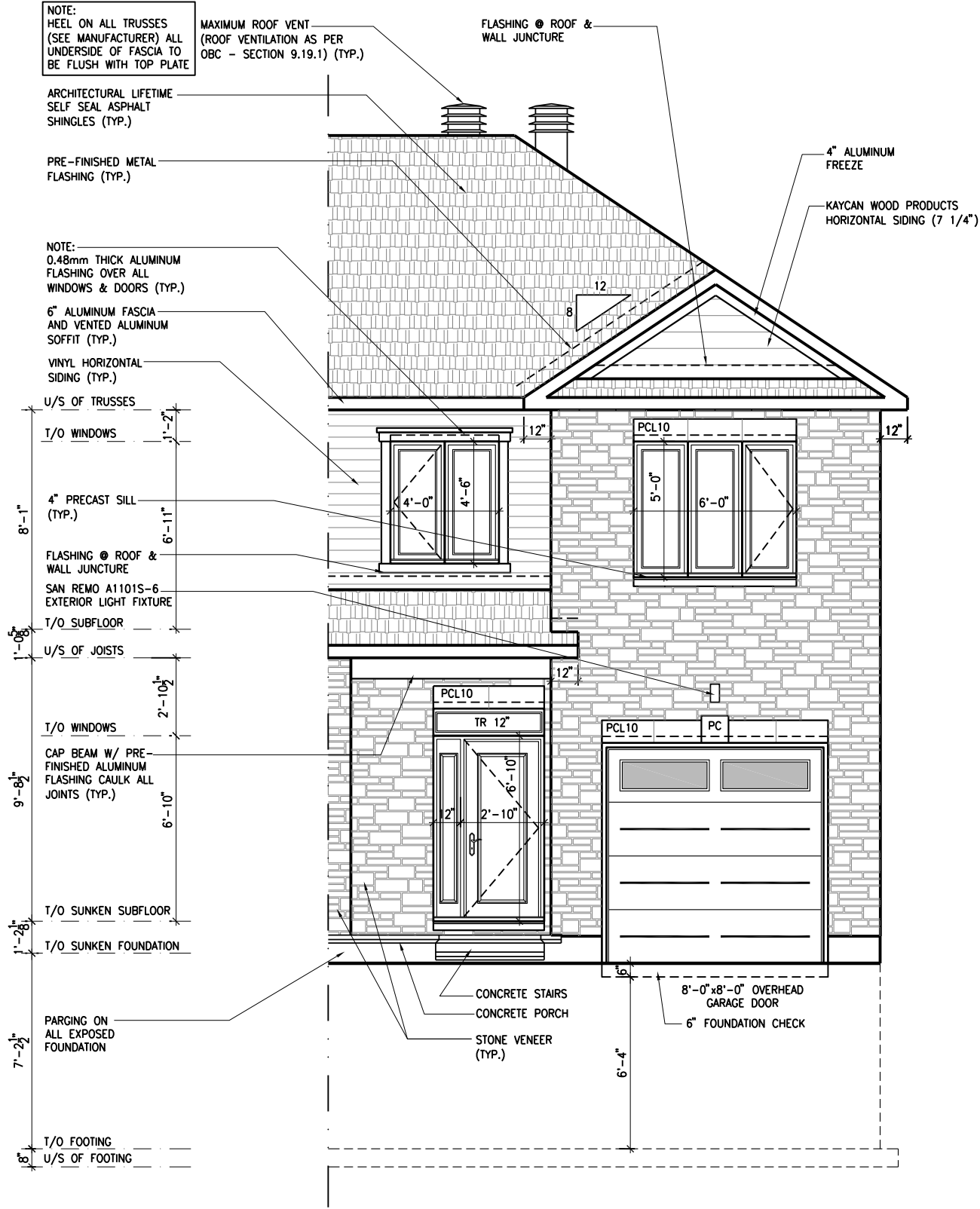


1 FRONT ELEVATION - PORCH END UNIT
A.1a SCALE: 3/16" = 1'-0"



2 FRONT ELEVATION - GARAGE END UNIT
A.1a SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: FRONT ELEVATION - END UNITS

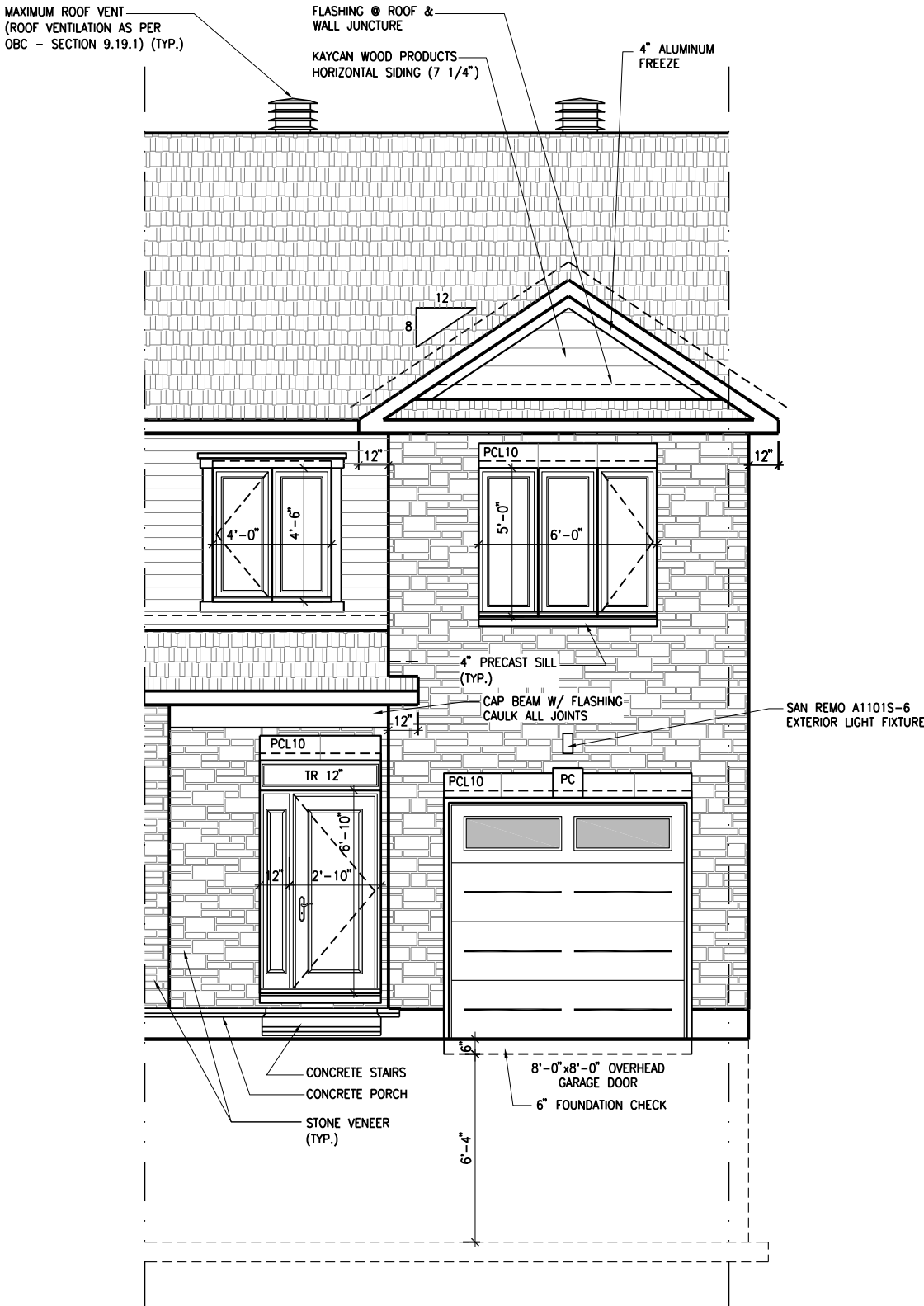
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.1a

FRONT ELEVATION - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:
FRONT ELEVATION - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

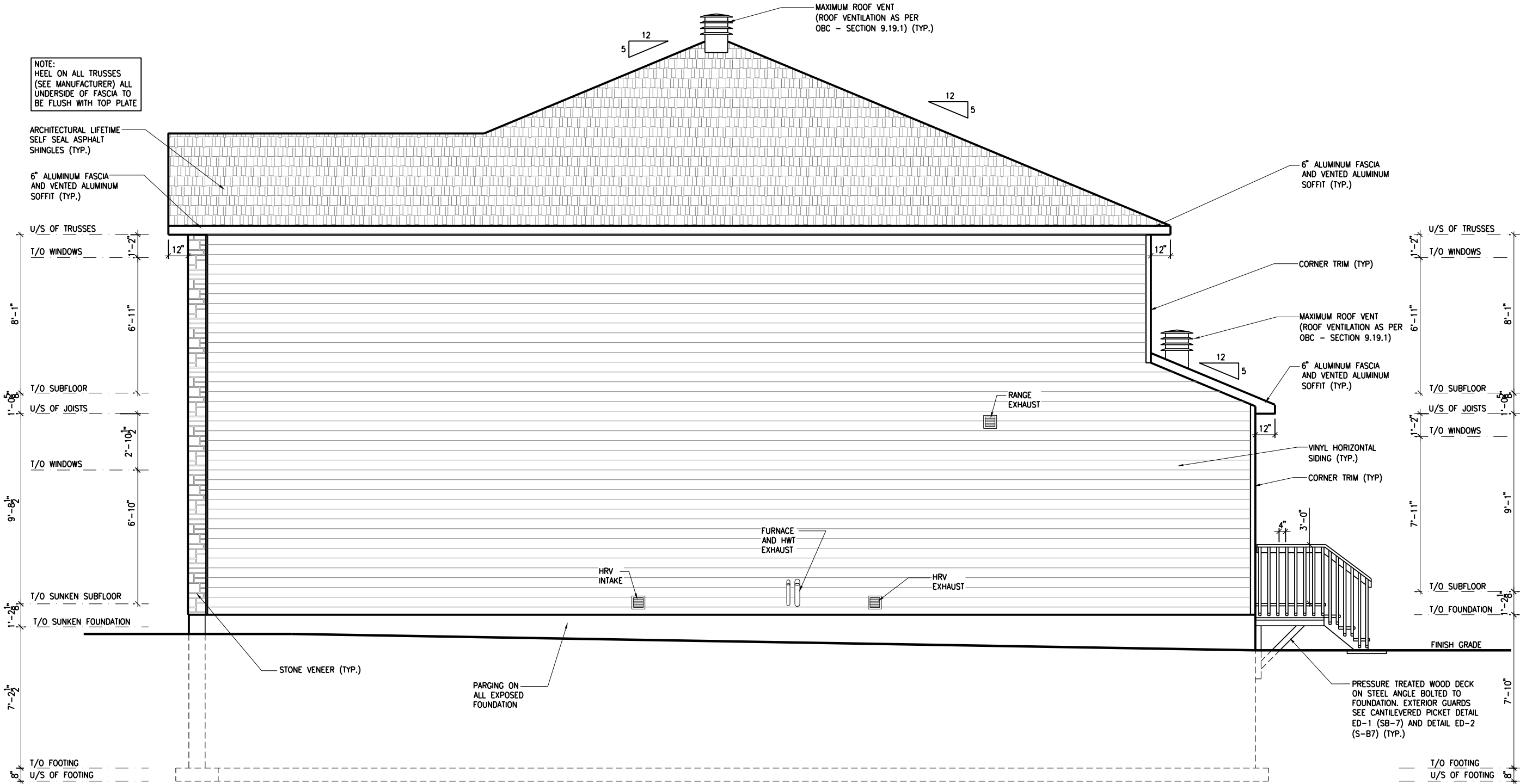
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.1b



A.2b



RIGHT ELEVATION - GARAGE END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes Ltd.

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NO.	DESCRIPTION	MM/DD/YYYY	BY

2012 O.B.C. DRAWINGS

DRAWING: RIGHT ELEVATION GARAGE END UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT
(STANDARD DRAWINGS)

A.2c



1. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
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NO.	DESCRIPTION	MM/DD/YYYY	BY

2012 O.B.C. DRAWINGS		
DRAWING: RIGHT ELEVATION		
GARAGE END UNIT -WALKOUT		
ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	xx/xx/xxxx
110 - THE THOMAS		SHEET:
2020 FOOTPRINT		A.2d
(STANDARD DRAWINGS)		



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PCL10 - 10" PRECAST LINTEL

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DRAWING: REAR ELEVATION PORCH END UNITS

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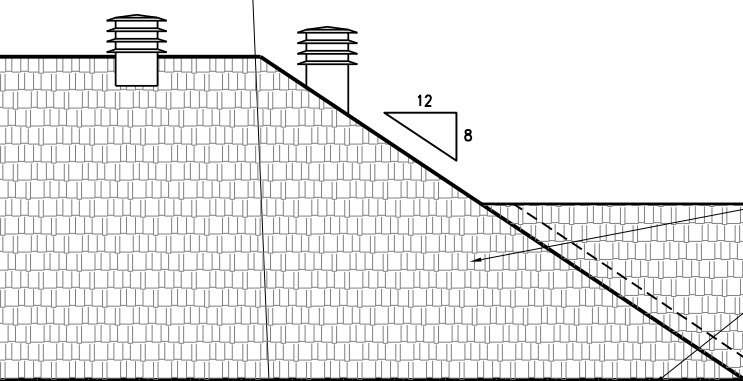
110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.2e

MAXIMUM ROOF VENT (ROOF VENTILATION AS PER OBC - SECTION 9.19.1) (TYP.)



NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

U/S OF TRUSSES

T/O WINDOWS

VINYL HORIZONTAL
SIDING (TYP.)

CORNER TRIM (TYP.)

6'-11"

8'-1"

12"

1'-2"

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

1'-2"

7'-11"

9'-1"

12"

1'-2"

T/O SUBFLOOR

U/S OF JOISTS

T/O WINDOWS

1'-2"

7'-11"

9'-1"

12"

1'-2"

T/O SUBFLOOR

U/S OF JOISTS

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T/O SUBFLOOR

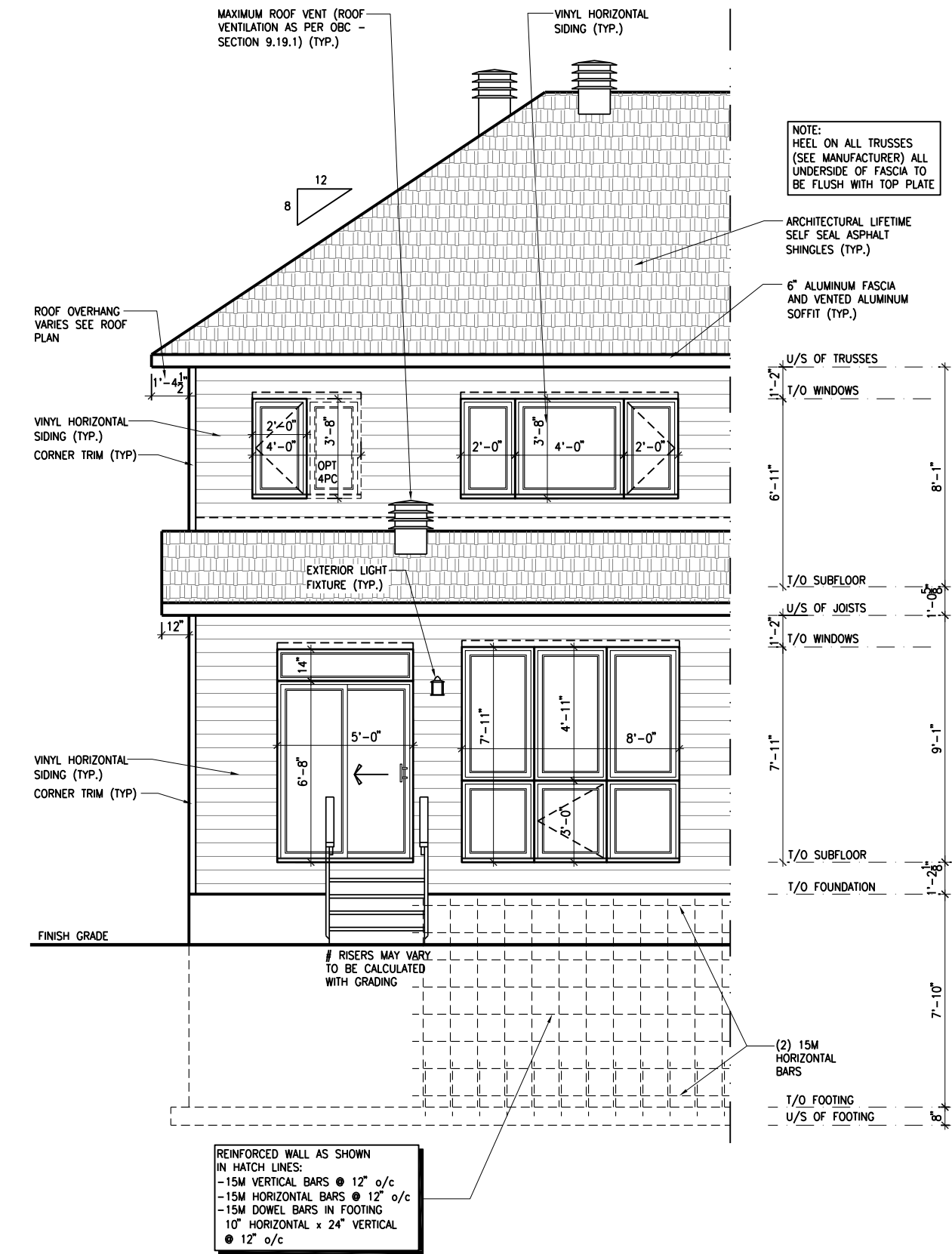
U/S OF JOISTS

T/O WINDOWS

1'-2"

7'-11"

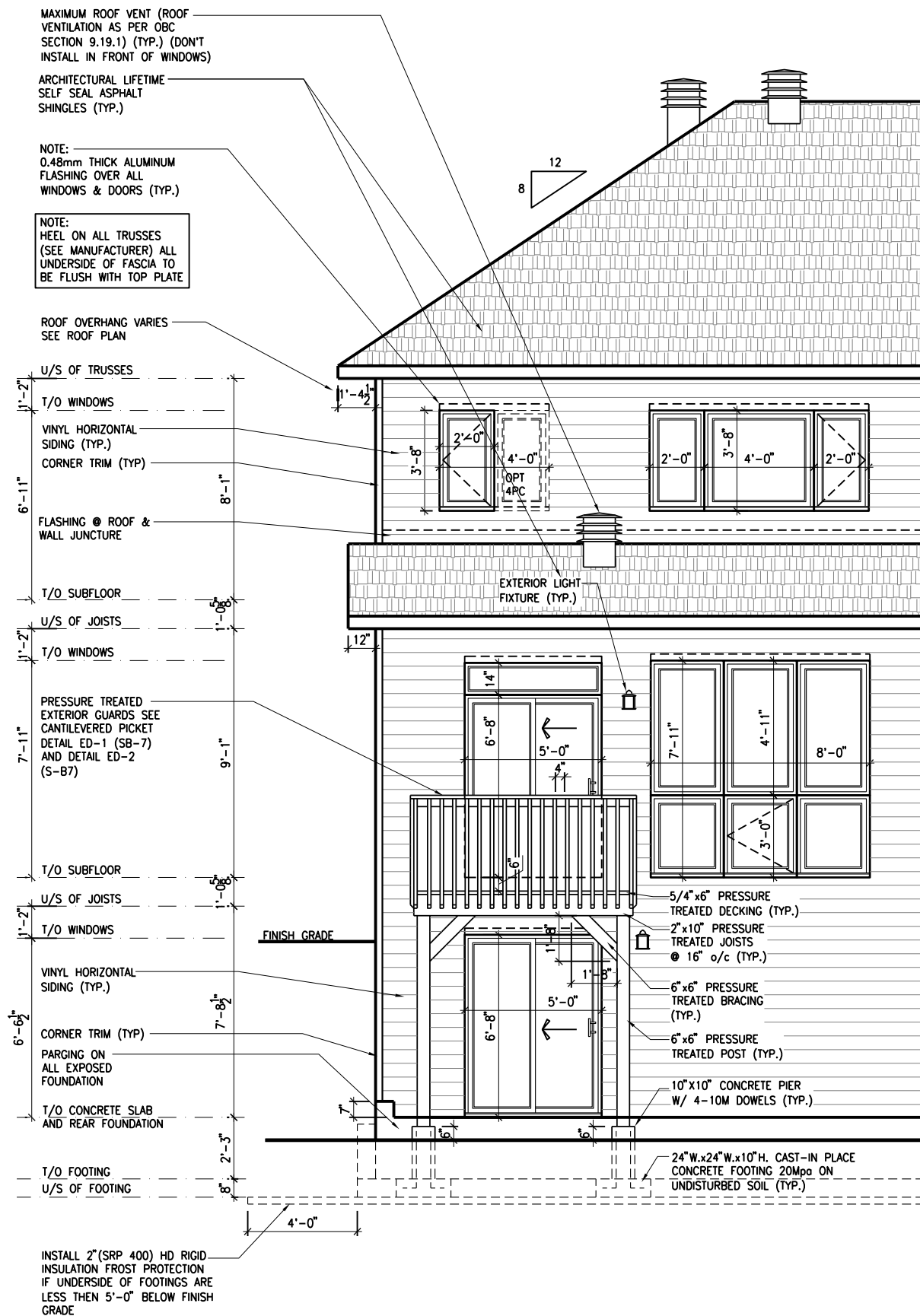
9'-1"



1
A.2f

REAR ELEVATION - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



2
A.2f

REAR ELEVATION - GARAGE END UNIT - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: REAR ELEVATION GARAGE END UNITS

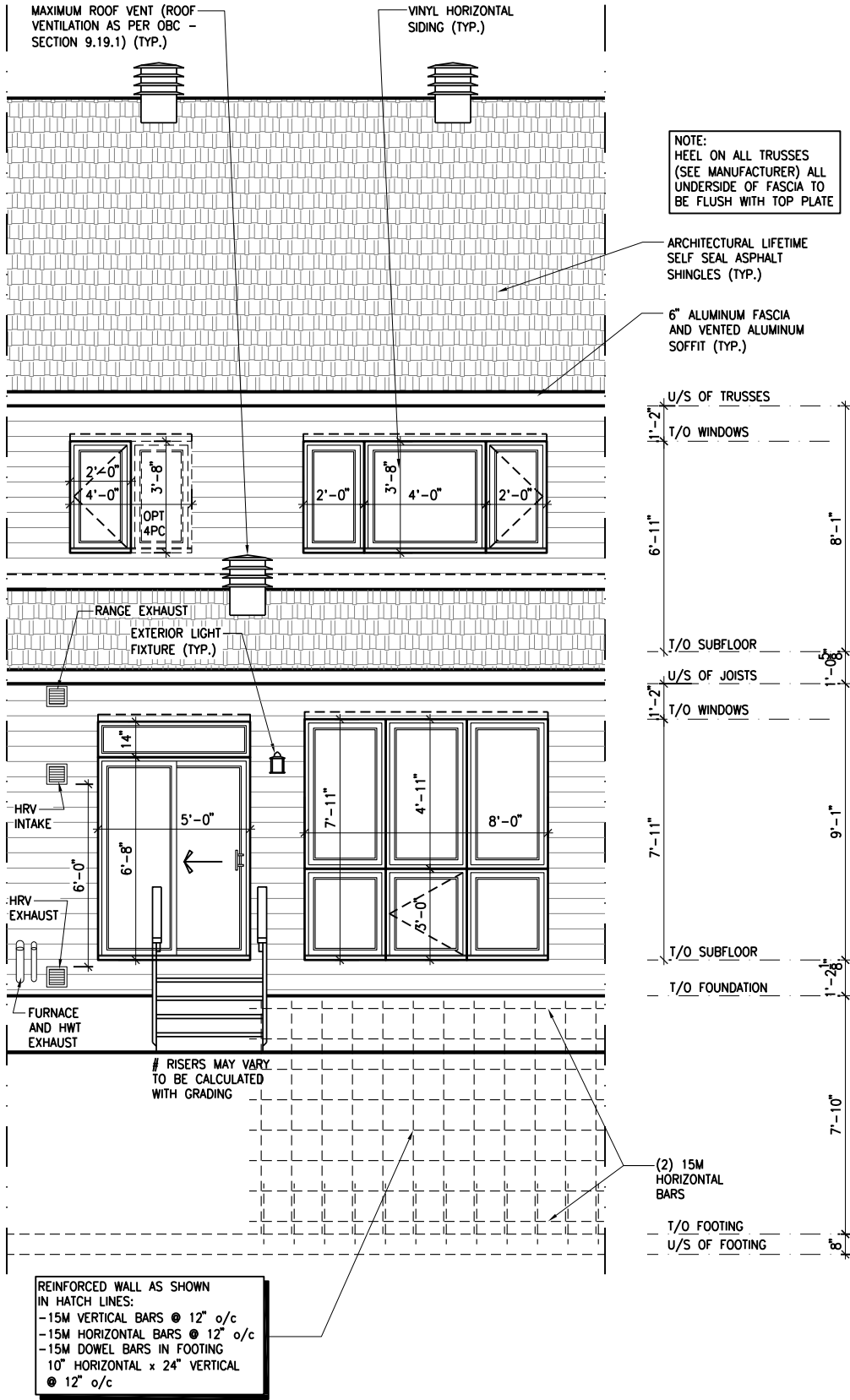
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.2f

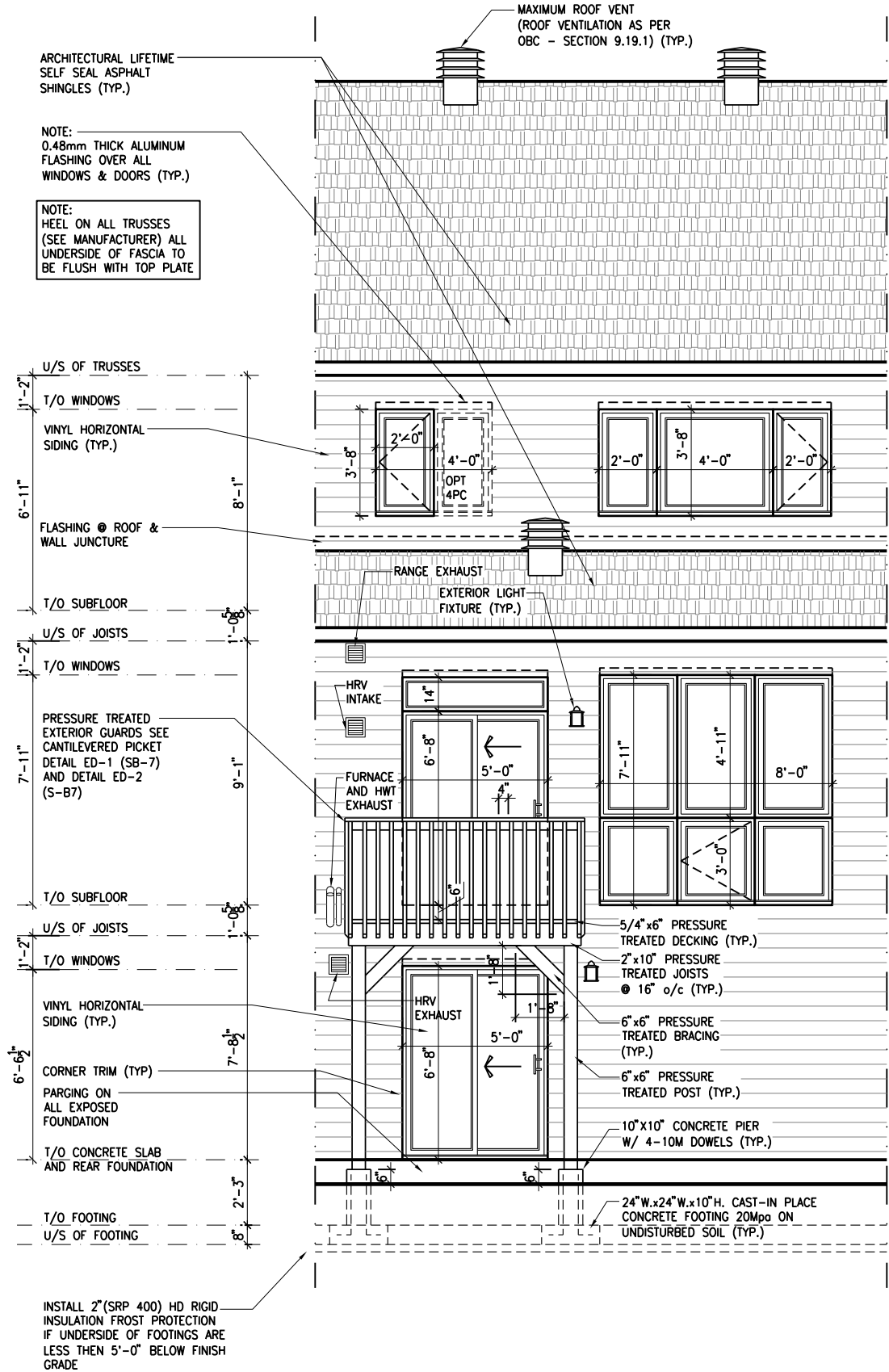
REAR ELEVATION - MID UNIT

SCALE: 3/16" = 1'-0"



REAR ELEVATION - MID UNIT - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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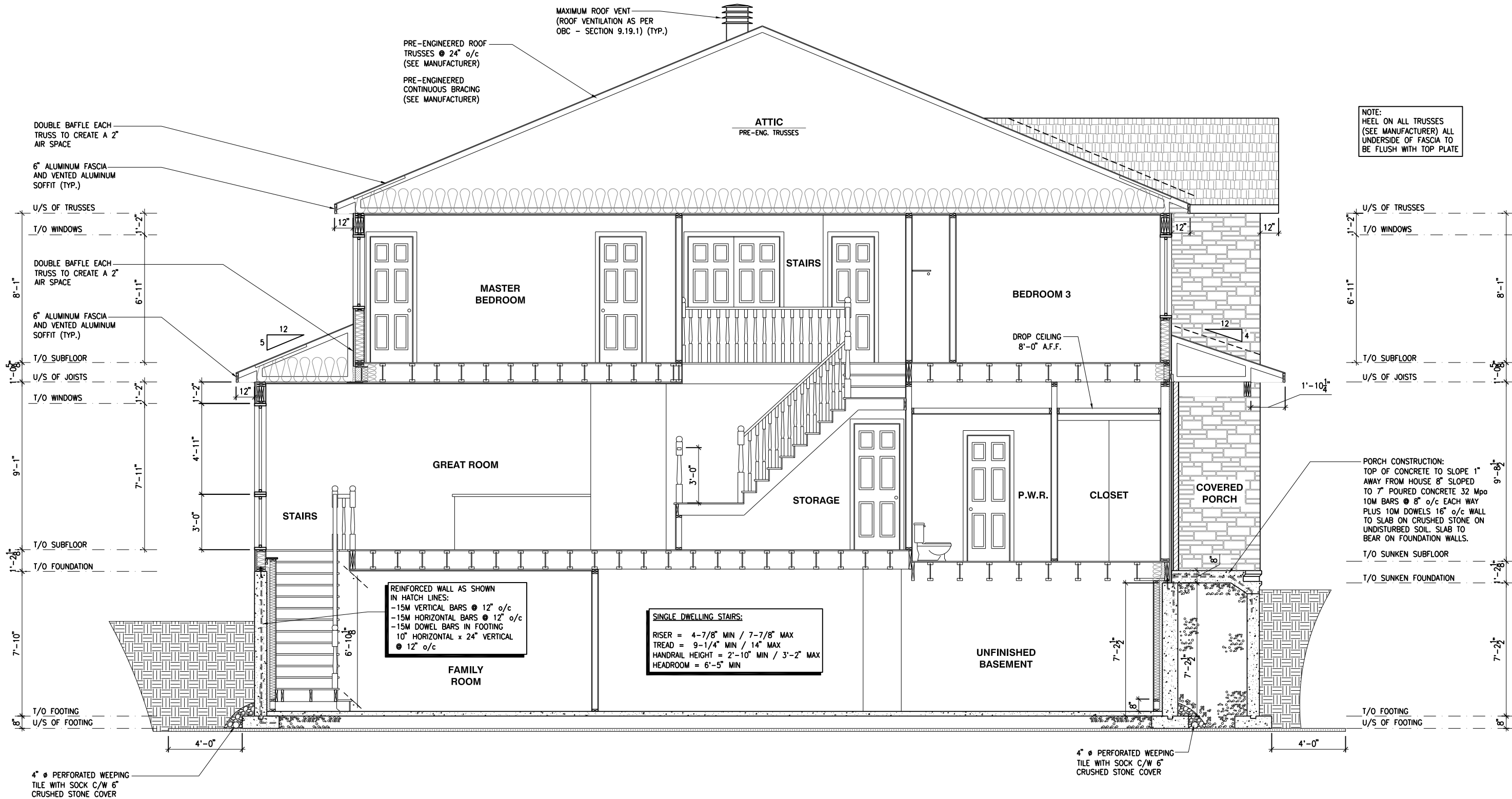
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DRAWING: REAR ELEVATION - MID UNITS

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110 - THE THOMAS
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SHEET:
A.2g



NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

REINFORCED WALL AS SHOWN
IN HATCH LINES:
-15M VERTICAL BARS @ 12" o/c
-15M HORIZONTAL BARS @ 12" o/c
-15M DOWEL BARS IN FOOTING
10" HORIZONTAL x 24" VERTICAL
@ 12" o/c

SINGLE DWELLING STAIRS:
RISER = 4-7/8" MIN / 7-7/8" MAX
TREAD = 9-1/4" MIN / 14" MAX
HANDRAIL HEIGHT = 2'-10" MIN / 3'-2" MAX
HEADROOM = 6'-5" MIN

PORCH CONSTRUCTION:
TOP OF CONCRETE TO SLOPE 1"
AWAY FROM HOUSE 8" SLOPED
TO 7" POURED CONCRETE 32 Mpa
10M BARS @ 8" o/c EACH WAY
PLUS 10M DOWELS 16" o/c WALL
TO SLAB ON CRUSHED STONE ON
UNDISTURBED SOIL. SLAB TO
BEAR ON FOUNDATION WALLS.

