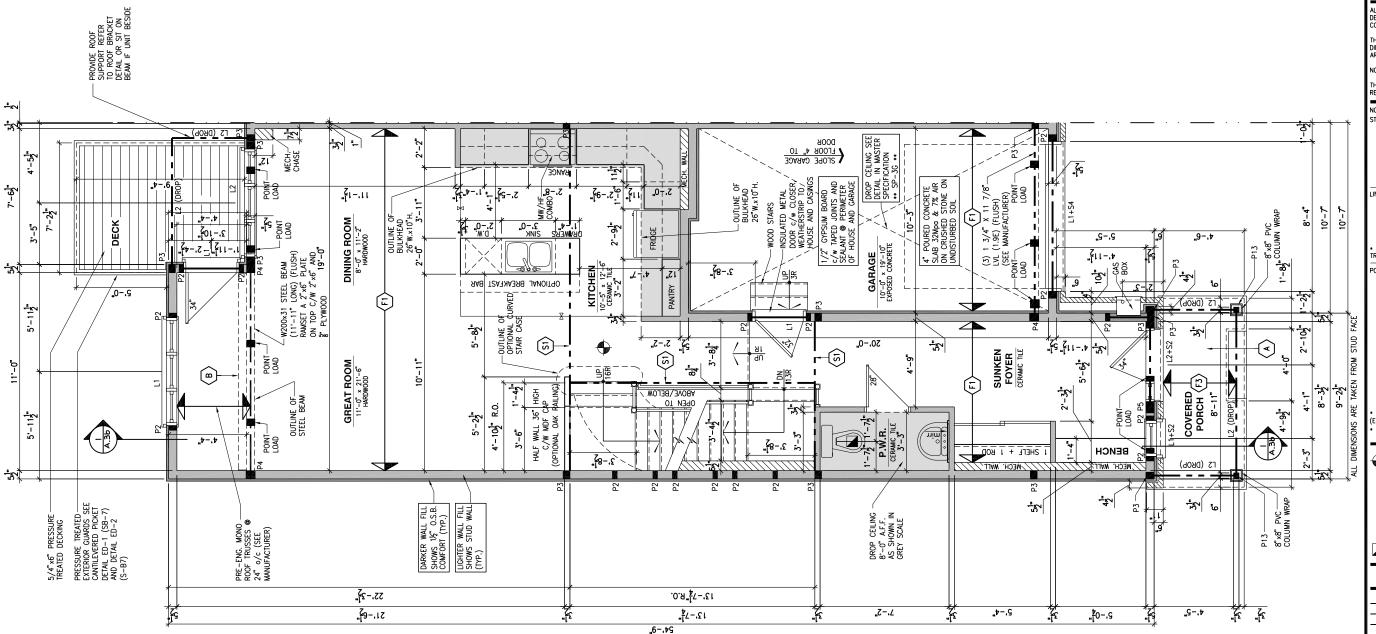
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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #1 - PORCH END

3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

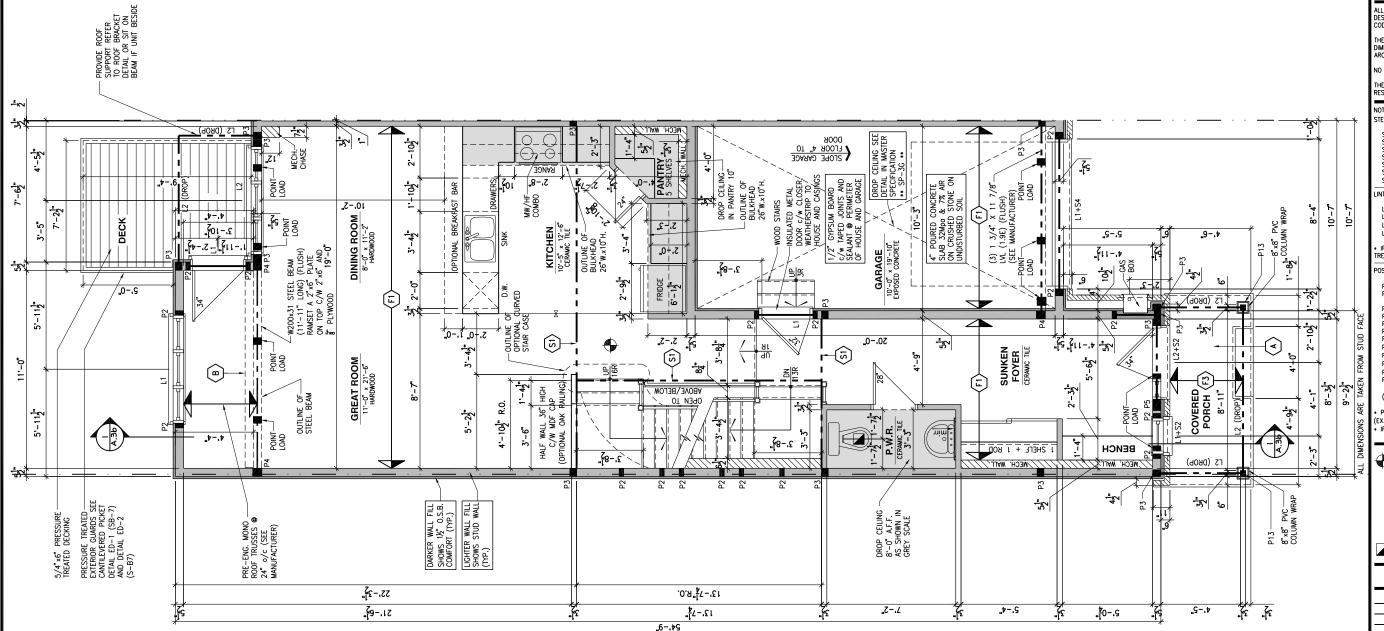
A.7k

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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -PORCH END**

SCALE: 3/16" = 1'-0"

XX/XX/XXXX SHEET 130 - THE LEWIS

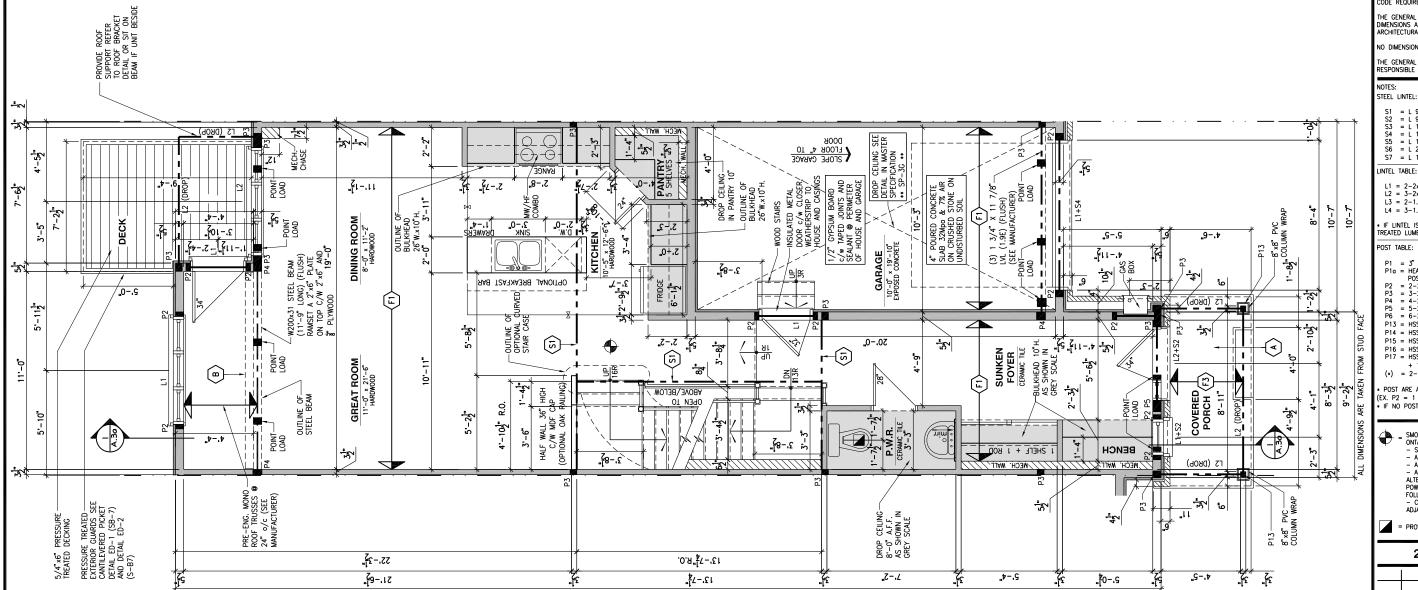
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A.7I

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- PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
 BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
 WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
 SOIL. SLAB TO BEAR ON FOUNDATION WALLS.
 - PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = L 200 \times 100 \times 12$

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- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
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 POST BY USP
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 P6 = 6-2x4 OR 6-2x6
 P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT **STANDARD KITCHEN - MID**

SCALE: 3/16" = 1'-0"

XX/XX/XXXX SHEET

130 - THE LEWIS 2020 FOOTPRINT

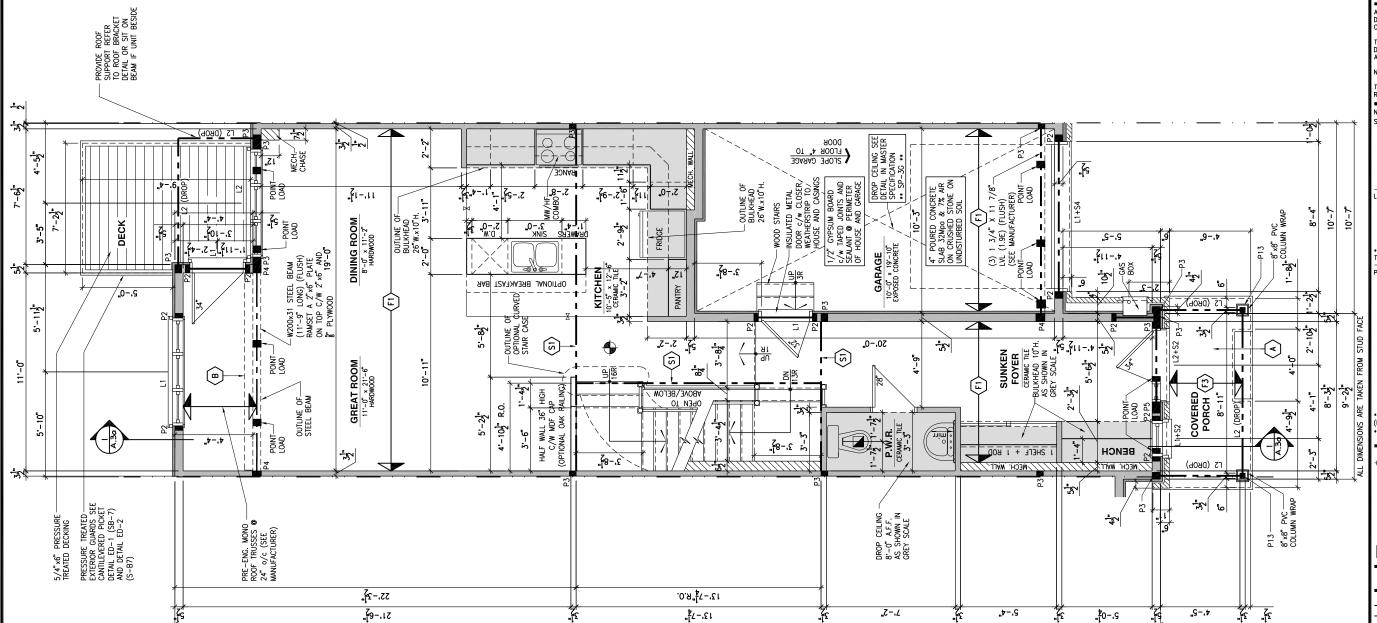
(STANDARD DRAWINGS)

A.7m

- , 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19:2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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.6-.79

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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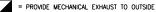
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AWING: GROUND FLOOR - WALKOUT **OPTIONAL KITCHEN #1 - MID**

SCALE: 3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

A.7n

XX/XX/XXXX

SHEET

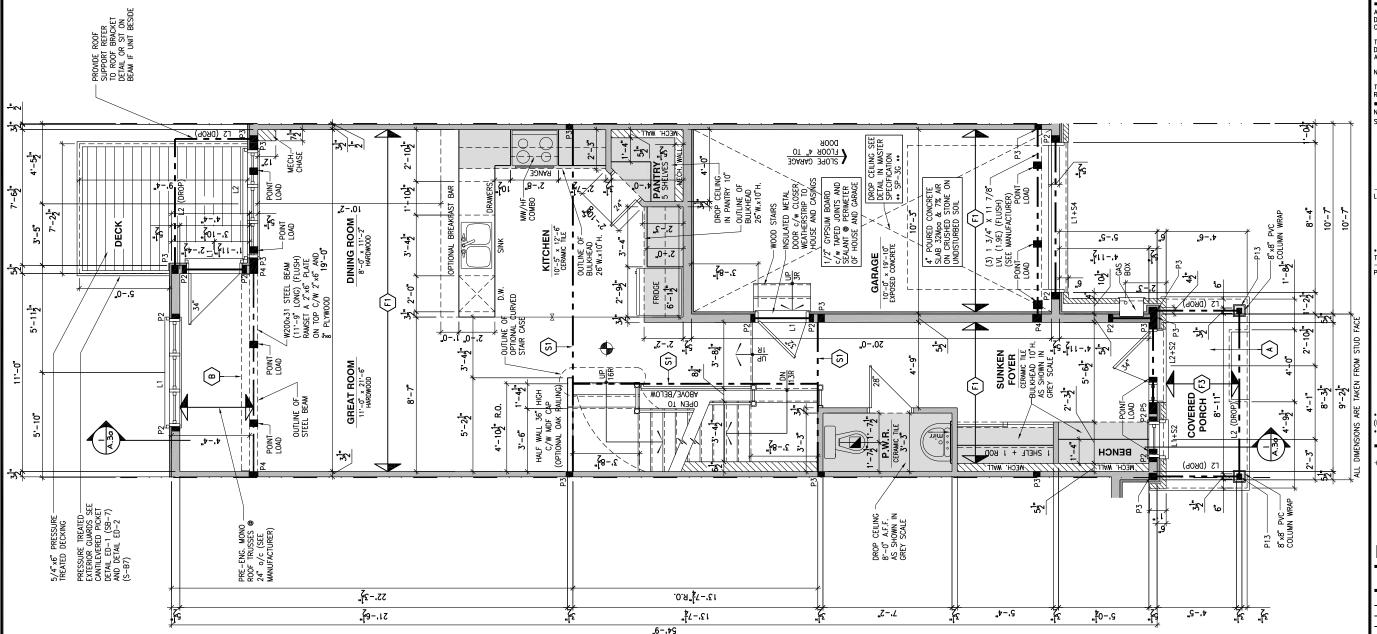
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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT **OPTIONAL KITCHEN #2 - MID**

