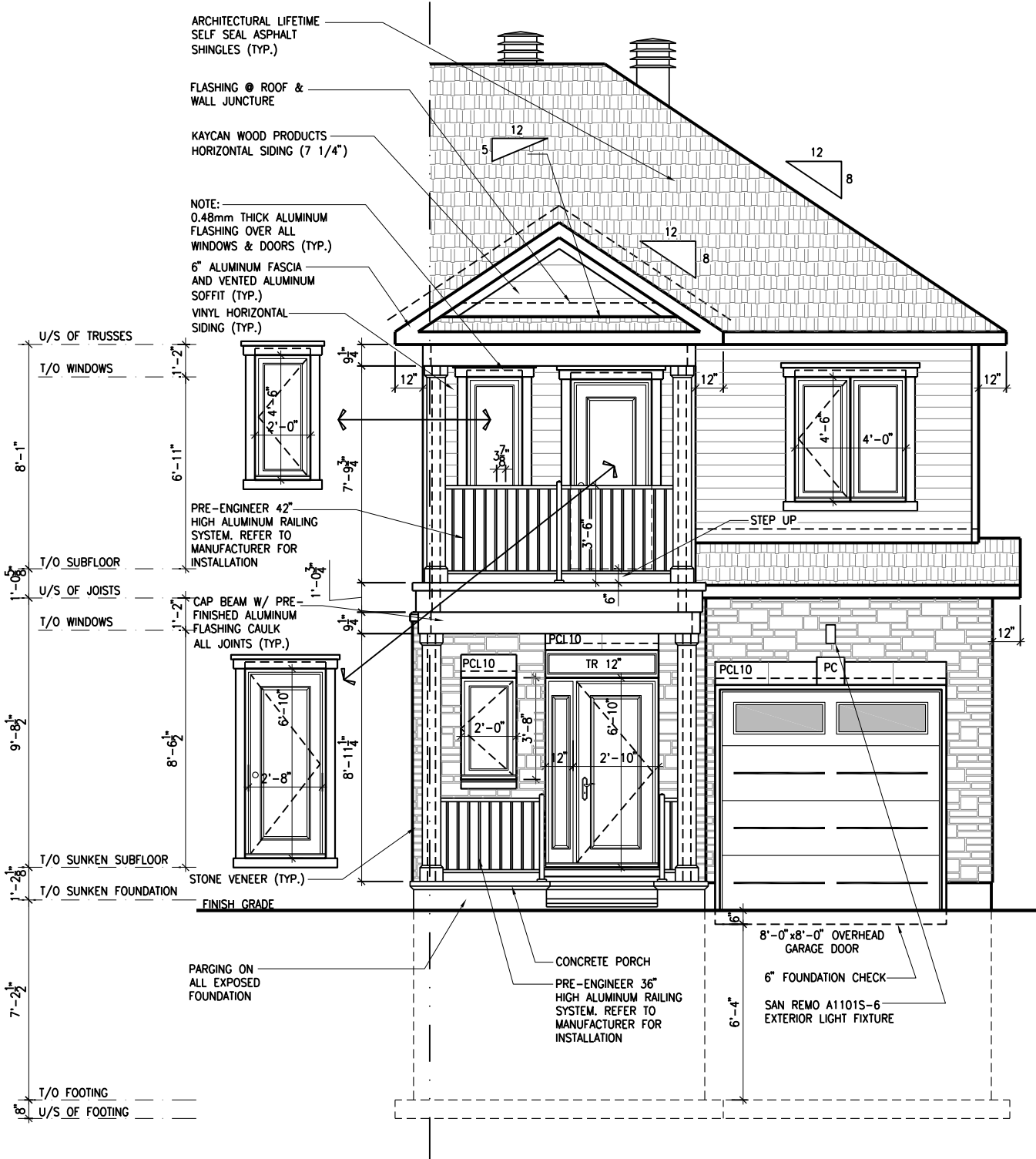


1
A.1a
FRONT ELEVATION - PORCH END UNIT
SCALE: 3/16" = 1'-0"



2
A.1a
FRONT ELEVATION - GARAGE END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:
FRONT ELEVATION - END UNITS

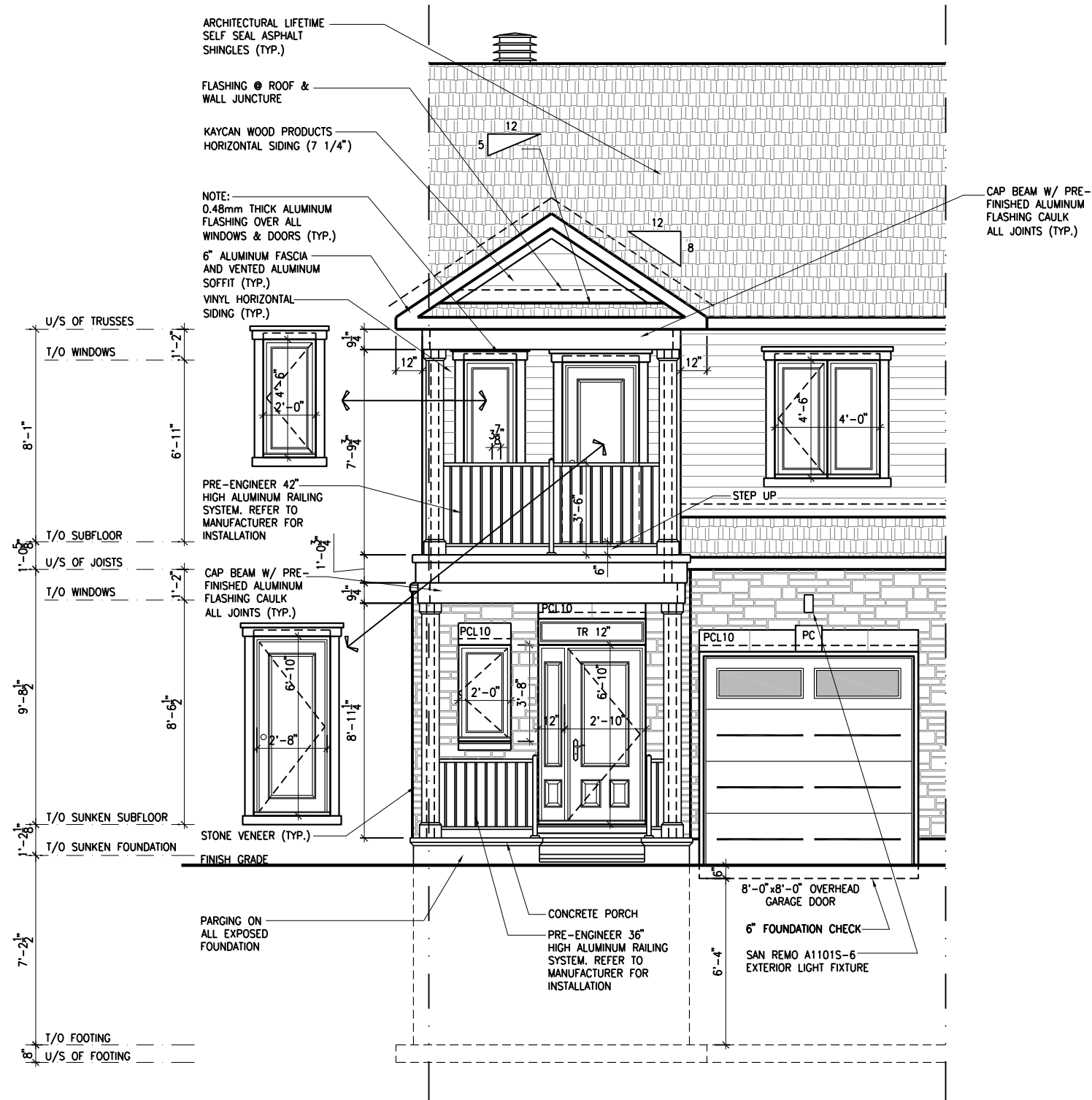
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.1a

FRONT ELEVATION - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

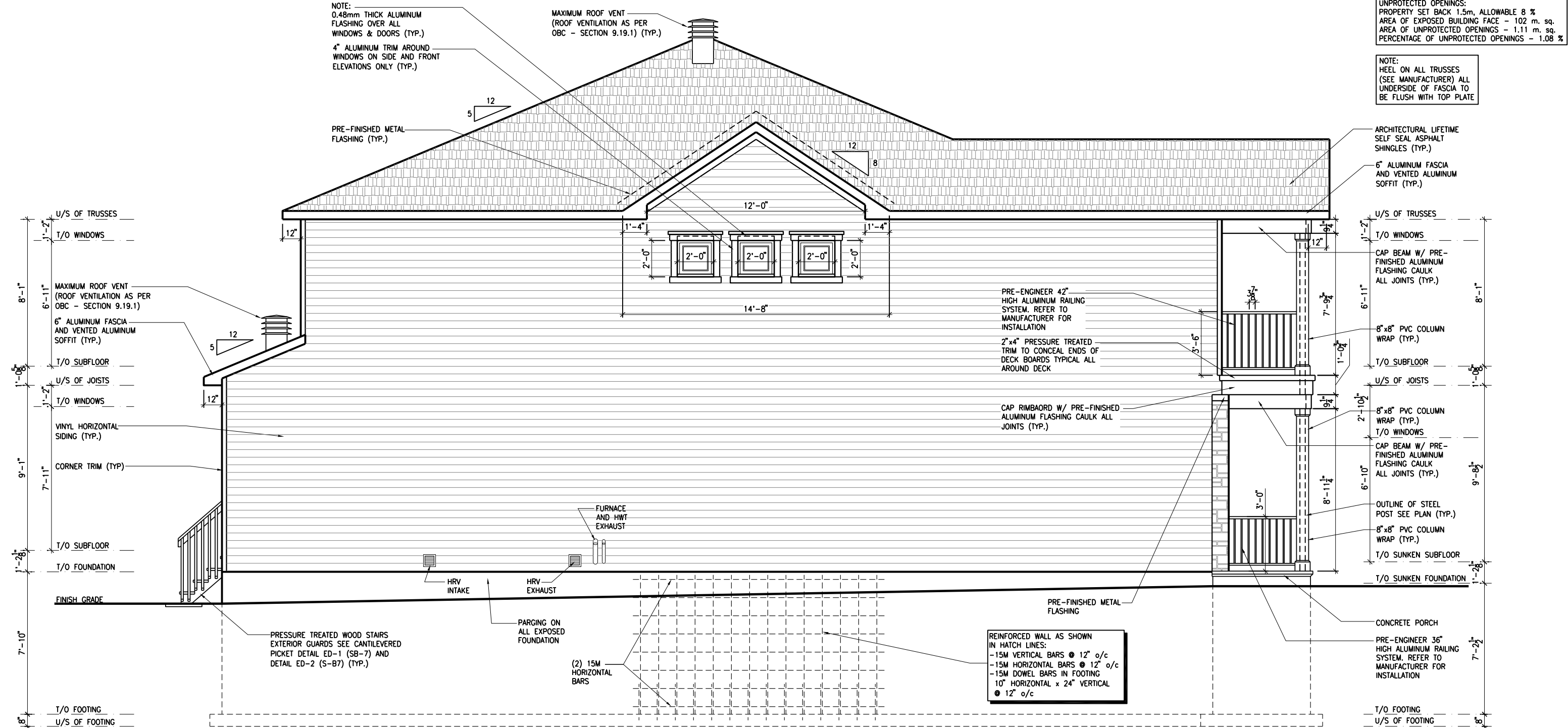
REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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NO.	DESCRIPTION	MM/DD/YYYY	BY

FRONT ELEVATION - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.1b



UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.5m, ALLOWABLE 8 %
AREA OF EXPOSED BUILDING FACE - 102 m. sq.
AREA OF UNPROTECTED OPENINGS - 1.11 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 1.08 %

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

1
A.2a LEFT ELEVATION - PORCH END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- TARION REGISTRATION NUMBER #611

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

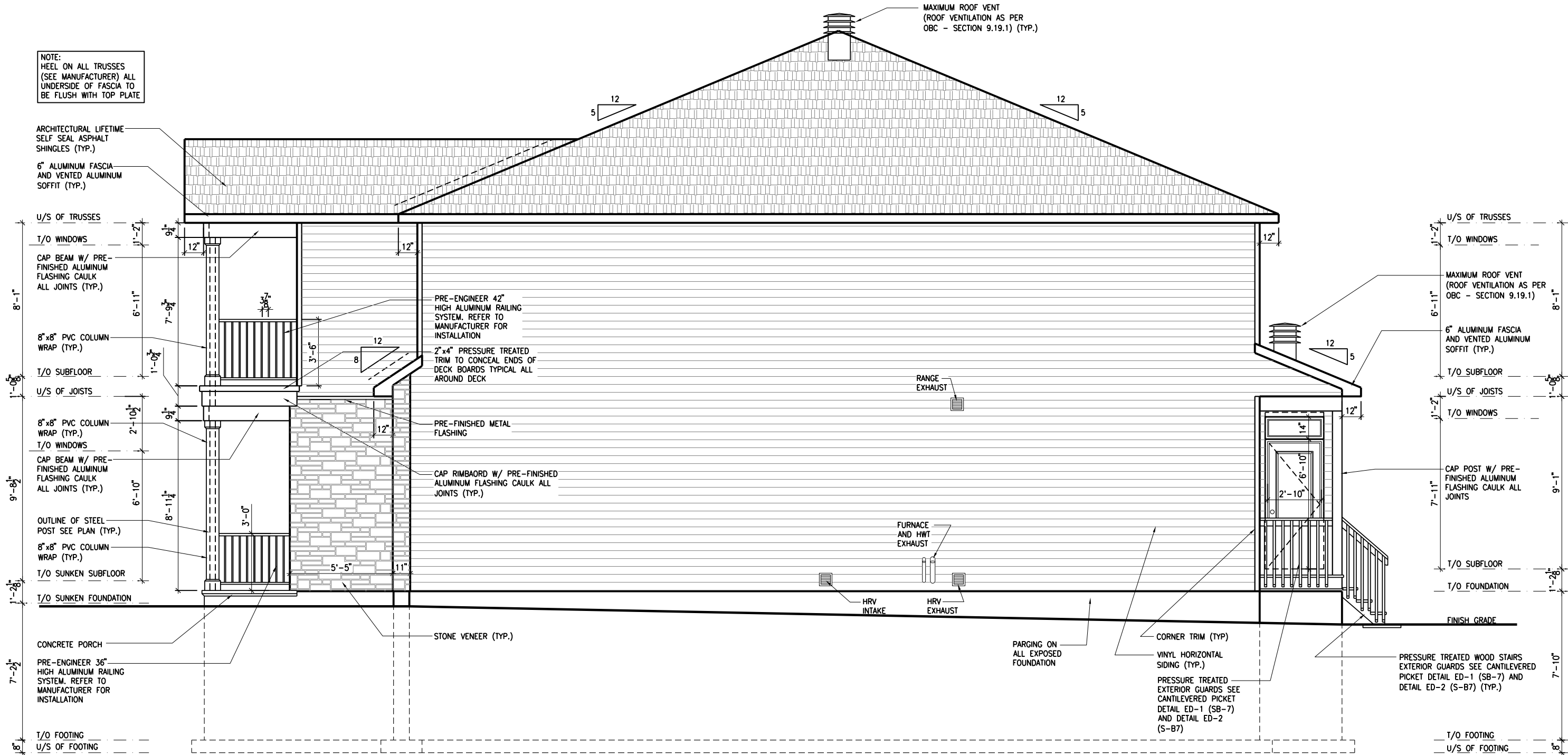
2012 O.B.C. DRAWINGS

DRAWING: LEFT ELEVATION PORCH END UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A.2a



1
A.2c

RIGHT ELEVATION - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

.. SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ..

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NO.		DESCRIPTION	MM/DD/YYYY	BY

2012 O.B.C. DRAWINGS

DRAWING: RIGHT ELEVATION GARAGE END UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

A.2c



SHEET:
A.2e

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
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NO.	DESCRIPTION	MM/DD/YYYY	BY

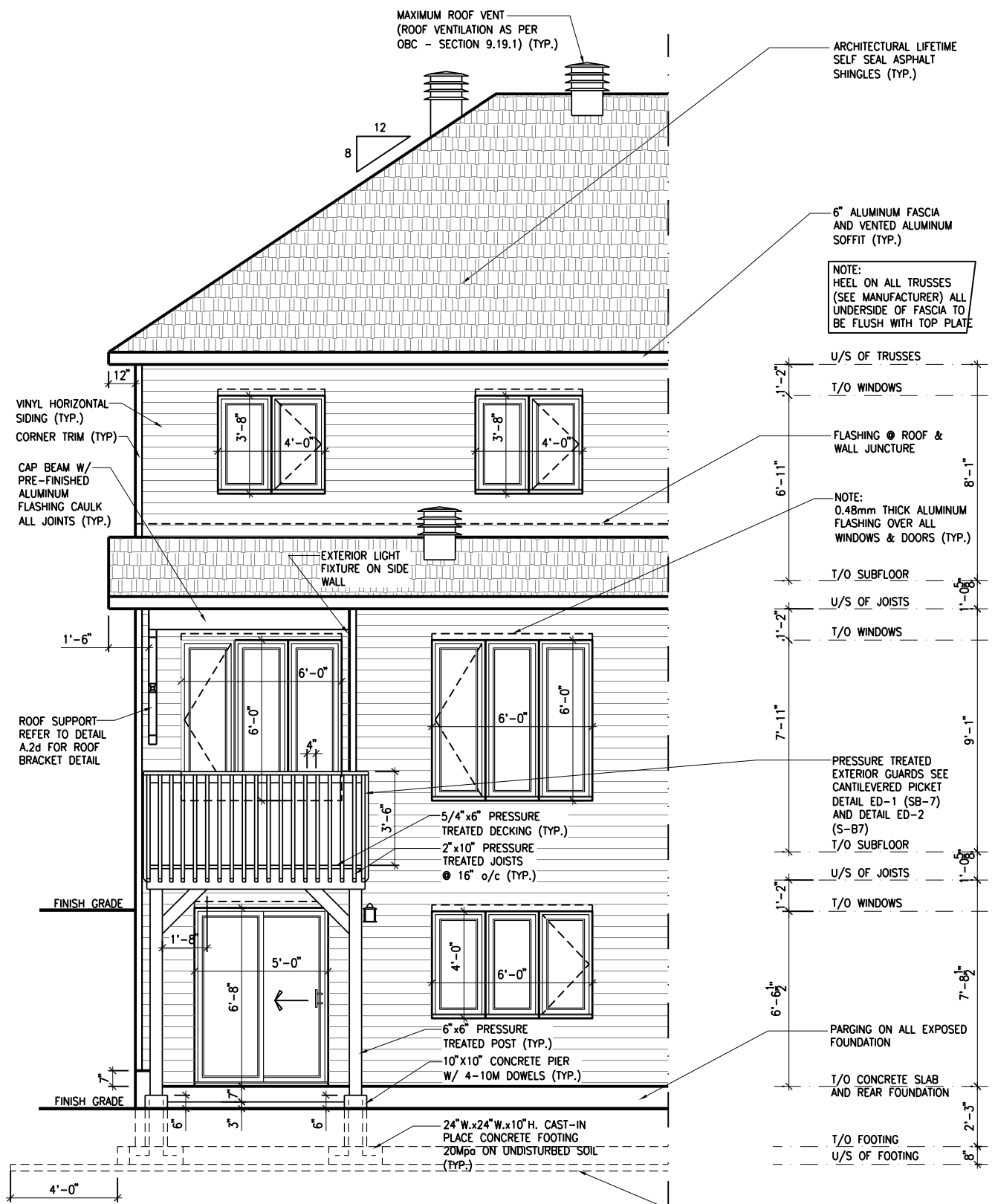
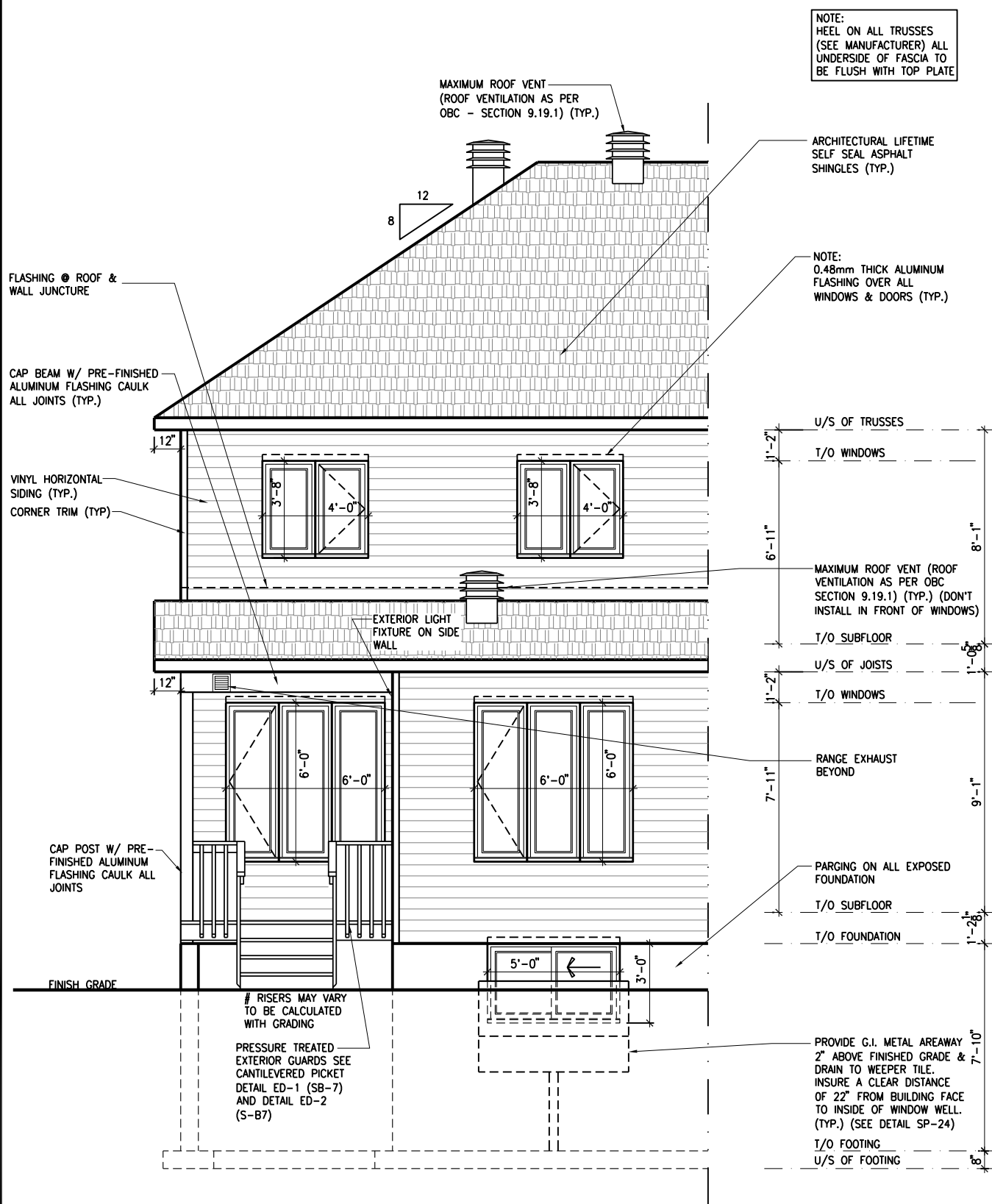
DRAWING: **REAR ELEVATION
GARAGE END UNITS**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.2f



1
A.2f

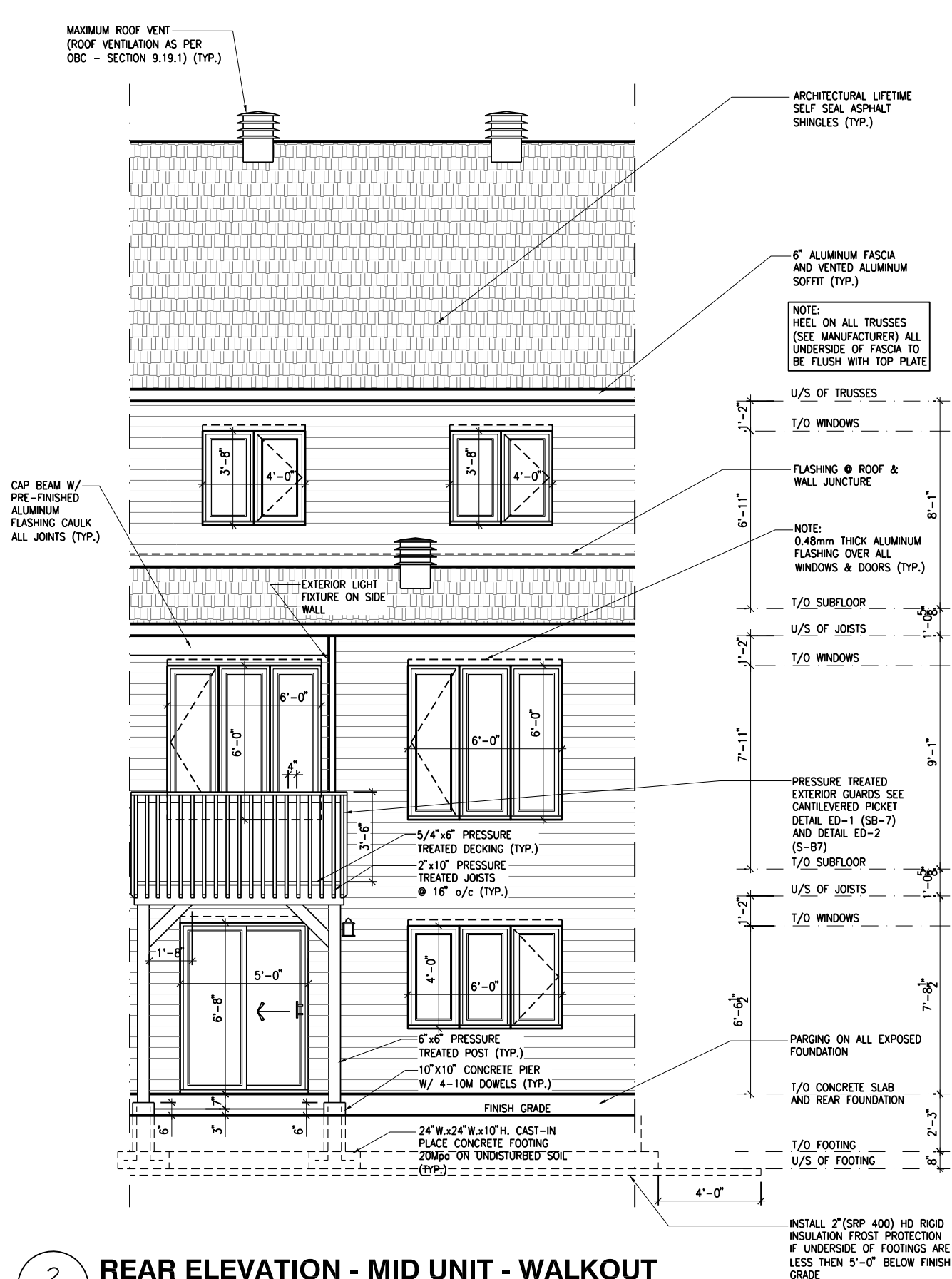
REAR ELEVATION - GARAGE END UNIT

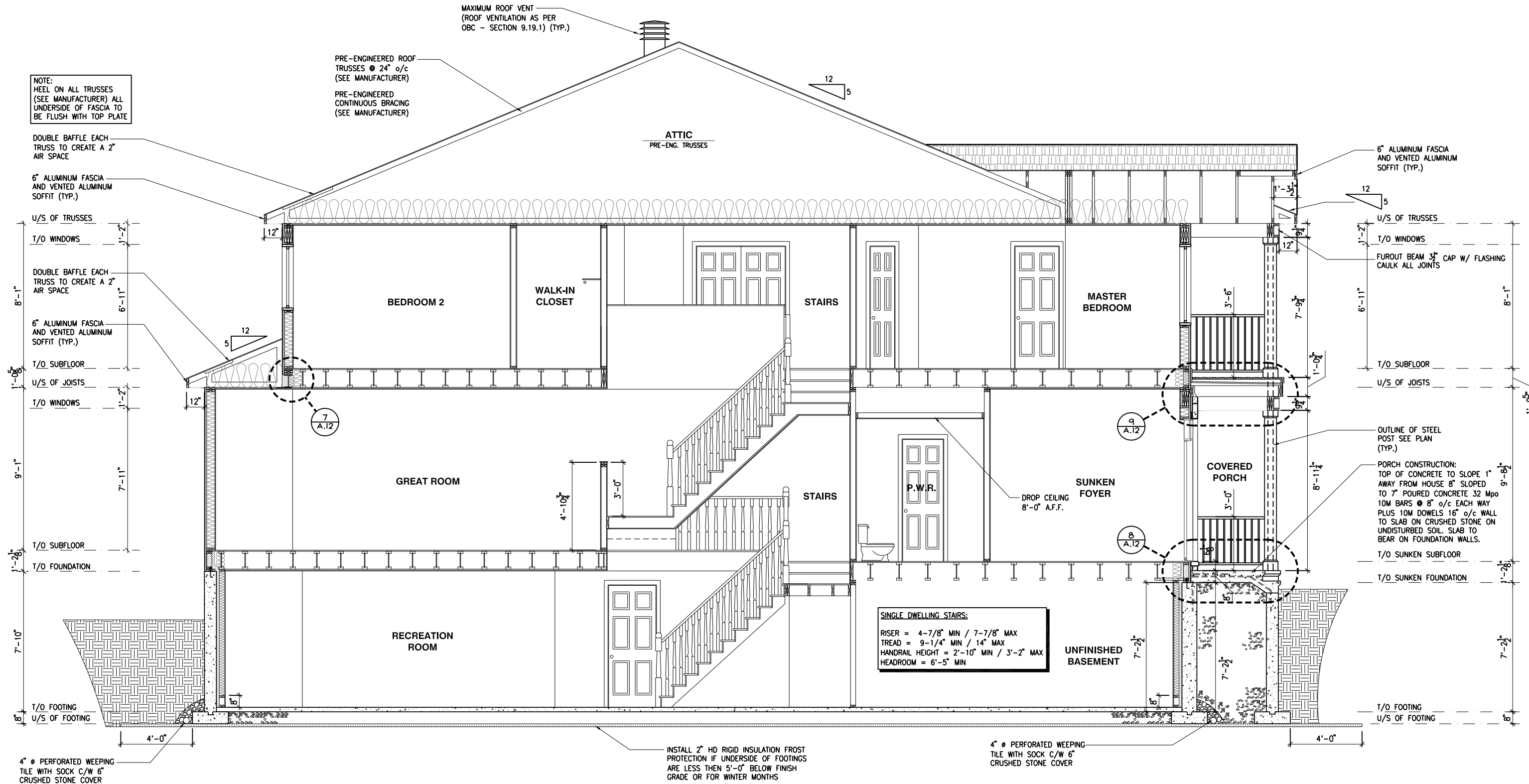
SCALE: 3/16" = 1'-0"

2
A.2f

REAR ELEVATION - GARAGE END UNIT - WALKOUT

SCALE: 3/16" = 1'-0"





BUILDING SECTION
SCALE: 3/16" = 1'-0"

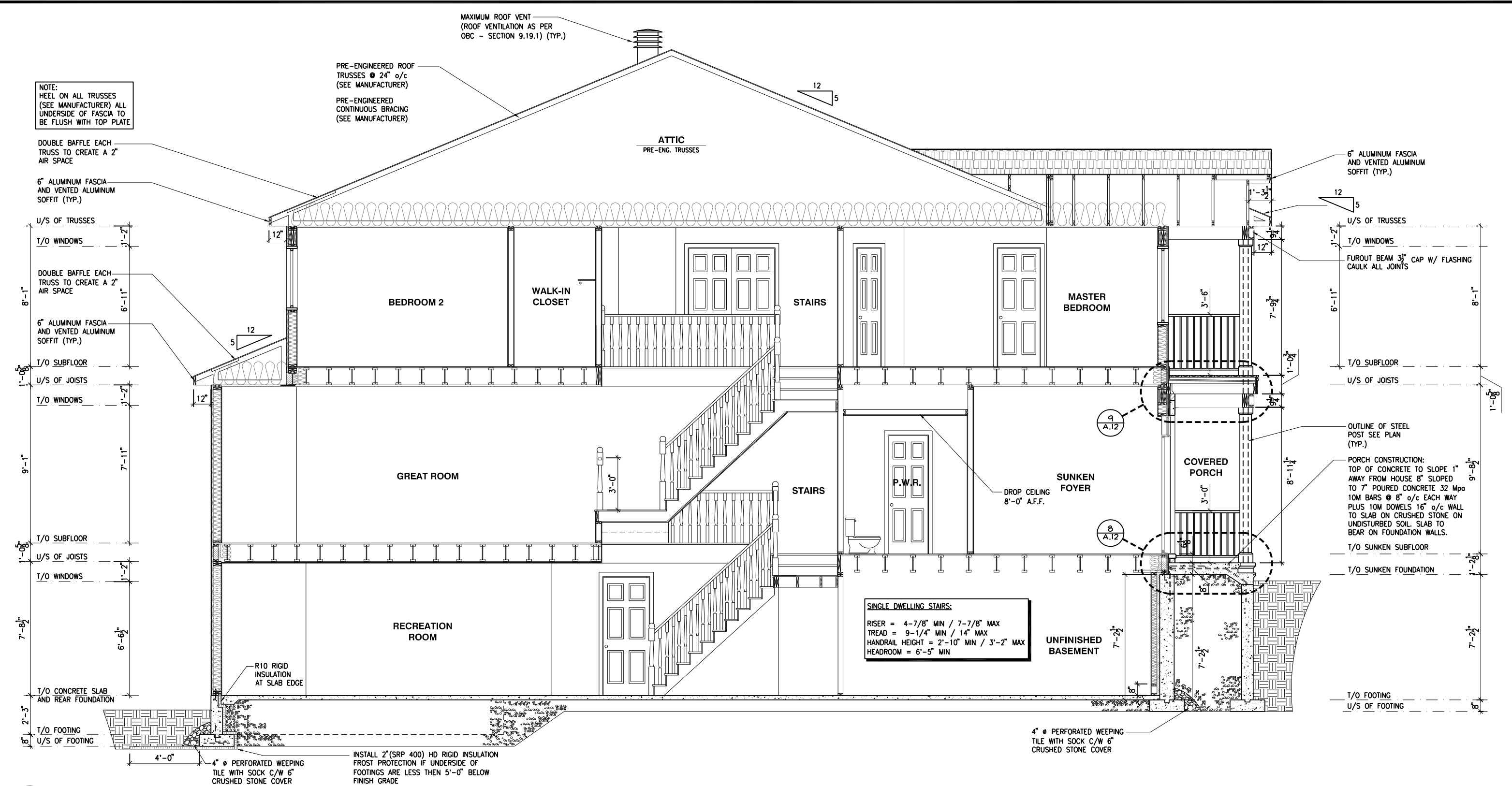
LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
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NO.	DESCRIPTION	MM/DD/YYYY	BY

2012 O.B.C. DRAWINGS		
DRAWING: BUILDING SECTION		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)		SHEET: A.3a



1
A.3b

BUILDING SECTION - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896

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2012 O.B.C. DRAWINGS

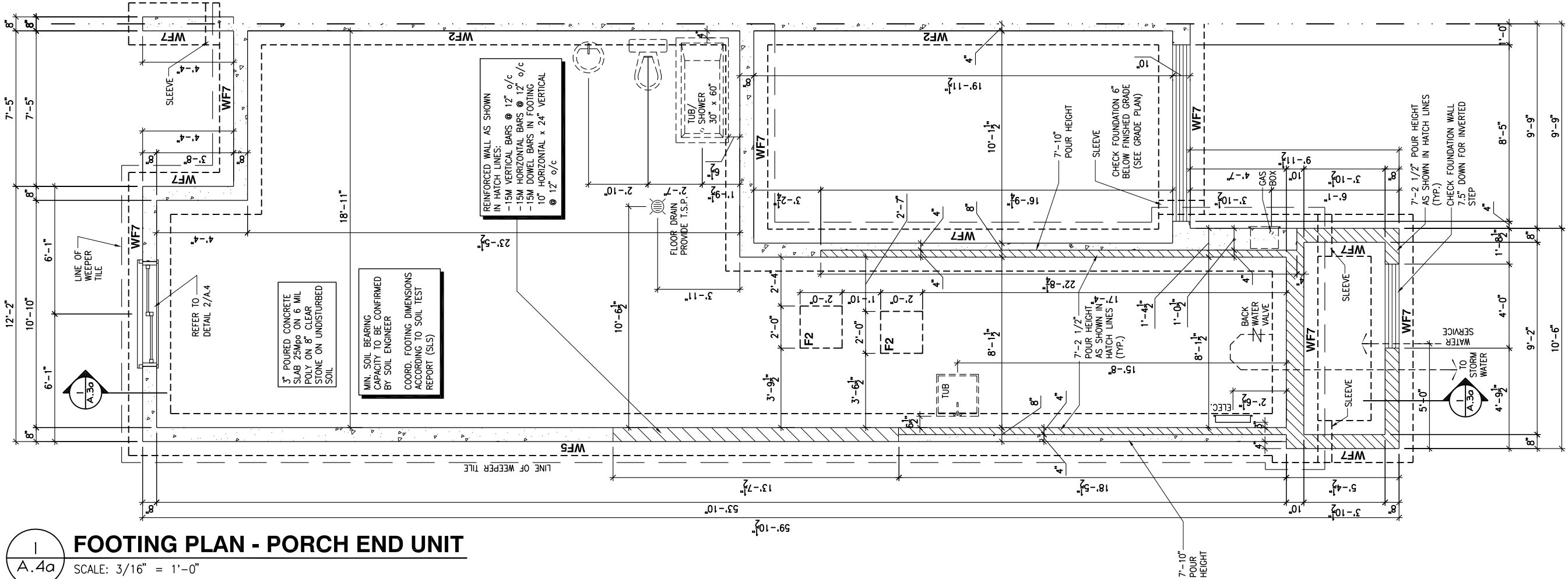
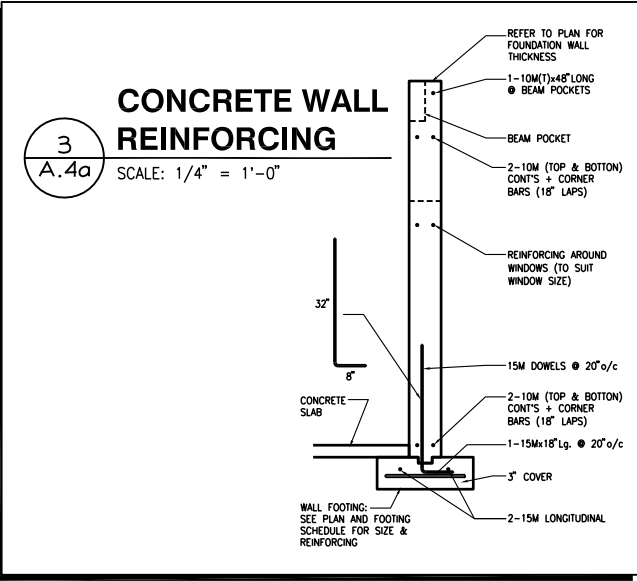
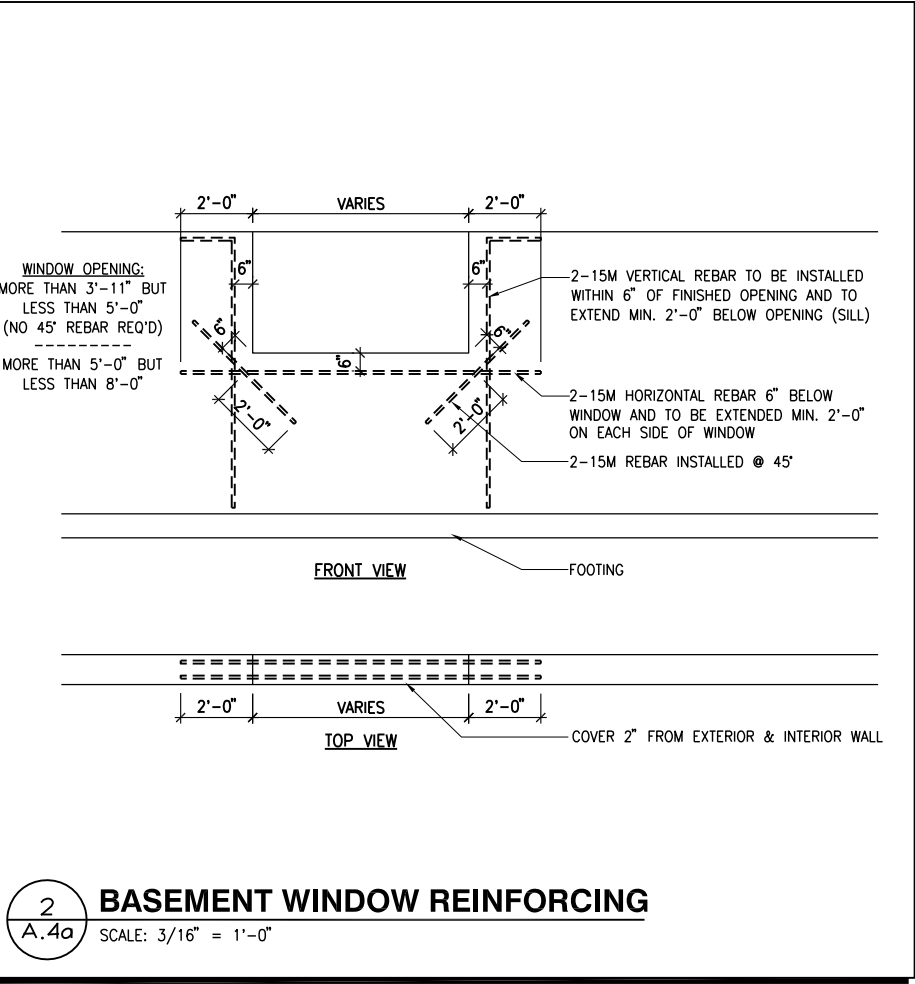
DRAWING: BUILDING SECTION WALKOUT

ADDRESS: XX | **SCALE:** 3/16" = 1'-0" | **DATE:** XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

A.3b

FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS
PAD FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 12"H.



LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

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NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

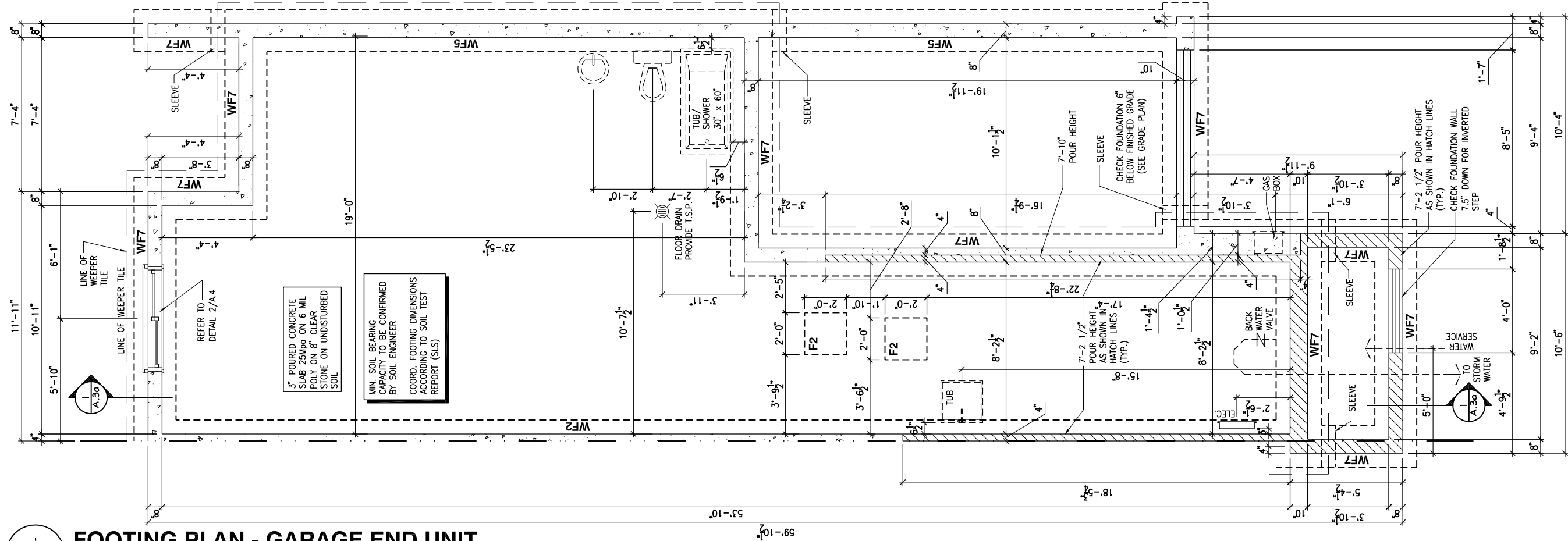
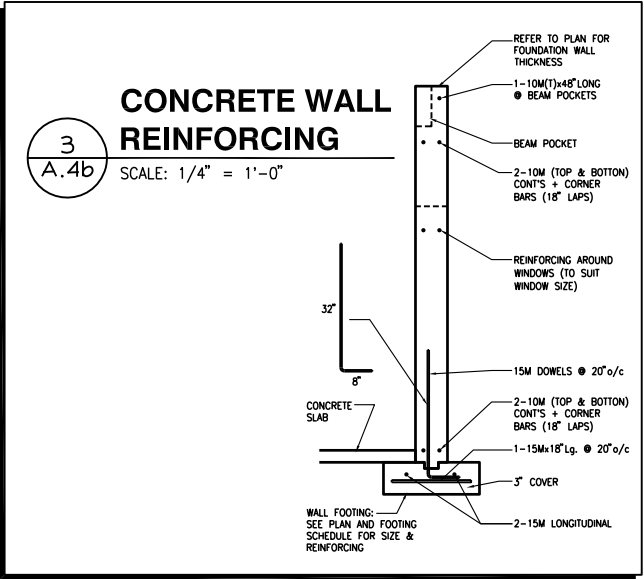
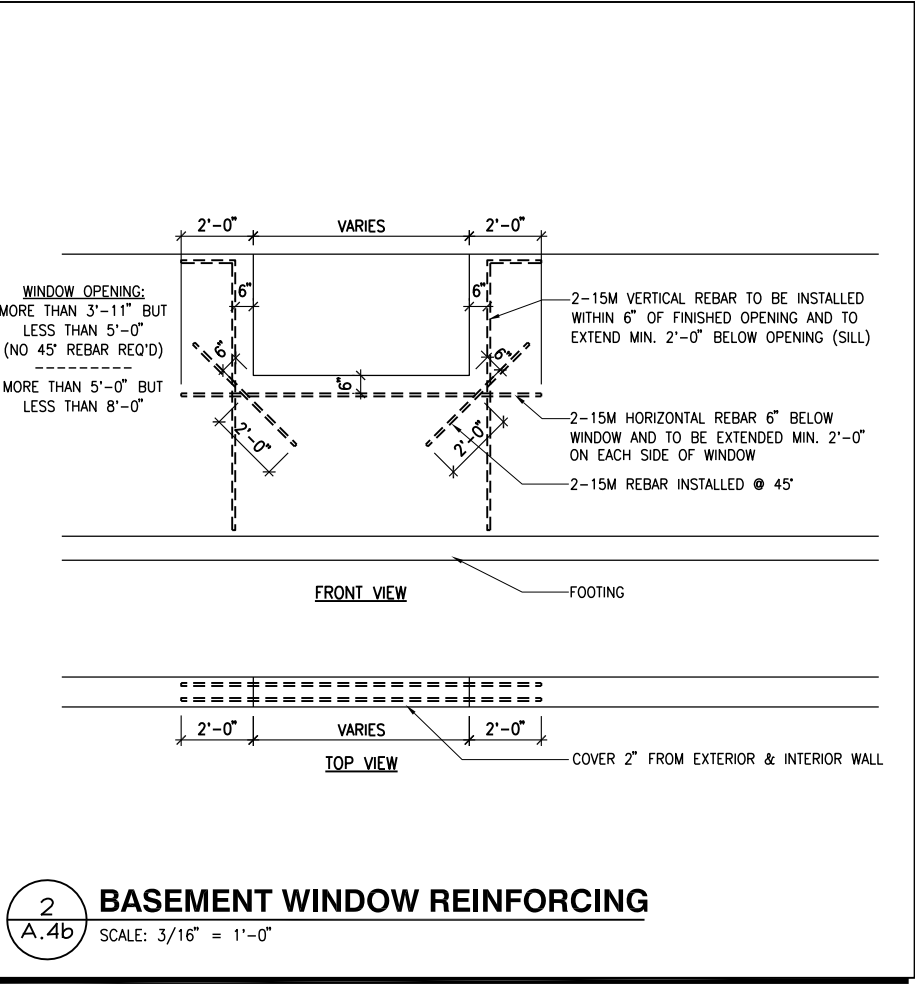
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	
DRAWING:				
FOOTING PLAN -PORCH END UNIT				
ADDRESS: XX		SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX	
130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)				SHEET: A.4a

FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
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PAD FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa
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1
A.4c

FOOTING PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

L. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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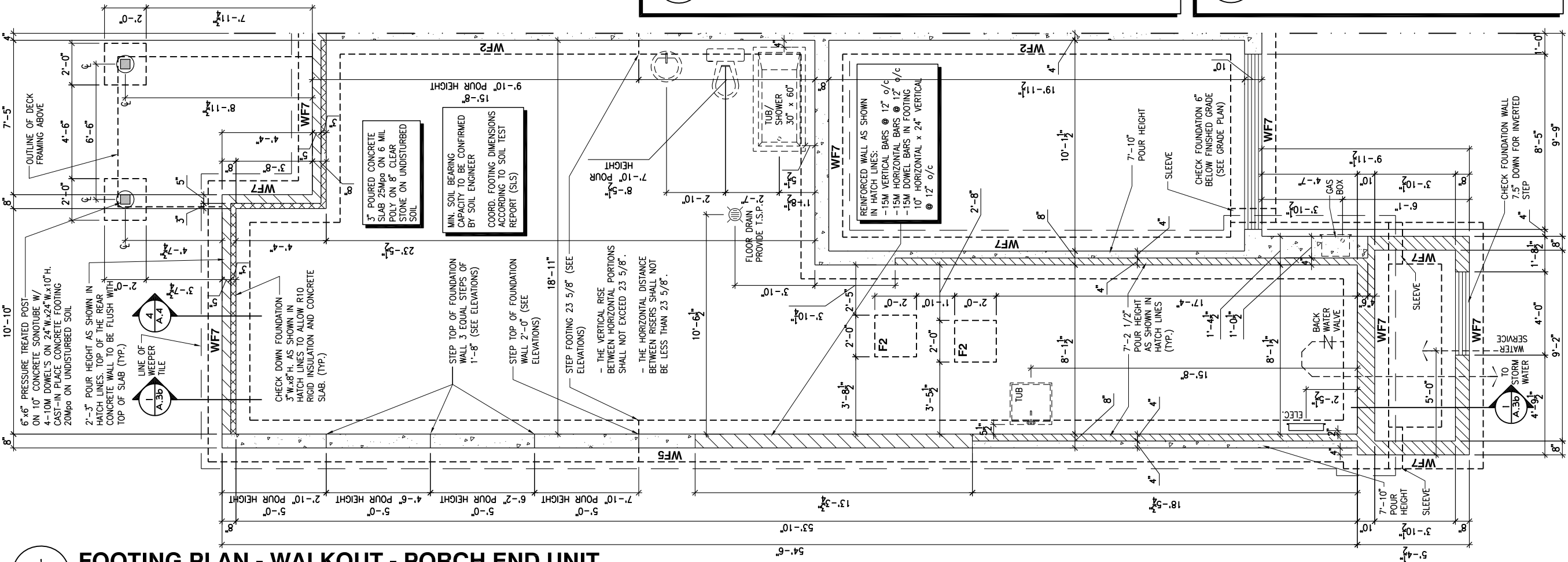
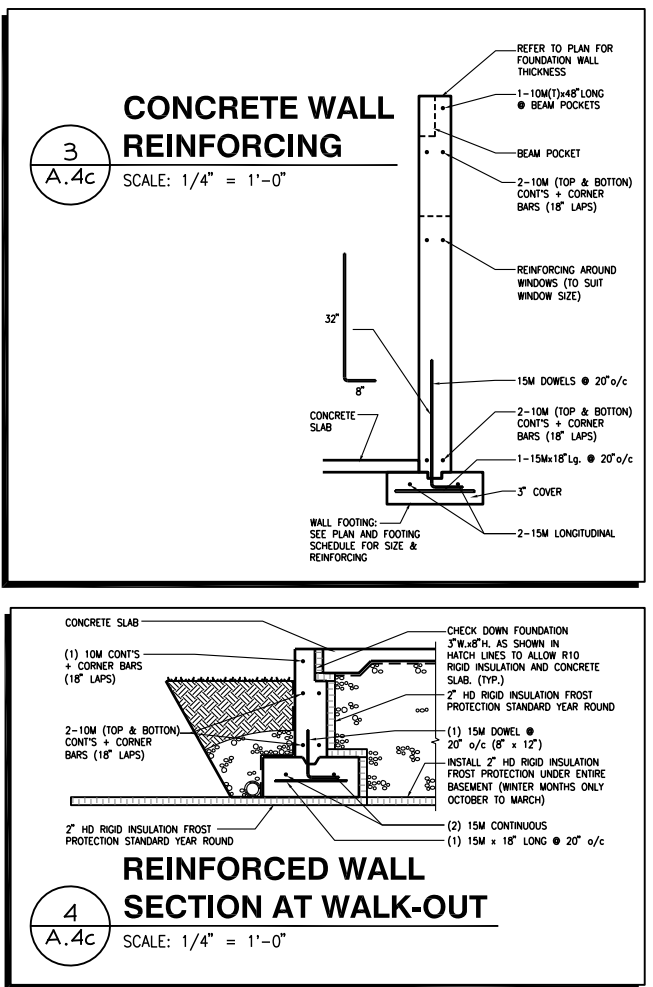
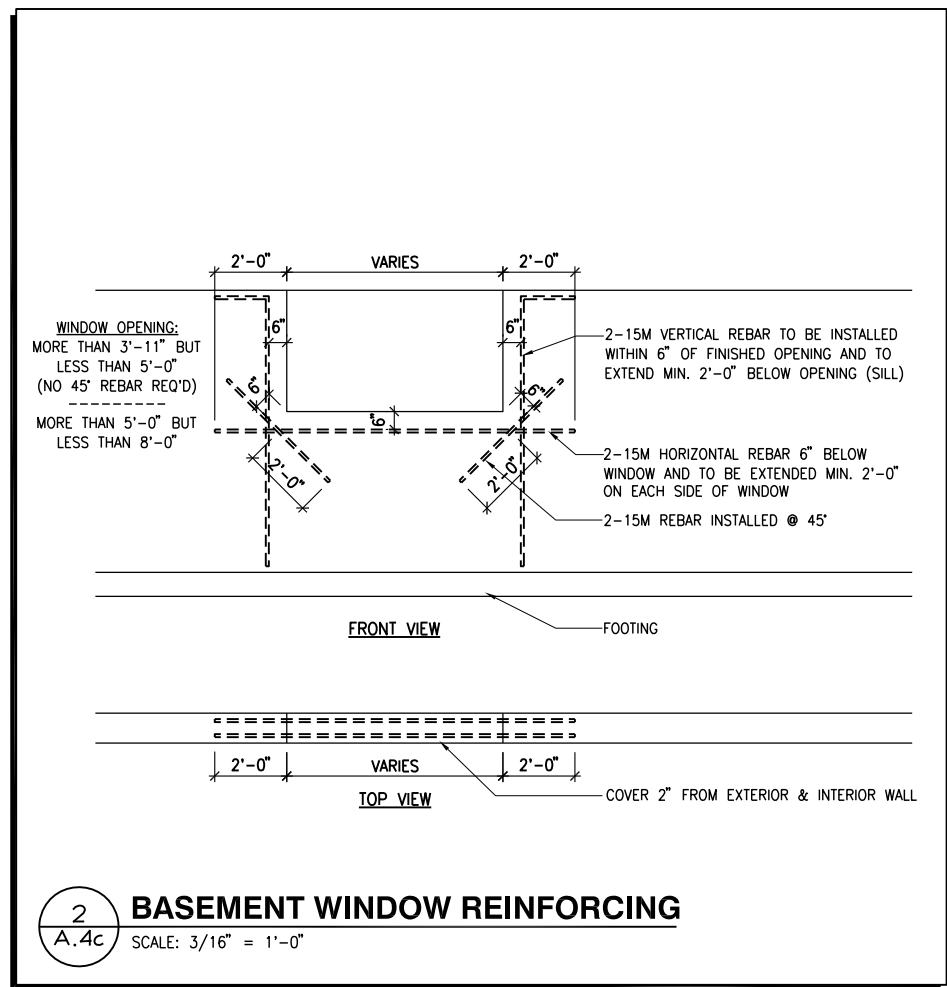
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- NOTES:**
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 - BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
 - THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS. THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
 - FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
 - CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
 - REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
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NO.	DESCRIPTION	MM/DD/YYYY	BY	
DRAWING:				
FOOTING PLAN - GARAGE END				
ADDRESS:		SCALE:	DATE:	
XX		3/16" = 1'-0"	XX/XX/XXXX	
130 - THE LEWIS			SHEET:	
2020 FOOTPRINT			A.4c	
(STANDARD DRAWINGS)				

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DATE:	XX/XX/XXXX

Valecraft

Homes (2019) Limited

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FOOTING PLAN - WALKOUT - PORCH END UNIT

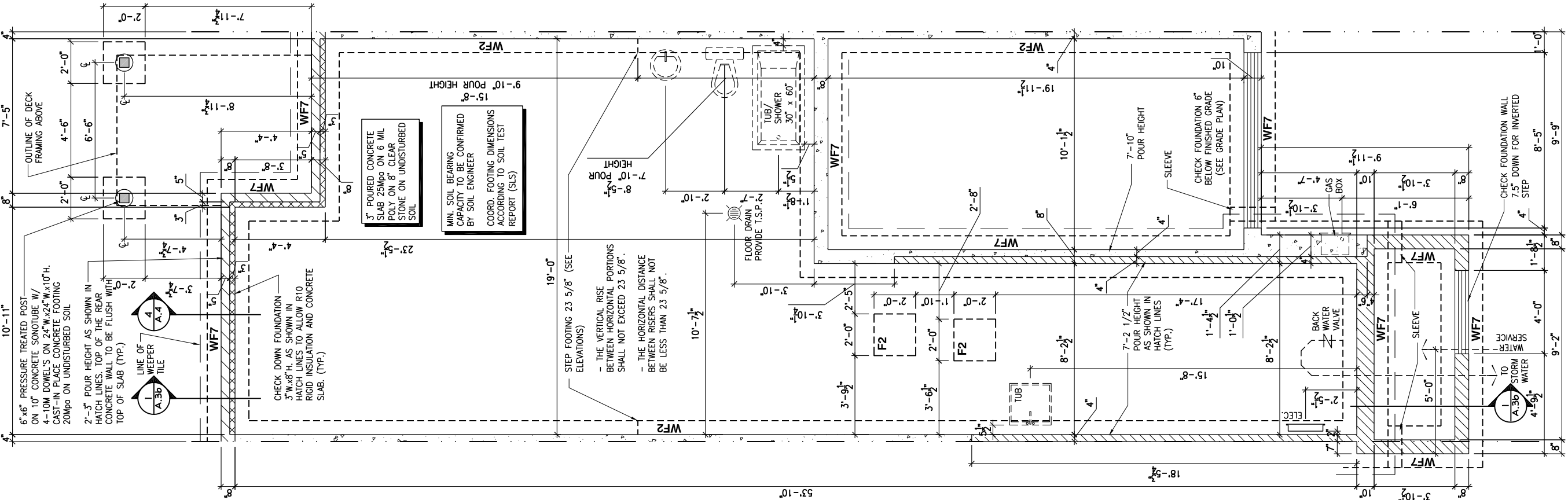
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DRAWING: FOOTING PLAN	
WALKOUT - PORCH END UNIT	

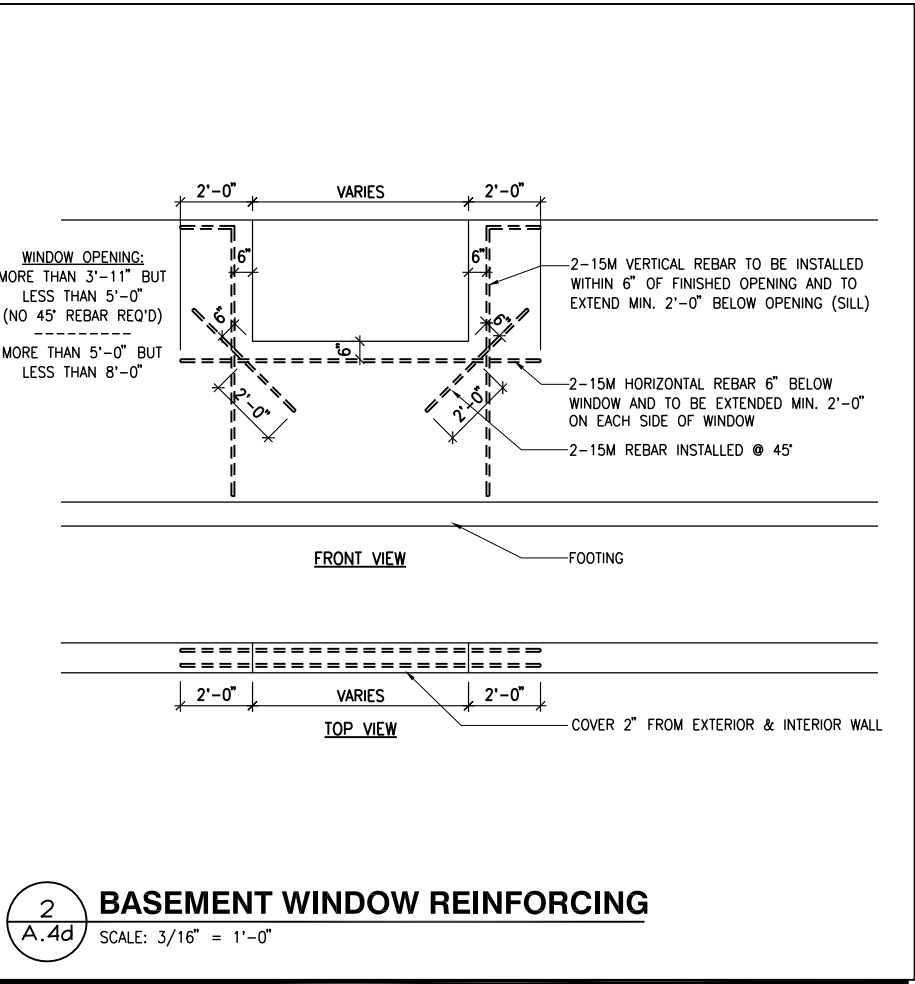
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)	<div>SHEET:</div> <div>A.4d</div>
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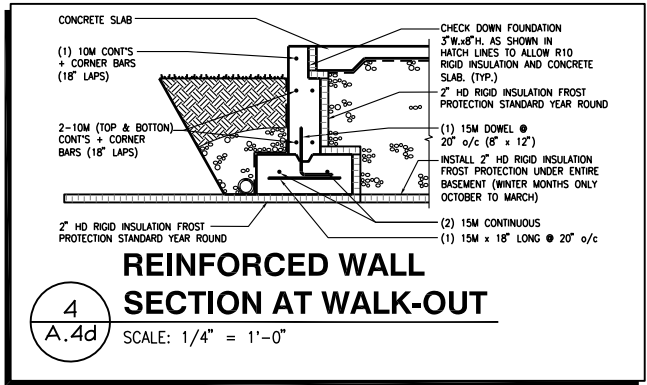
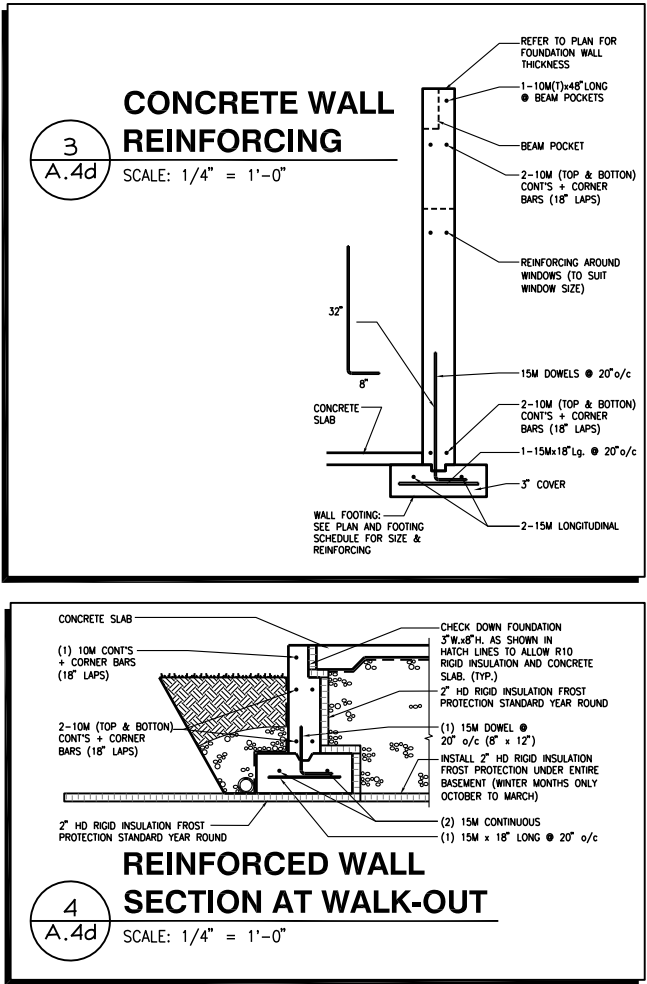
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1
A.4e
FOOTING PLAN - WALKOUT - MID UNIT
SCALE: 3/16" = 1'-0"



2
A.4d
BASEMENT WINDOW REINFORCING
SCALE: 3/16" = 1'-0"



4
A.4d
REINFORCED WALL SECTION AT WALK-OUT
SCALE: 1/4" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	NM/DD/YYYY	BY

DRAWING: **FOOTING PLAN WALKOUT - MID UNIT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT
(STANDARD DRAWINGS)

A.4e

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
 - 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
 - RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
 - 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
 - 3-2"x10" PRESSURE TREATED (FLUSH)
 - JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT:XXXX

DATE:XX/XX/XXXX

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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
 - (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
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- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

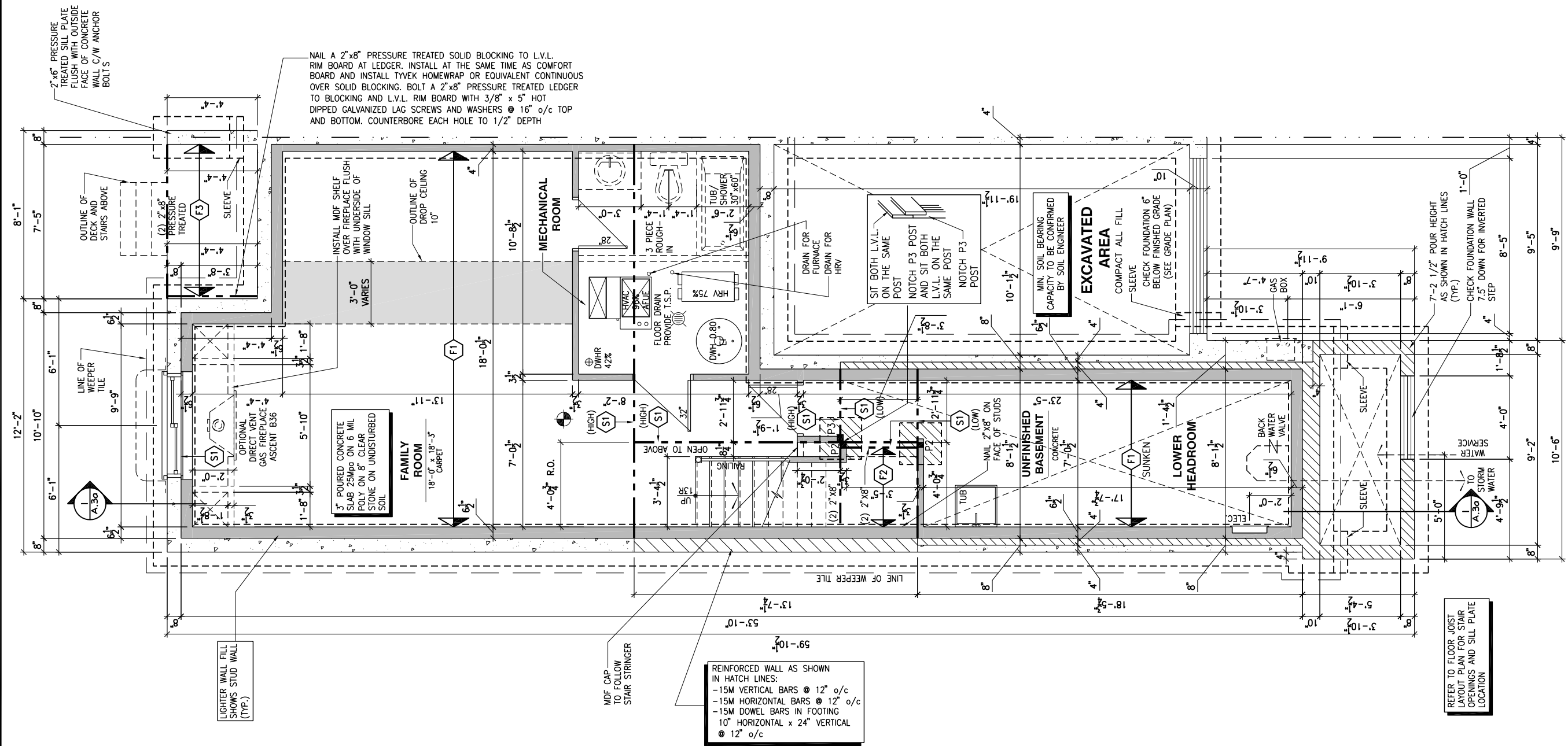
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN
2x6 FROST WALL - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5a



1

A.5a

BASEMENT FLOOR PLAN - 2x6 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
 - 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
 - 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
 - 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
 - 5 3-2"x10" PRESSURE TREATED (FLUSH)
 - 6 JOIST HANGERS AT EVERY JOIST CONNECTION

- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
 - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
 - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
 - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
 - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
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 - A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
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LOT: XXXX
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Valecraft
Homes (2019) Limited
DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- NOTES:
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 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
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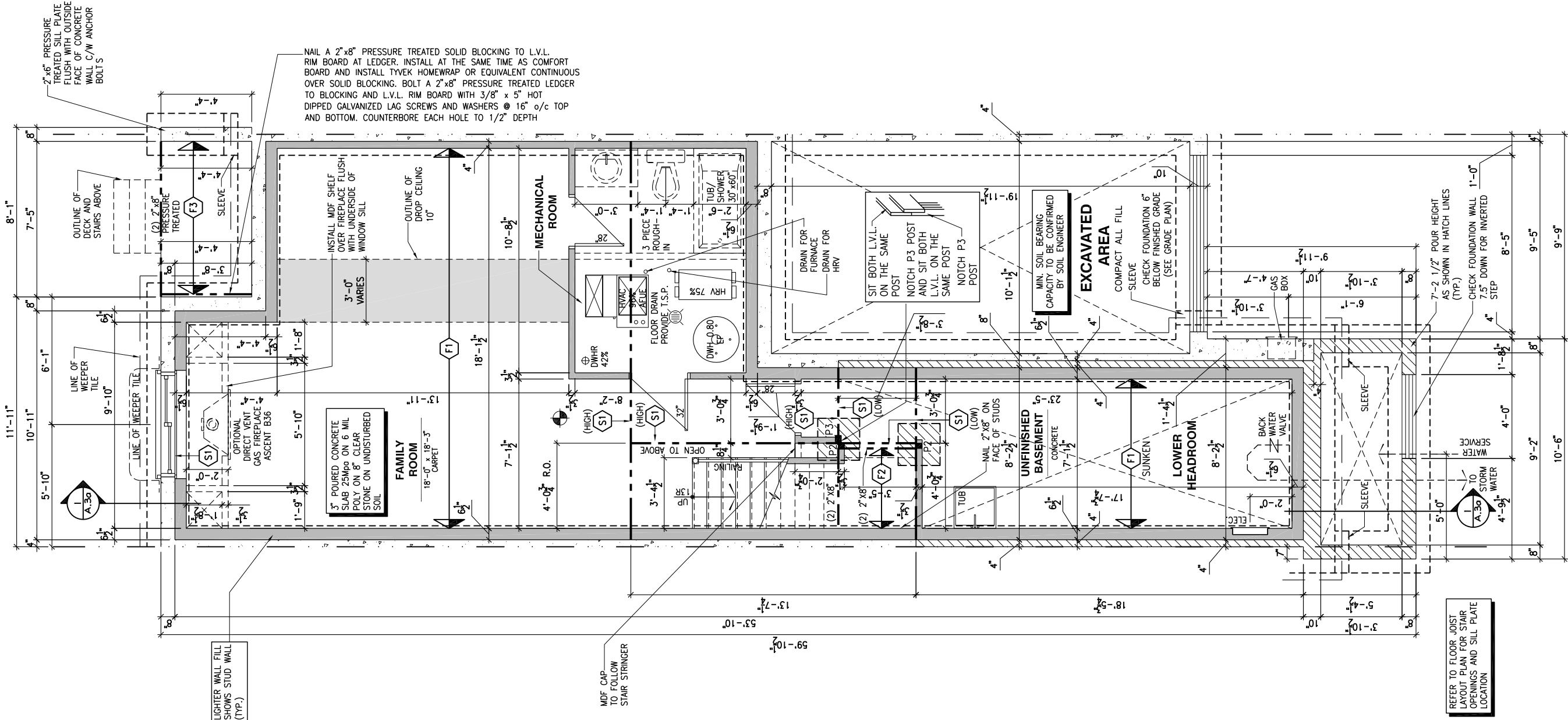
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DRAWING: BASEMENT FLOOR PLAN
2x6 FROST WALL - MID UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5b



1
A.5b
BASEMENT FLOOR PLAN - 2x6 FROST WALL - MID UNIT
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

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LOT: XXXX
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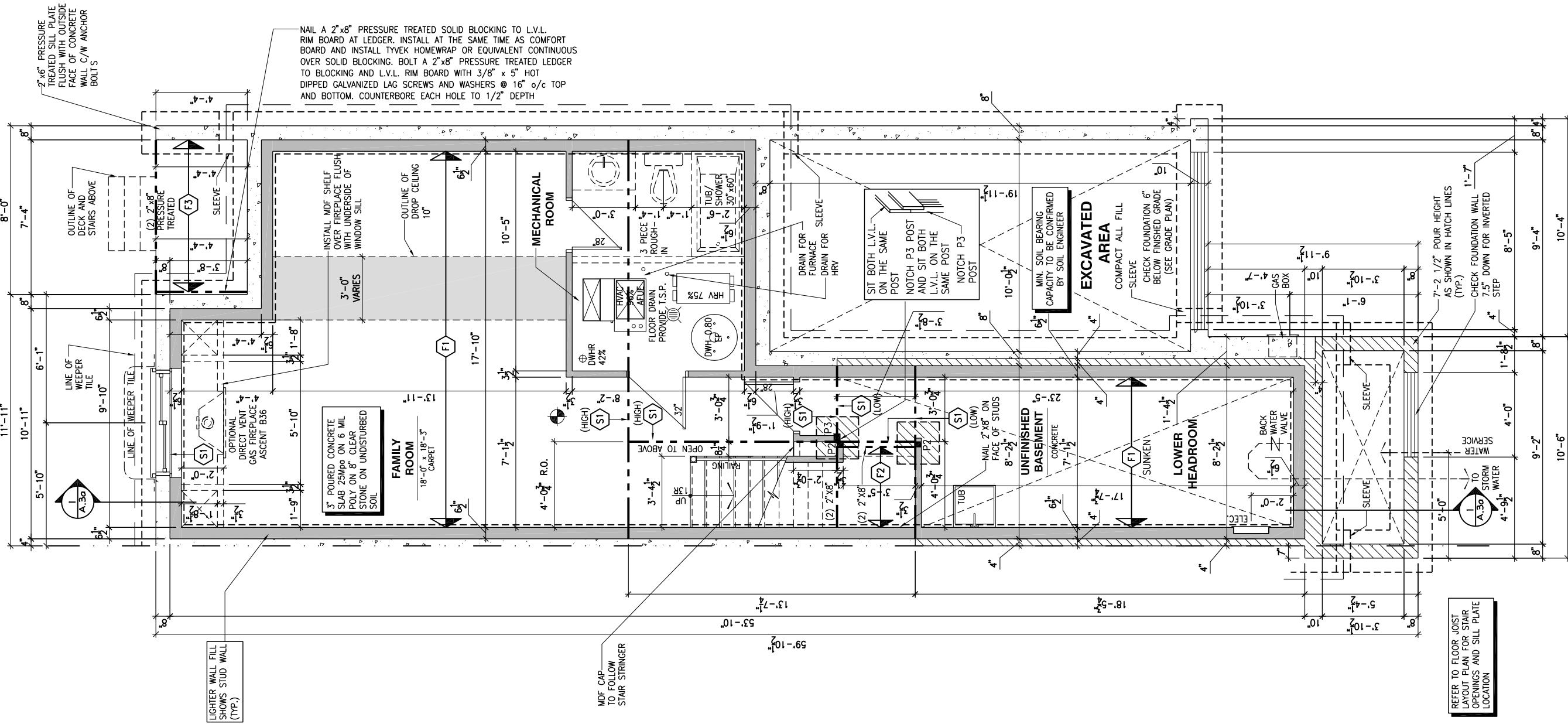
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DRAWING: BASEMENT FLOOR PLAN
2x6 FROST WALL - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A.5c



1 A.5c BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT
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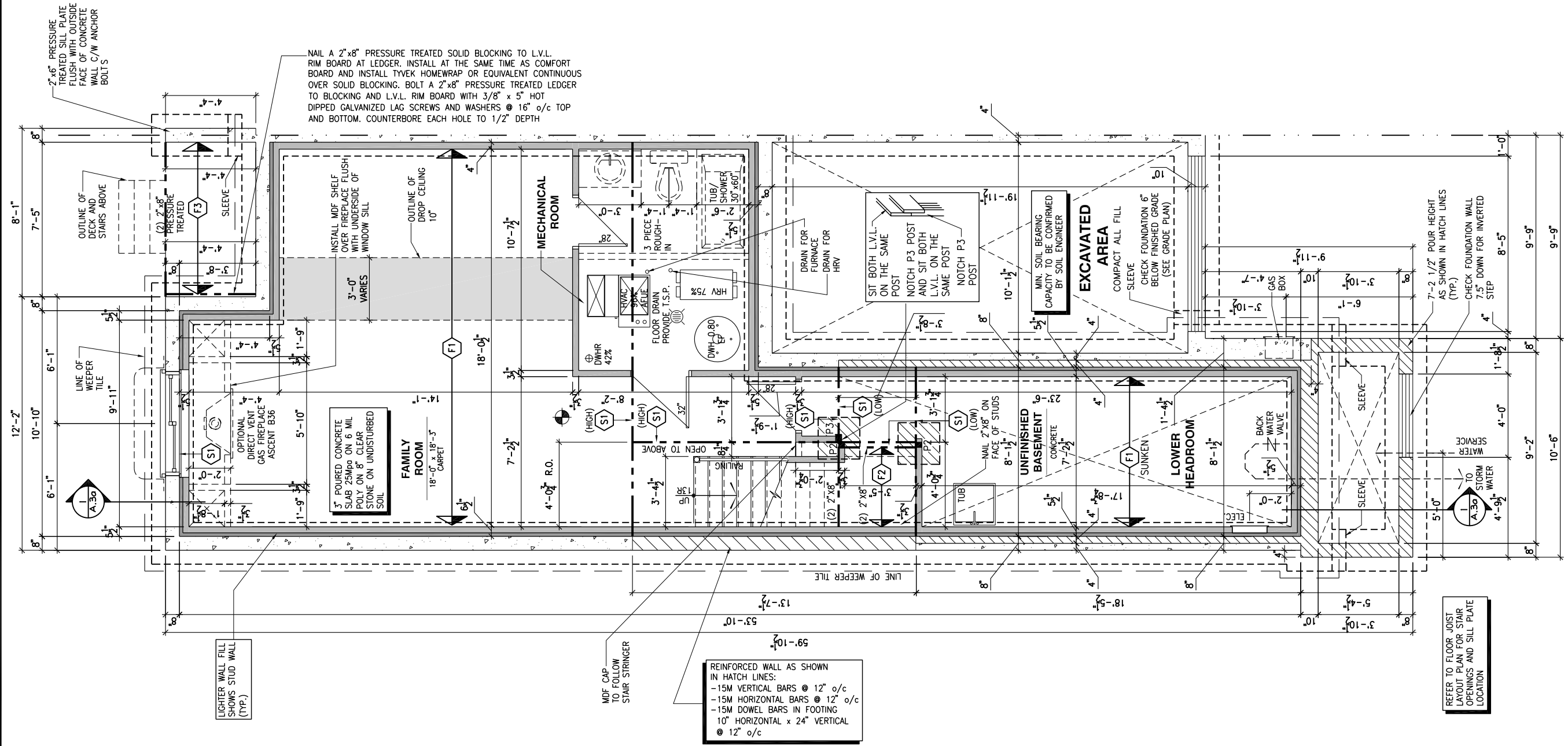
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN ENERGY STAR - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.5d