1 A.3a **BUILDING SECTION** SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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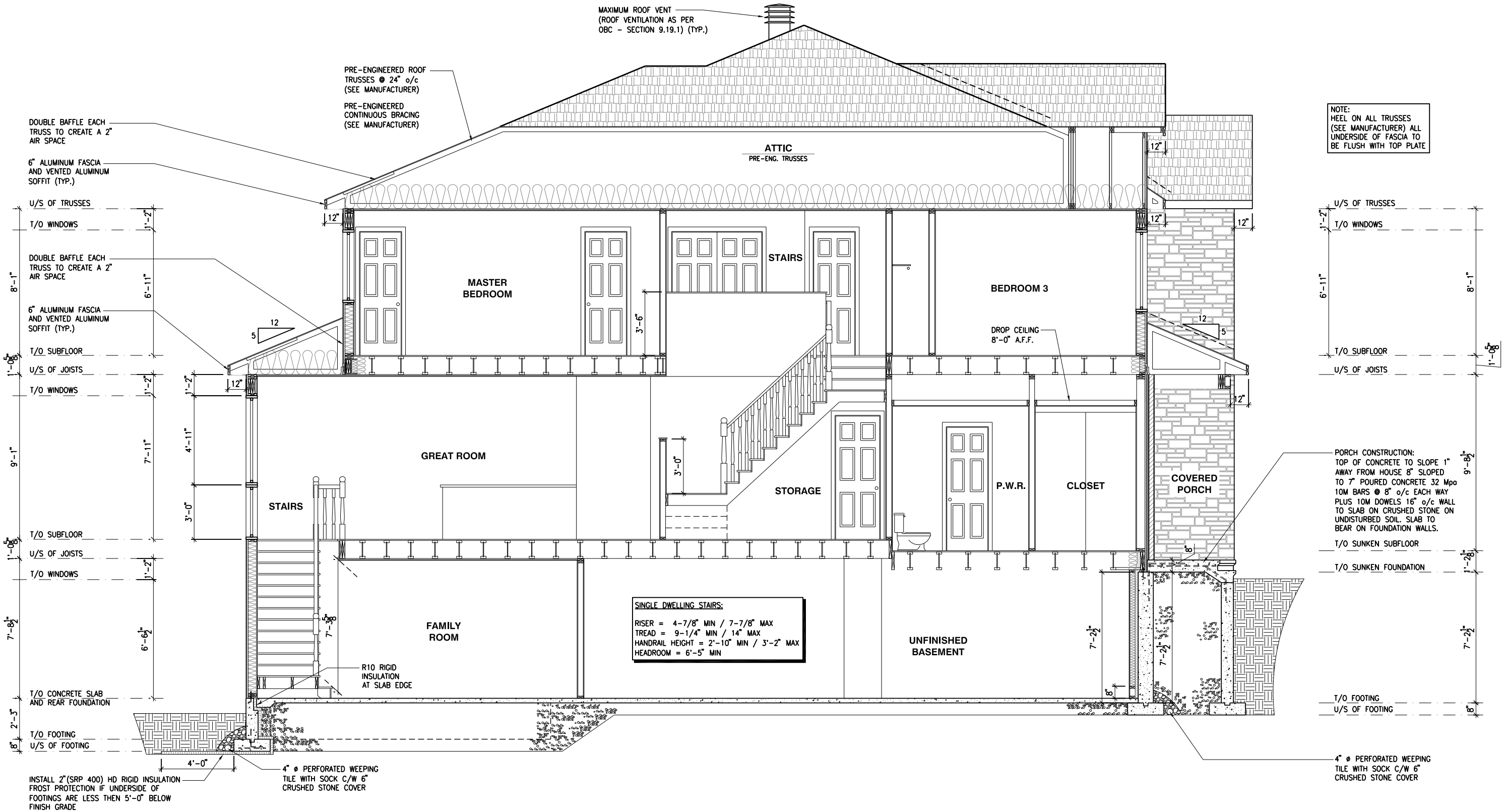
DRAWING: **BUILDING SECTION**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A.3a



BUILDING SECTION - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

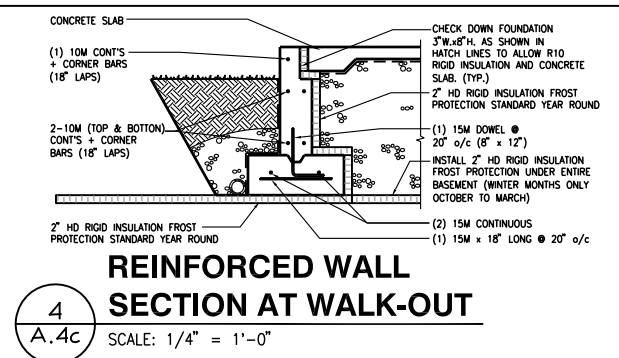
2012 O.B.C. DRAWINGS

DRAWING: BUILDING SECTION WALKOUT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT (STANDARD DRAWINGS) SHEET: A.3b

SCALE: $3/16'' = 1'-0''$



Valecraft
Homes Ltd.

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);

- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT
THE TIME OF EXCAVATION.

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% ($\pm 1\%$) AIR ENTRAINMENT;

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAH
NO.	DESCRIPTION	MM/DD/YYYY	BY

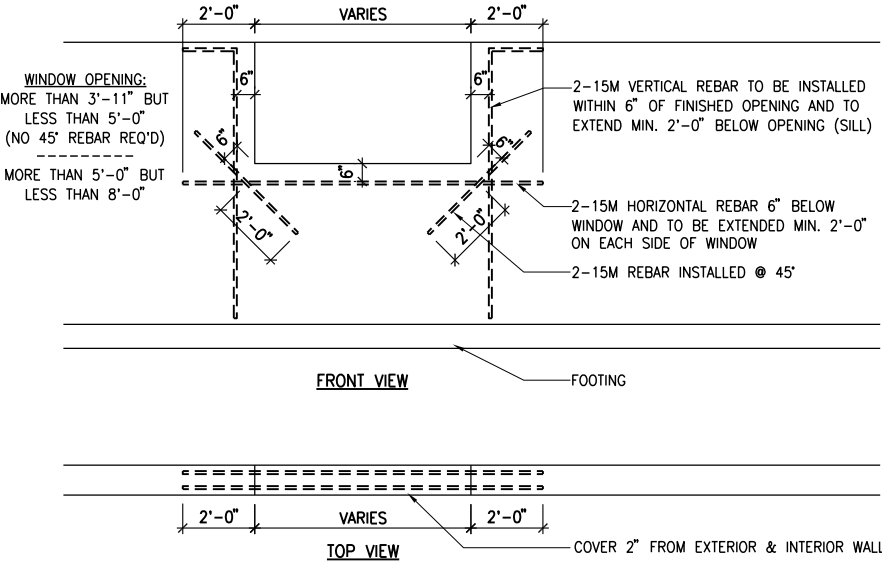
DRAWING: **FOOTING PLAN**
WALKOUT - PORCH END UNIT

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

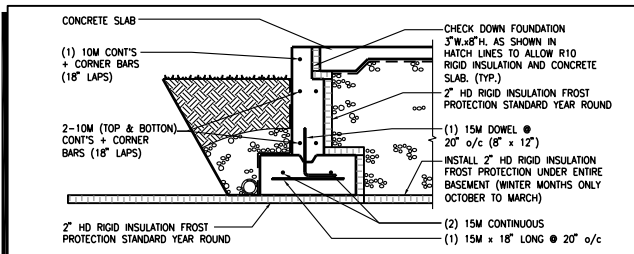
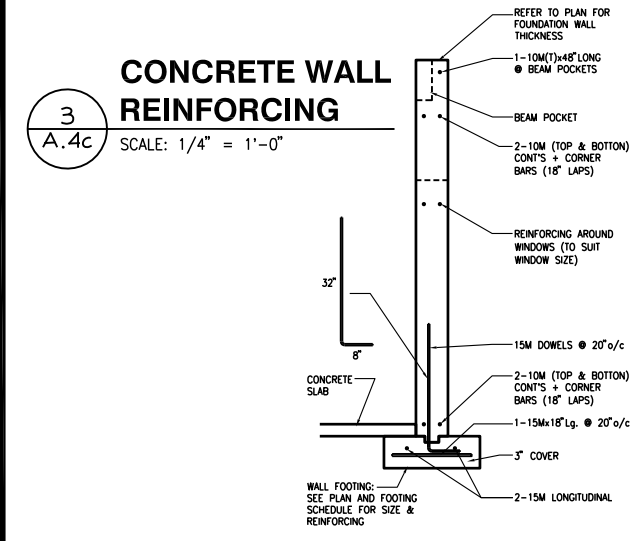
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

A.4d

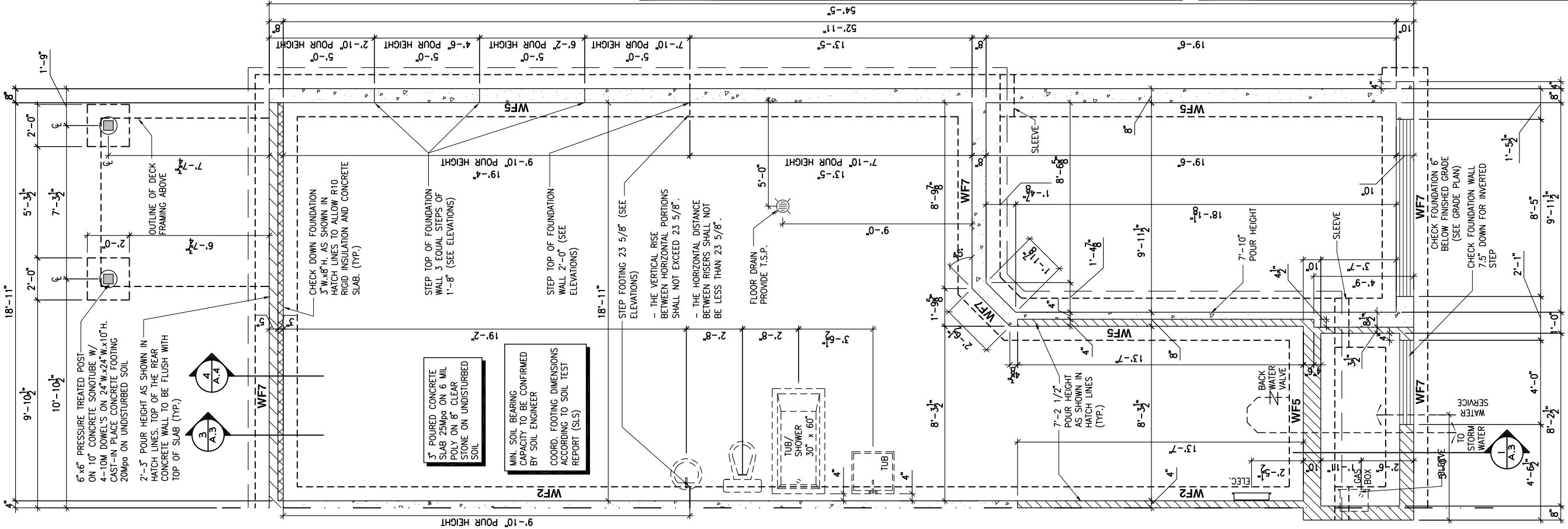
FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS
PAD FOOTING SCHEDULE				
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»				
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 12"H.



2 BASEMENT WINDOW REINFORCING
A.4c SCALE: 3/16" = 1'-0"



4 REINFORCED WALL SECTION AT WALK-OUT
A.4c SCALE: 1/4" = 1'-0"



1 FOOTING PLAN - WALKOUT - GARAGE END UNIT
A.4f SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- NOTES:
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 - FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
 - CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (±1%) AIR ENTRAINMENT;
 - REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: FOOTING PLAN
WALKOUT - GARAGE END UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.4f

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
 - 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
 - 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
 - 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
 - 5 3-2"x10" PRESSURE TREATED (FLUSH)
 - 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:


- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT:XXXX

DATE:XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = L 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
 - (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN

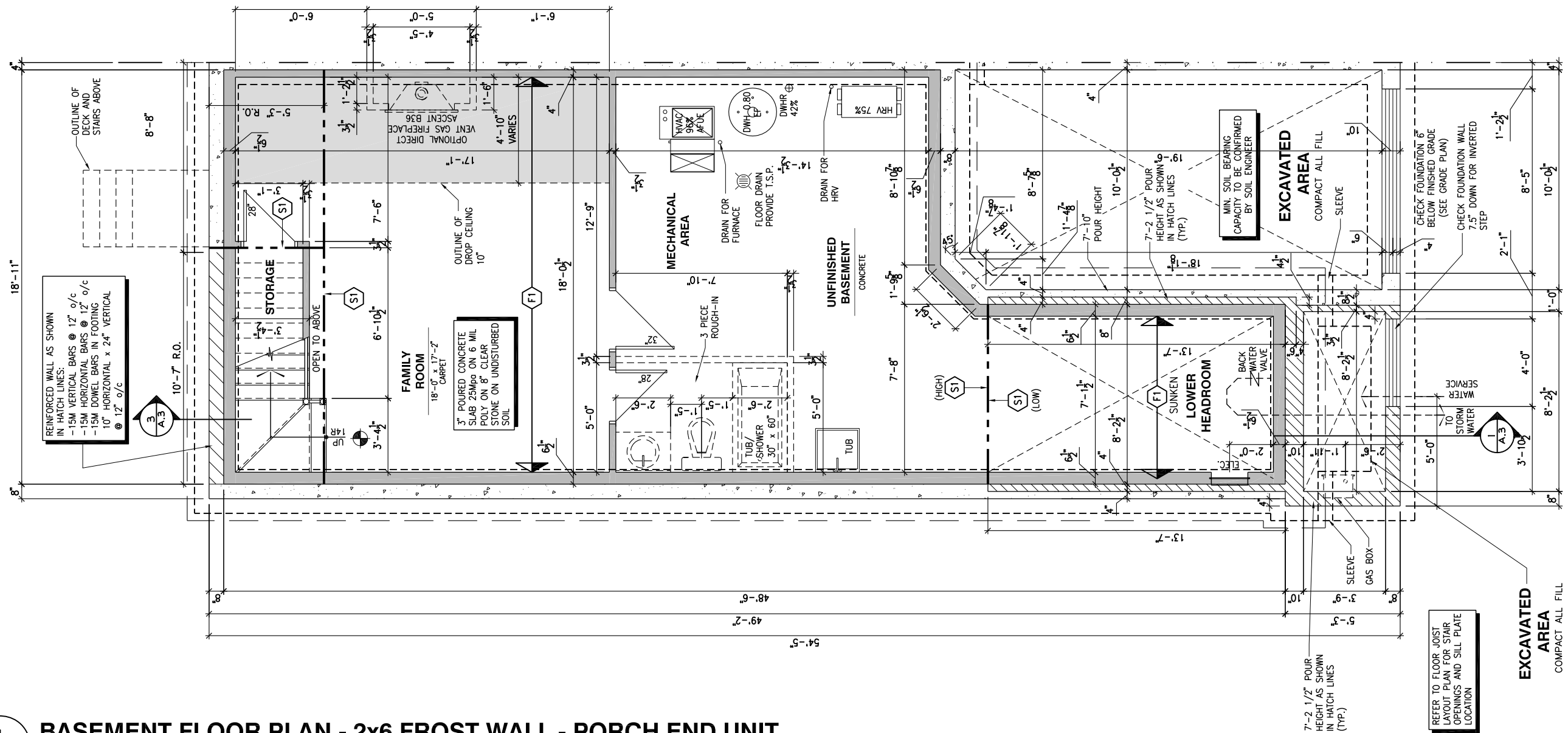
2x6 FROST WALL - PORCH END

ADDRESS:XXSCALE:3/16" = 1'-0"DATE:XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.5a



- FLOOR FRAMING:
- F1

11 3/8" PRE-ENG. OPEN JOIST TRIFORME @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2

2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3

2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1

REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)
- GENERAL NOTES:
- 1

ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2

ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3

COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2

2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3

RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4

2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5

3-2"x10" PRESSURE TREATED (FLUSH)
- 6

JOIST HANGERS AT EVERY JOIST CONNECTION

- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;

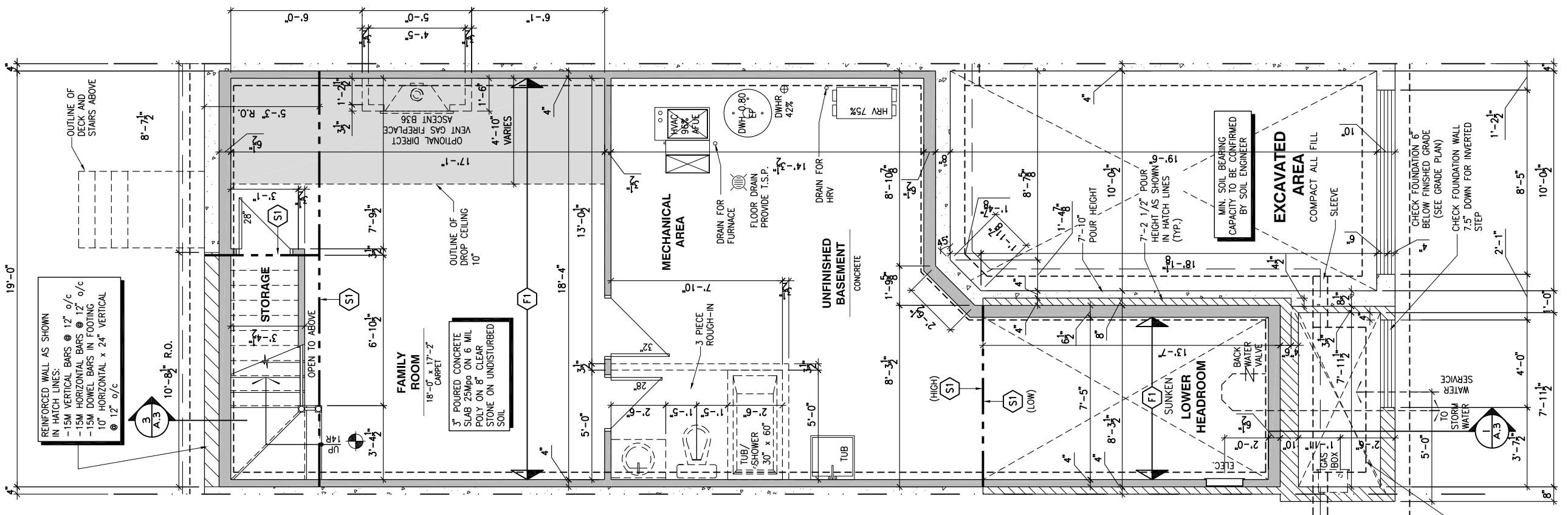
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND

B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



1A.5b

BASEMENT FLOOR PLAN - 2x6 FROST WALL - MID UNIT

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

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- PERSONAL BCIN #19896

- TARION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

S1 = L 90x90x6

S2 = L 90x90x8

S3 = L 100x90x8

S4 = L 125x90x8

S5 = L 125x90x10

S6 = L 200x100x12

S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES

L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP

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P5 = 5-2x4 OR 5-2x6

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN

2x6 FROST WALL - MID UNIT

ADDRESS:XX

SCALE:3/16" = 1'-0"

DATE:XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

STANDARD DRAWINGS)

SHEET: A.5b

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
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- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
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NOTES:

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- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
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BASEMENT NOTE:

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LOT: XXXX

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Valecraft
Homes Ltd.

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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DRAWING: **BASEMENT FLOOR PLAN**
2x6 FROST WALL - GARAGE END

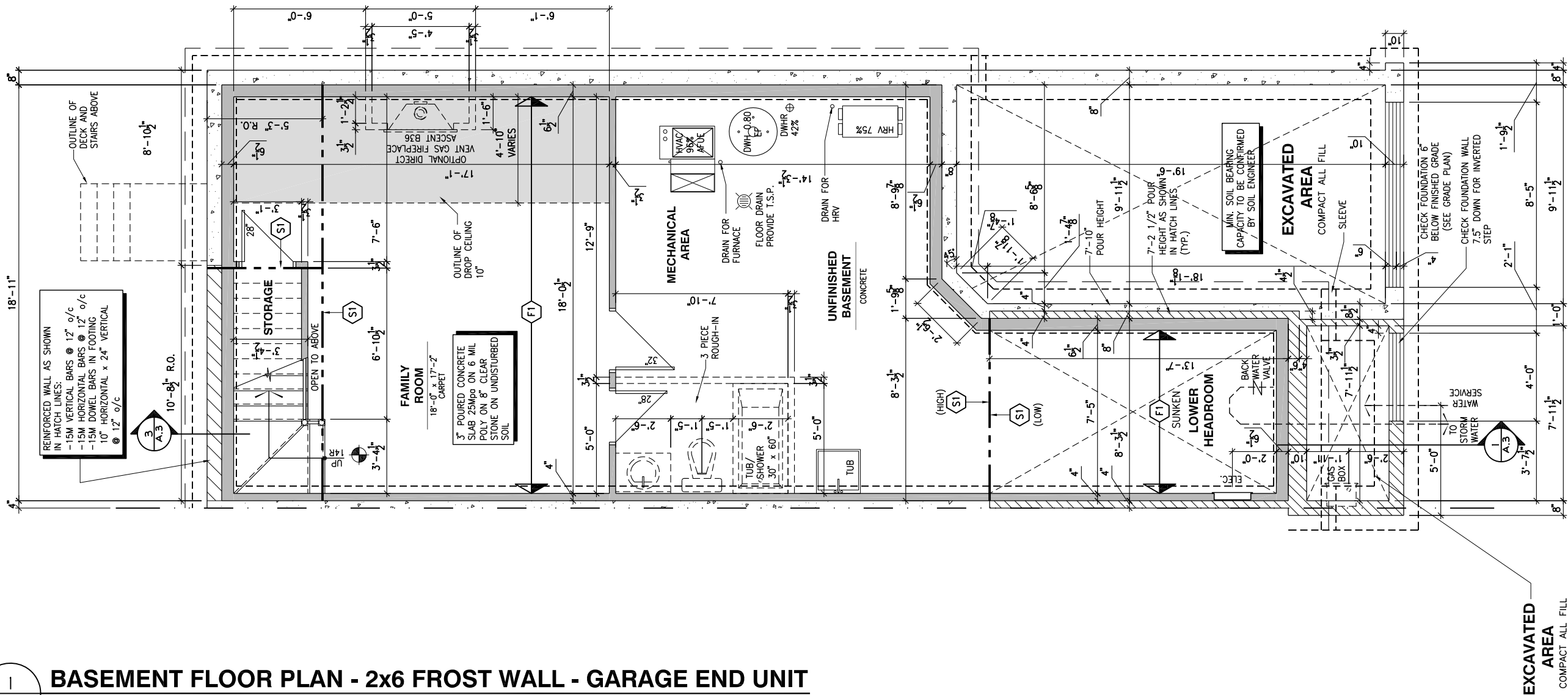
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

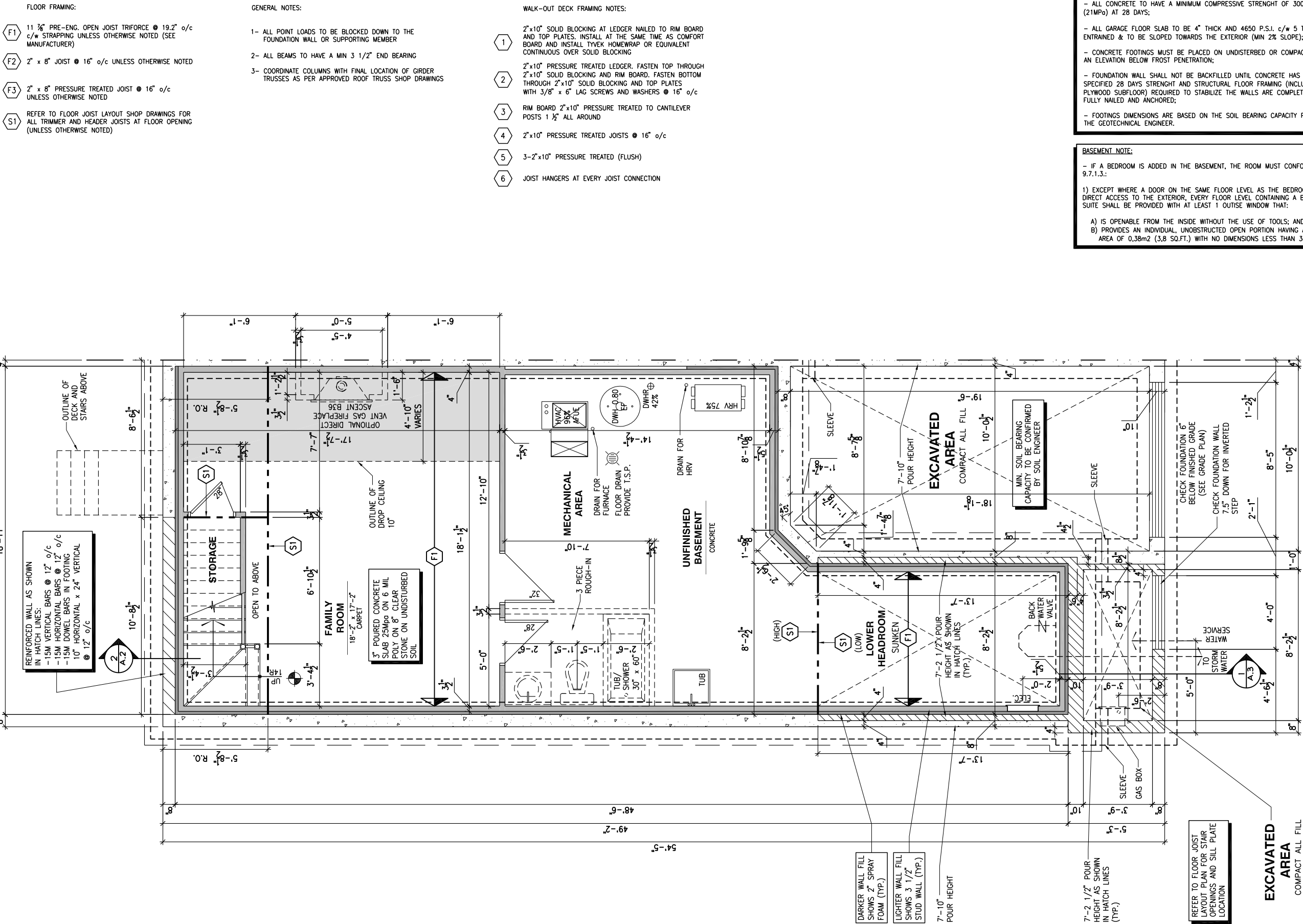
SHEET:

A.5c



1 BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT

A.5c SCALE: 3/16" = 1'-0"



1
A.5d

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

**DRAWING: BASEMENT FLOOR PLAN
ENERGY STAR - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**110 - THE THOMAS
2020 FOOTPRINT**

(STANDARD DRAWINGS)

A.5d

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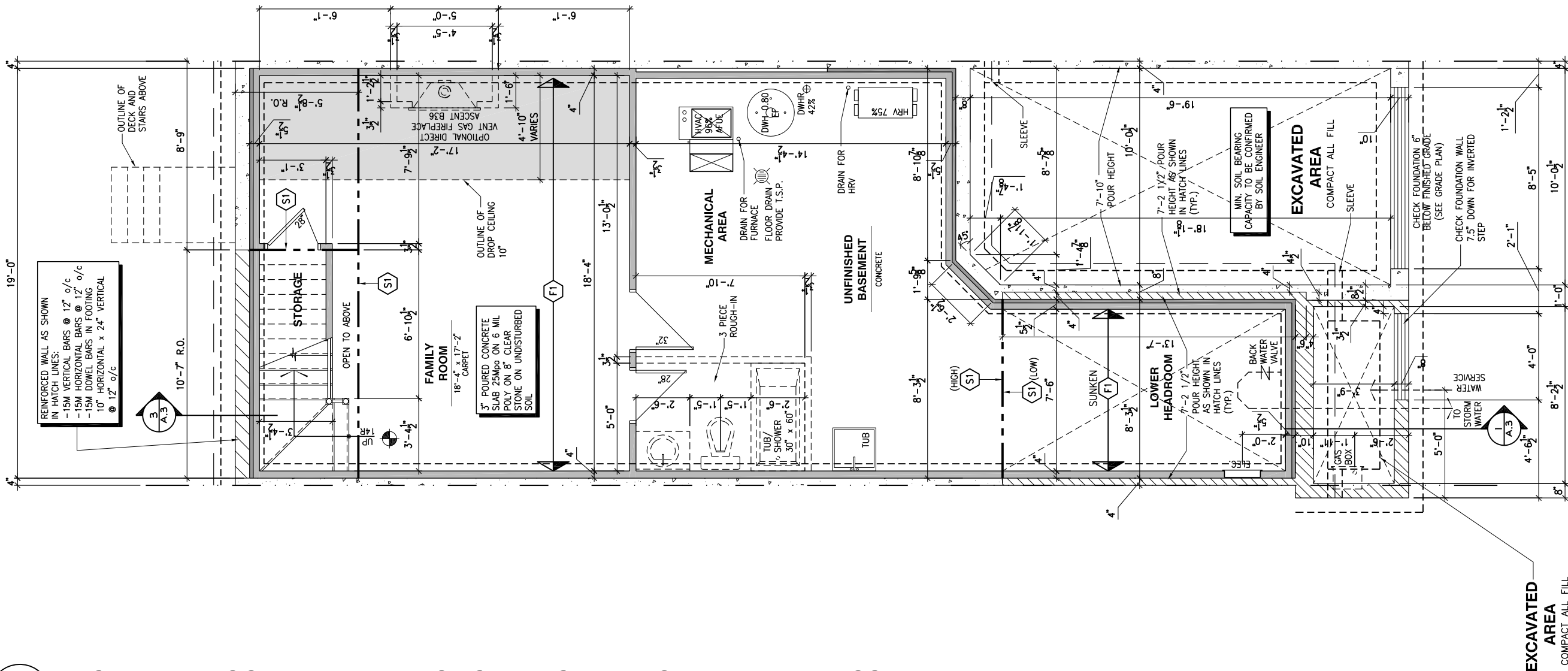
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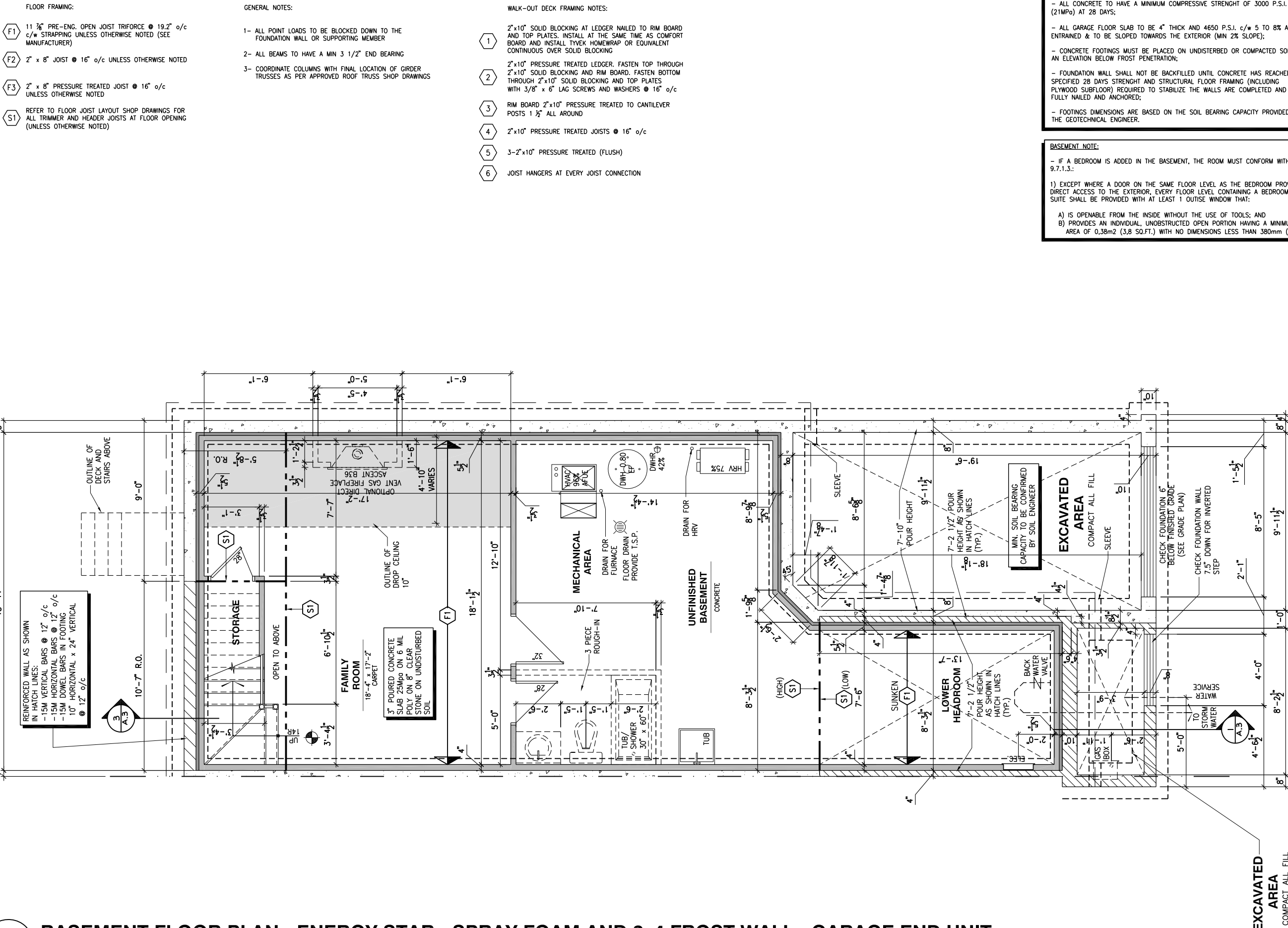
110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A.5e