SCALE: 3/16" = 1'-0" XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

A.70

SHEET

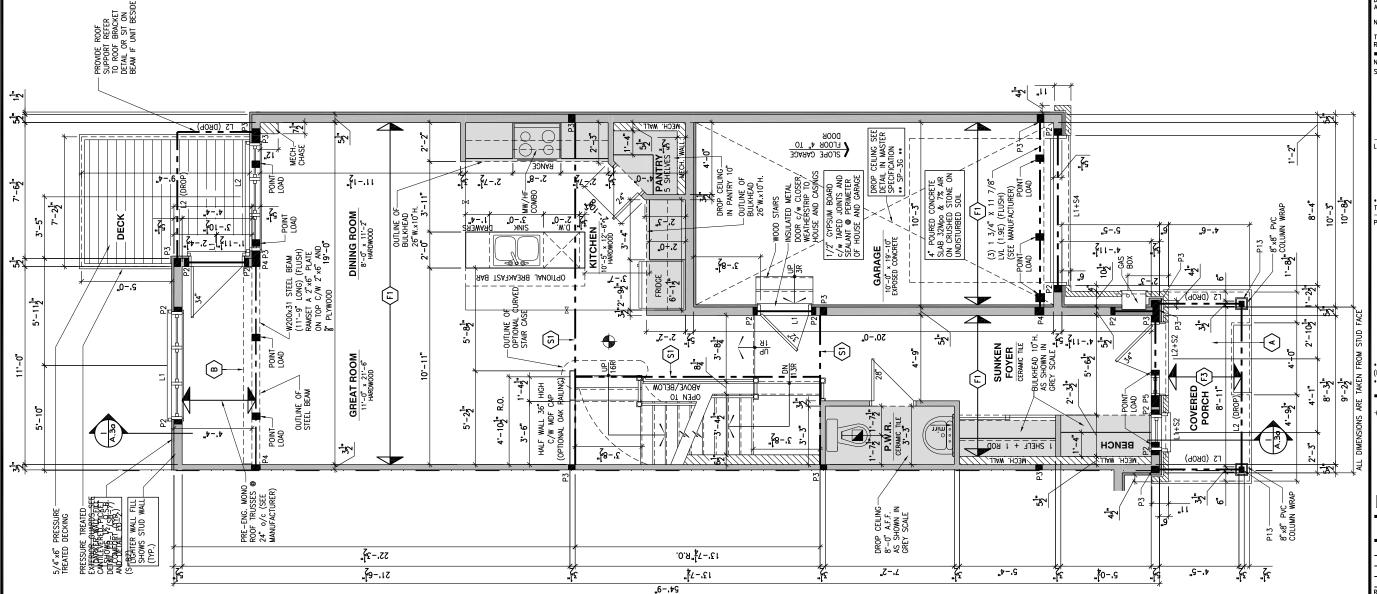
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GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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AWIGHOUND FLOOR - WALKOUT

STANDARD KITCHEN-GARAGE END SCALE: 3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT SHEET **A.7**p

XX/XX/XXXX

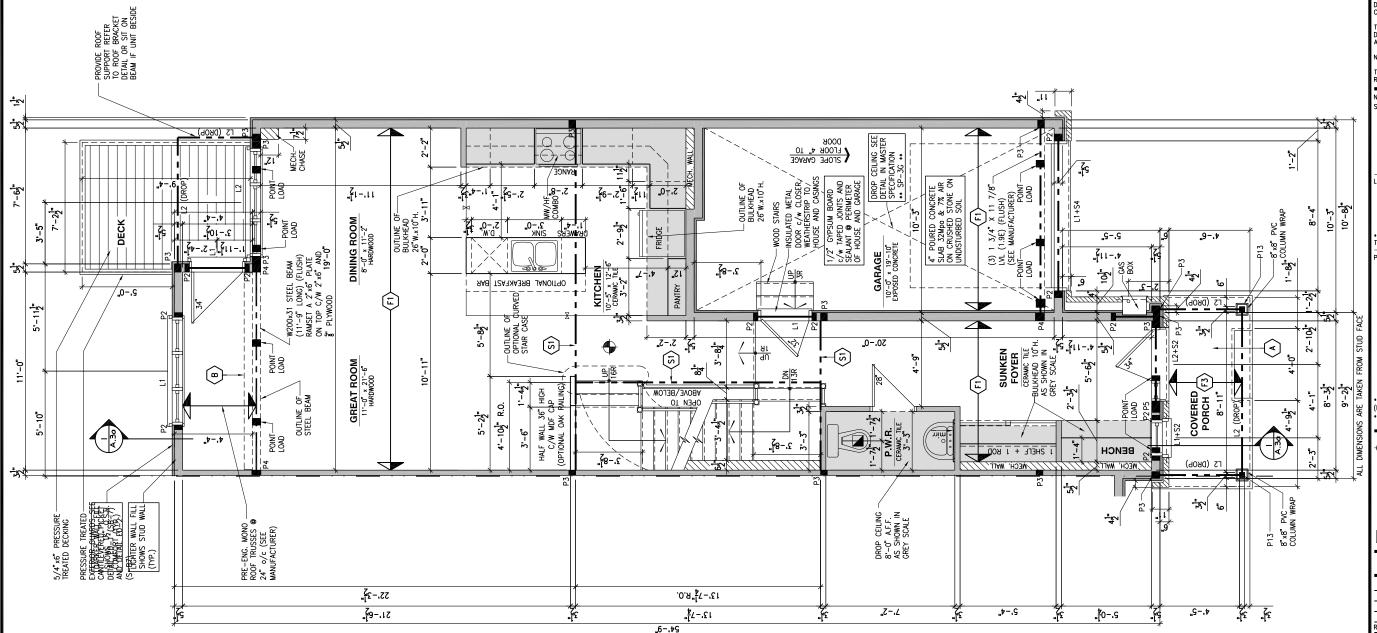
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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - GARAGE END UNIT

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1
- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*)

 (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

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- POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.



2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOY
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #1 - GARAGE END**

3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

A.7q

XX/XX/XXXX

SHEET

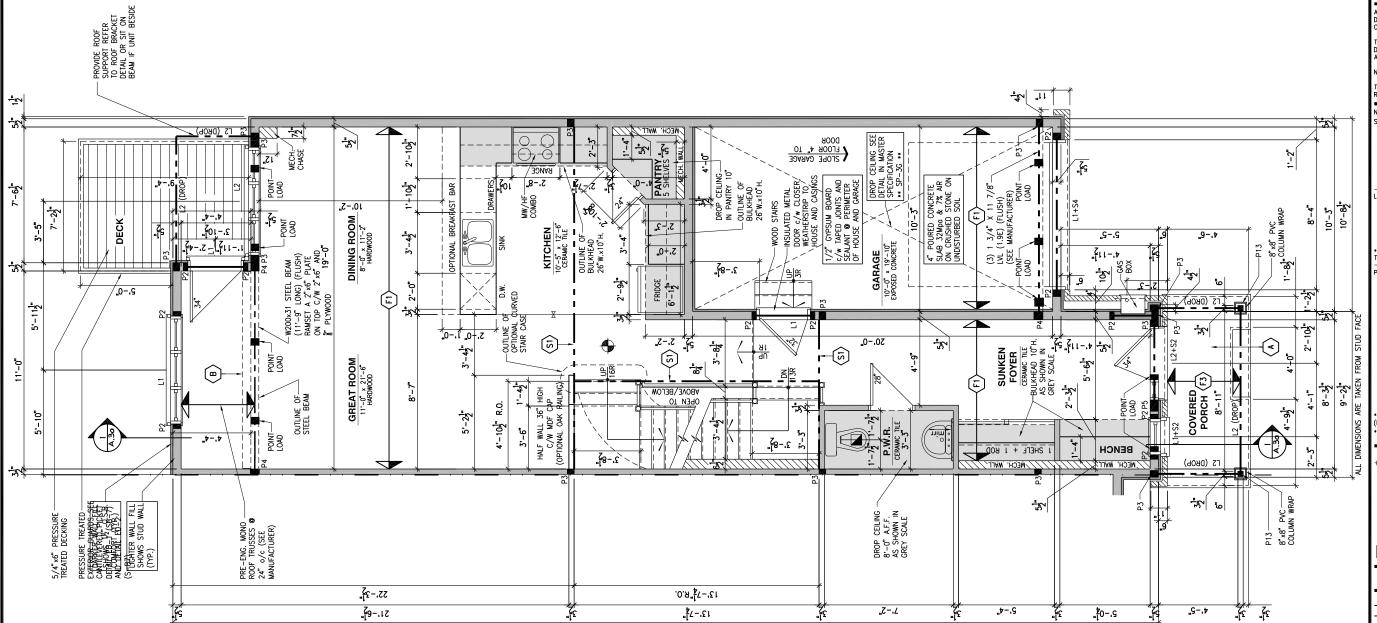
- , 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19:2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



.6-.79

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -GARAGE END**

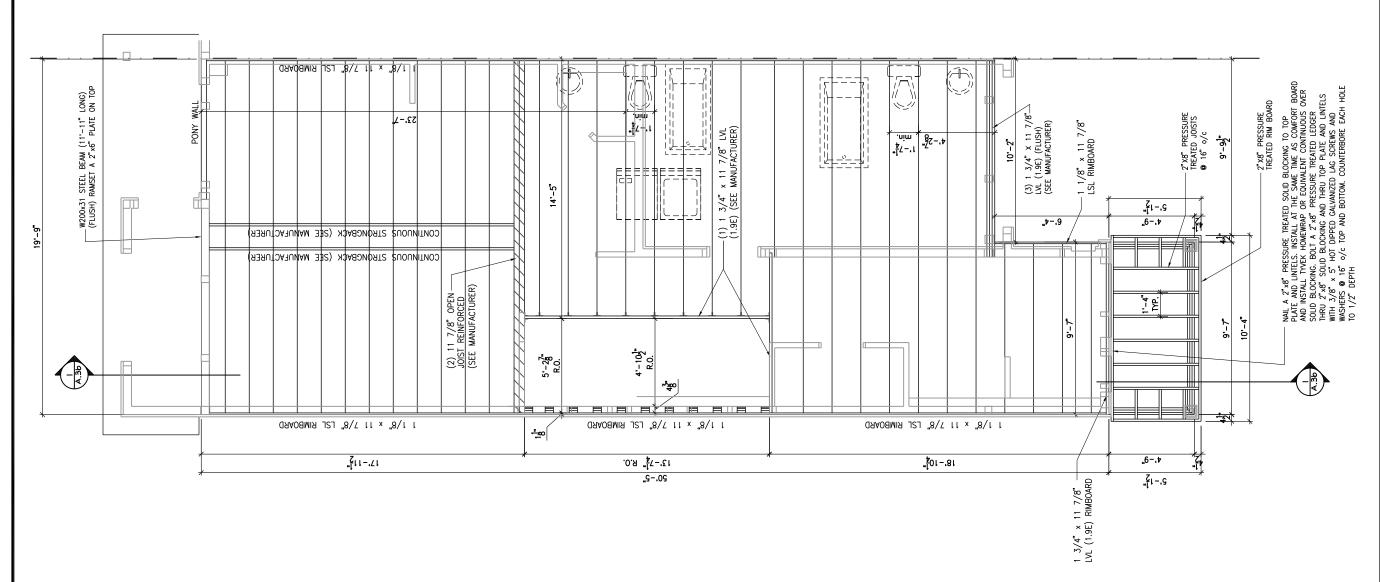
(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

XX/XX/XXXX SHEET

130 - THE LEWIS 2020 FOOTPRINT

A.7r



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX

Homes (2019) Limited

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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR

JOIST FRAMING - PORCH END

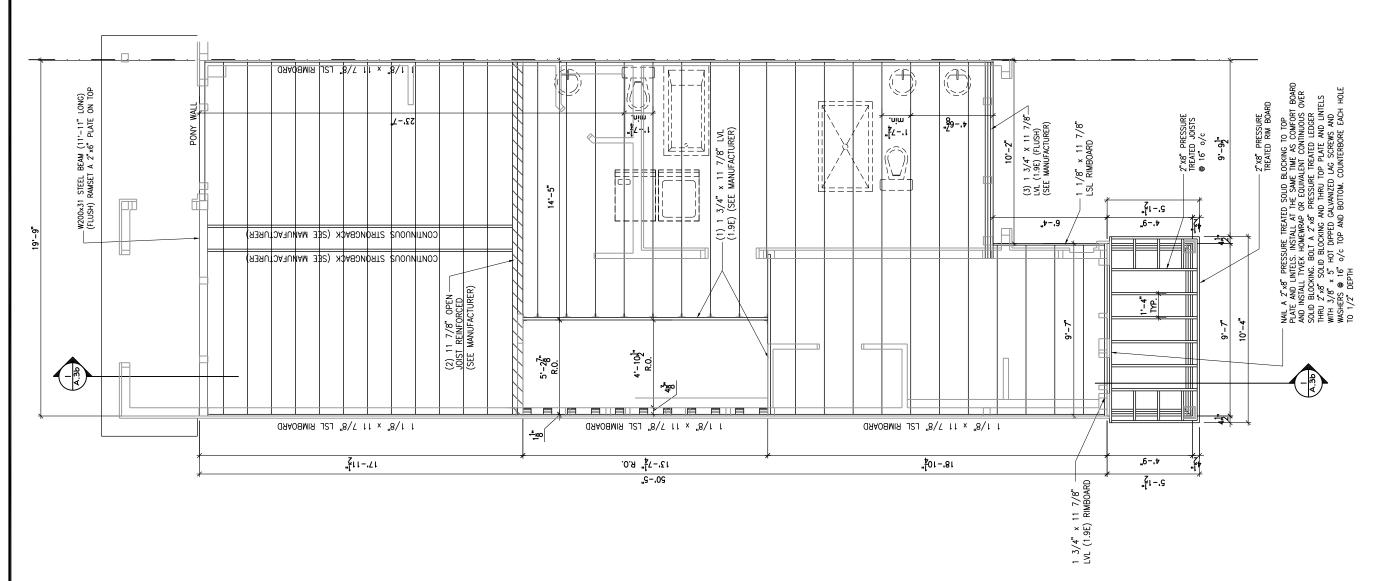
SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.8a

SHEET:



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR

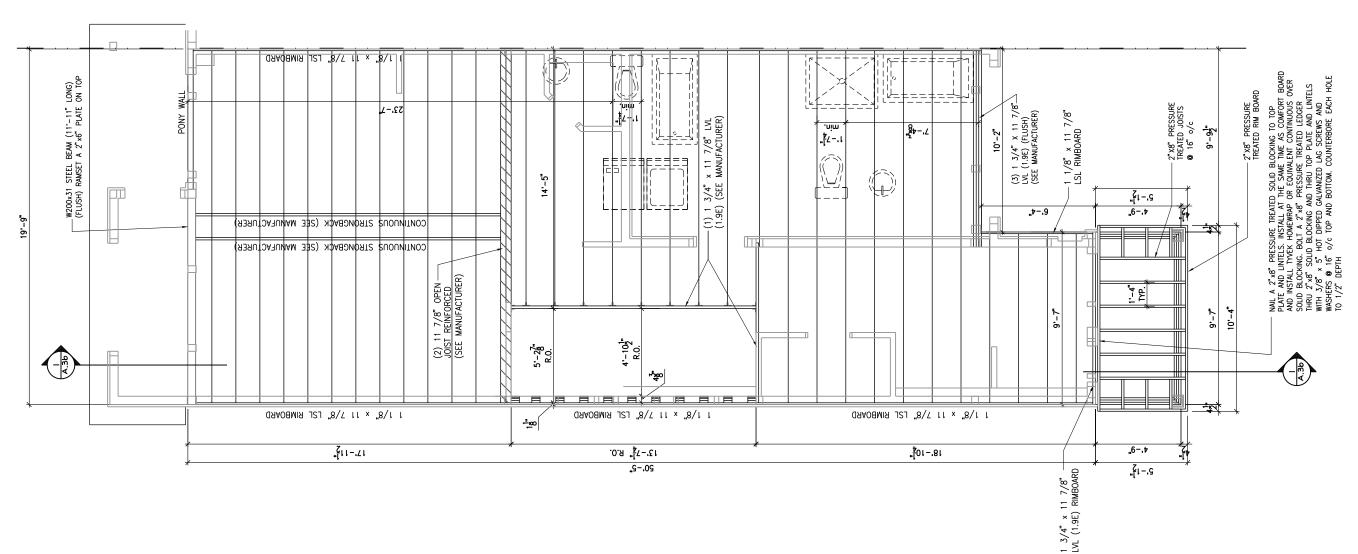
JOIST FRAMING - PORCH END

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

A.8b

SHEET:



LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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NO.	DESCRIPTION	MM/DD/YYYY	BY

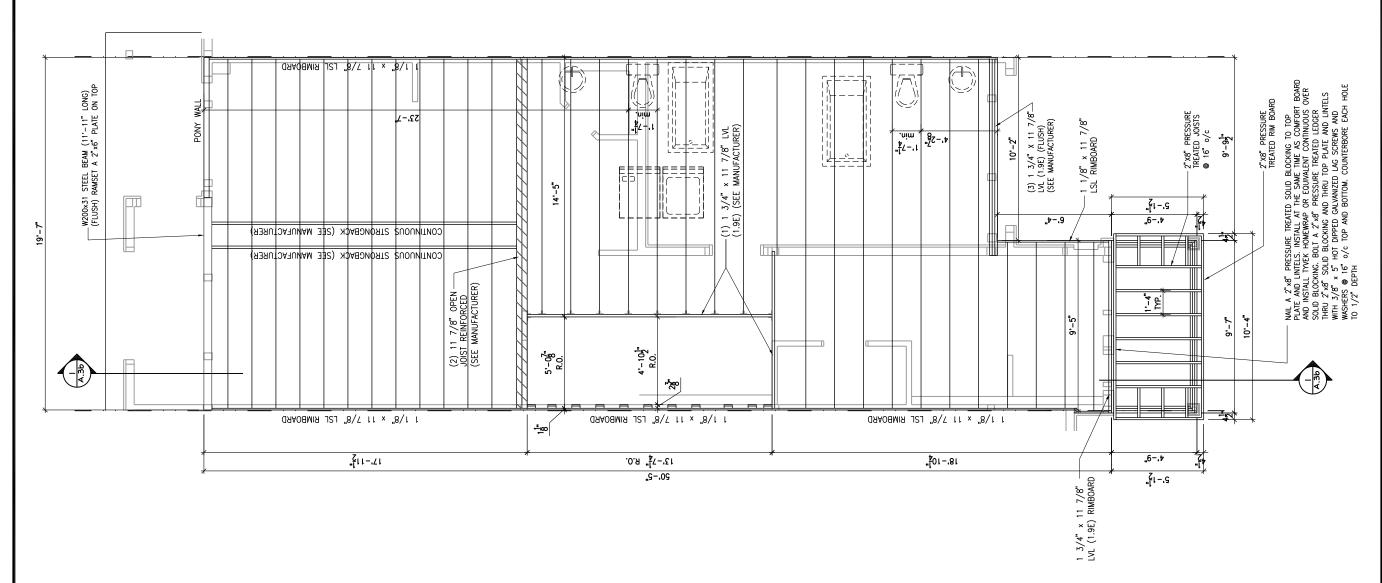
RAWING: SECOND FLOOR - FLOOR

JOIST FRAMING - PORCH END SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.8c



LOT: XXXX DATE: XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN-MID**

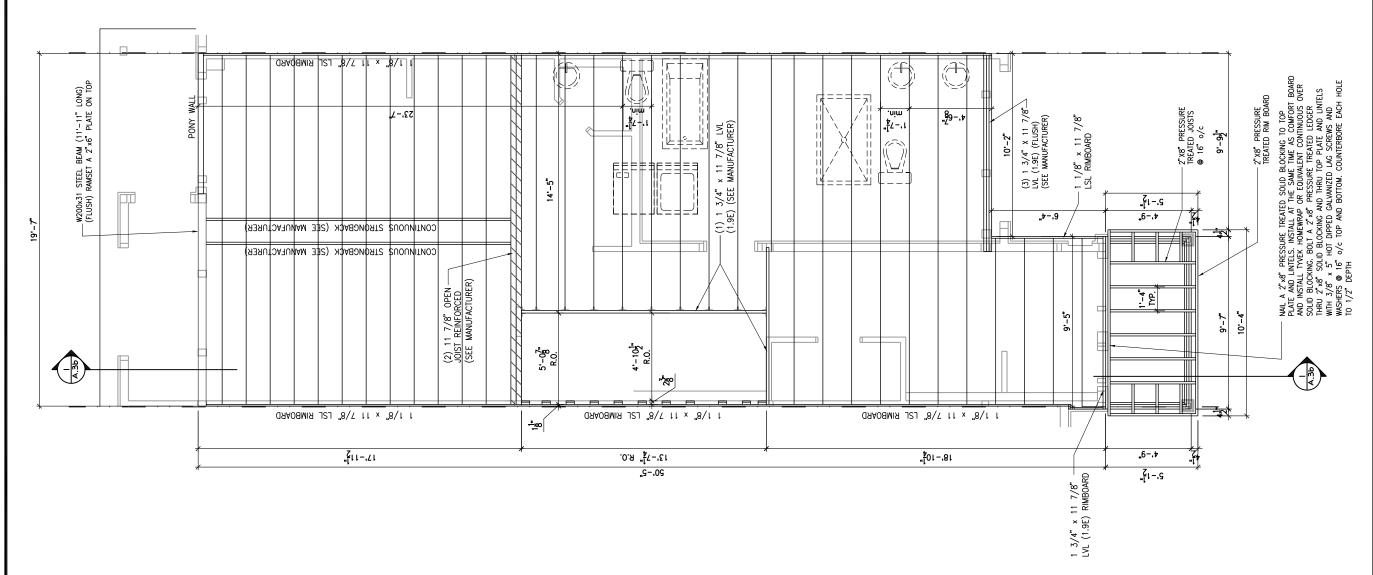
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS

2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.8d

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - MID UNIT



LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	RY

RAWING: SECOND FLOOR - FLOOR

SHEET:

A.8e

JOIST FRAMING PLAN - MID DATE: XX/XX/XXXX

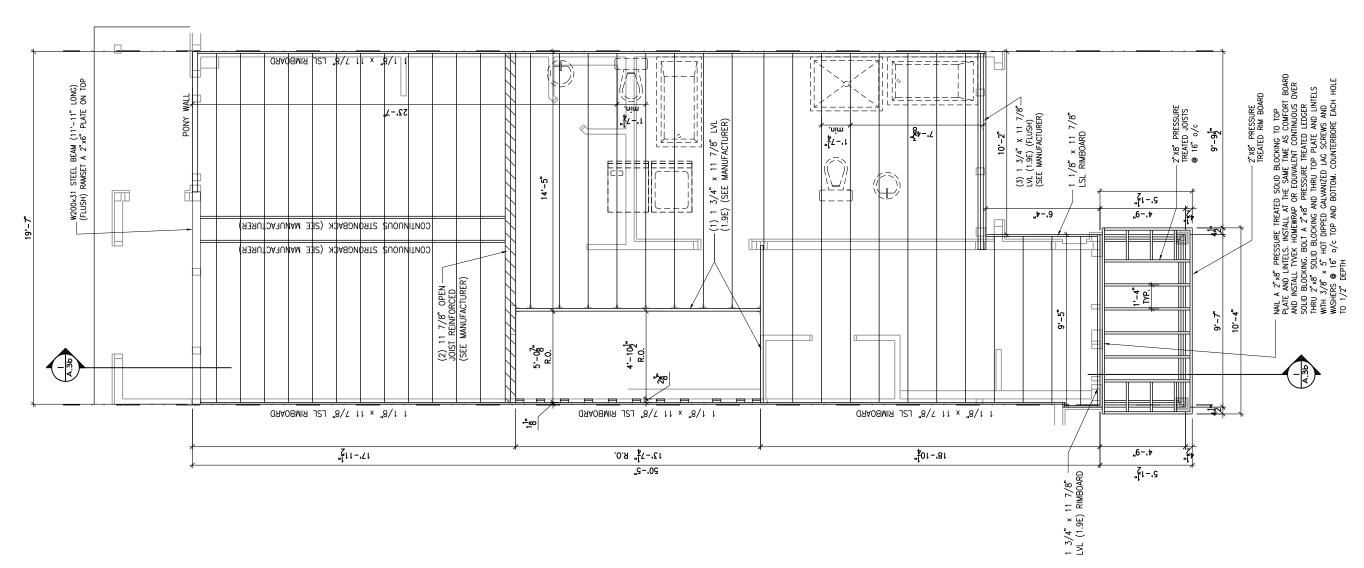
| SCALE: | 3/16" = 1'-0"

130 - THE LEWIS

(STANDARD DRAWINGS)

2020 FOOTPRINT

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT



LOT: XXXX XX/XX/XXXX

Homes (2019) Limited

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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR

SHEET:

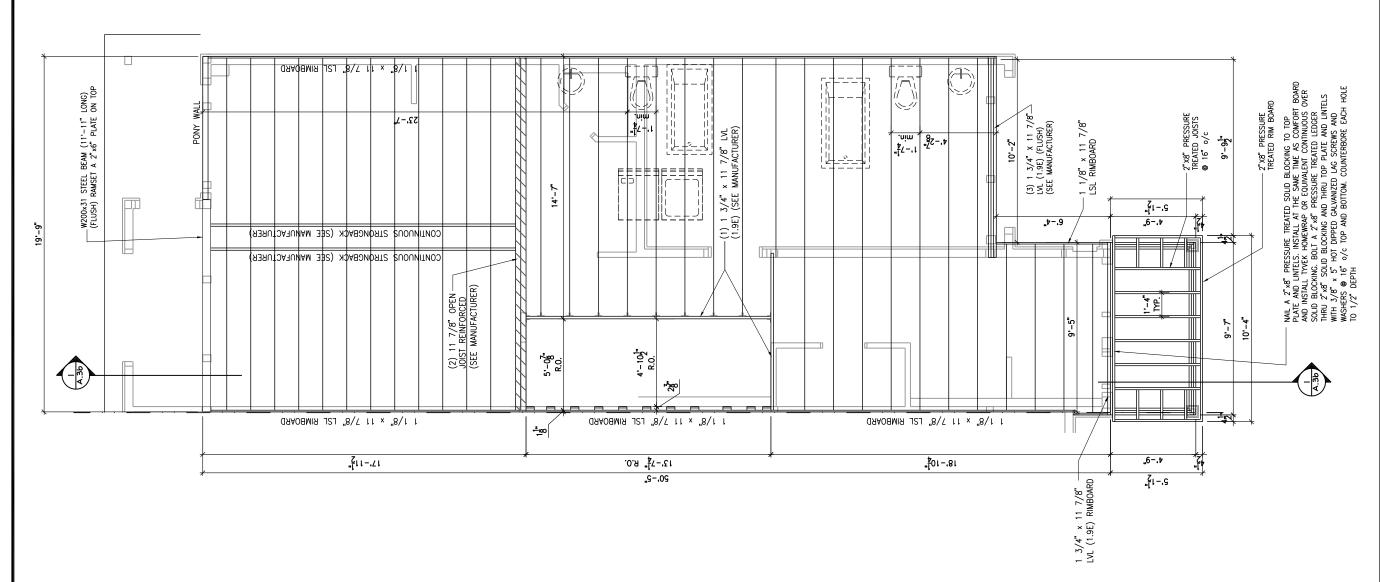
A.8f

JOIST FRAMING PLAN - MID | SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

2020 FOOTPRINT

130 - THE LEWIS

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT



LOT: XXXX DATE: XX/XX/XXXX



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RAWING: SECOND FLOOR - FLOOR

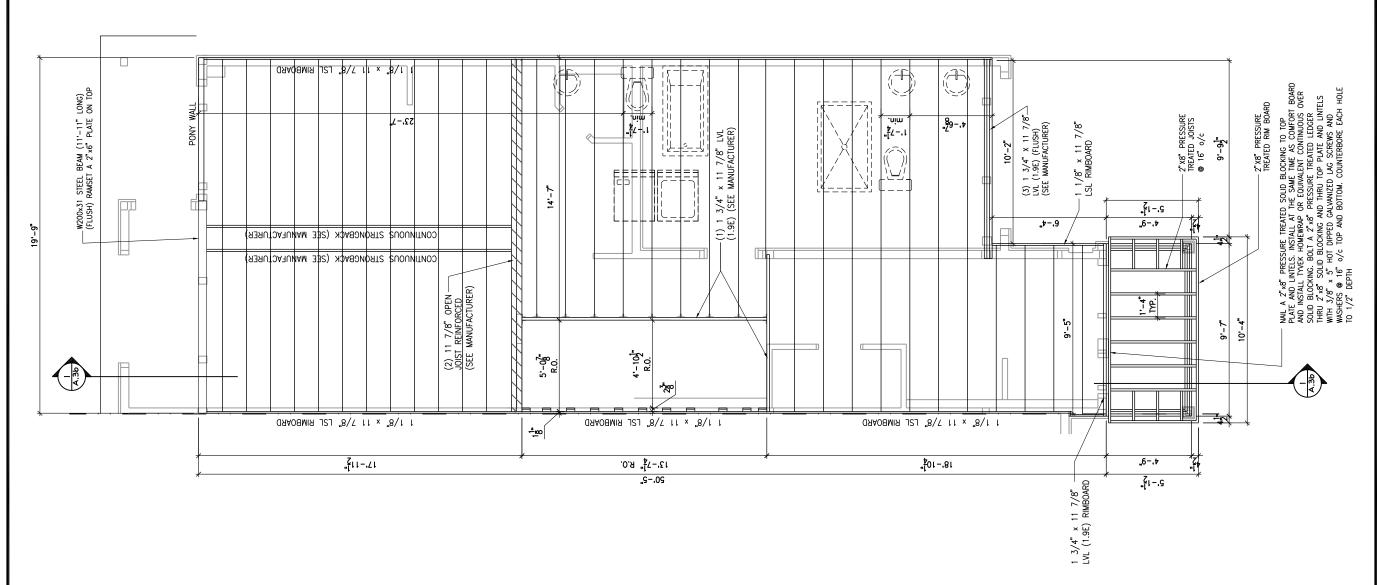
JOIST FRAMING - GARAGE END DATE: XX/XX/XXXX

| SCALE: | 3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.8g

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - GARAGE END UNIT



SCALE: 3/16" = 1'-0"

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

LOT: XXXX DATE: XX/XX/XXXX

Homes (2019) Limited

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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR

JOIST FRAMING - GARAGE END

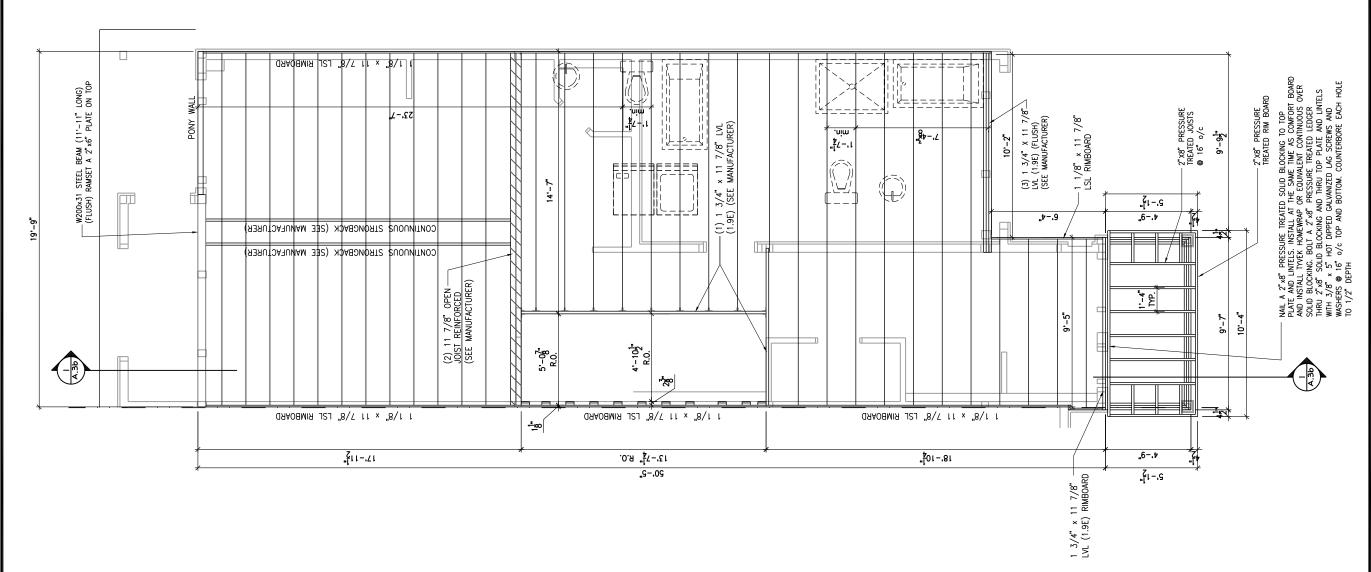
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.8h

SHEET:



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

LOT: XXXX DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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130 - THE LEWIS

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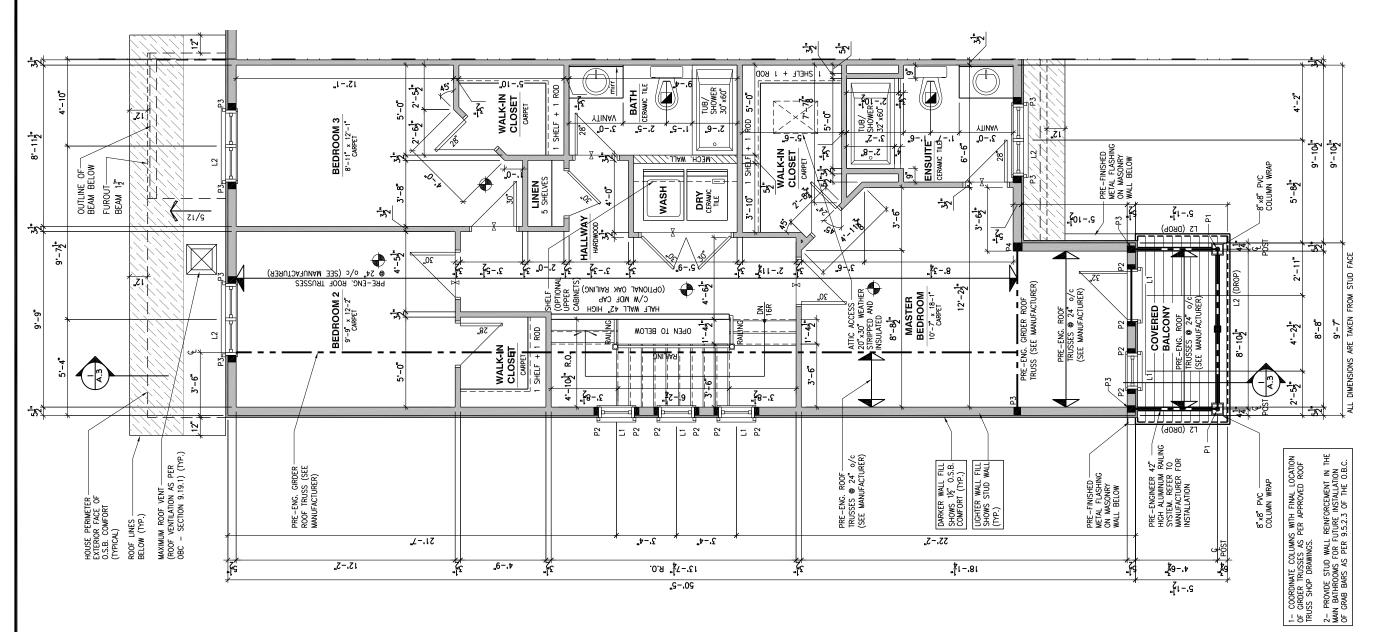
(STANDARD DRAWINGS)

A.8i

xx/xx/xxxx

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
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 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - STANDARD ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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DRAWING: SECOND FLOOR PLAN

STANDARD ENSUITE - PORCH END

SCALE: 3/16" = 1'-0"

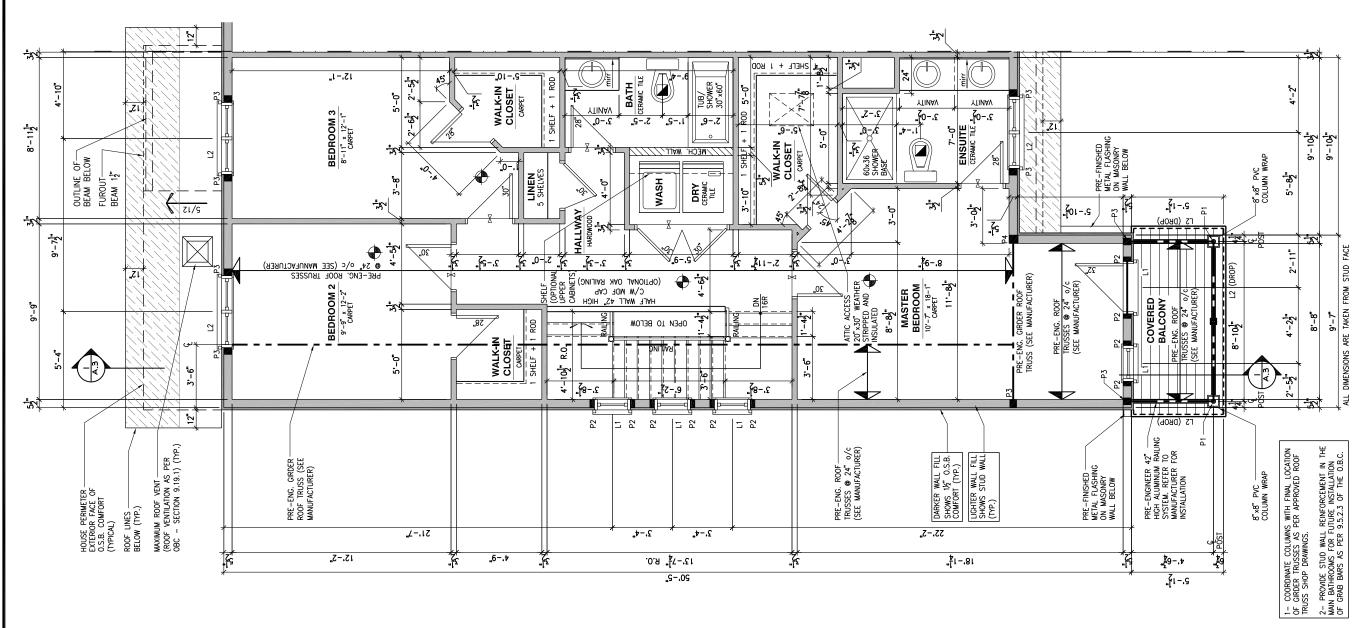
130 - THE LEWIS 2020 FOOTPRINT

A.9a

XX/XX/XXXX

SHEET

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SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