1 A.5d BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
C/W STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD
AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT
BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT
CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH
2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM
THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES
WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER
POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I.
(21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. C/W 5 TO 8% AIR
ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO
AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS
SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING
PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND
FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY
THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH
9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES
DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A
SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM
AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX
DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE
B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW
ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS
ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING
DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER
DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING
CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL
DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S
ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD
RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- STEEL LINTEL:
- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER
- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
- P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- * POST ARE ALL JACK C/W STUD
(EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"
- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

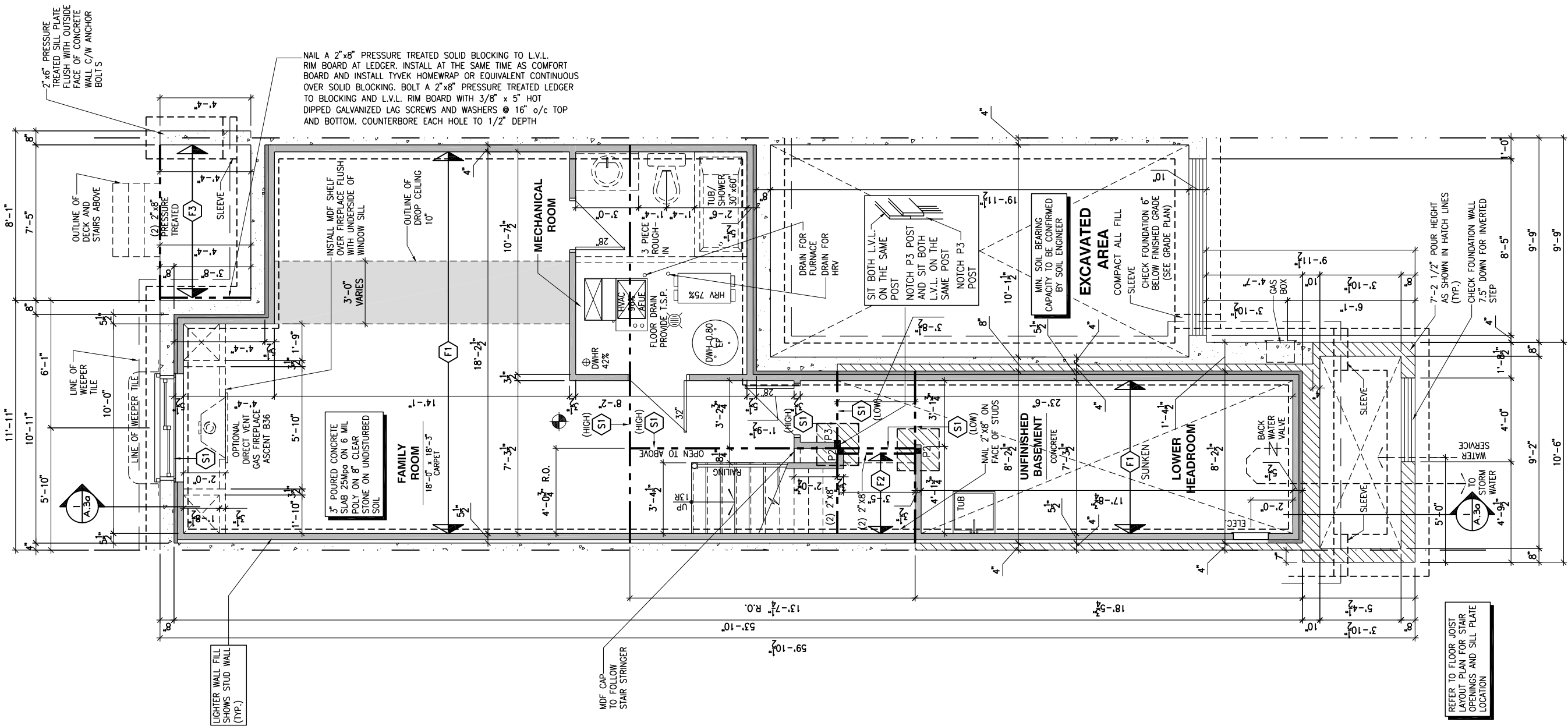
REV.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN
ENERGY STAR - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5e



1 A.5e BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;

- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND

B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX

DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896

- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

S1	= L 90x90x6
S2	= L 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1	= 2-2x10 + P2 ON BOTH SIDES
L2	= 3-2x10 + P3 ON BOTH SIDES
L3	= 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4	= 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1	= 3" ADJUSTABLE STEEL COLUMN
P10	= HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2	= 2-2x4 OR 2-2x6
P3	= 3-2x4 OR 3-2x6
P4	= 4-2x4 OR 4-2x6
P5	= 5-2x4 OR 5-2x6
P6	= 6-2x4 OR 6-2x6
P13	= HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
P14	= HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
P15	= HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16	= HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
P17	= HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
(+)	= 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN

ENERGY STAR - GARAGE END

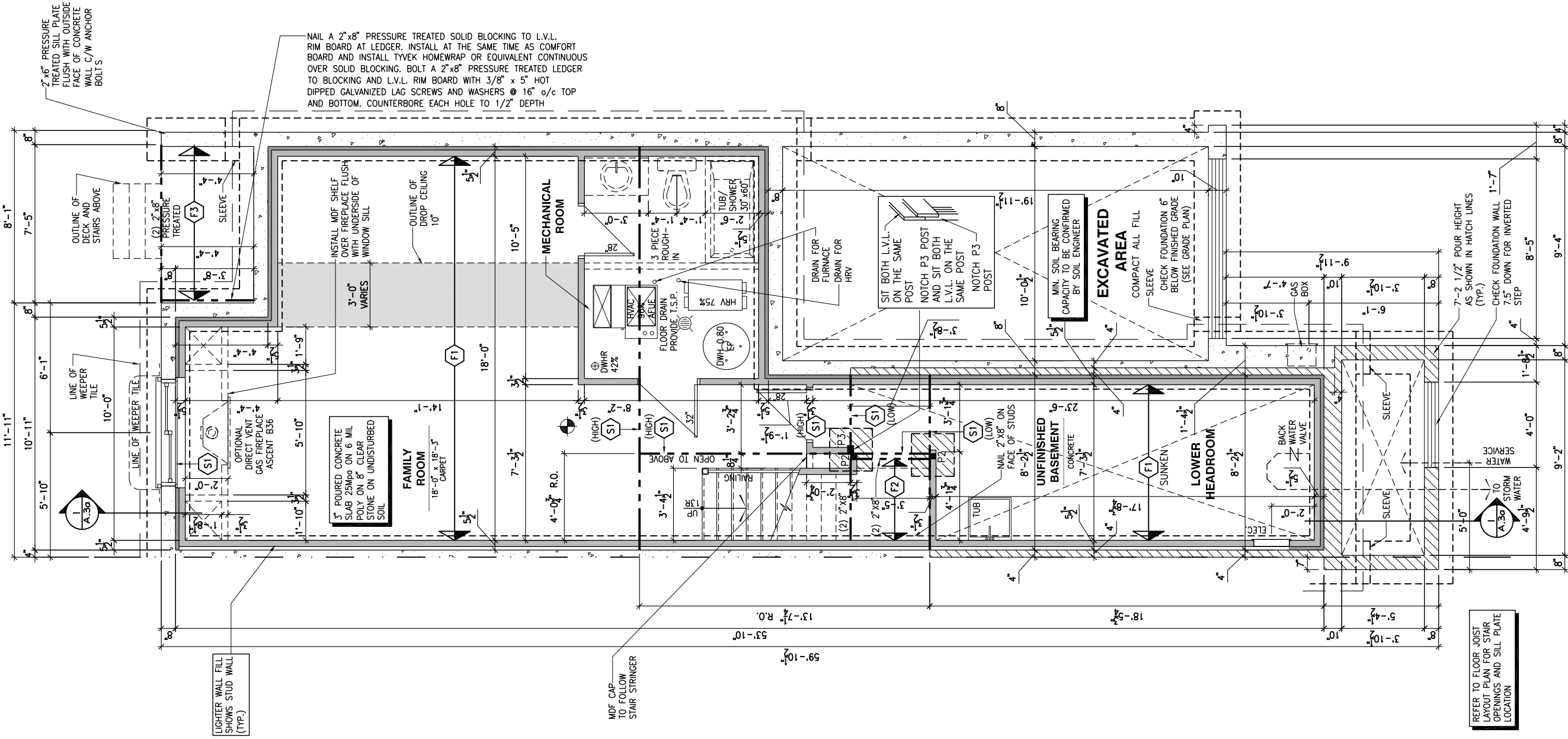
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS

2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.5f



1 BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT

A.5f SCALE: 3/16" = 1'-0"

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER, FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
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LOT: XXXX

DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- NOTES:
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- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
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- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
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2012 O.B.C. DRAWINGS

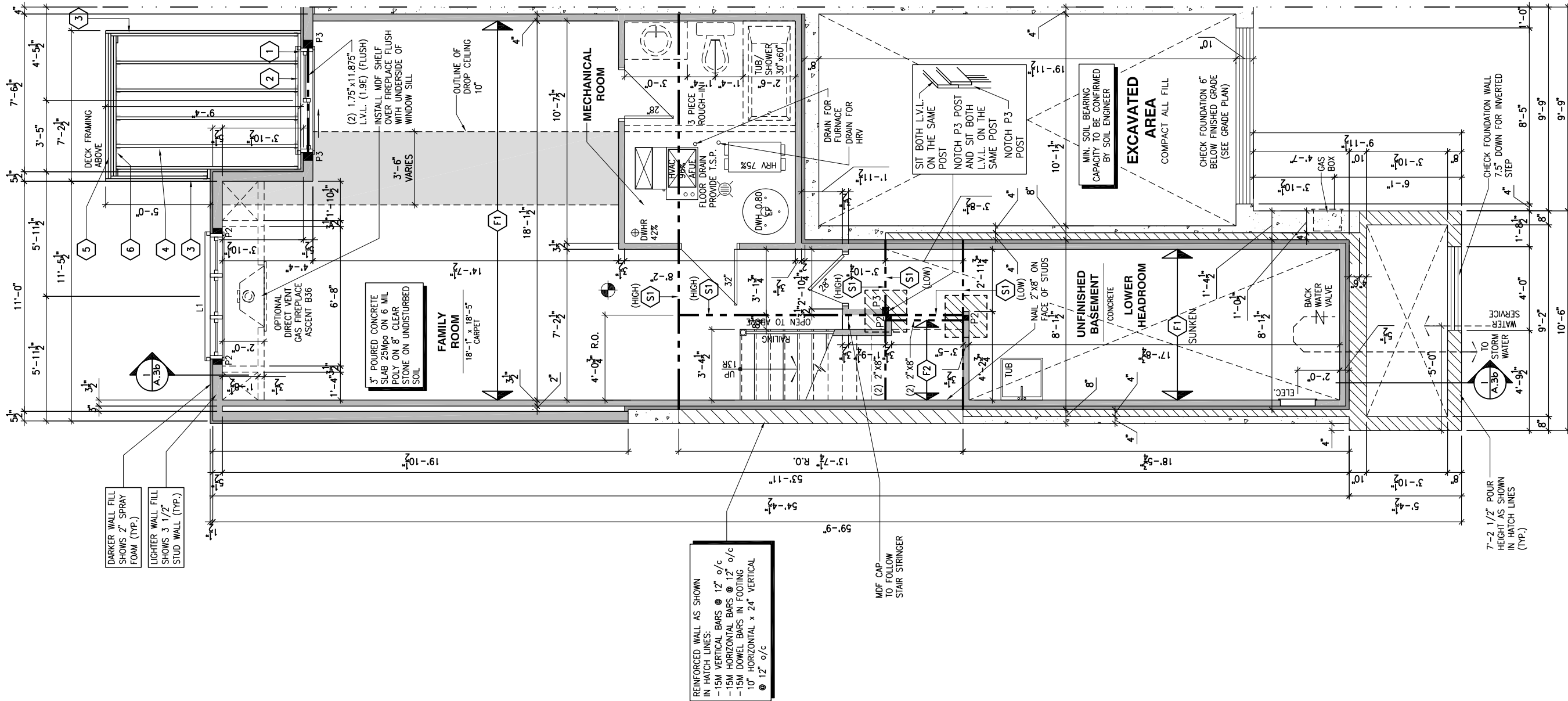
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN WALKOUT - PORCH END UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5g



1 BASEMENT FLOOR PLAN - WALKOUT - PORCH END UNIT

SCALE: 3/16" = 1'-0"

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
 - 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
 - RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
 - 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
 - 3-2"x10" PRESSURE TREATED (FLUSH)
 - JOIST HANGERS AT EVERY JOIST CONNECTION

- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
 - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
 - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
 - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
 - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
 - EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
 - IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
 - PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
 - (+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
- POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

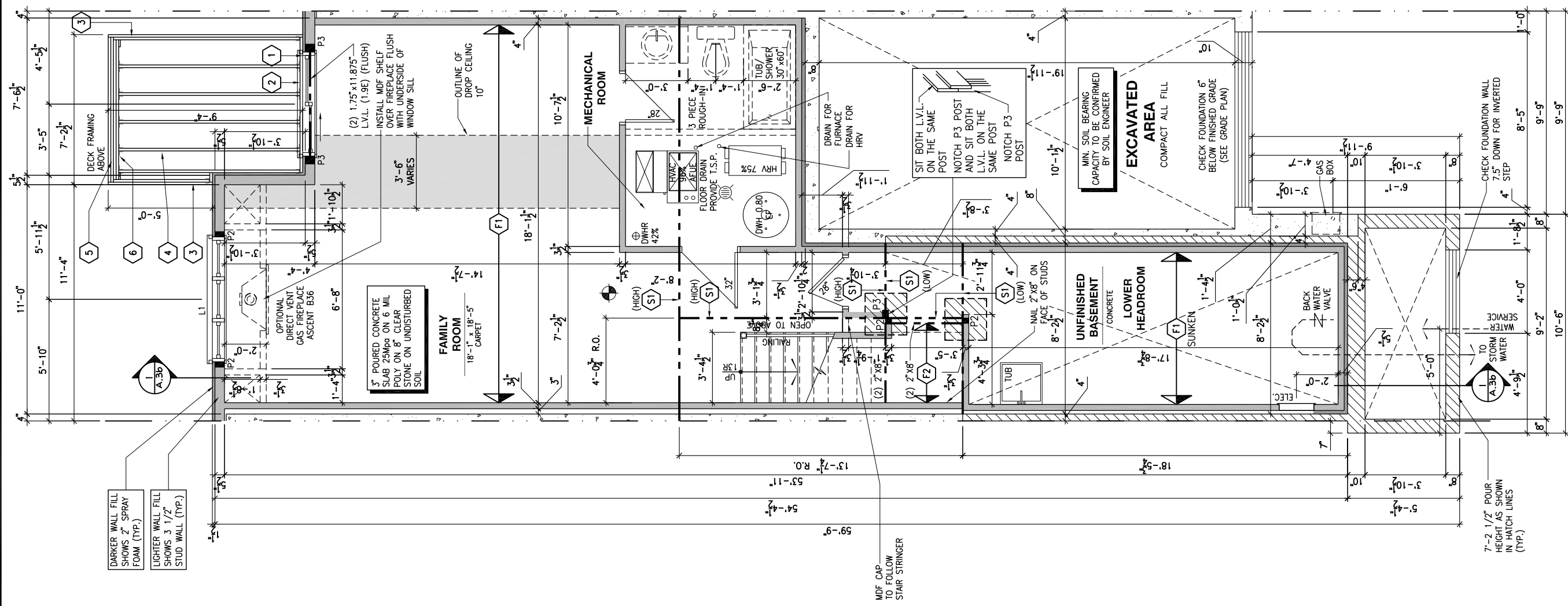
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN
WALKOUT - MID UNIT

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5h



1
A.5h
BASEMENT FLOOR PLAN - WALKOUT - MID UNIT
SCALE: 3/16" = 1'-0"

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
 - 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
 - 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
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 - 5 3-2"x10" PRESSURE TREATED (FLUSH)
 - 6 JOIST HANGERS AT EVERY JOIST CONNECTION

- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
 - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
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LOT: XXXX
DATE: XX/XX/XXXX

Valecraft Homes (2019) Limited
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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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 - S7 = L 150x100x10 (8" BEARING)
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 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

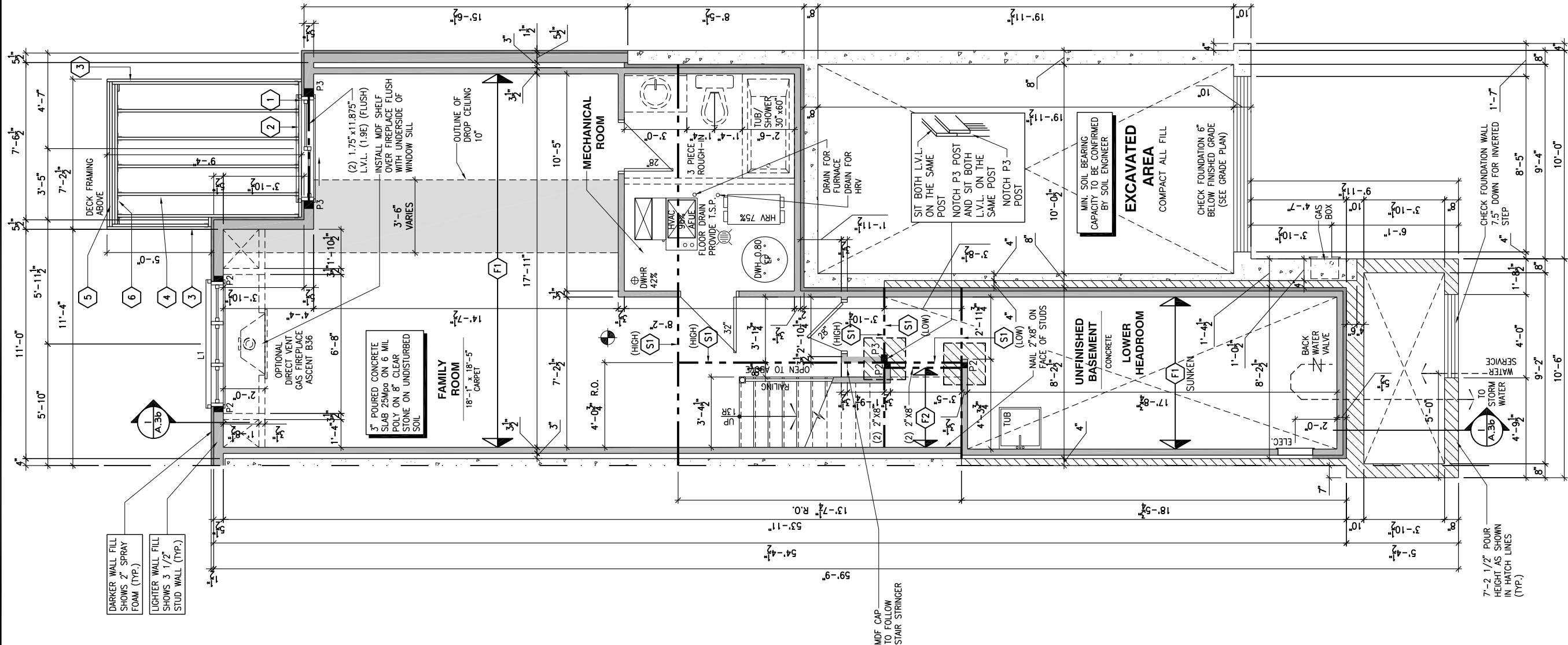
REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **BASEMENT FLOOR PLAN WALKOUT - GARAGE END UNIT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: **A.5i**



BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT
SCALE: 3/16" = 1'-0"



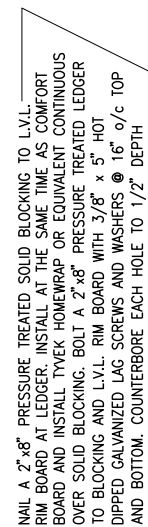
Valecraft
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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1
A.6a

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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NO.	DESCRIPTION	MM/DD/yyyy	BY

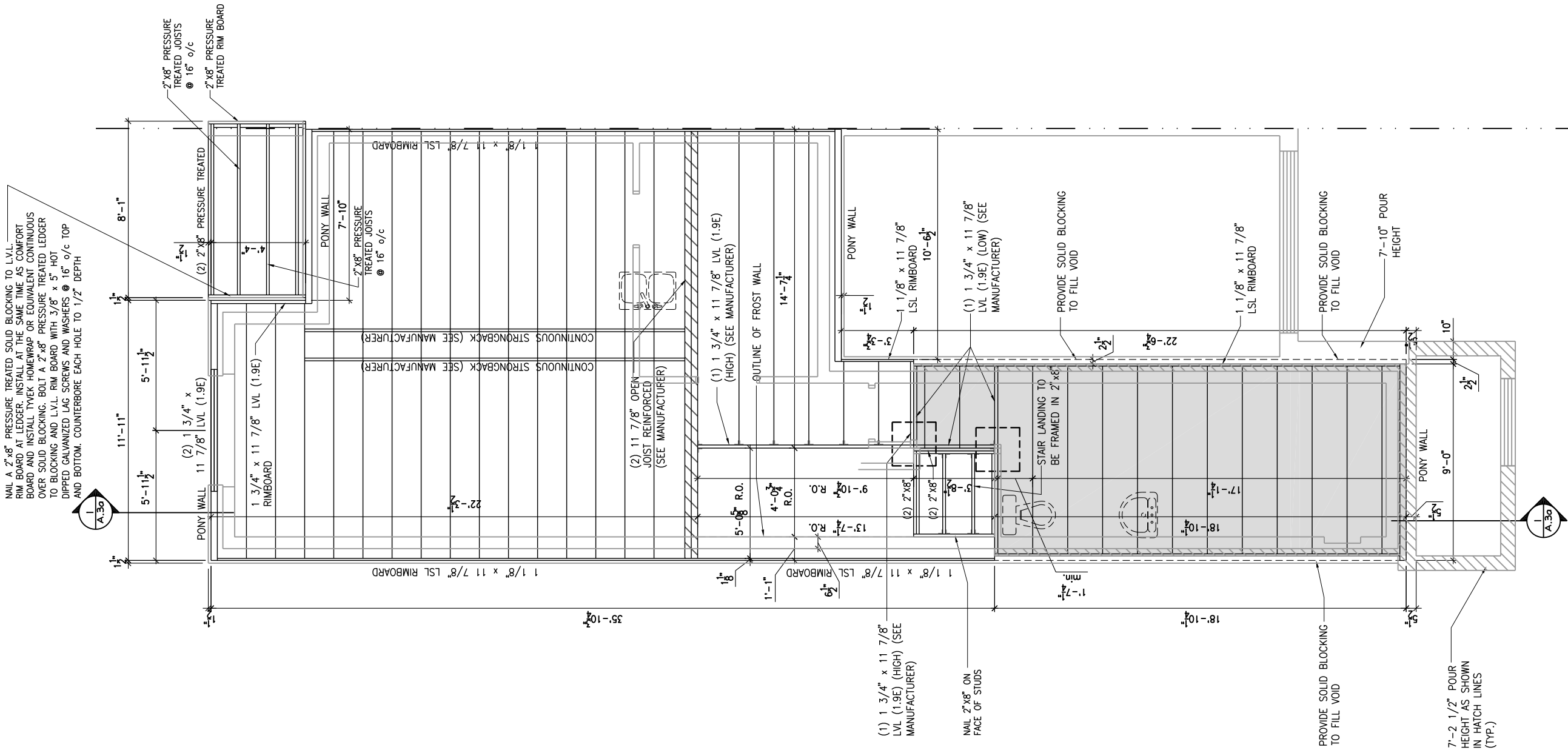
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

(STANDARD DRAWINGS)

A.6a

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

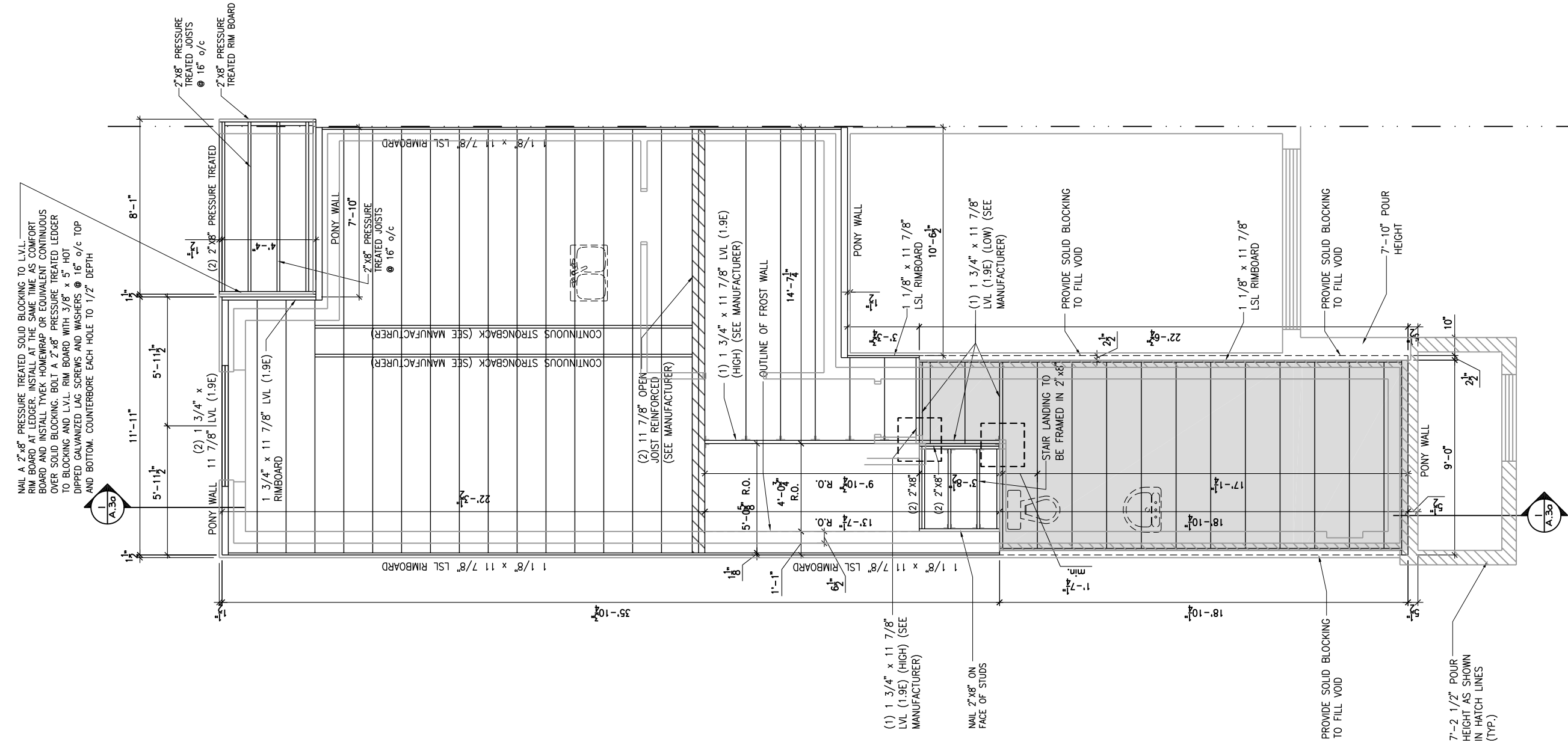
DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6b



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY	

GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

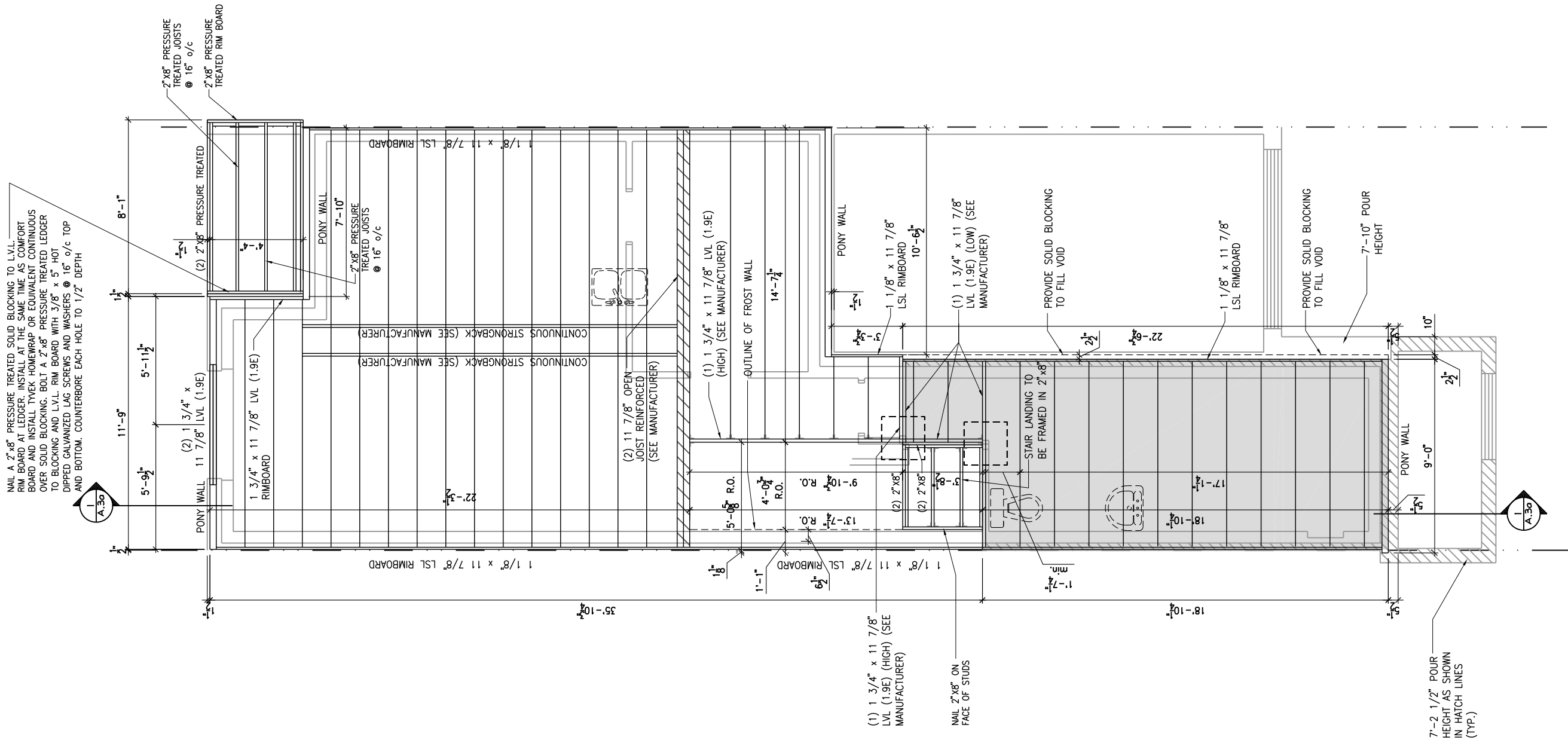
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A.6c

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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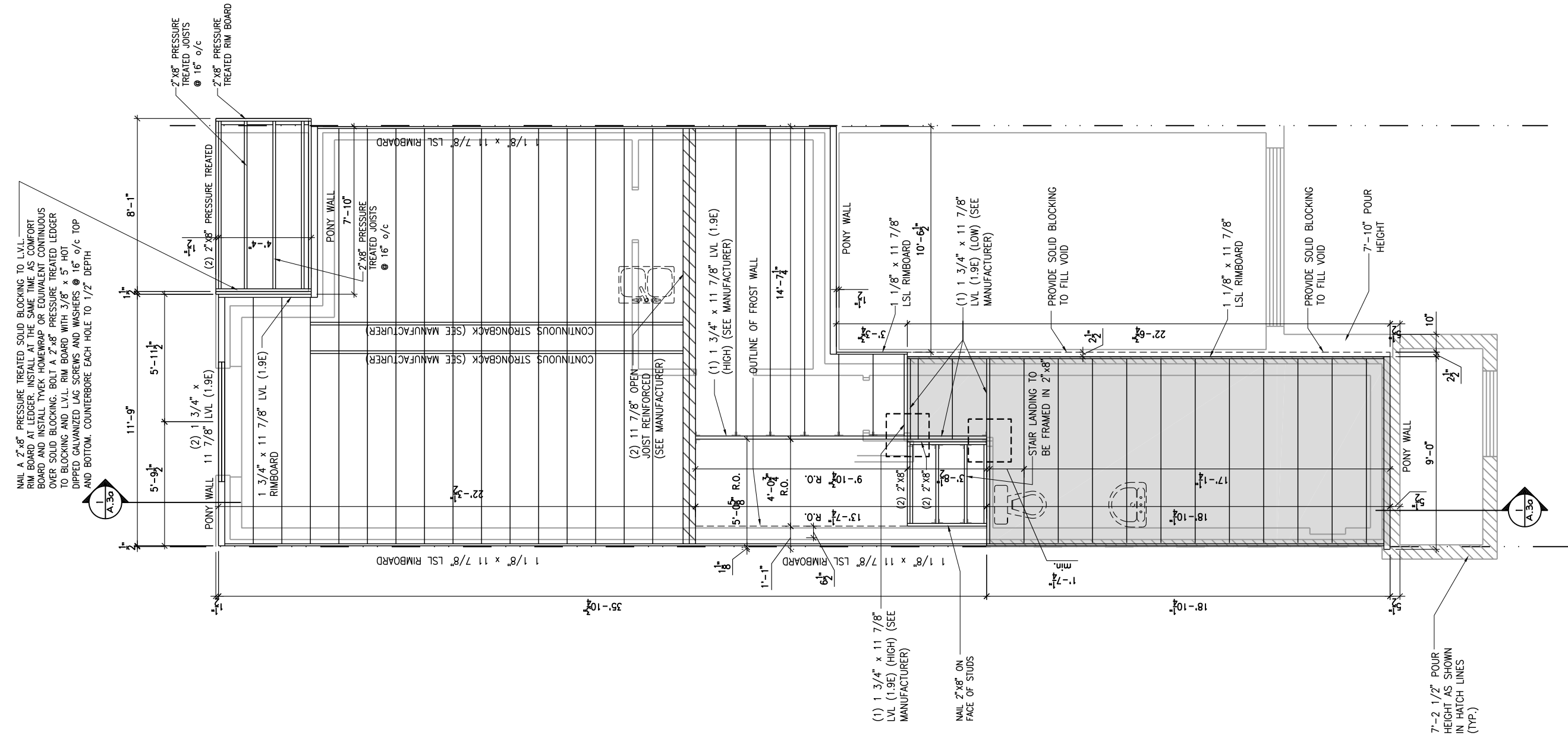
DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6d



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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DRAWING: **GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

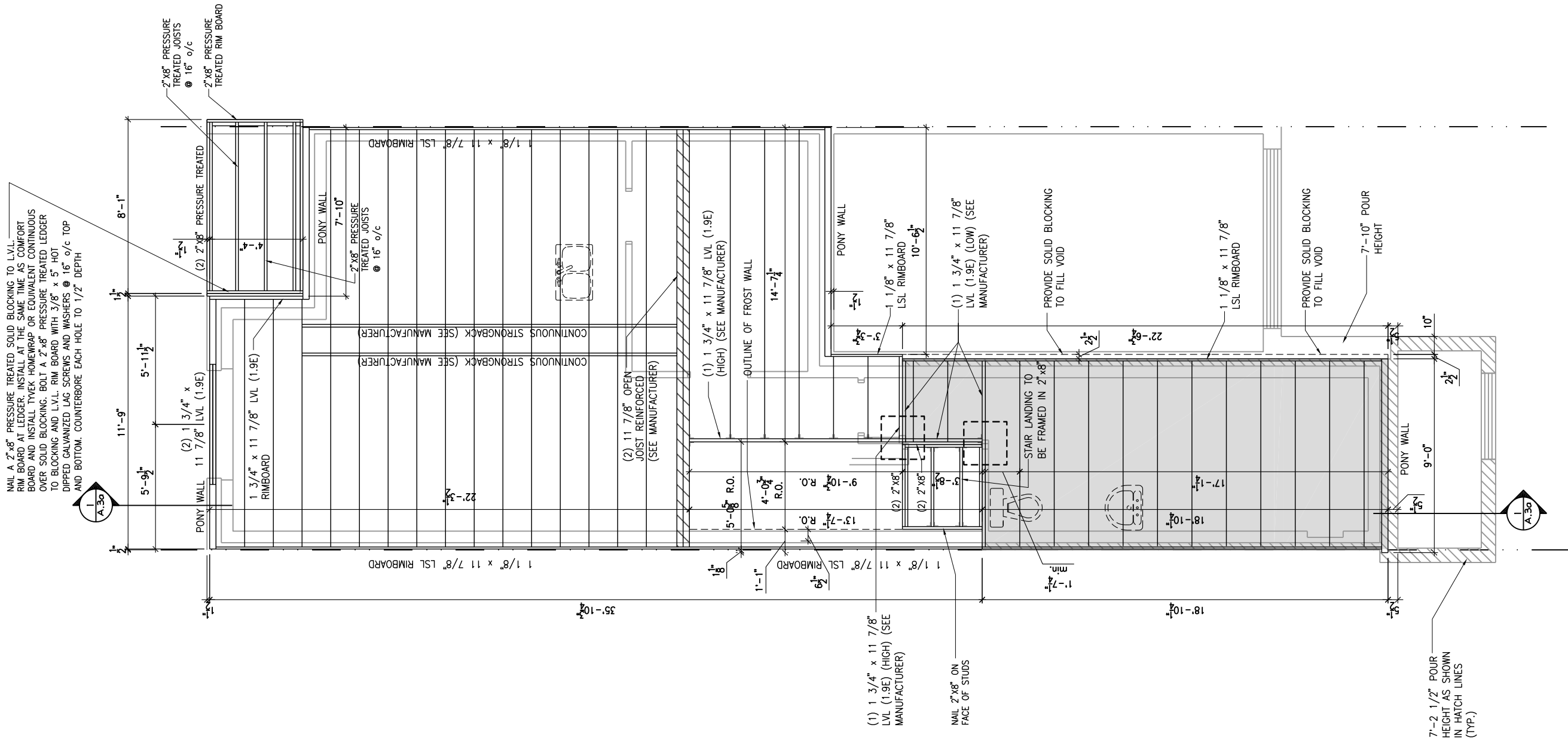
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT
(STANDARD DRAWINGS)