1 BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT
A.5e SCALE: 3/16" = 1'-0"



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 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER
- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
 - (+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
- POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS				
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON	
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH	
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH	
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	
DRAWING: BASEMENT FLOOR PLAN				
ENERGY STAR - GARAGE END				
ADDRESS:	SCALE:	DATE:		
XX	3/16" = 1'-0"	XX/XX/XXXX		
110 - THE THOMAS 2020 FOOTPRINT				SHEET:
(STANDARD DRAWINGS)				A.5f

F1	11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c C/W STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
F2	2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
F3	2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
S1	REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

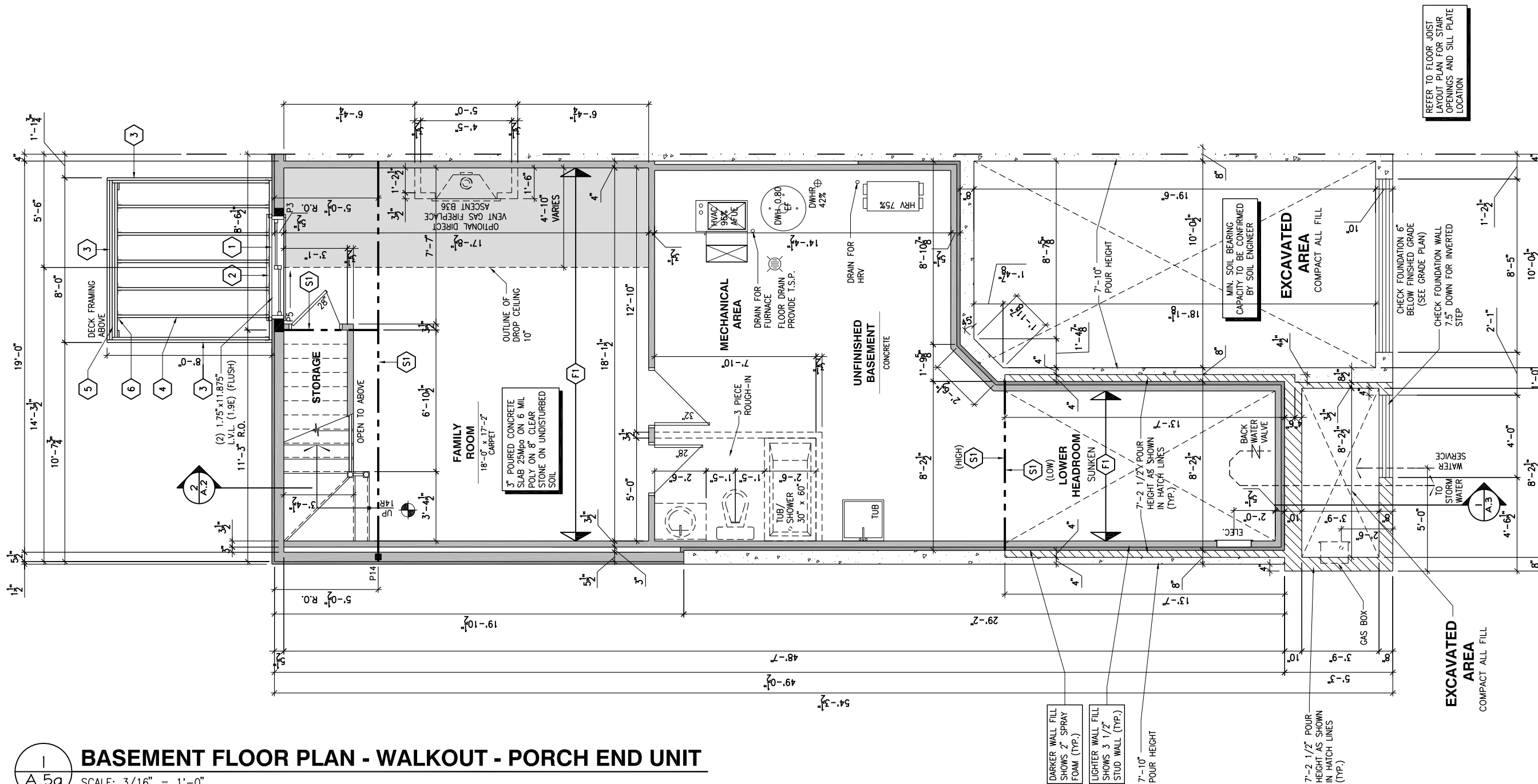
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. C/W 5 TO 8% AIR ENCLOSED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



LOT: _____ **XXXX**
DATE: _____ **XX/XX/XXXX**



- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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NOTES

STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
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POST TABLE:

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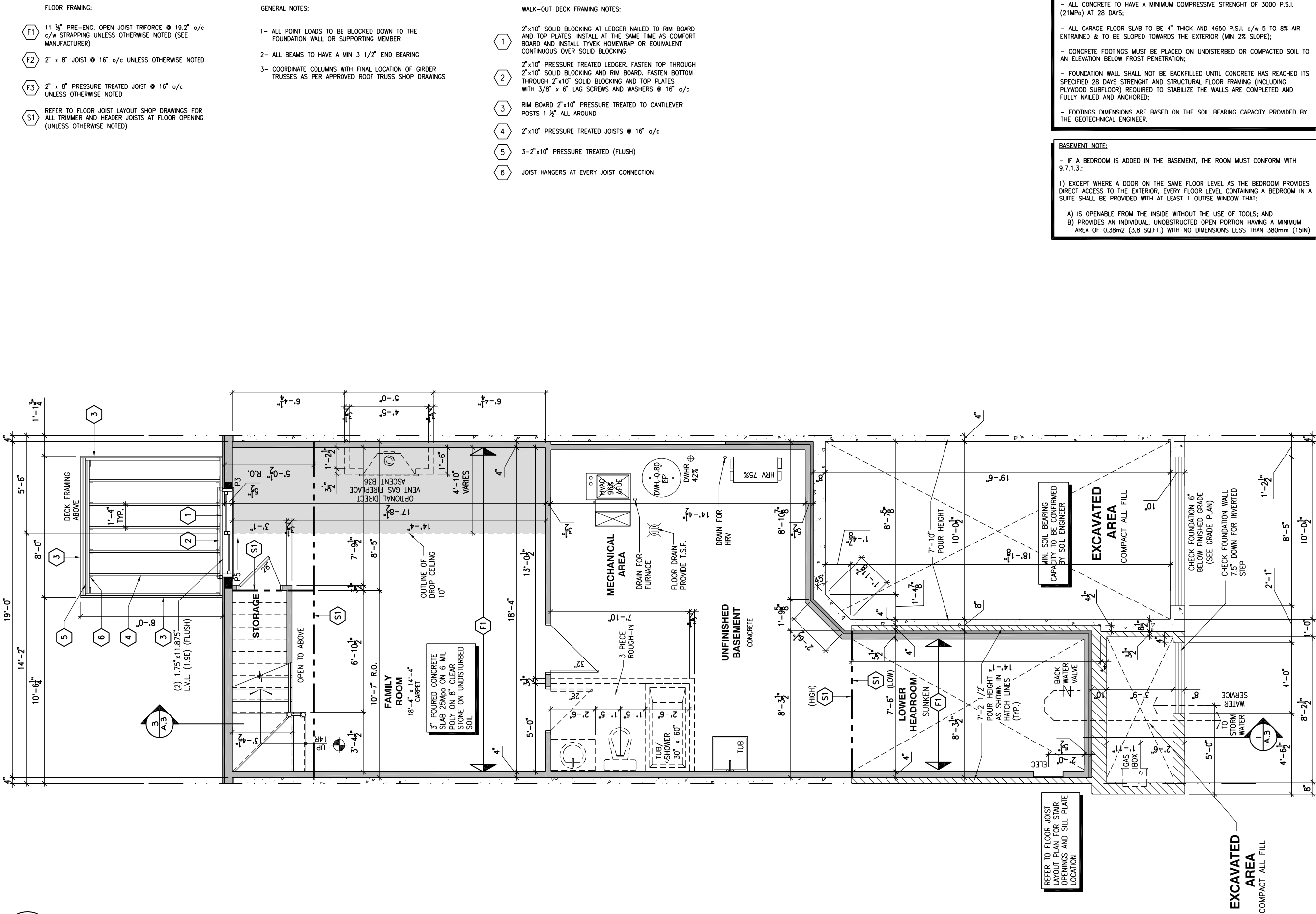
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NO.	DESCRIPTION	MM/DD/YYYY	By

DRAWING: **BASEMENT FLOOR PLAN**
WALKOUT - PORCH END UNIT

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
 (STANDARD DRAWINGS)



1 A.5h

BASEMENT FLOOR PLAN - WALKOUT - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **BASEMENT FLOOR PLAN WALKOUT - MID UNIT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.5h



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- TARIION REGISTRATION NUMBER #611

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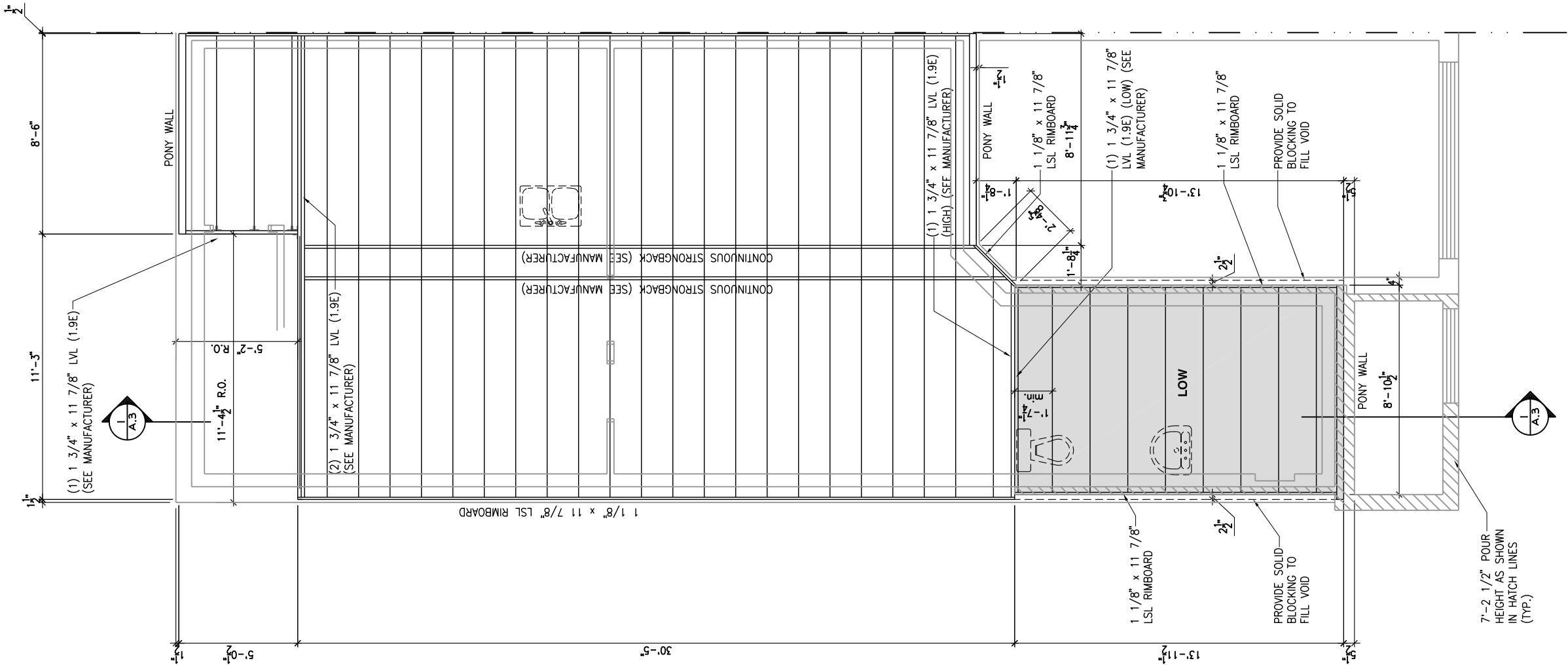
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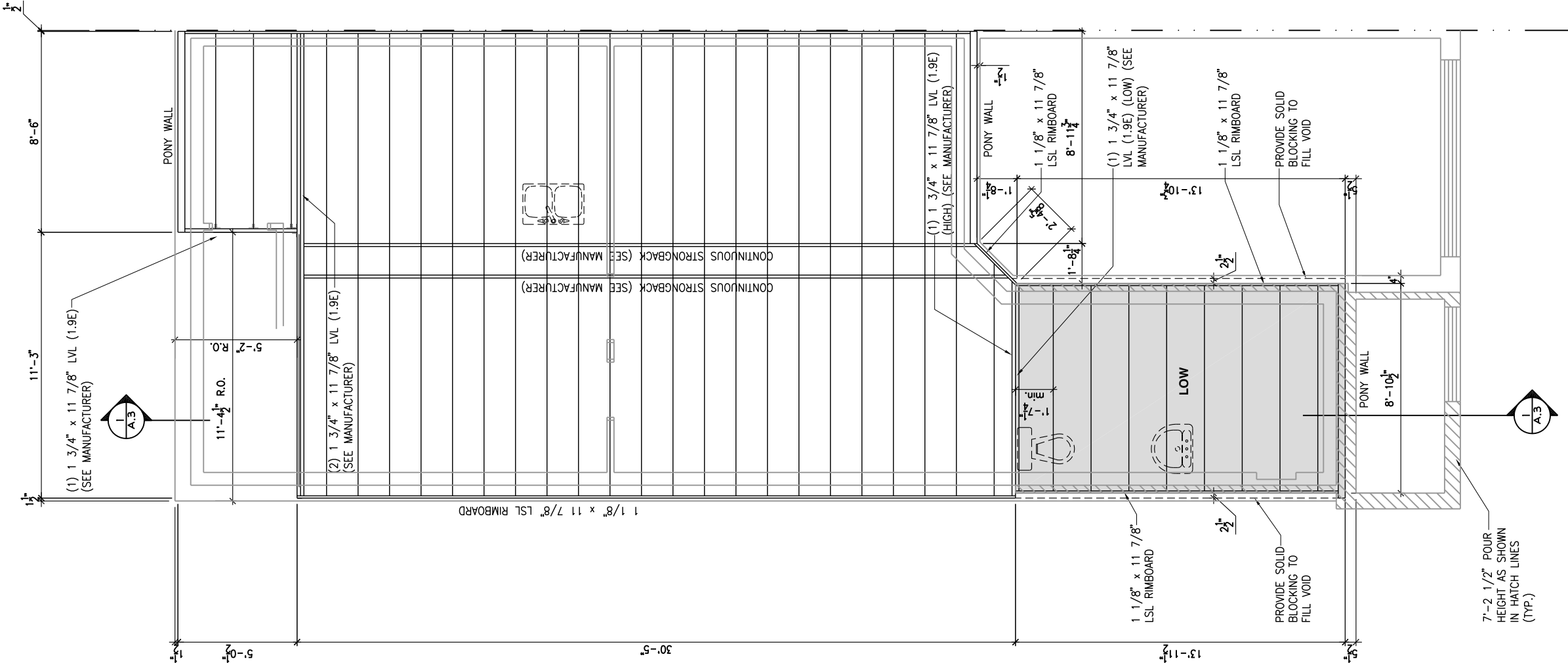
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1A.6b

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

ADDRESS:XXSCALE:3/16" = 1'-0"DATE:XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT(SHED)

A.6b

SHEET:

LOT: XXXX
DATE: XX/XX/XXXX



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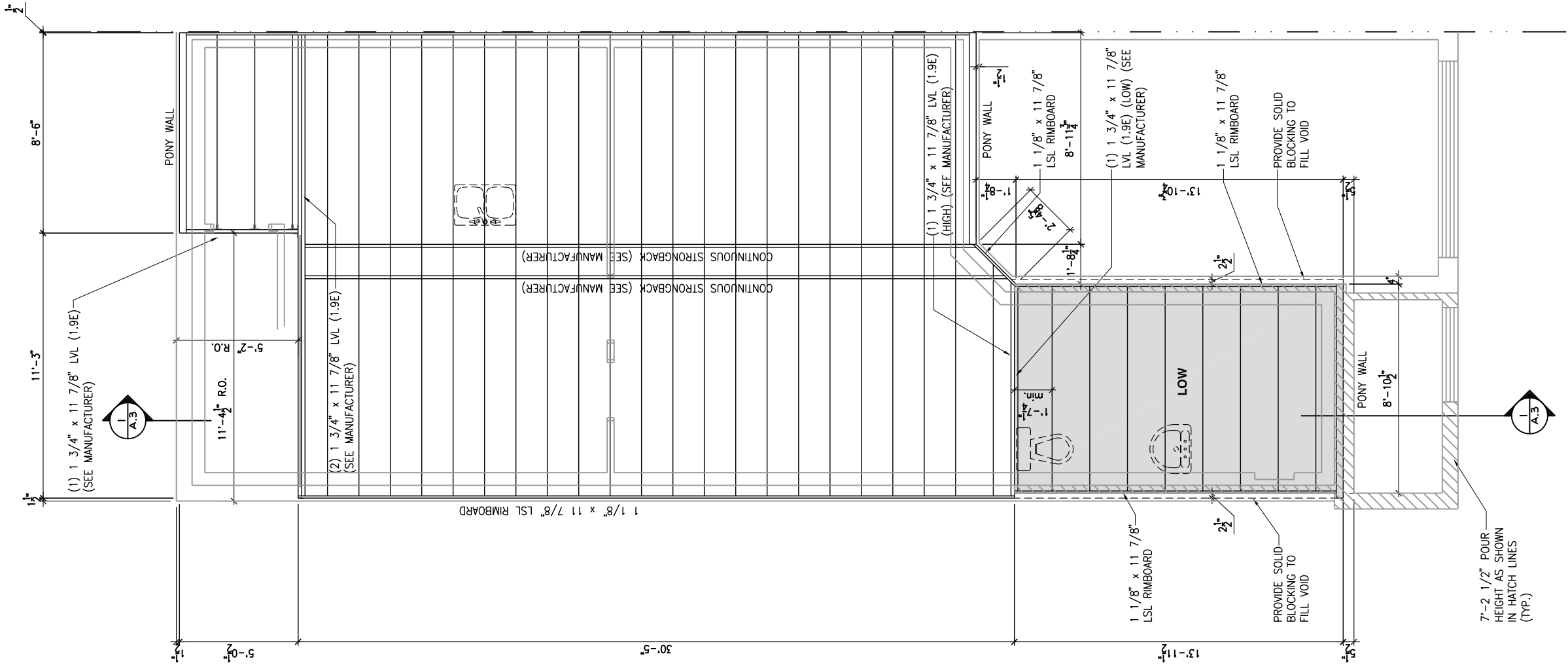
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DRAWING: GROUND FLOOR - FLOOR
JOIST FRAMING - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

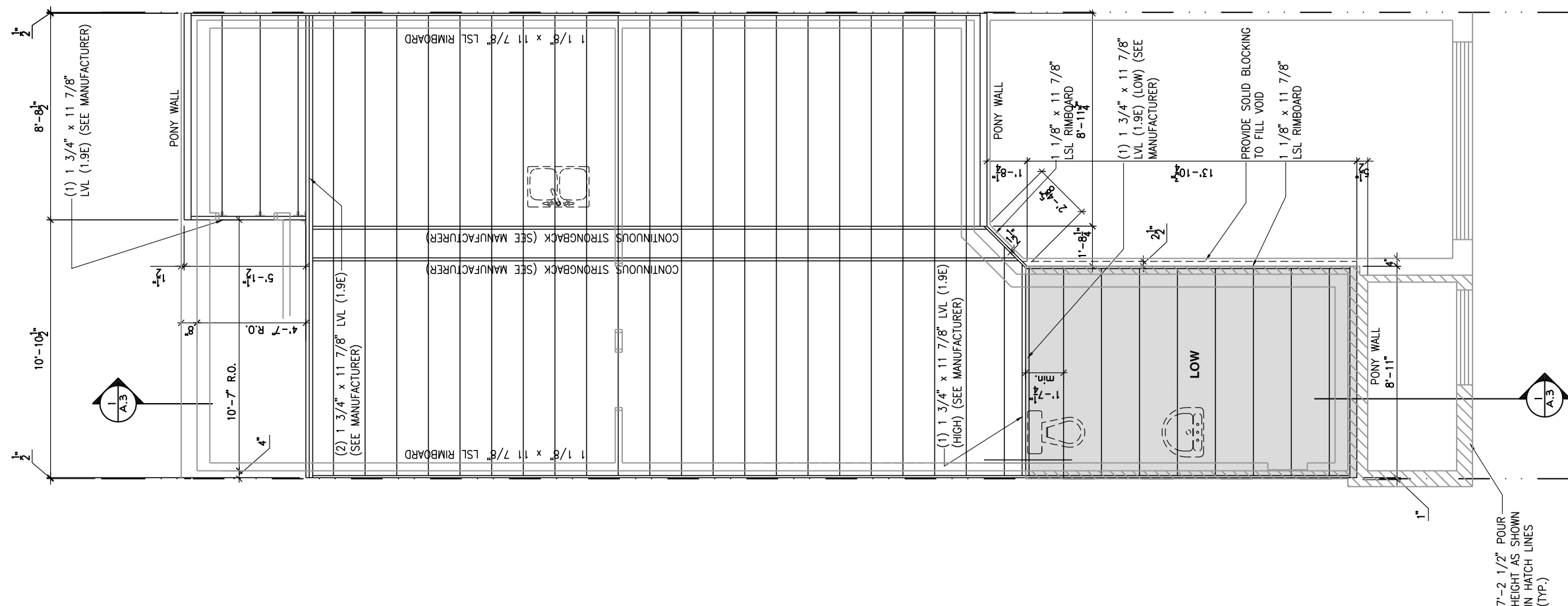
(STANDARD DRAWINGS)

SHEET:

A.6c

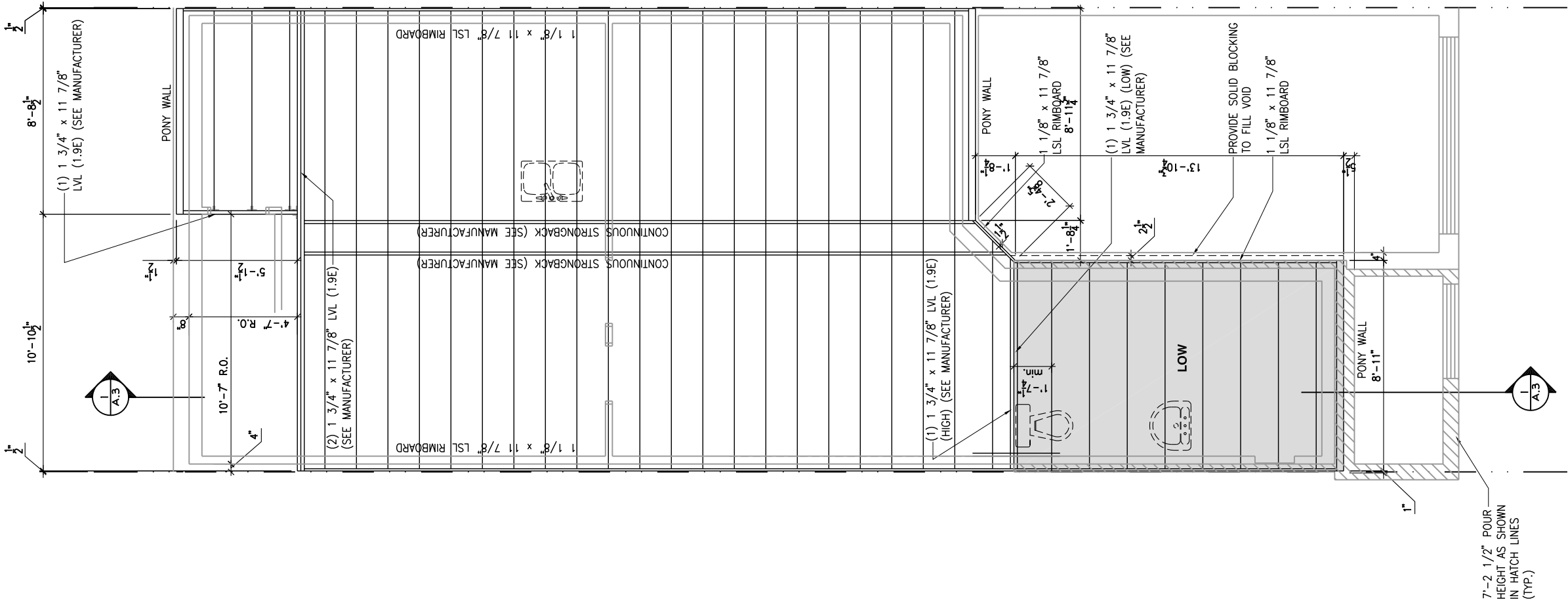
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A.6d

SCALE: 3/16" = 1'-0"



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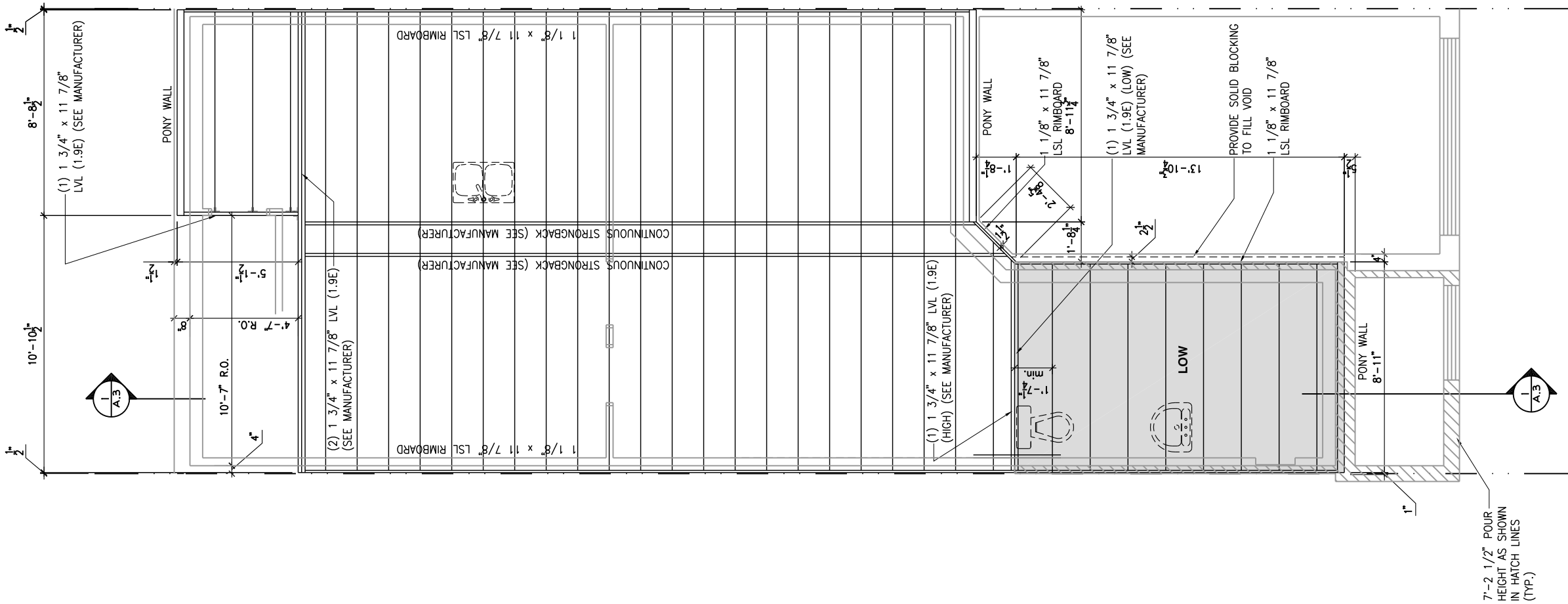
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DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX



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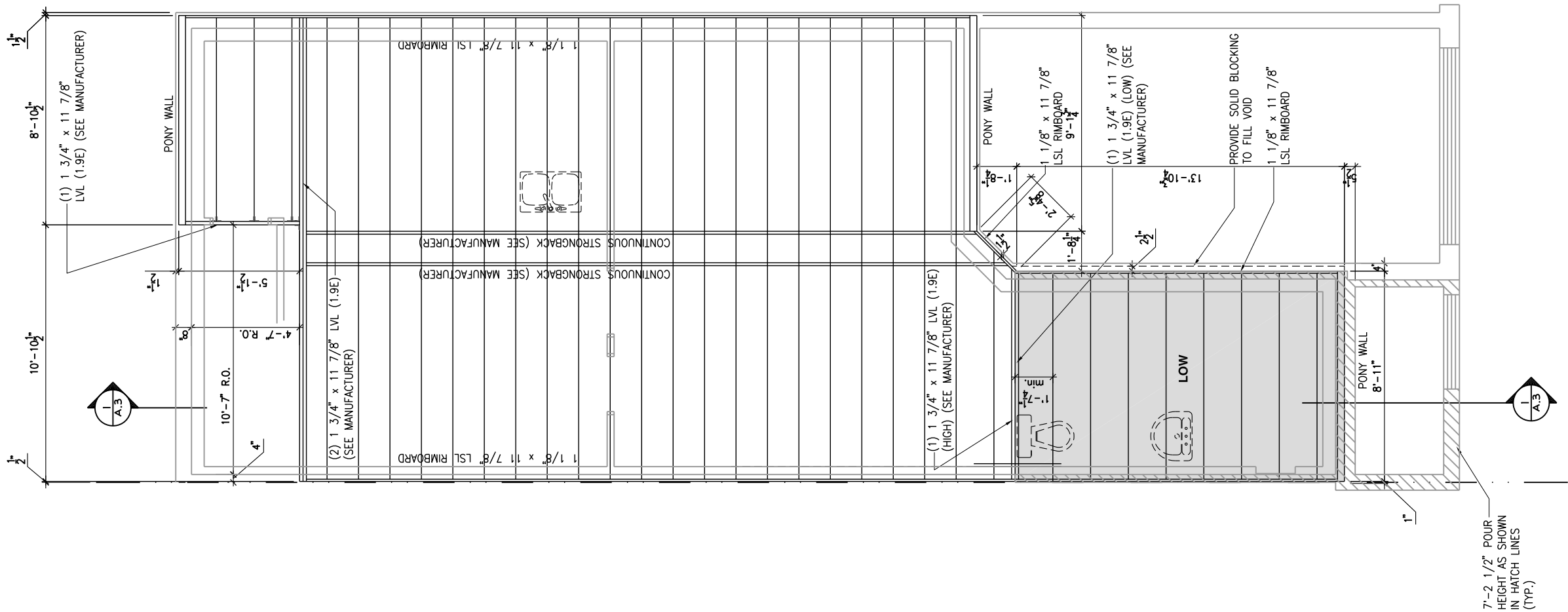
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110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.6f



1
A.6g

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - GARAGE END

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.6g

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

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ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

(STANDARD DRAWINGS)

SHEET:

A.6h

SCALE: 3/16" = 1'-0'

1
A.6h


Valecraft
Homes Ltd.