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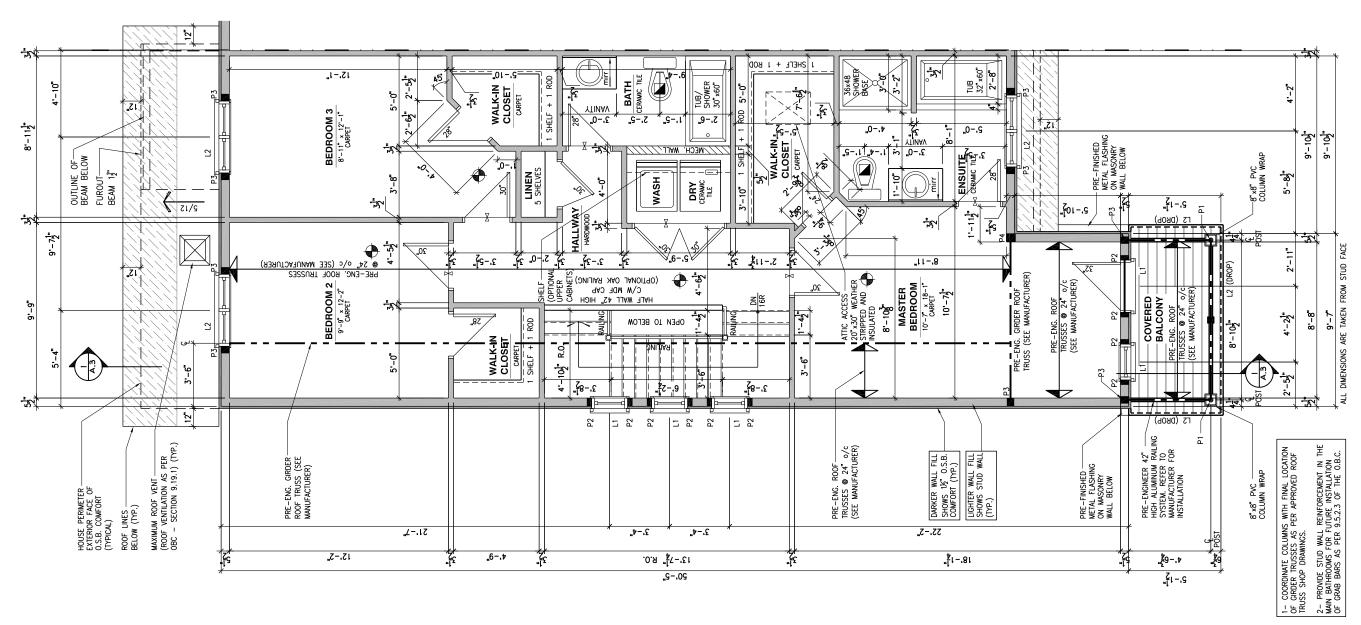
130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.9b

xx/xx/xxxx

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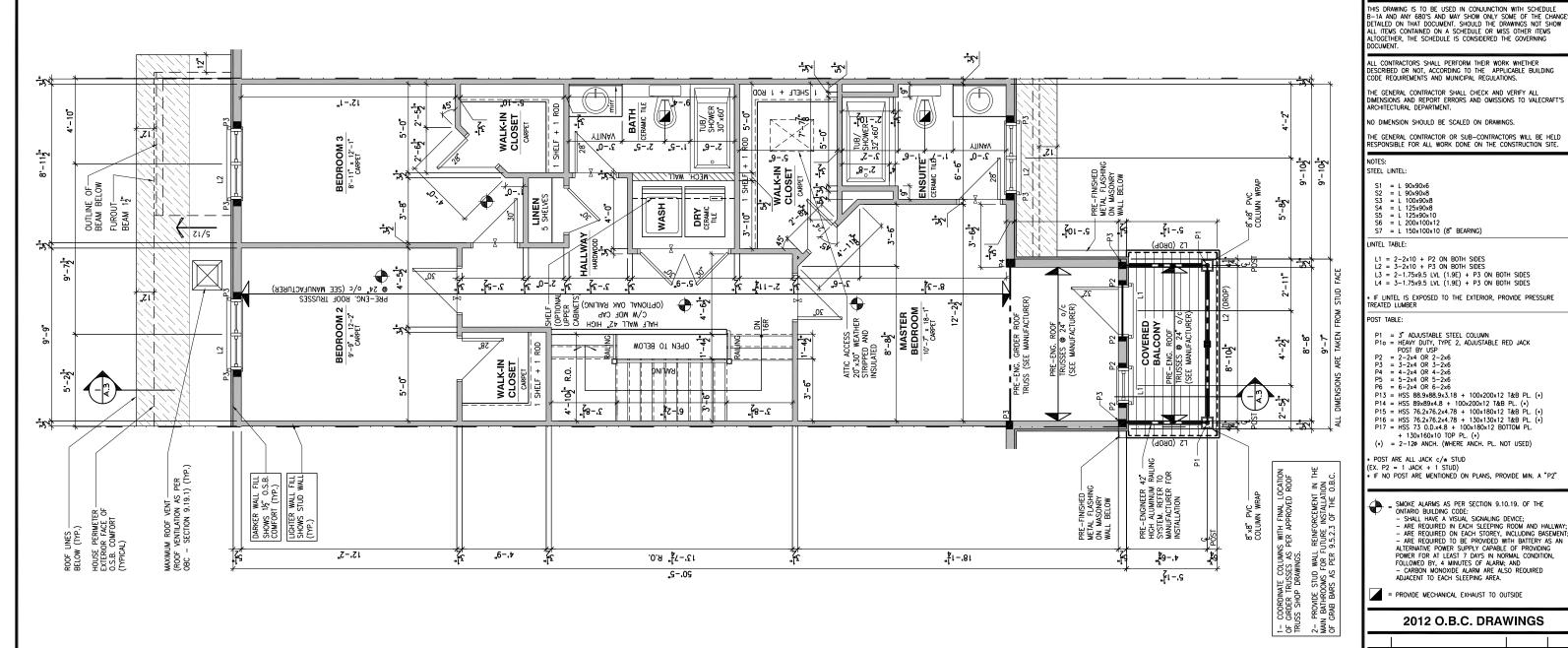
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130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.9c

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SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

DATE:

XXXX

XX/XX/XXXX

Homes (2019) Limited

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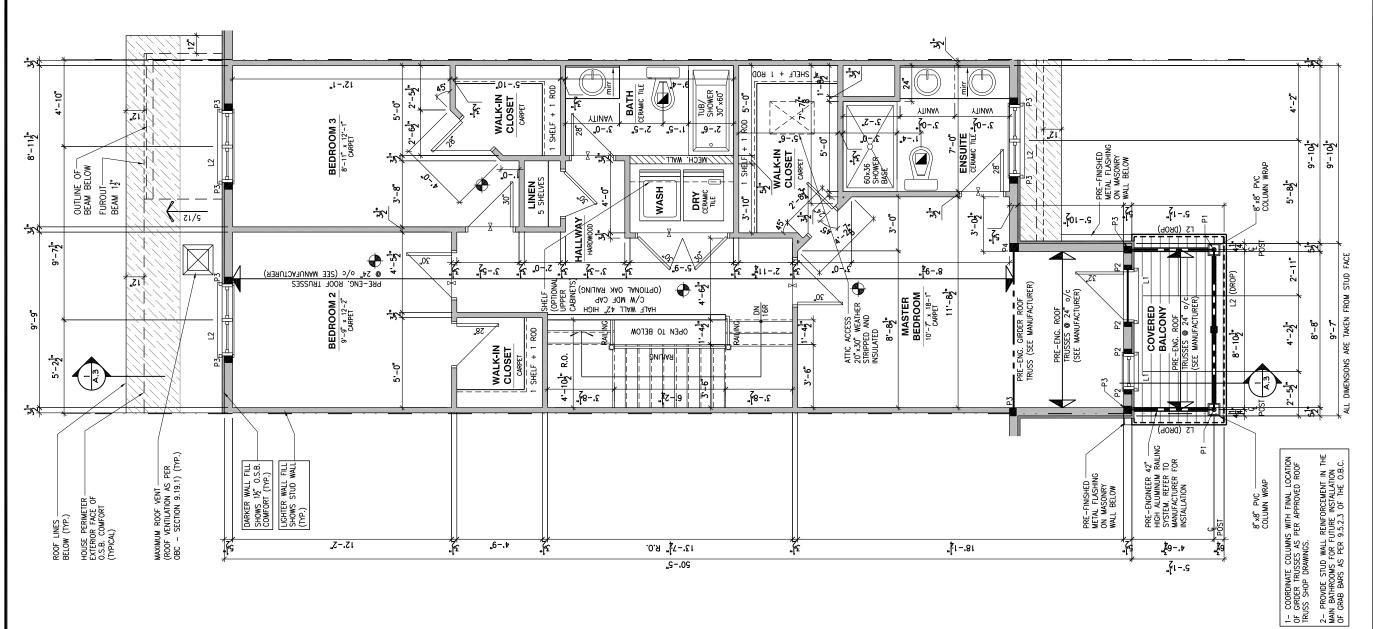
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SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

(A.9e)

SCALE: 3/16" = 1'-0"

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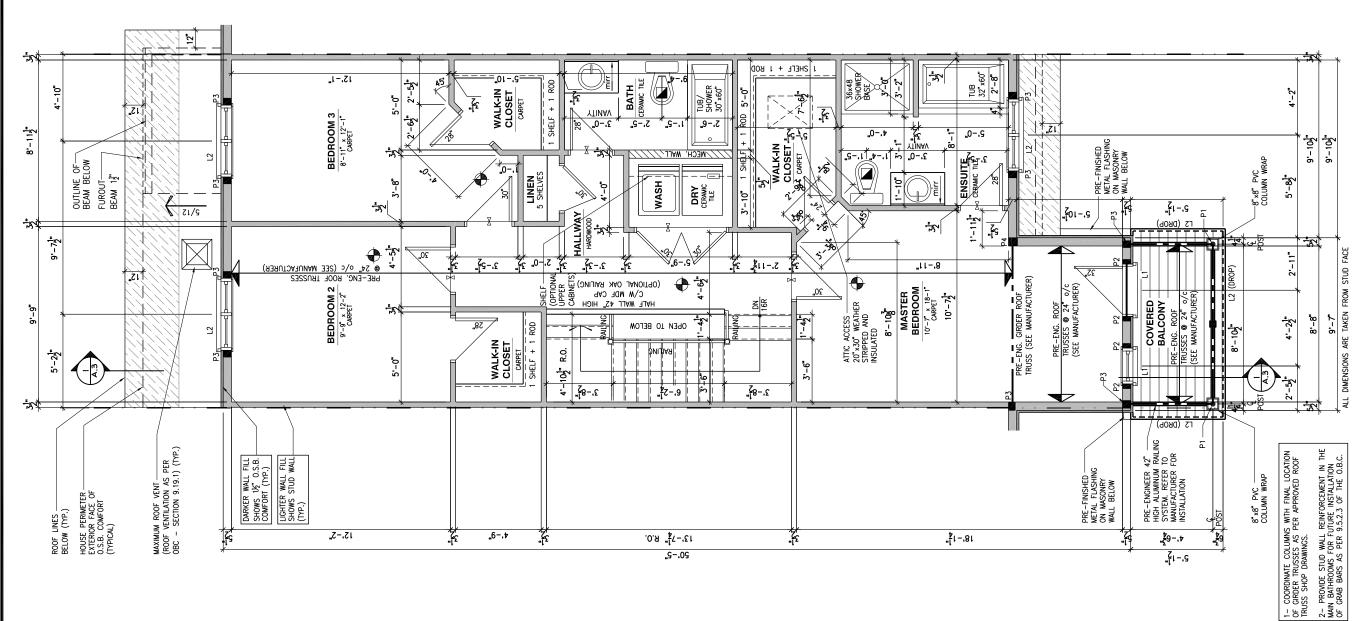
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130 - THE LEWIS 2020 FOOTPRINT SHEET A.9e

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
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 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- 13 63 83 89 89 4.8 + 100 200 x12 1 & B PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 & B PL. (*) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 & B PL. (*) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 & B PL. (*) P17 = HSS 73 0.0 x4.8 + 100 x180 x12 BOTTOM PL.
- + 130x160x10 TOP PL. (*) (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

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 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
 - ALTERNATIVE PURPLY CAPABLE OF PROVIDING.
 POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
 FOLLOWED BY, 4 MINUTES OF ALARM; AND
 CARBON MONOXIDE ALARM ARE ALSO REQUIRED
 ADJACENT TO EACH SLEEPING AREA.