A.6e

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

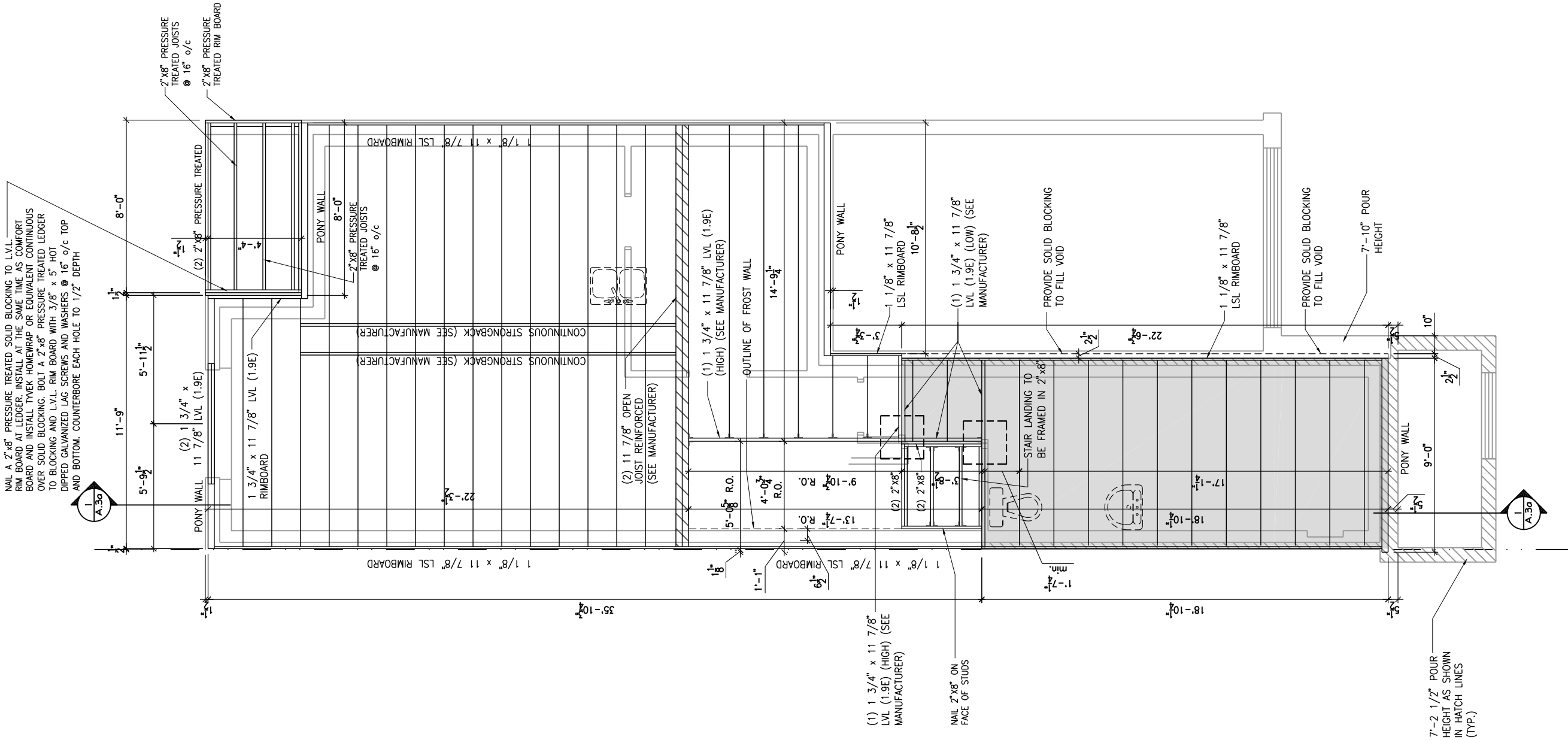
130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6f

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR
JOIST FRAMING - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

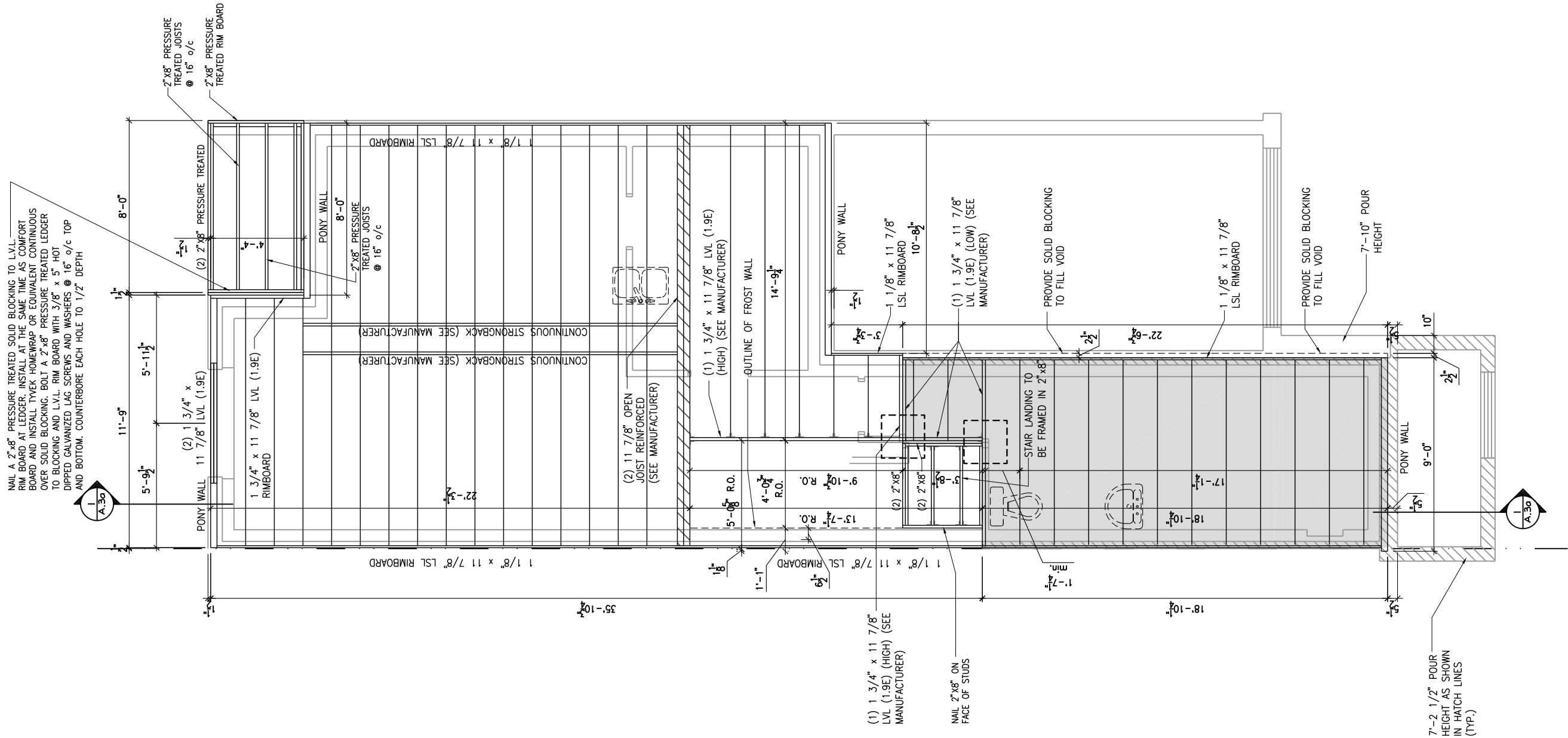
130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6g

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

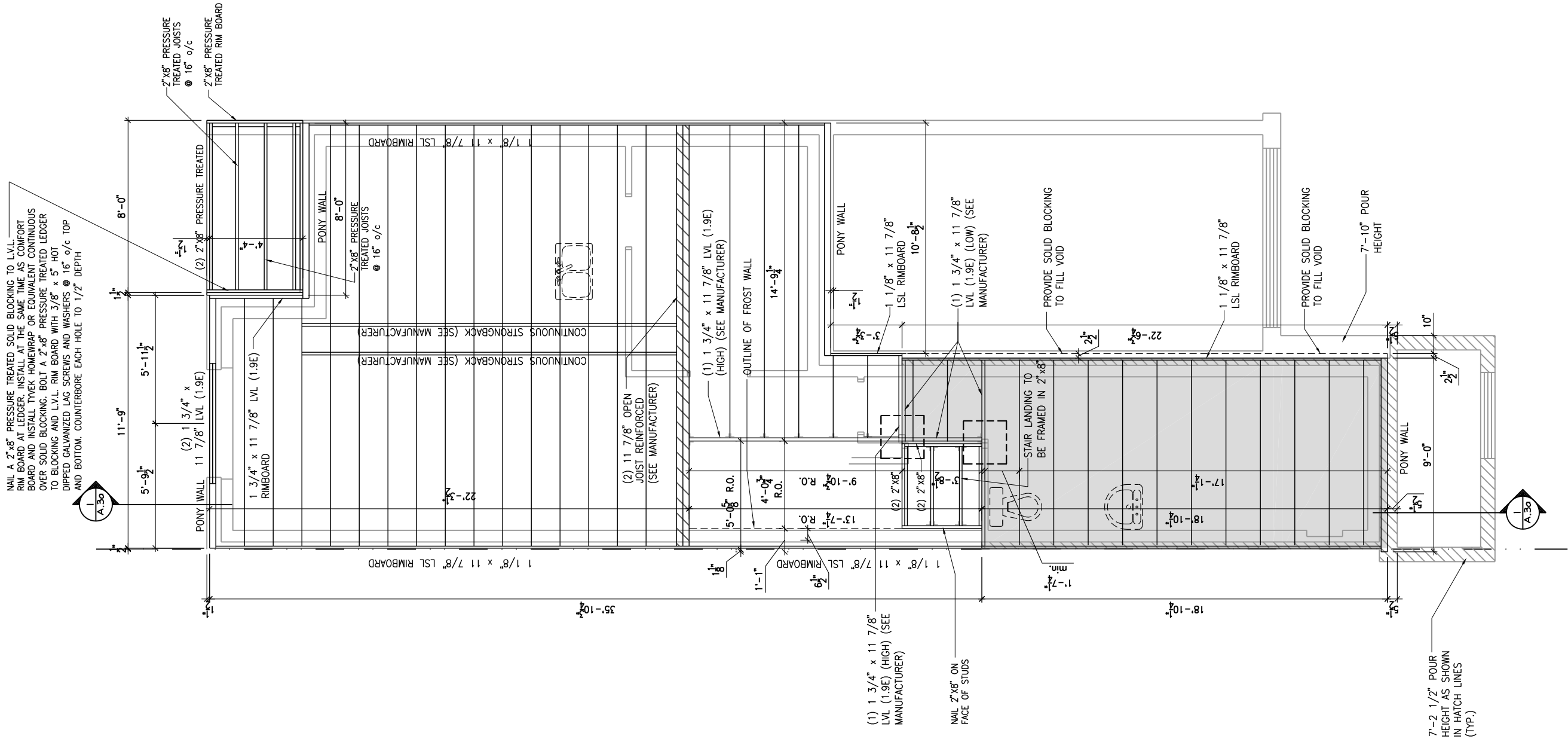
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.6h

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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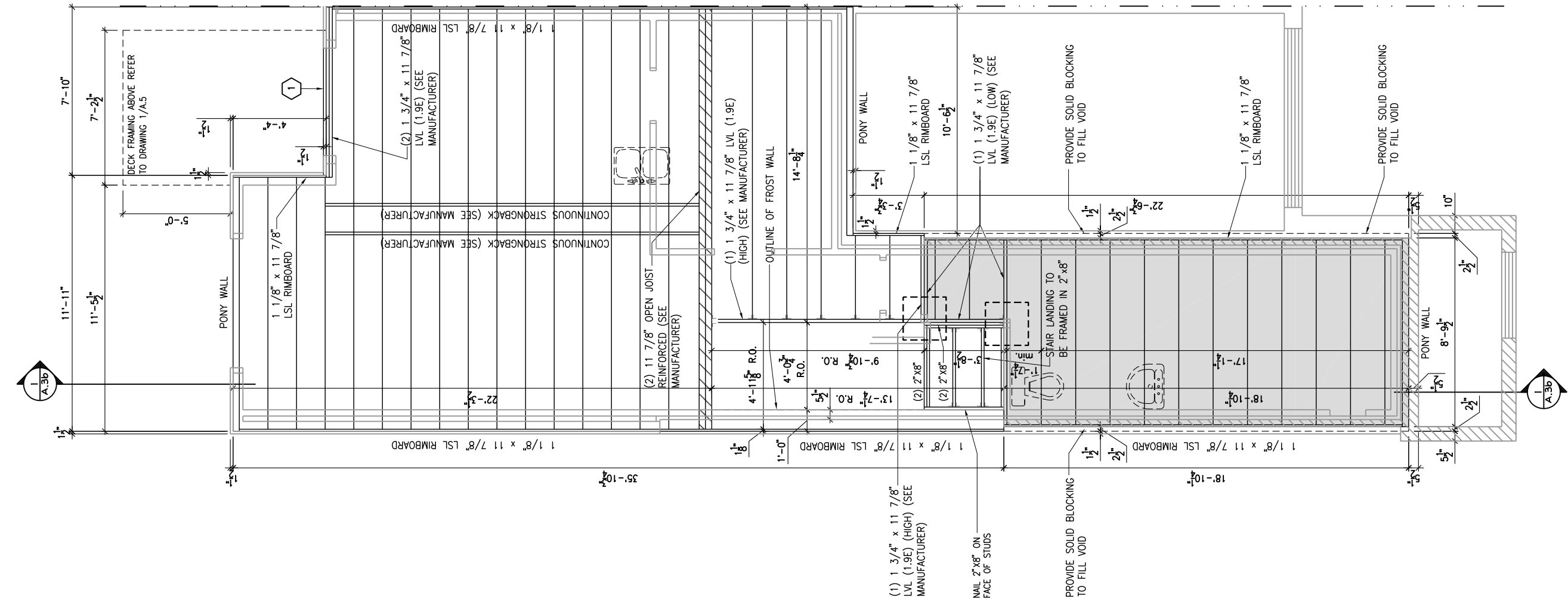
DRAWING: GROUND FLOOR - FLOOR
JOIST FRAMING - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6i



1
2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

1
A.6j
GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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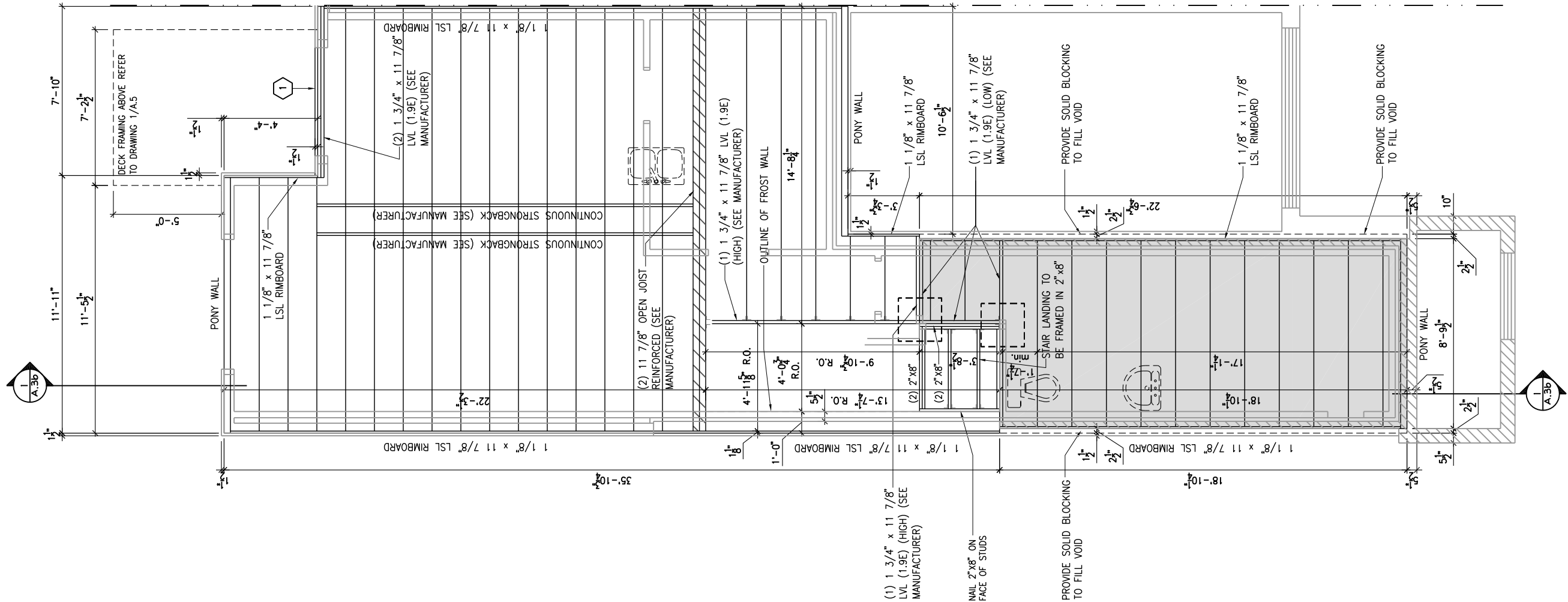
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.6j



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

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130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

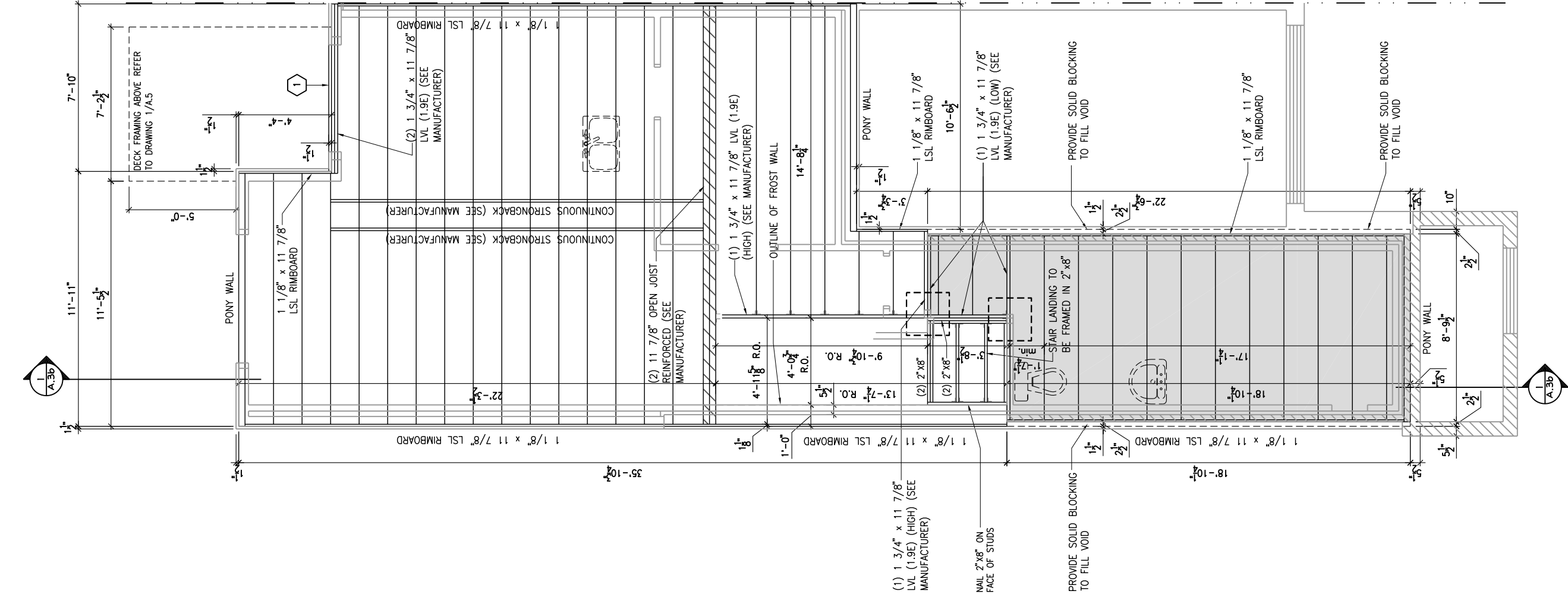
SHEET:

A.6k

1
A.6k

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

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DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.61

1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
DATE: XX/XX/XXXX



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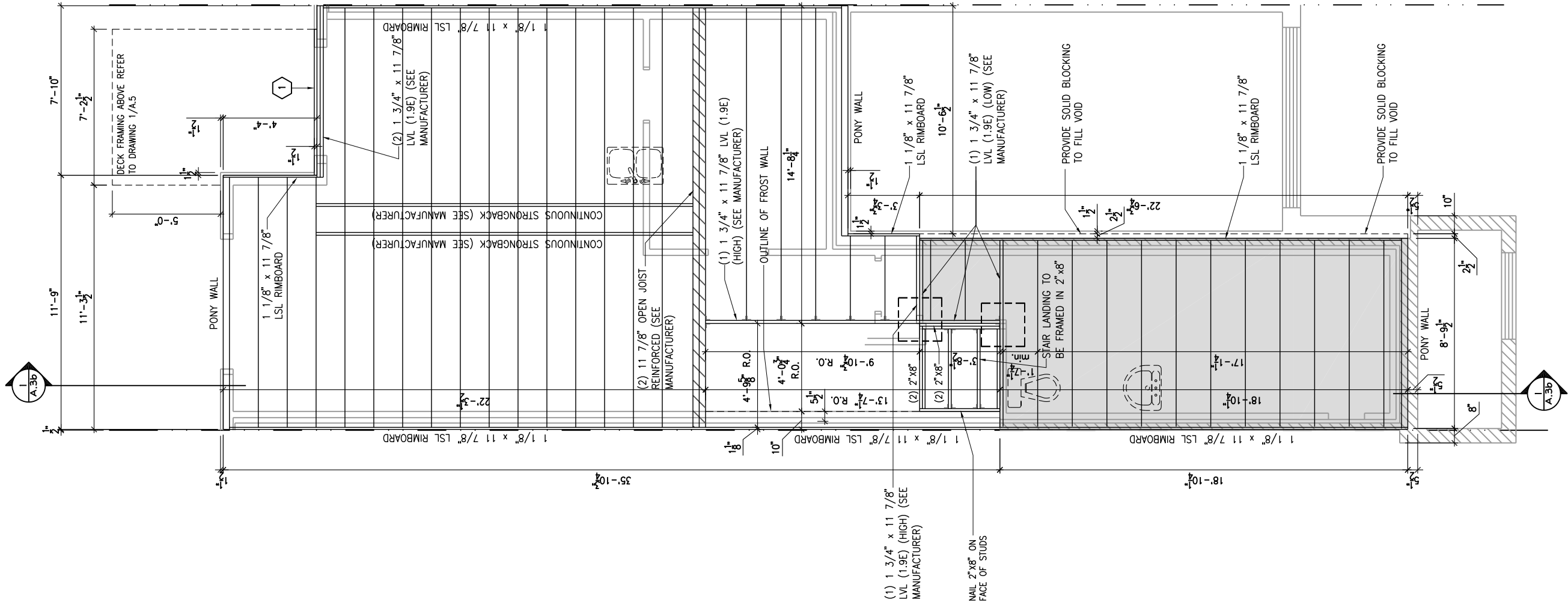
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1
A.6m

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

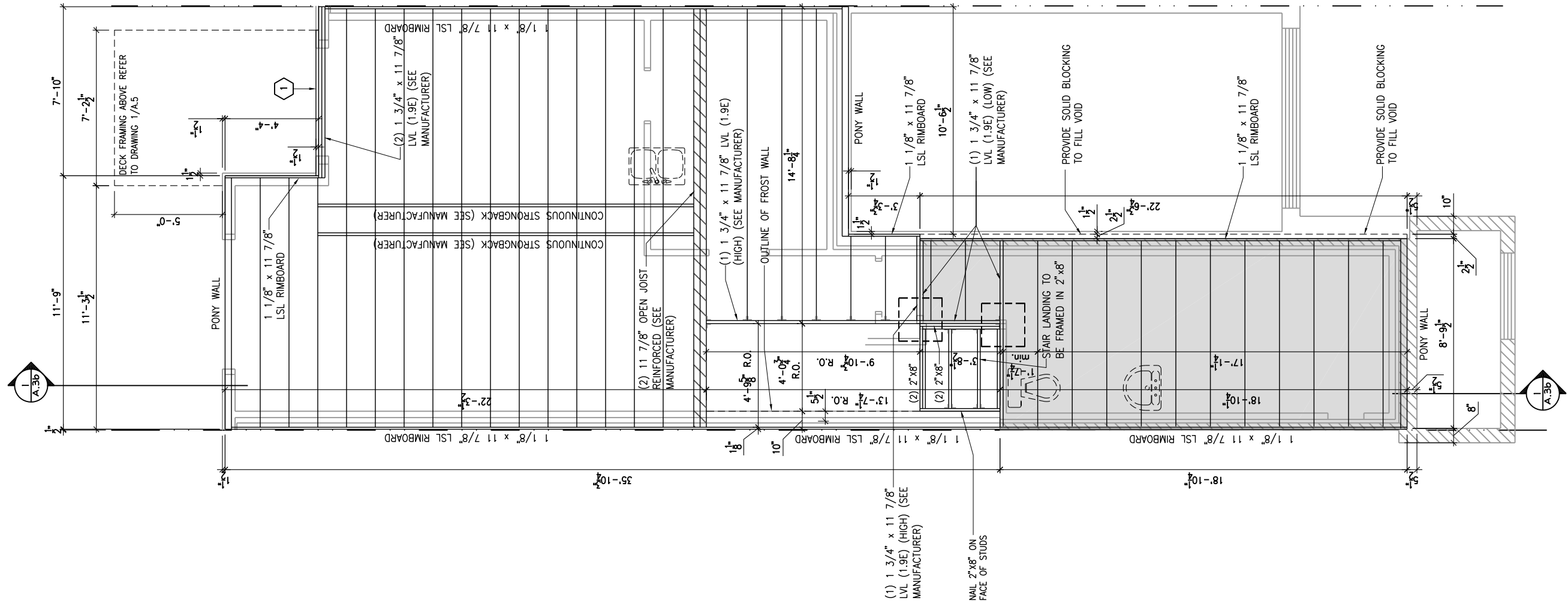
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DRAWING: GROUND FLOOR - JOIST FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET:
A.6m



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST
FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

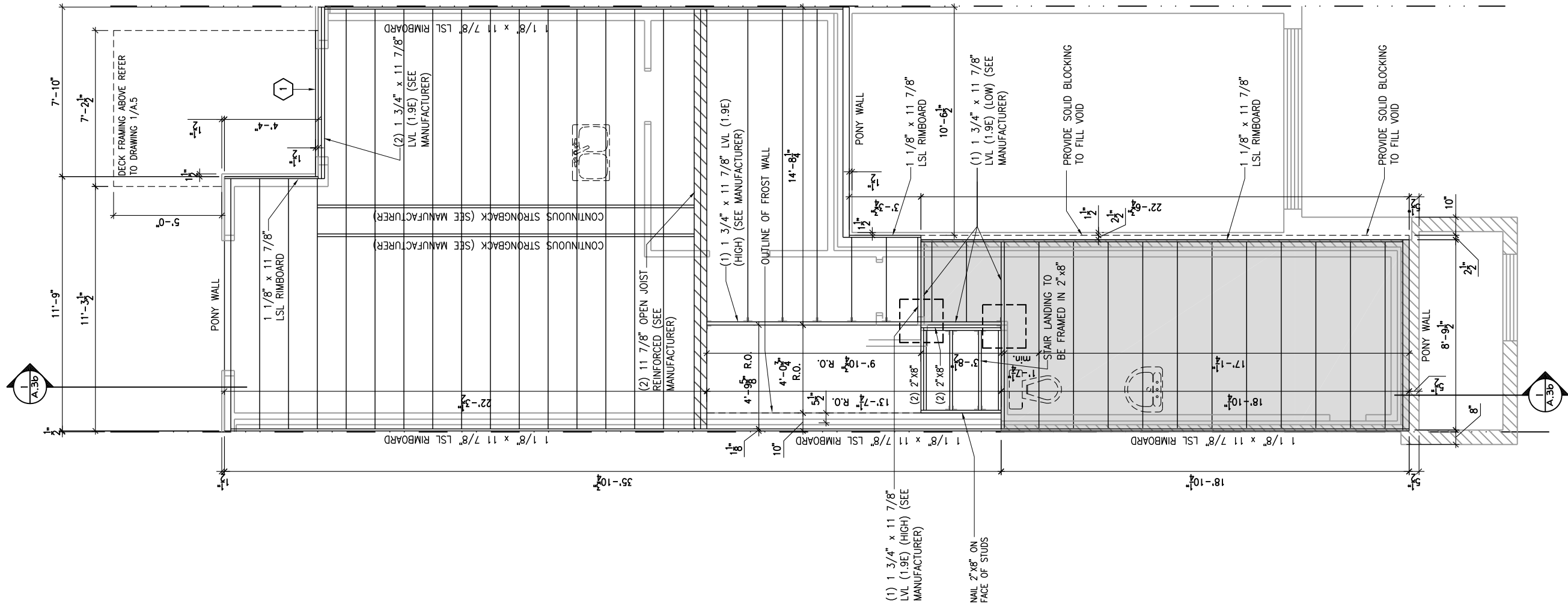
130 - THE LEWIS
2020 FOOTPRINT
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SHEET:

A.6n

1 GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - MID UNIT

SCALE: 3/16" = 1'-0"



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

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FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6o

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A.6o

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - MID UNIT

SCALE: 3/16" = 1'-0"

1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

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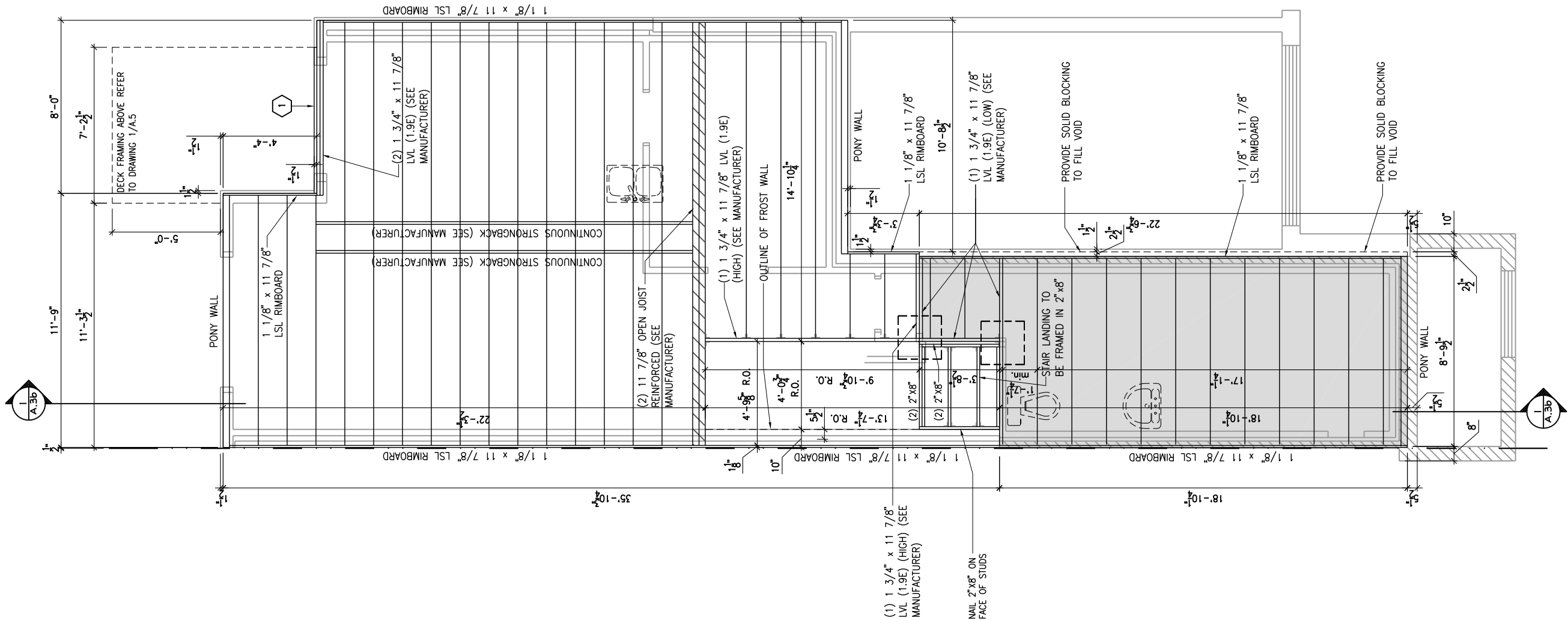
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A.6p

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

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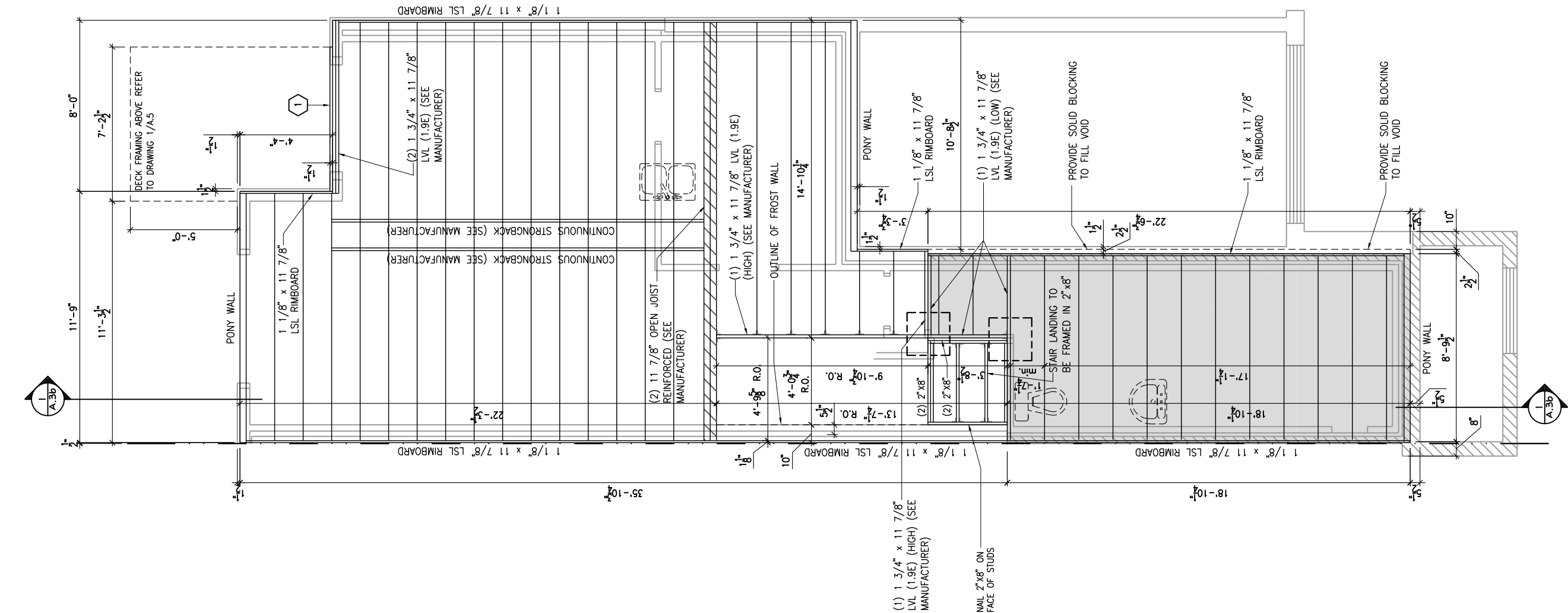
DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6p



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

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DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6q



Valecraft
Homes (2019) Limited

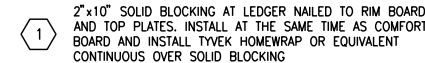
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GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

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NO.	DESCRIPTION	MM/DD/YYYY	By

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

SHEET:
A.6r

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

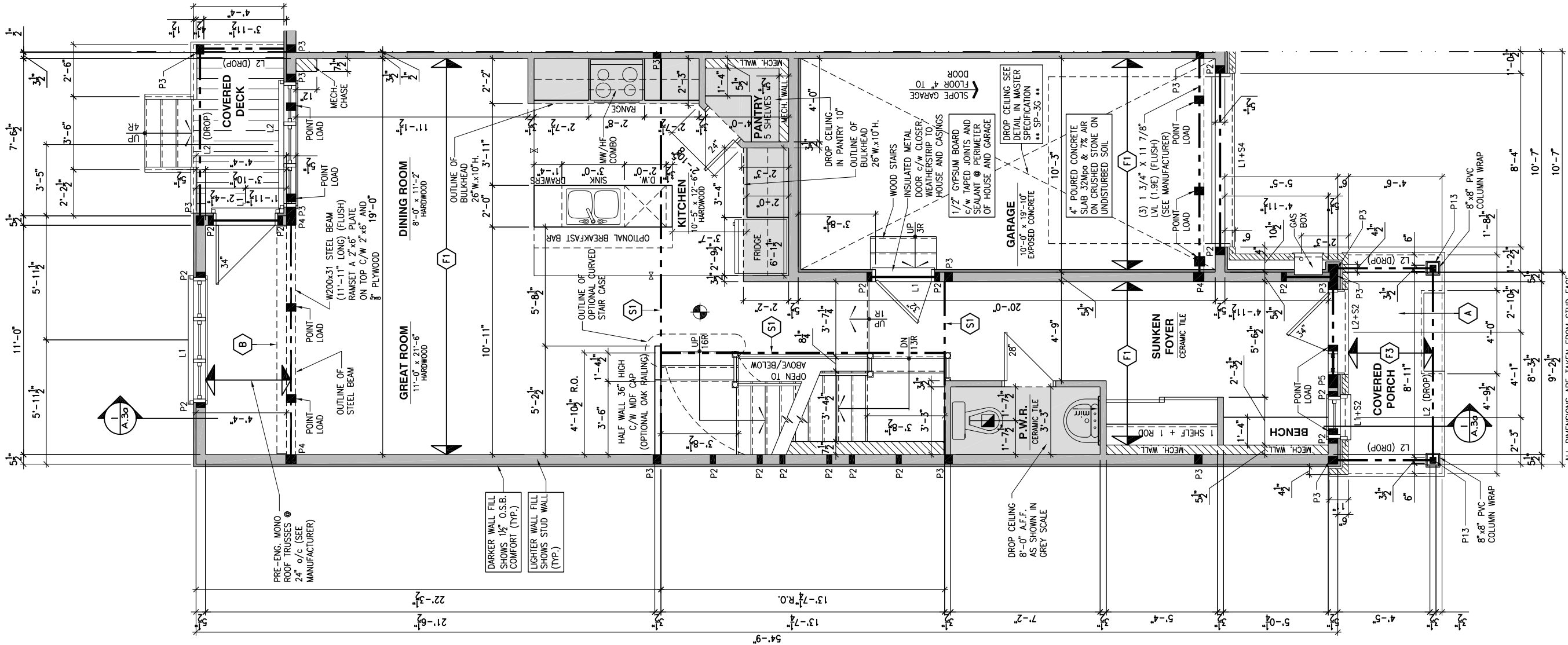
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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NOTES:

STEEL LINTEL:

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S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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TREATED LUMBER

POST TABLE:

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POST BY USP
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P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
- (*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

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- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY, 4 MINUTES OF ALARM; AND
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ADJACENT TO EACH SLEEPING AREA.

- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.7a

GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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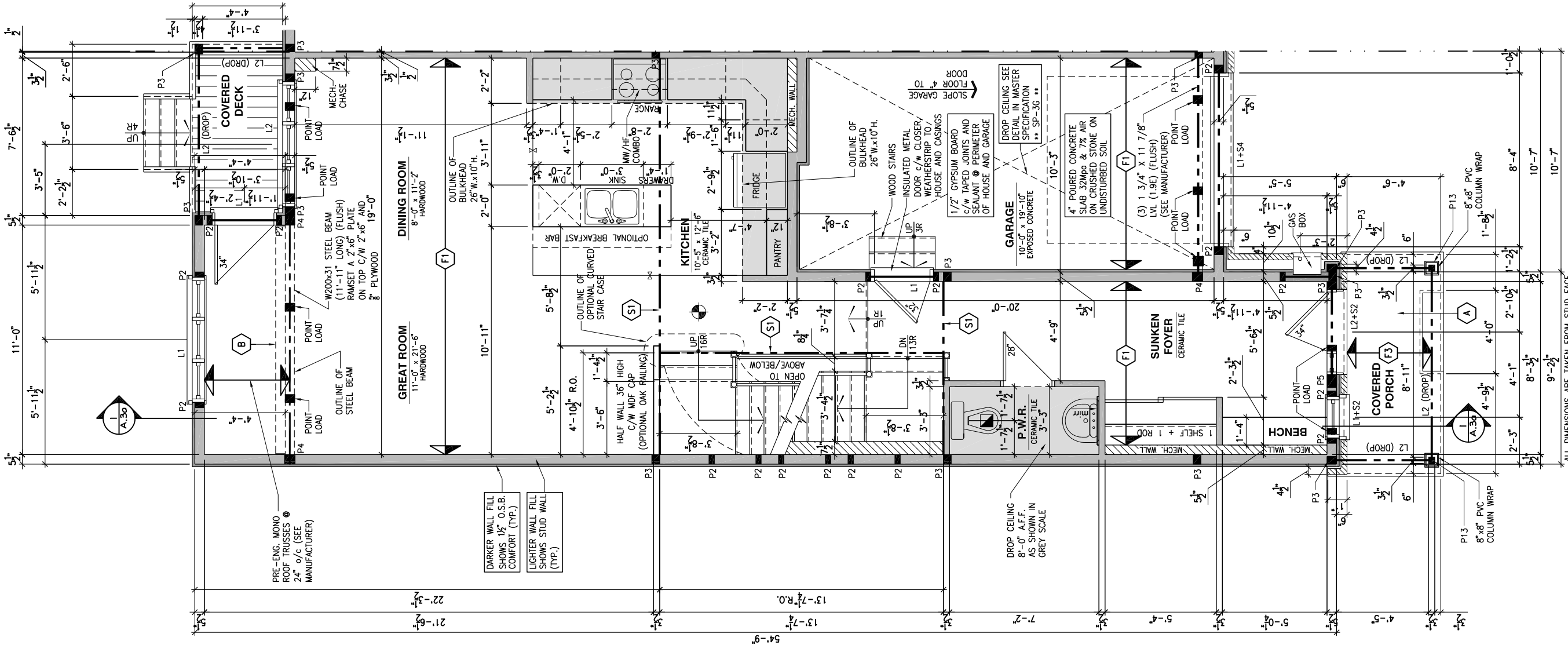
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TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
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WELD AT 6" SPACING AT BOTTOM OF FLANGE.
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LOT: XXXX

DATE: XX/XX/XXXX



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Homes (2019) Limited

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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #1 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.7b

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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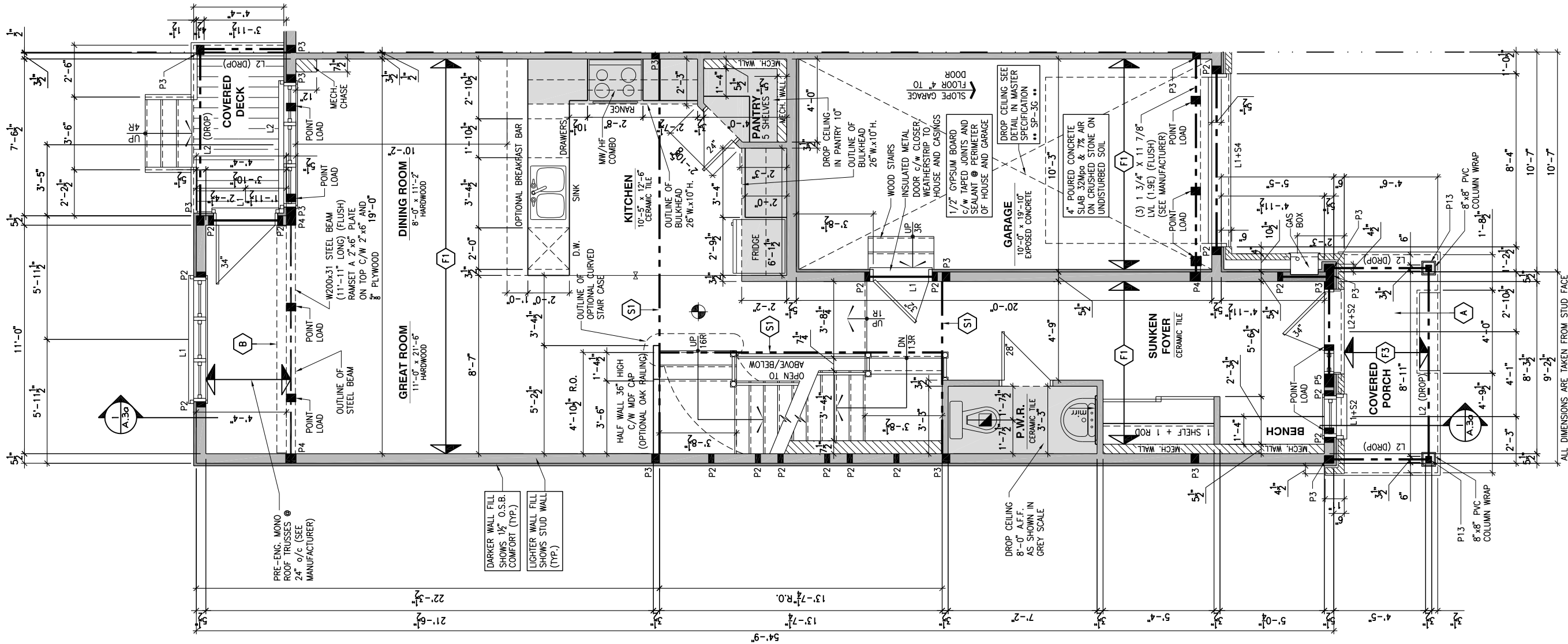
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LOT: XXXX
DATE: XX/XX/XXXX

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NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: **GROUND FLOOR PLAN**
OPT. KITCHEN #2 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7c

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
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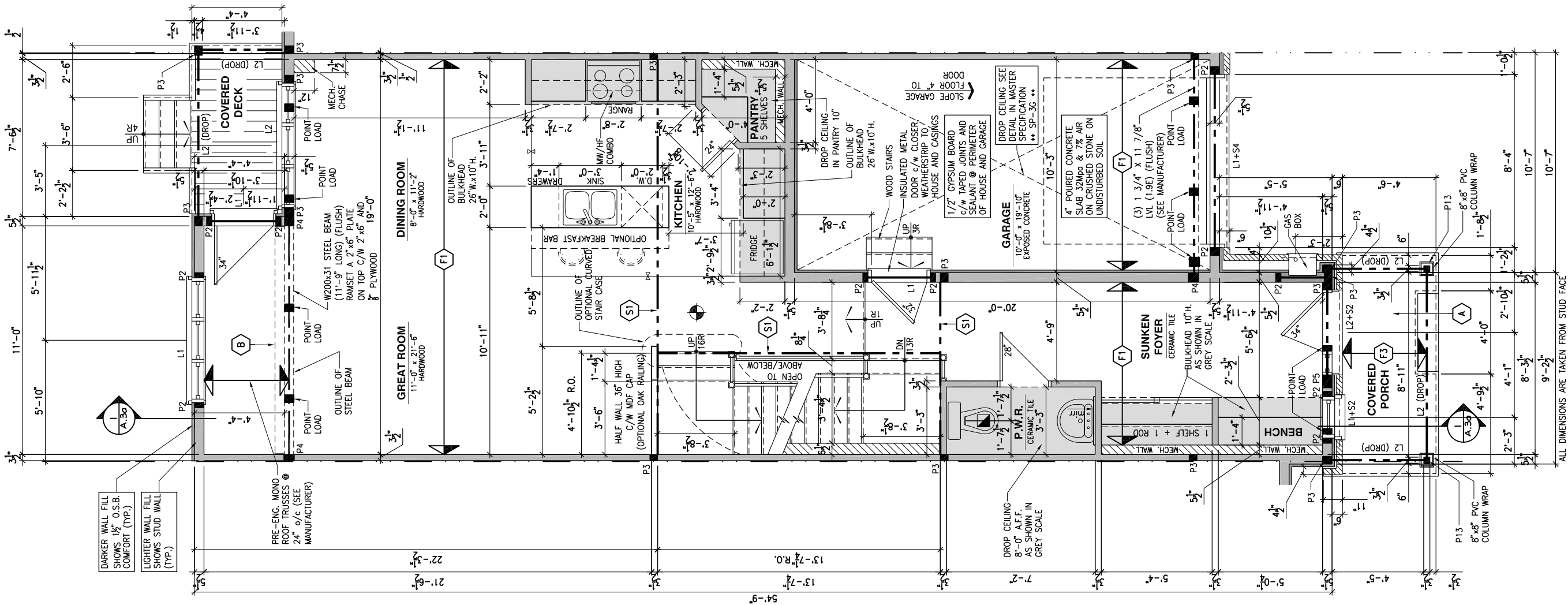
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LOT: XXXX
DATE: XX/XX/XXXX

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S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

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- L1 = 2-2x10 + P2 ON BOTH SIDES
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7d

GROUND FLOOR PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
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- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
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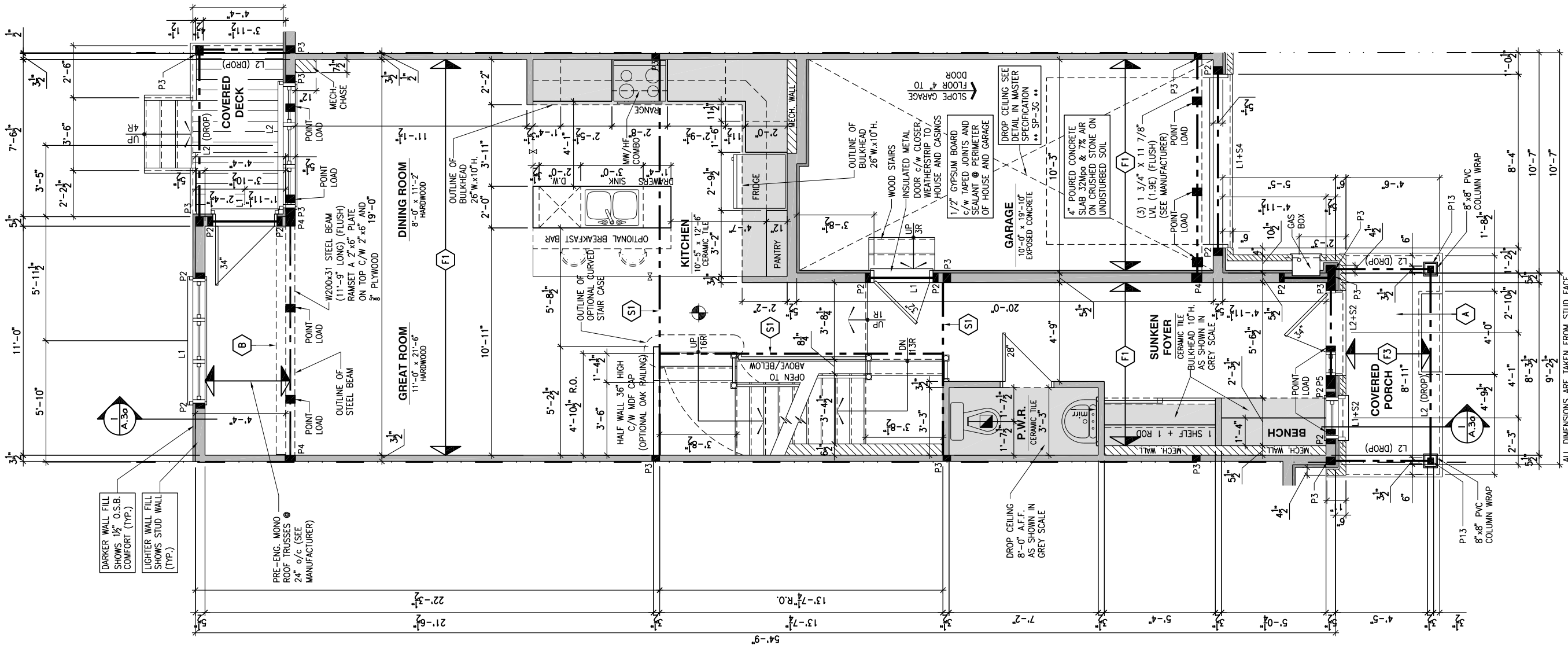
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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DRAWING: **GROUND FLOOR PLAN**
OPTIONAL KITCHEN #1 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.7e

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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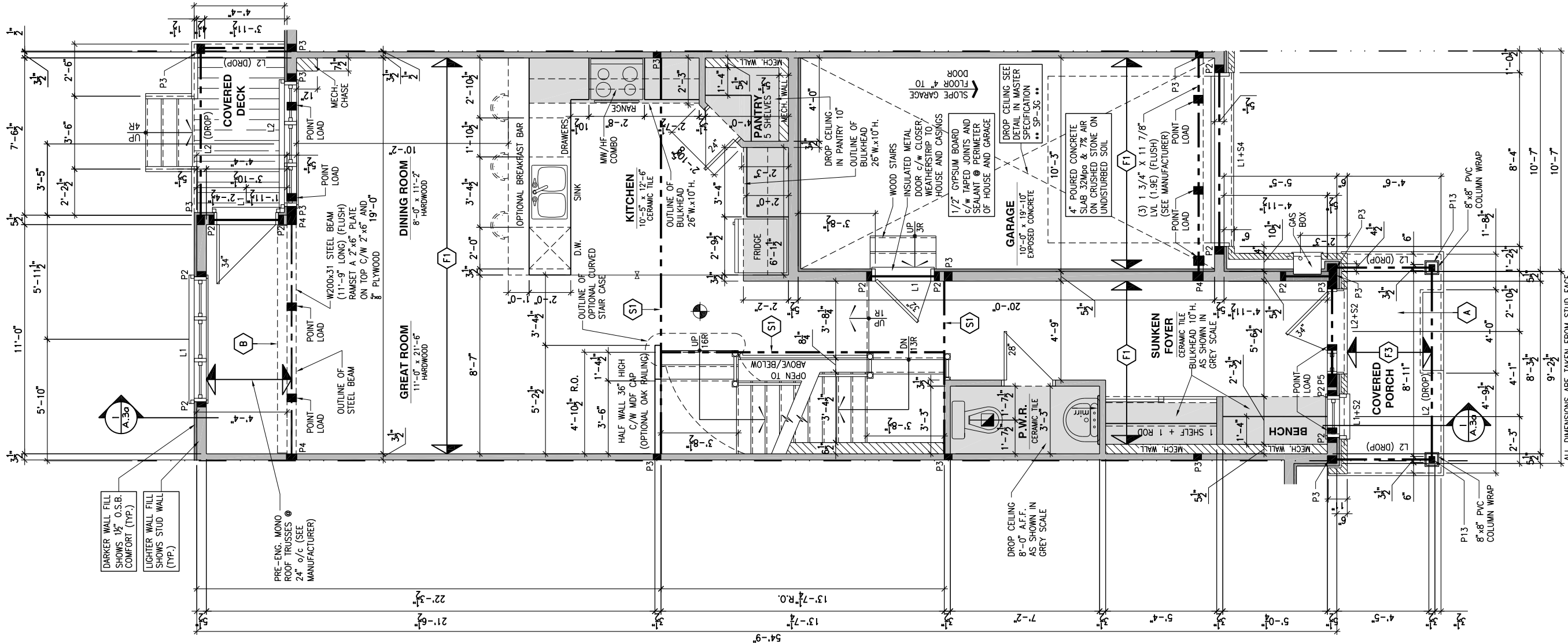
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
OPTIONAL KITCHEN #2 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.7f

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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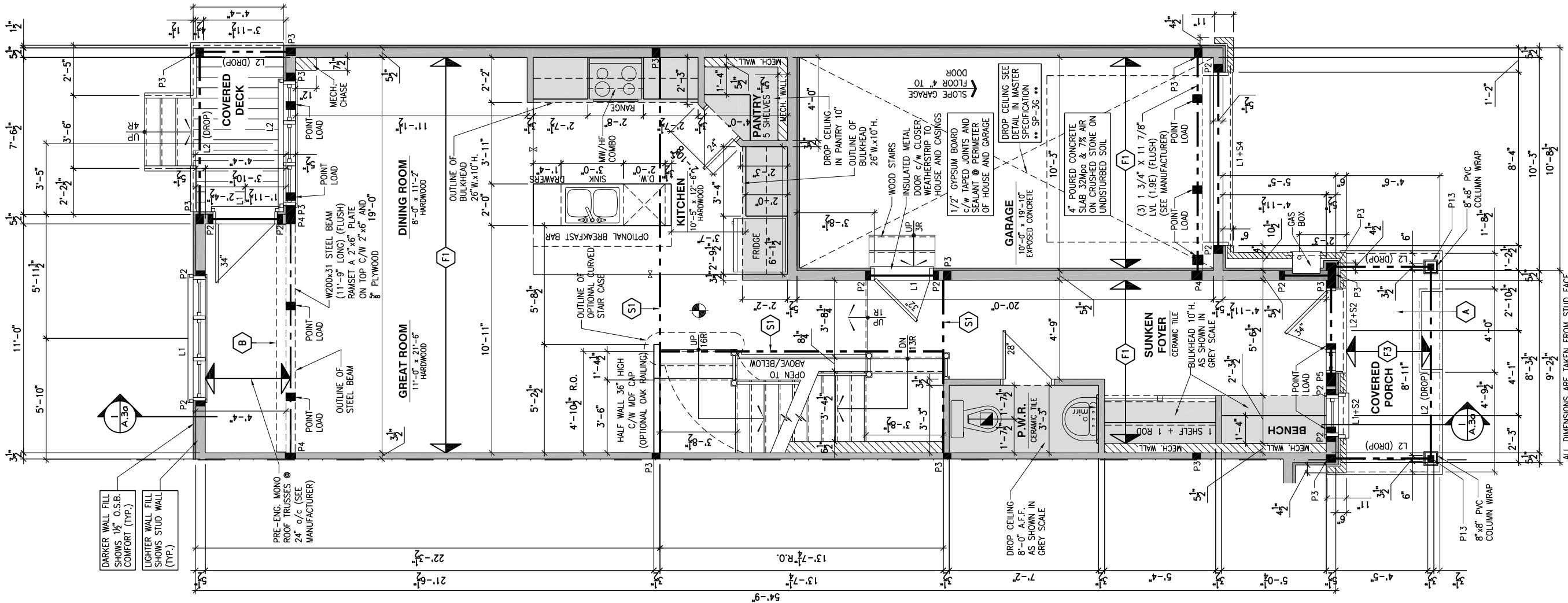
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DRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7g

GROUND FLOOR PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

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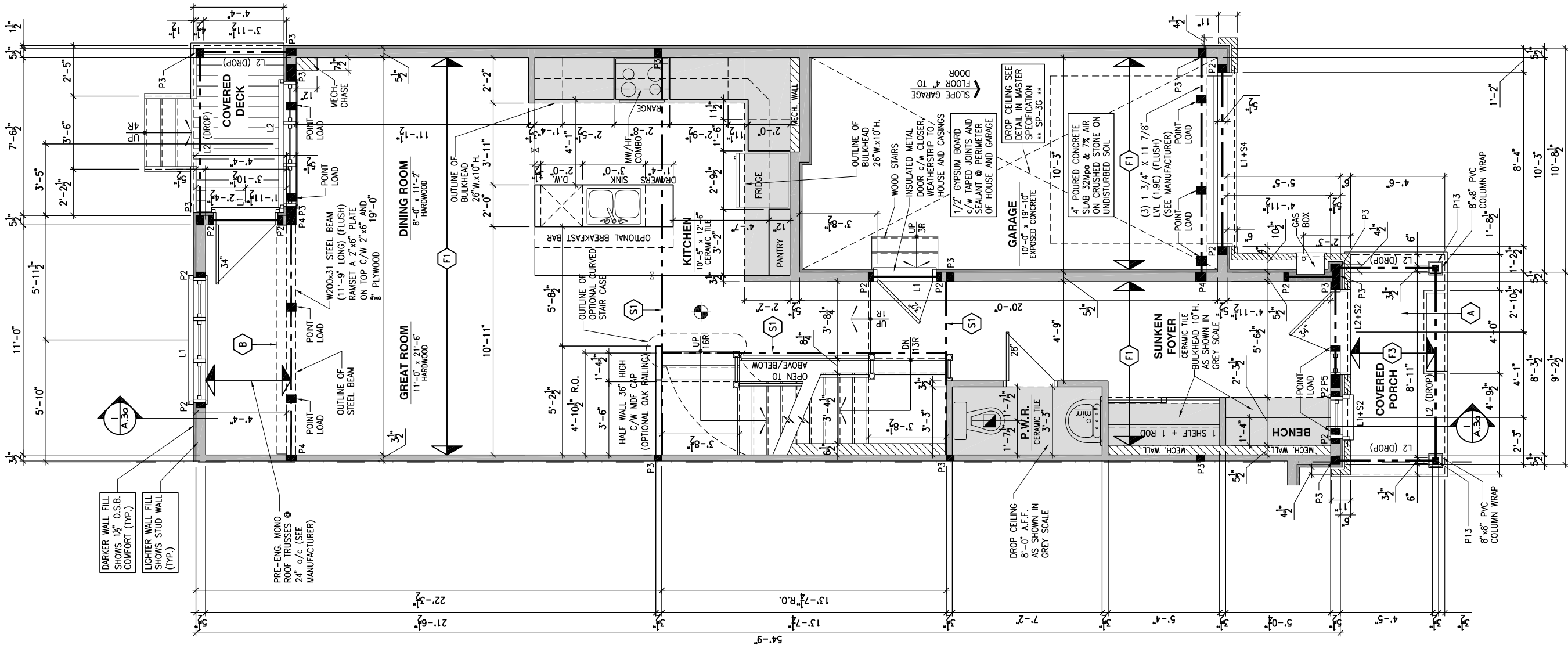
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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK C/W STUD
(EX. P2 = 1 JACK + 1 STUD)
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
OPT. KITCHEN #1 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.7h

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

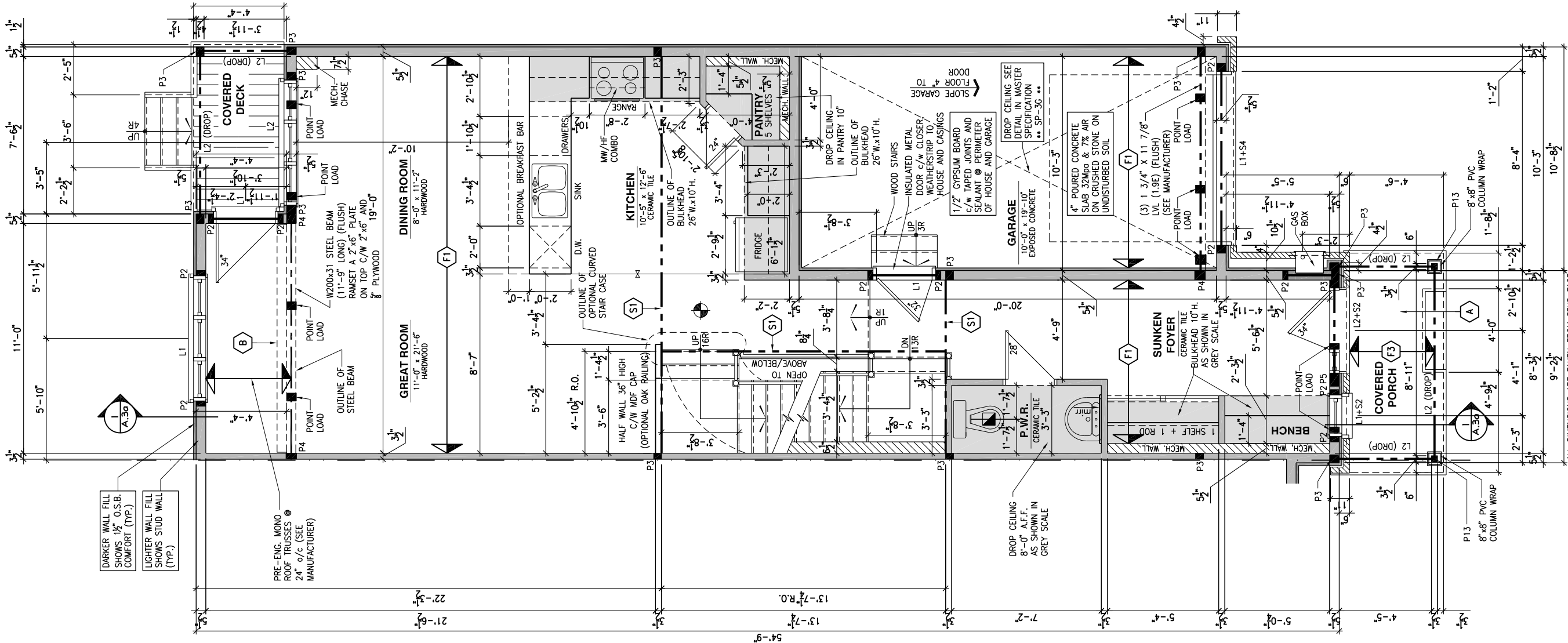
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
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VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
OPT. KITCHEN #2 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.7i

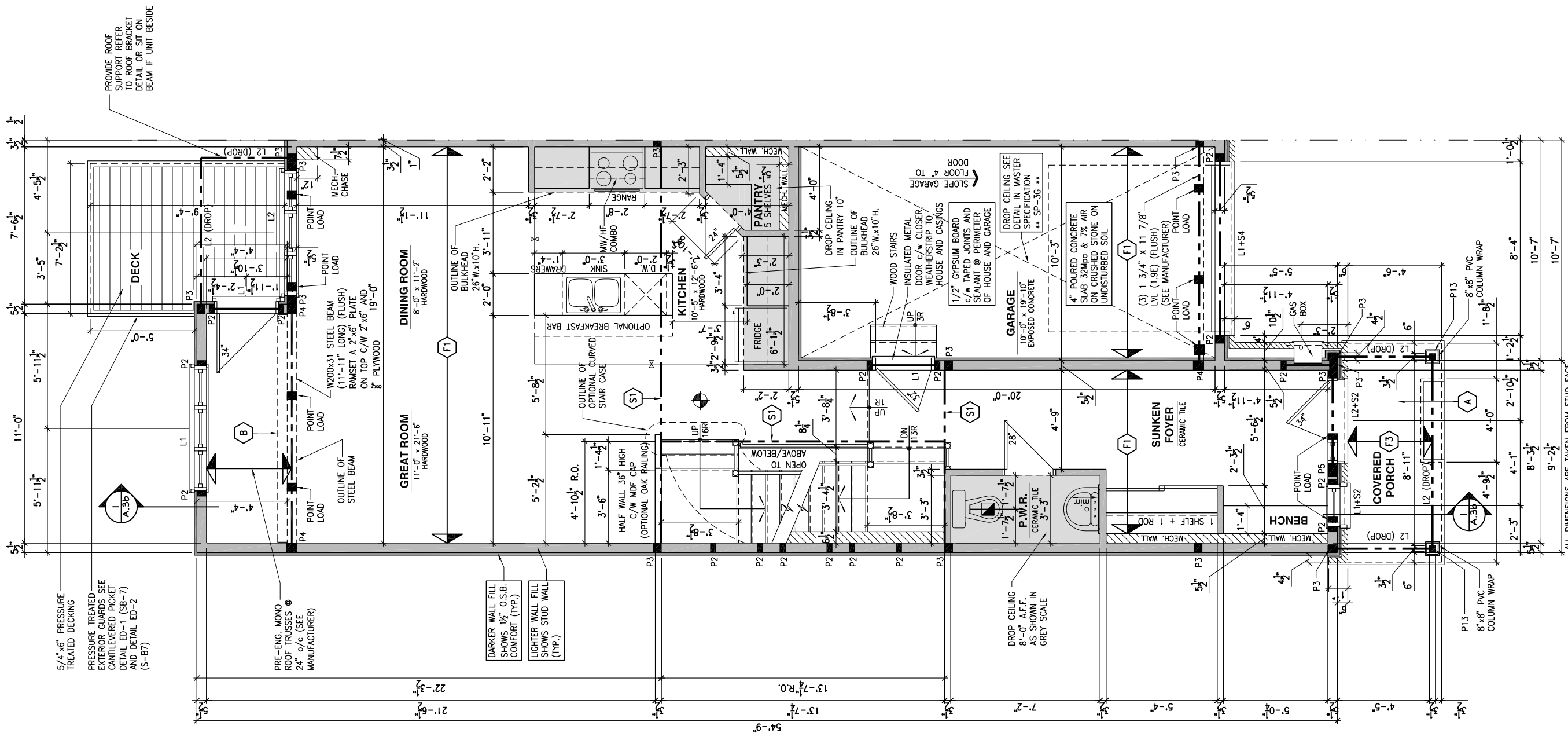
GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)

- F1** 11 $\frac{3}{4}$ " PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2** 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3** 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1** REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

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NO.	DESCRIPTION	MM/DD/YYYY	BY

A.7j

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

SCALE: $3/16" = 1'-0"$

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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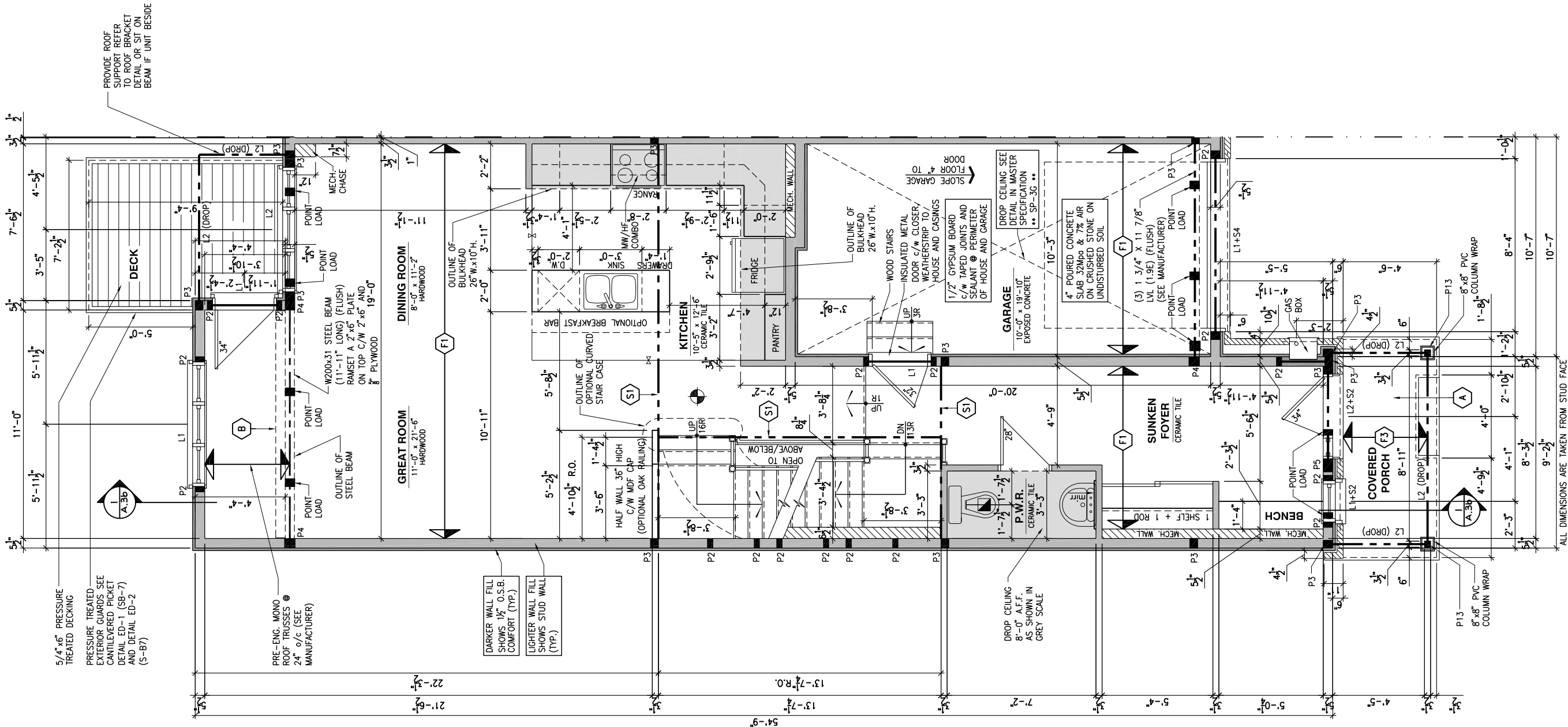
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LOT: XXXX

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - WALKOUT
OPT. KITCHEN #1 - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**130 - THE LEWIS
2020 FOOTPRINT**

(STANDARD DRAWINGS)

SHEET:

A.7k

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- (F1) 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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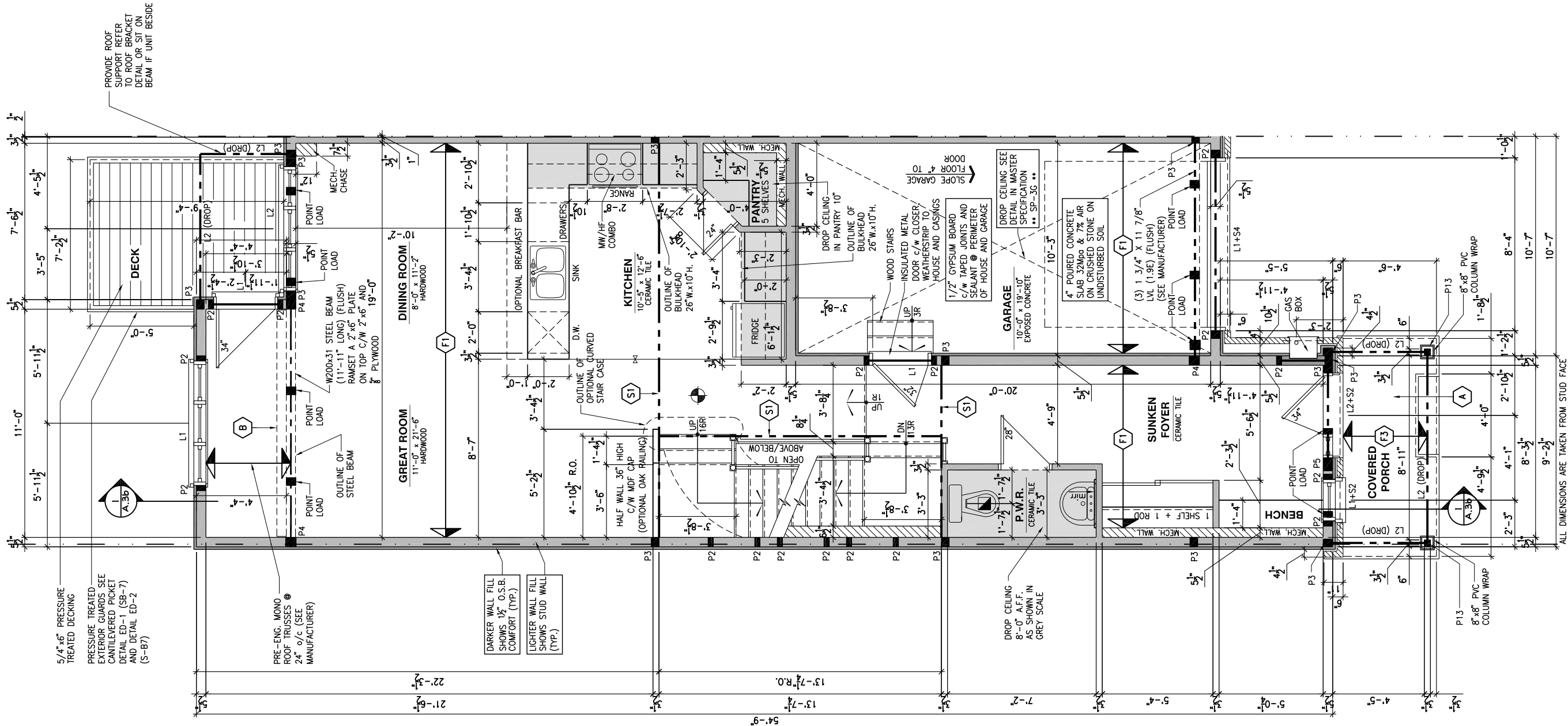
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #2 -PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.71

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

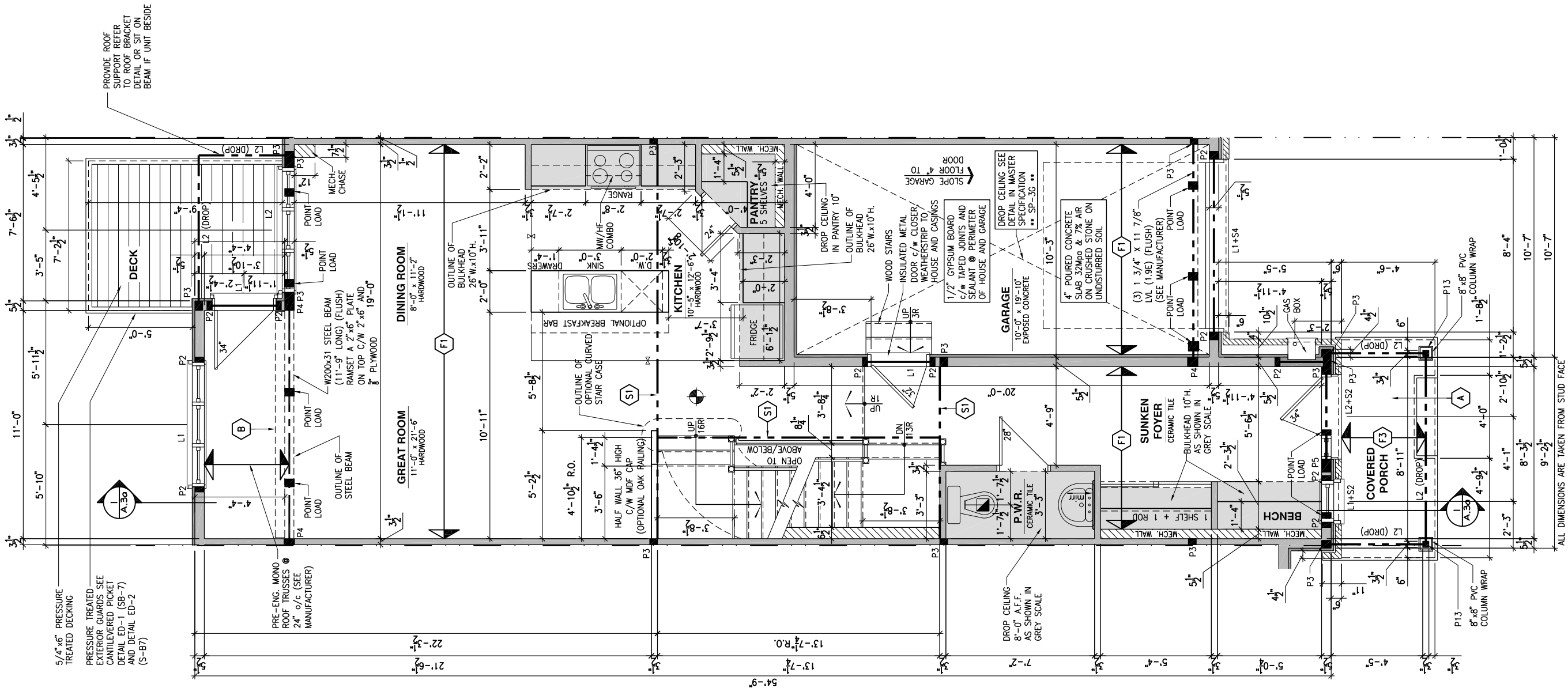
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited

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AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

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POST BY USP
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P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - WALKOUT
STANDARD KITCHEN - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.7m