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ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

SHEET:
A.6i

SCALE: 3/16" = 1'-0"

1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

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- PERSONAL BCIN #19896
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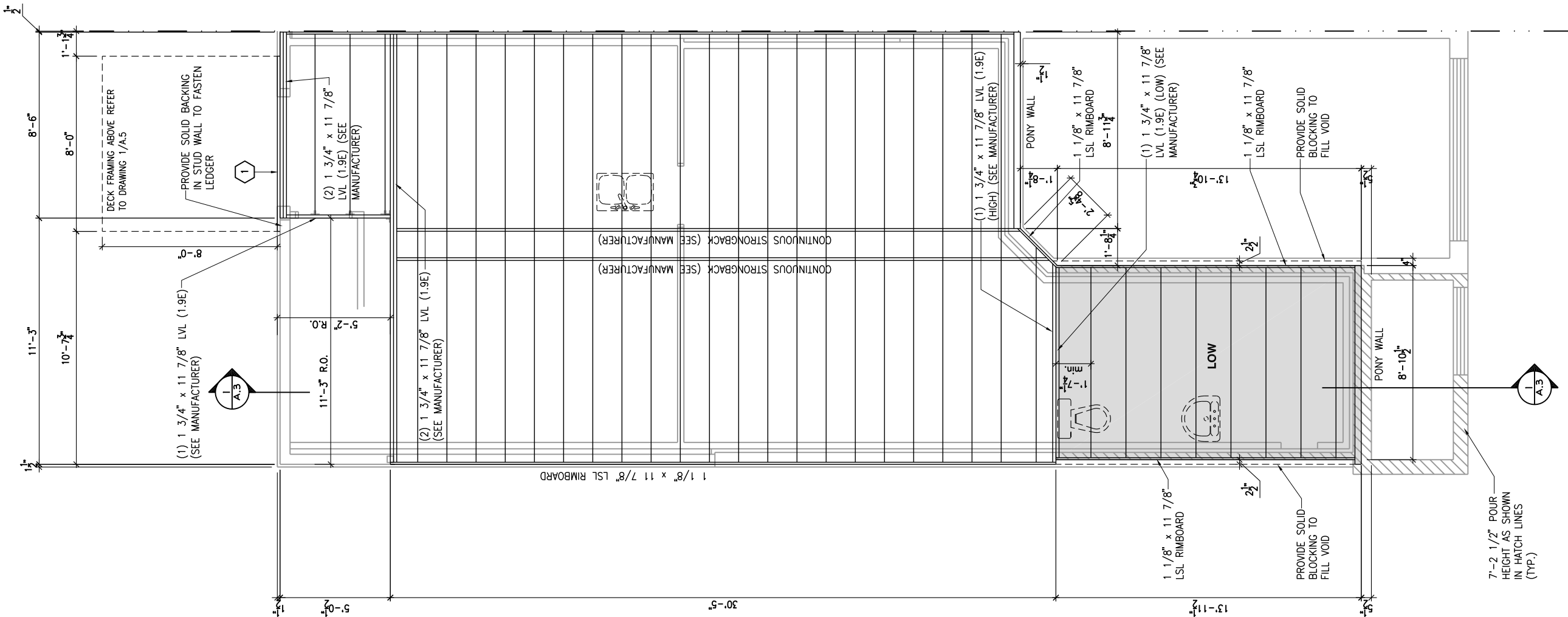
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1
A.6j

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

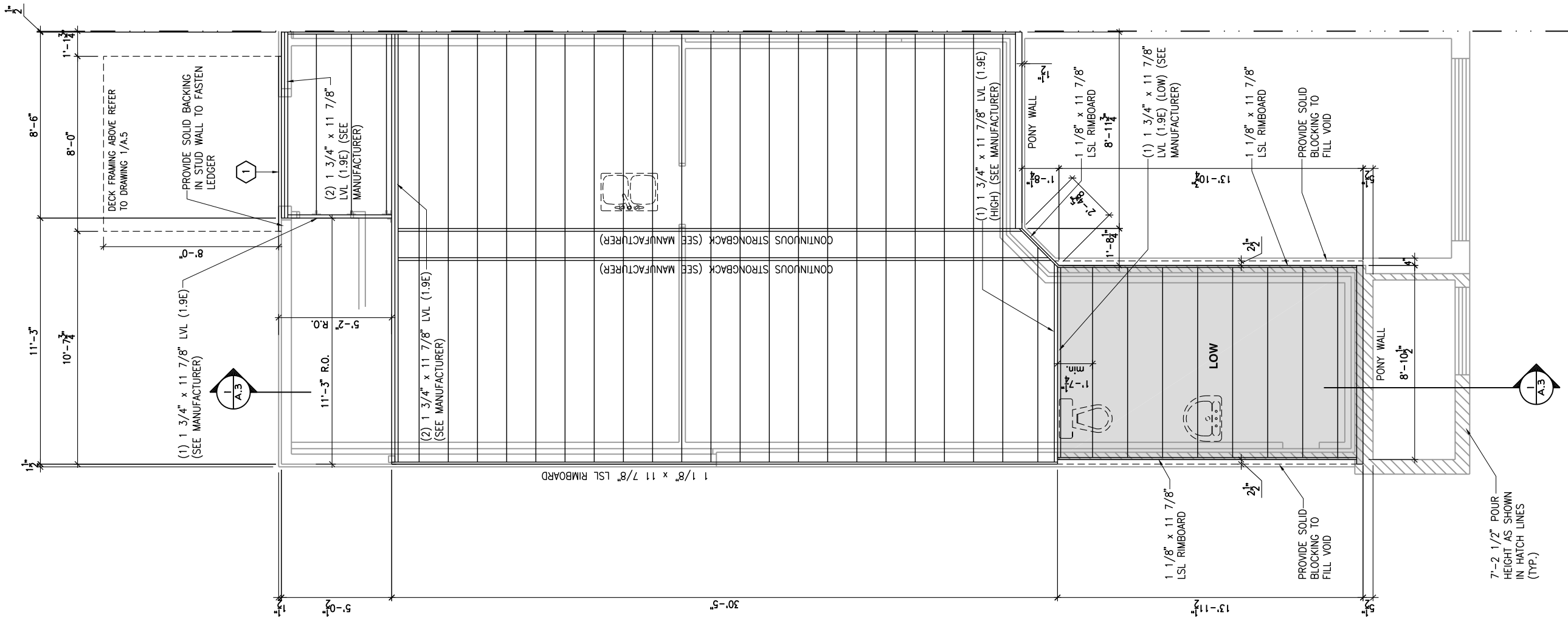
(STANDARD DRAWINGS)

SHEET:

A.6j

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
DATE: XX/XX/XXXX



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ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6k

1

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LOT: XXXX
DATE: XX/XX/XXXX



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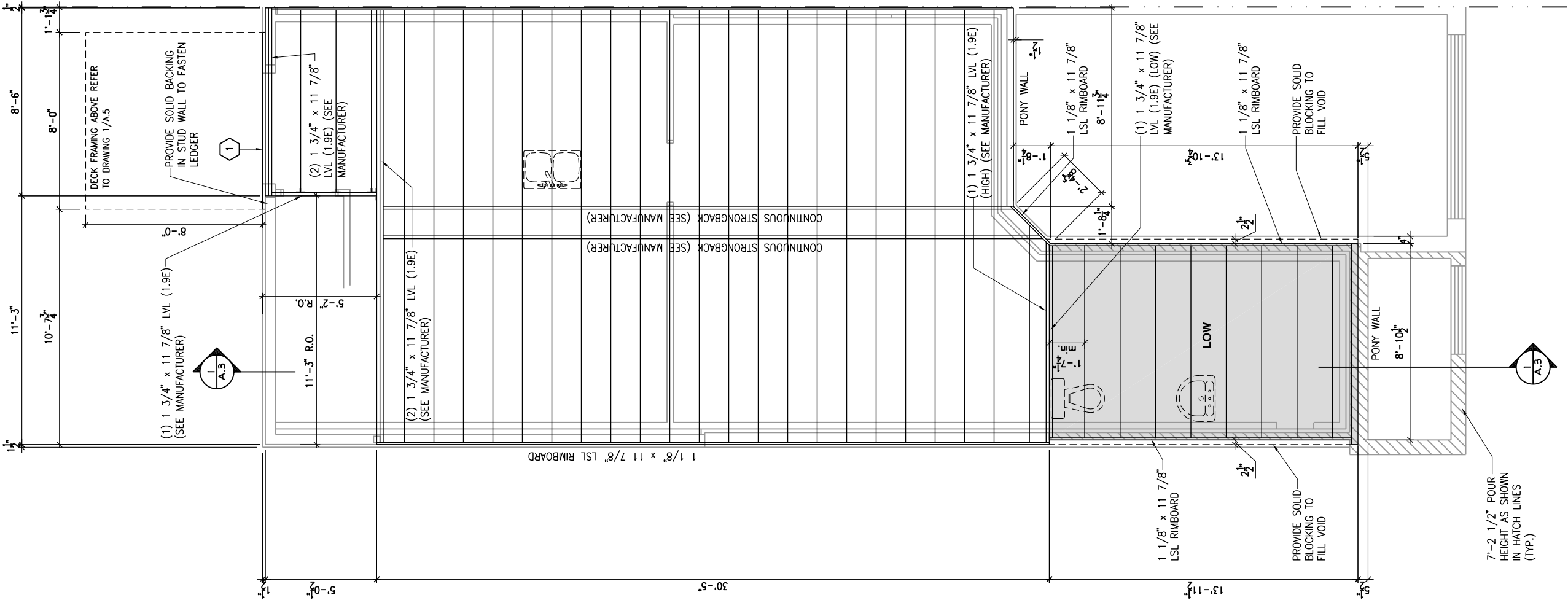
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1
A.61

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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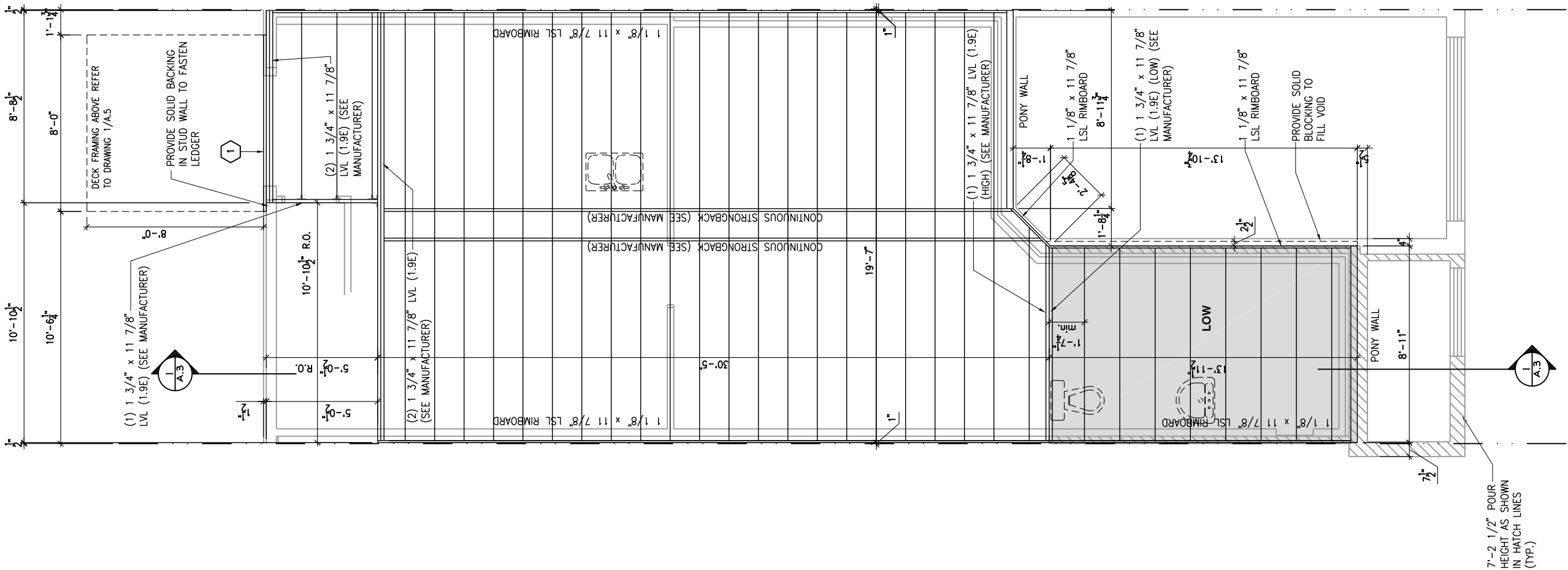
DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.61



1
2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: GROUND FLOOR - JOIST
FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

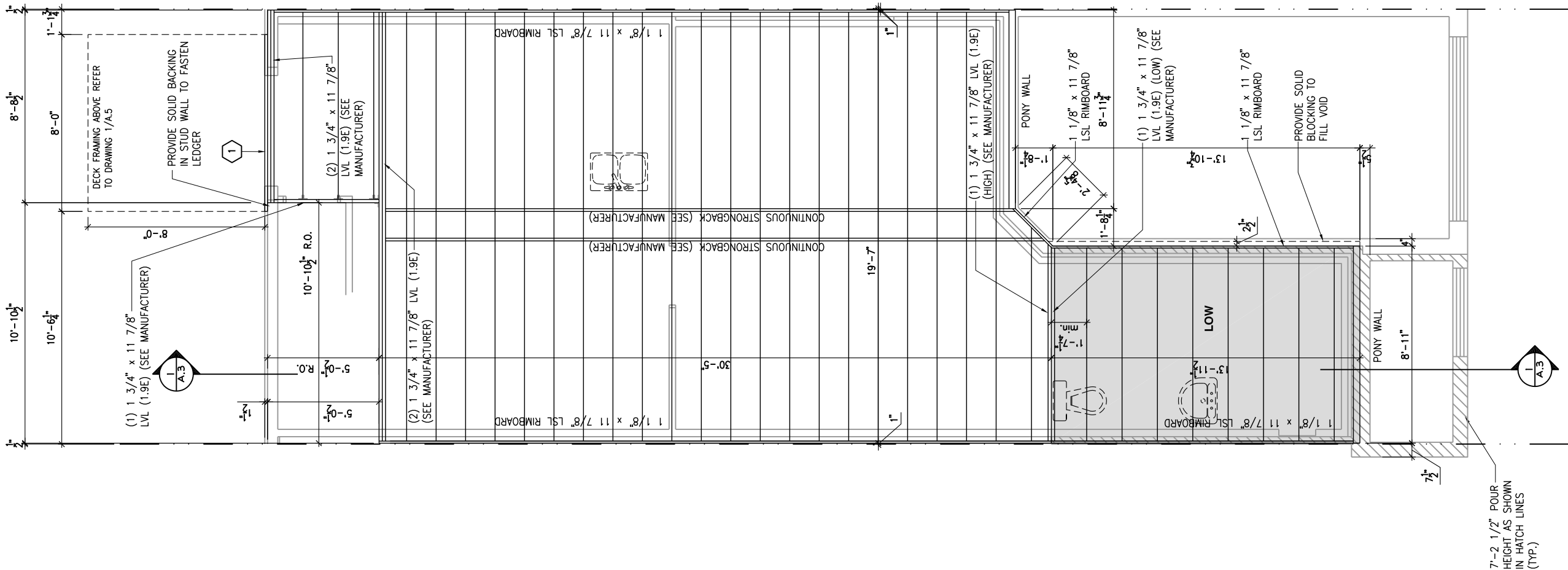
SHEET:

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A.6m

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"



2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

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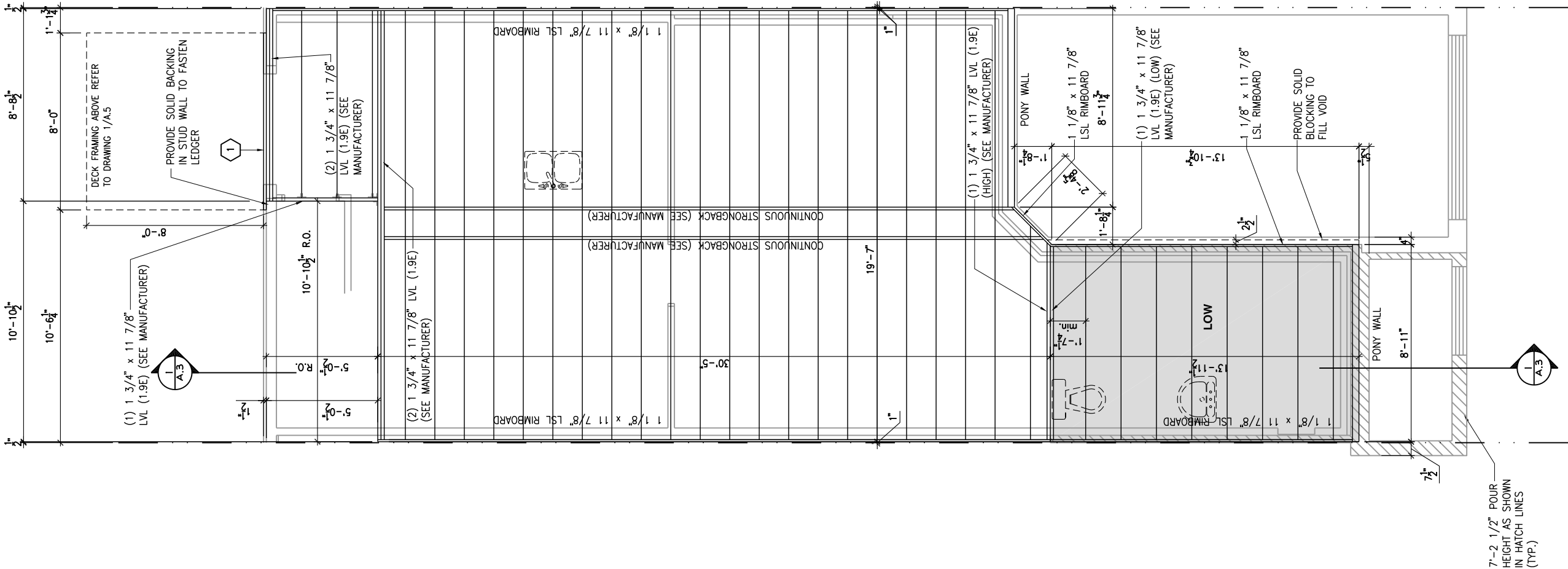
DRAWING: GROUND FLOOR - JOIST
FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6n



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DRAWING: GROUND FLOOR - JOIST
FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

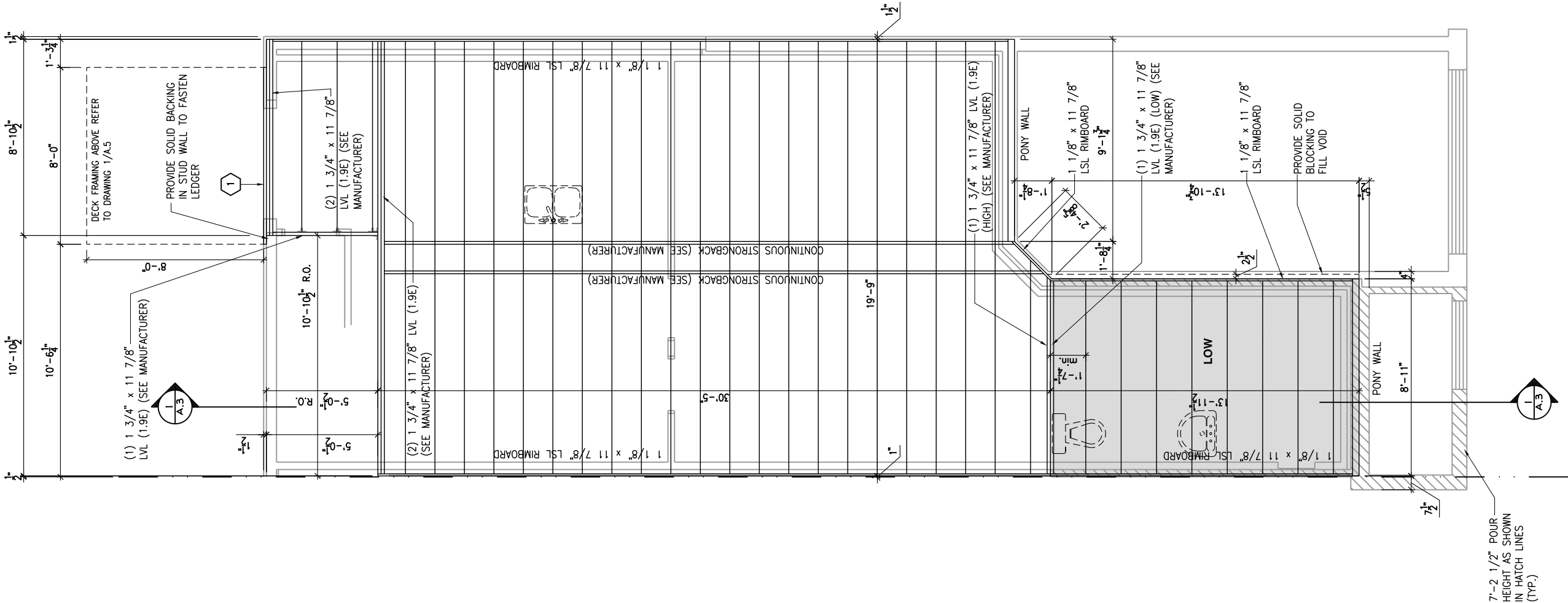
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2020 FOOTPRINT
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SHEET:

A.60

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1
A.6p

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

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DRAWING: **GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

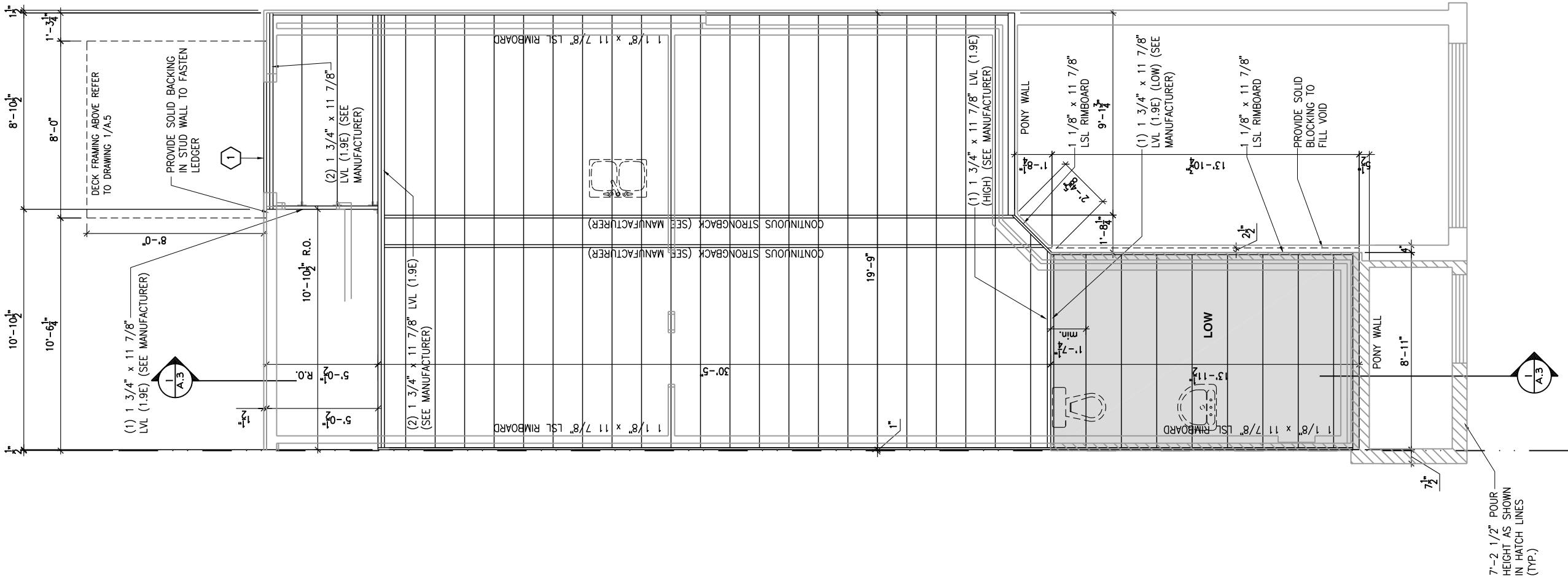
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SHEET:

A.6p

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



1

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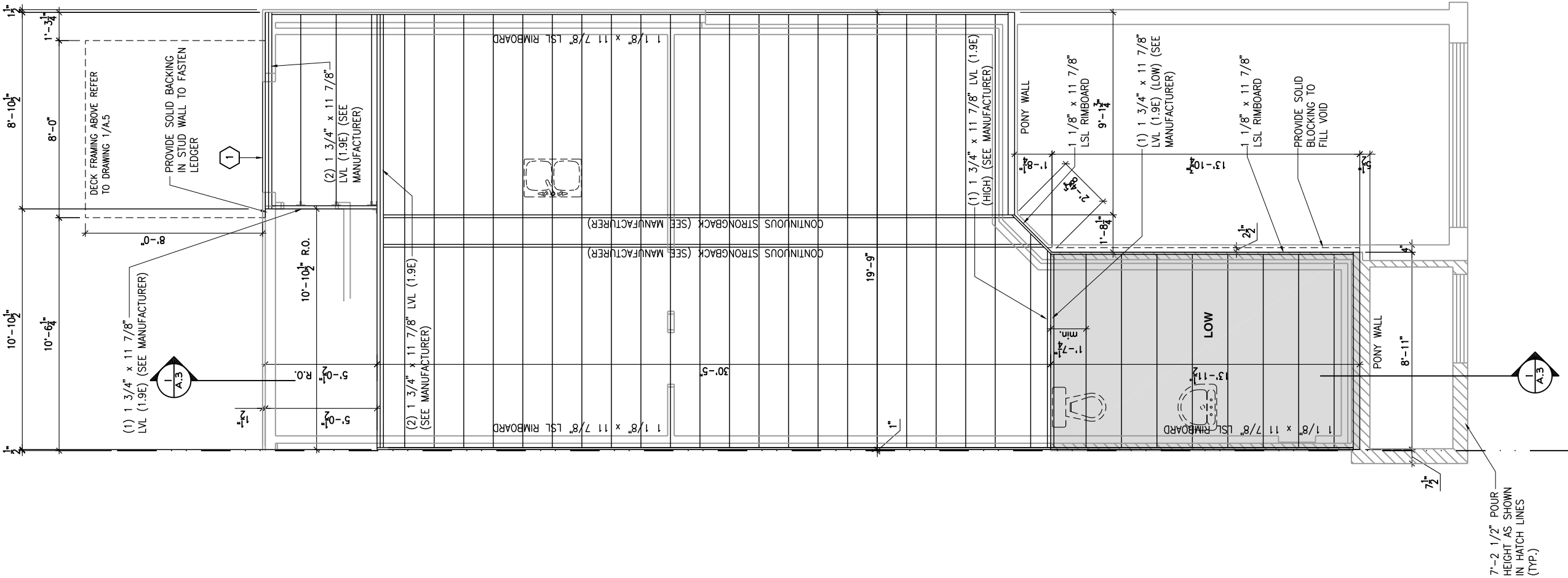
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(STANDARD DRAWINGS)

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A.6q



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NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6r

1
A.6r

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

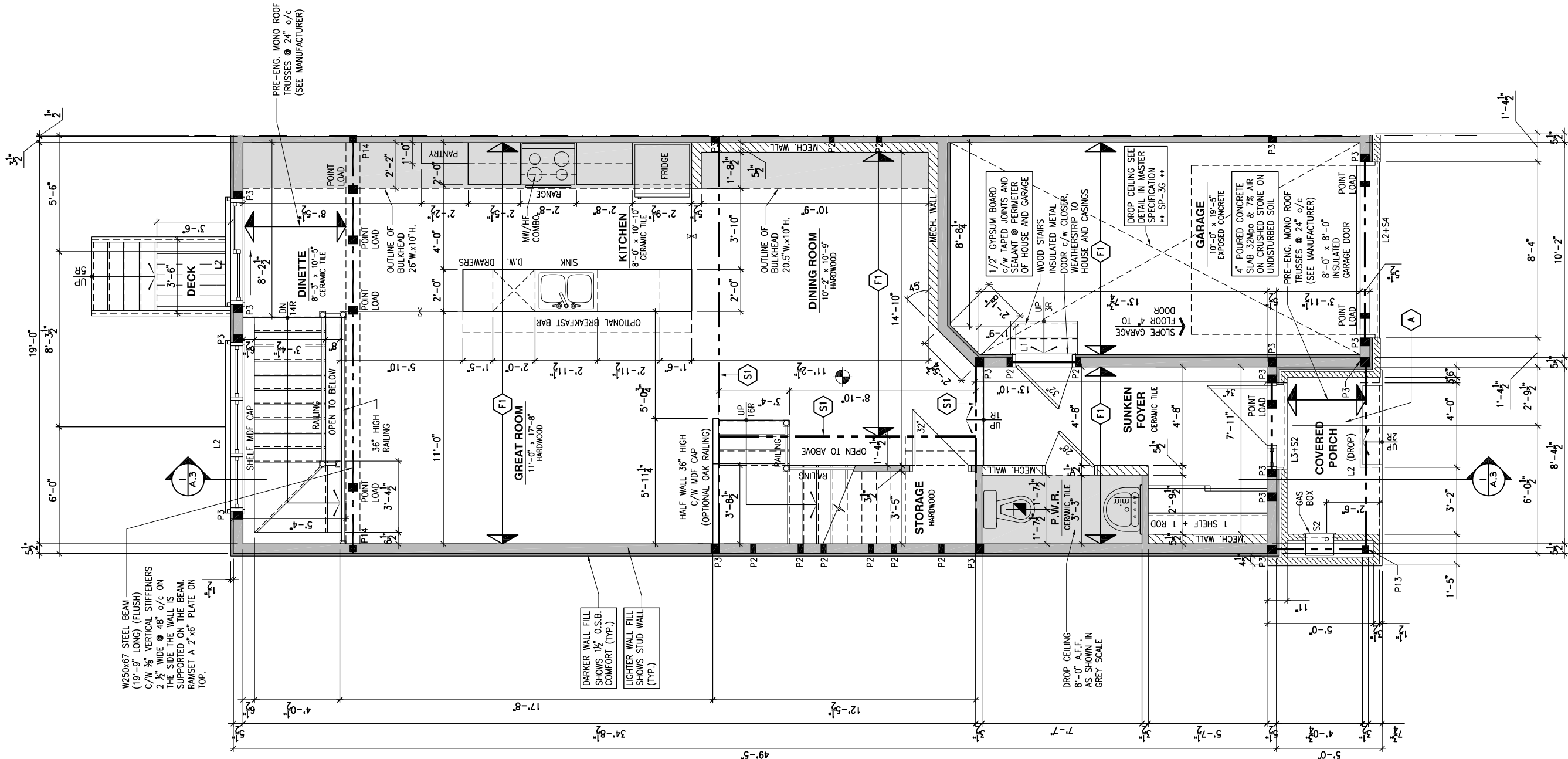
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
POST BY USP
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- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
- (*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