2012 O.B.C. DRAWINGS

l	1		l
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYOR
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

SECOND FLOOR PLAN **OPT 5 PC ENSUITE - MID**

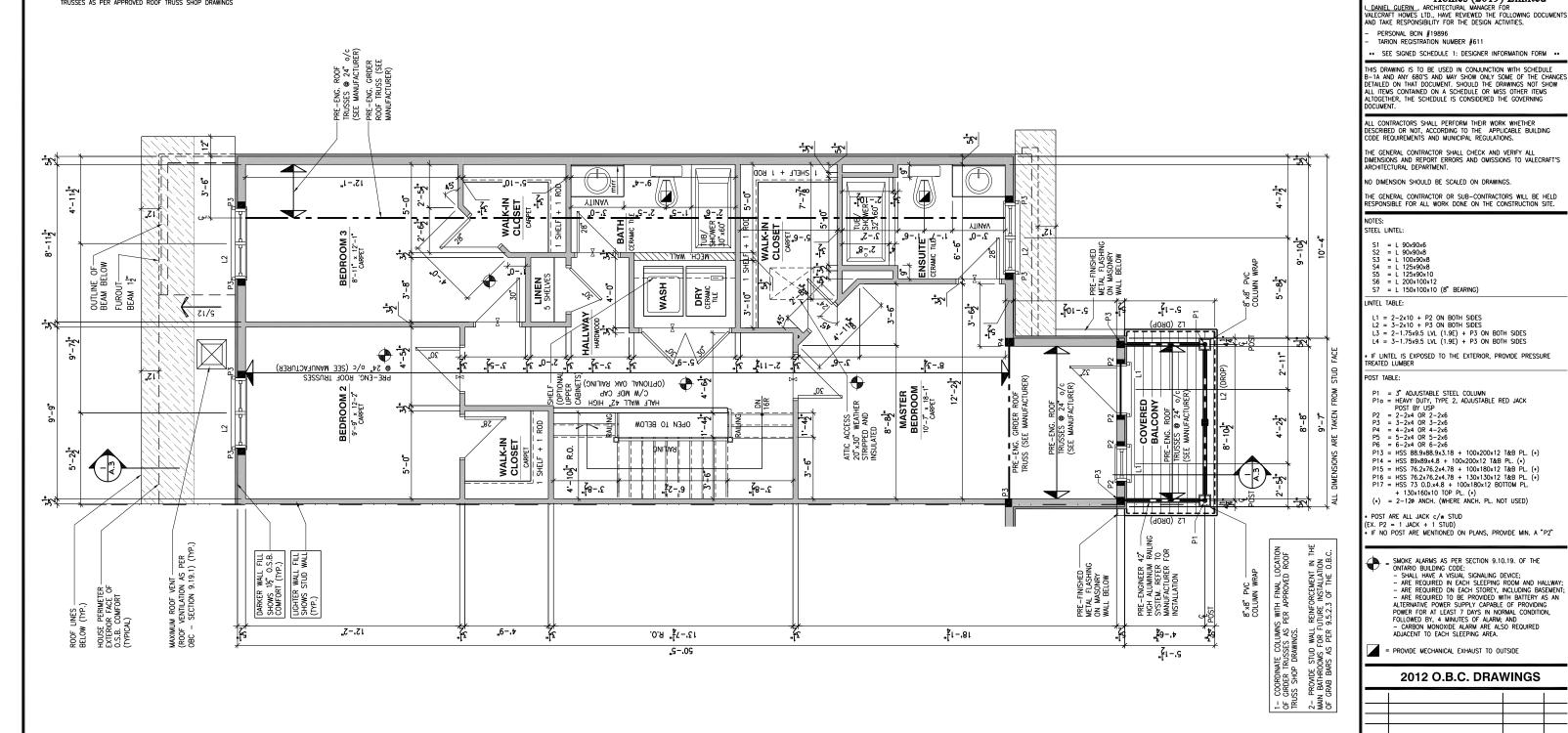
SCALE: 3/16" = 1'-0"

XX/XX/XXXX 130 - THE LEWIS

2020 FOOTPRINT (STANDARD DRAWINGS)

A.9f

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



130 - THE LEWIS

REV-4 NEW STANDARD DRWG MODIFICATION

REV-3 AS PER STRUCTURAL REVIEW

REV-2 AS PER STRUCTURAL REVIEW

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD

DRAWING: SECOND FLOOR PLAN STANDARD ENSUITE-GARAGE END 3/16" = 1'-0"

2020 FOOTPRINT (STANDARD DRAWINGS)

NO. DESCRIPTION

LOT:

XXXX

XX/XX/XXXX

Homes (2019) Limited

SHEET A.9g

XX/XX/XXXX

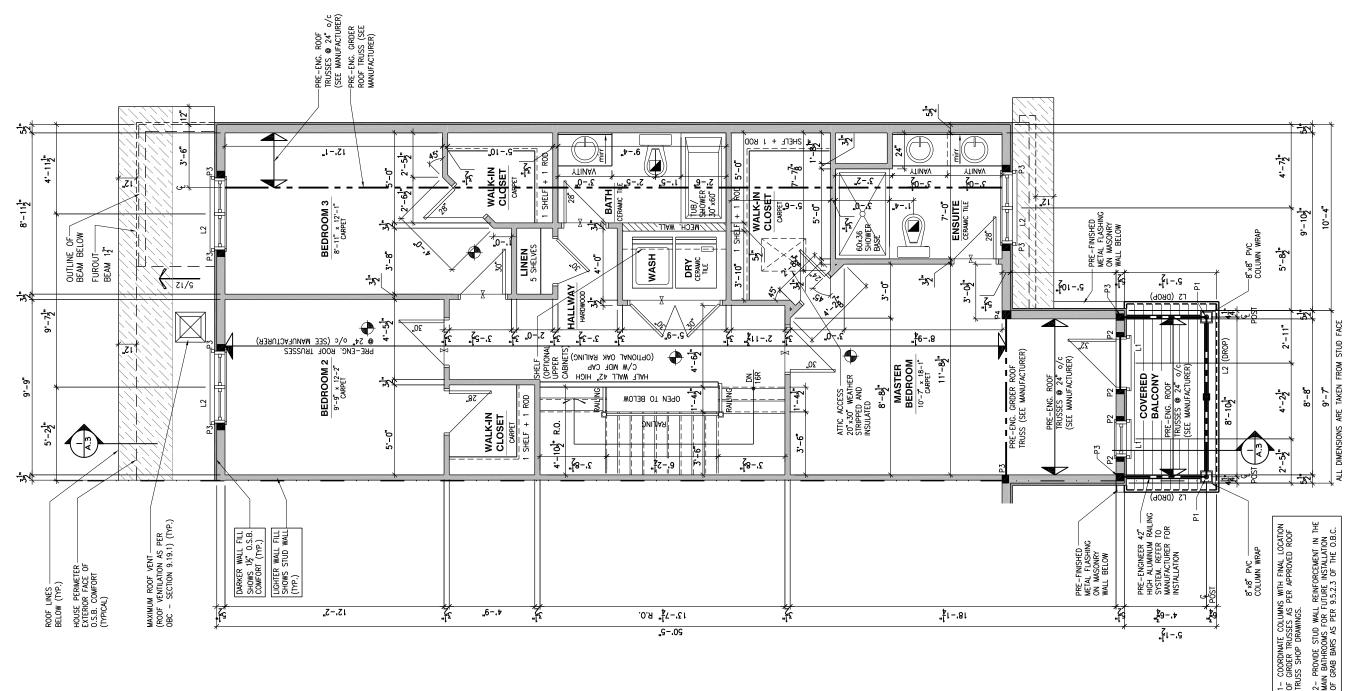
01/01/2021 DOYON

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SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

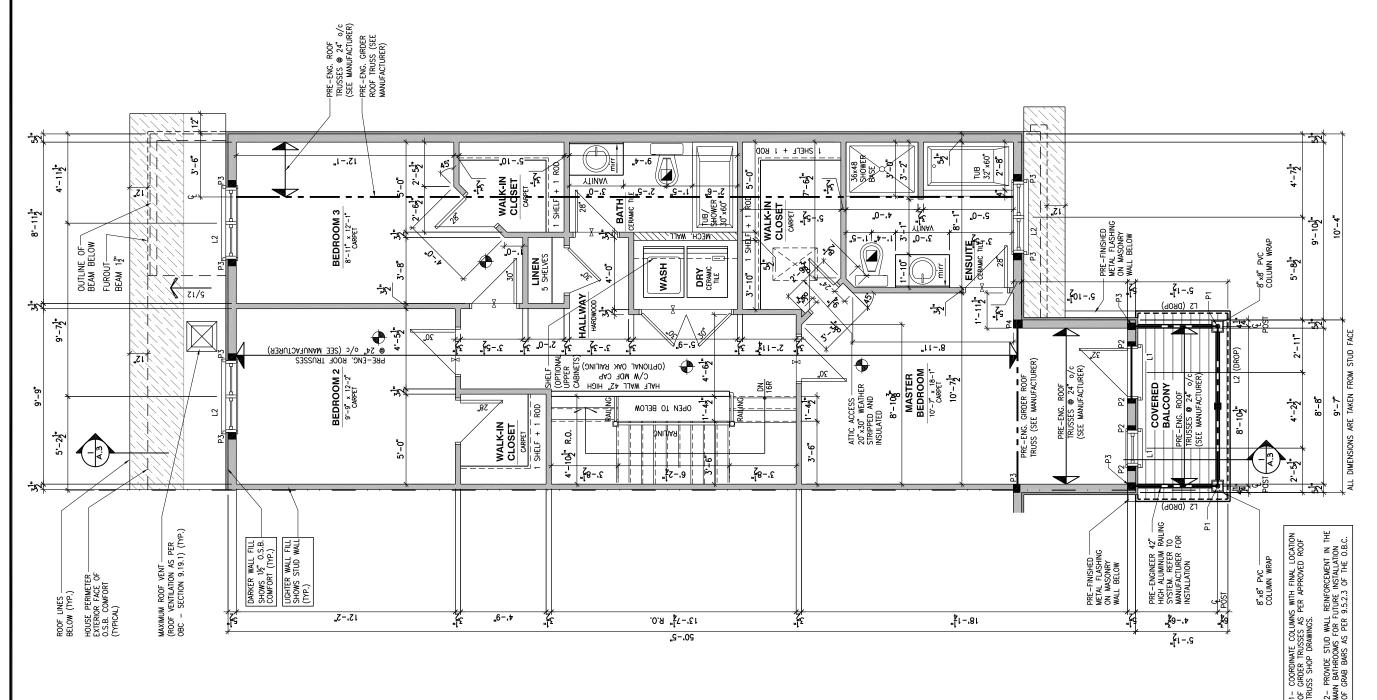
RAWING: SECOND FLOOR PLAN

OPT 4PC ENSUITE - GARAGE END SCALE: 3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT SHEET A.9h

xx/xx/xxxx

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SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

ORAWING: SECOND FLOOR PLAN

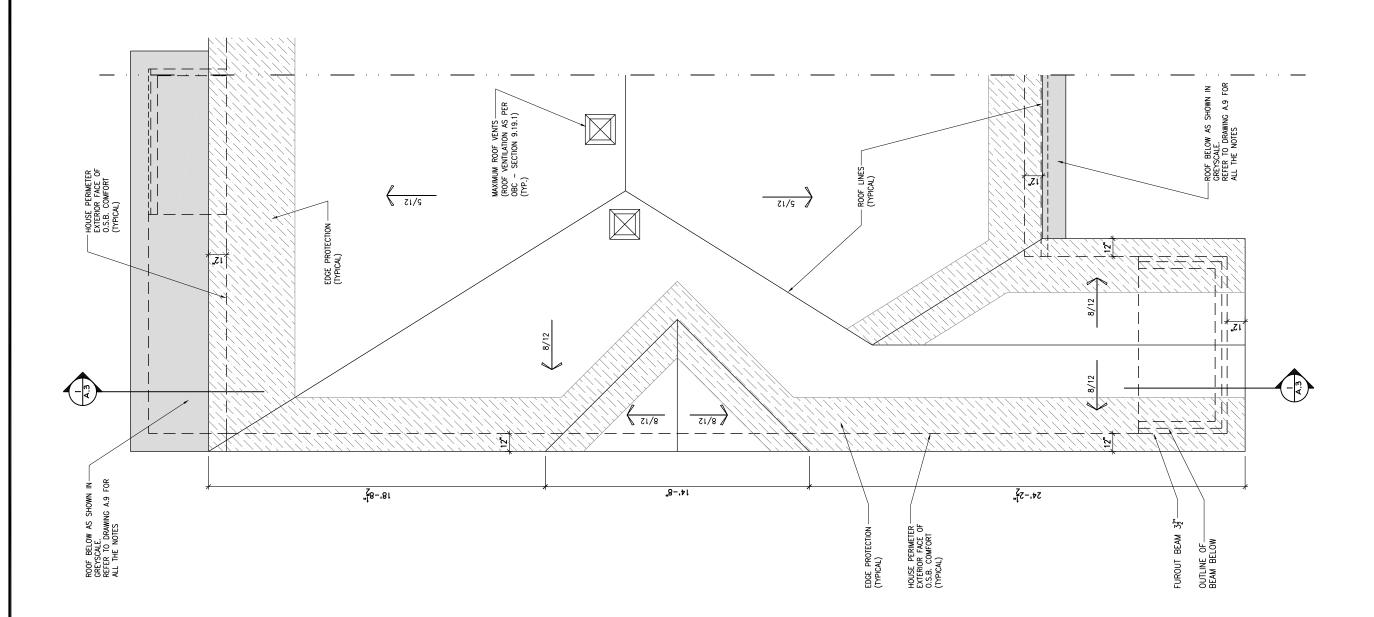
SCALE: 3/16" = 1'-0"