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- (F1) 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- (F2) 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- (F3) 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
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- (S1) REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
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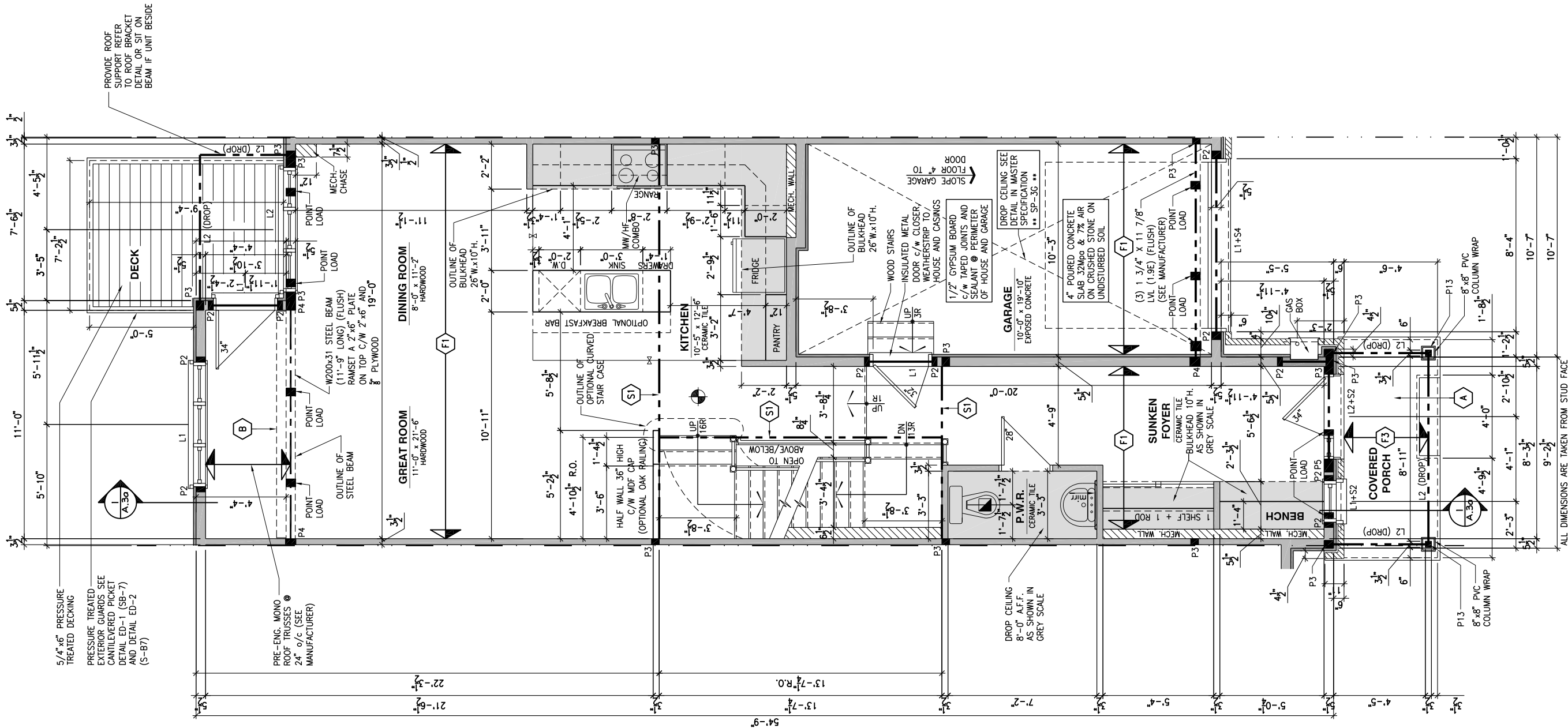
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PORCH CONSTRUCTION:

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LOT: XXXX
DATE: XX/XX/XXXX

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPTIONAL KITCHEN #1 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7n

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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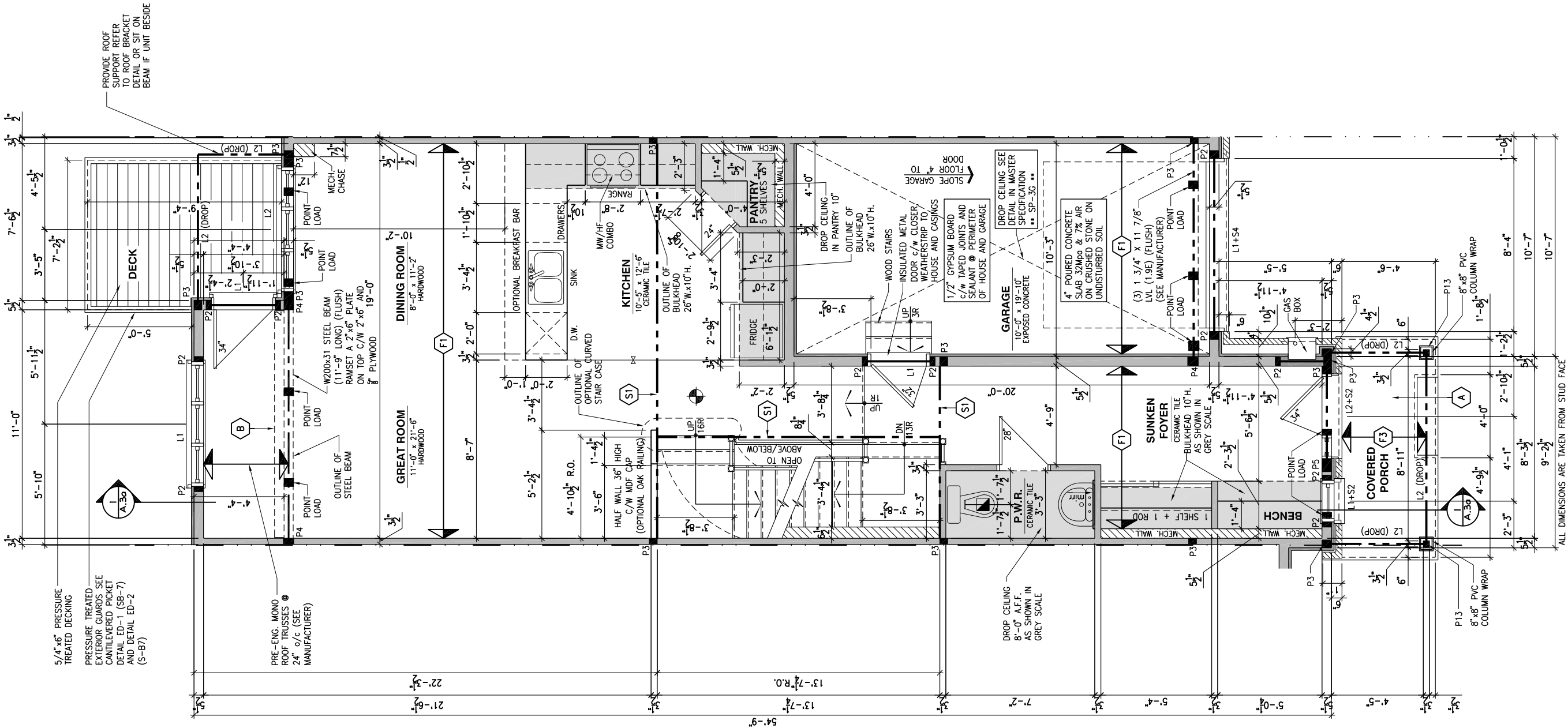
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PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX

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- TARIION REGISTRATION NUMBER #611

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NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: GROUND FLOOR - WALKOUT
OPTIONAL KITCHEN #2 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.70

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
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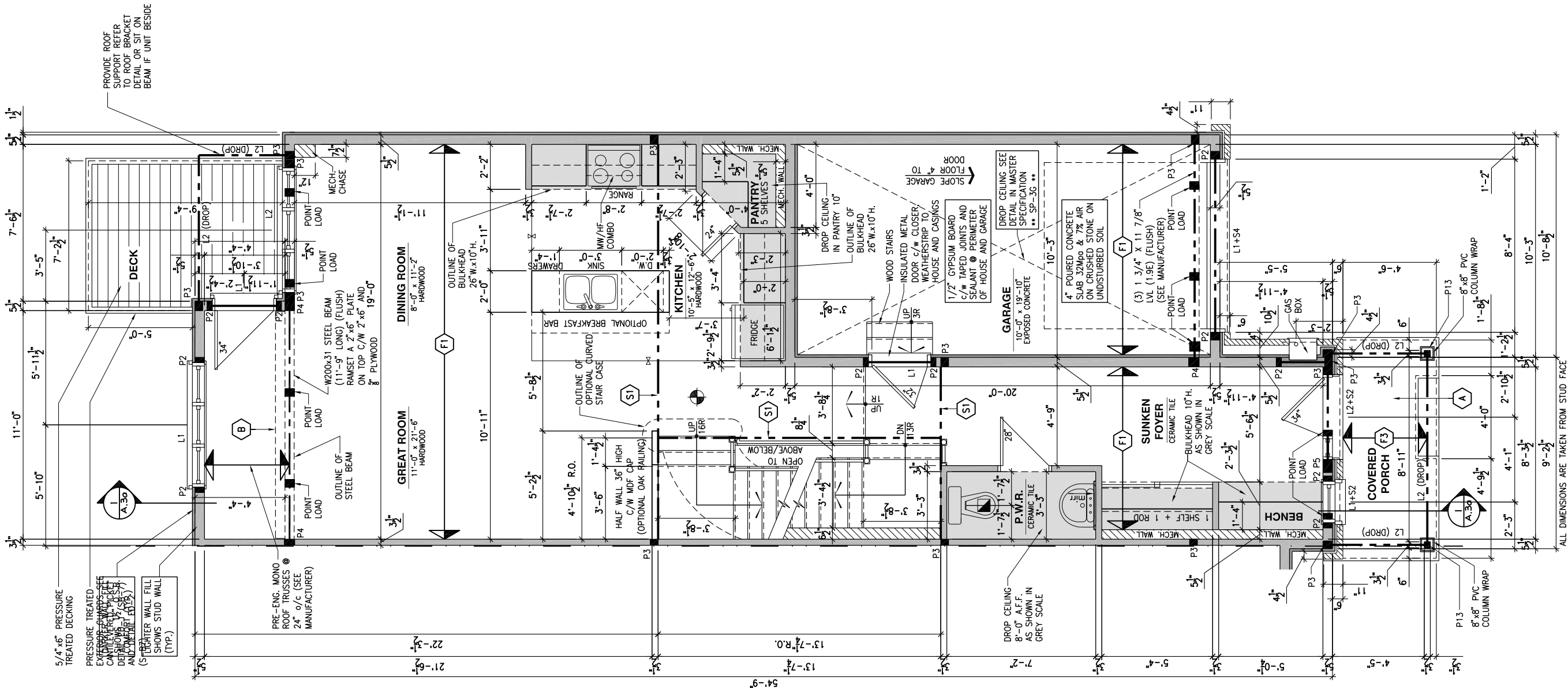
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LOT: XXXX

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DRAWN: **GROUND FLOOR - WALKOUT**
STANDARD KITCHEN-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7p

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

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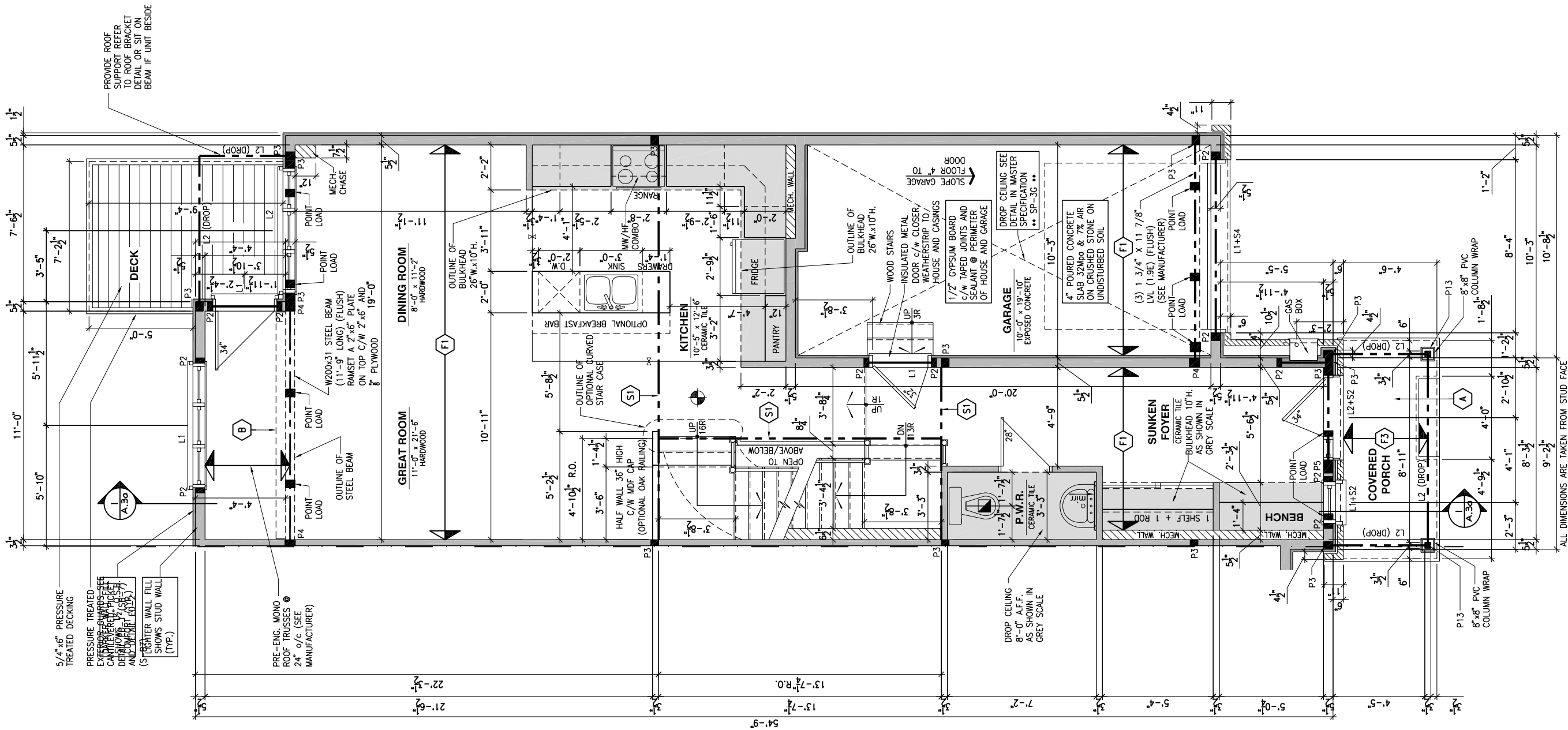
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP

- P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (+)

(+) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK C/W STUD
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - WALKOUT**
OPT. KITCHEN #1 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.7q

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
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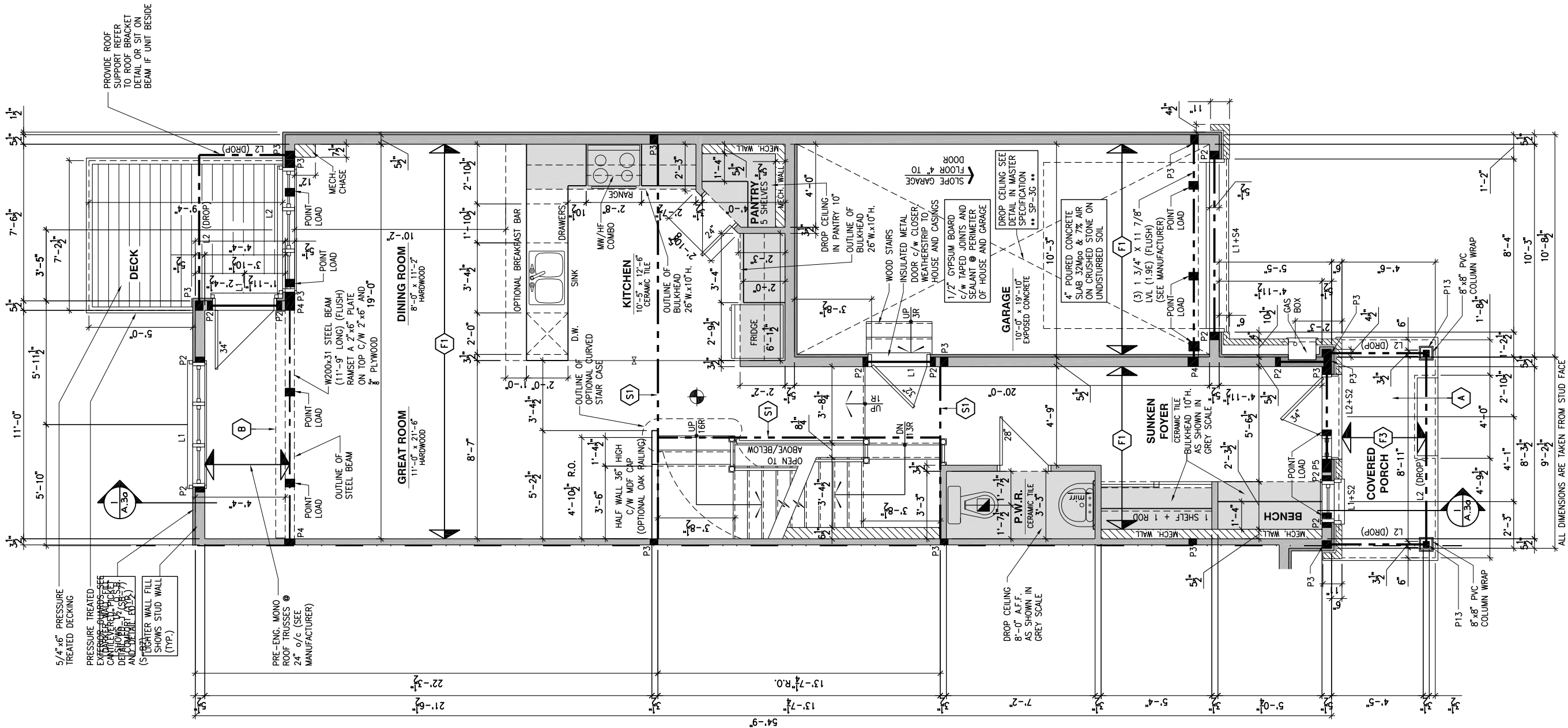
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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #2 - GARAGE END

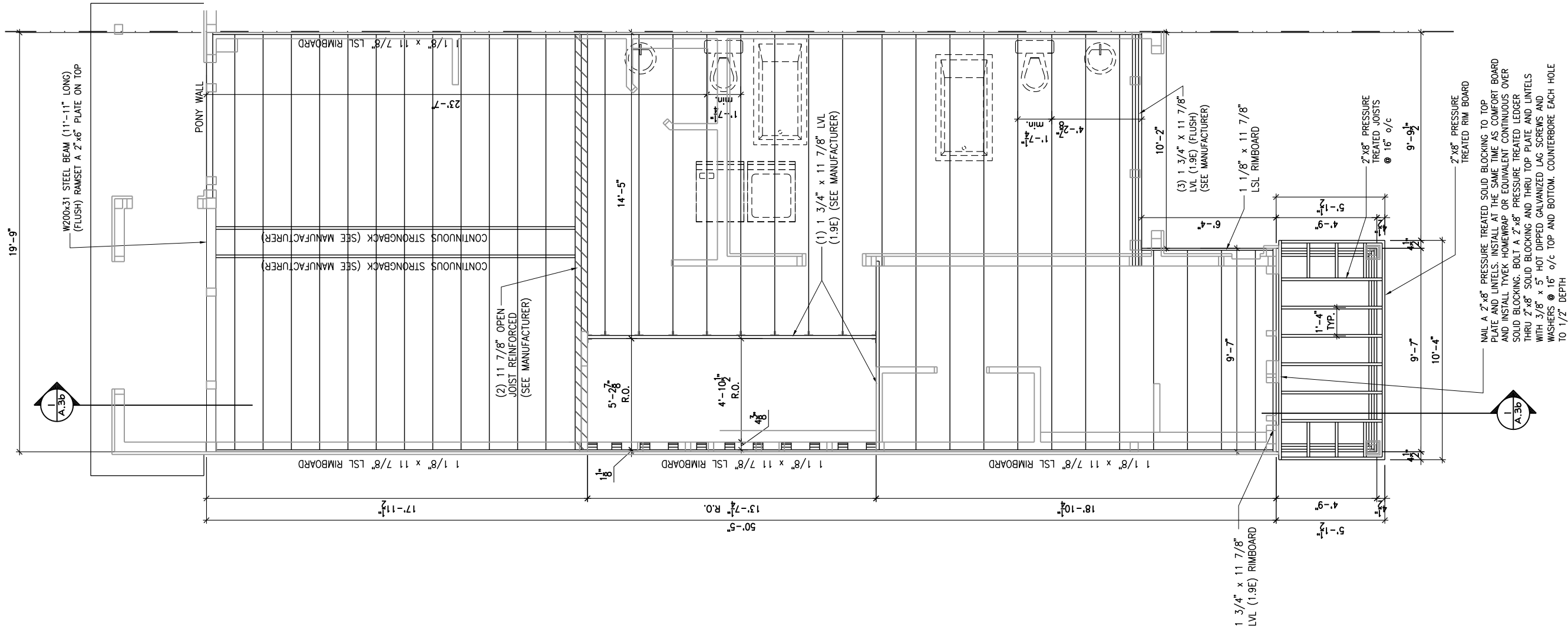
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7r



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - PORCH END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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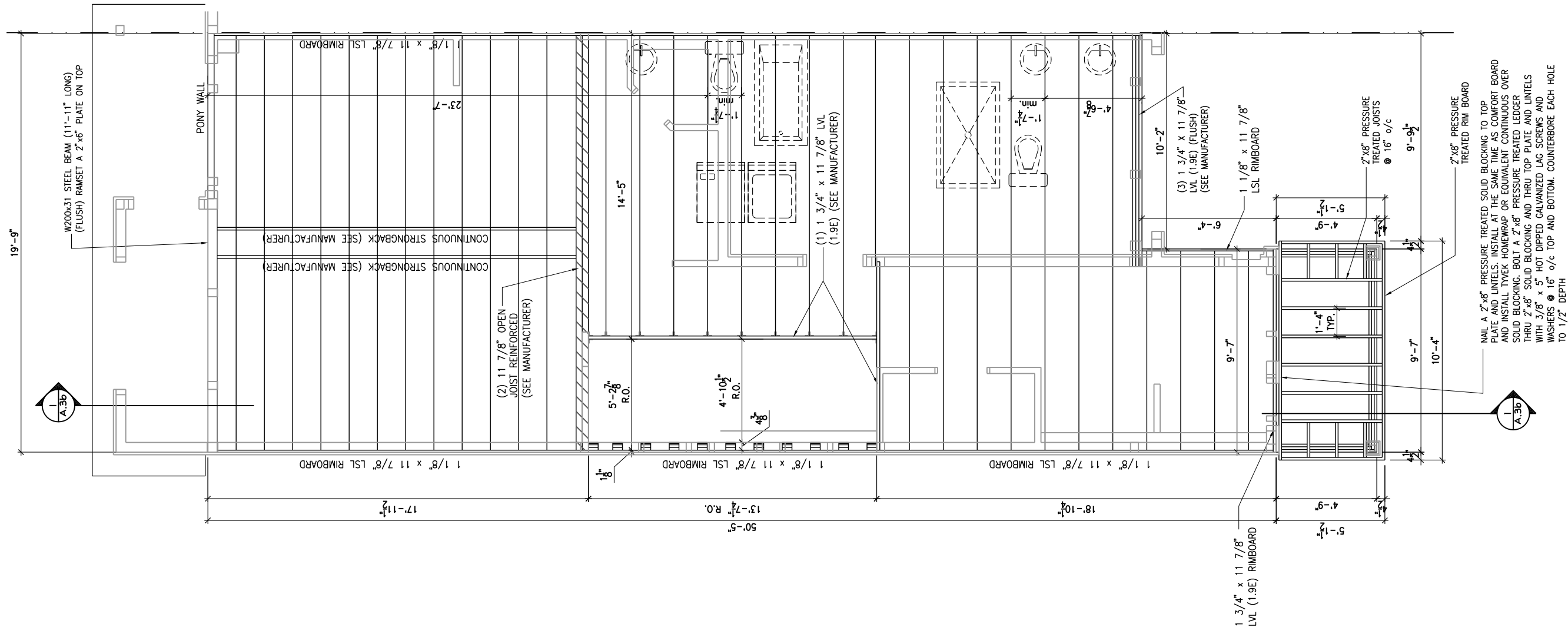
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DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8a



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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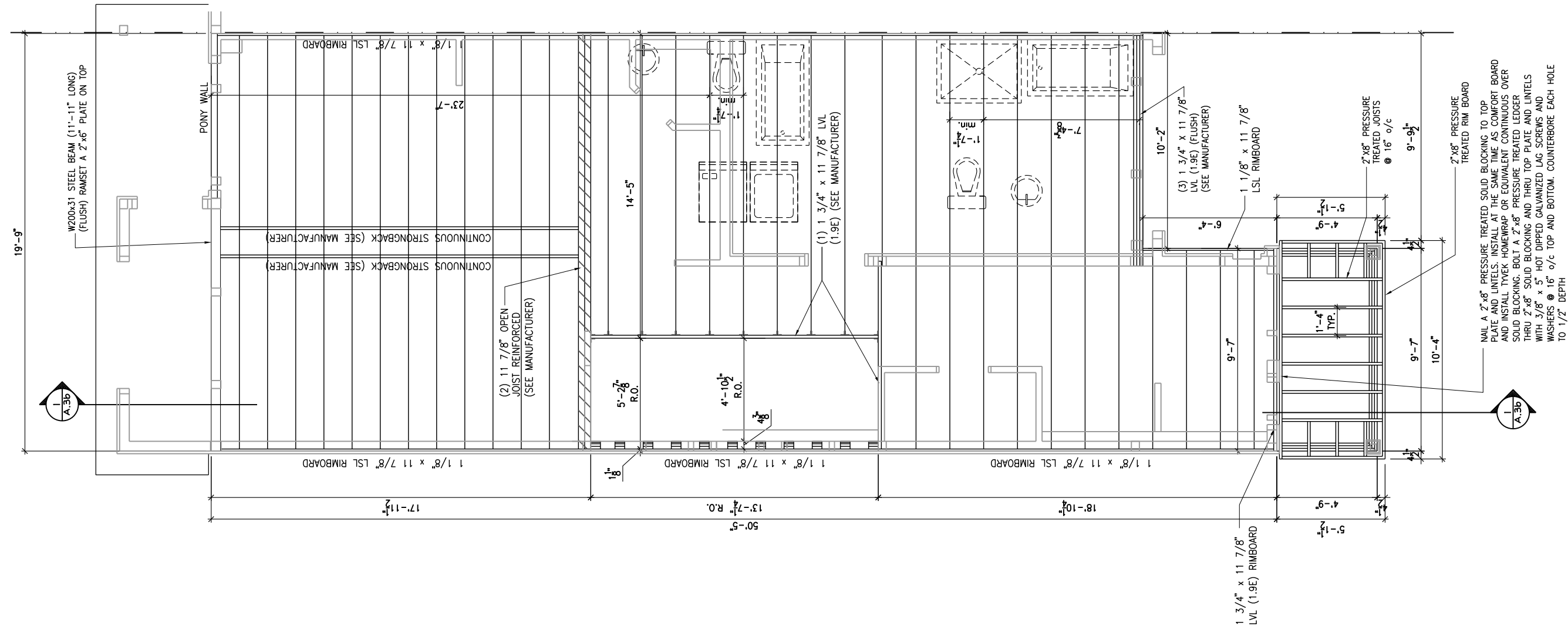
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8b



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

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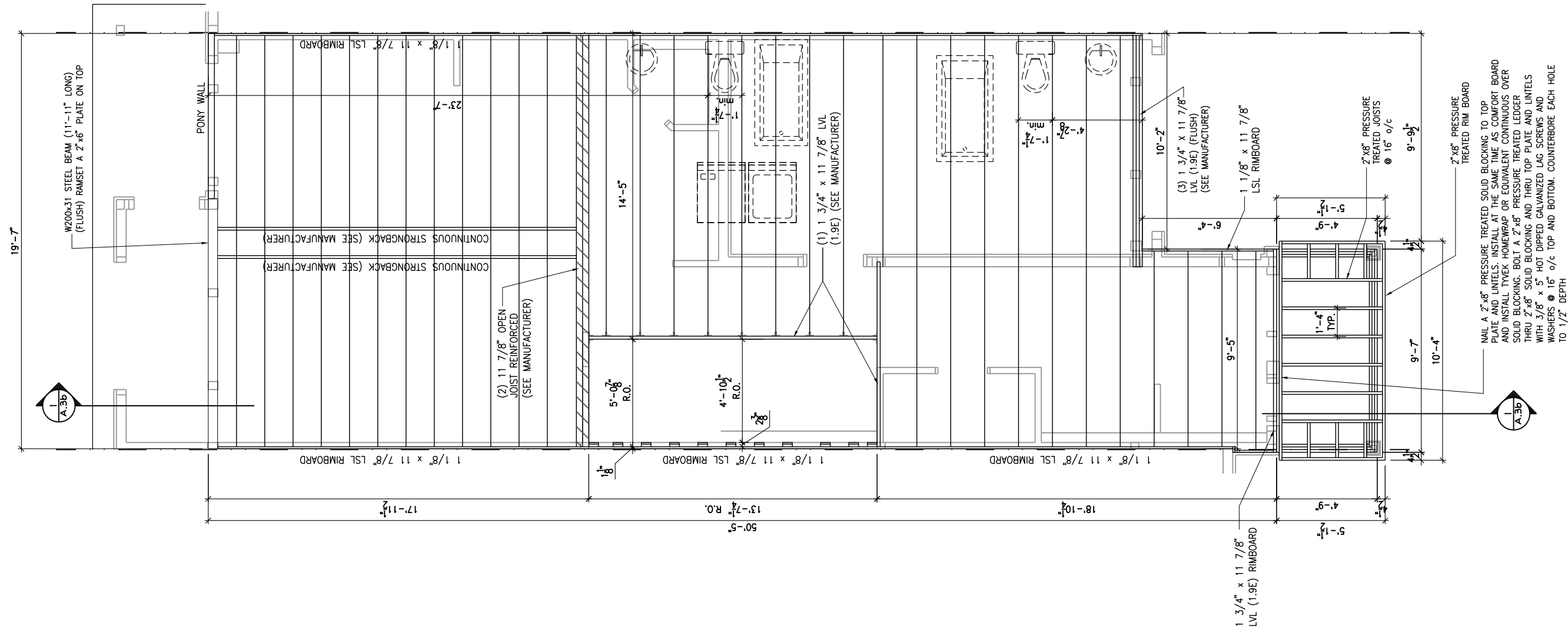
DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.8c



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - MID UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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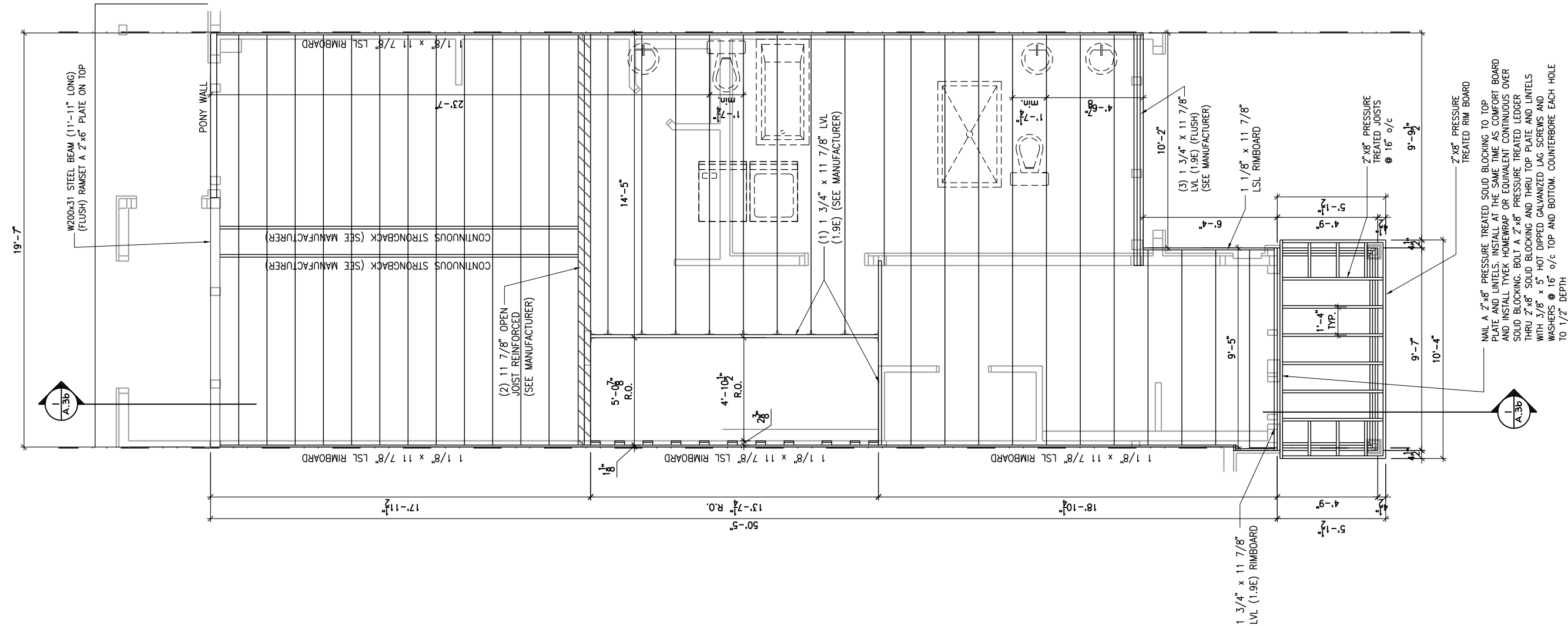
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130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.8d



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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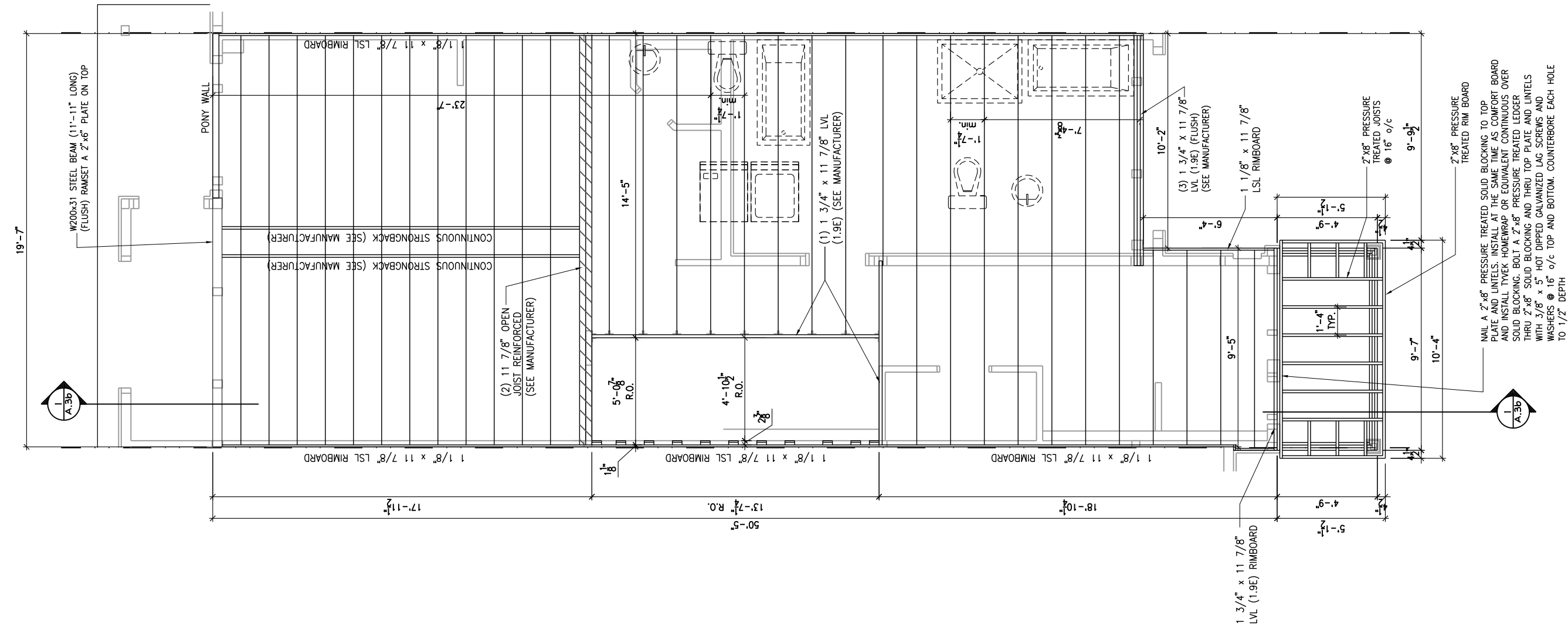
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130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.8e



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT
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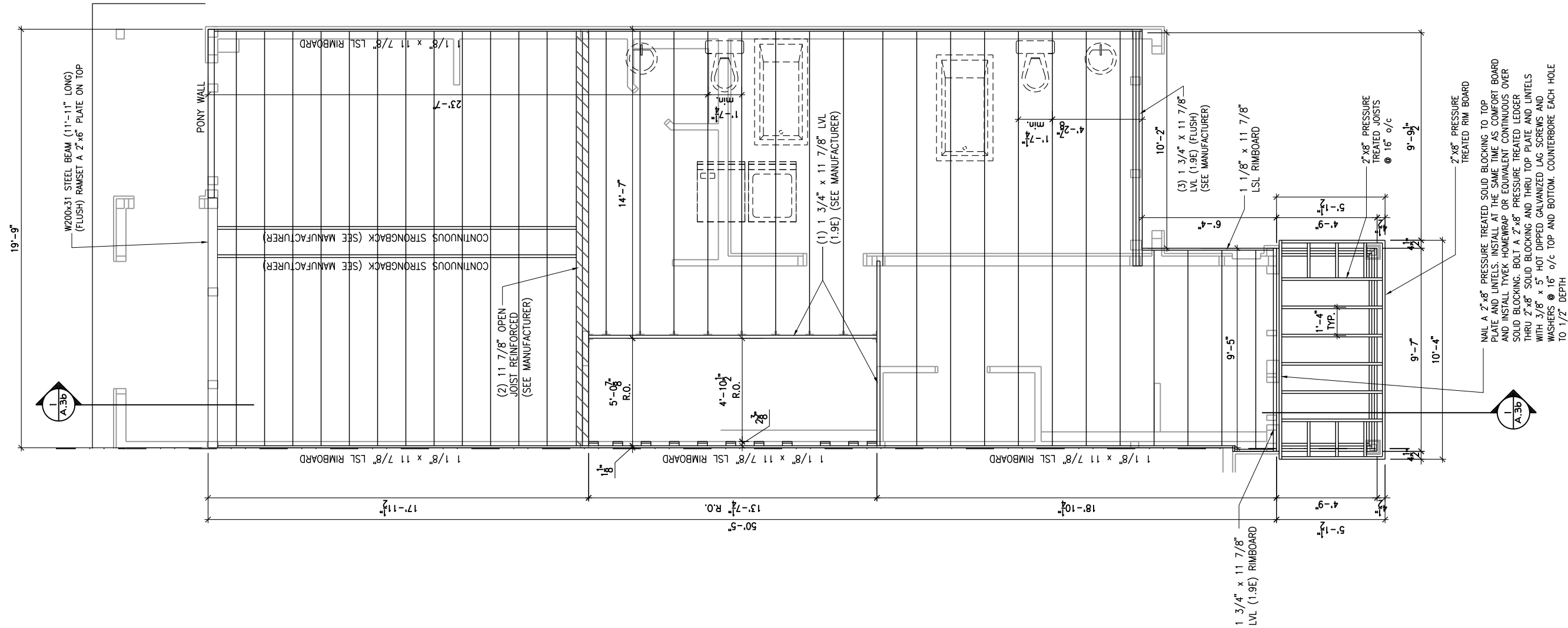
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8f