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 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.
- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.7a

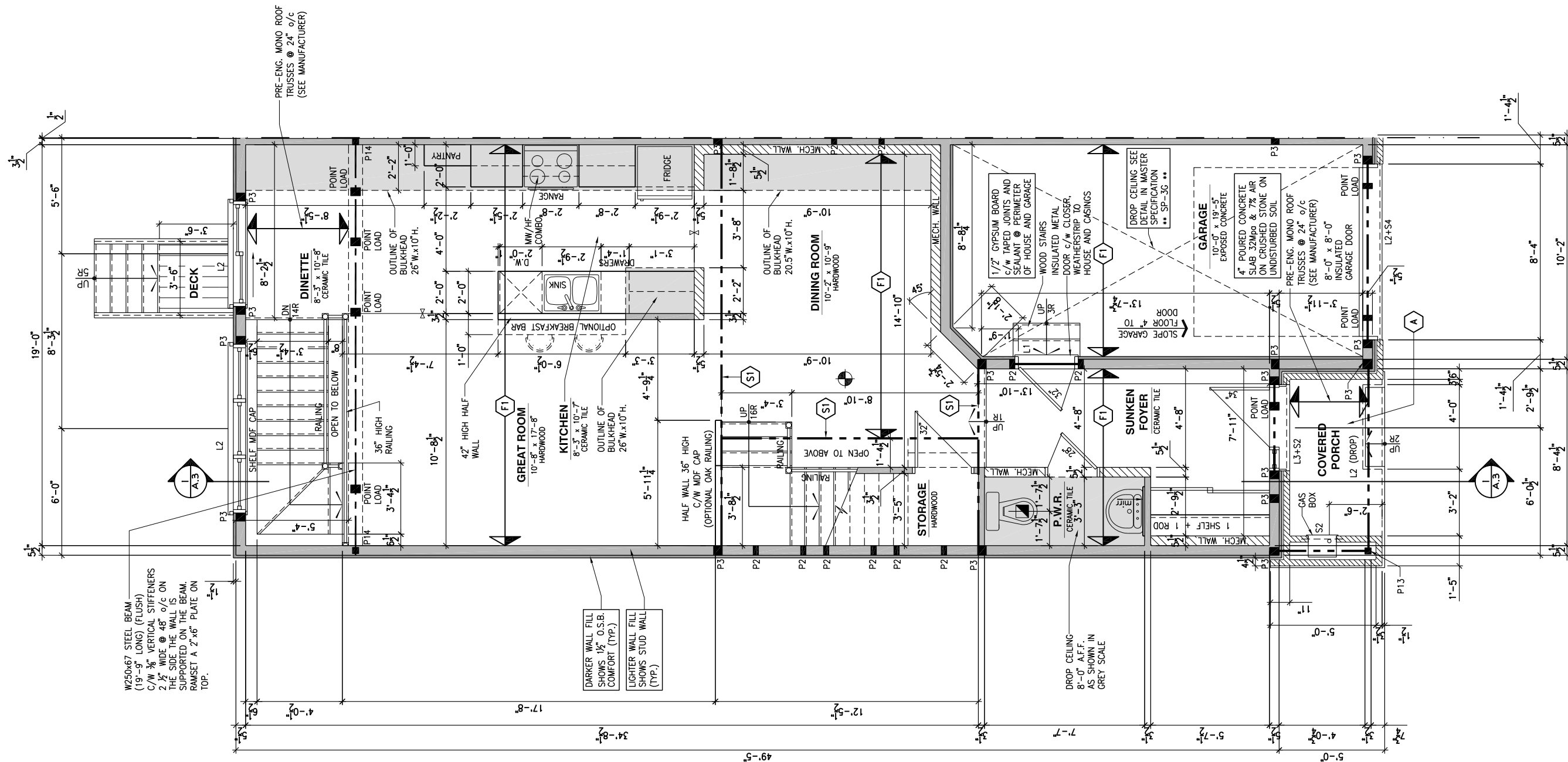
GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

- | | |
|----|---|
| F1 | 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER) |
| F2 | 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED |
| F3 | 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
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| S1 | REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
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- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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- A** 8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.
- B** PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL BEAM 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW PLATE TO SIT ON TOP OF WALL)



LOT: _____ **XXXX**
DATE: _____ **XX/XX/XXXX**



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
OPT. KITCHEN #1 - PORCH END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

SHEET:
A.7b

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: $3/16" = 1'-0"$

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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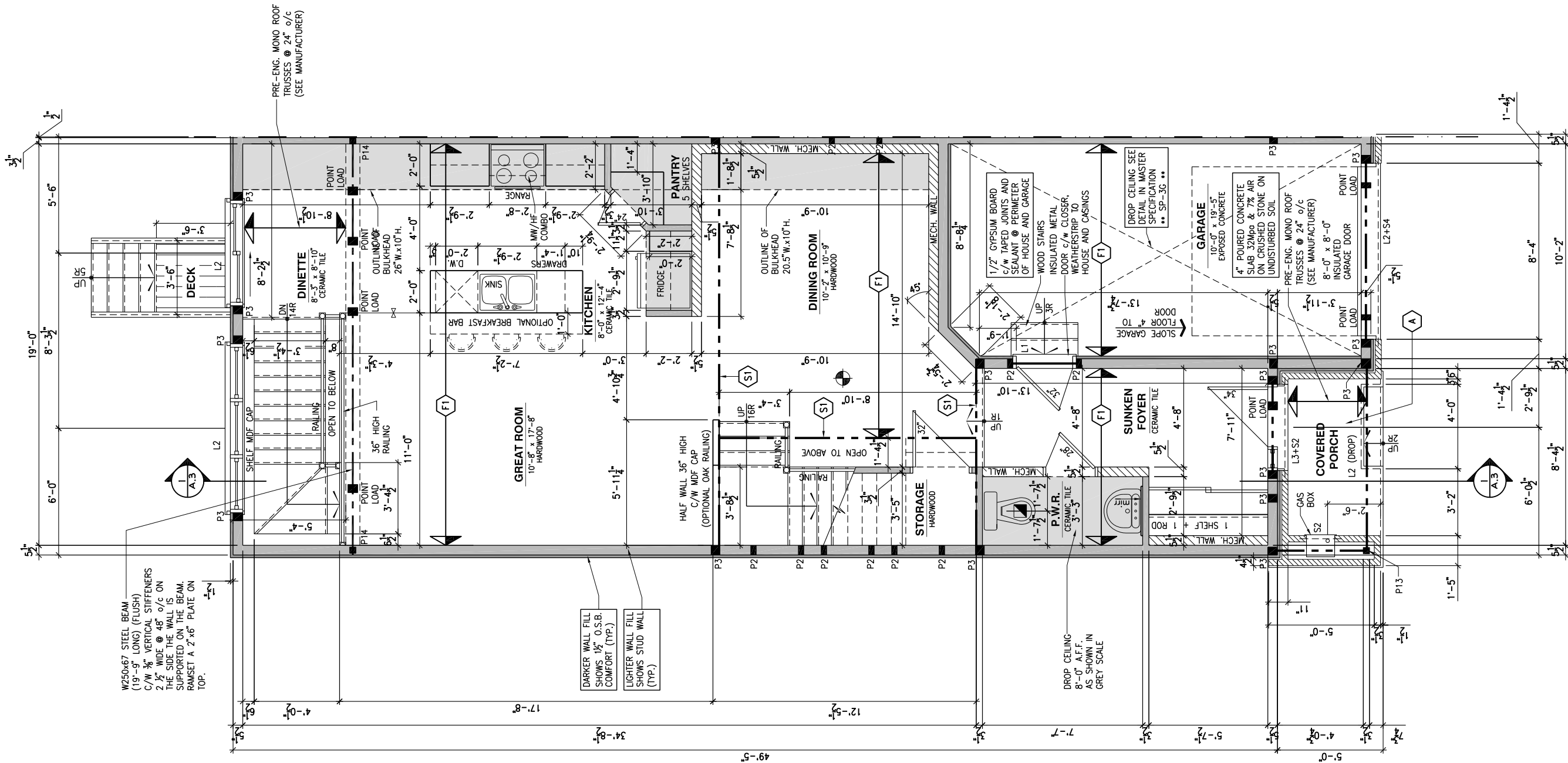
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: **GROUND FLOOR PLAN**
OPT. KITCHEN #2 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7c

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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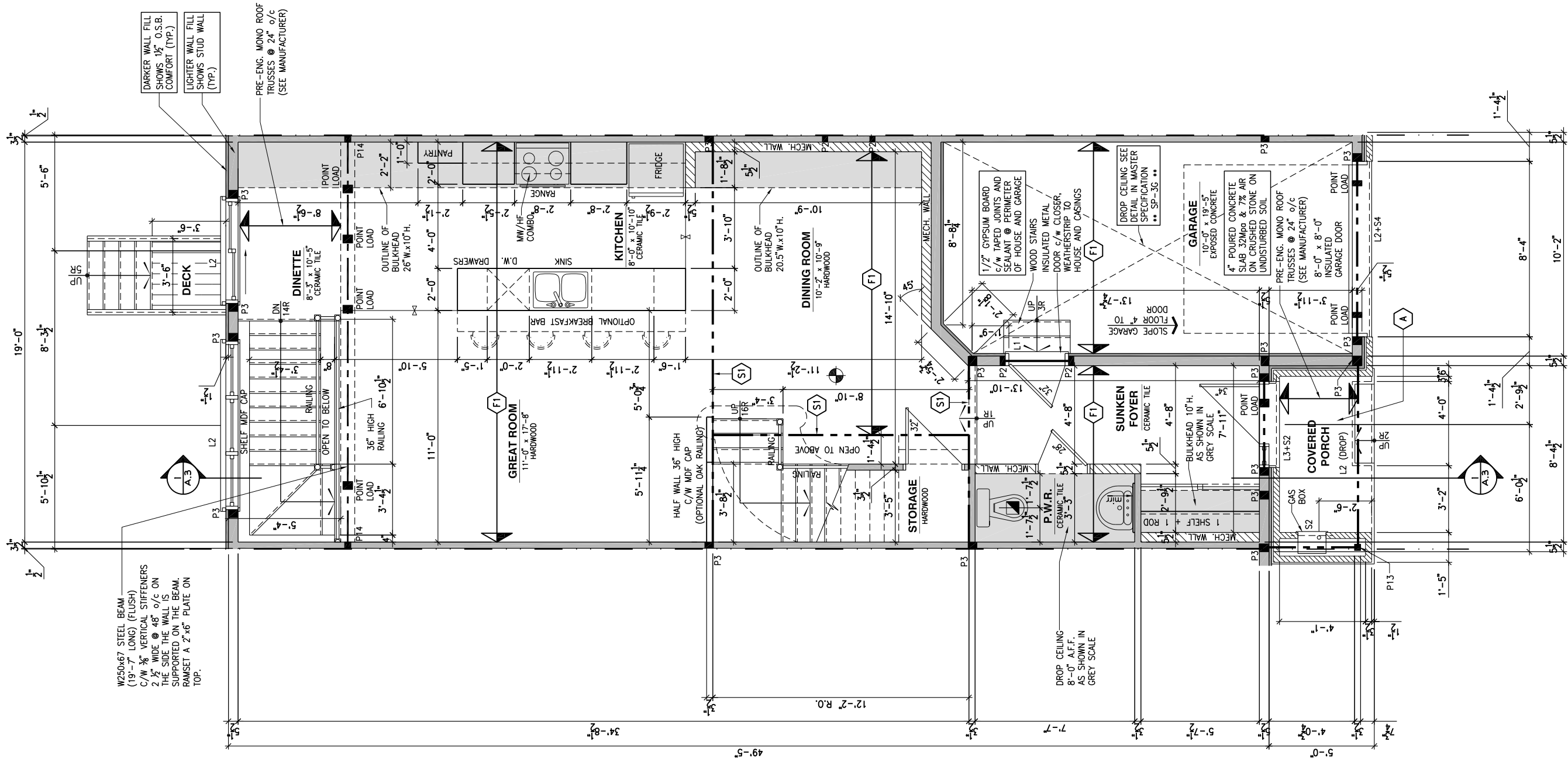
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GROUND FLOOR PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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GROUND FLOOR PLAN
STANDARD KITCHEN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7d

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

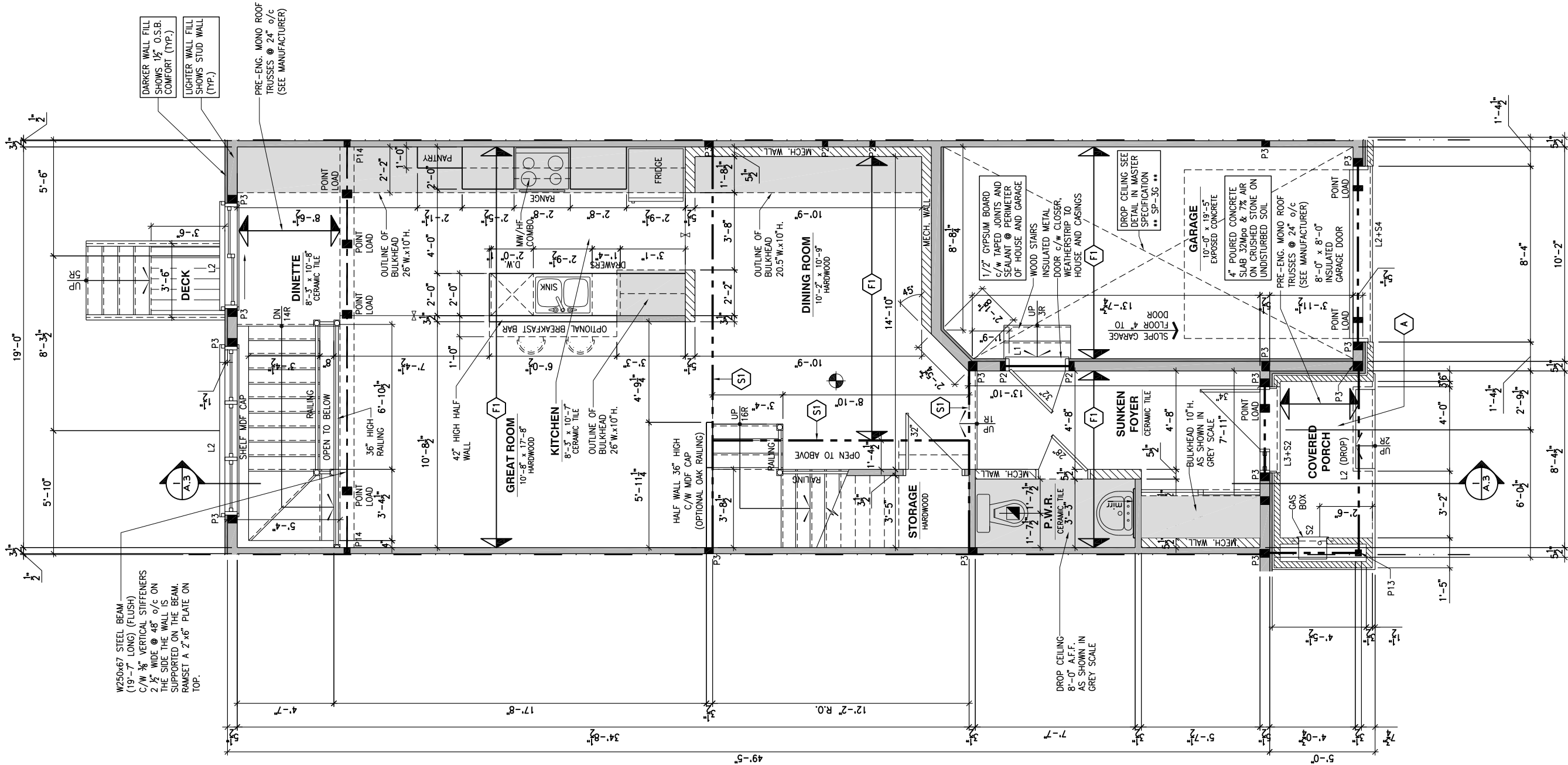
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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POST BY USP
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
OPTIONAL KITCHEN #1 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7e

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

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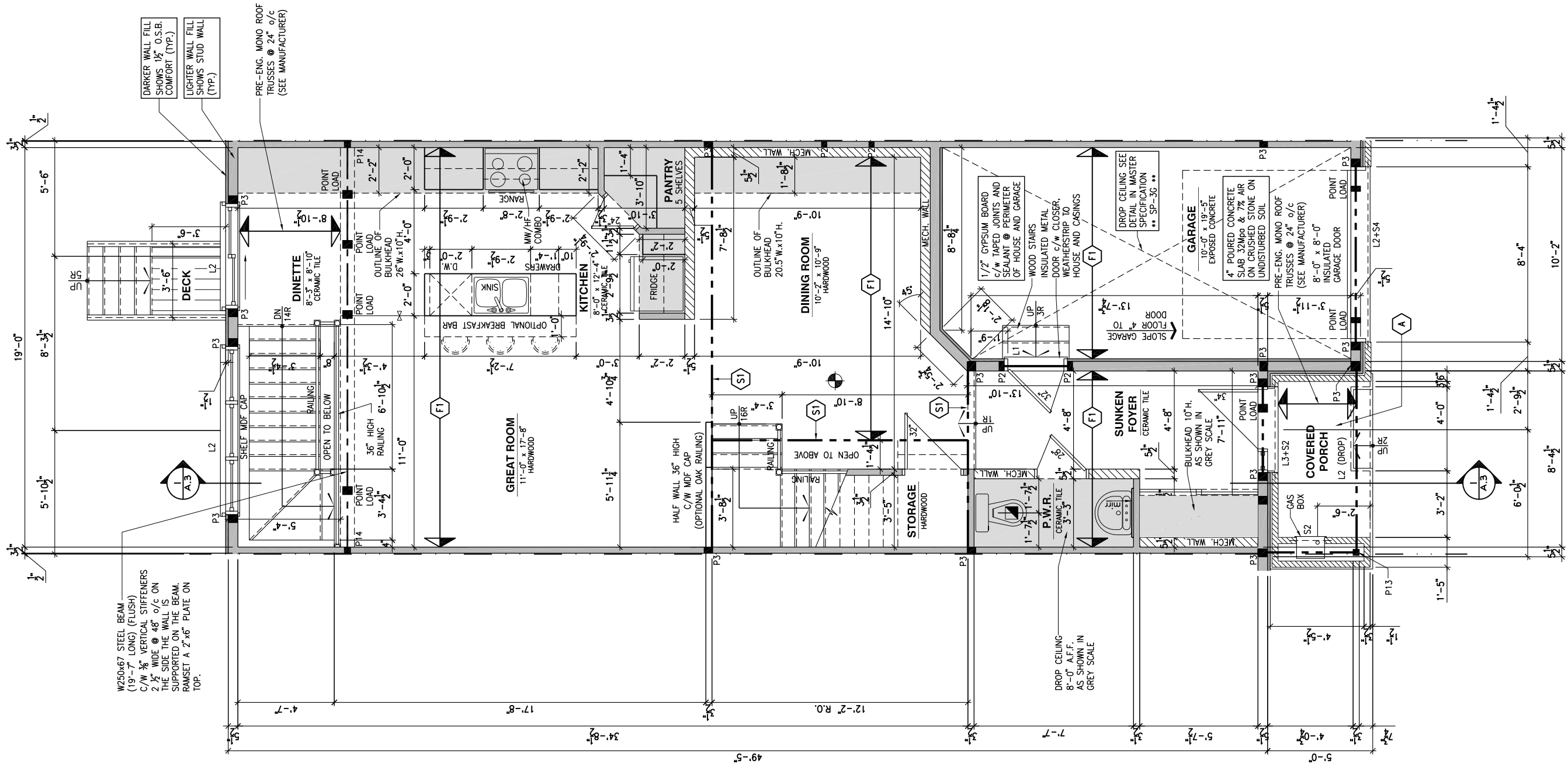
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
OPTIONAL KITCHEN #2 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7f

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
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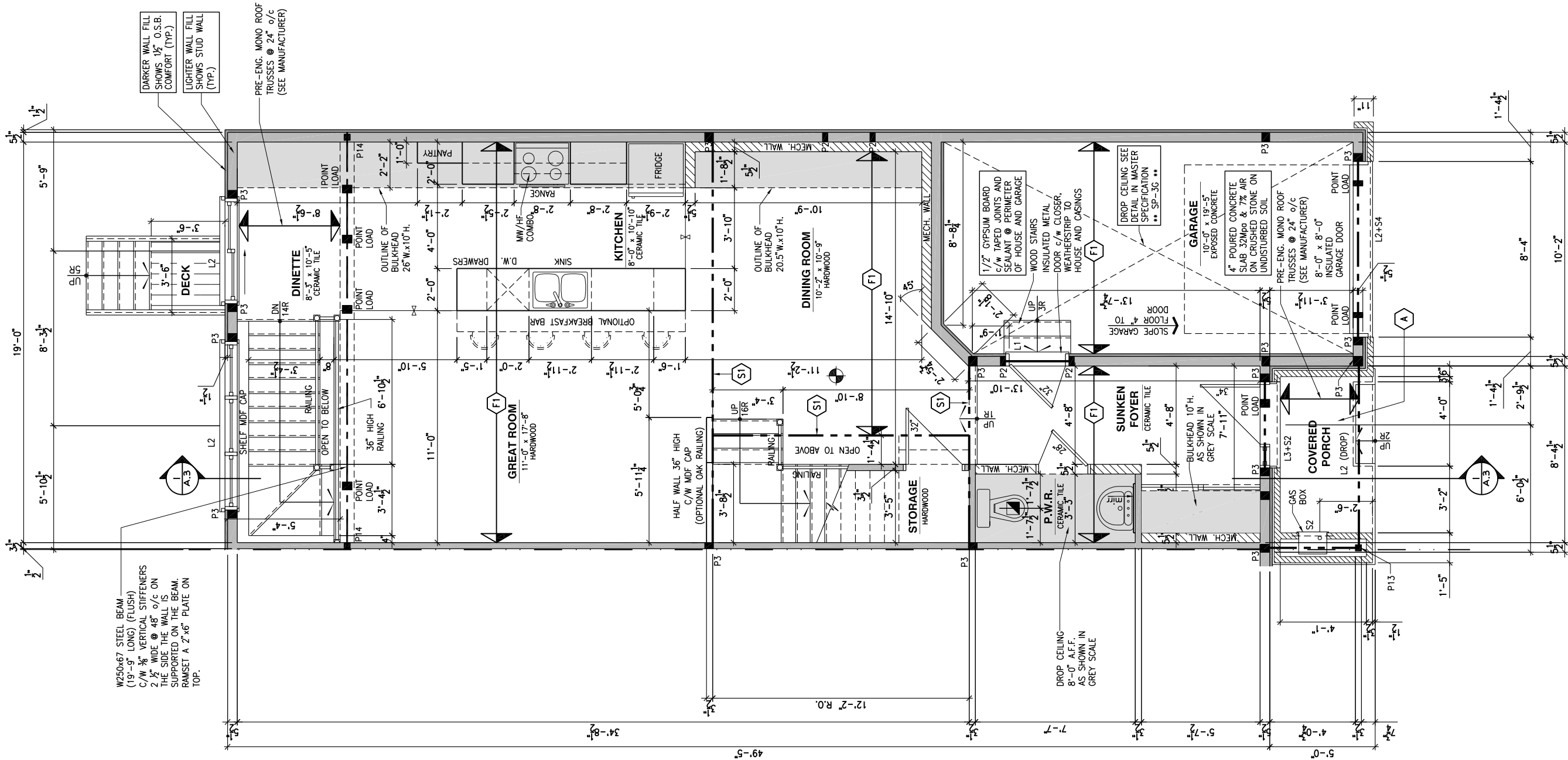
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DRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7g

GROUND FLOOR PLAN - STANDARD KITCHEN - GARAGE END UNIT

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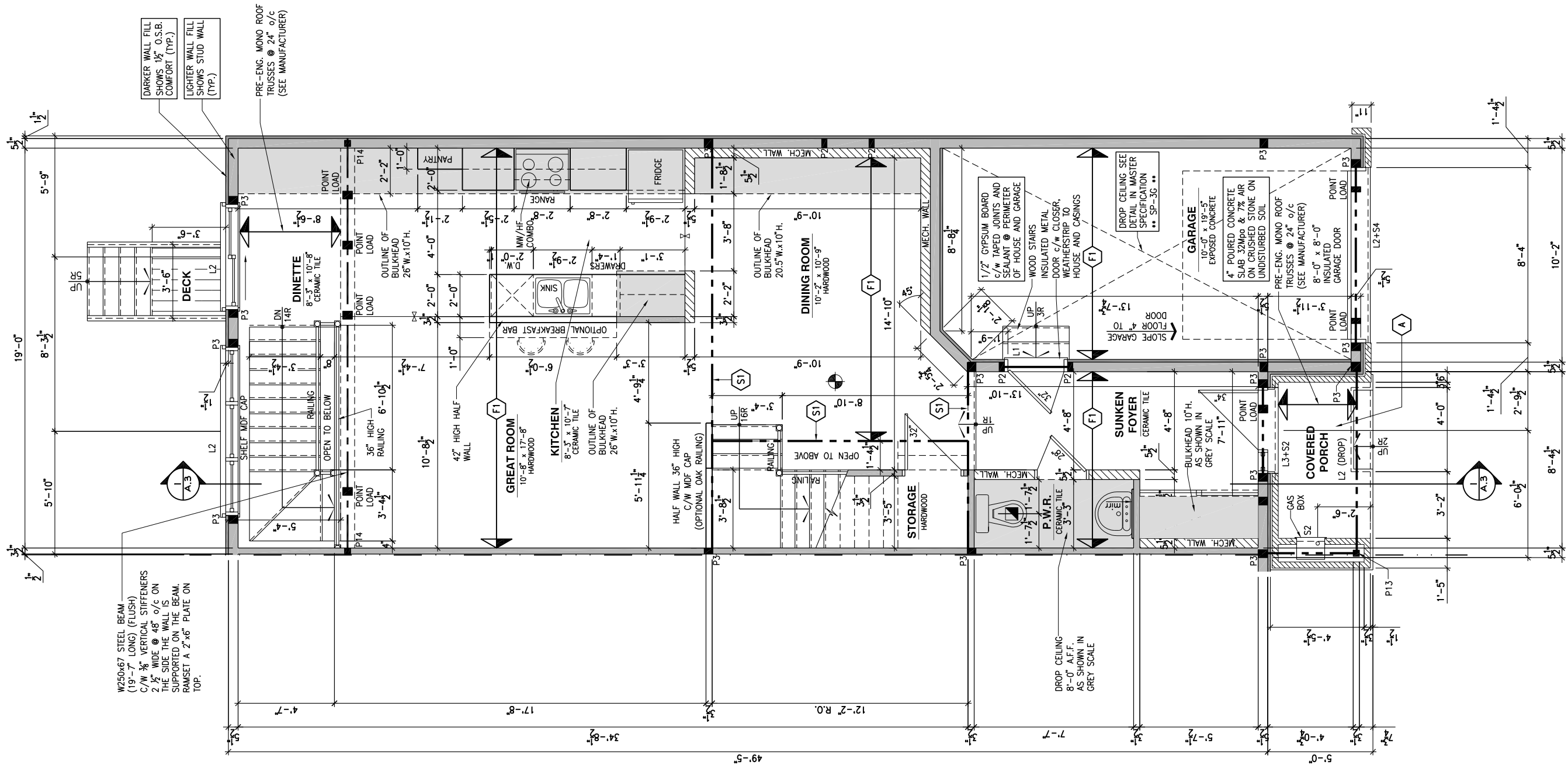
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #1 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

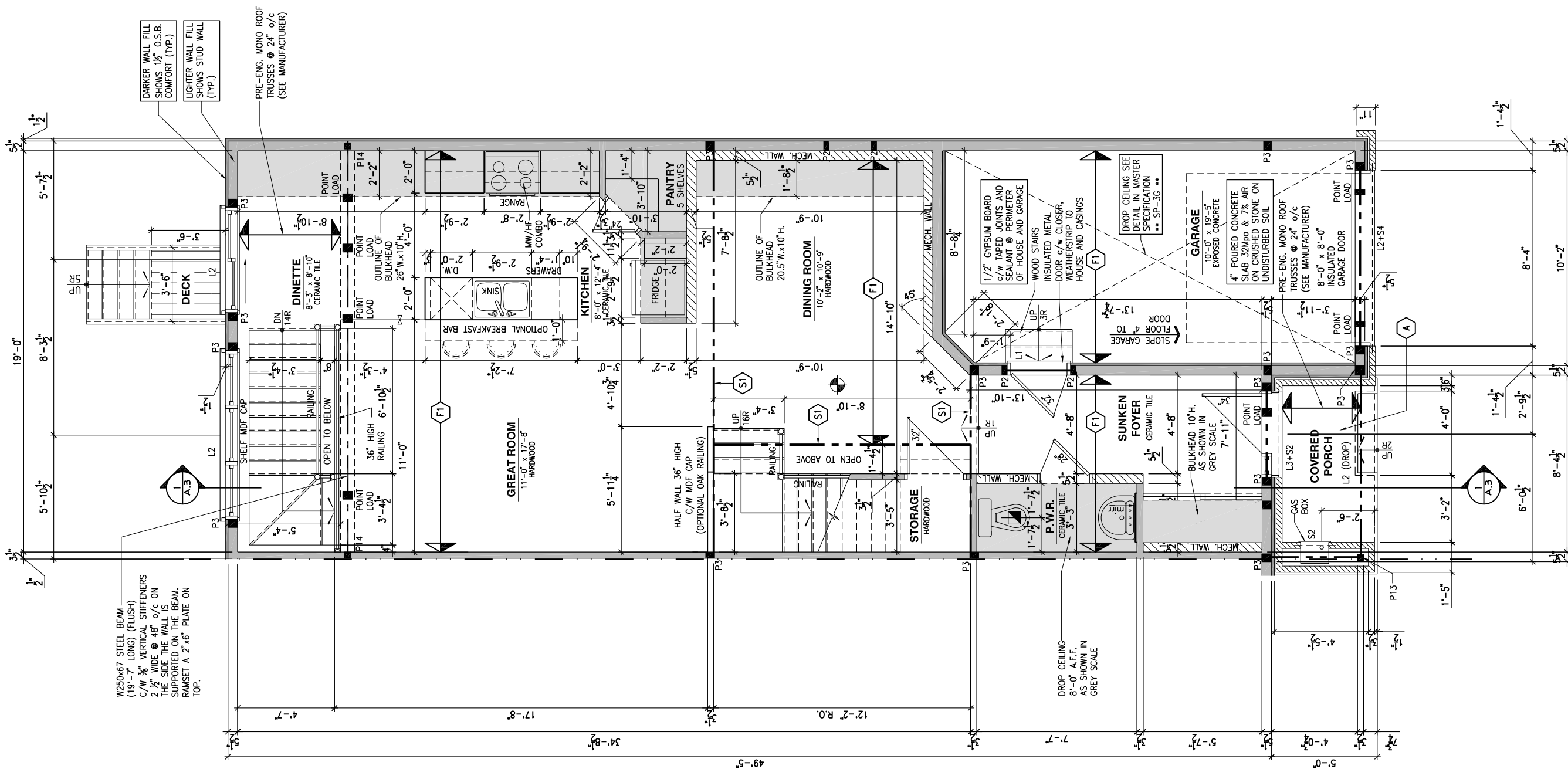
SHEET:

A.7h

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)

- | | |
|----|---|
| F1 | 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER) |
| F2 | 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED |
| F3 | 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED |
| S1 | REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED) |

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



Valecraft
Homes Ltd.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x89.3x18 + 100x200x12 T&B PL.
P14 = HSS 89.89x84 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL.
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL.
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
(*) = 2-12 ANCH. (WHERE ANCH. NOT USED)

* POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)

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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
OPT. KITCHEN #2 - GARAGE END

ADDRESS:	SCALE:	DATE:
XX	$3/16" = 1'-0"$	XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

SHEET:

A.7i

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: $3/16" = 1'-0"$

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
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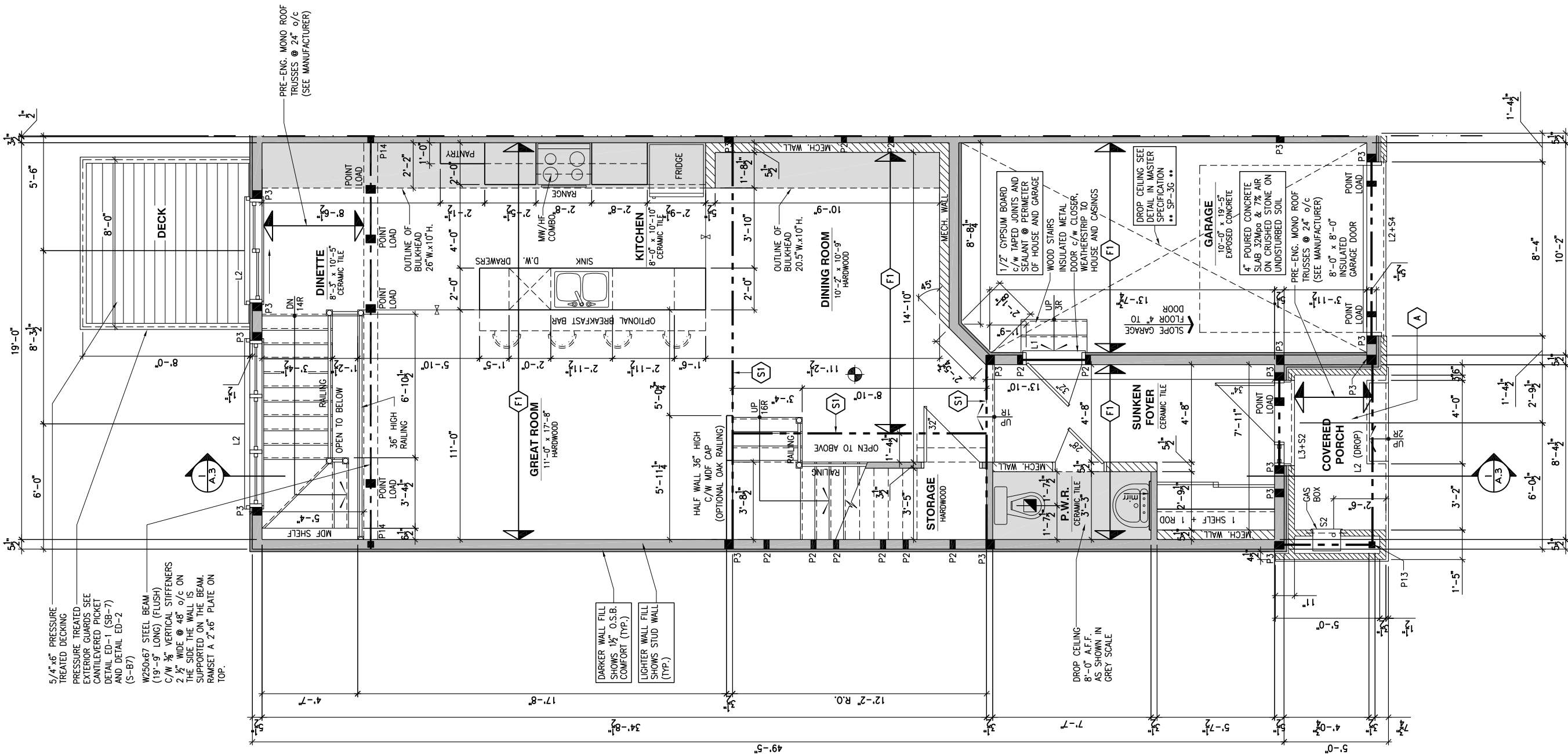
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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

GROUND FLOOR - WALKOUT
STANDARD KITCHEN - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7j

FLOOR FRAMING:

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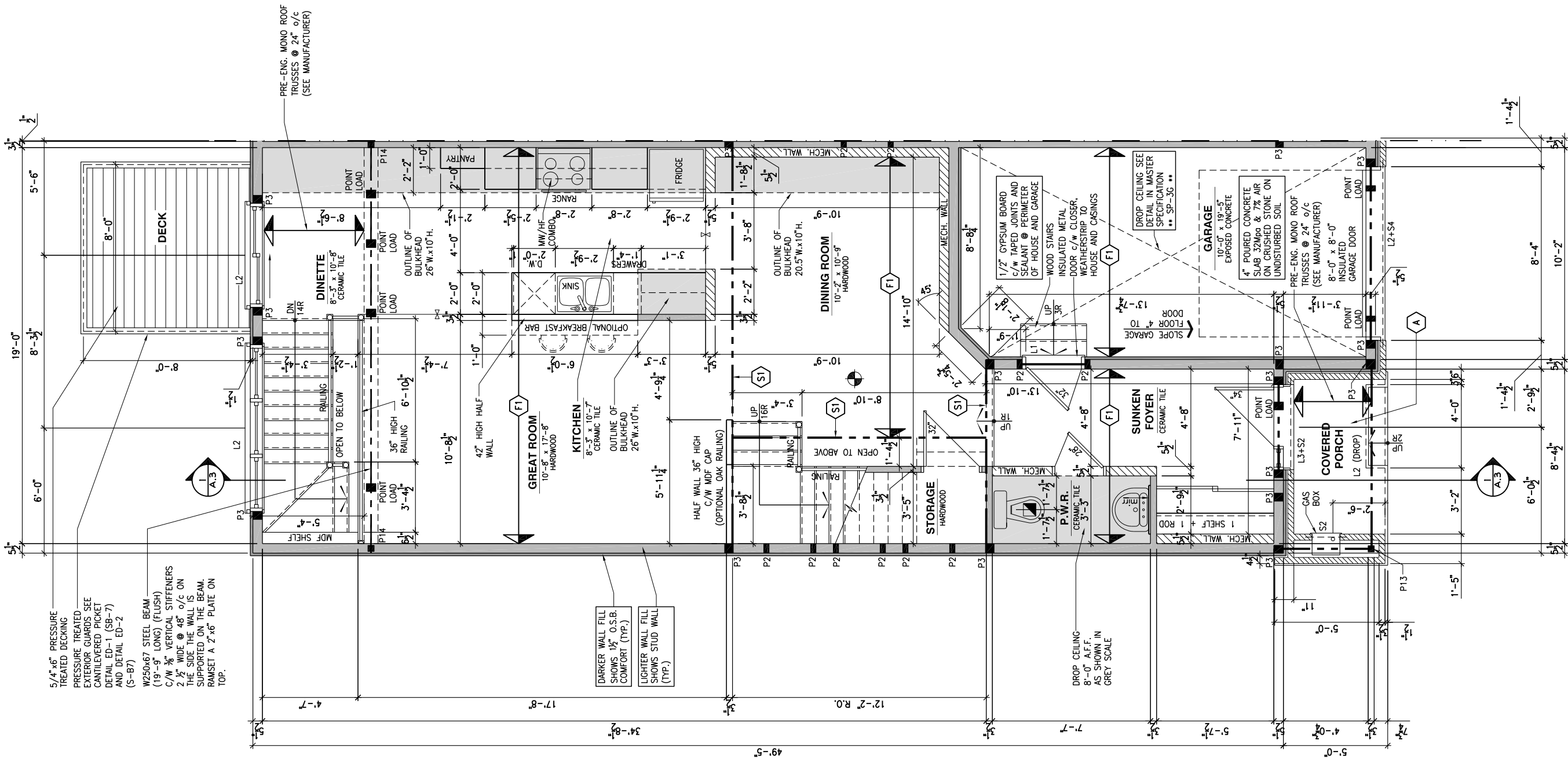
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LOT: XXXX
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NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #1 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7k

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT

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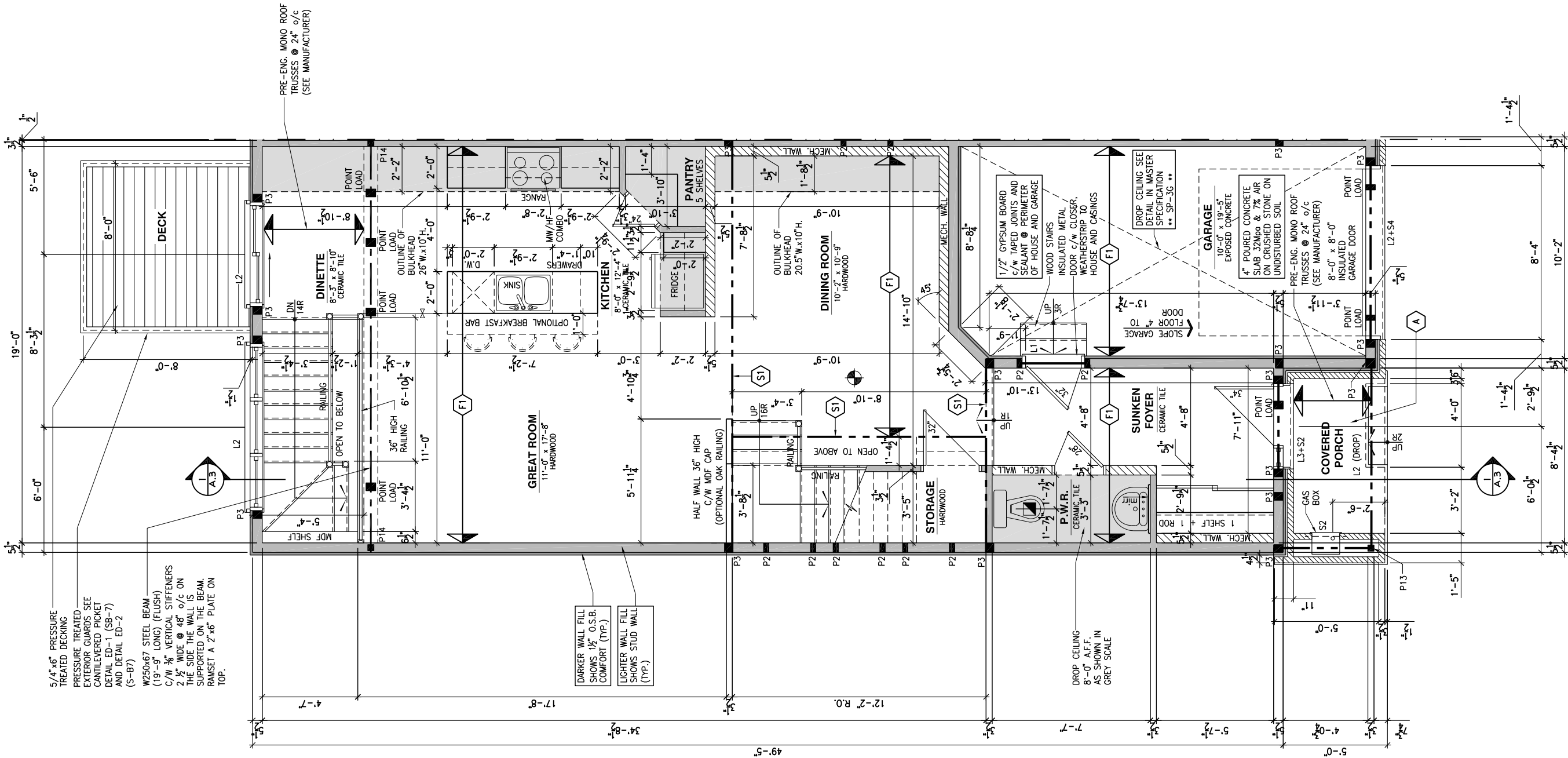
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OPT. KITCHEN #2 -PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.71

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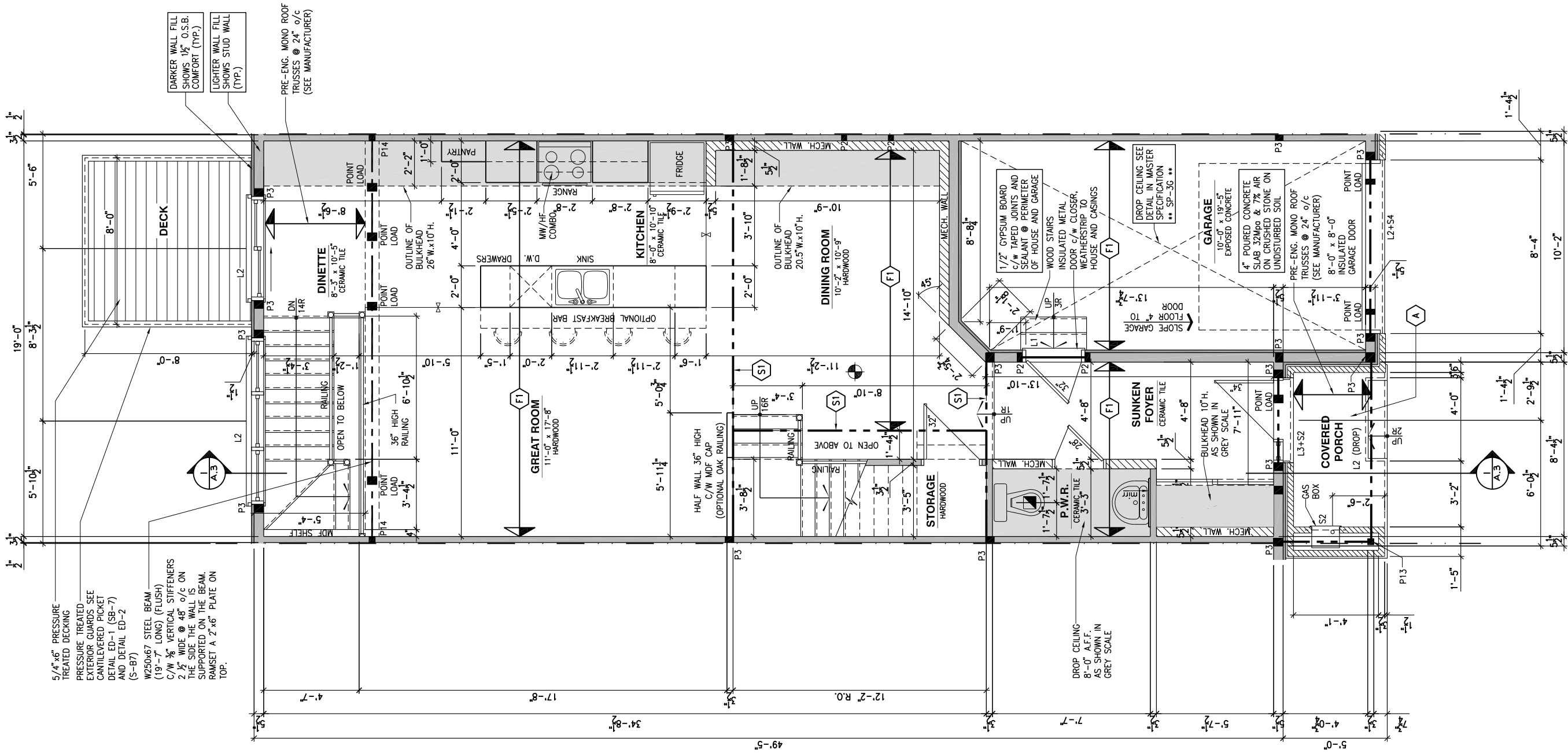
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

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VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIOR REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

POST BY USP

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)

P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.

+ 130x160x10 TOP PL. (*)

+ 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - WALKOUT**
STANDARD KITCHEN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7m

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
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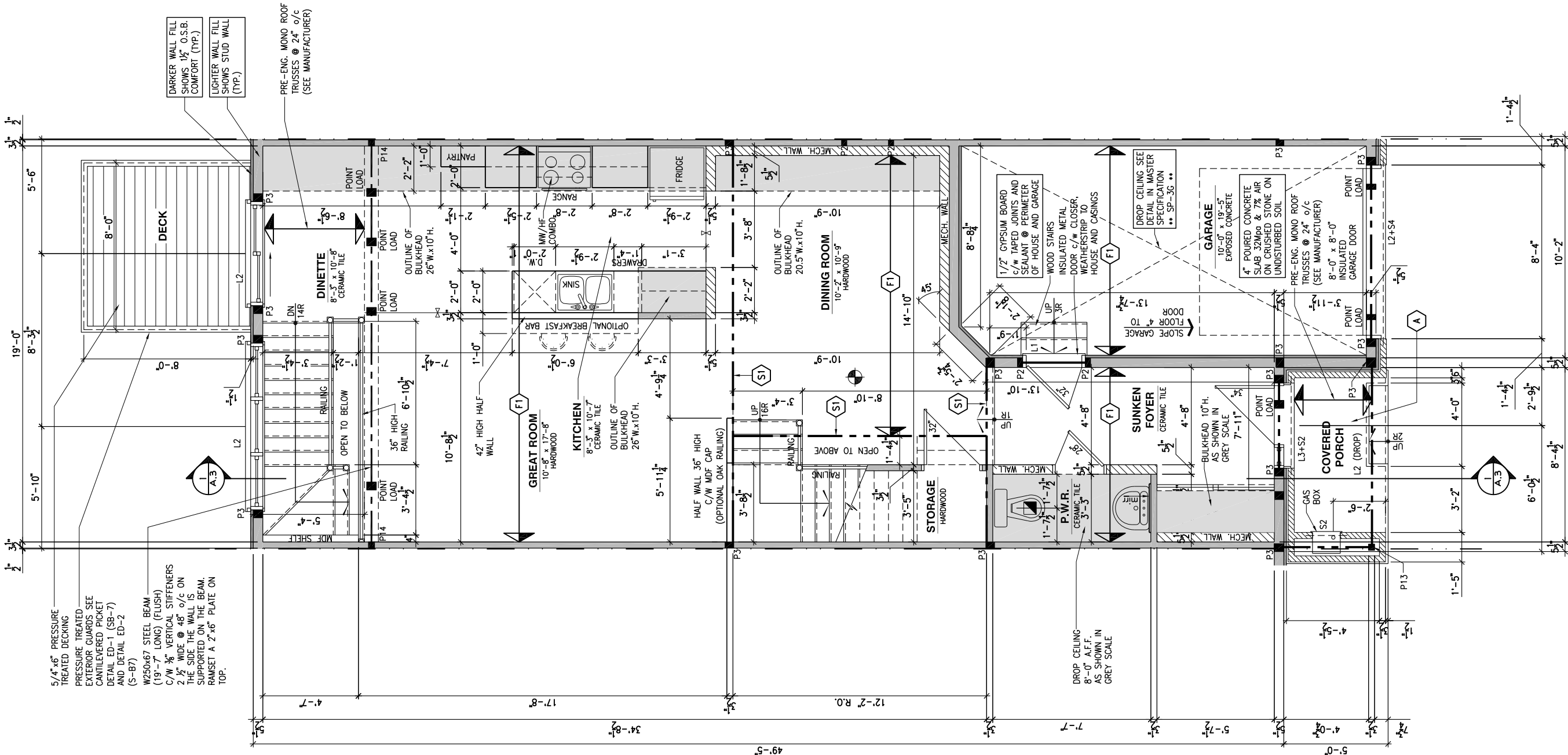
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BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
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WELD AT 6" SPACING AT BOTTOM OF FLANGE.
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LOT: XXXX
DATE: XX/XX/XXXX



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POST BY USP

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- P13 = HSS 88.9x89x3.18 + 100x200x12 T&B PL. (+)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPTIONAL KITCHEN #1 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7n

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

F1 11 $\frac{3}{8}$ " PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)

F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED

F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
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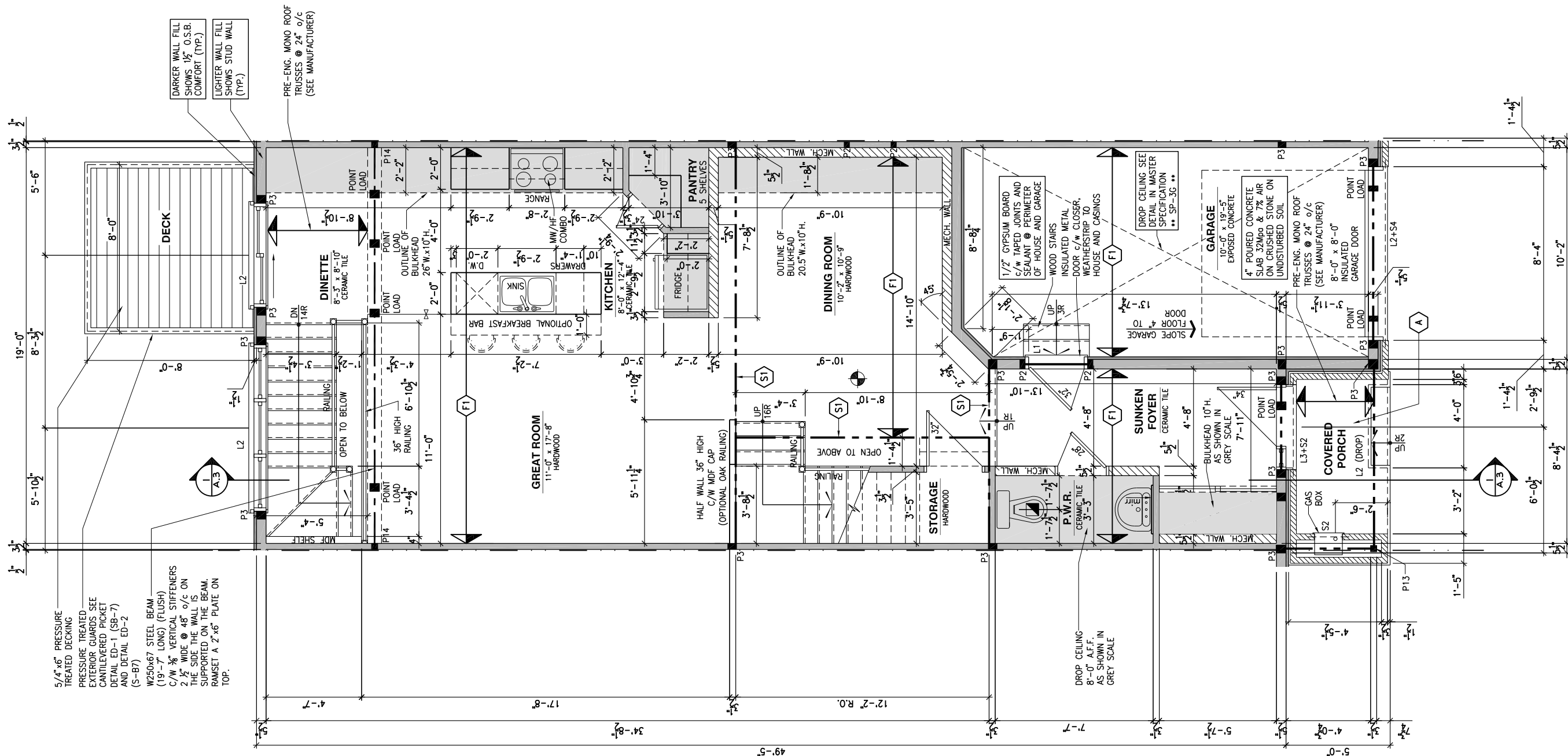
S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
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- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
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1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - MID UNIT

LOT: _____ **XXXX**
DATE: _____ **XX/XX/XXXX**



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- TARION REGISTRATION NUMBER #611

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LINTEL TABLE:

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - WALKOUT**
OPTIONAL KITCHEN #2 - MID

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7o

FLOOR FRAMING:

- F1 1 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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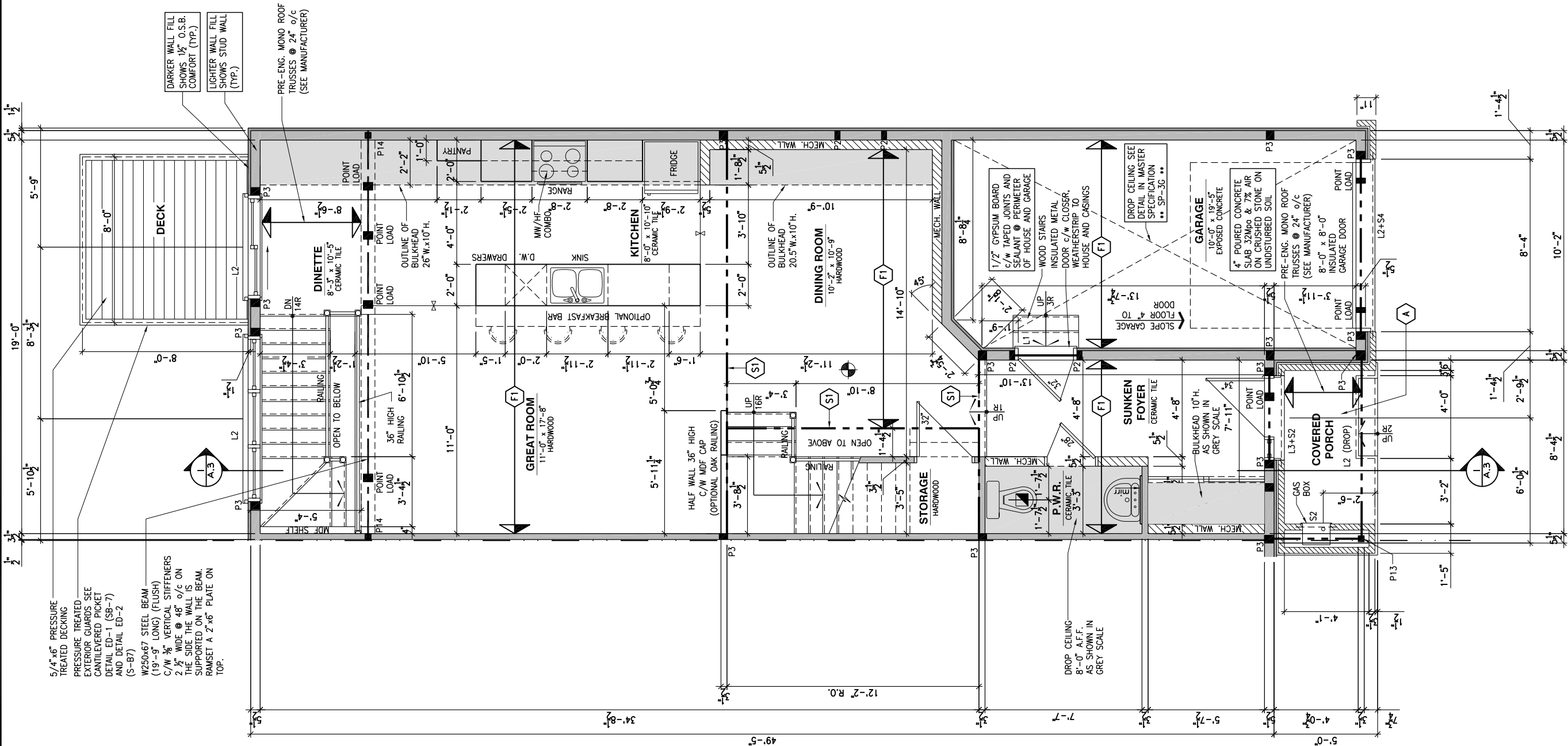
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LOT: XXXX
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GROUND FLOOR - WALKOUT
STANDARD KITCHEN-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.7p

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

F1 11 $\frac{3}{4}$ " PRE-ENG. OPEN JOIST TRIFORCE • 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)

F2 2" x 8" JOIST • 16" o/c UNLESS OTHERWISE NOTED

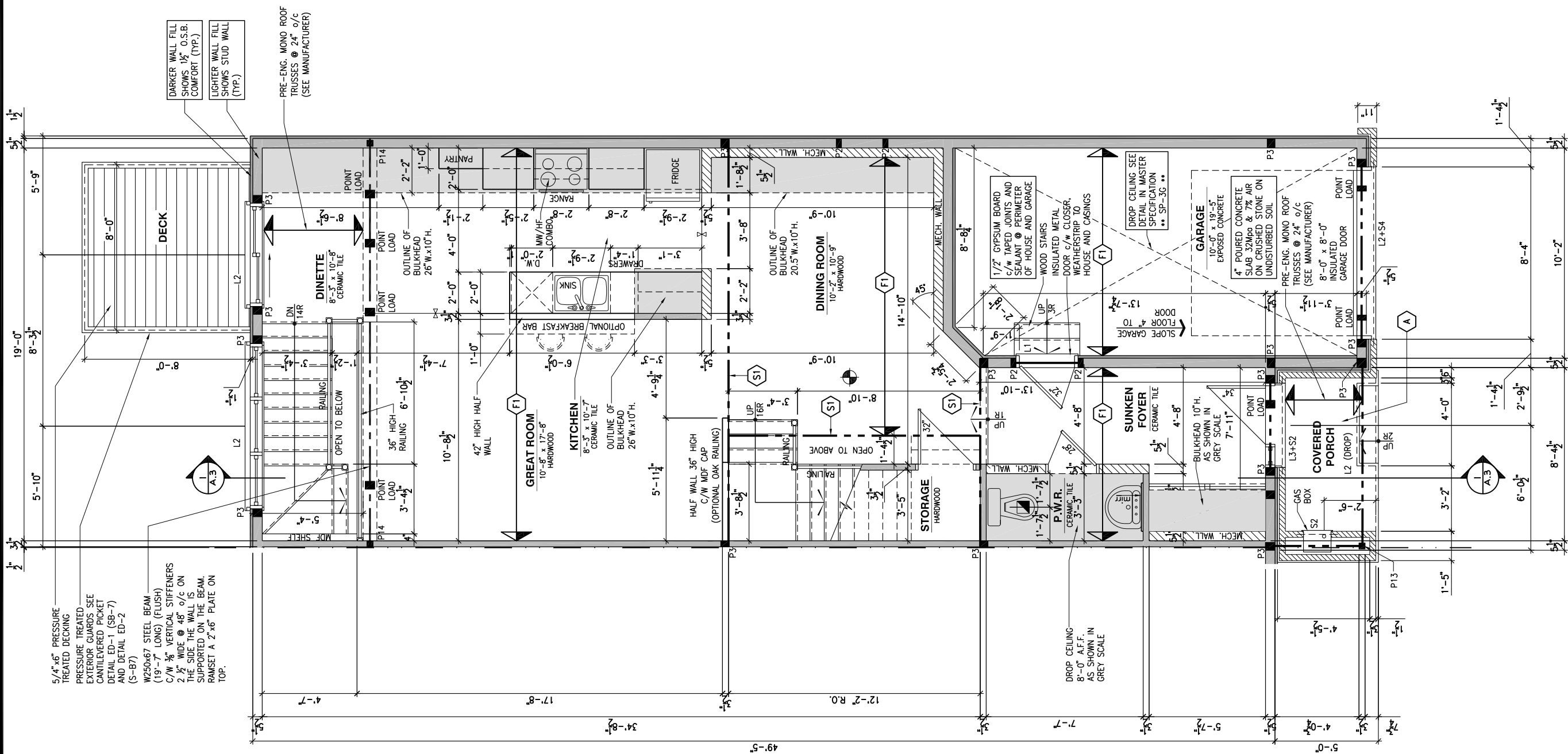
F3 2" x 8" PRESSURE TREATED JOIST • 16" o/c
UNLESS OTHERWISE NOTED

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

8" SLOPED TO 1/2" POURED CONCRETE 32 Mpa 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - GARAGE END UNIT
SCALE: 3/16" = 1'-0"

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES

STEEL LINTEL:

S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6

P13 = HSS 88.9x88.9x3.8 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
(*) = 2-12 ϕ ANCH. (WHERE ANCH. PL. NOT USED)

- * POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
 LOCAL BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
 ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
 POWER FOR AT LEAST 72 HOURS IN NORMAL CONDITION,
 FOLLOWED BY 4 MINUTES OF LOW AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED
 ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MM
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR - WALKOUT**
OPT. KITCHEN #1 - GARAGE END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

SHEET:
A.7q

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

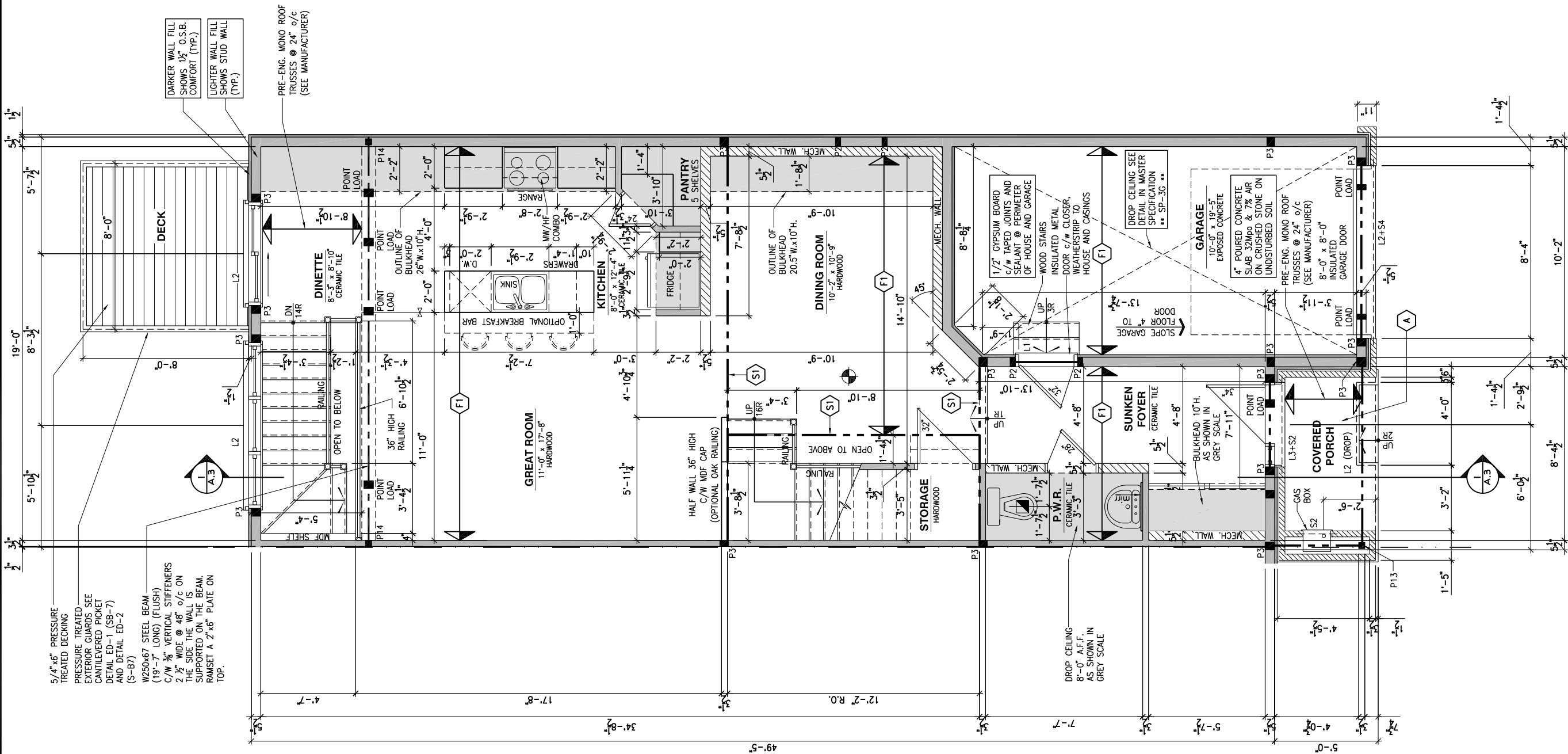
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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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ARCHITECTURAL DEPARTMENT.

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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY, 4 MINUTES OF ALARM; AND
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- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #2 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7r

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



Valecraft
Homes Ltd.

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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MD
NO.	DESCRIPTION	MM/DD/YYYY	BY

110 - THE THOMAS 2020 FOOTPRINT

SHEET:

A.8a



Valecraft
Homes Ltd.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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DRAWING: **SECOND FLOOR - FLOOR
JOIST FRAMING - PORCH END**

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8b

N/A

LOT:XXXX

DATE:XX/XX/XXXX



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DRAWING:SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END

ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

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110 - THE THOMAS
2020 FOOTPRINT
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DRAWING: **SECOND FLOOR - FLOOR
JOIST FRAMING PLAN - MID**

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8e

N/A

LOT:XXXX

DATE:XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:SECOND FLOOR - FLOOR JOIST FRAMING PLAN - MID

ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.8f


Valecraft
Homes Ltd.

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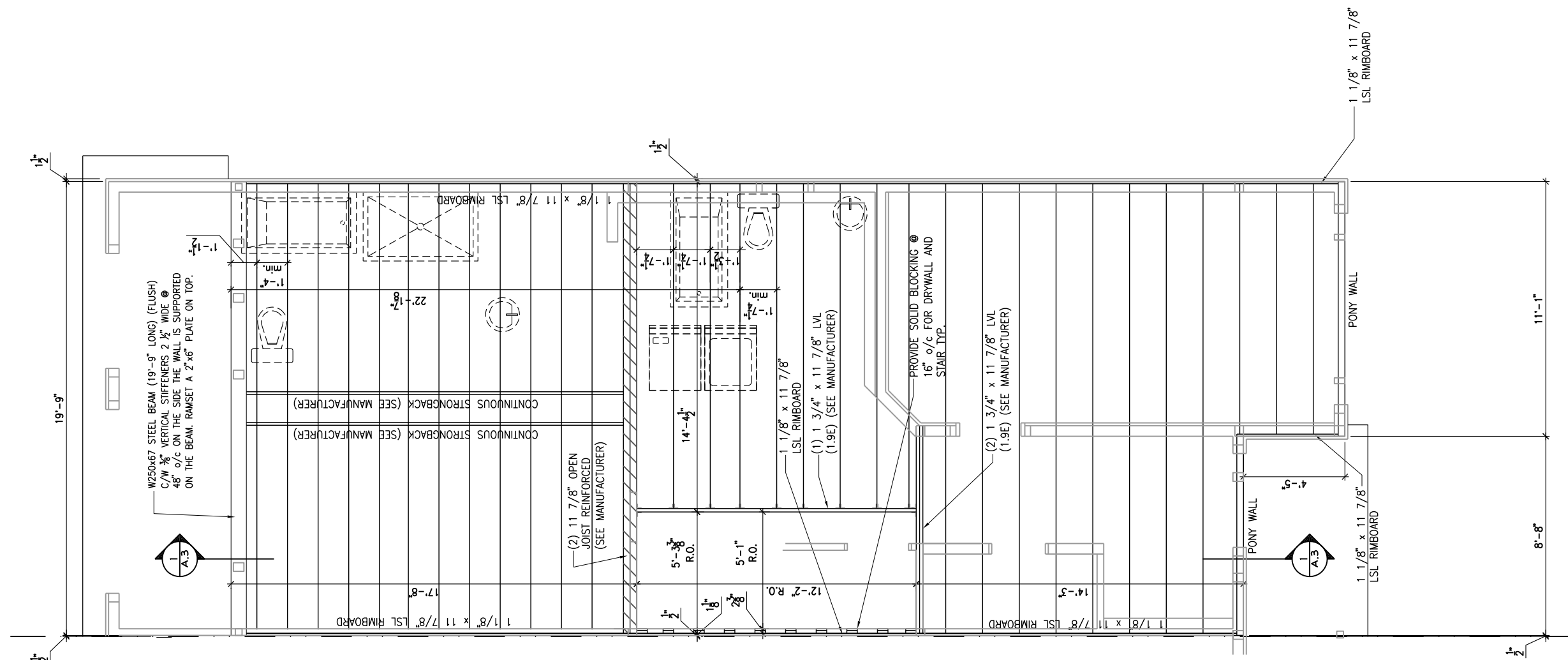
110 - THE THOMAS
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A.8g


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110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.8h

SCALE: 3/16" = 1'-0'

N/A

LOT:XXXX

DATE:XX/XX/XXXX



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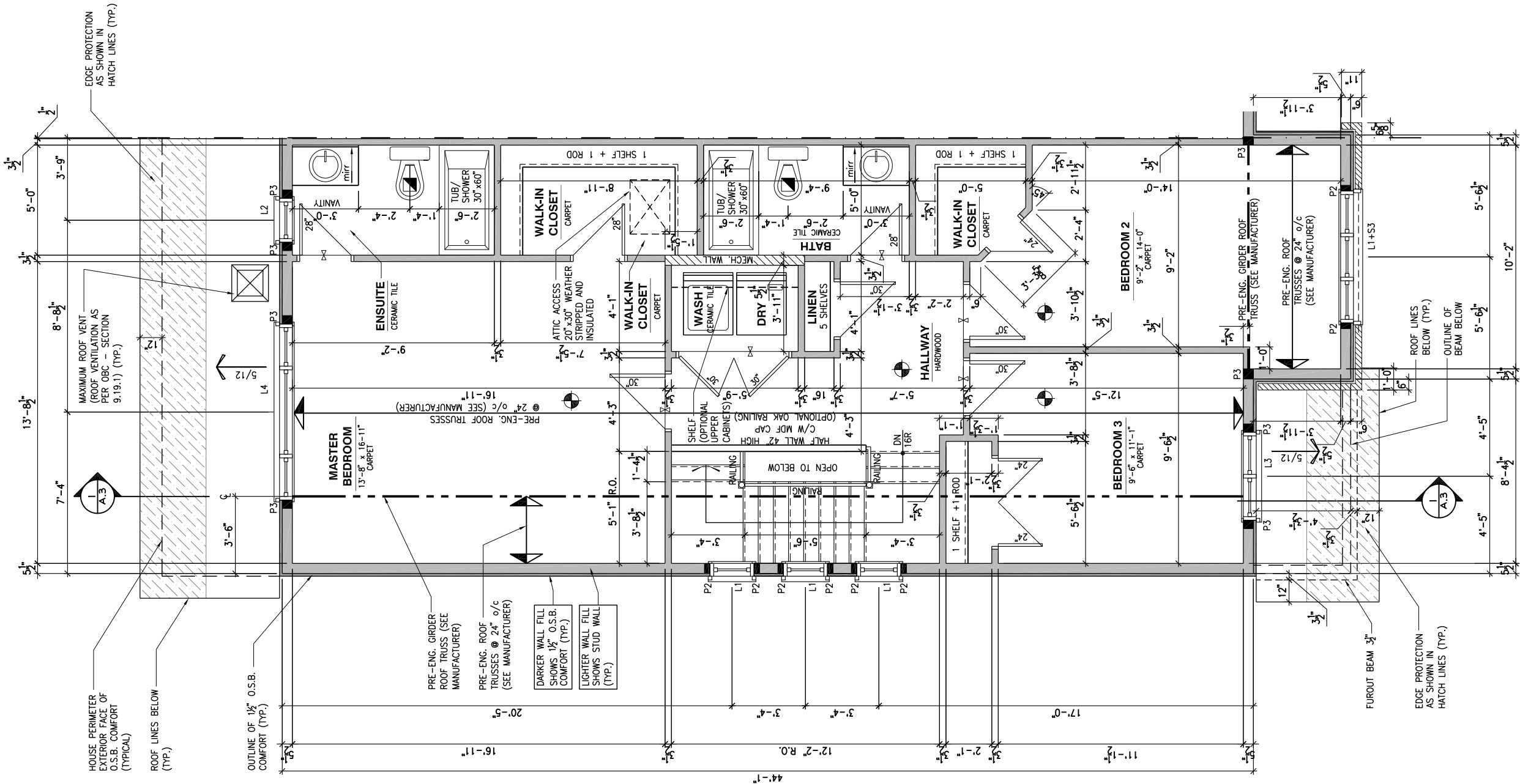
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END

ADDRESS:XXSCALE:3/16" = 1'-0"DATE:XX/XX/XXXX

GENERAL NOTES:

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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



A.9a

SECOND FLOOR PLAN - STANDARD ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN
STANDARD ENSUITE - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.9a

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



Valecraft
Homes Ltd.

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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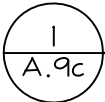
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SHEET:
A.9b

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N/A



SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

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DRAWING: **SECOND FLOOR PLAN**
OPT 5PC ENSUITE - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

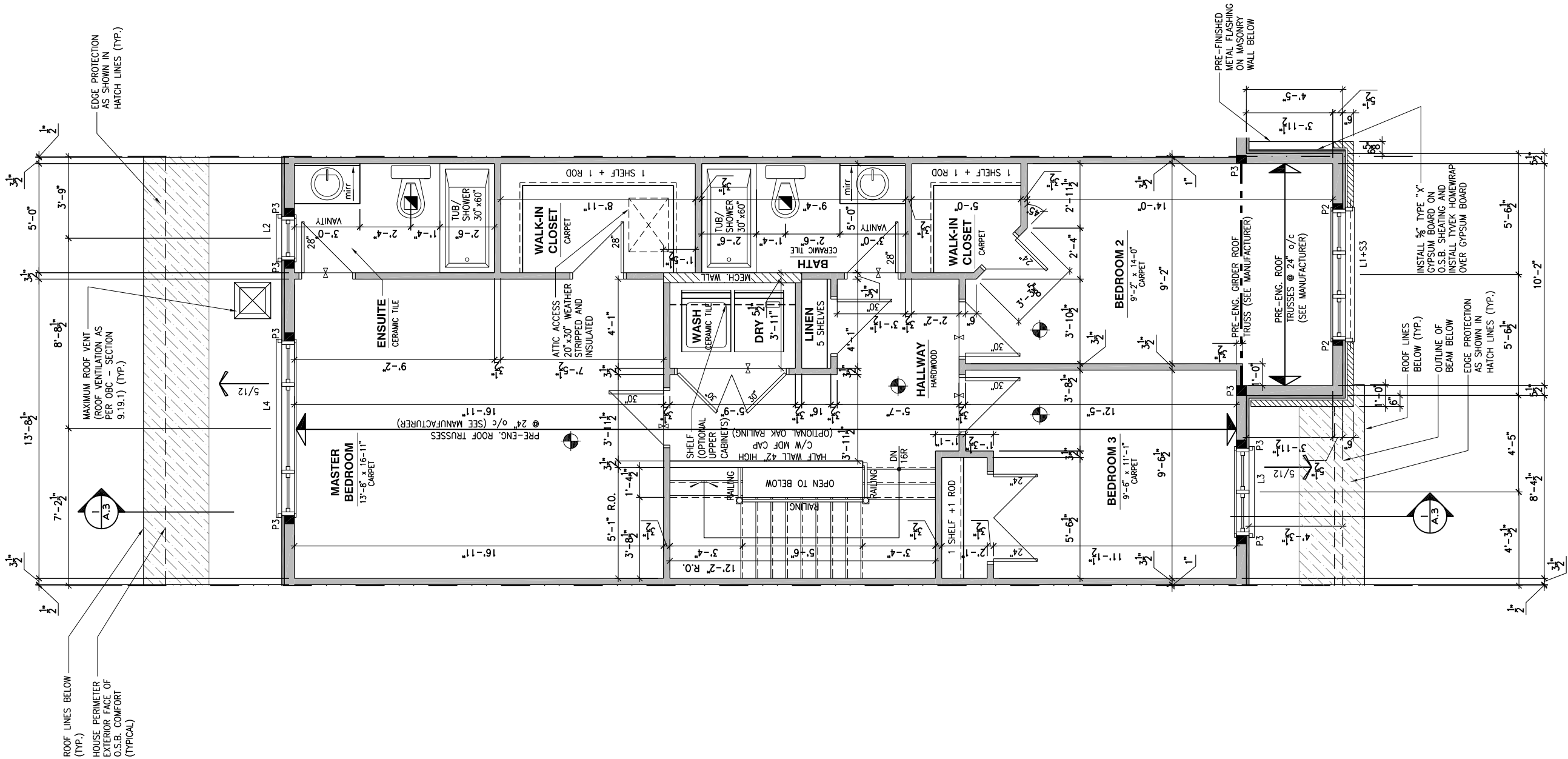
110 - THE THOMAS
2020 FOOTPRINT
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SHEET:

A.9c

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LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN
STANDARD ENSUITE - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.9d

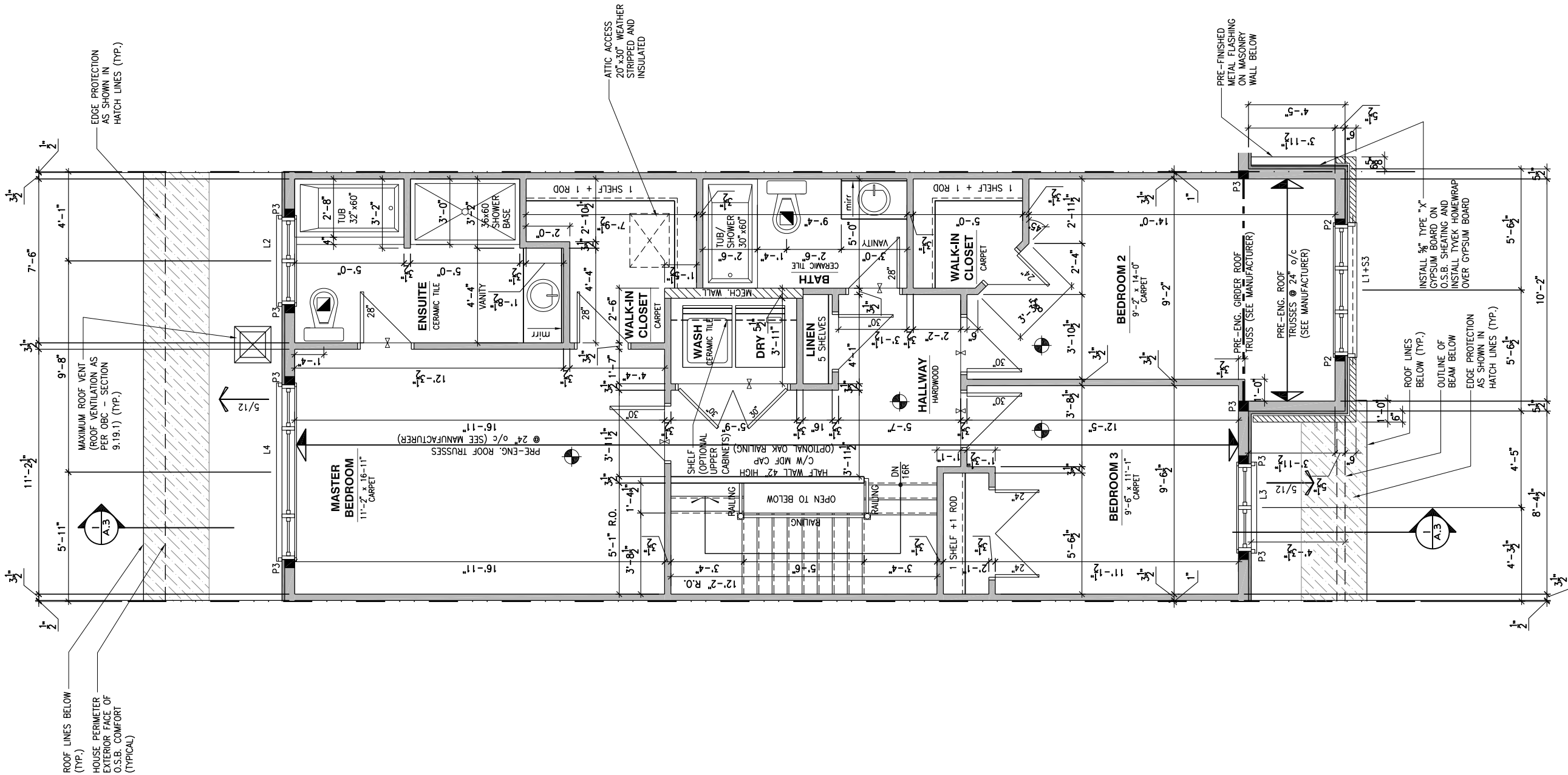
1
A.9d

SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

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**SECOND FLOOR PLAN
OPT 4 PC ENSUITE - MID**

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N/A

I

A.9f

SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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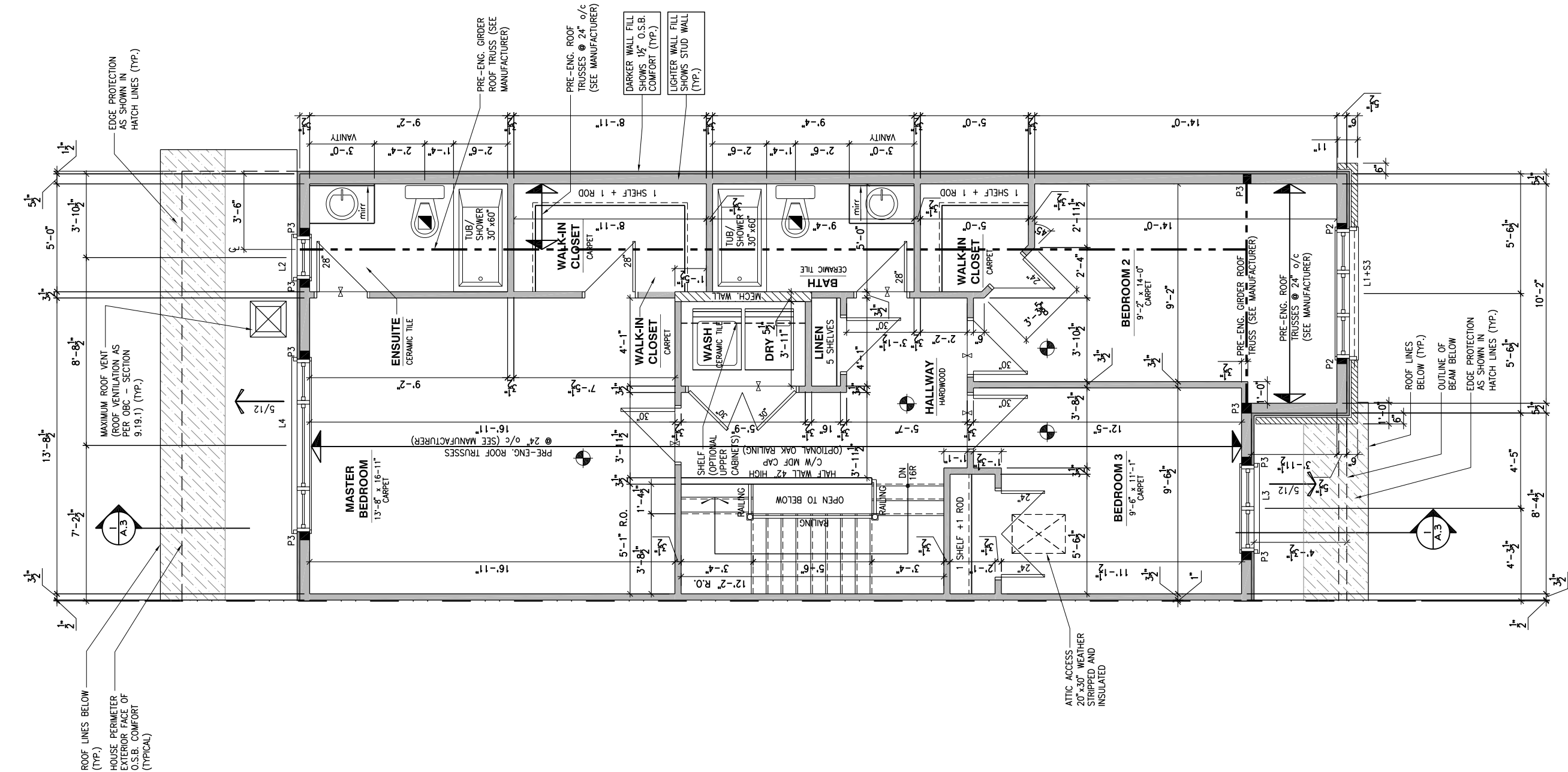
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A.9f

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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON	
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH	
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH	
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: SECOND FLOOR PLAN
STANDARD ENSUITE-GARAGE END

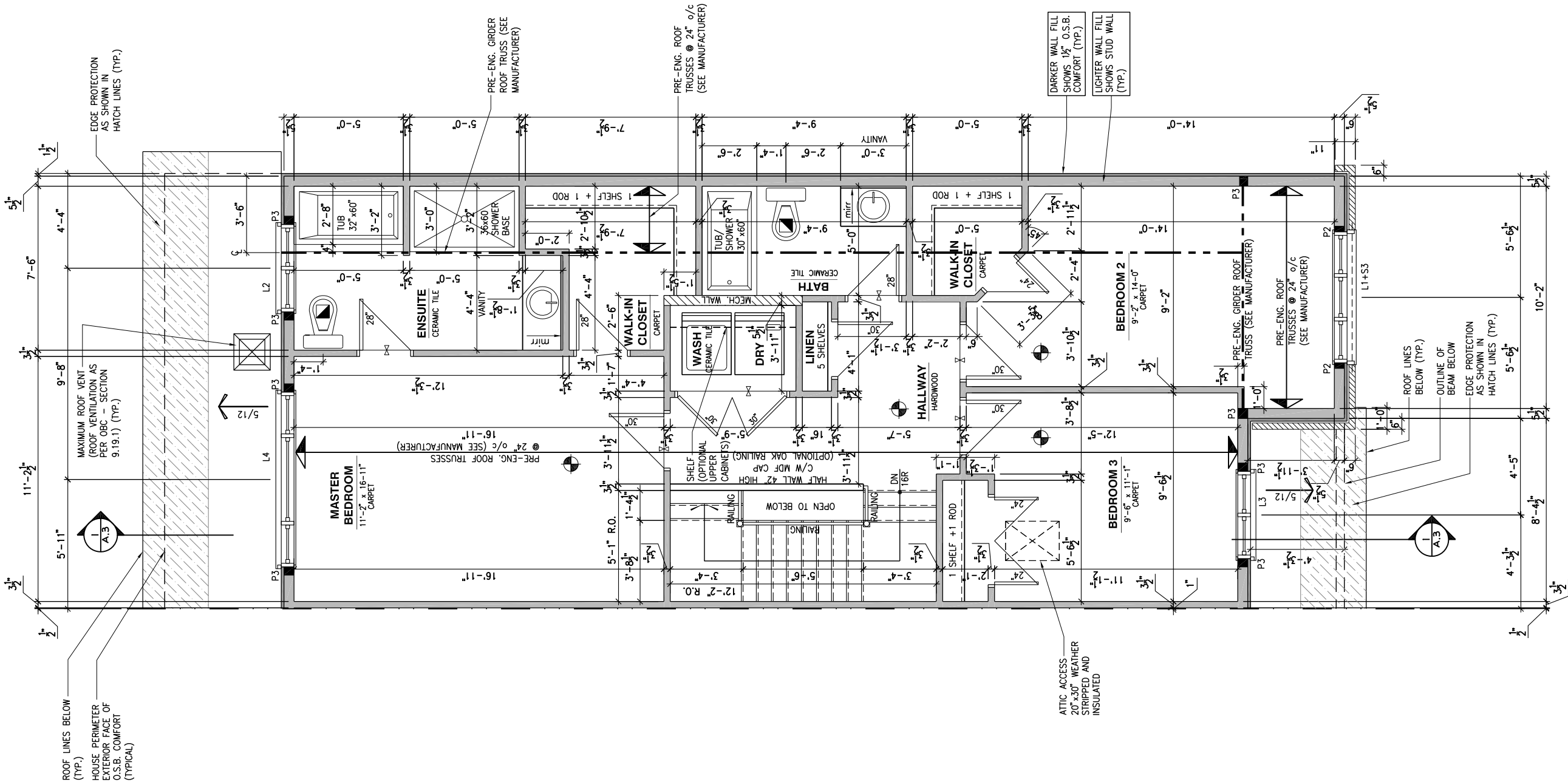
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.9g

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



1
A.9h

SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK

- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)

- (*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- POST ARE ALL JACK C/W STUD
- (EX. P2 = 1 JACK + 1 STUD)

IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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N/A



SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR PLAN
OPT 5PC ENSUITE - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

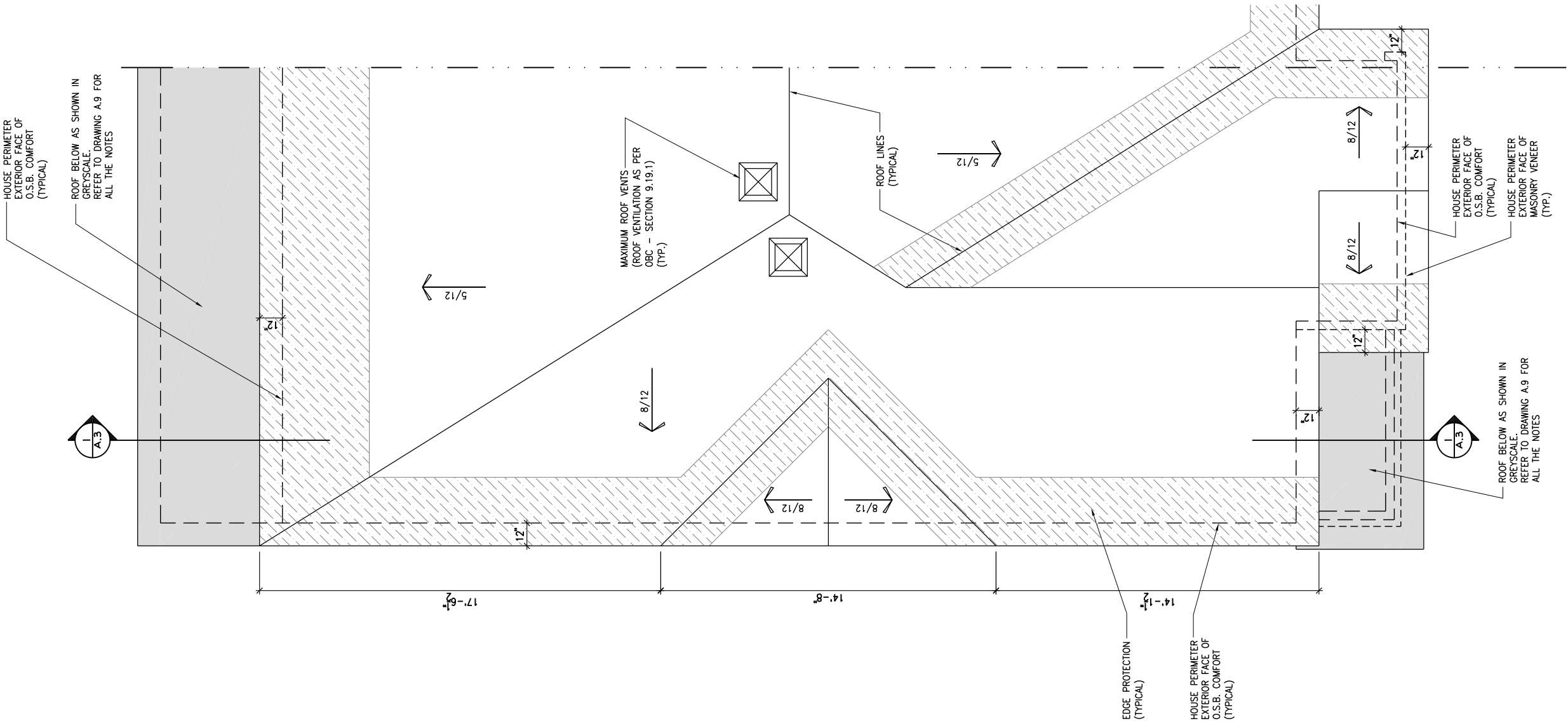
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.9i

ROOF PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:
ROOF PLAN - PORCH END UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

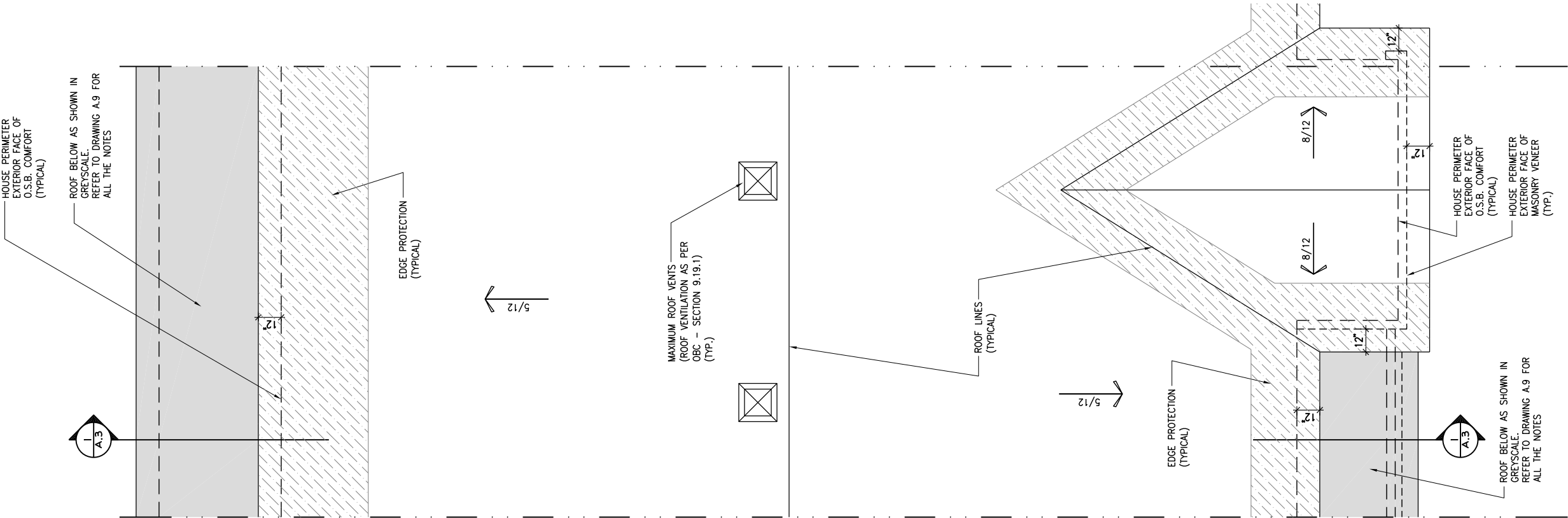
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.10a

ROOF PLAN - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:

ROOF PLAN - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.10b



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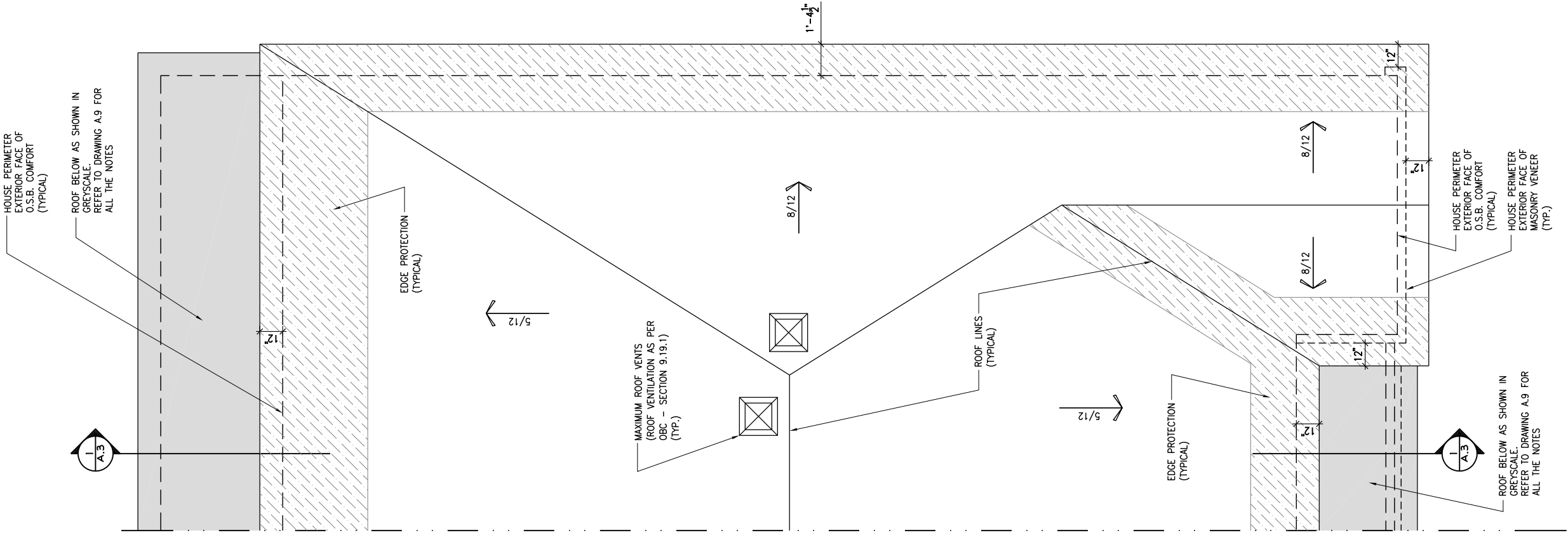
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DRAWING: ROOF PLAN - GARAGE END UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.10c

LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
- ⊕ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

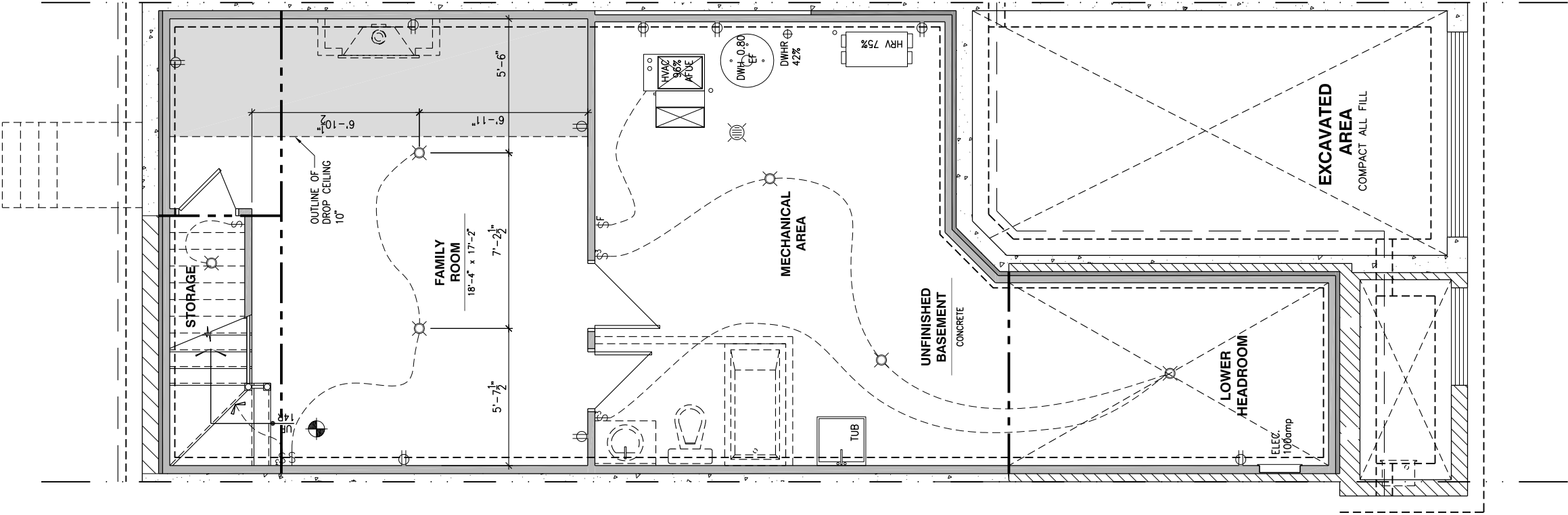
REV	NO.	DESCRIPTION	DATE	BY
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	

DRAWING: ELECTRICAL PLAN
BASEMENT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

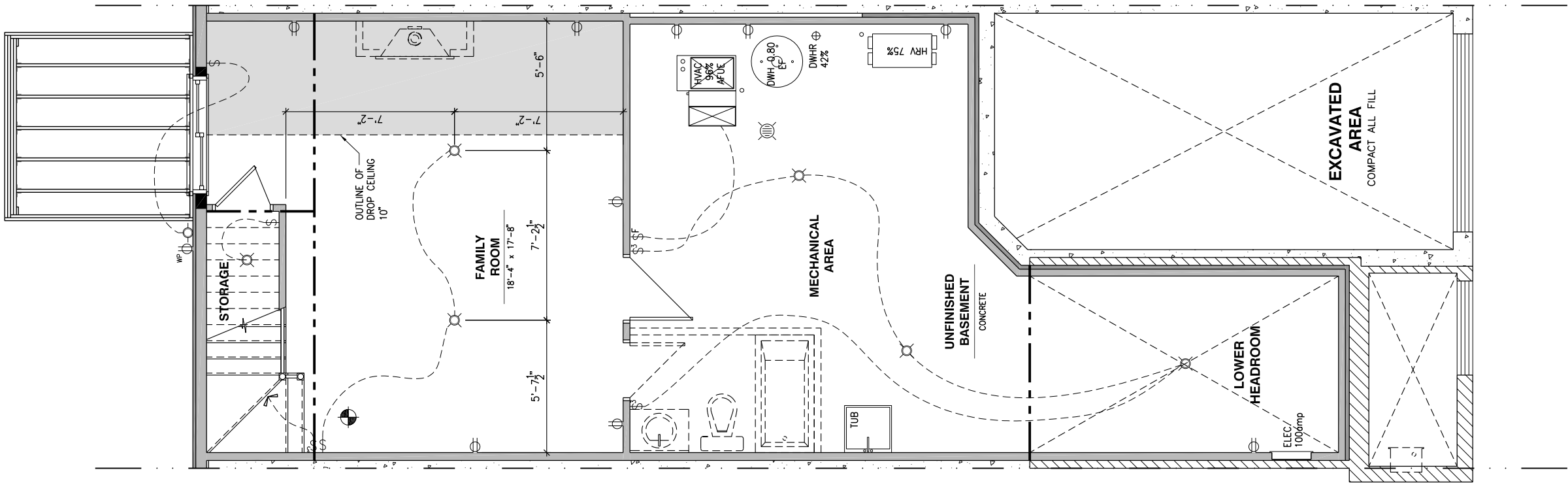
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.1a



ELECTRICAL PLAN - BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- SINGLE POLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- FURNACE SWITCH
- FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
BASEMENT - WALKOUT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

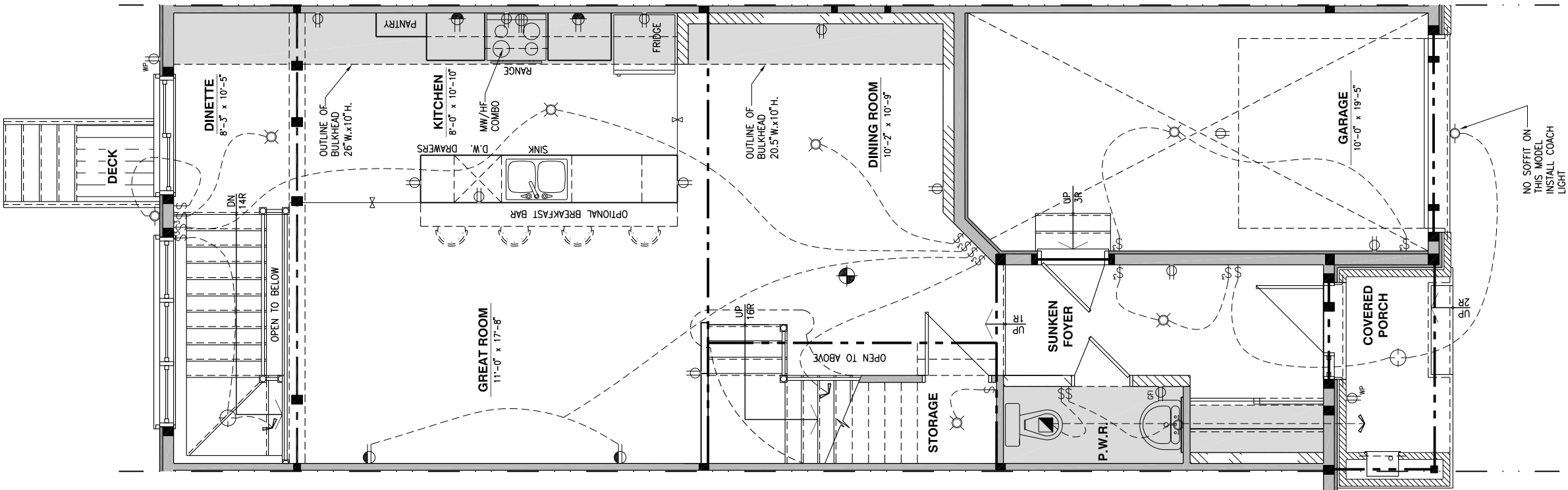
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.1b

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- ⌚ SINGLE POLE SWITCH
- ⌚ 3 WAY SWITCH
- ⌚ 4 WAY SWITCH
- ⌚ FURNACE SWITCH
- ⌚ FP FIREPLACE SWITCH
- ⌚ DUPLEX OUTLET (12" HIGH)
- ⌚ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⌚ GFI GROUND FAULT INTERVOLT
- ⌚ WP WEATHER PROOF DUPLEX OUTLET
- ⌚ SPLIT OUTLET
- ⌚ 220 VOLT OUTLET
- ⌚ WALL MOUNTED LIGHT FIXTURE
- ⌚ CEILING MOUNTED LIGHT FIXTURE
- ⌚ POT LIGHT
- ⌚ SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- ⌚ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

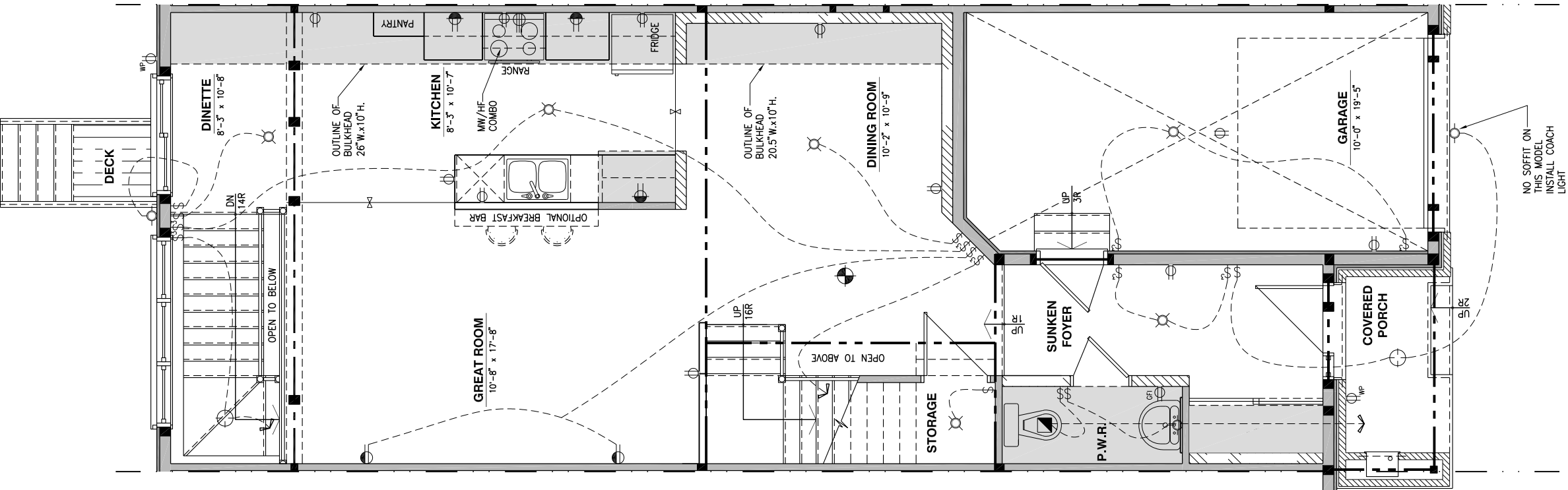
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2a

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- \$ SINGLE POLE SWITCH
- 3 3 WAY SWITCH
- 4 4 WAY SWITCH
- F FURNACE SWITCH
- FP FIREPLACE SWITCH
- DUPLX OUTLET (12" HIGH)
- DUPLX OUTLET (UPPER HALF SWITCH)
- GF1 GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- S SPLIT OUTLET
- 220 VOLT OUTLET
- W WALL MOUNTED LIGHT FIXTURE
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- P POT LIGHT
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

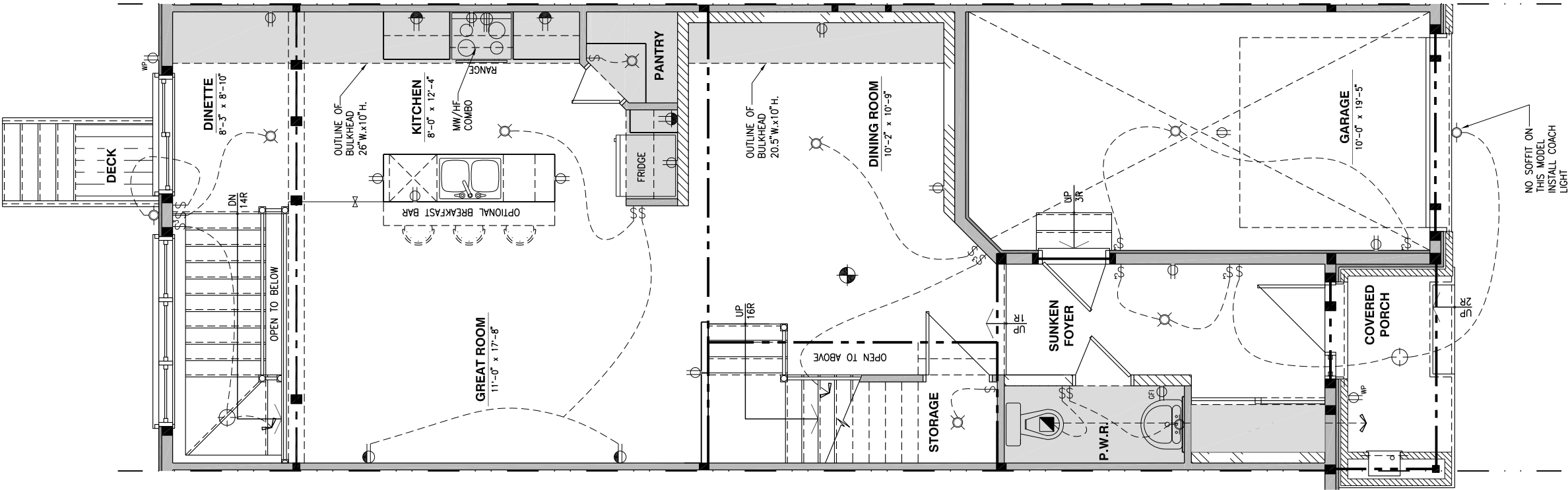
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2b

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$4 4 WAY SWITCH
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- \$GF1 GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLX OUTLET
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ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

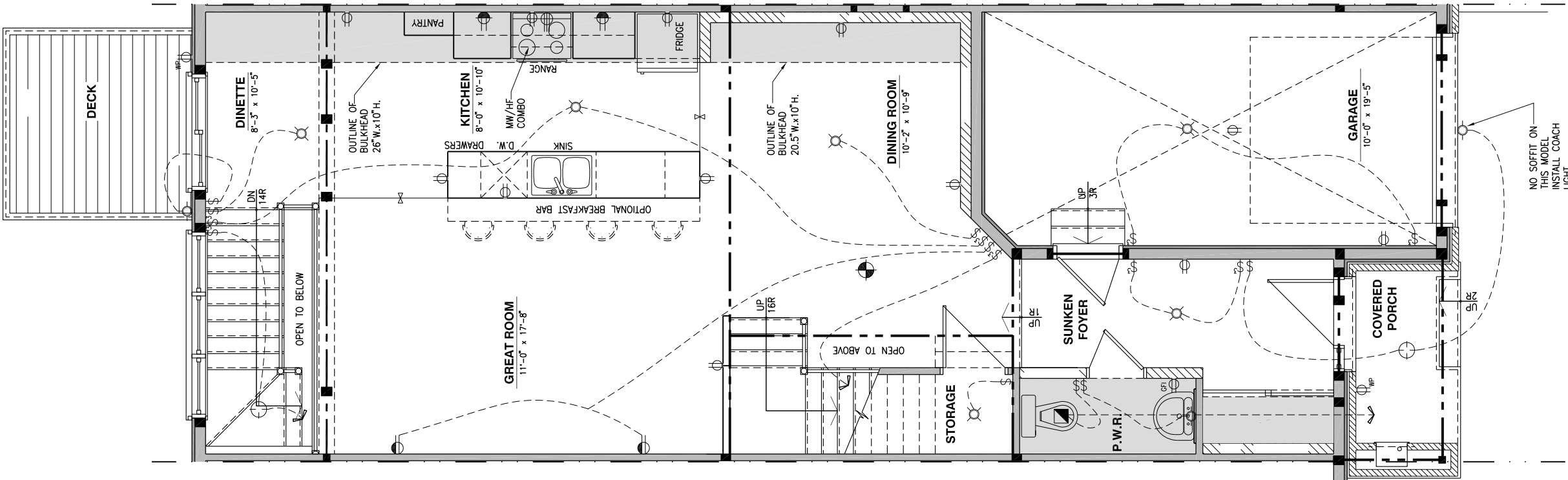
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2c

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- WP WEATHER PROOF DUPLEX OUTLET
- S SPLIT OUTLET
- 220 220 VOLT OUTLET
- W WALL MOUNTED LIGHT FIXTURE
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2012 O.B.C. DRAWINGS

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ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

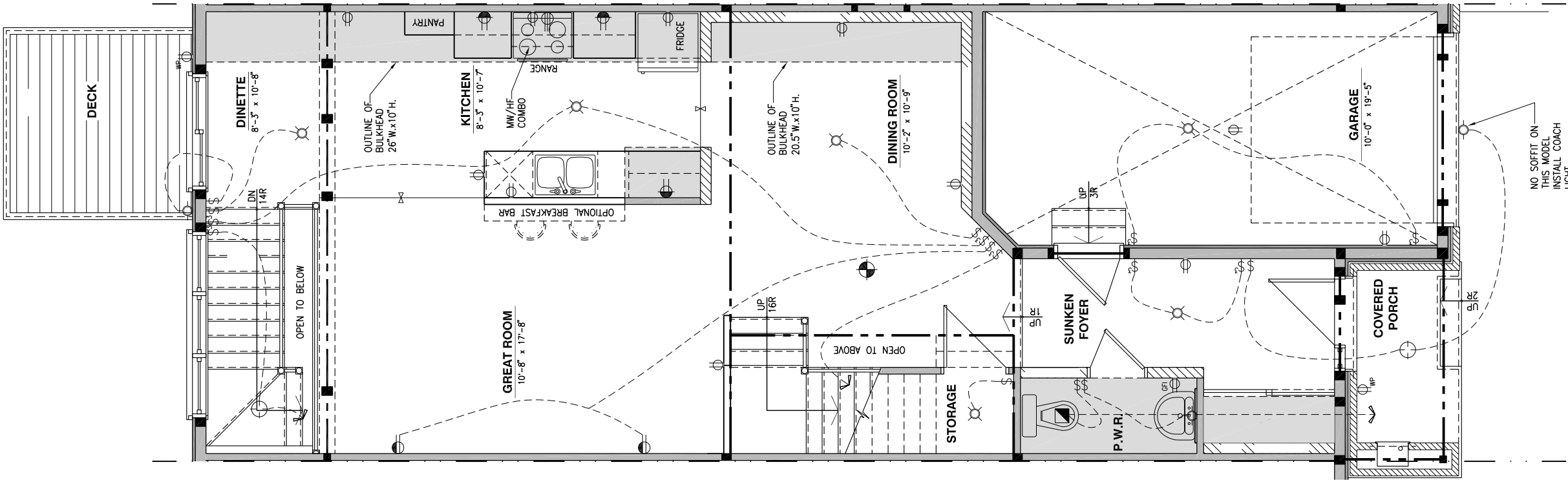
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2d

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
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- \$ FURNACE SWITCH
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

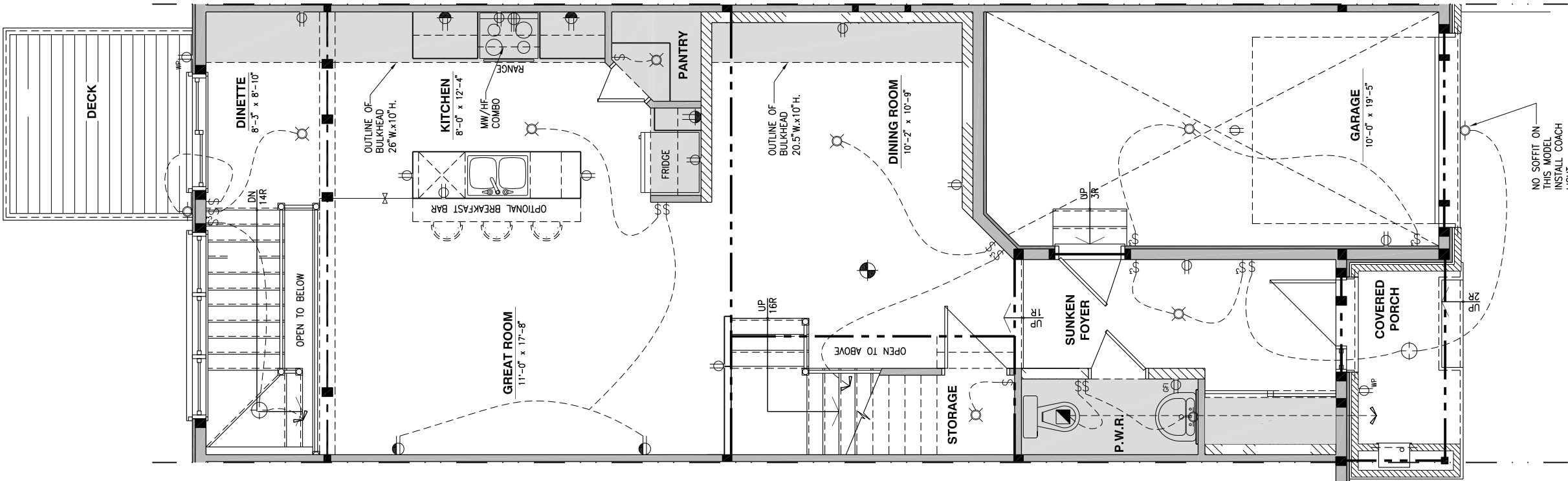
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2e

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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ELECTRICAL PLAN
GROUND FLOOR

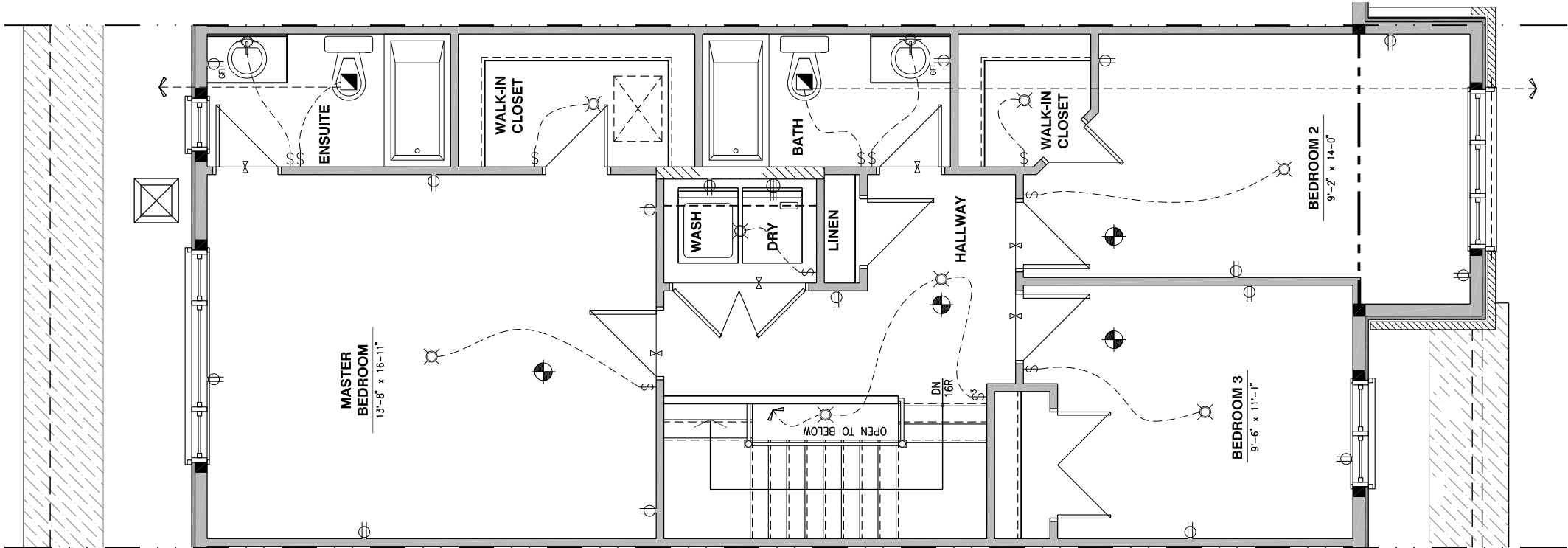
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.2f

ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$D DUPLEX OUTLET (12" HIGH)
- \$DUP DUPLEX OUTLET (UPPER HALF SWITCH)
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- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
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- \$CEIL CEILING MOUNTED LIGHT FIXTURE
- \$POT POT LIGHT
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ELECTRICAL PLAN
SECOND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

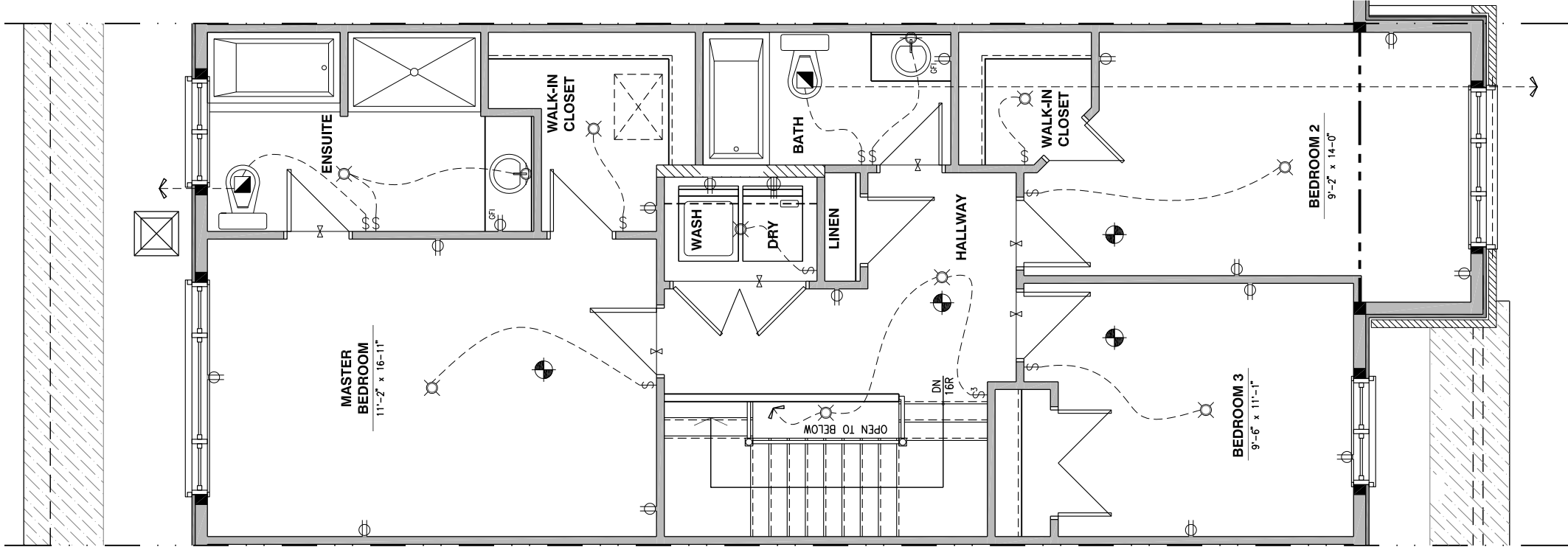
110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.3a

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 4 PC ENSUITE

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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ELECTRICAL PLAN
SECOND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.3b

N/A

LOT:XXXX

DATE:XX/XX/XXXX



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•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$

SINGLE POLE SWITCH
- \$3

3 WAY SWITCH
- \$4

4 WAY SWITCH
- \$F

FURNACE SWITCH
- \$FP

FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GFI GROUND FAULT INTERVOLT
- WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT
- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR

ADDRESS:xx

SCALE:3/16" = 1'-0"

DATE:xx/xx/xxxx

110 - THE THOMAS
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.3c