OPT 5PC ENSUITE - GARAGE END

130 - THE LEWIS 2020 FOOTPRINT

SHEET **A.9i**

XX/XX/XXXX





ROOF PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



Homes (2019) Limited

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PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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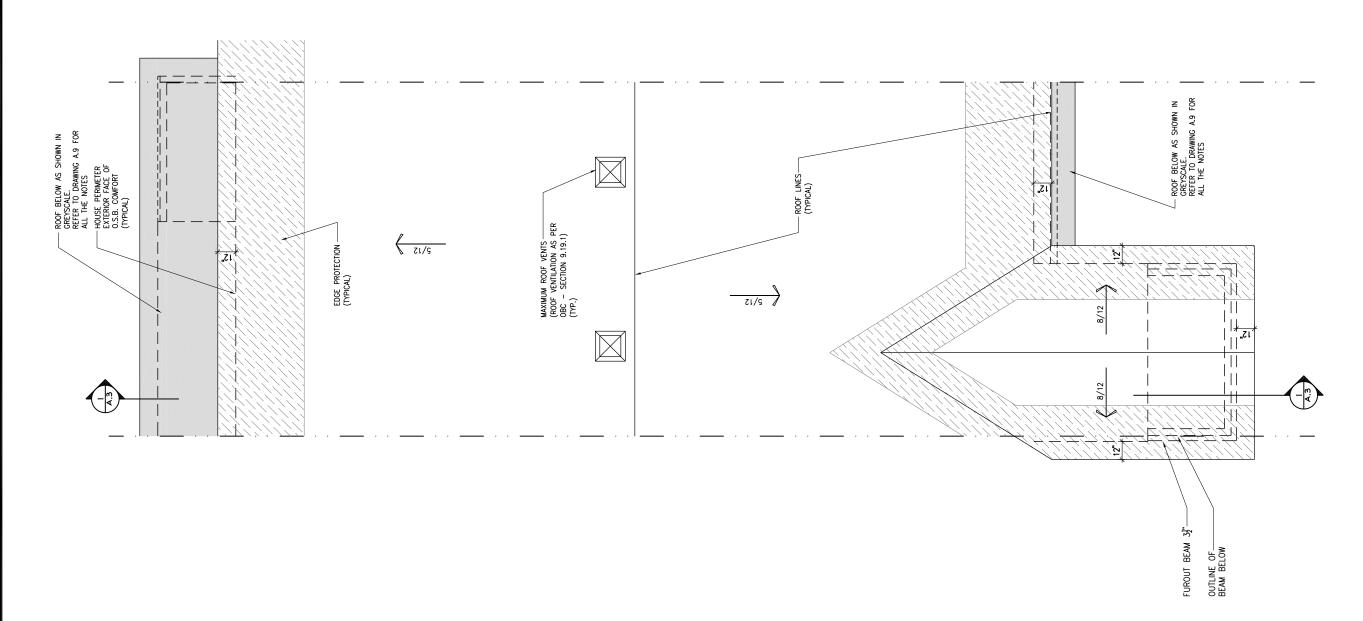
RAWING:
ROOF PLAN - PORCH END UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.10a



ROOF PLAN - MID UNIT SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Valectatt
Homes (2019) Limited
L. DANIEL GUERIN ARCHITECTURAL MANAGER FOR WALECRAFT HOMES LITD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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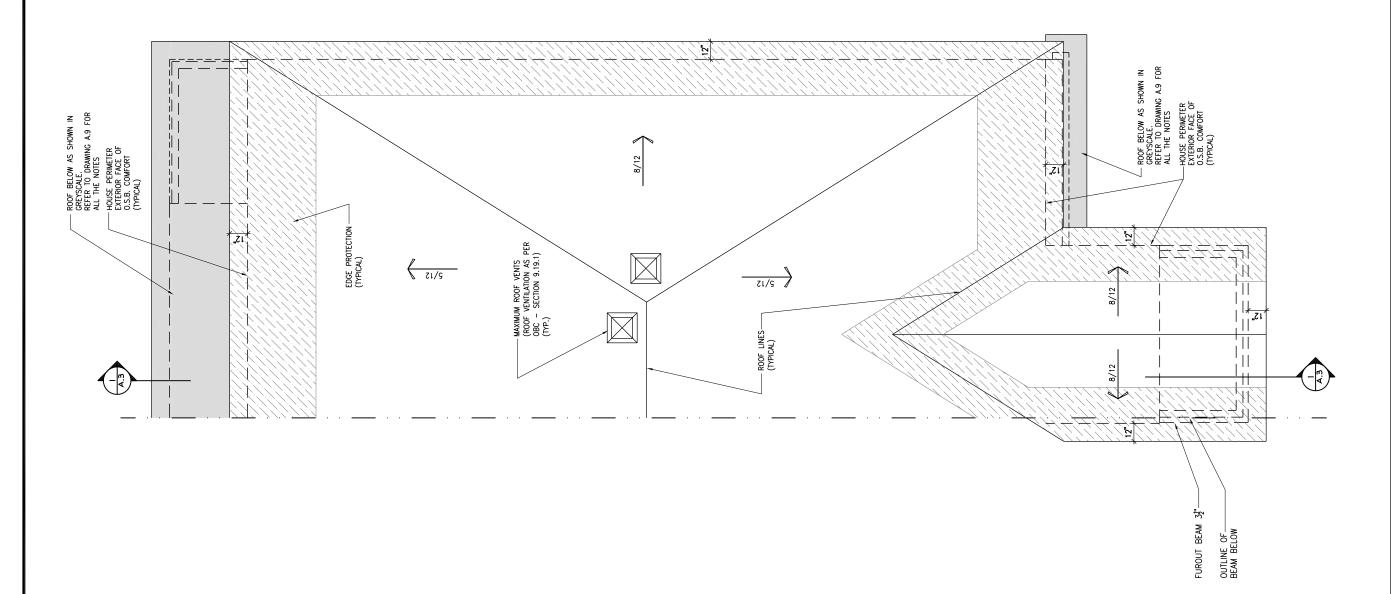
ROOF PLAN - MID UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.10b



ROOF PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



Homes (2019) Limited

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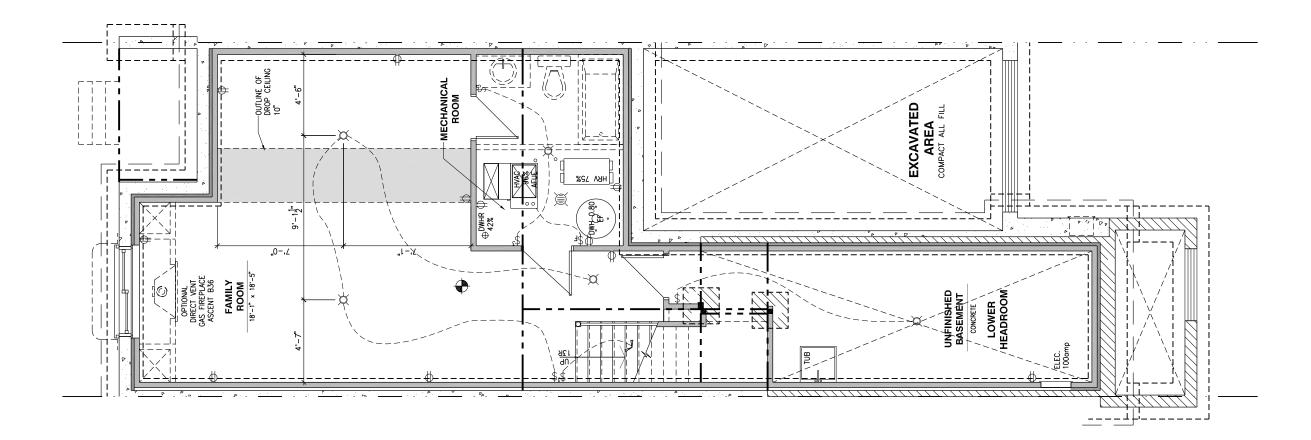
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130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.10d



E.la

ELECTRICAL PLAN - BASEMENT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LICHT



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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN

BASEMENT

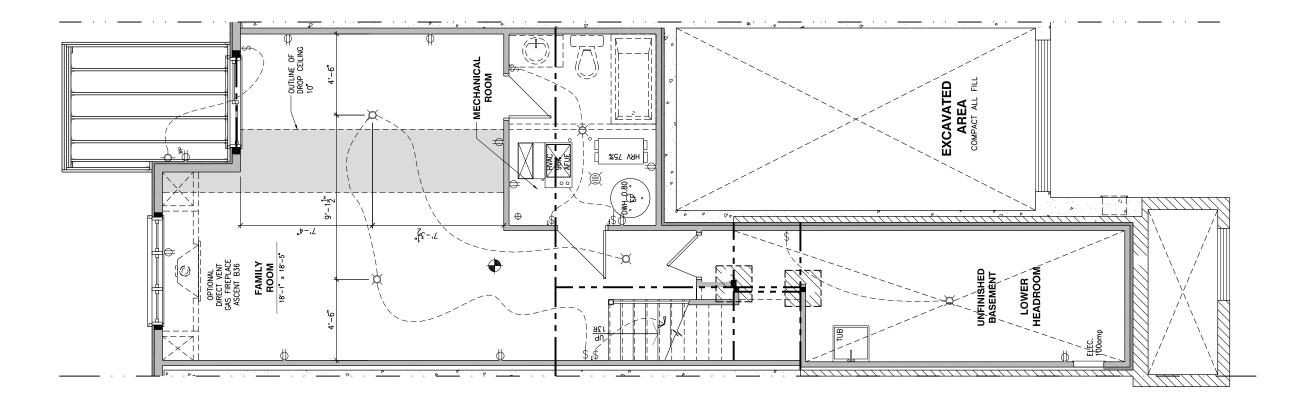
SCALE: 3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.1a

DATE: XX/XX/XXXX



E.Ib

ELECTRICAL PLAN - BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH) GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 SHALL HAVE A VISUAL SIGNALING DEVICE:
 ARE REGUIRED IN EACH SLEEPING ROOM AND HALLWAY:
 ARE REGUIRED ON EACH SIGNEY, INCLUDING BASEMENT;
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 - PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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NO.	DESCRIPTION	MM/DD/YYYY	BY

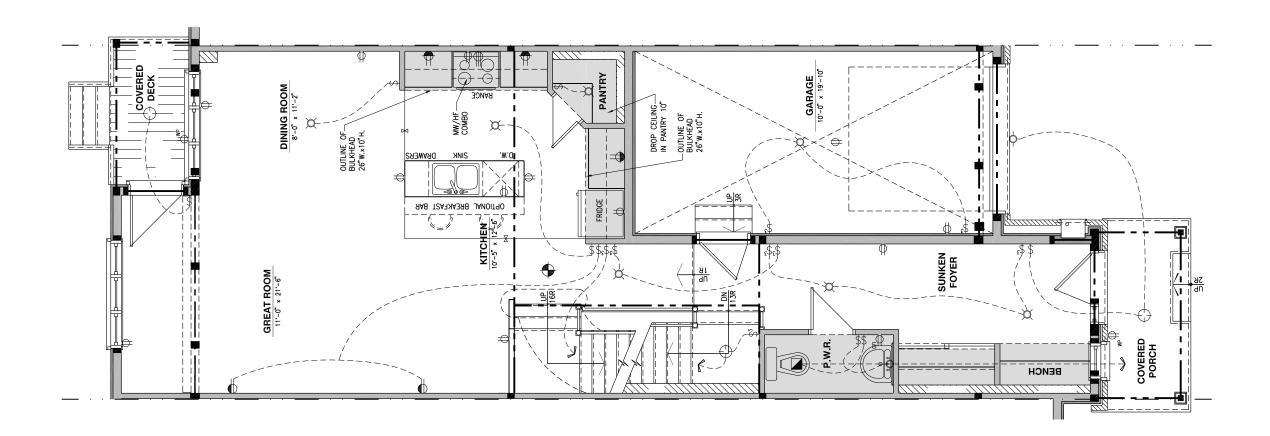
ELECTRICAL PLAN BASEMENT - WALKOUT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.1b



E.2a

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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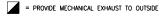
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- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN GROUND FLOOR

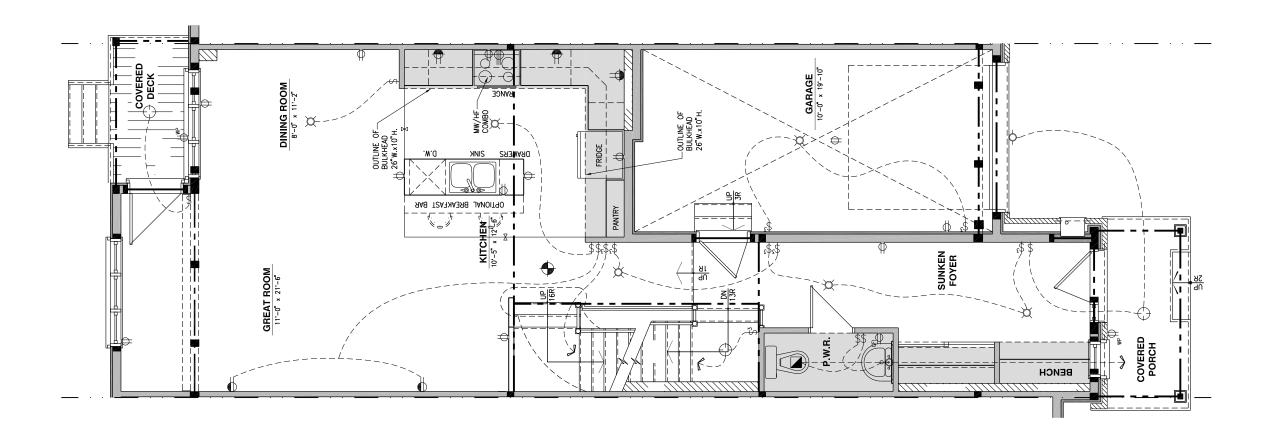
| SCALE: | 3/16" = 1'-0"

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.2a

DATE: XX/XX/XXXX



E.2b/

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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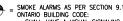
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN GROUND FLOOR