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - GARAGE END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

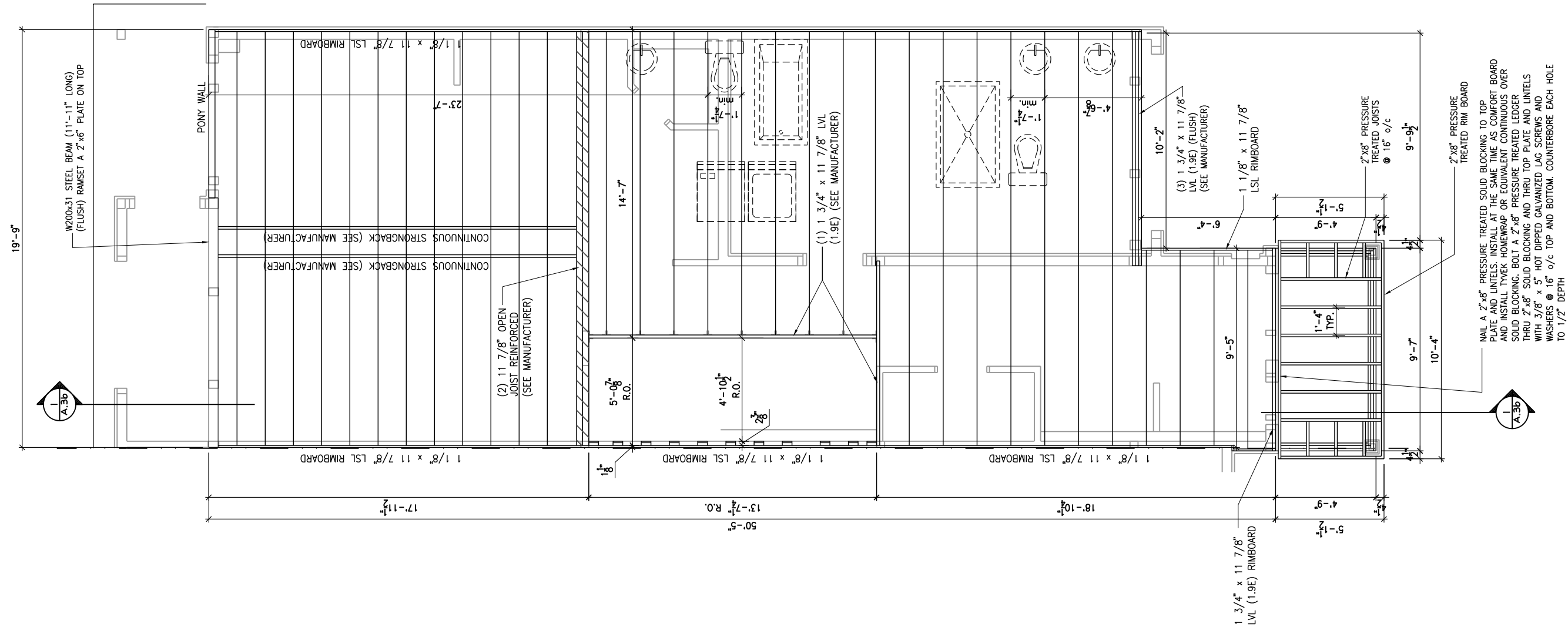
DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.8g



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes (2019) Limited
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2012 O.B.C. DRAWINGS

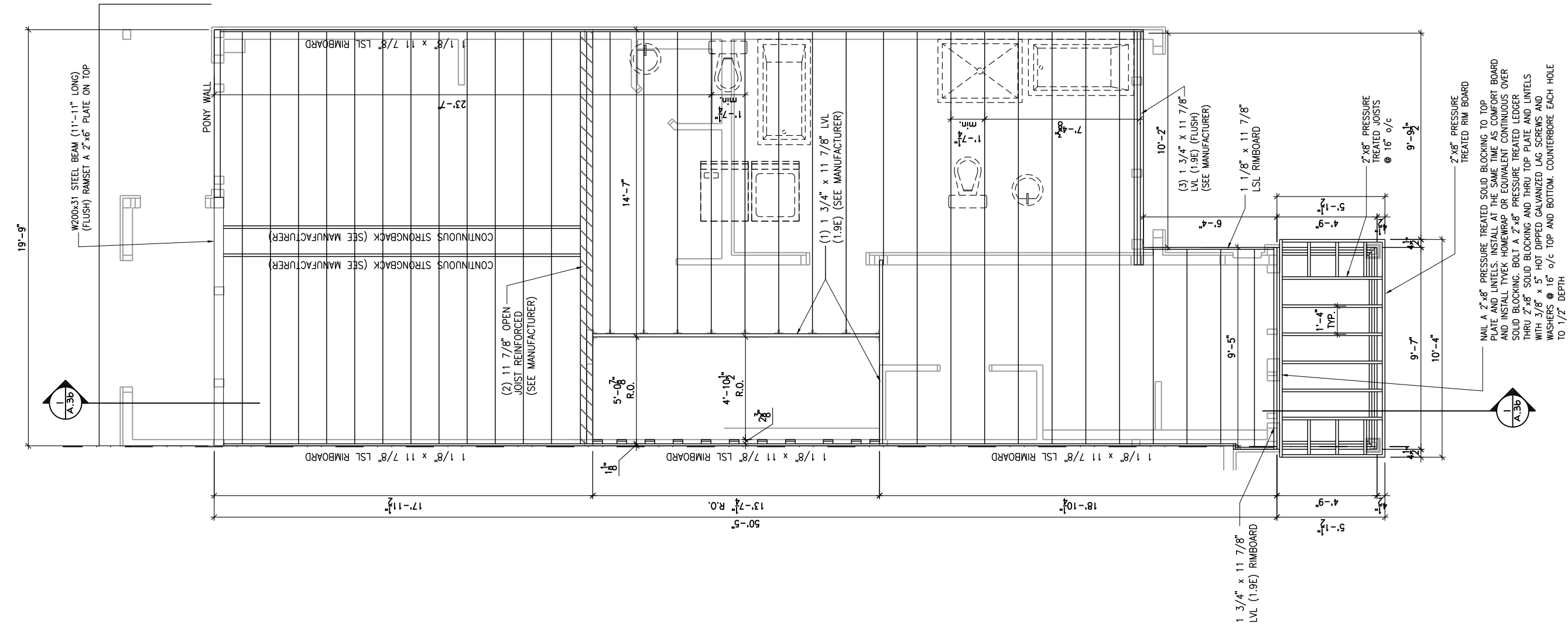
REV	DESCRIPTION	DATE	BY
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **A.8h**



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END**

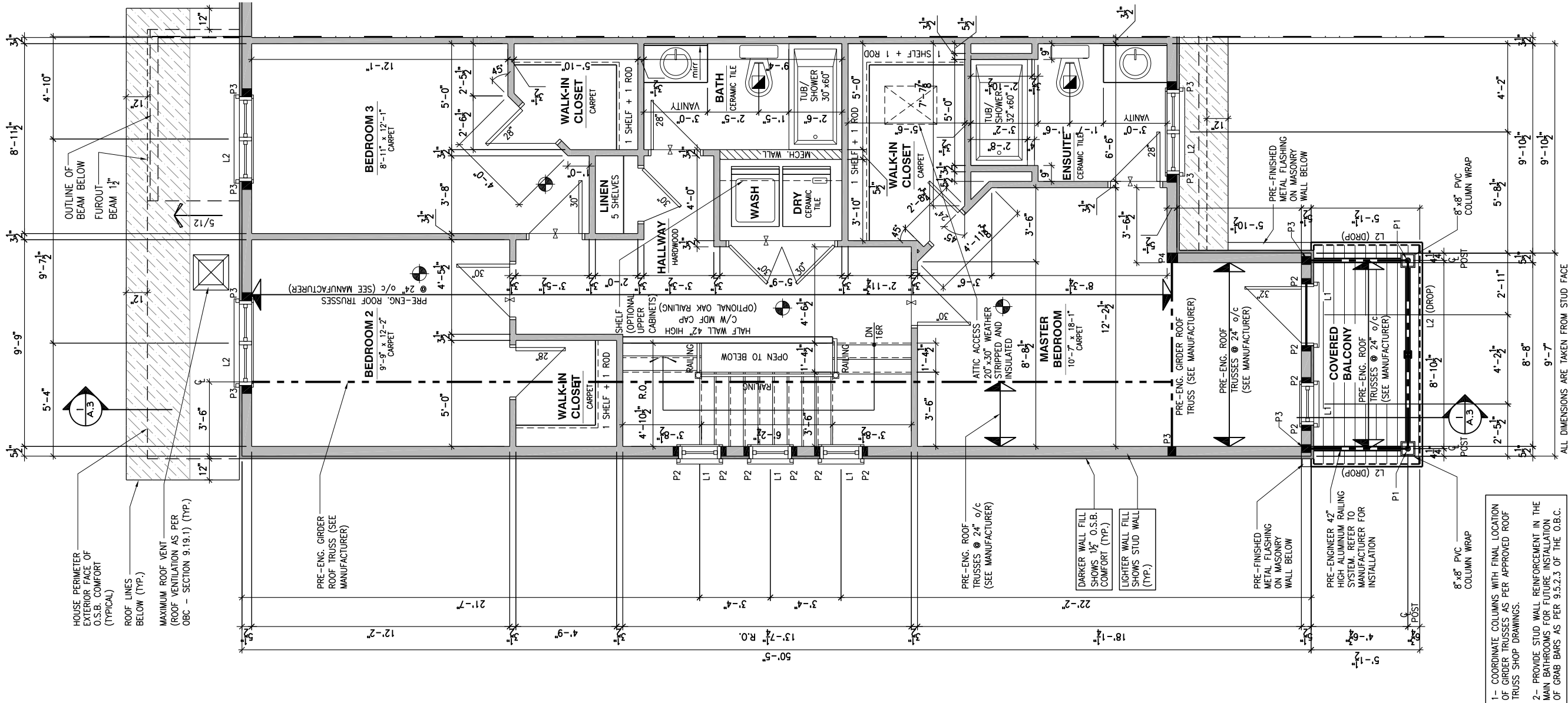
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130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8i

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



LOT: XXXX
DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
(+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: SECOND FLOOR PLAN
STANDARD ENSUITE - PORCH END

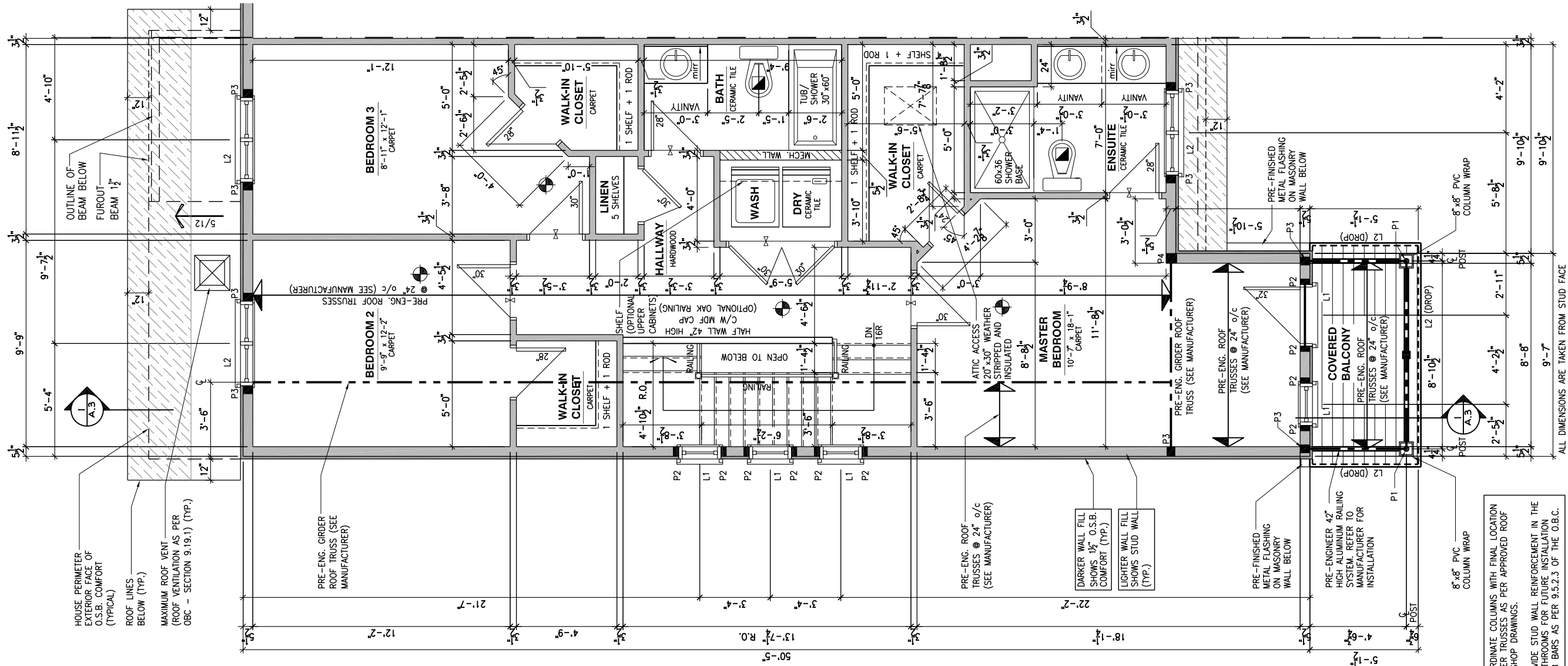
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.9a

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
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LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD

DRAWING: **SECOND FLOOR PLAN**
OPT 4PC ENSUITE - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

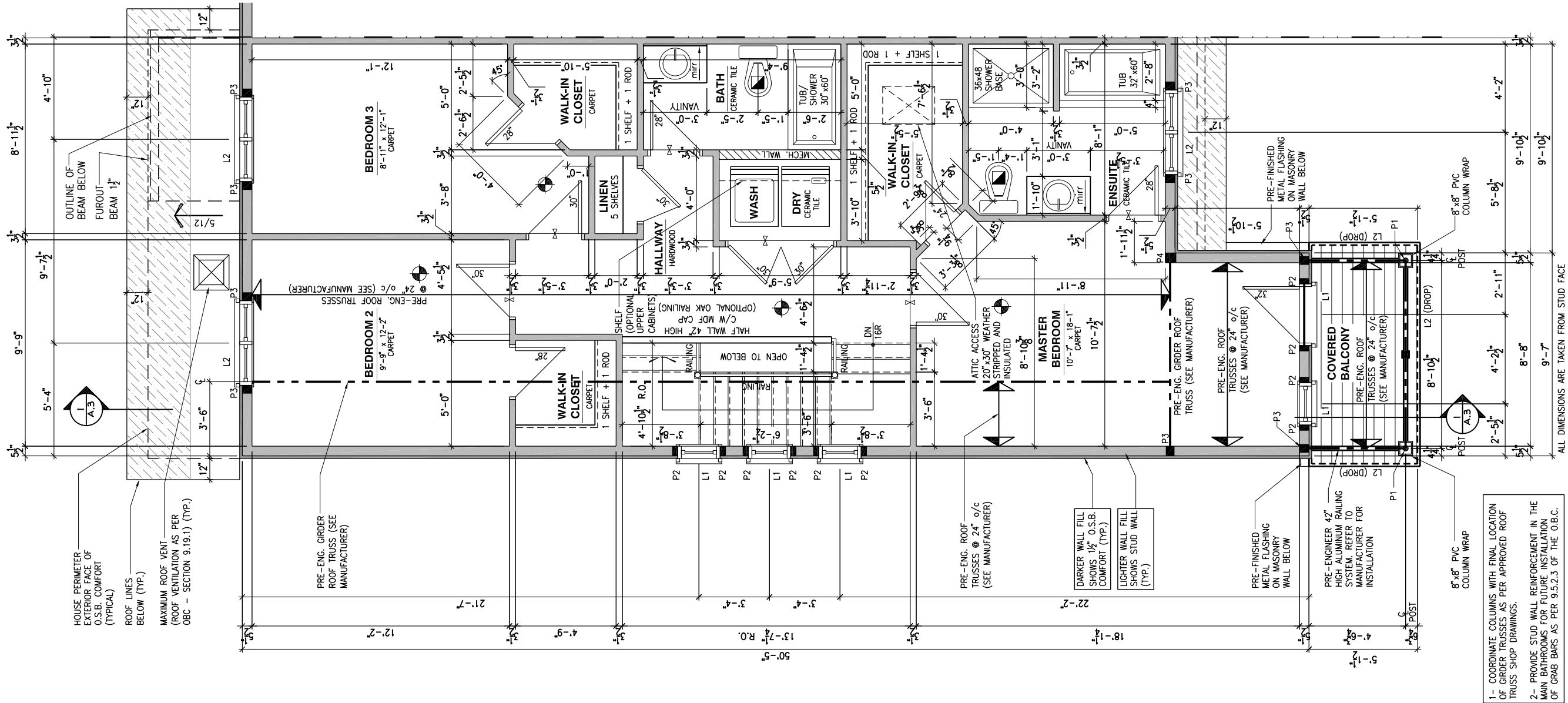
(STANDARD DRAWINGS)

SHEET:

A.9b

GENERAL NOTES:

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LOT: XXXX
DATE: XX/XX/XXXX



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- NOTES:
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- LINTEL TABLE:
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 - L2 = 3-2x10 + P3 ON BOTH SIDES
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 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
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 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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DRAWING: SECOND FLOOR PLAN
OPT 5PC ENSUITE - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

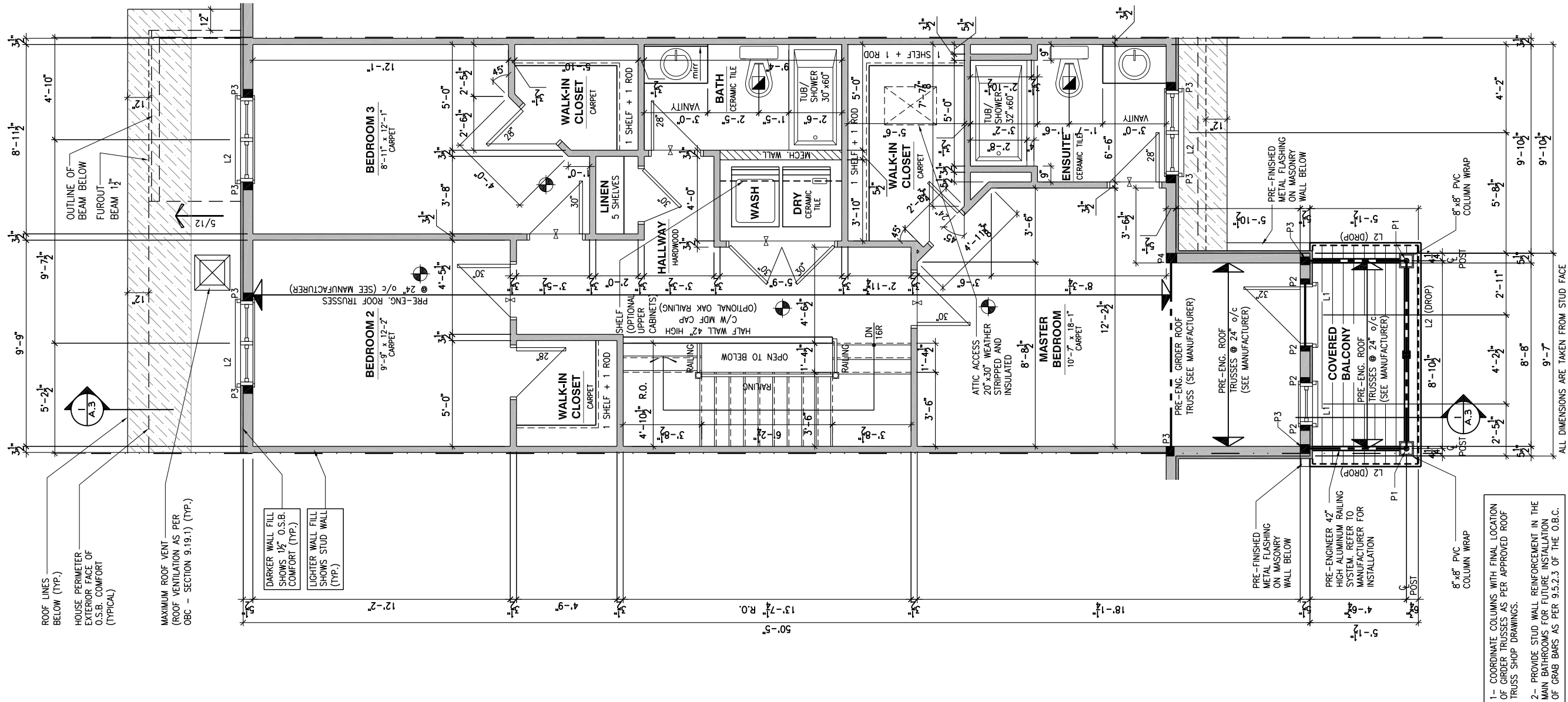
130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.9c

1
A.9c
SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT
SCALE: 3/16" = 1'-0"

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



1
A.9d

SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON	
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: SECOND FLOOR PLAN STANDARD ENSUITE - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT

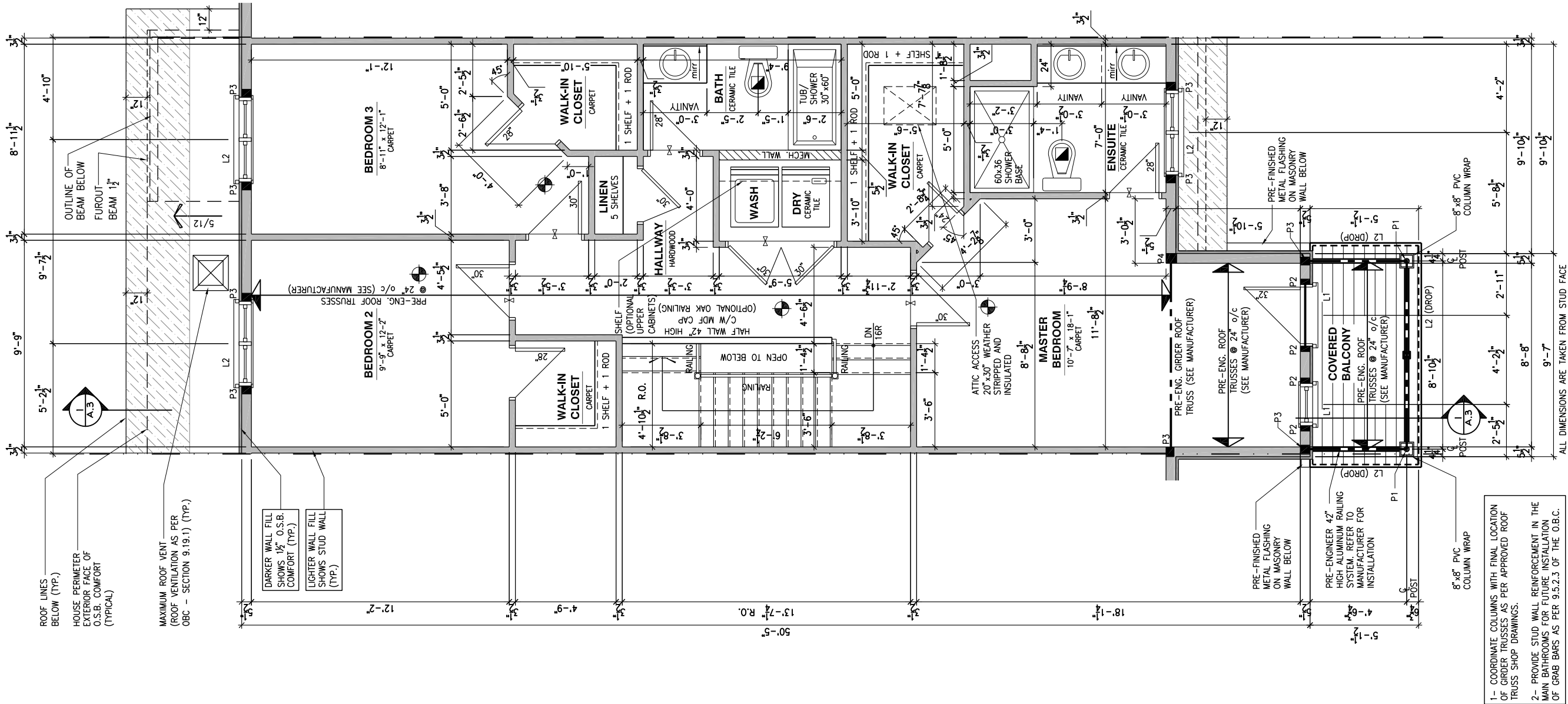
(STANDARD DRAWINGS)

SHEET:

A.9d

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



LOT: XXXX
DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
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NOTES:
STEEL LINTEL:
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S3 = L 100x90x8
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S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)
LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
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SECOND FLOOR PLAN OPT 4 PC ENSUITE - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

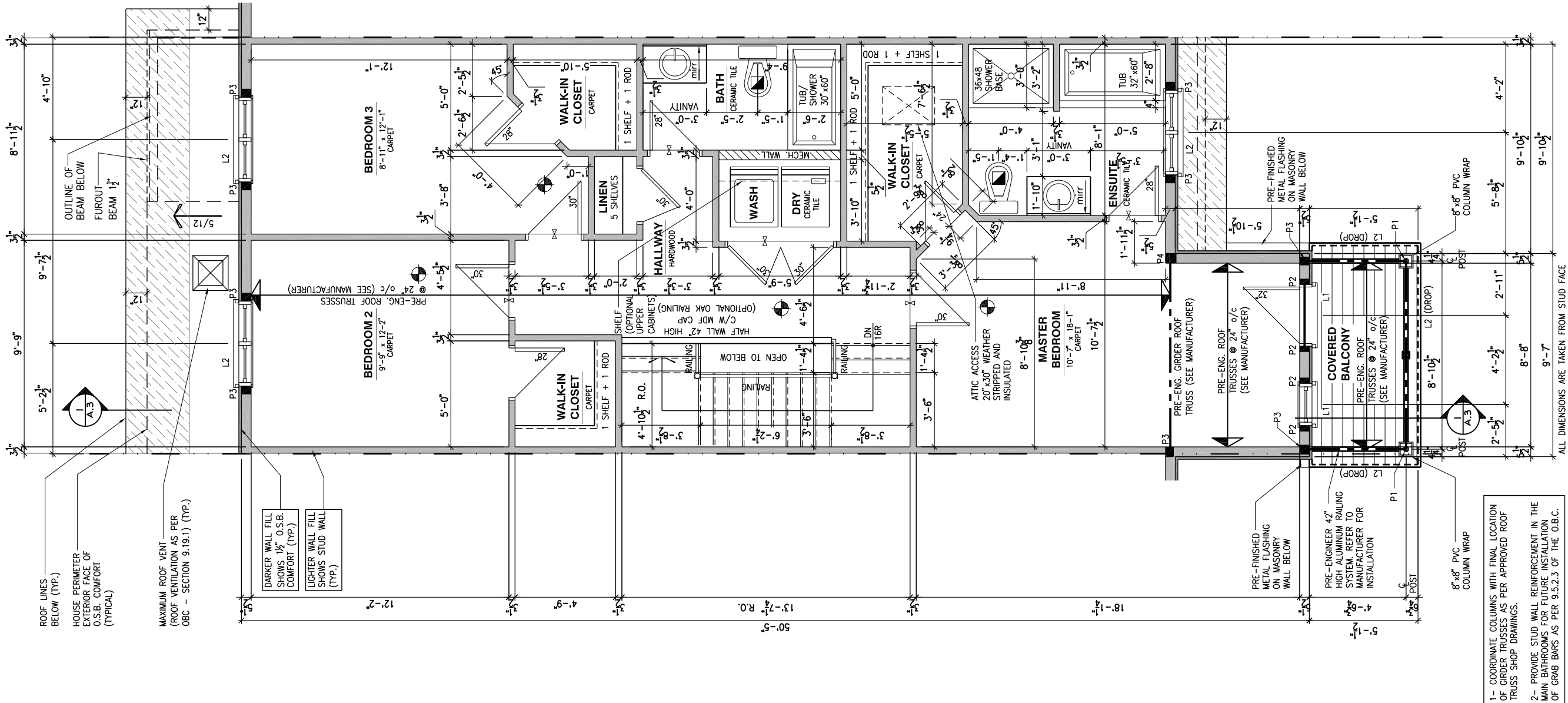
A.9e

SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

GENERAL NOTES:

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SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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130 - THE LEWIS
2020 FOOTPRINT

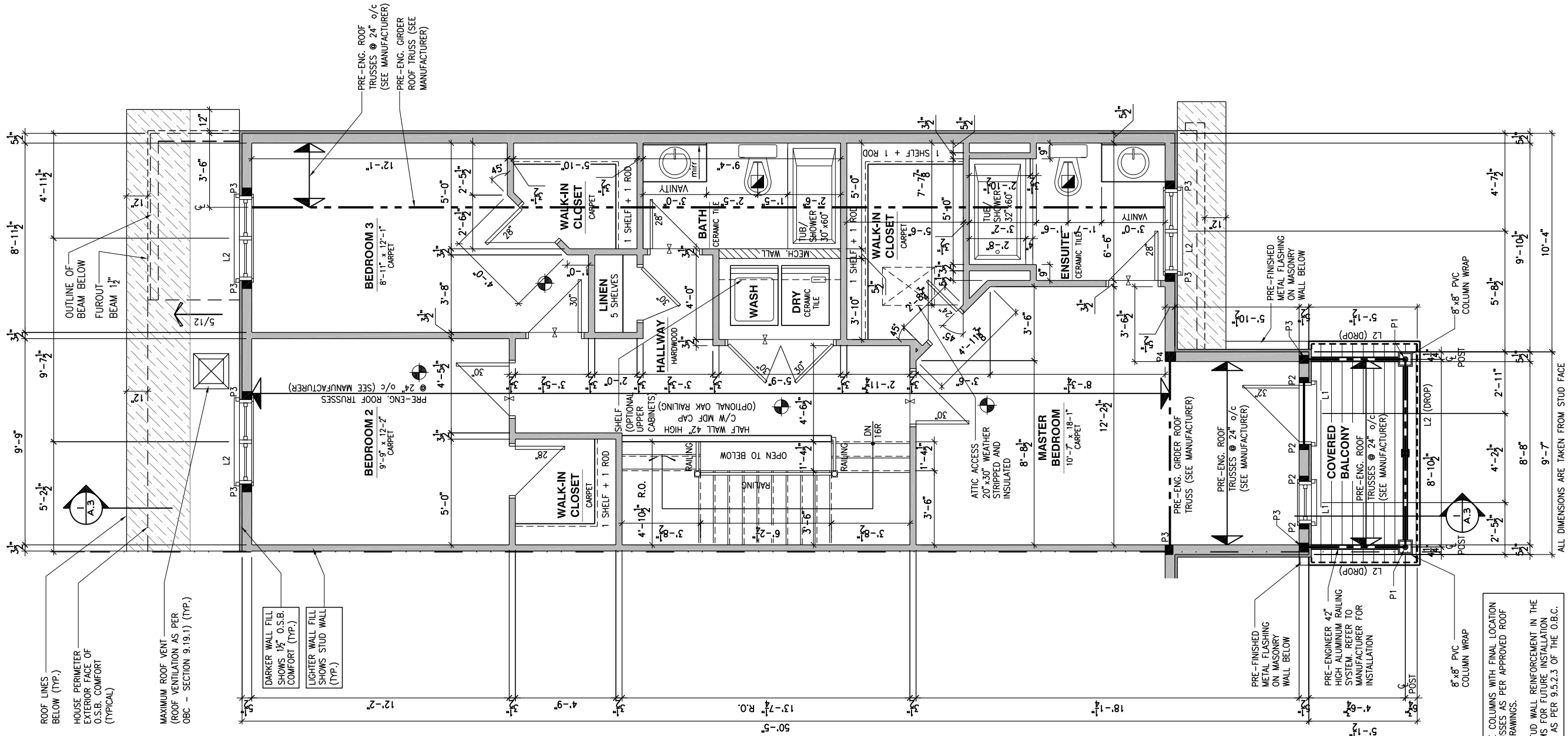
(STANDARD DRAWINGS)

SHEET:

A.9f

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DRAWING: **SECOND FLOOR PLAN**
STANDARD ENSUITE-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

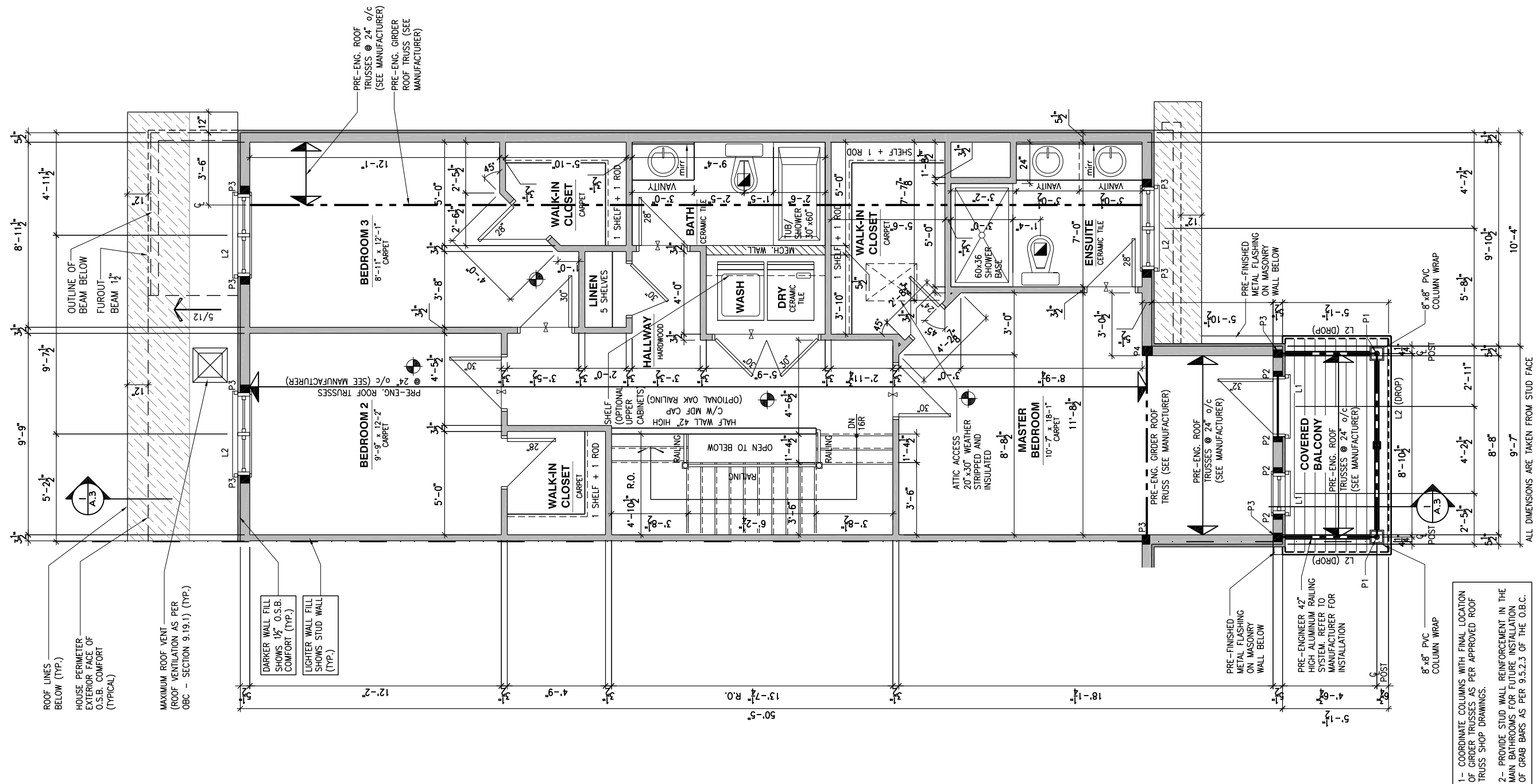
SHEET:

A.9g

SECOND FLOOR PLAN - STANDARD ENSUITE - GARAGE END UNIT

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Valecraft
Homes (2019) Limited

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DRAWING: **SECOND FLOOR PLAN**
OPT 4PC ENSUITE - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS 2020 FOOTPRINT

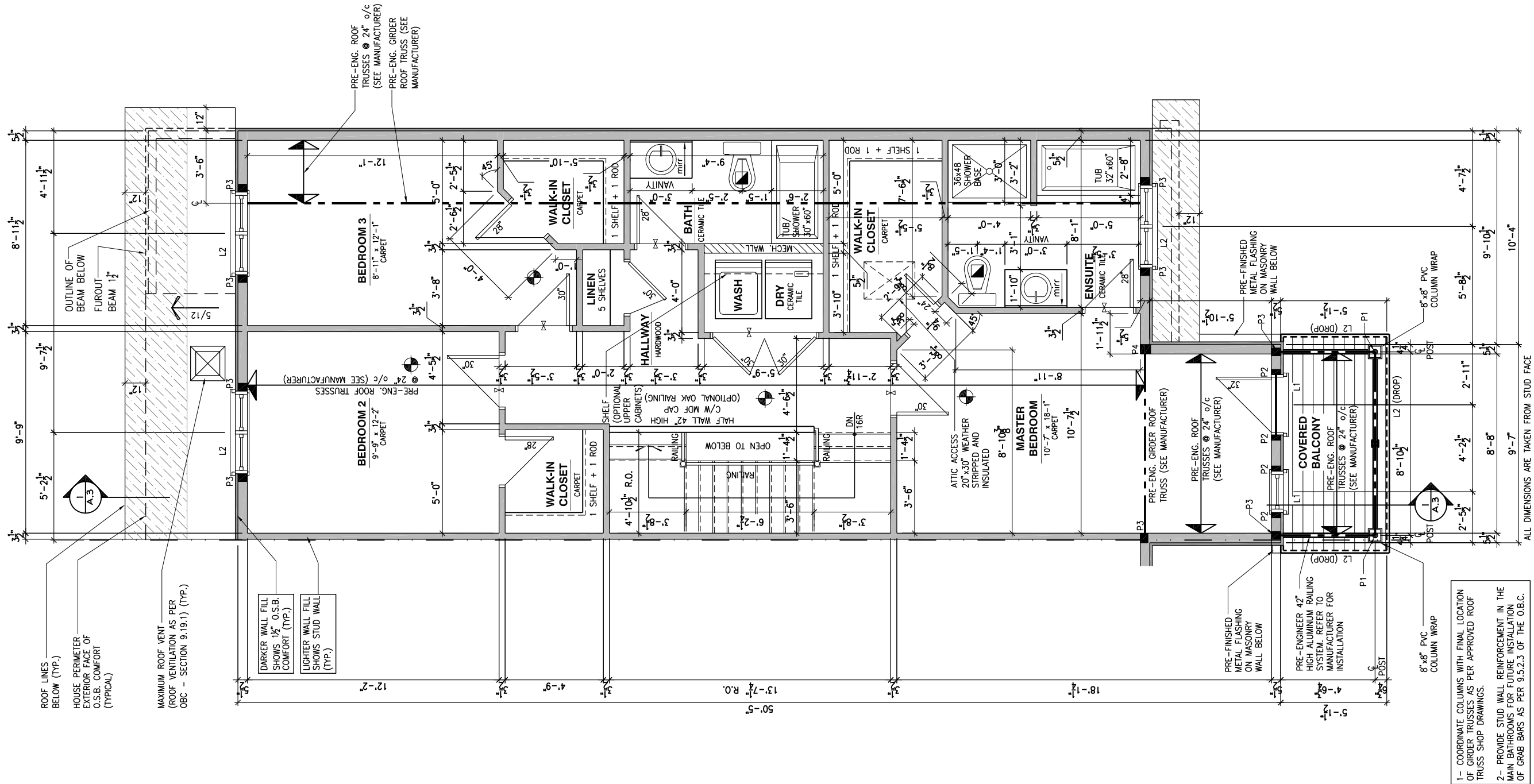
SHEET:

A.9h

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN
OPT 5PC ENSUITE - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: A.9i



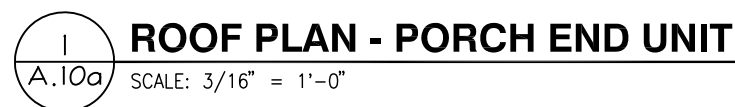
Valecraft
Homes (2019) Limited

- PERSONAL BCIN #19896
- TARIFF REGISTRATION NUMBER #611

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REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAH
NO.	DESCRIPTION	MM/DD/YYYY	BY

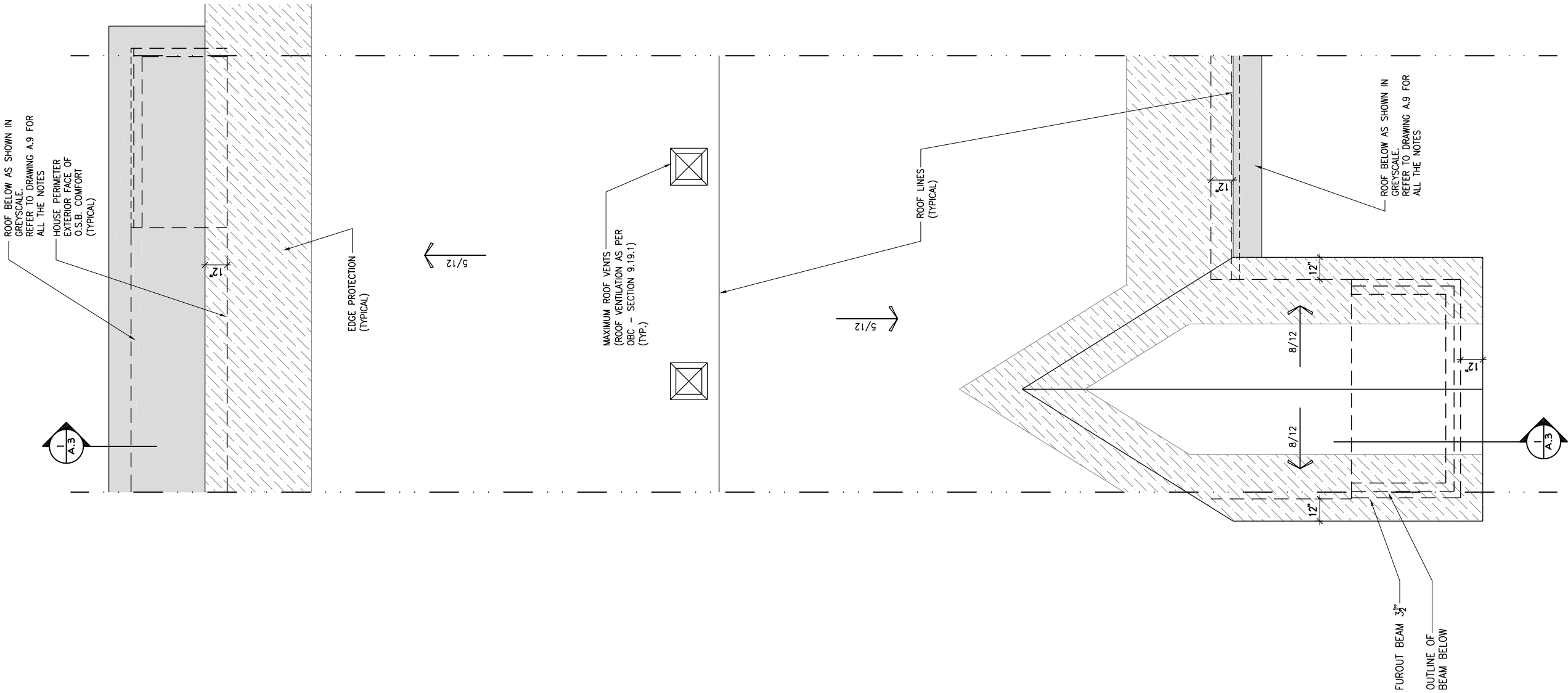
ROOF PLAN - PORCH END UNIT

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

■ SHEET:

ROOF PLAN - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:

ROOF PLAN - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

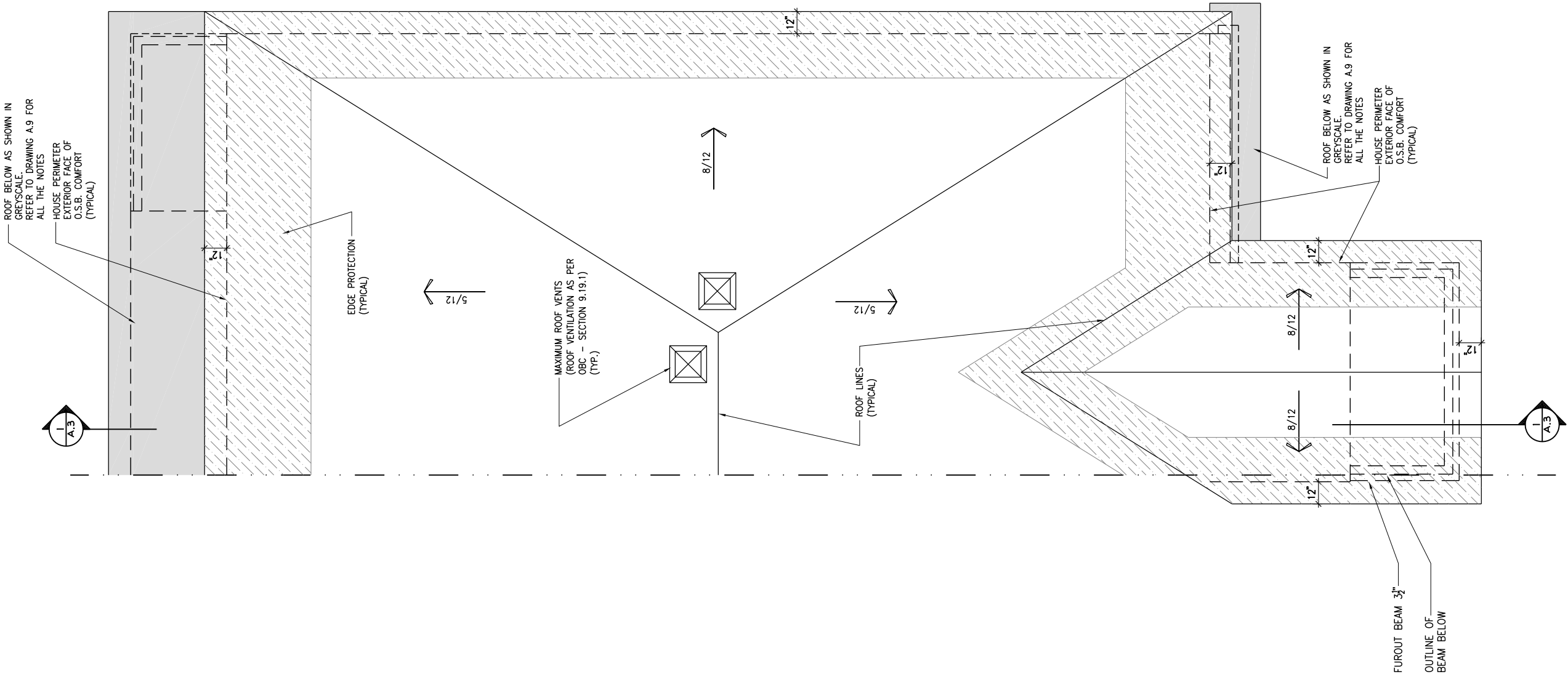
130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.10b

ROOF PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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NO.	DESCRIPTION	MM/DD/YYYY	BY


DRAWING:
ROOF PLAN - GARAGE END UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.10c



Valecraft

Homes (2019) Limited

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
NO DIMENSION SHOULD BE SCALED ON DRAWINGS.


THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.


- 


SINGLE POLE SWITCH
- 


3 WAY SWITCH
- 


4 WAY SWITCH
- 


FURNACE SWITCH
- 


FIREPLACE SWITCH
- 


DUPLEX OUTLET (12" HIGH)
- 


DUPLEX OUTLET (UPPER HALF SWITCH)
- 


GROUND FAULT INTERVOLT
- 


WEATHER PROOF DUPLEX OUTLET
- 

SPLIT OUTLET
- 

220 VOLT OUTLET
- 

WALL MOUNTED LIGHT FIXTURE
- 

CEILING MOUNTED LIGHT FIXTURE
- 

POT LIGHT
- 


= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- 

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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DRAWING: ELECTRICAL PLAN BASEMENT

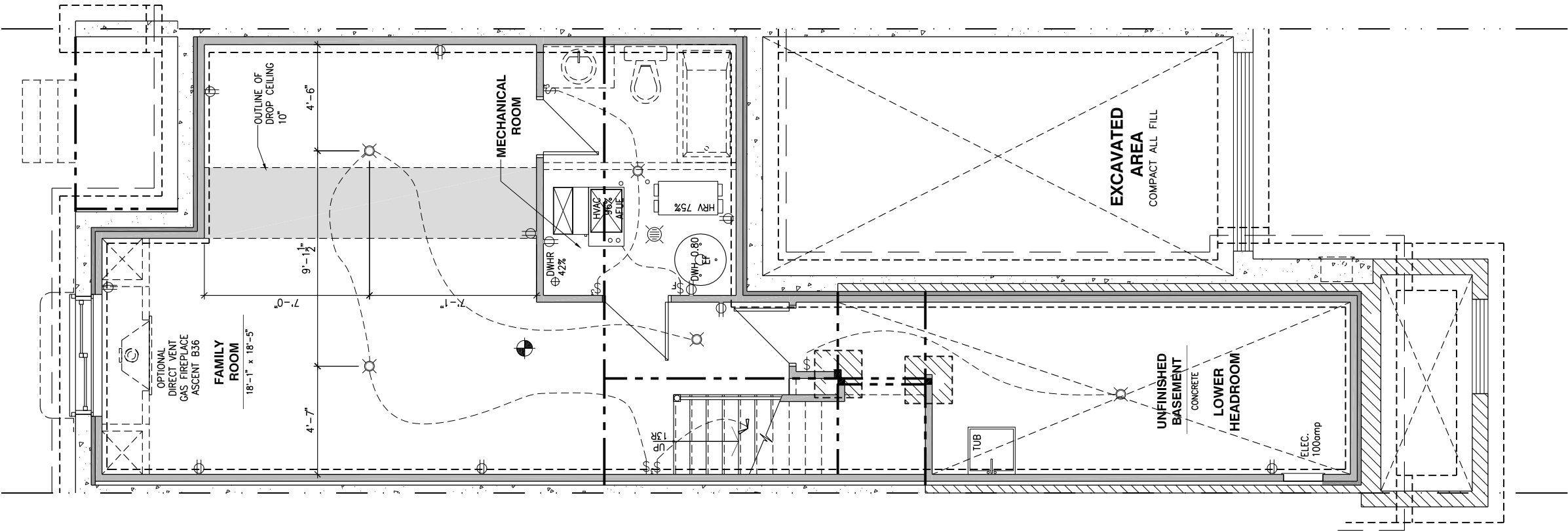
ADDRESS:XX

SCALE:3/16" = 1'-0"

DATE:XX/XX/XXXX

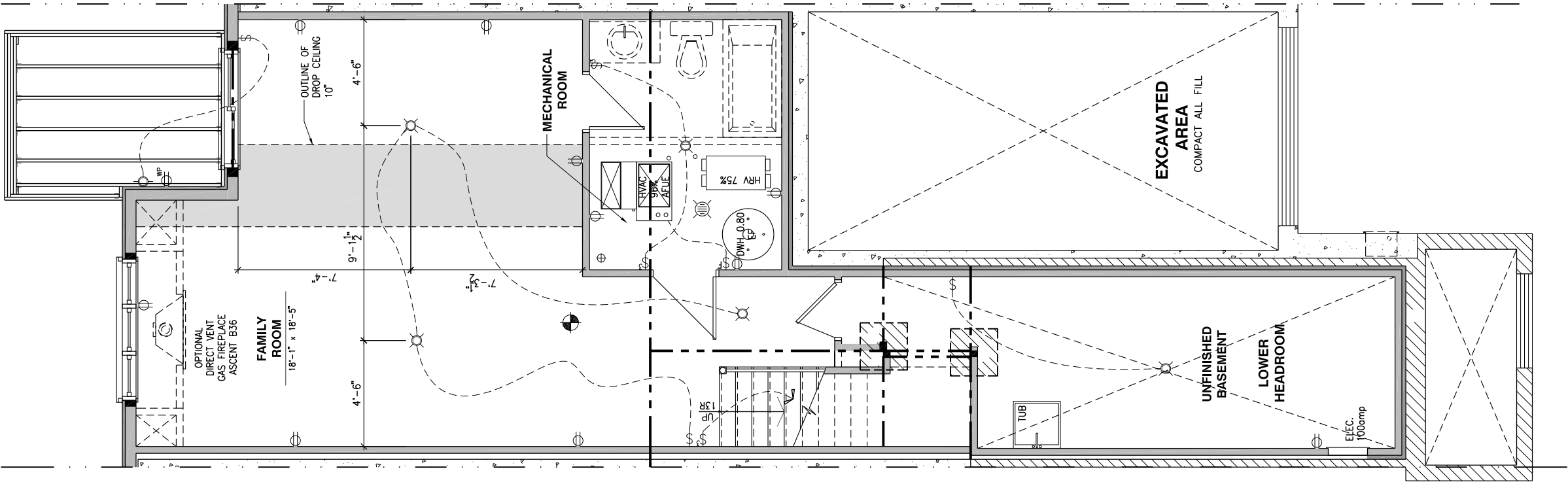
130 - THE LEWIS 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: E.1a



ELECTRICAL PLAN - BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
BASEMENT - WALKOUT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

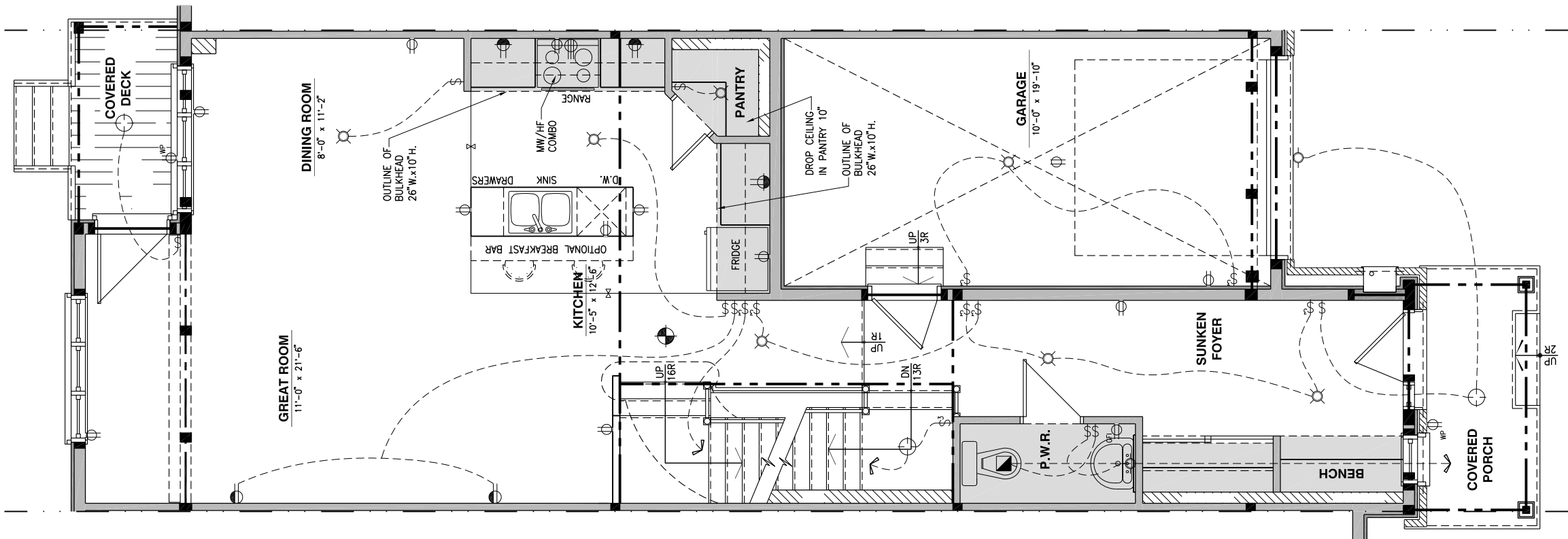
130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.1b

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

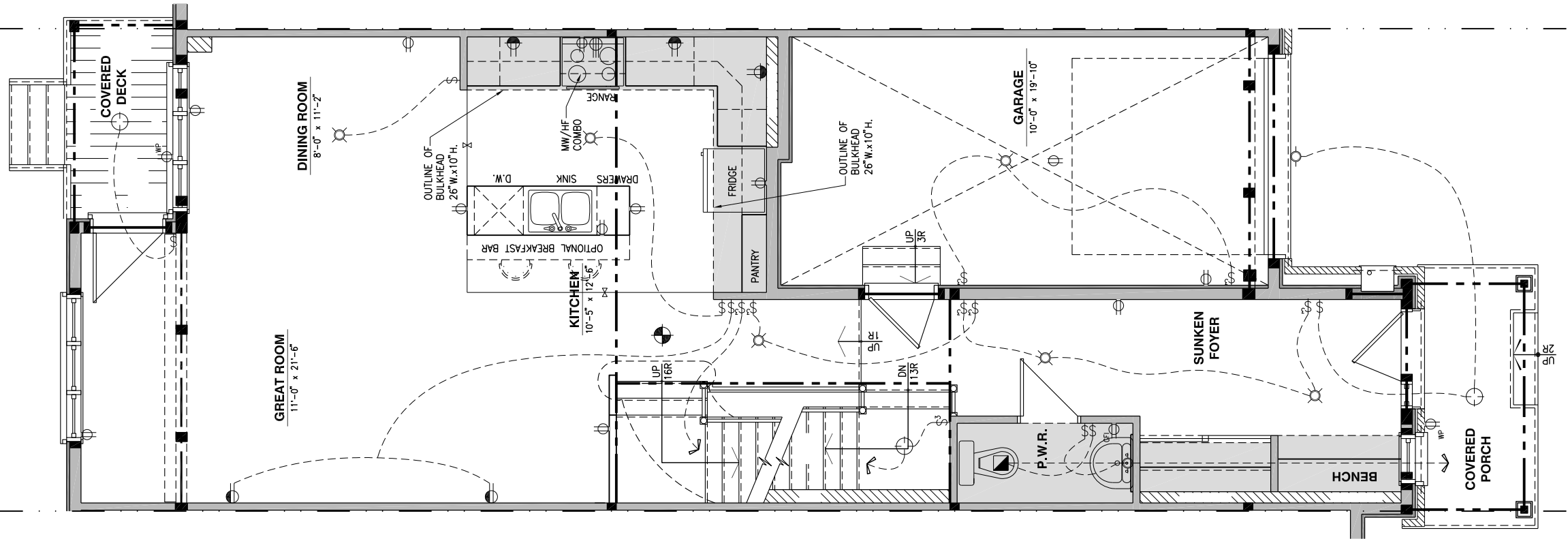
130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2a

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT

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MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY	

ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

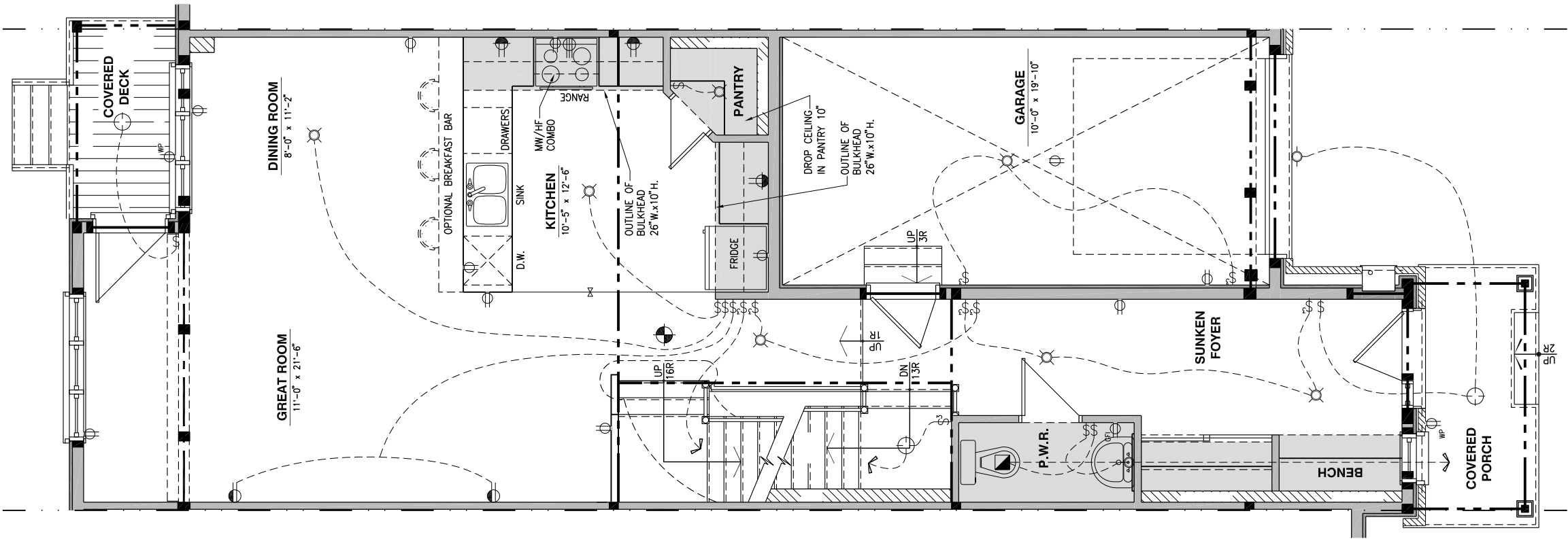
130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2b

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$FP FIREPLACE SWITCH
- \$ DUPLEX OUTLET (12" HIGH)
- \$ DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
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NO.	DESCRIPTION	MM/DD/YYYY	BY	

ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

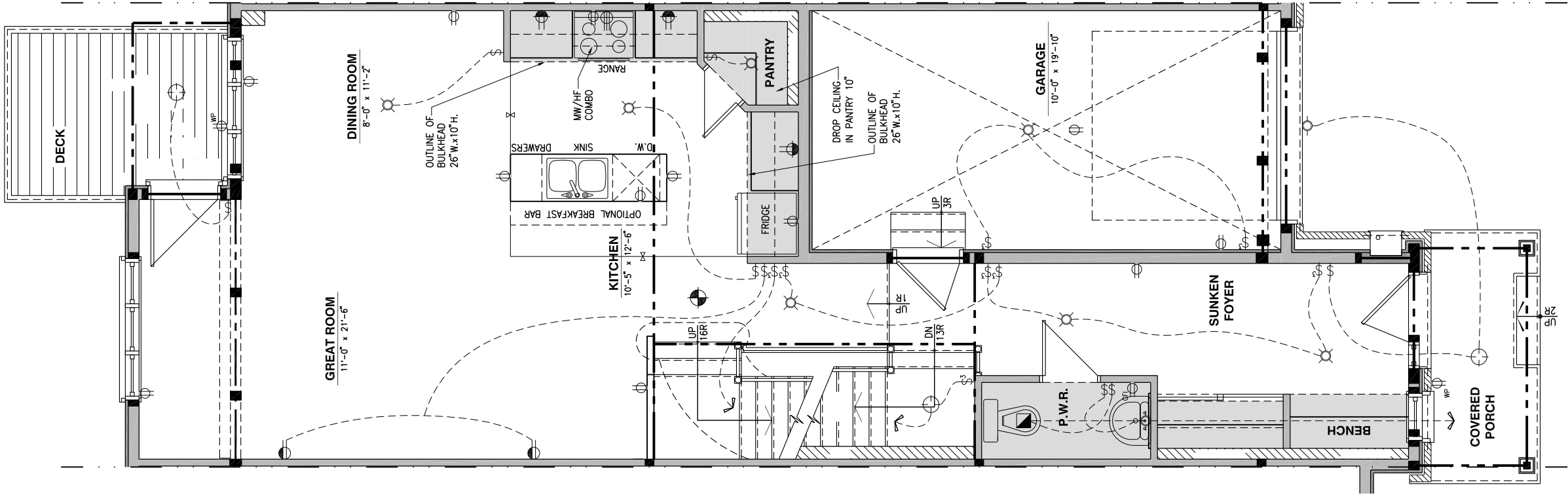
130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2c

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- ⌘ 3 WAY SWITCH
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- ⌘ FURNACE SWITCH
- ⌘ FP FIREPLACE SWITCH
- ⌘ DUPLEX OUTLET (12" HIGH)
- ⌘ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌘ GFI GROUND FAULT INTERVOLT
- ⌘ WP WEATHER PROOF DUPLEX OUTLET
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 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2d

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- ⌚ SINGLE POLE SWITCH
- ⌚ 3 WAY SWITCH
- ⌚ 4 WAY SWITCH
- ⌚ FURNACE SWITCH
- ⌚ FP FIREPLACE SWITCH
- ⌚ DUPLEX OUTLET (12" HIGH)
- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌚ GFI GROUND FAULT INTERVOLT
- ⌚ WP WEATHER PROOF DUPLEX OUTLET
- ⌚ SPLIT OUTLET
- ⌚ 220 VOLT OUTLET
- ⌚ WALL MOUNTED LIGHT FIXTURE
- ⌚ CEILING MOUNTED LIGHT FIXTURE
- ⌚ POT LIGHT
- ⌚ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

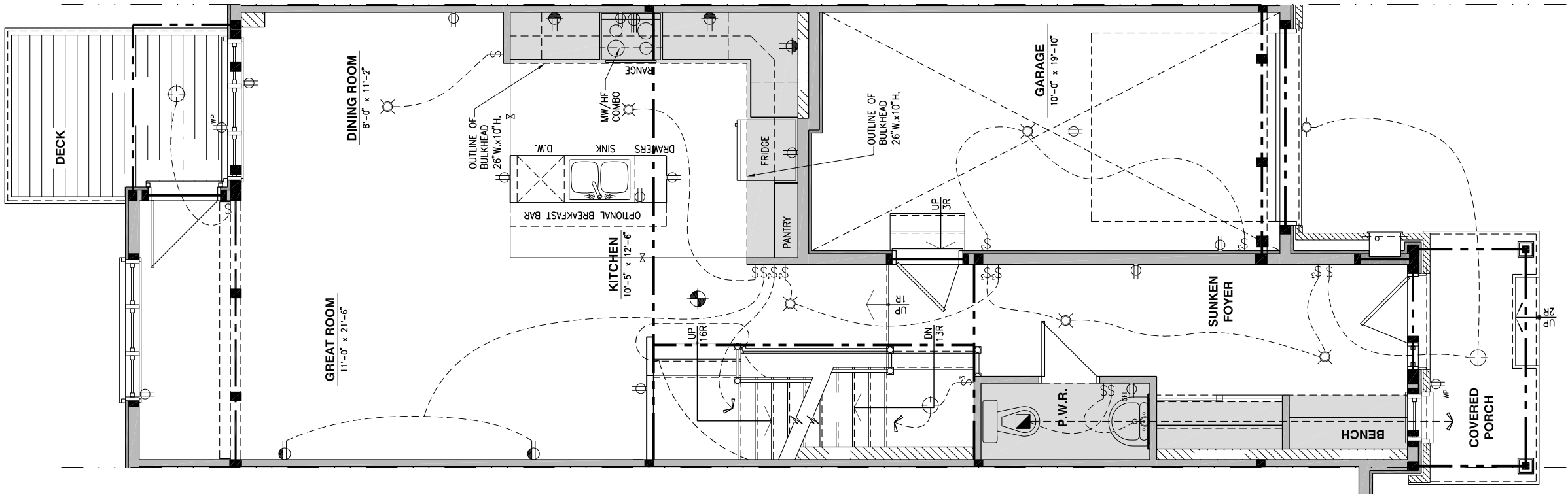
ELECTRICAL PLAN
GROUND FLOOR

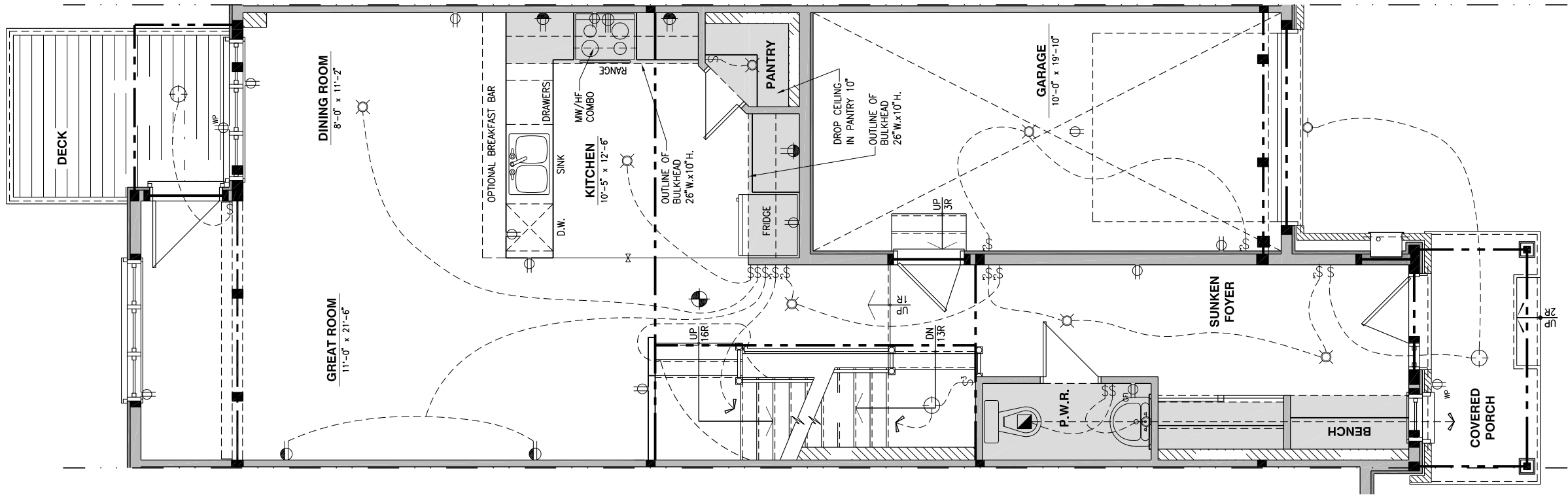
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2e





LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
- \$ WALL MOUNTED LIGHT FIXTURE
- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
- \$ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2f

LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- DO

DUPLEX OUTLET (12" HIGH)
- DU

DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- SO

SPLIT OUTLET
- 220

220 VOLT OUTLET
- WL

WALL MOUNTED LIGHT FIXTURE
- CL

CEILING MOUNTED LIGHT FIXTURE
- PL

POT LIGHT
- SA

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ME

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

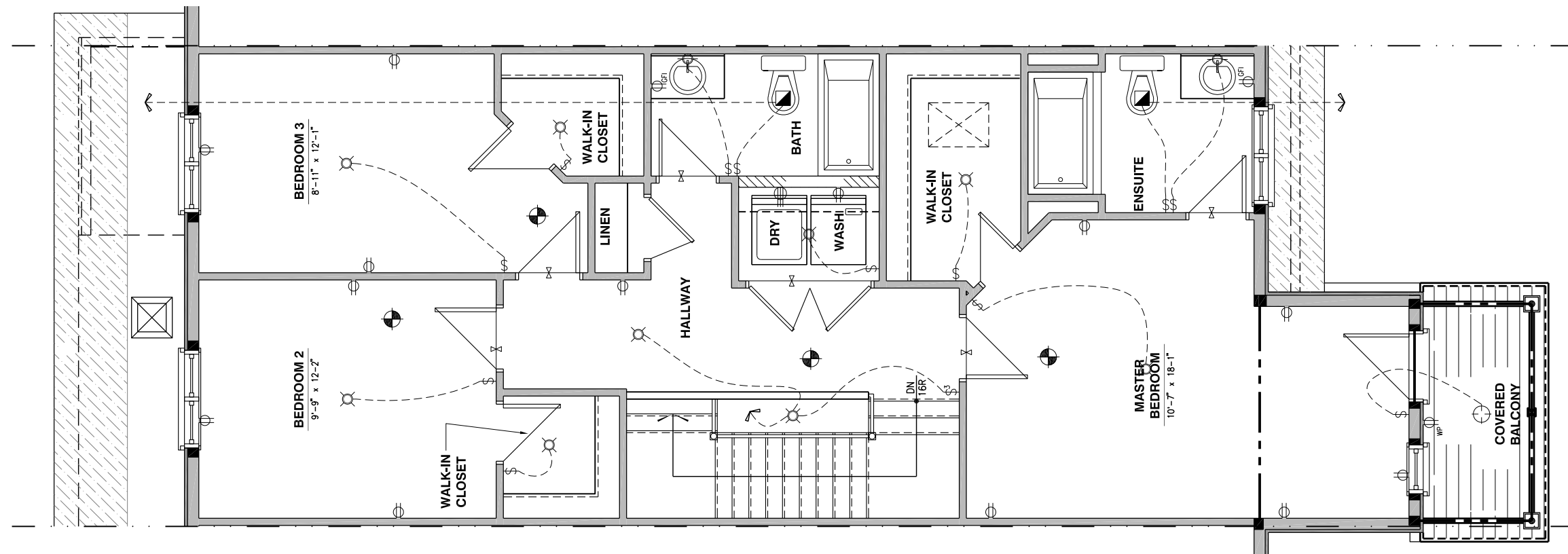
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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH	
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: **ELECTRICAL PLAN
SECOND FLOOR**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3a



1
E.3a

ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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- TARIION REGISTRATION NUMBER #611

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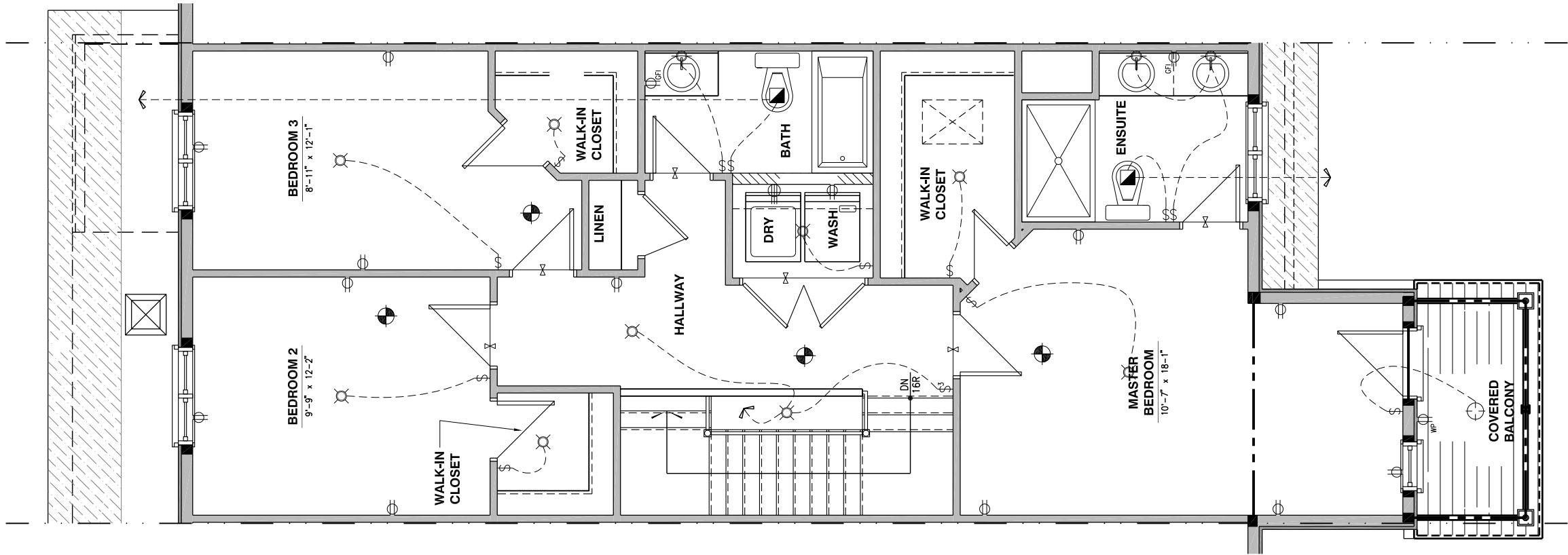
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GF1 GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT

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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **ELECTRICAL PLAN
SECOND FLOOR**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET: **E.3b**

1
E.3b

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 4 PC ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes (2019) Limited

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- \$

SINGLE POLE SWITCH
- 3

3 WAY SWITCH
- 4

4 WAY SWITCH
- F

FURNACE SWITCH
- FP

FIREPLACE SWITCH
- Ø

DUPLEX OUTLET (12" HIGH)
- Ø

DUPLEX OUTLET (UPPER HALF SWITCH)
- GF1

GROUND FAULT INTERVOLT
- WP

WEATHER PROOF DUPLEX OUTLET
- Ø

SPLIT OUTLET
- Ø

220 VOLT OUTLET
- Ø

WALL MOUNTED LIGHT FIXTURE
- Ø

CEILING MOUNTED LIGHT FIXTURE
- Ø

POT LIGHT
- ⬤

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- ⬤

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

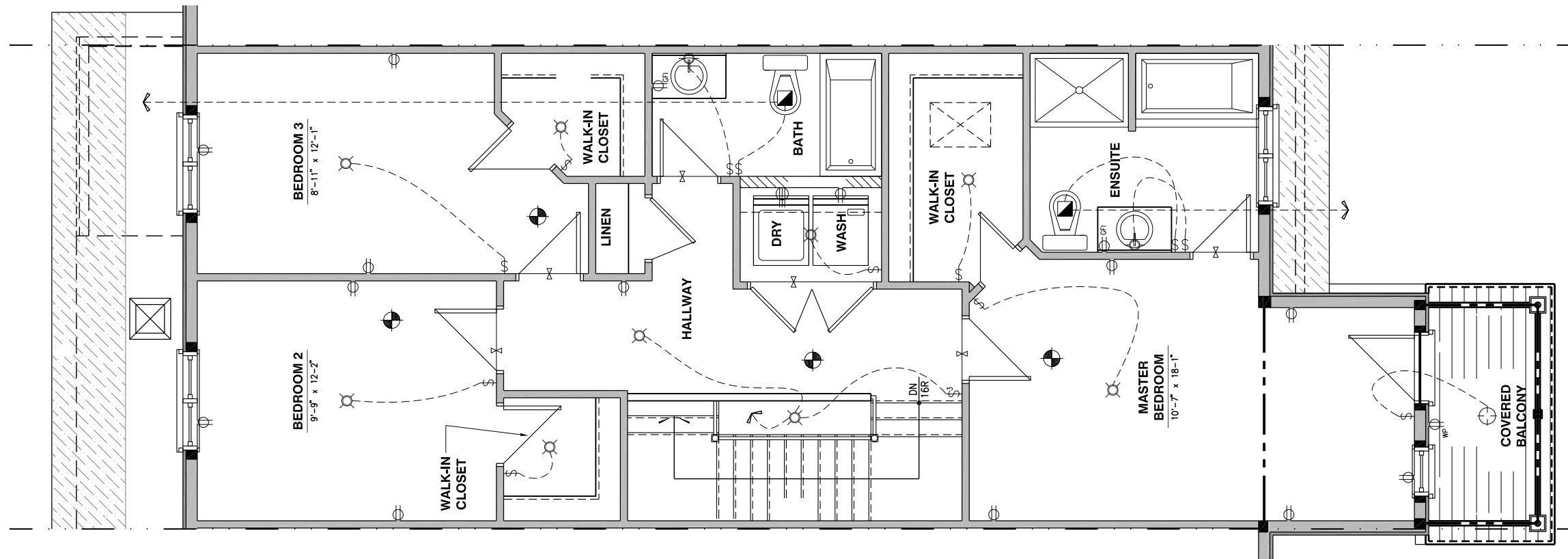
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NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: ELECTRICAL PLAN
SECOND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

130 - THE LEWIS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3c



1
E.3c

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 5 PC ENSUITE

SCALE: 3/16" = 1'-0"