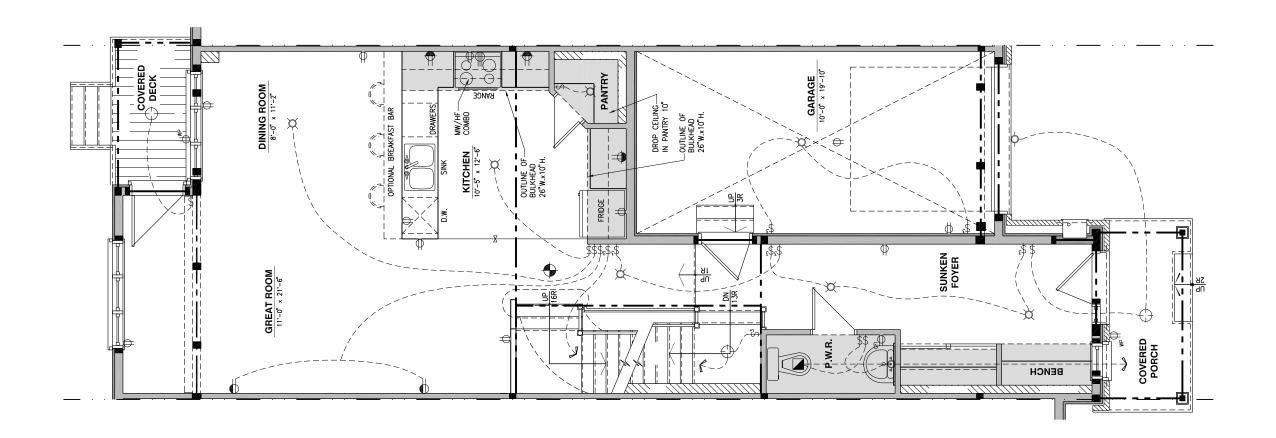
| SCALE: | 3/16" = 1'-0"

2020 FOOTPRINT

DATE: XX/XX/XXXX SHEET: 130 - THE LEWIS

(STANDARD DRAWINGS)

E.2b



E.2c

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN

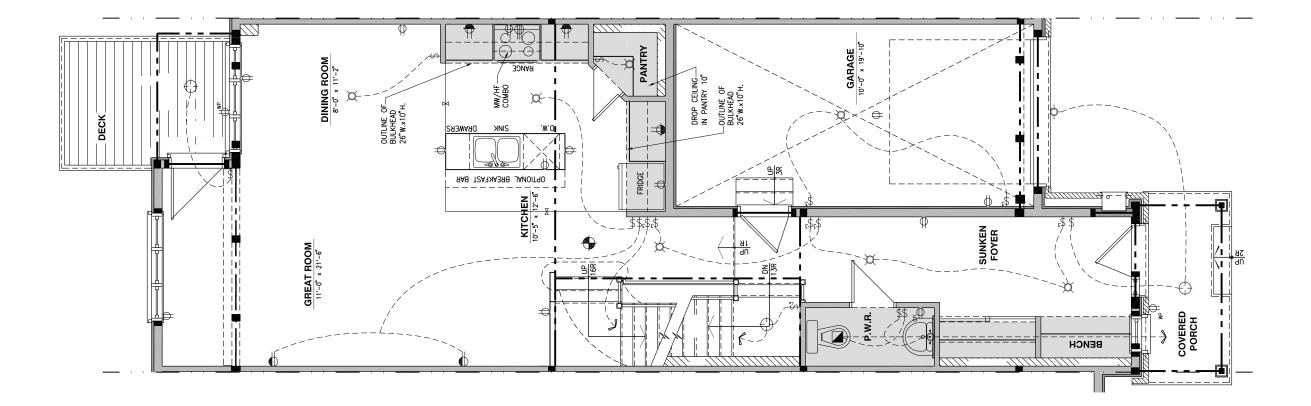
GROUND FLOOR

| SCALE: | 3/16" = 1'-0" 130 - THE LEWIS

2020 FOOTPRINT

SHEET: E.2c

DATE: XX/XX/XXXX



(E.2d)

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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GROUND FAULT INTERVOLT

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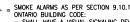
SPLIT OUTLET

220 VOLT OUTLET

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CEILING MOUNTED LIGHT FIXTURE

POT LICHT



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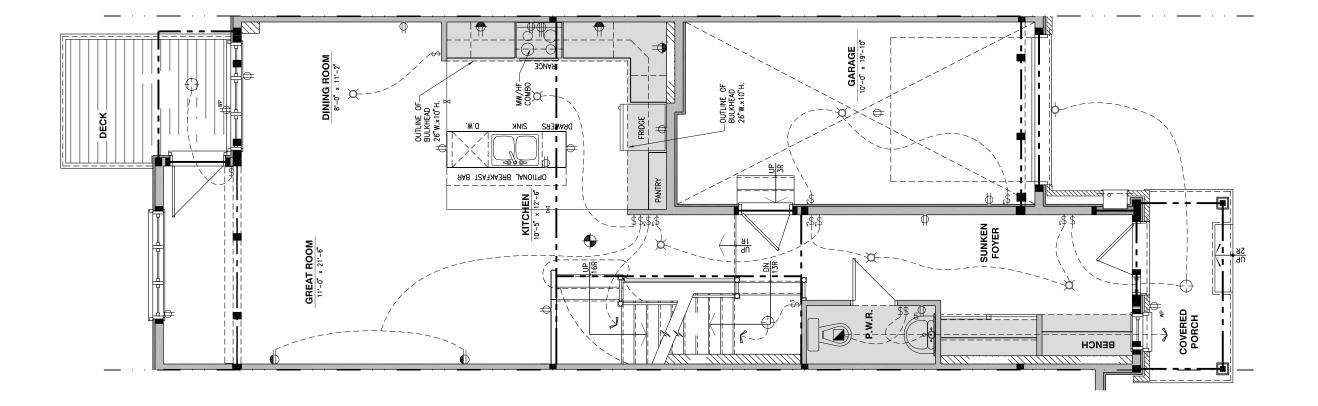
ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

E.2d

SHEET:



E.2e

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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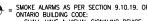
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2012 O.B.C. DRAWINGS

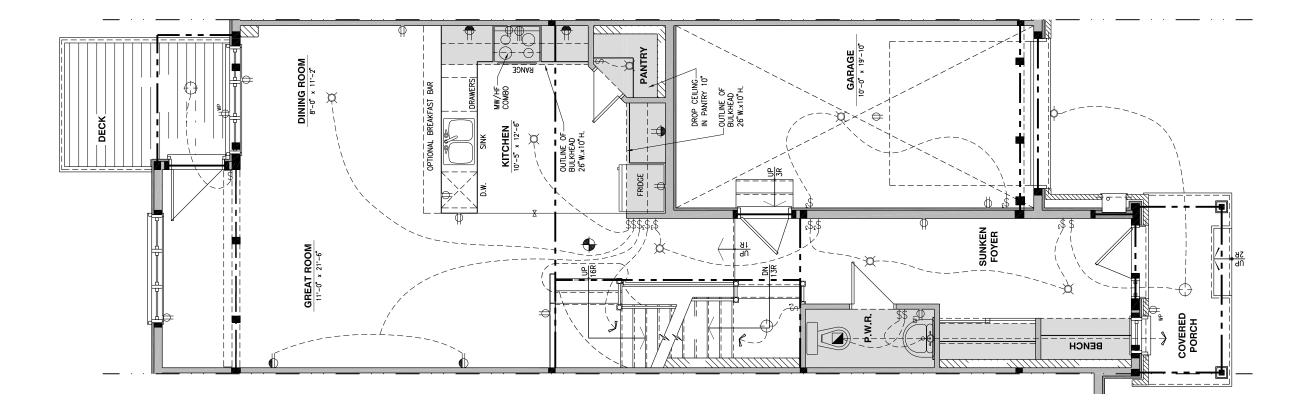
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ELECTRICAL PLAN **GROUND FLOOR**

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

E.2e



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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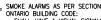
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0" 130 - THE LEWIS

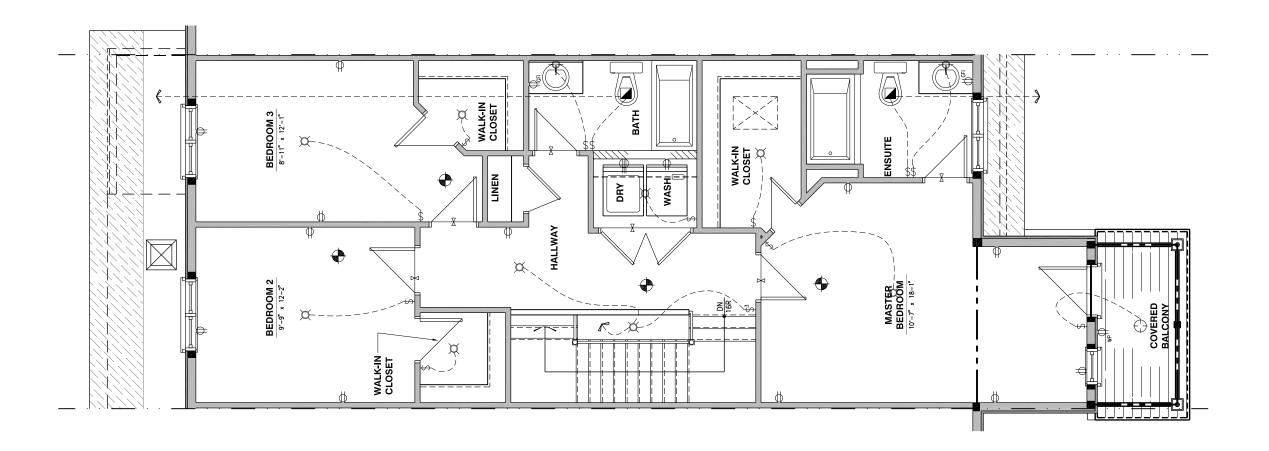
2020 FOOTPRINT

SHEET:

(STANDARD DRAWINGS)

E.2f

DATE: XX/XX/XXXX



(E.3a)

ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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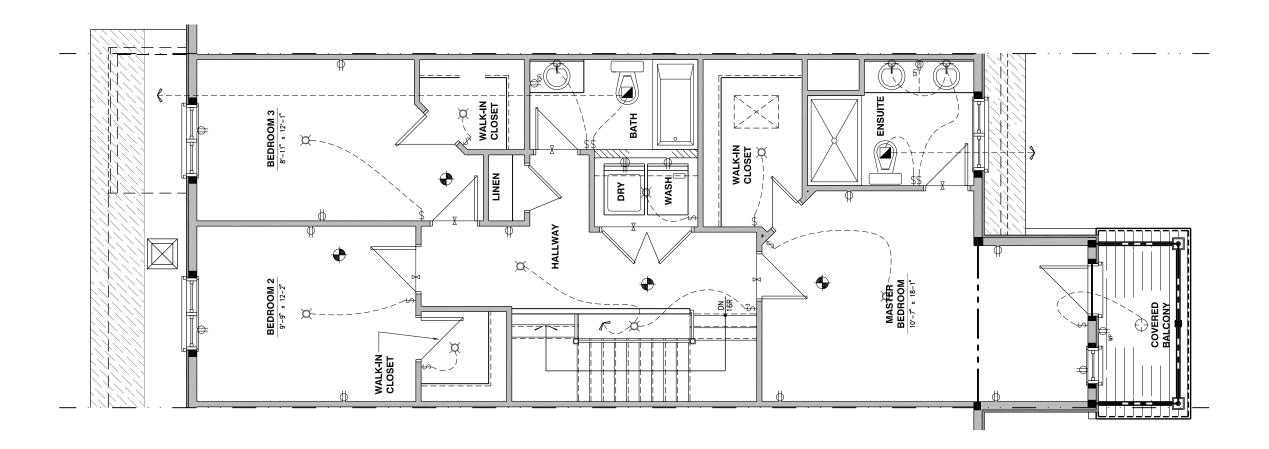
ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.3a



(E.3b)

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 4 PC ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. DOCUMENT

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

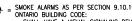
NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET



- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 SHALL HAVE A VISUAL SIGNALING DEVICE;
 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

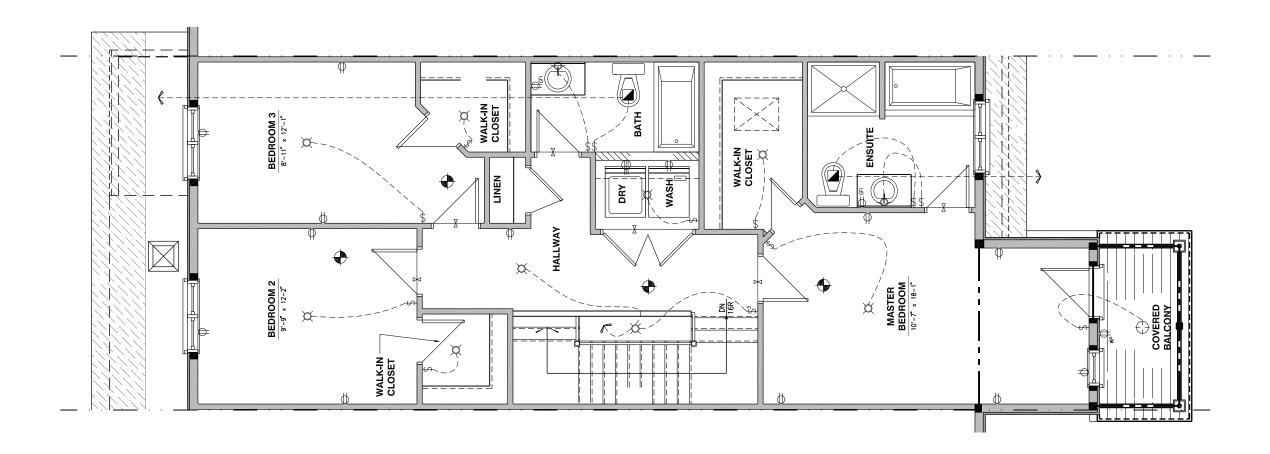
ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

E.3b

SHEET:



E.3c

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 5 PC ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



I, <u>Daniel Guerin</u>, architectural manager for Valecraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896
 TARION REGISTRATION NUMBER #611
- •• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

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E.3c

SHEET: