

LOT: **XXXX** DATE: XX/XX/XXXX



I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

FRONT ELEVATION - END UNITS

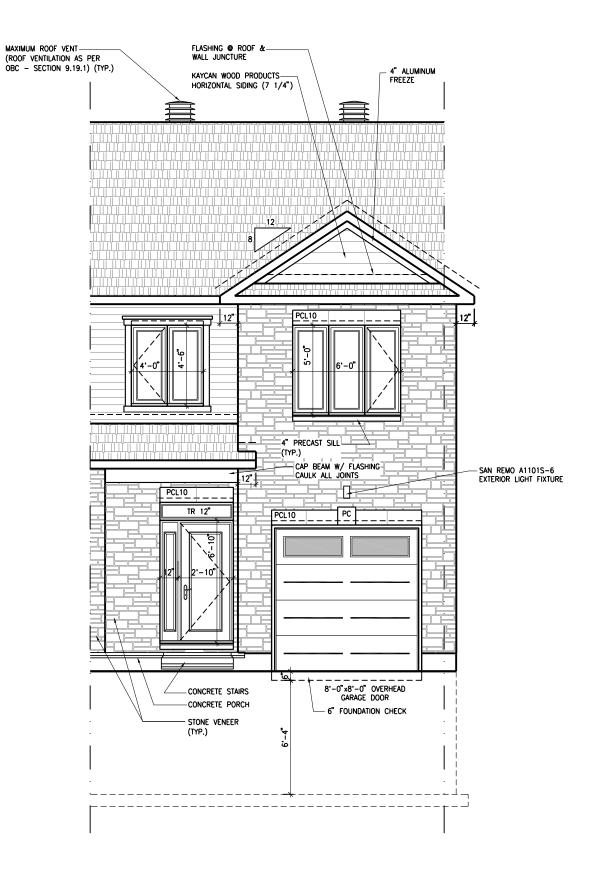
3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET **A.1**a

FRONT ELEVATION - GARAGE END UNIT SCALE: 3/16" = 1'-0"





FRONT ELEVATION - MID UNIT

SCALE: 3/16" = 1'-0"

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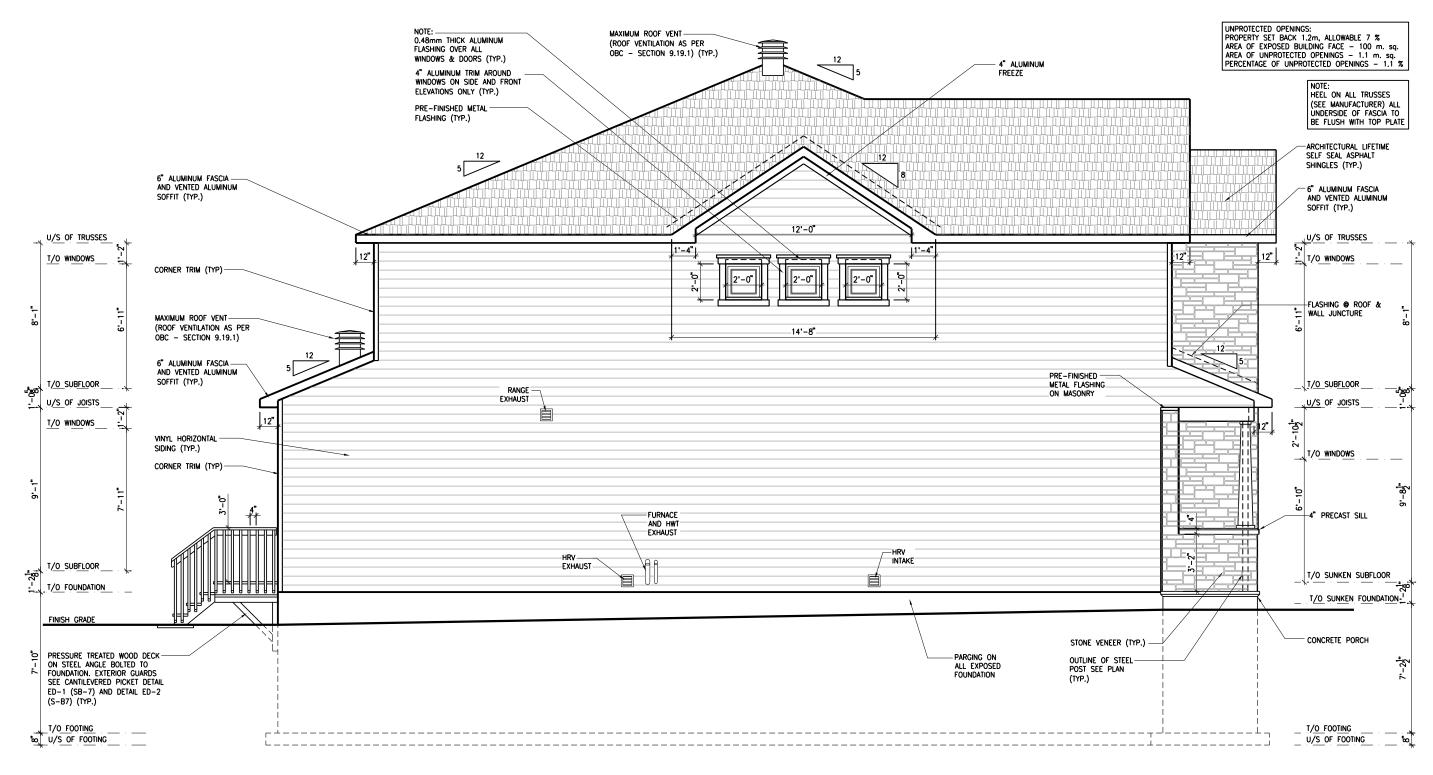
FRONT ELEVATION - MID UNIT

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx SHEET:

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.1b





LEFT ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"

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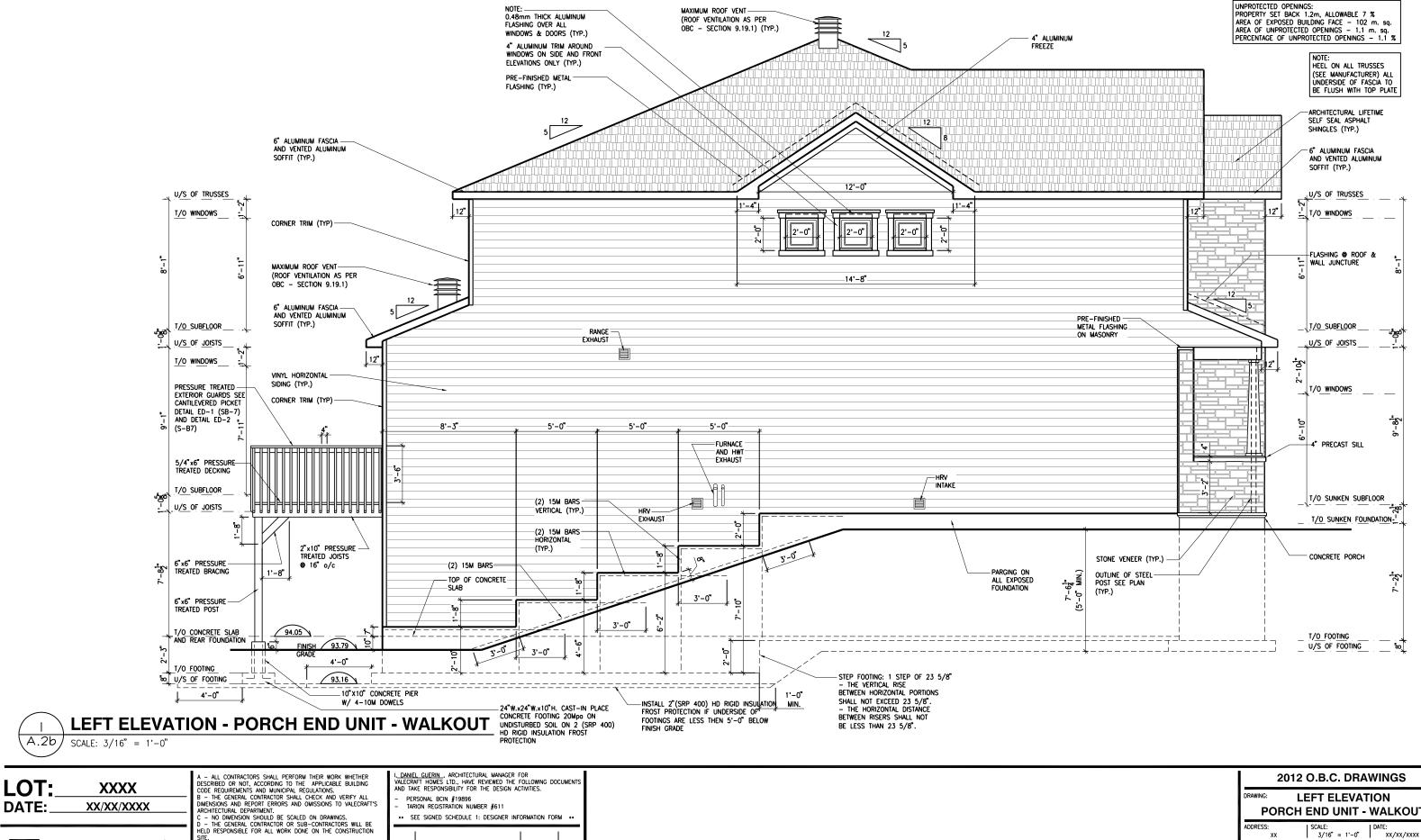
OFFICEIPTION MM/DD/YYYY BY

2012 O.B.C. DRAWINGS LEFT ELEVATION **PORCH END UNIT**

ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT (STANDARD DRAWINGS)

A.2a



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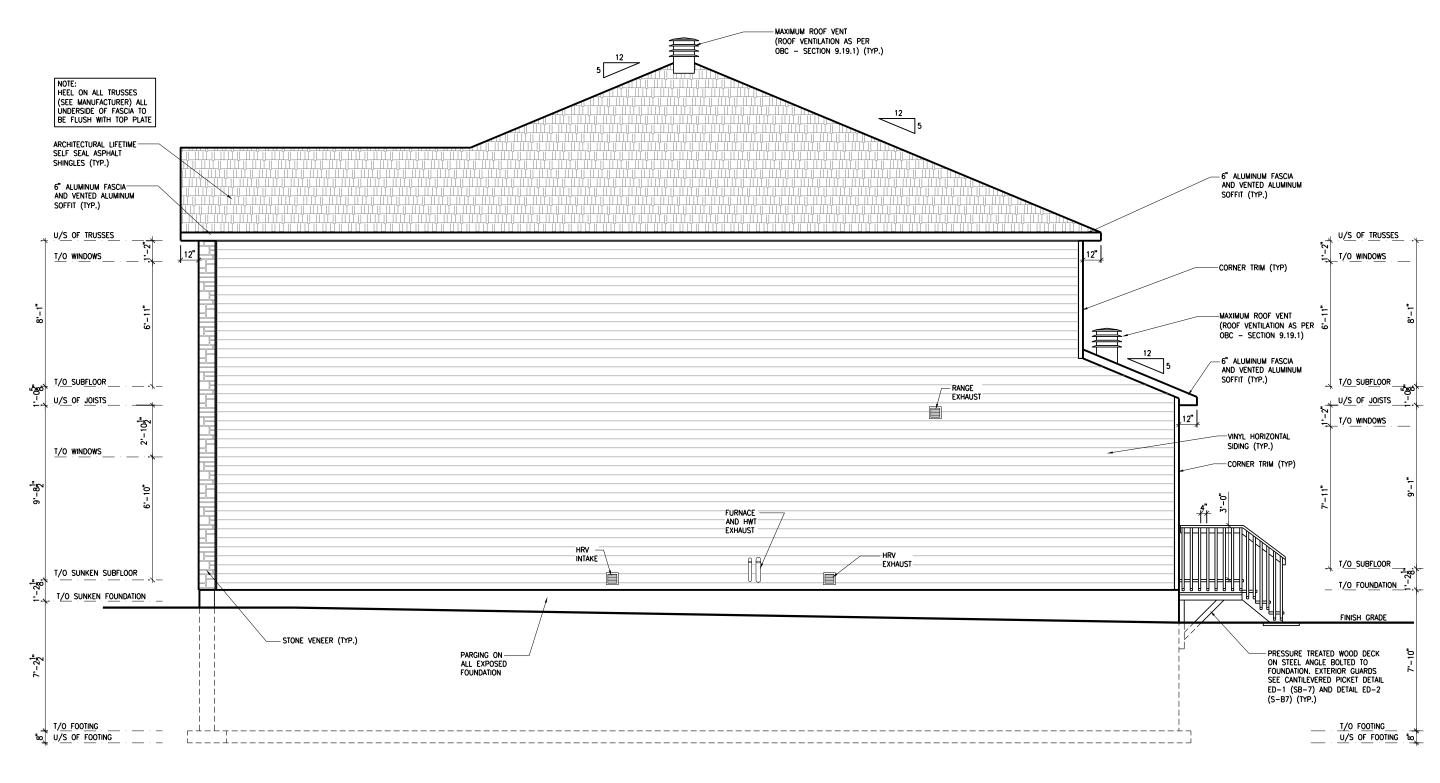
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NO	DESCRIPTION	MM/DD/YYYY	RY

PORCH END UNIT - WALKOUT

ADDRESS: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT (STANDARD DRAWINGS)

A.2b





RIGHT ELEVATION - GARAGE END UNIT

 $\overline{\text{SCALE: } 3/16"} = 1'-0"$

Valecraft

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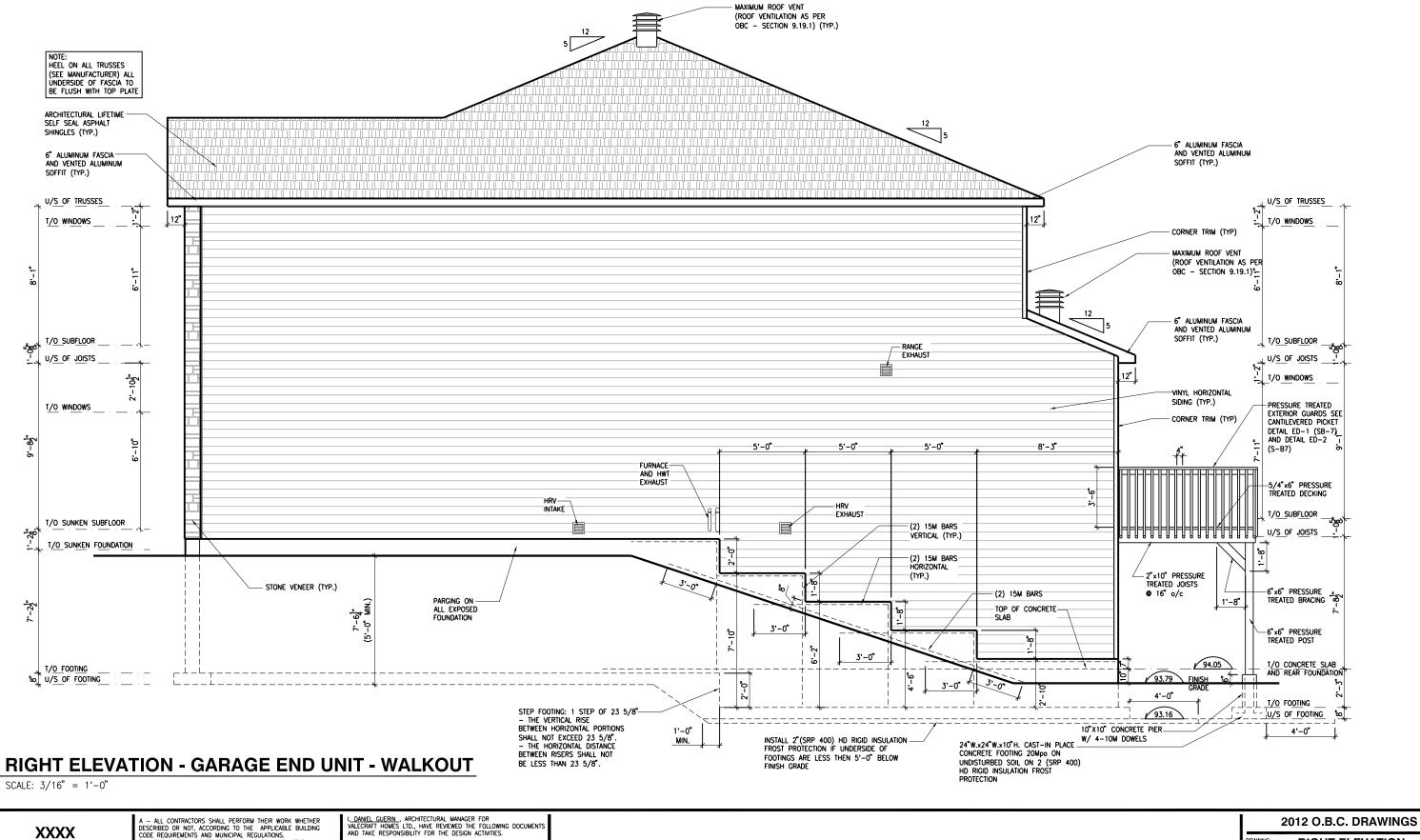
OFFICEIPTION MM/DD/YYYY BY

	2012 O.B.C. DRAWINGS		
DRAWING: RIGHT ELEVATION			
	GARAGE END UNIT		

ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT (STANDARD DRAWINGS)

A.2c



XX/XX/XXXX

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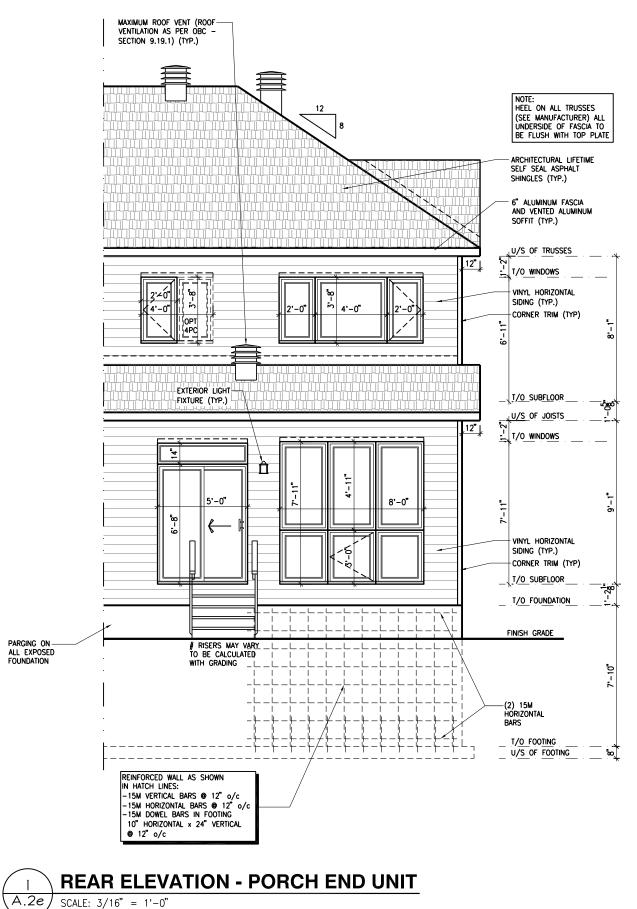
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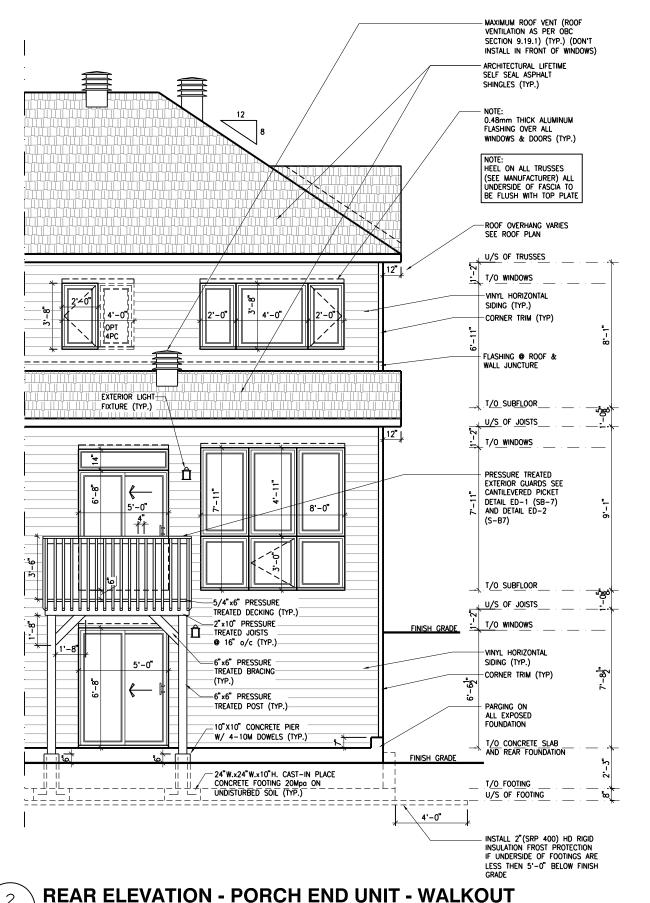
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RIGHT ELEVATION **GARAGE END UNIT -WALKOUT**

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REAR ELEVATION PORCH END UNITS

XX/XX/XXXX

SHEET

A.2e

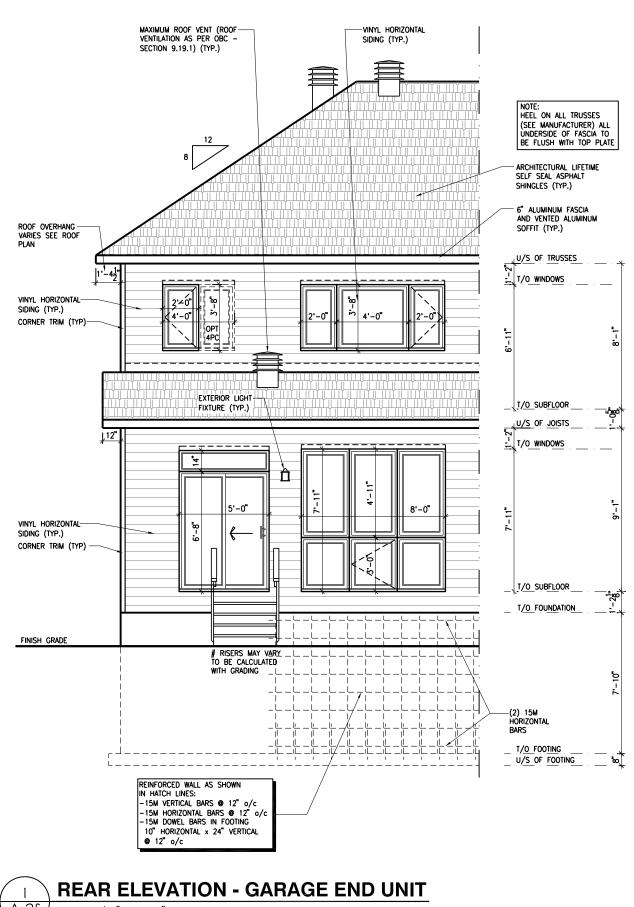
110 - THE THOMAS

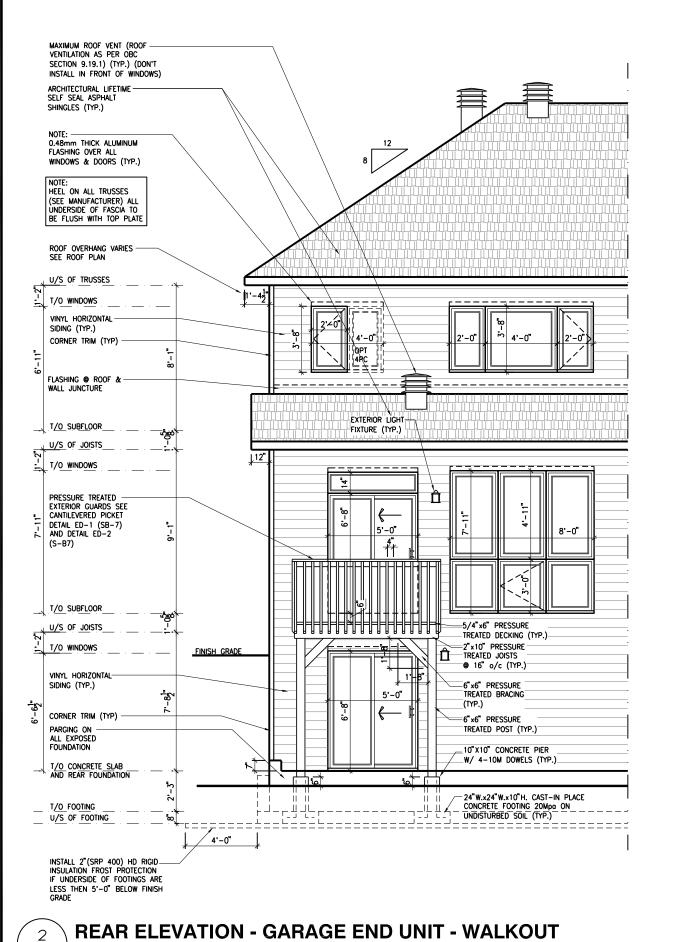
2020 FOOTPRINT

(STANDARD DRAWINGS)

(A.2e)

SCALE: 3/16" = 1'-0"





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REAR ELEVATION

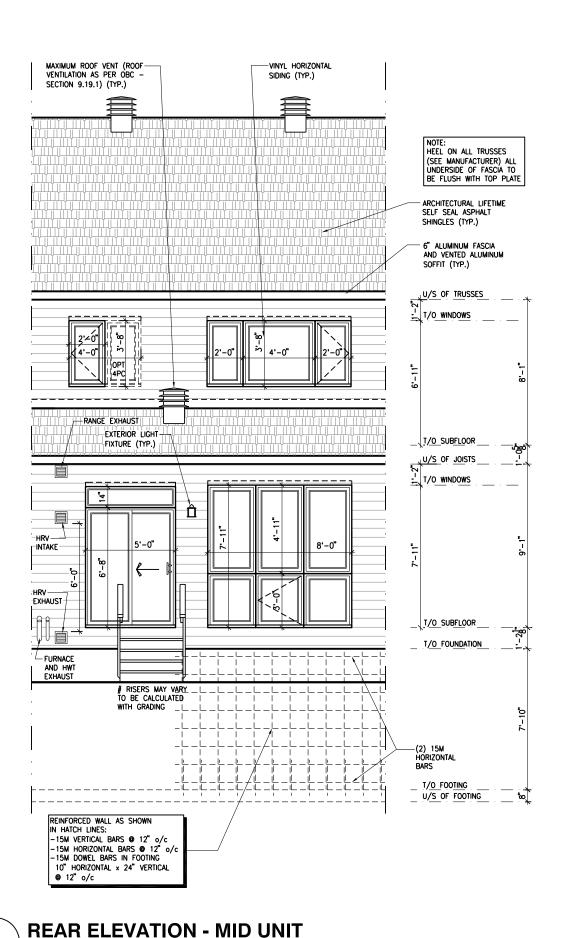
GARAGE END UNITS

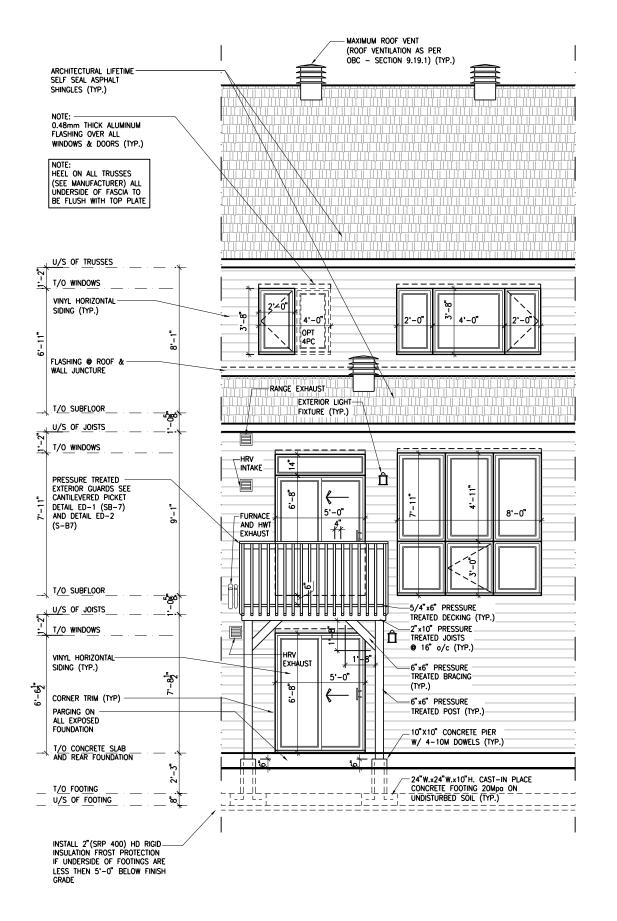
XX/XX/XXXX SHEET

A.2f

110 - THE THOMAS

2020 FOOTPRINT





REAR ELEVATION - MID UNIT - WALKOUT A.2g/

SCALE: 3/16" = 1'-0"

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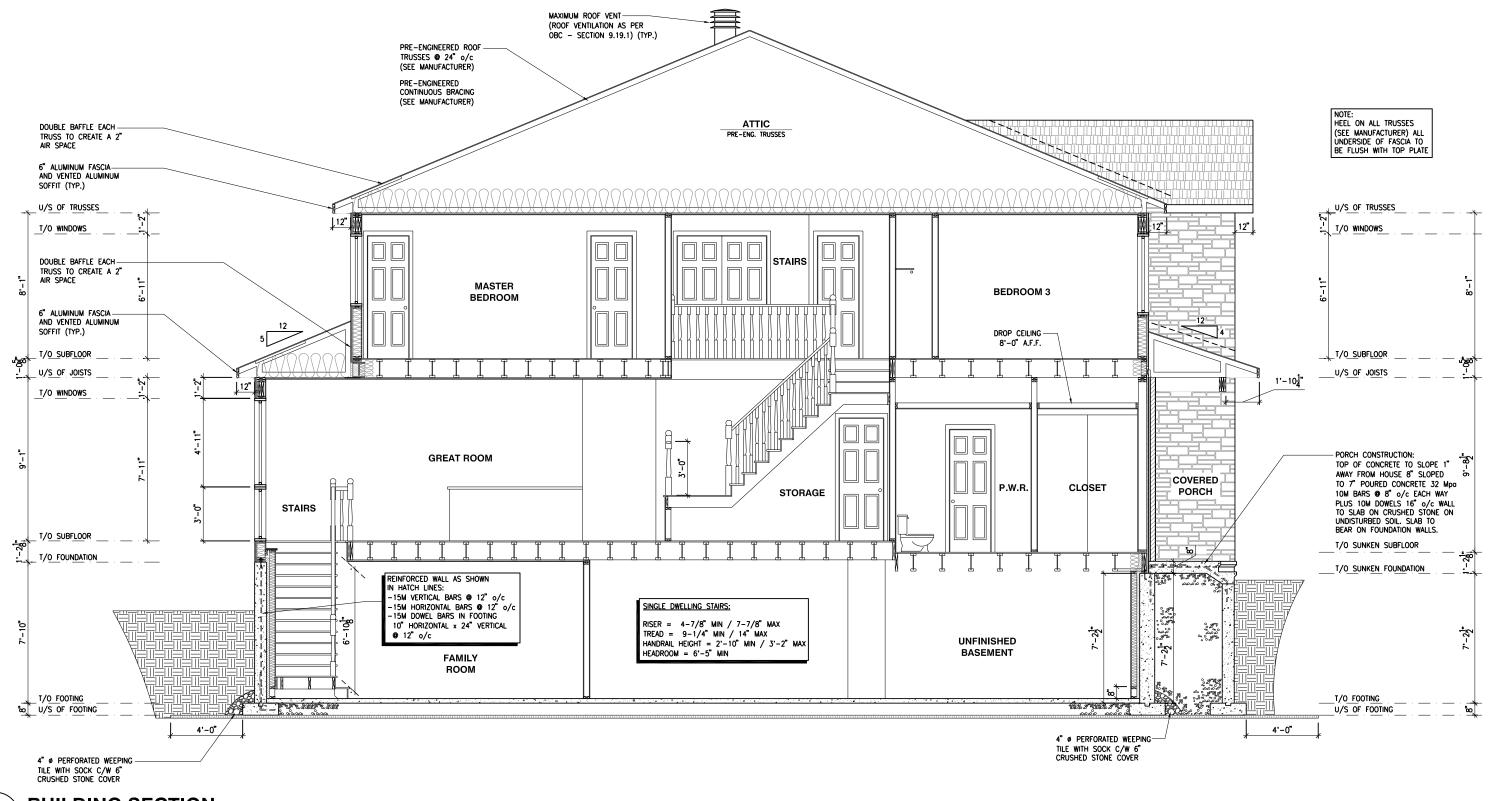
REAR ELEVATION - MID UNITS

xx/xx/xxxx

110 - THE THOMAS 2020 FOOTPRINT

SHEET A.2g

(A.2g





BUILDING SECTION

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX

Valecraft

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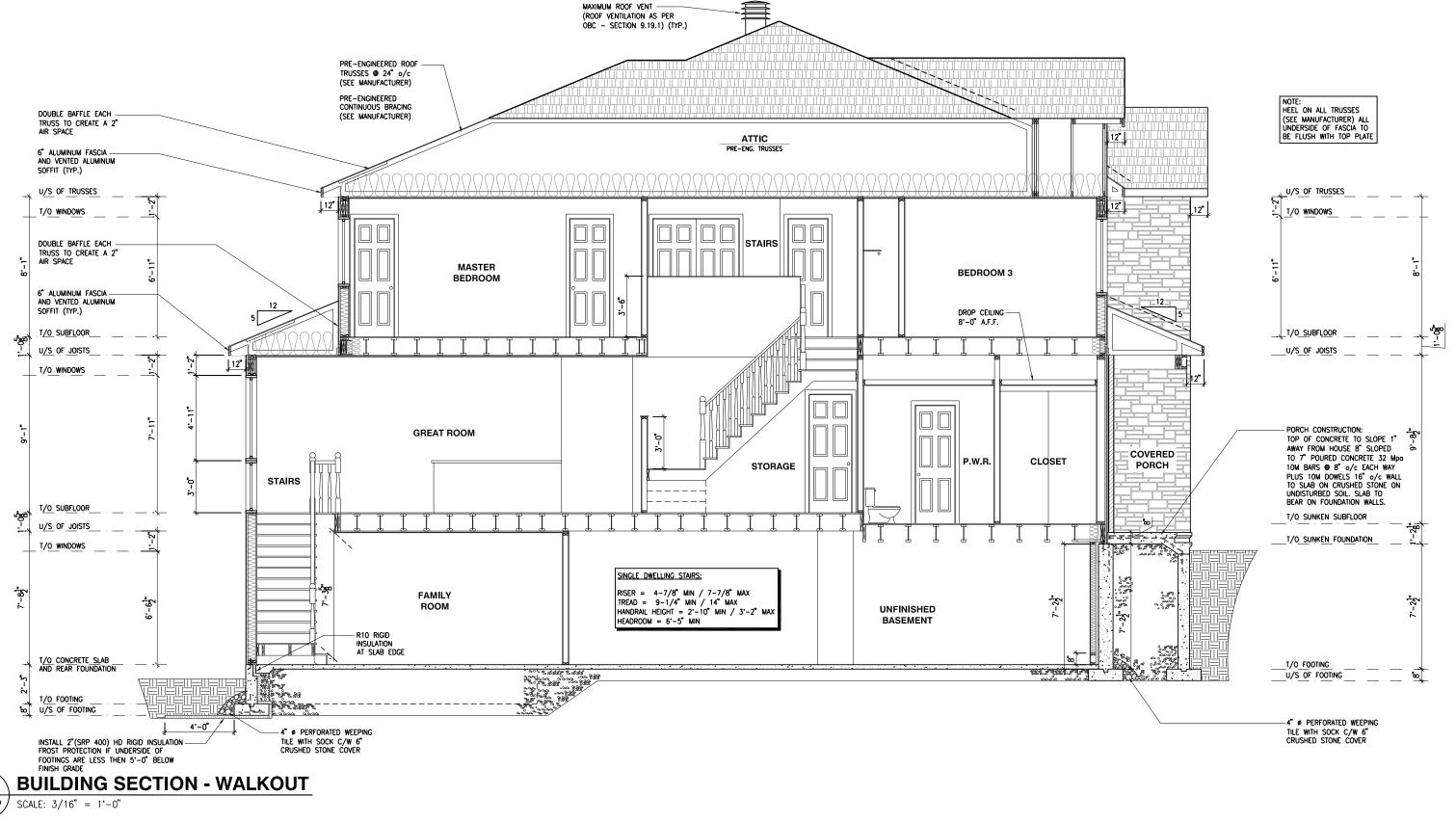
2012 O.B.C. DRAWINGS

BUILDING SECTION

ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT (STANDARD DRAWINGS)

A.3a



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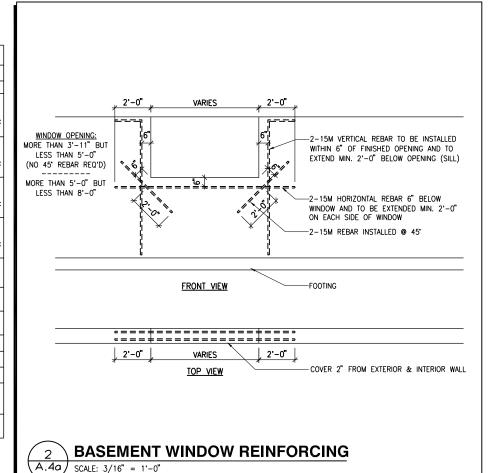
BUILDING SECTION WALKOUT

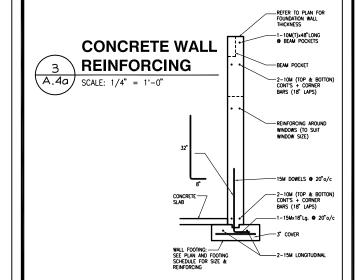
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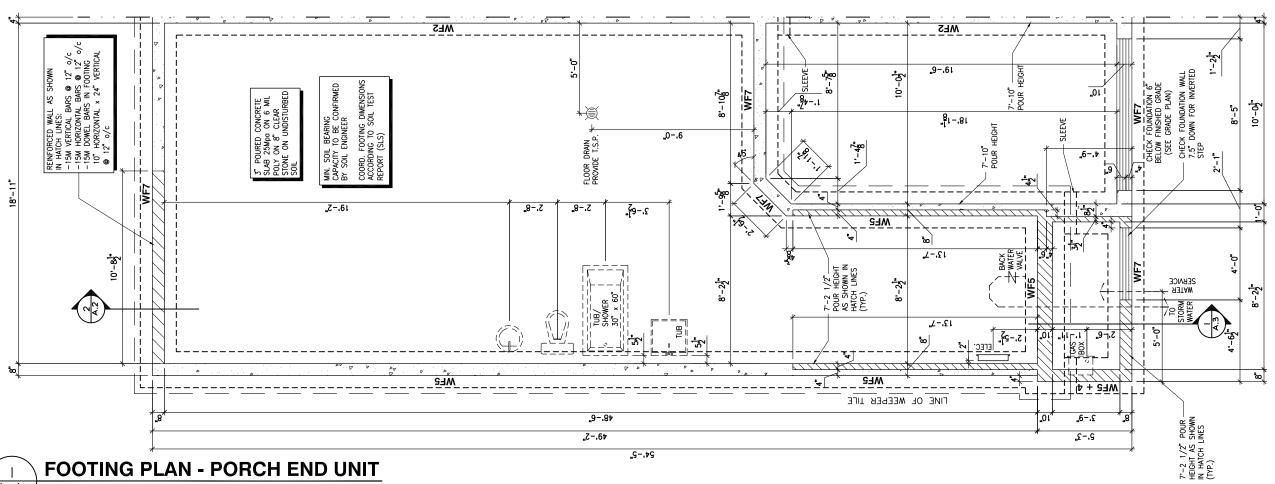
110 - THE THOMAS 2020 FOOTPRINT (STANDARD DRAWINGS)

A.3b

	FOOTING SCHEDULE				
	ALLOWABLE SOIL BEARING CAR	PACITY / BEARING RESISTANCE	E AT SLS FOR «SITE CLASS:D»	,	
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	BARS 32" LONG @ 20" o/c	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	3-15M LONGITUDINAL BARS	
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS	
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	
	PAI	FOOTING SCHED	JLE		
	ALLOWABLE SOIL BEARING CAR	PACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D»	•	
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa	
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. × 28"W. × 12"H.	







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2012 O.B.C. DRAWINGS

NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
AS PER STRUCTURAL REVIEW	03/20/2019	VH
AS PER STRUCTURAL REVIEW	11/07/2018	VH
NEW STANDARD DRWG MODIFICATION	11/13/2017	
DESCRIPTION	MM/DD/YYYY	BY
	AS PER STRUCTURAL REVIEW AS PER STRUCTURAL REVIEW NEW STANDARD DRWG MODIFICATION	AS PER STRUCTURAL REVIEW 03/20/2019 AS PER STRUCTURAL REVIEW 11/07/2018 NEW STANDARD DRWG MODIFICATION 11/13/2017

FOOTING PLAN -PORCH END UNIT

3/16" = 1'-0" XX/XX/XXXX

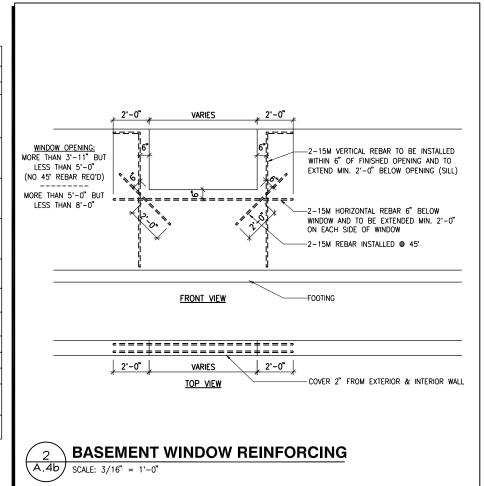
110 - THE THOMAS 2020 FOOTPRINT

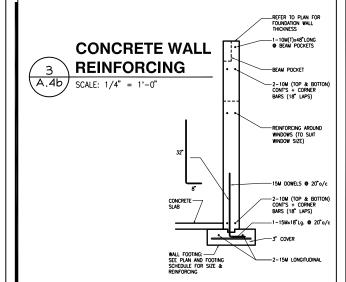
(STANDARD DRAWINGS)

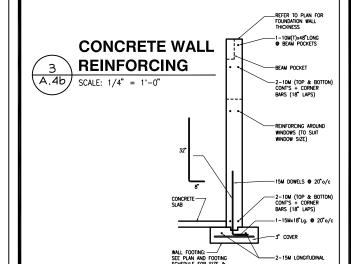
SHEET A.4a

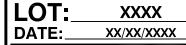
(A.4a *)*

	FOOTING SCHEDULE				
	ALLOWABLE SOIL BEARING CAI	PACITY / BEARING RESISTANCE	E AT SLS FOR «SITE CLASS:D»)	
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	BARS 32" LONG @ 20" o/c	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
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WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS	
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS	
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS	
	PAI	D FOOTING SCHED	JLE		
	ALLOWABLE SOIL BEARING CAI	PACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D»	•	
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa	
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY	
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 12"H.	









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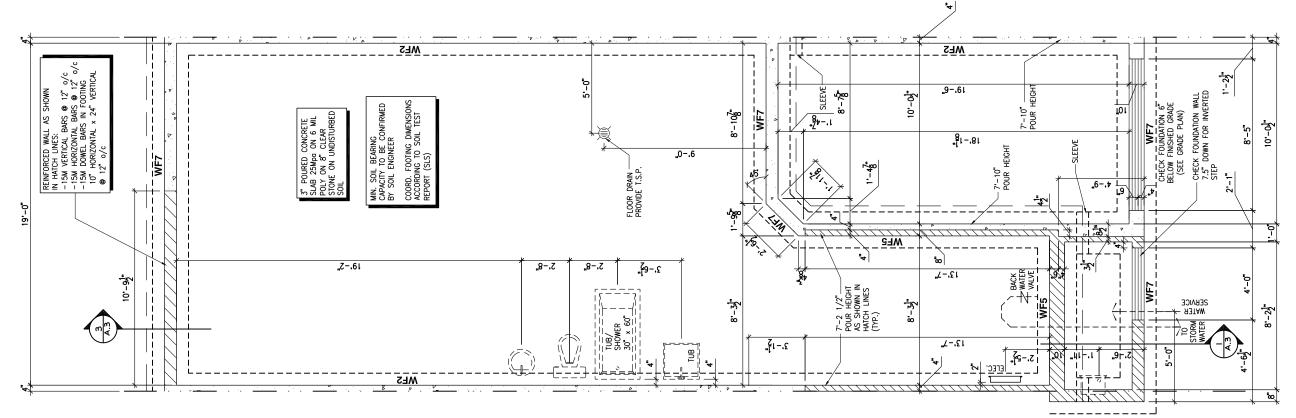
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FOOTING PLAN - MID UNIT (A.4b) SCALE: 3/16" = 1'-0"

FOOTING PLAN - MID UNIT

2012 O.B.C. DRAWINGS

REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON

REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD
NO. DESCRIPTION MM/DD/YYYY BY

3/16" = 1'-0" 110 - THE THOMAS

REV-3 AS PER STRUCTURAL REVIEW

REV-2 AS PER STRUCTURAL REVIEW

2020 FOOTPRINT

(STANDARD DRAWINGS)

A.4b

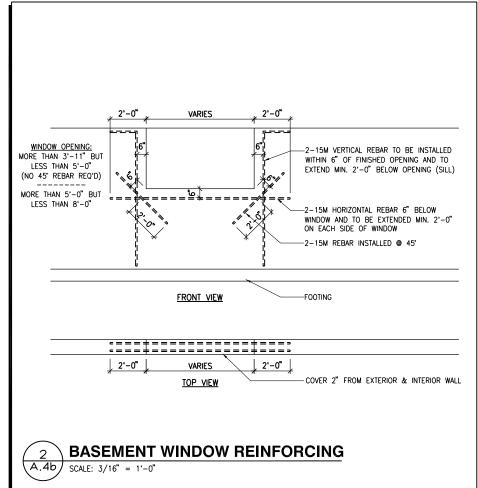
XX/XX/XXXX

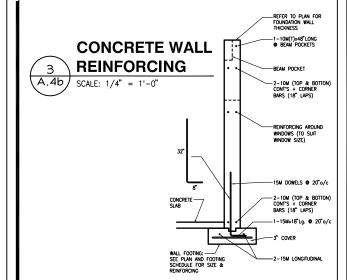
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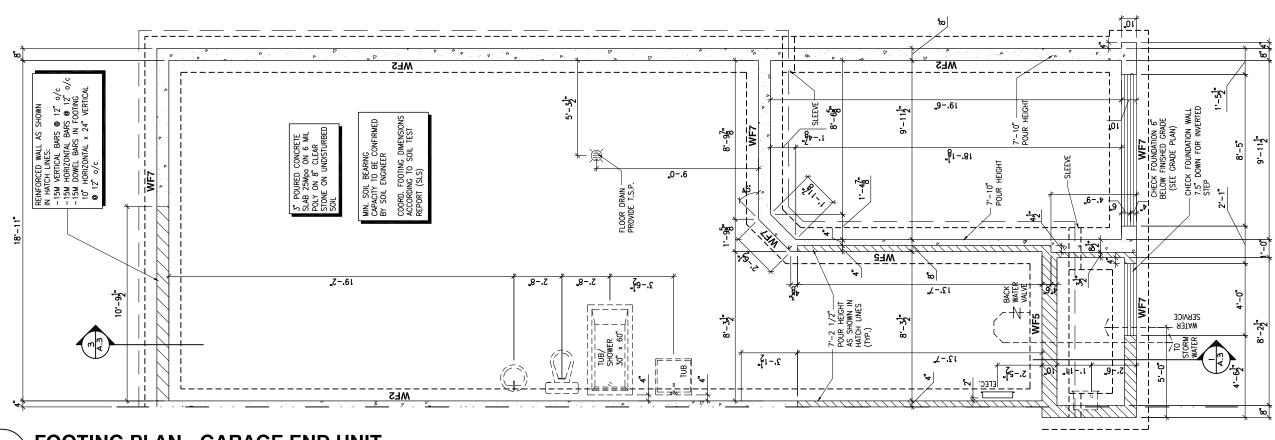
03/20/2019 VH

11/07/2018 VH

		OOTING SCHEDULI	<u>E</u>		
	ALLOWABLE SOIL BEARING CAP	PACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D»	»	
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	РАГ	D FOOTING SCHEDU	JLE		
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LOT: XXXX
DATE: XX/XX/XXXX



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 - TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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2012 O.B.C. DRAWINGS

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REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING

FOOTING PLAN - GARAGE END

DDRESS: | SCALE: | DATE: | XX | 3/16" = 1'-0" | XX/XX/XXXX

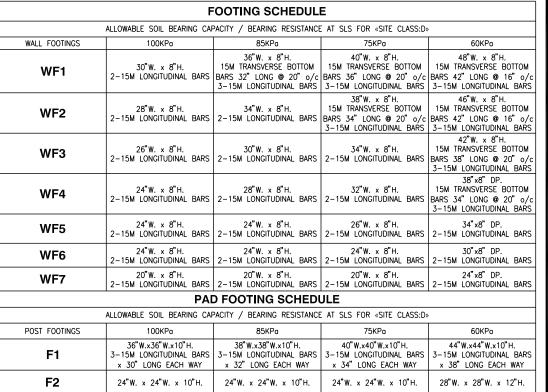
110 - THE THOMAS 2020 FOOTPRINT

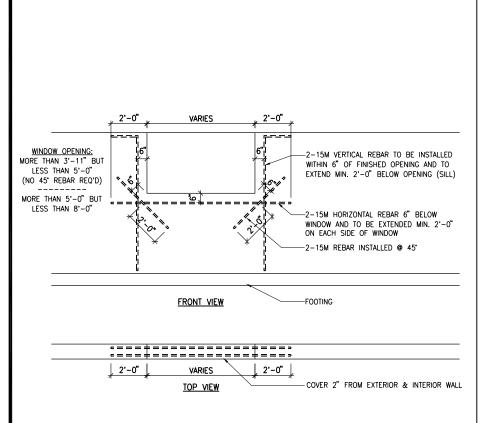
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A.4c

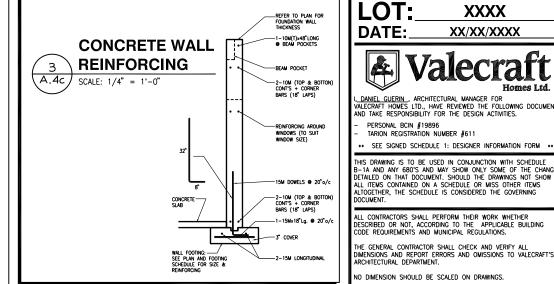
FOOTING PLAN - GARAGE END UNIT

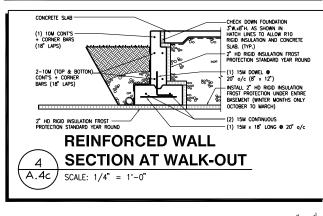
(A.4c

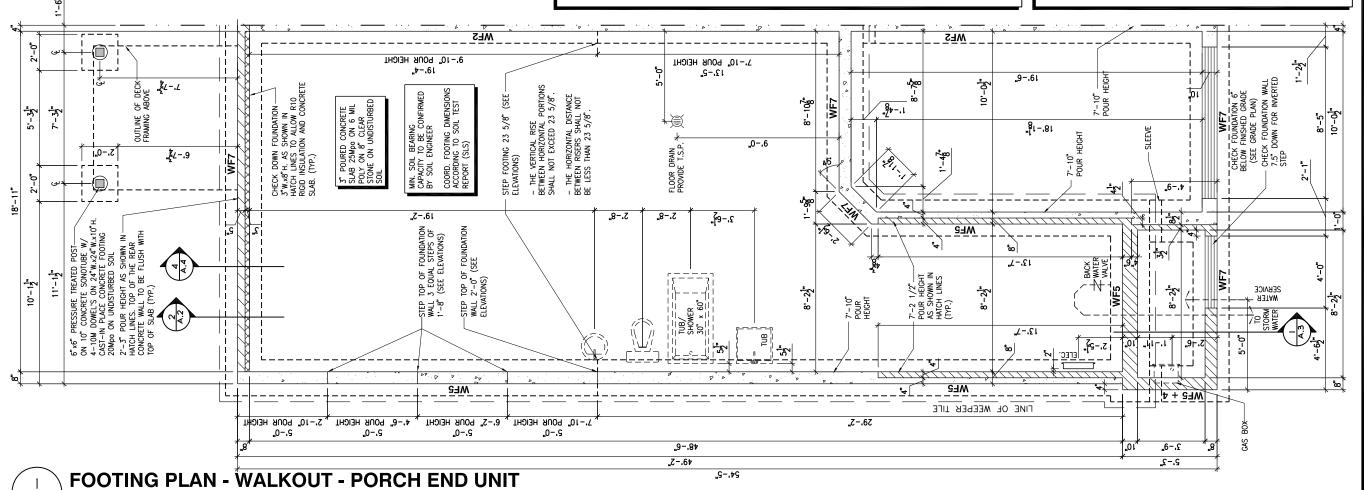




BASEMENT WINDOW REINFORCING







SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

II			
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	, .,	MAD
NO.	DESCRIPTION	MM/DD/YYYY	RY

FOOTING PLAN WALKOUT - PORCH END UNIT

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

DATE:

XXXX

XX/XX/XXXX

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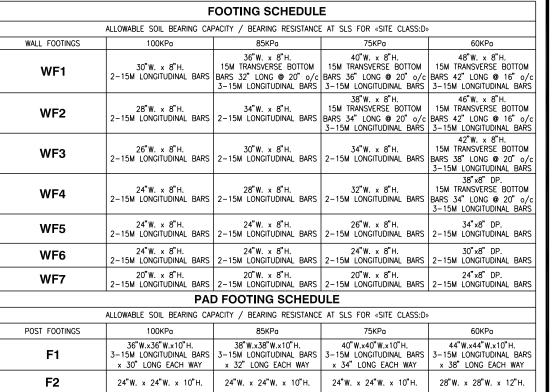
THE TIME OF EXCAVATION;

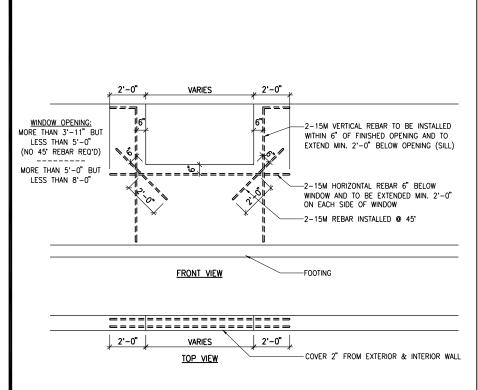
AND ARCHITECTURAL SPECIFICATION.

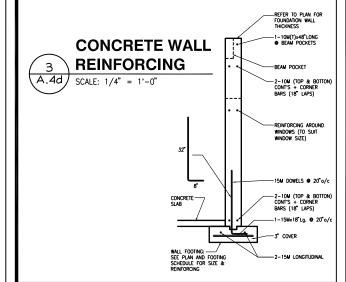
SHEET A.4d

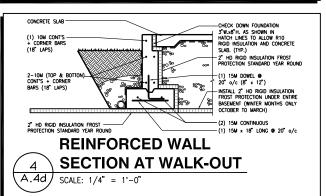
SCALE: 3/16" = 1'-0"

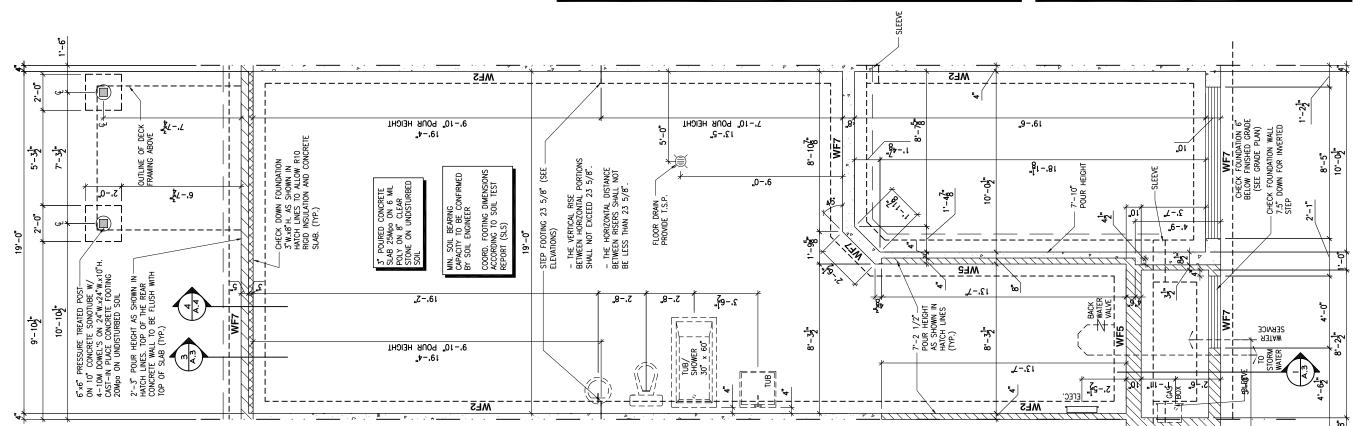
(A.4d)













110 - THE THOMAS

SHEET A.4e

2020 FOOTPRINT

LOT:

PERSONAL BCIN #19896

ARCHITECTURAL DEPARTMENT.

(AVAILABLE UPON REQUEST);

THE TIME OF EXCAVATION;

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TARION REGISTRATION NUMBER #611

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(STANDARD DRAWINGS)

BASEMENT WINDOW REINFORCING 2 (A.4d SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

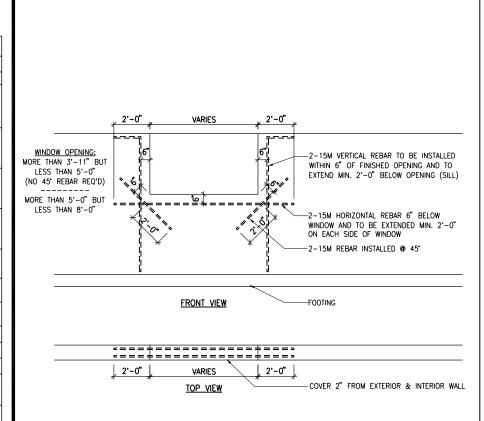
REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON REV-3 AS PER STRUCTURAL REVIEW 03/20/2019 VH REV-2 AS PER STRUCTURAL REVIEW 11/07/2018 VH
 REV-1
 NEW STANDARD DRWG MODIFICATION
 11/13/2017
 MAD

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

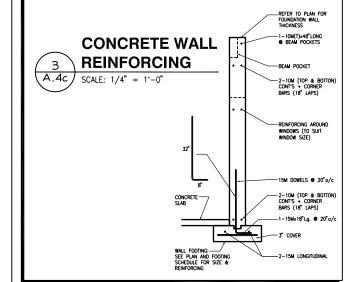
> **FOOTING PLAN WALKOUT - MID UNIT**

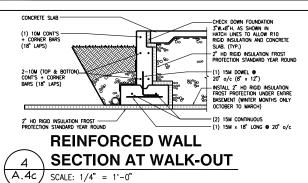
3/16" = 1'-0" XX/XX/XXXX



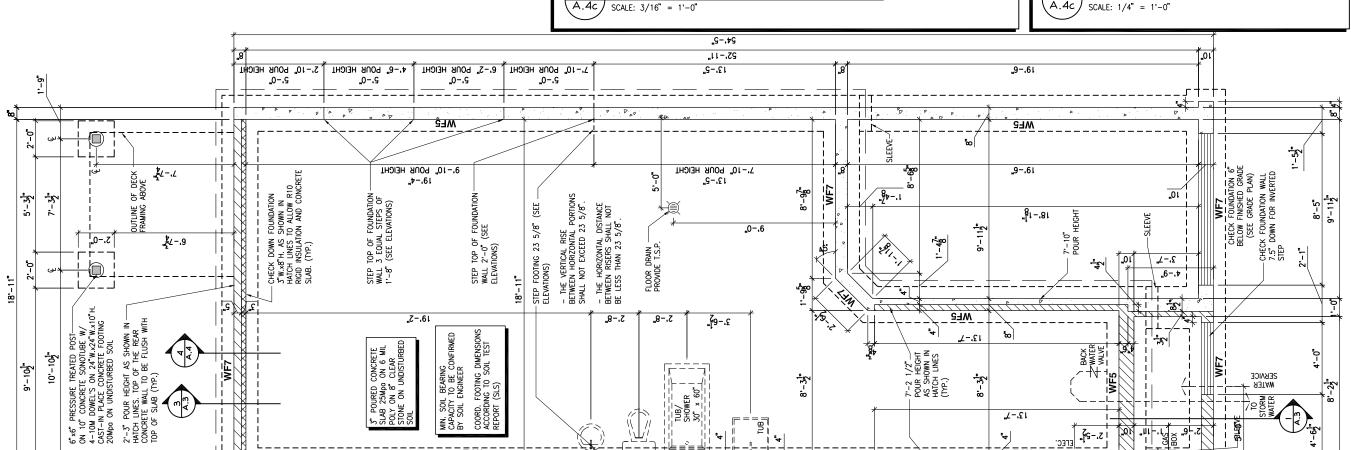


BASEMENT WINDOW REINFORCING





WF2



FOOTING PLAN - WALKOUT - GARAGE END UNIT

WF2

 REV-1
 NEW STANDARD DRWG MODIFICATION
 11/13/2017
 MAD

 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY
 WALKOUT - GARAGE END UNIT XX/XX/XXXX

01/01/2021 DOYON

03/20/2019 VH

11/07/2018 VH

3/16" = 1'-0"

FOOTING PLAN

2012 O.B.C. DRAWINGS

110 - THE THOMAS 2020 FOOTPRINT

REV-4 NEW STANDARD DRWG MODIFICATION

REV-3 AS PER STRUCTURAL REVIEW

REV-2 AS PER STRUCTURAL REVIEW

(STANDARD DRAWINGS)

LOT:

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

DATE:

XXXX

XX/XX/XXXX

<u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER
DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- Footings have been designed for the allowable soil Bearing capacity or bearing resistance at SLS and Design parameters outlined in a geotechnical report

BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE

AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;

- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED

AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT

- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;

- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPa AND CONCRETE FOR FOUNDATION WALLS SHOULD

- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL

REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS

IO DIMENSION SHOULD BE SCALED ON DRAWINGS.

(AVAILABLE UPON REQUEST);

THE TIME OF EXCAVATION;

AND ARCHITECTURAL SPECIFICATION.

HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE -1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE STAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS

SHEET A.4f

SCALE: 3/16" = 1'-0"

(A.4f

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED

75.2 NG 75.0

ARS @ 12" BARS @ 1:S IN FOOTIN × 24" VER]

REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

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5'-3" R.O.

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- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYCKE HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

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BASEMENT NOTE:

EXCAVATED AREA COMPACT ALL

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- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND B) PROVIDES AN INDIVIDUAL UNORSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

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P10 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED) (EX. P2 = 1 JACK + 1 STUD)

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LOT:

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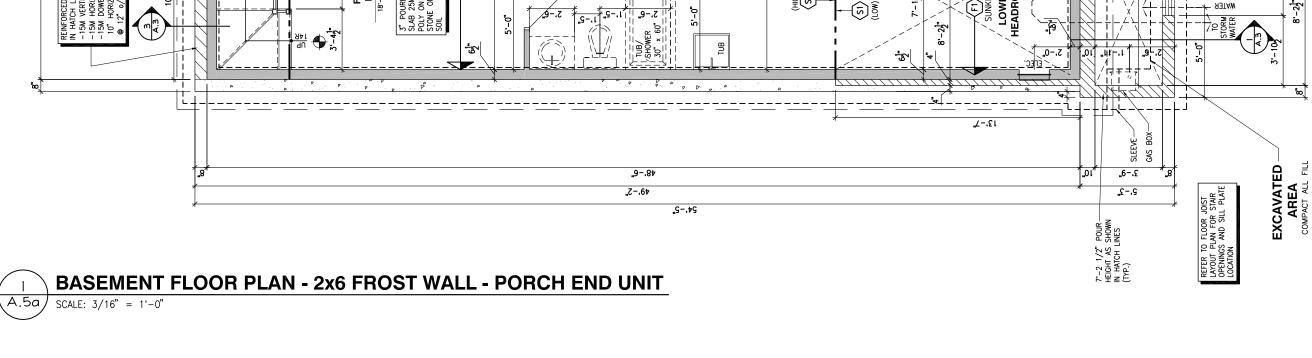
RAWING: BASEMENT FLOOR PLAN

2x6 FROST WALL - PORCH END 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

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UNFINISHED BASEMENT

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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EXCAVATE AREA COMPACT ALL F

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EXCAVATED AREA
COMPACT ALL FILL

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LOT: **XXXX** DATE: XX/XX/XXXX



<u>Daniel Querin</u>, architectural manager for MLECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS IND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

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AWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - MID UNIT

3/16" = 1'-0"

110 - THE THOMAS

(STANDARD DRAWINGS)

2020 FOOTPRINT

A.5b

XX/XX/XXXX

SHEET

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(5)

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GENERAL NOTES:

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BASEMENT NOTE:

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FOUNDATION 6" FINISHED GRADE GRADE PLAN)

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EXCAVATED - AREA COMPACT ALL FILL

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NO	DESCRIPTION	MM/DD/YYYY	RY

RAWING: BASEMENT FLOOR PLAN

3/16" = 1'-0" XX/XX/XXXX SHEET

A.5c

2x6 FROST WALL - GARAGE END

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

(A.5c



- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYCKE HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
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 WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
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- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPo) AT 28 DAYS;

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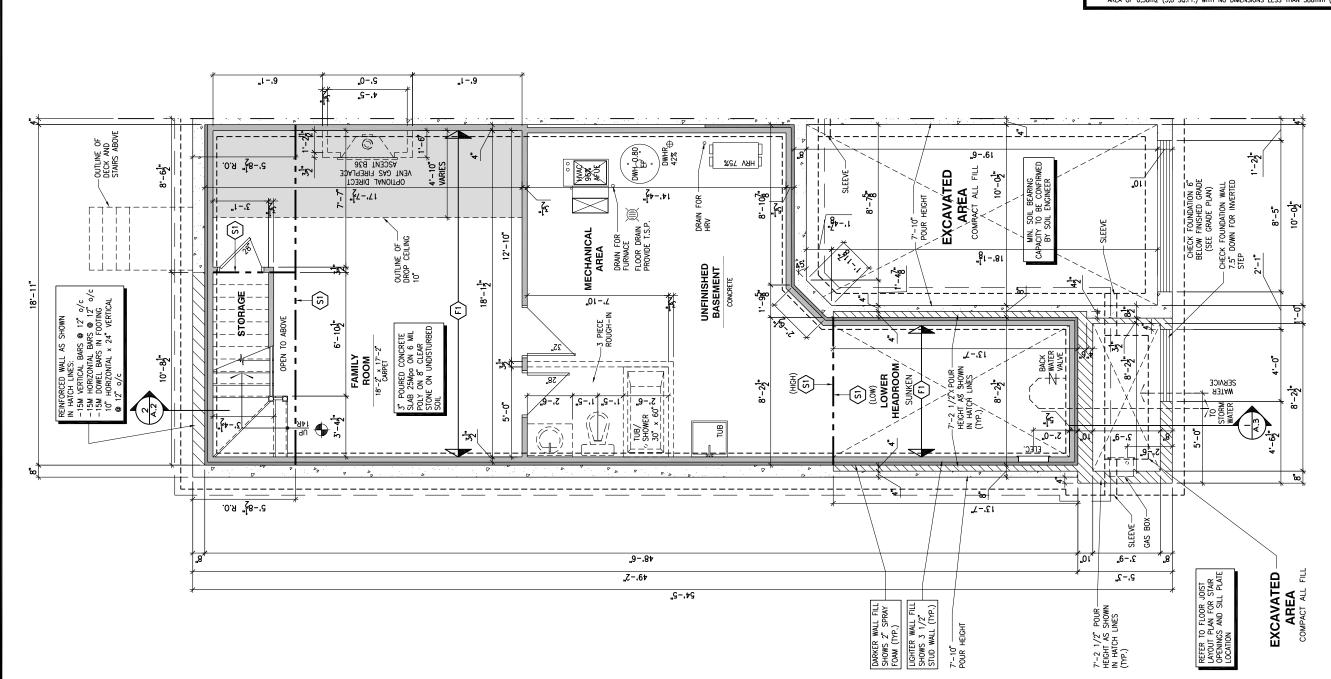
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(A.5d

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX



<u>Daniel Guerin</u>, architectural manager for Alecraft Homes Ltd., have reviewed the following documents ND take responsibility for the design activities.

- PERSONAL BOIN #19896
- TARION REGISTRATION NUMBER #611

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 P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

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AWING: BASEMENT FLOOR PLAN **ENERGY STAR - PORCH END**

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.5d

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2.-0. "I -'8 "1 - '8 **.**G−.₩ 0 DWH, 0.80 2.-8⁷. 8.0. .9-.61 ASCENT B36 %S7 VЯH AFOR AC I÷K/ EXCAVATED AREA COMPACT ALL FILL VENT GAS FIREPLACE OPTIONAL DIRECT .01 i CHECK FOUNDATION 6 BELOW FINISHED GRAD (SEE GRADE PLAN) 17.-2" 3.-1 DRAIN HRV Z\&\Z FOR DRAIN FOR—FURNACE FLOOR DRAIN PROVIDE T.S.P. (z).gı-.8ı _____ (<u>5</u>) ORCED WALL AS SHOWN
NTCH LINES:

VERTICAL BARS @ 12" o/c
HORIZONTAL BARS @ 12" o/
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HORIZONTAL x 24" VERTICAL ۷،-۱0, ,4 ₽ ▮ (S) E .87 WATER —* REINFOI IN HATG - 15M -- 15M -- 15M -10" F -ζ_ς Z.-0" _կի-ւլ . α,

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BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT

SCALE: 3/16" = 1'-0"

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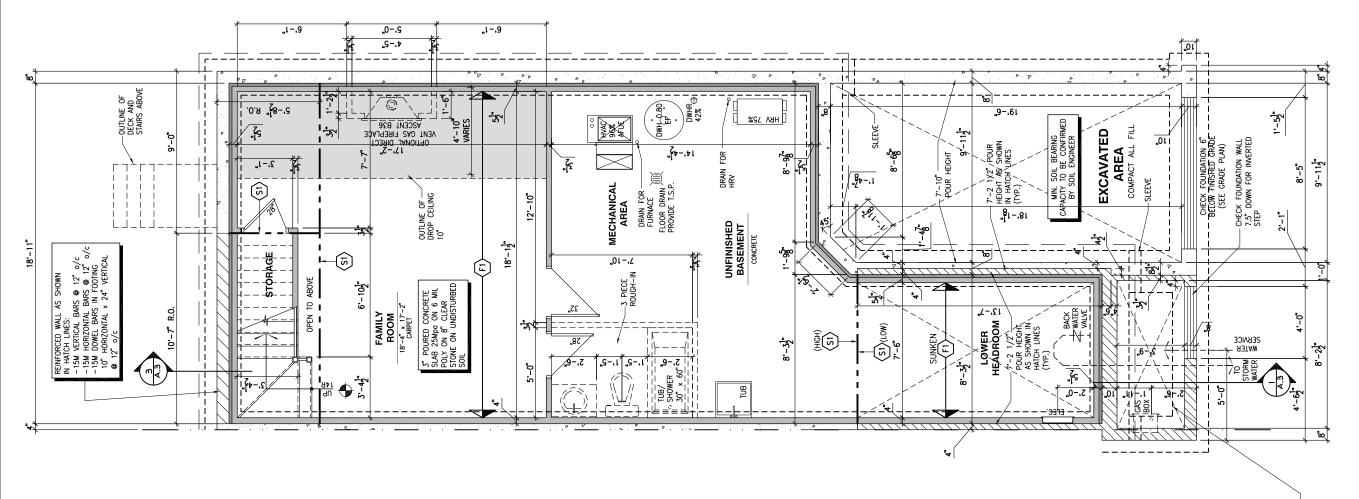
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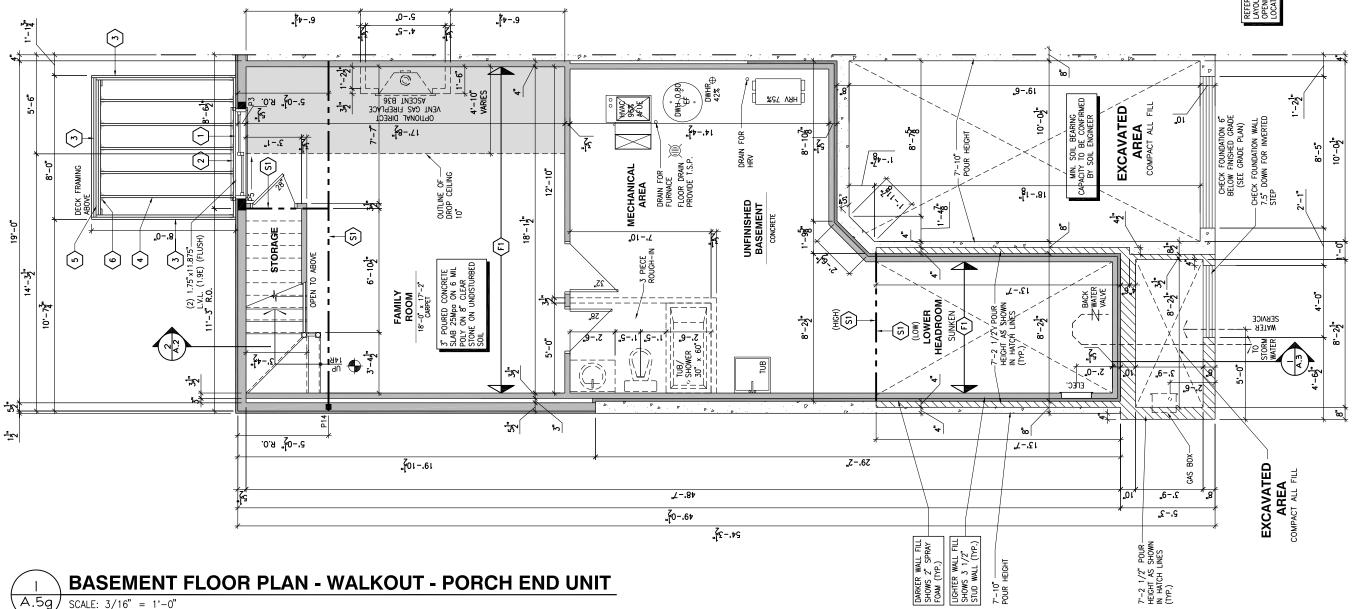
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LOT: **XXXX** DATE: XX/XX/XXXX



<u>Daniel Querin</u>, architectural manager for MLECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS IND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

his drawing is to be used in conjunction with schedule --1a and any 680's and May show only some of the Change 'Etailed on that document. Should the Drawings not show LL items contained on a schedule or Miss other items LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT

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NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

S7 = L 150x100x10 (8" BEARING) INTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- $L4 = 3-1.75 \times 9.5$ LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAYY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x4.78 + 130x130x12 T&B PL. (*)
 P17 = HSS 73 0.D.x4.8 + 100x180x12 B0TTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)
- * POST ARE ALL JACK c/w STUD
- (EX. P2 = 1 JACK + 1 STUD) F NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VΗ
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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: BASEMENT FLOOR PLAN

WALKOUT - PORCH END UNIT

3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.5g

XX/XX/XXXX

SHEET

 $\overline{(A.5g)}$ SCALE: 3/16" = 1'-0"

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED

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REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

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- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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VENT GAS FIREPLACE
ASCENT B36
ASCENT B36

6.-4<u>†</u>"

- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYCKE HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 ½" ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
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- JOIST HANGERS AT EVERY JOIST CONNECTION

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WALK-OUT DECK FRAMING NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

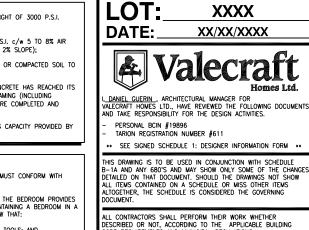
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L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

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TAWING: BASEMENT FLOOR PLAN

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS

SHEET

BASEMENT FLOOR PLAN - WALKOUT - MID UNIT SCALE: 3/16" = 1'-0"

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COMPACT ALL FILL **WALKOUT - MID UNIT**

EXCAVATE AREA COMPACT ALL F ..<mark>8</mark>1-.81 DRAIN FOR-FURNACE FLOOR | -‡∞ 4₹ UNFINISHED BASEMENT CONCRETE ۷۰-۱0 - 45 -<u>1</u>27 BACK WATER VALVE 14.-1" (5) § (S) E ~# "6−·ξ

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2020 FOOTPRINT (STANDARD DRAWINGS)

A.5h

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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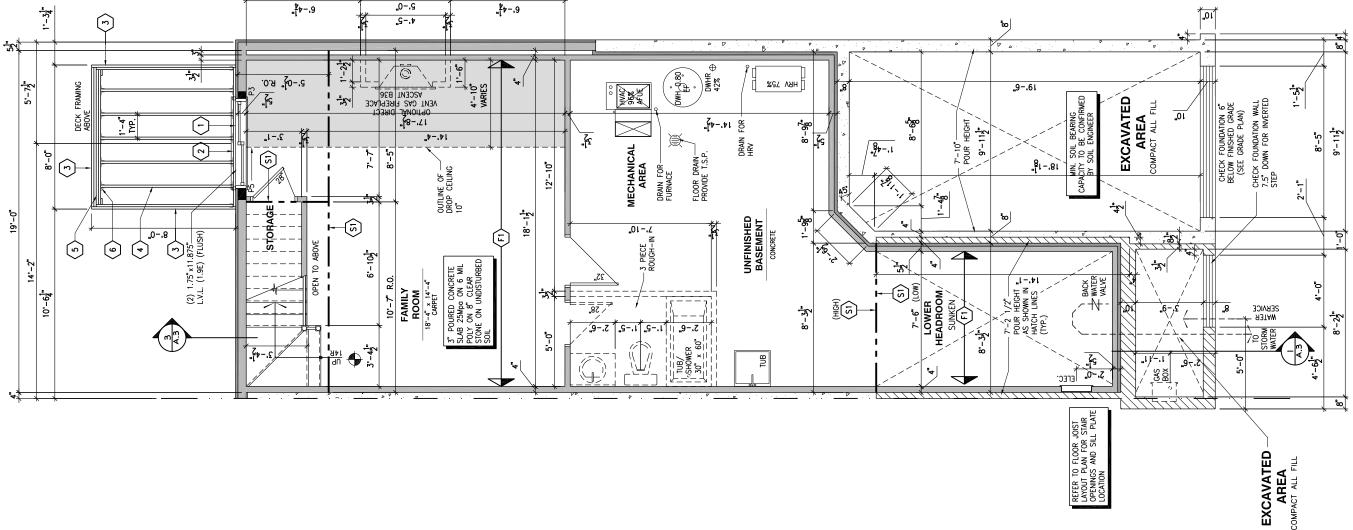
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LOT:

DATE:

XXXX

XX/XX/XXXX

<u>Daniel Guerin</u>, Architectural Manager for Alecraft Homes Ltd., Have reviewed the following documents ND take responsibility for the Design activities.

- PERSONAL BOIN #19896
- TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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2012 O.B.C. DRAWINGS

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REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: BASEMENT FLOOR PLAN **WALKOUT - GARAGE END UNIT**

3/16" = 1'-0"

110 - THE THOMAS

2020 FOOTPRINT (STANDARD DRAWINGS)

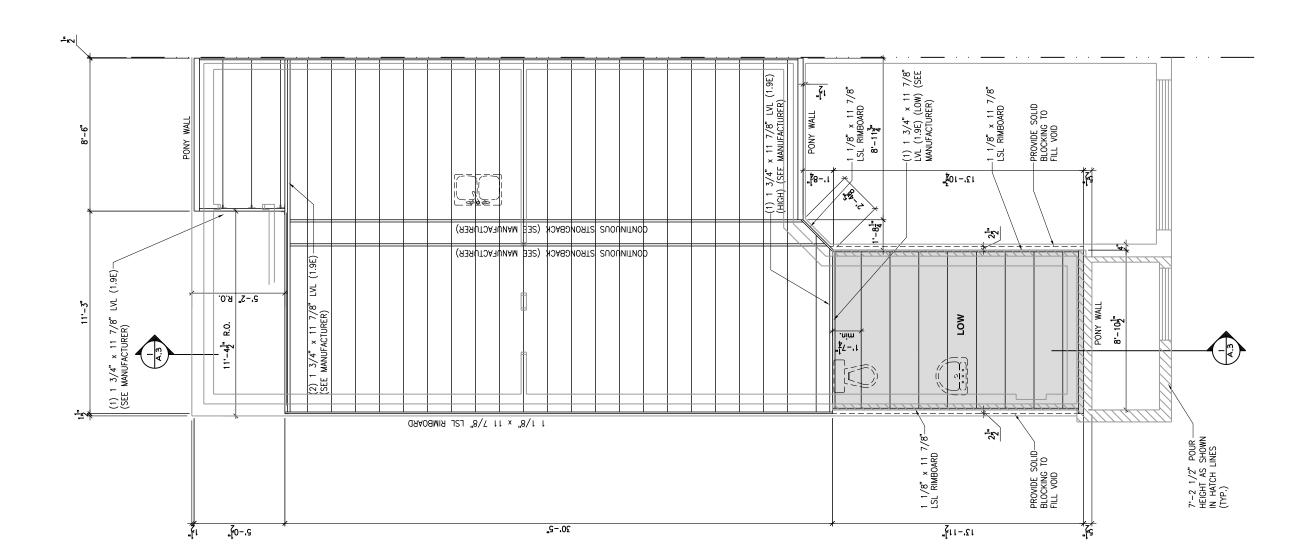
SHEET **A.5i**

XX/XX/XXXX

BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT

A.5i

SCALE: 3/16" = 1'-0"



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT, SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

| SCALE: | 3/16" = 1'-0"

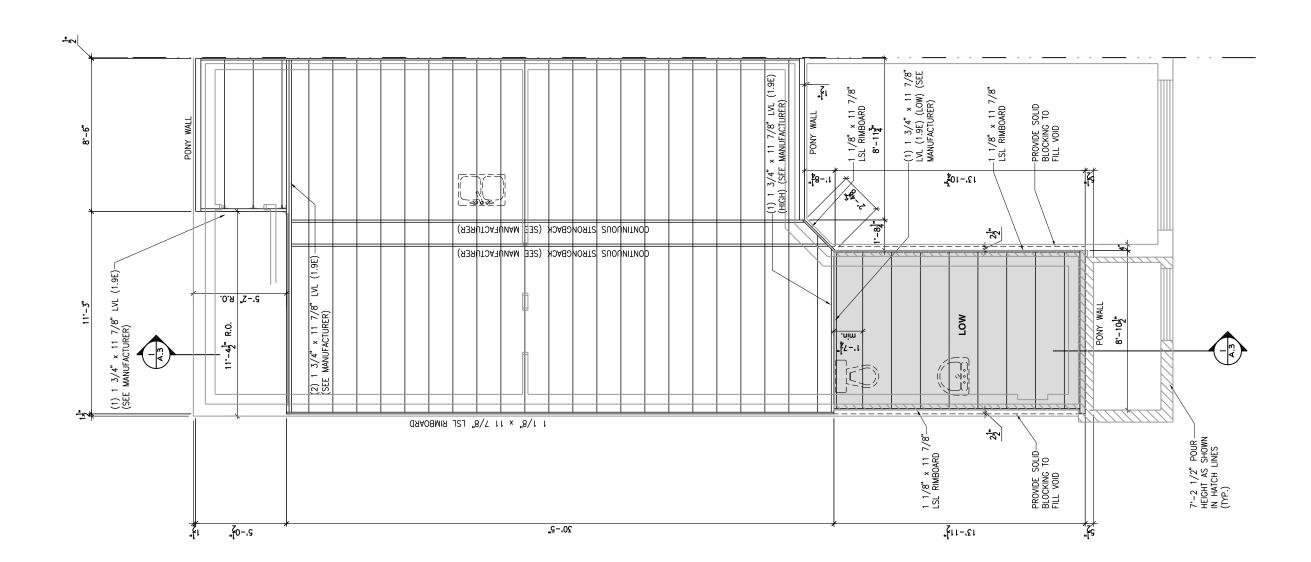
110 - THE THOMAS

2020 FOOTPRINT (STANDARD DRAWINGS)

A.6a

DATE: XX/XX/XXXX

SHEET:



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

XX/XX/XXXX

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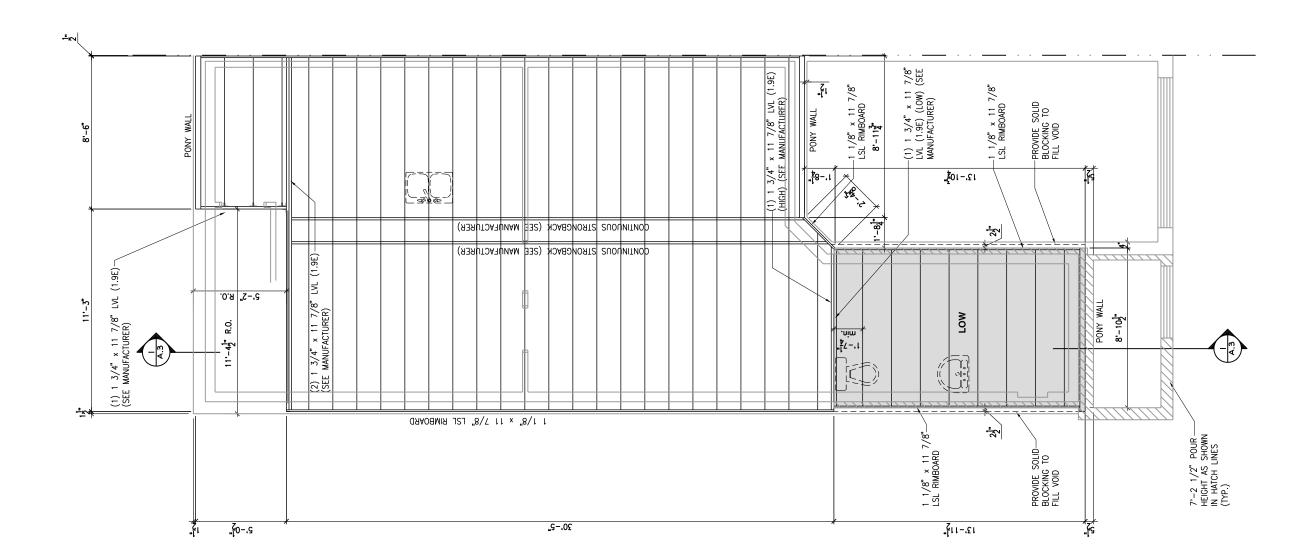
RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

SHEET: A.6b

(STANDARD DRAWINGS)



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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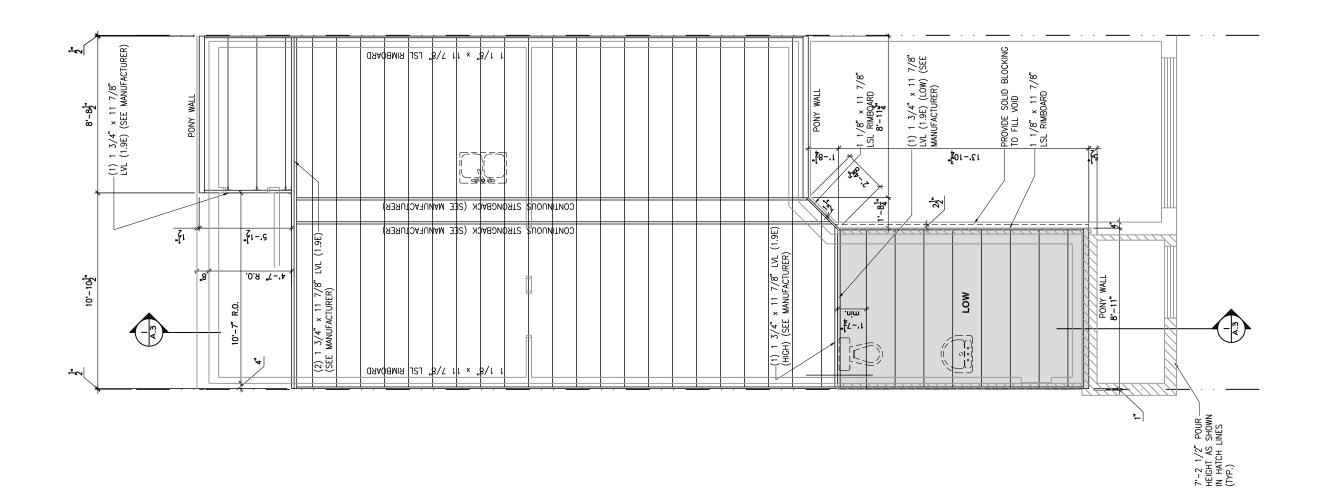
RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6c



(A.6d)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

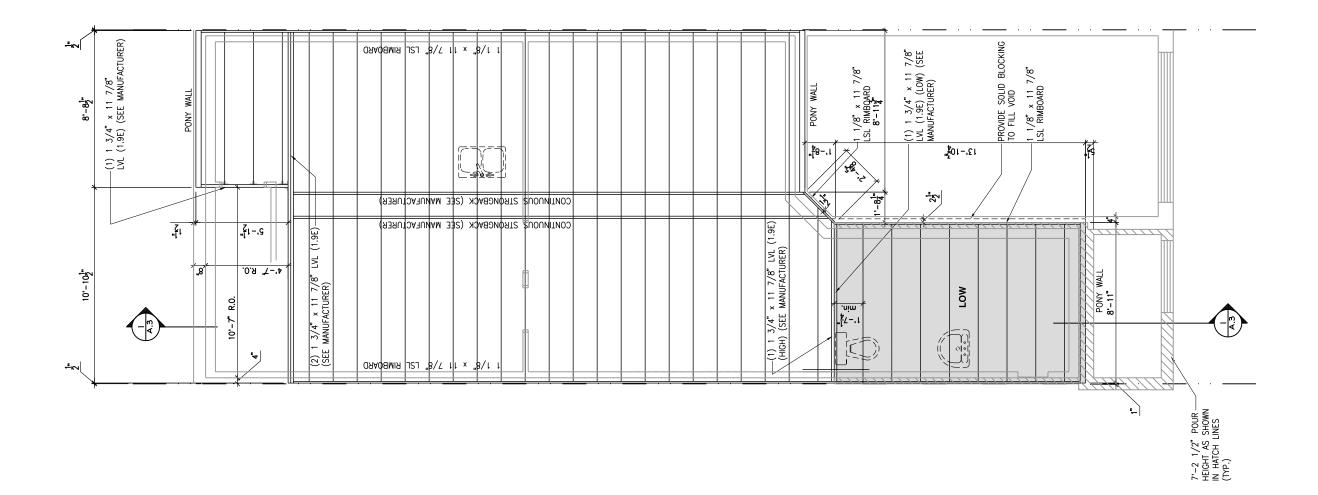
RAWING: GROUND FLOOR - FLOOR

JOIST FRAMING PLAN - MID | SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

SHEET: A.6d

(STANDARD DRAWINGS)



SCALE: 3/16" = 1'-0"

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - MID UNIT

LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR

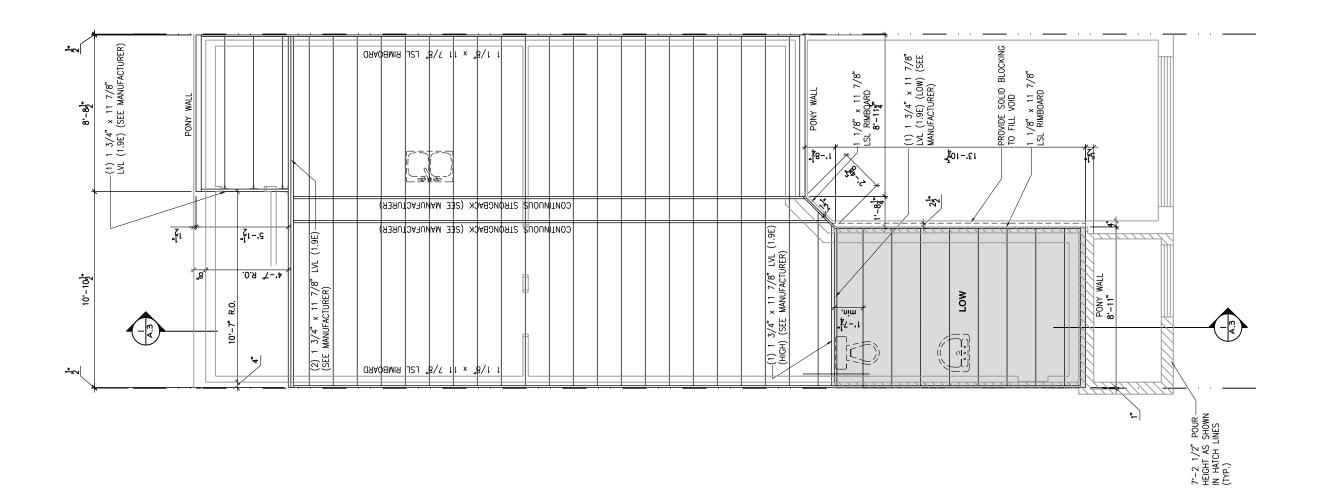
JOIST FRAMING PLAN - MID DATE: XX/XX/XXXX

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6e



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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2012 O.B.C. DRAWINGS

l			
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NO	DESCRIPTION	MM/DD/YYYY	RY

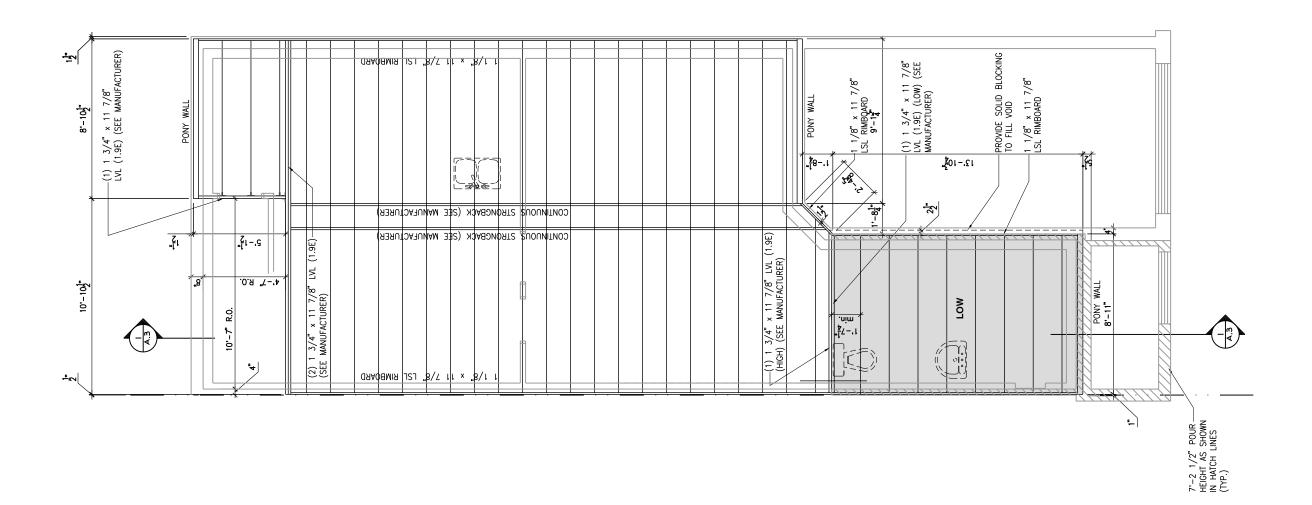
RAWING: GROUND FLOOR - FLOOR

JOIST FRAMING PLAN - MID | SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6f



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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1			
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NO.	DESCRIPTION	MM/DD/YYYY	BY

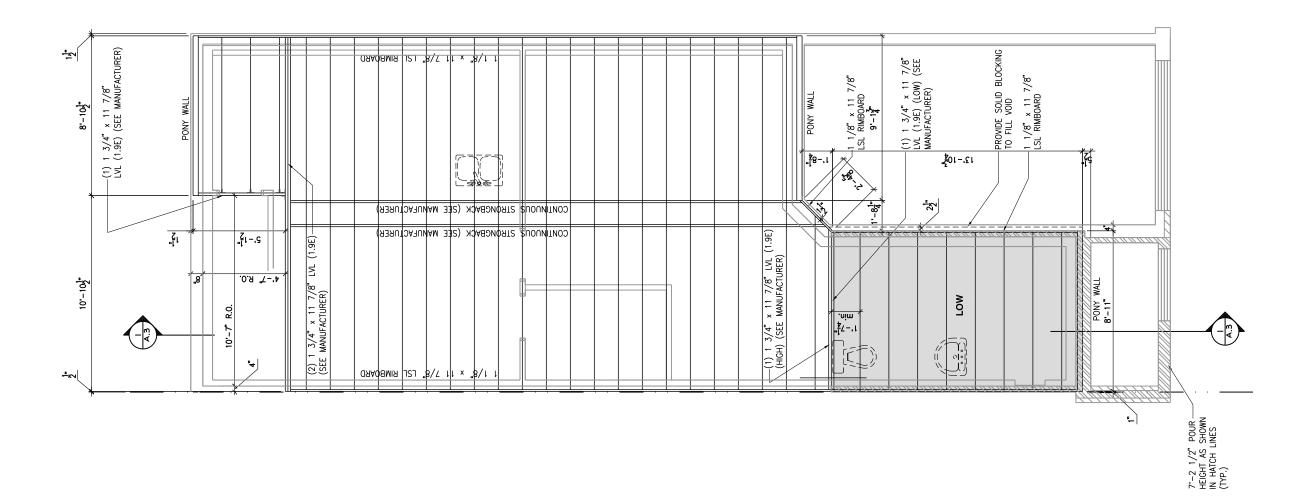
RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6g



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

| SCALE: | 3/16" = 1'-0"

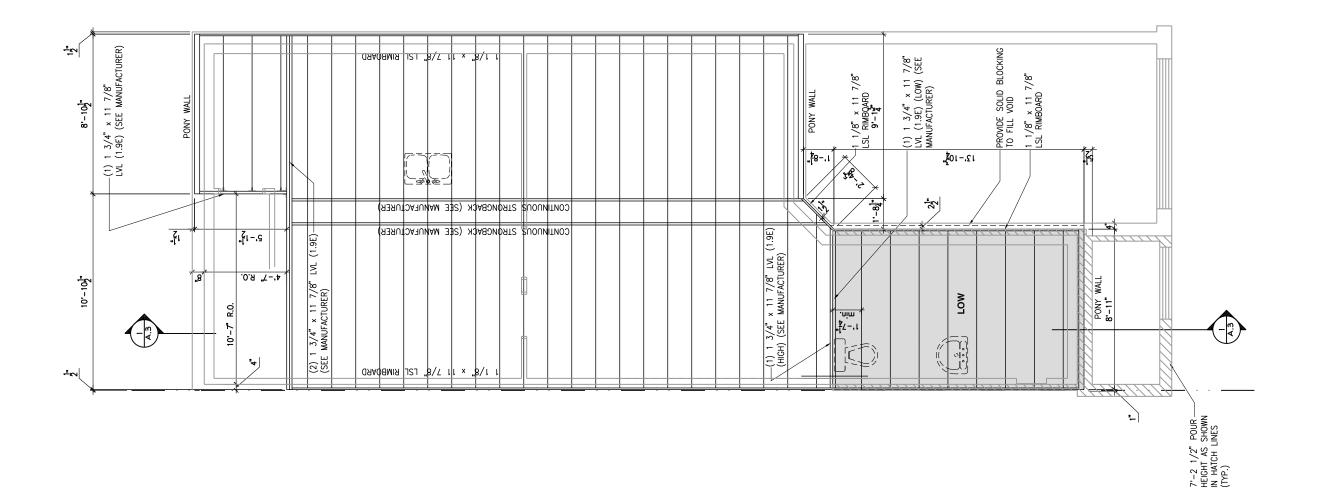
110 - THE THOMAS

2020 FOOTPRINT (STANDARD DRAWINGS)

A.6h

DATE: XX/XX/XXXX

SHEET:



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

(STANDARD DRAWINGS)

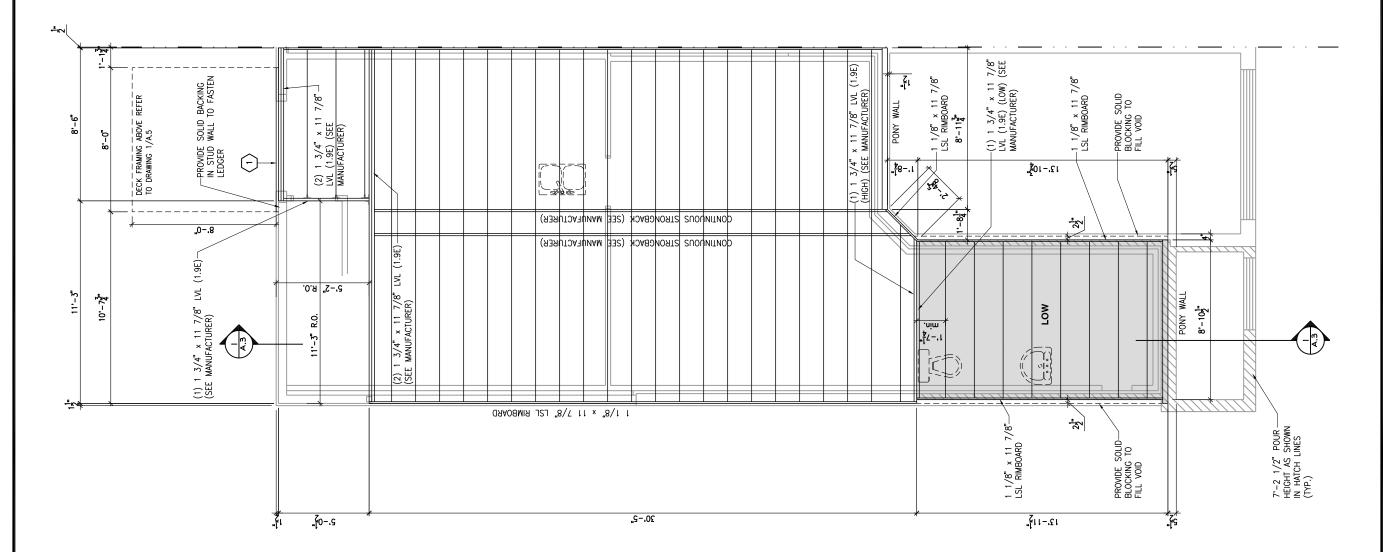
SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

A.6i

SHEET:





(A.6j/

SCALE: 3/16" = 1'-0"

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

DATE: XX/XX/XXXX

XXXX

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LOT:

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REV-1	NEW STANDARD DRWG MODIFICATION		MAD
NO.	DESCRIPTION	MM/DD/YYYY	RY

PRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

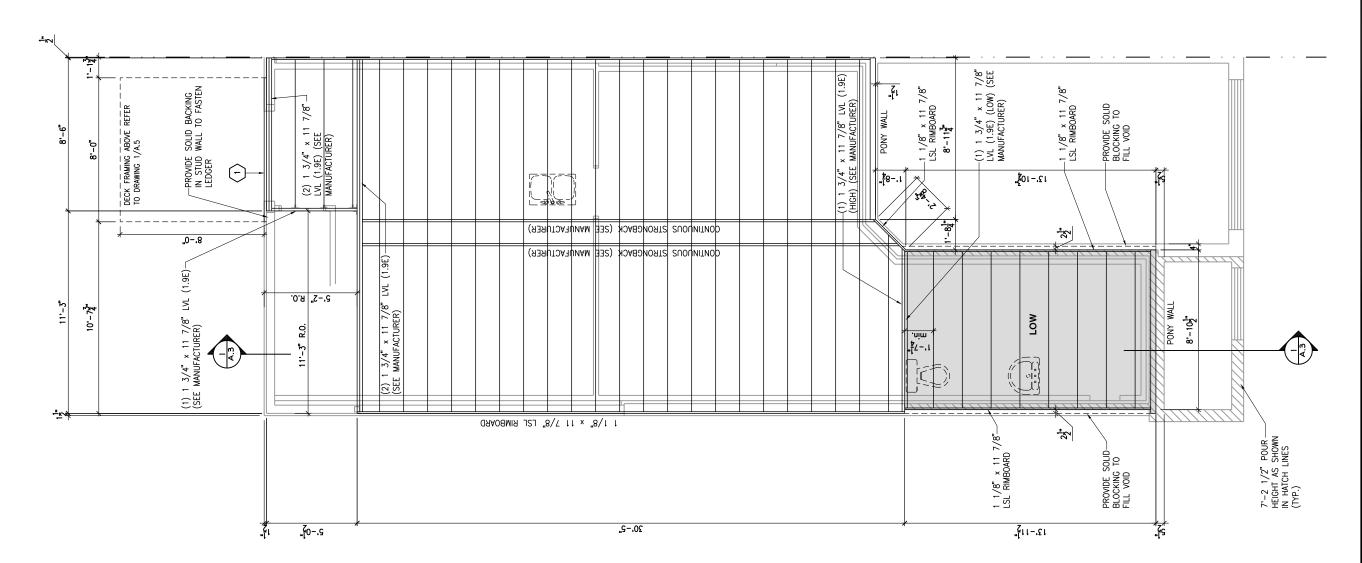
SHEET:

A.6j

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT





GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - PORCH END UNIT

(A.6k) SCALE: 3/16" = 1'-0" LOT: XXXX DATE: XX/XX/XXXX



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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-PORCH END

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6k

LOT:

DATE:

DOCUMENT

XXXX

XX/XX/XXXX

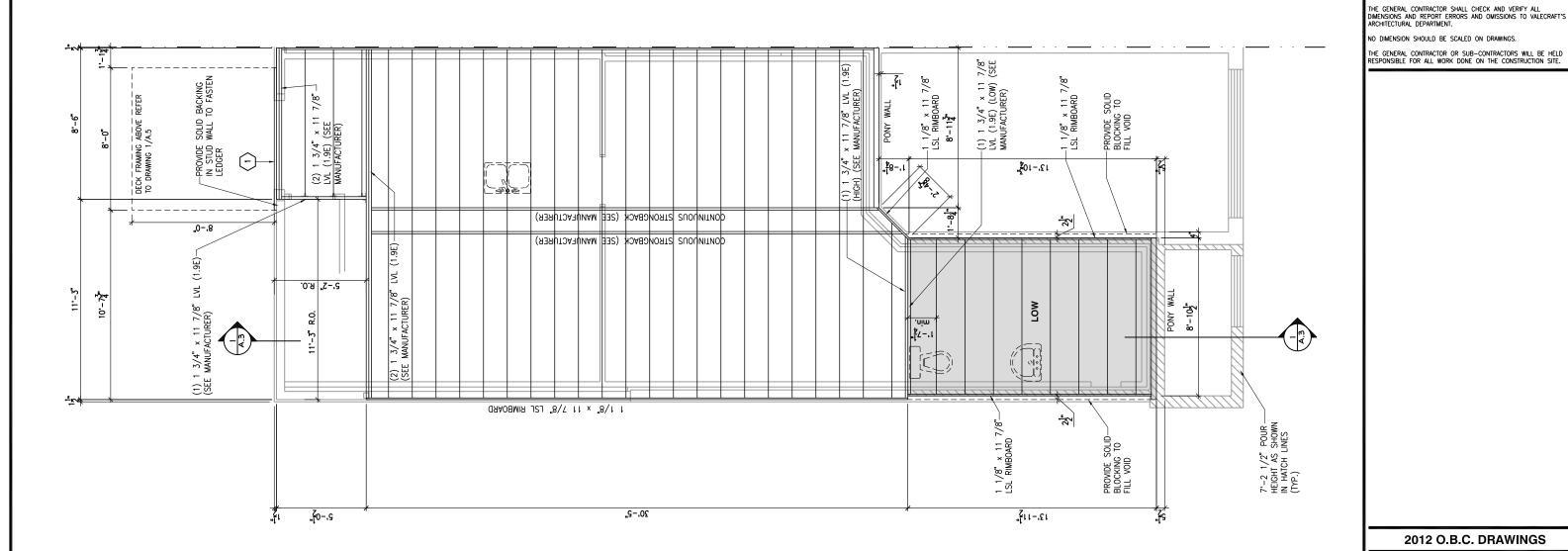
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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611



(A.61

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - PORCH END UNIT

110 - THE THOMAS 2020 FOOTPRINT

REV-3 AS PER STRUCTURAL REVIEW

REV-2 AS PER STRUCTURAL REVIEW

2012 O.B.C. DRAWINGS

REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON

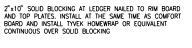
REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD
NO. DESCRIPTION MM/DD/YYYY BY DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END | SCALE: | 3/16" = 1'-0"

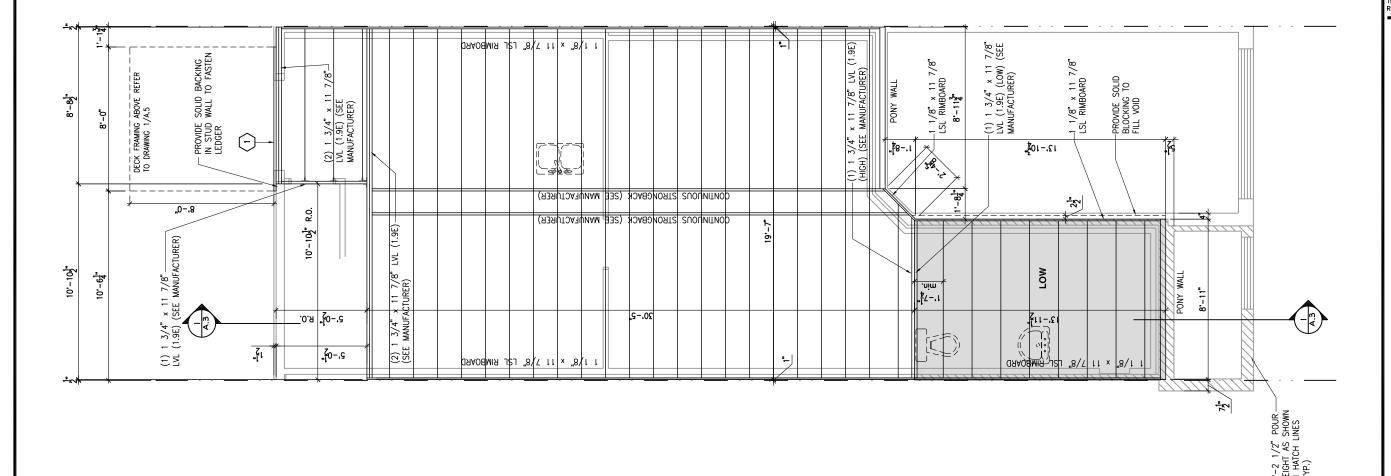
(STANDARD DRAWINGS)

SHEET: **A.6**I

xx/xx/xxxx

03/20/2019 VH 11/07/2018 VH





(A.6m)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

FRAMING PLAN - WALKOUT - MID DATE: XX/XX/XXXX

| SCALE: | 3/16" = 1'-0"

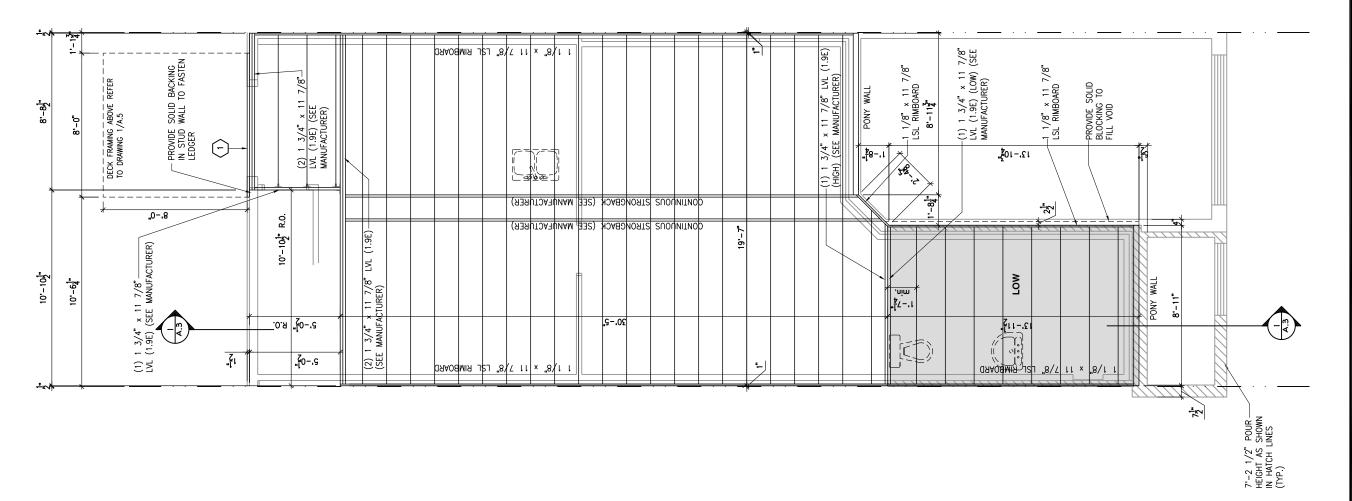
110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

|A.6m|

SHEET:

 $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort Board and install tyck homewap or equivalent continuous over solid blocking



(A.6n)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - MID UNIT

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST

FRAMING PLAN - WALKOUT - MID

| SCALE: | 3/16" = 1'-0"

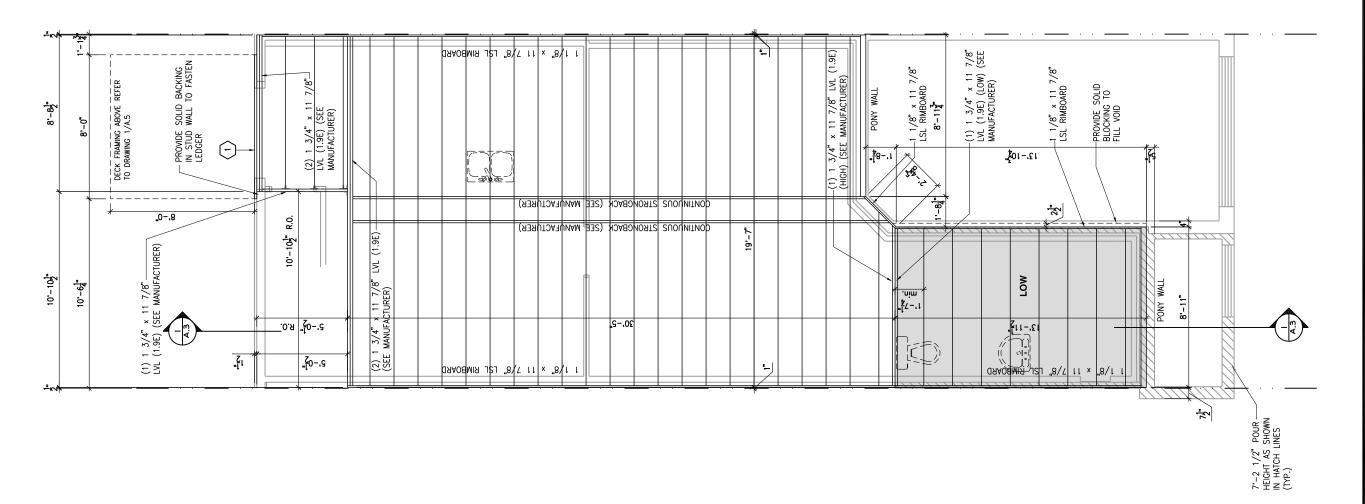
110 - THE THOMAS 2020 FOOTPRINT

A.6n

xx/xx/xxxx

SHEET:

 $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort Board and install typek homewap or equivalent continuous over solid blocking



(A.60)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - MID UNIT SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST

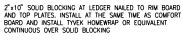
FRAMING PLAN - WALKOUT - MID

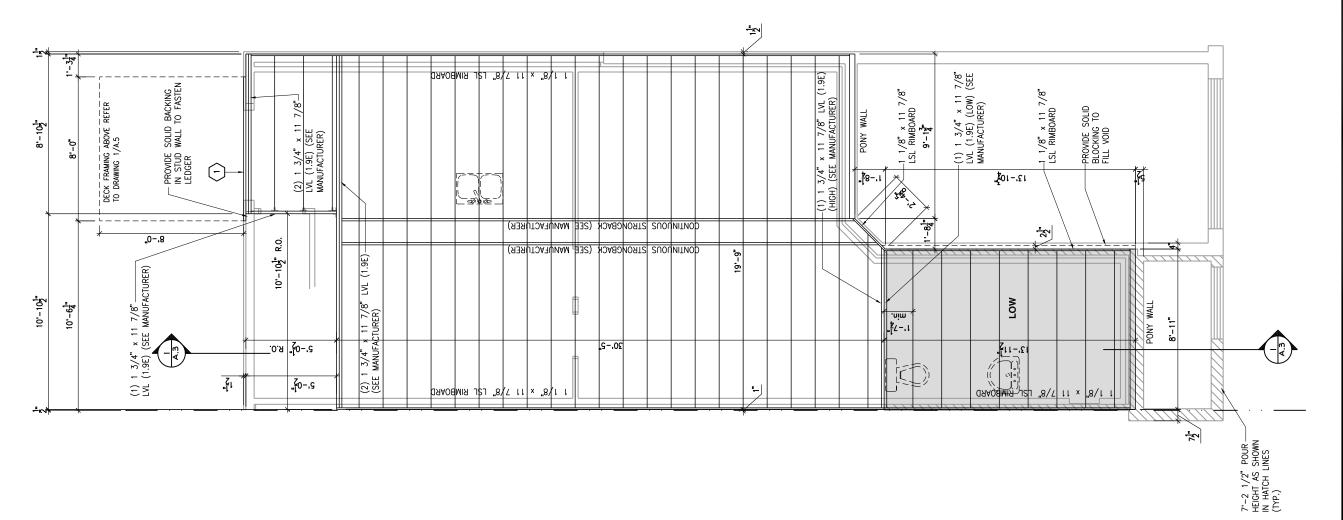
| SCALE: | 3/16" = 1'-0" 110 - THE THOMAS

2020 FOOTPRINT

SHEET: **A.60**

xx/xx/xxxx





LOT: XXXX DATE: XX/XX/XXXX



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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

xx/xx/xxxx

A.6p

SHEET:

FRAMING-WALKOUT-GARAGE END

| SCALE: | 3/16" = 1'-0" 110 - THE THOMAS

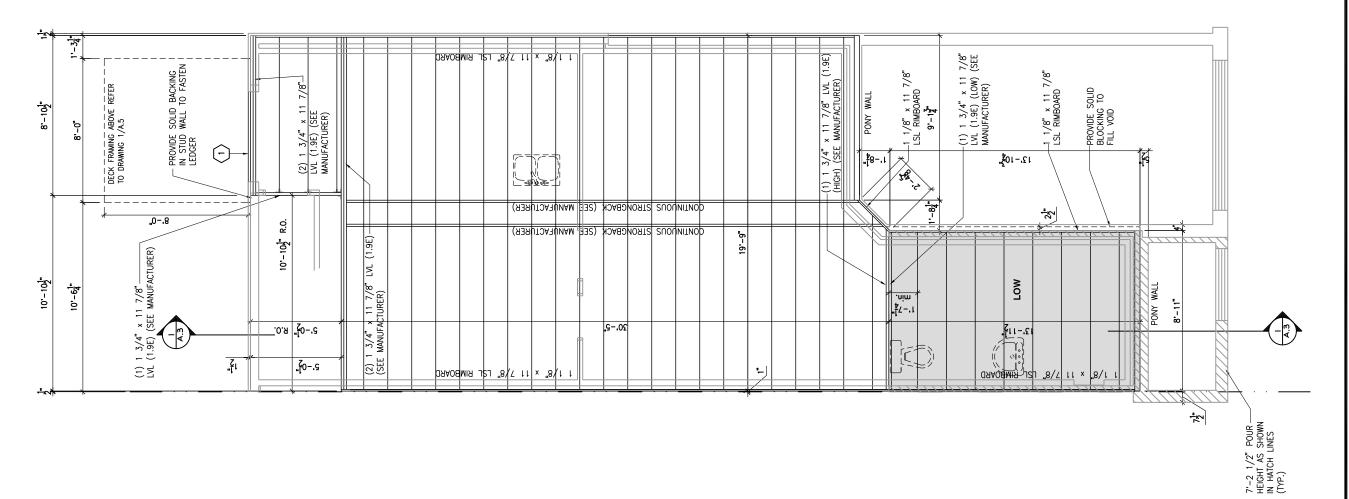
2020 FOOTPRINT

(STANDARD DRAWINGS)

(A.6p)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT





LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

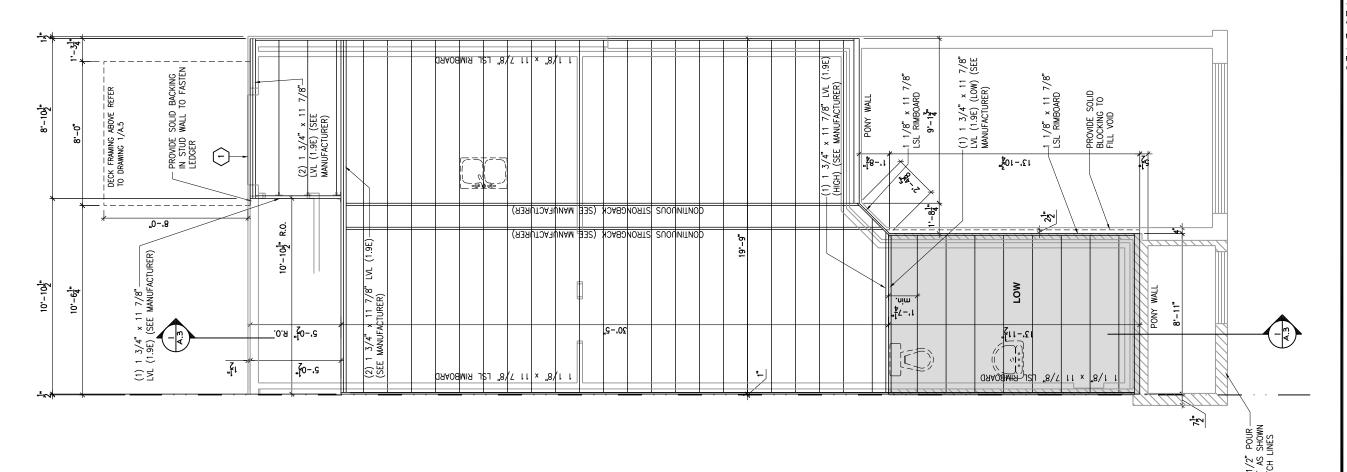
FRAMING-WALKOUT-GARAGE END

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6q

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - GARAGE END UNIT



LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS

2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.6r

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - GARAGE END UNIT

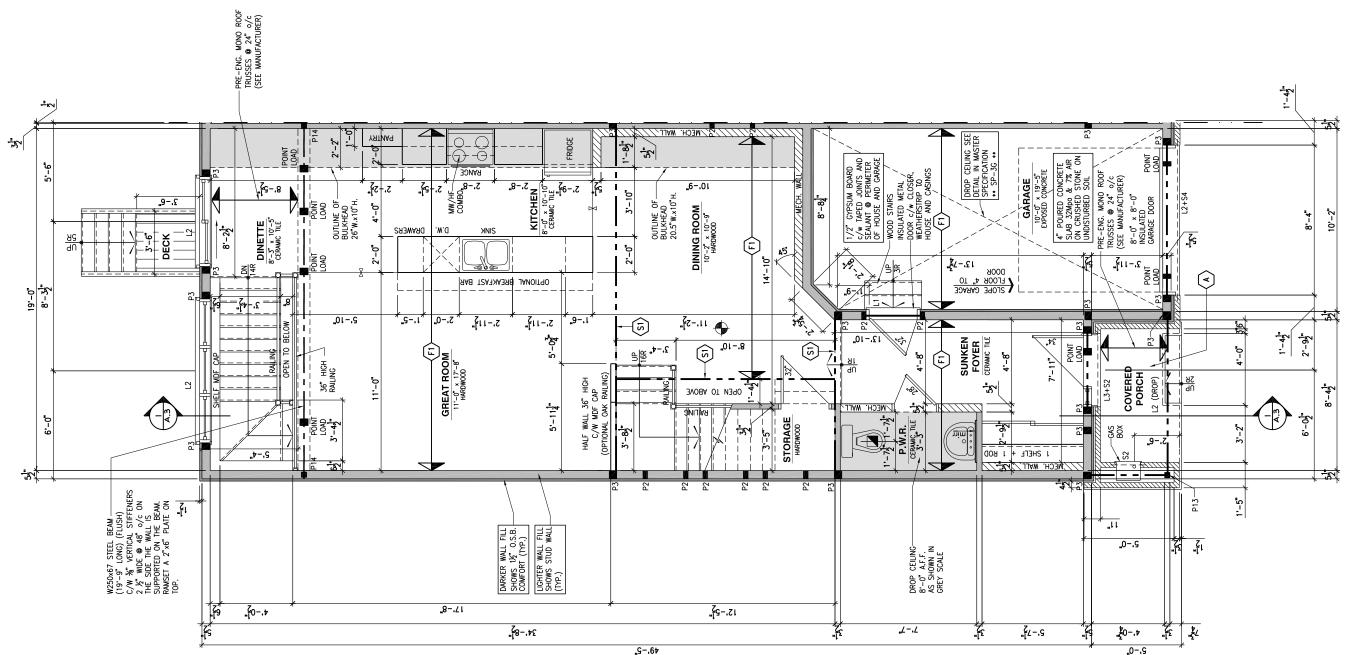
- > 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19:2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = L 200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- 13 63 83 89 89 4.8 + 100 200 x12 1 & B PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 & B PL. (*) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 & B PL. (*) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 & B PL. (*) P17 = HSS 73 0.0 x4.8 + 100 x180 x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*)

 (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)
- * POST ARE ALL JACK c/w STUD
- (EX. P2 = 1 JACK + 1 STUD)

 IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN - PORCH END

3/16" = 1'-0"

110 - THE THOMAS

SHEET **A.7**a

XX/XX/XXXX

2020 FOOTPRINT (STANDARD DRAWINGS)

- > 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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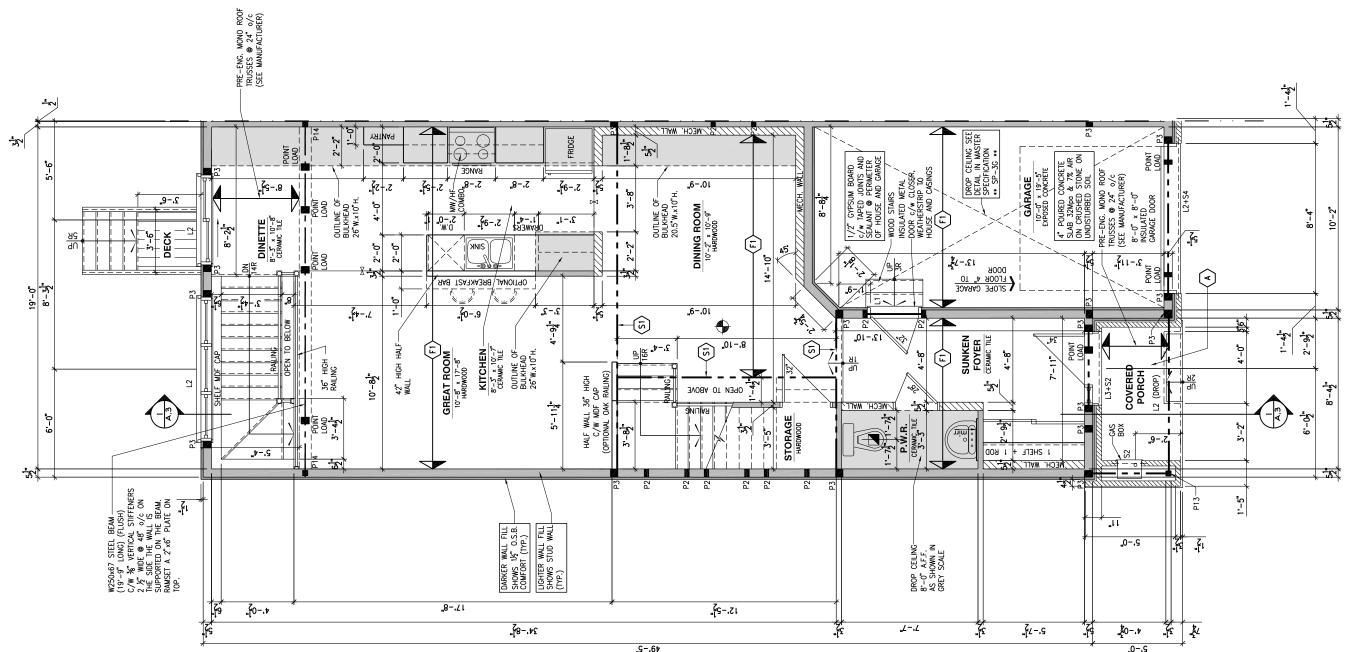
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PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
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WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE.

(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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- $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

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P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = USS R8 0x88 0x 318 x 100x200x12 T&B P1

- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130×160×10 TOP PL. (*)

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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN **OPT. KITCHEN #1 - PORCH END**

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.7b

SHEET

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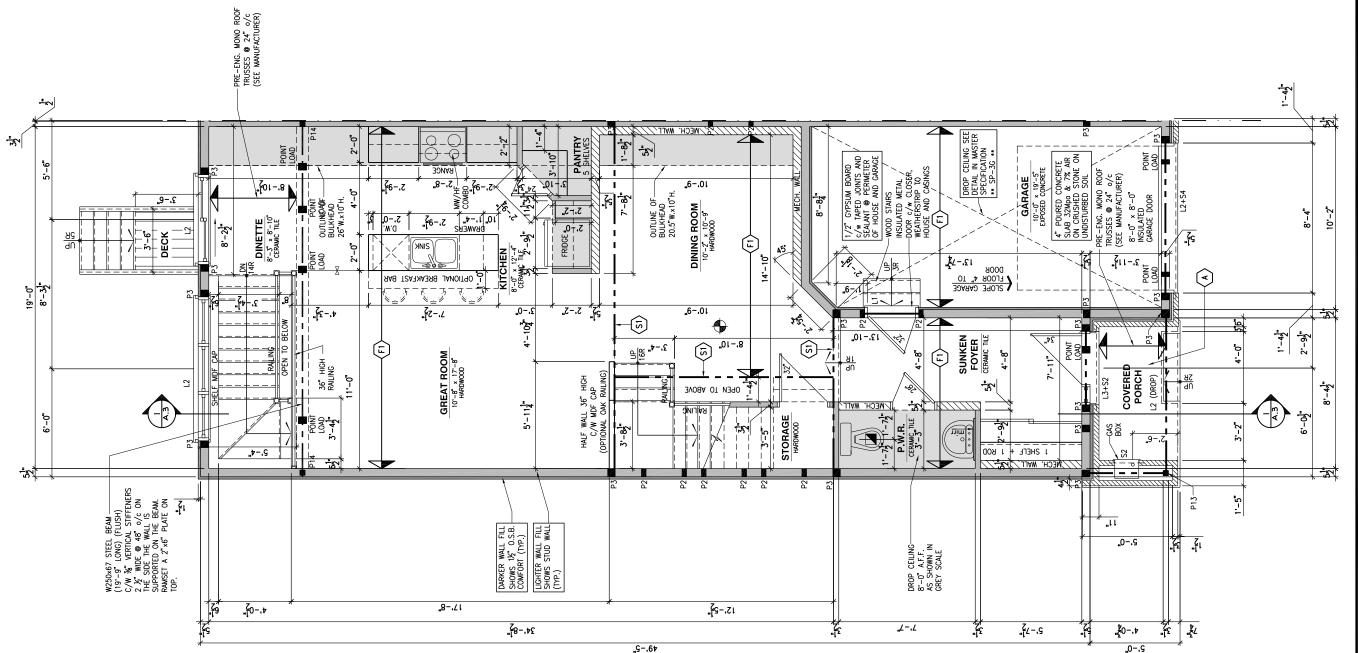
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.7c

XX/XX/XXXX

XXXX

XX/XX/XXXX

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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VΗ
REV-1	NEW STANDARD DRWG MODIFICATION		MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN **OPT. KITCHEN #2 - PORCH END**

SCALE: 3/16" = 1'-0"

- > 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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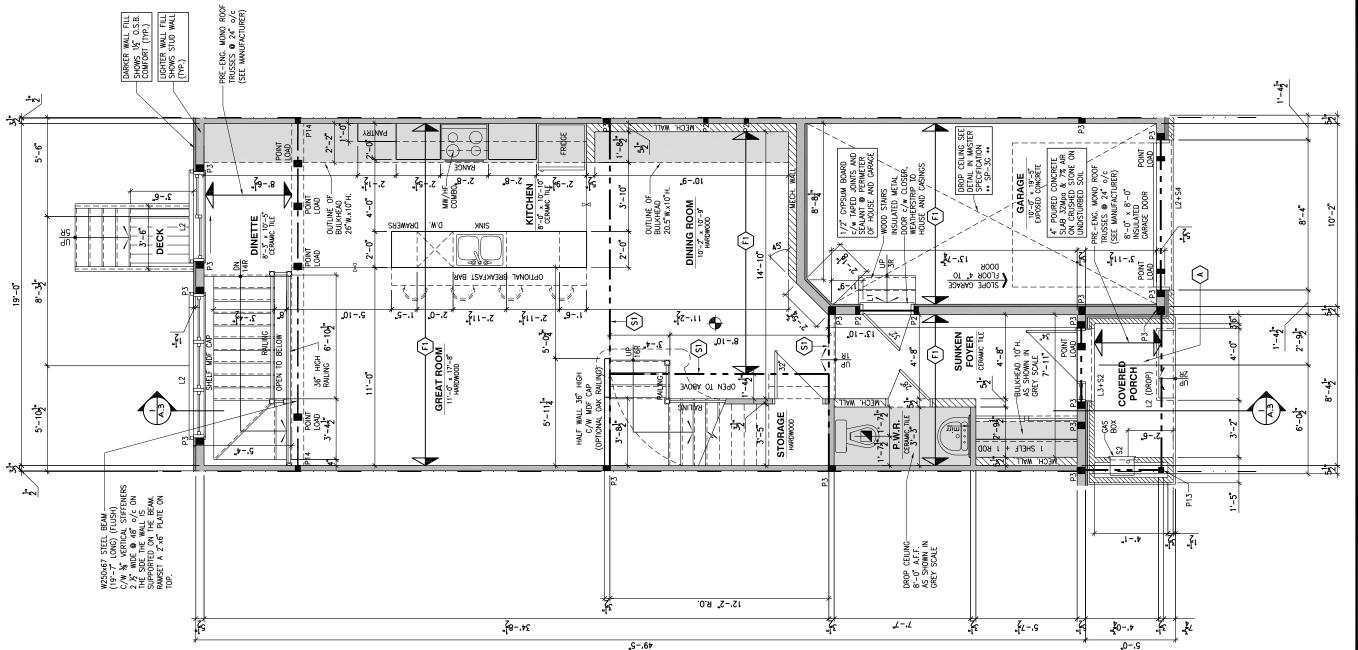
GENERAL NOTES:

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- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
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WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
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(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

GROUND FLOOR PLAN STANDARD KITCHEN - MID

3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

SHEET A.7d

- 11 1/6" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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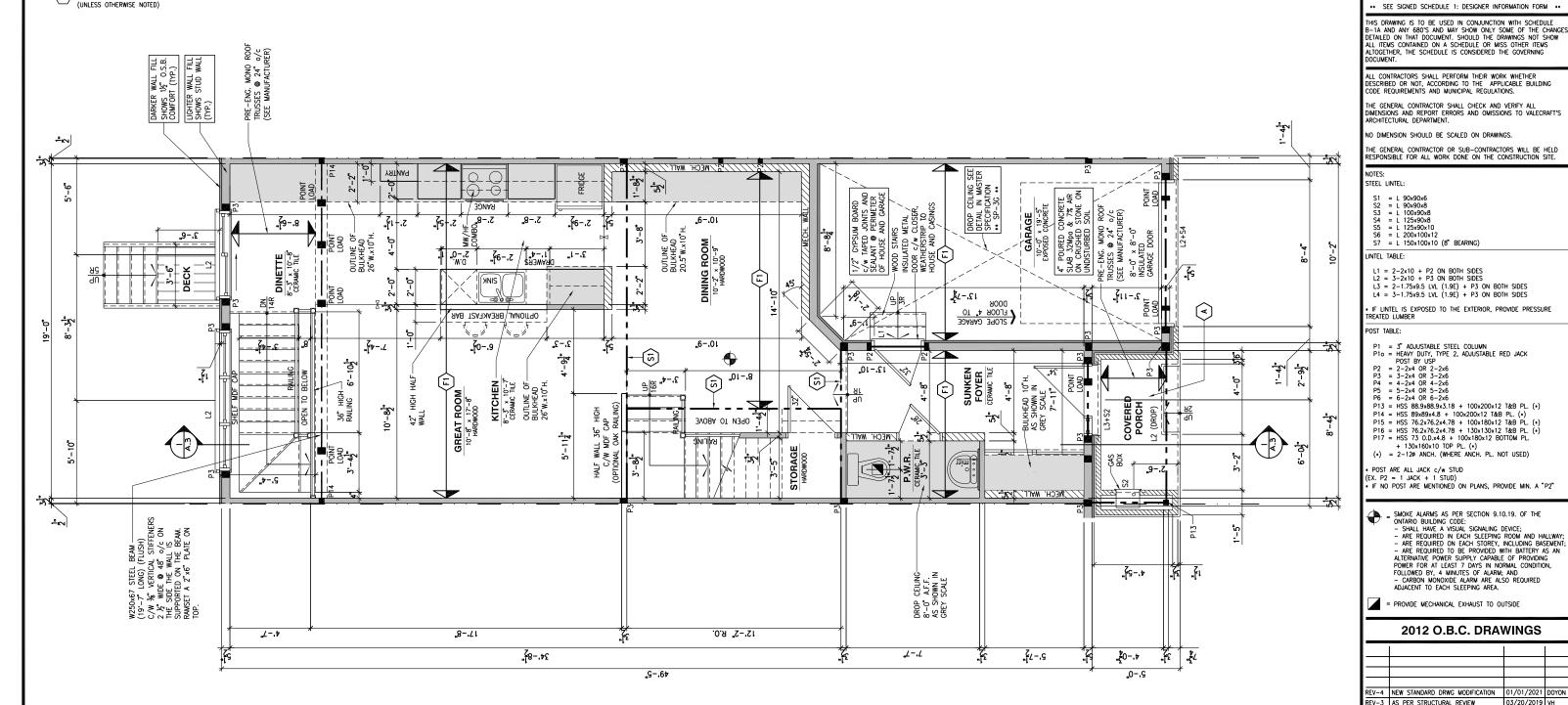
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

DRAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #1 - MID**

REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2020 FOOTPRINT

REV-2 AS PER STRUCTURAL REVIEW

(STANDARD DRAWINGS)

NO. DESCRIPTION

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

XXXX

XX/XX/XXXX

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SHEET A.7e

01/01/2021

03/20/2019 VH

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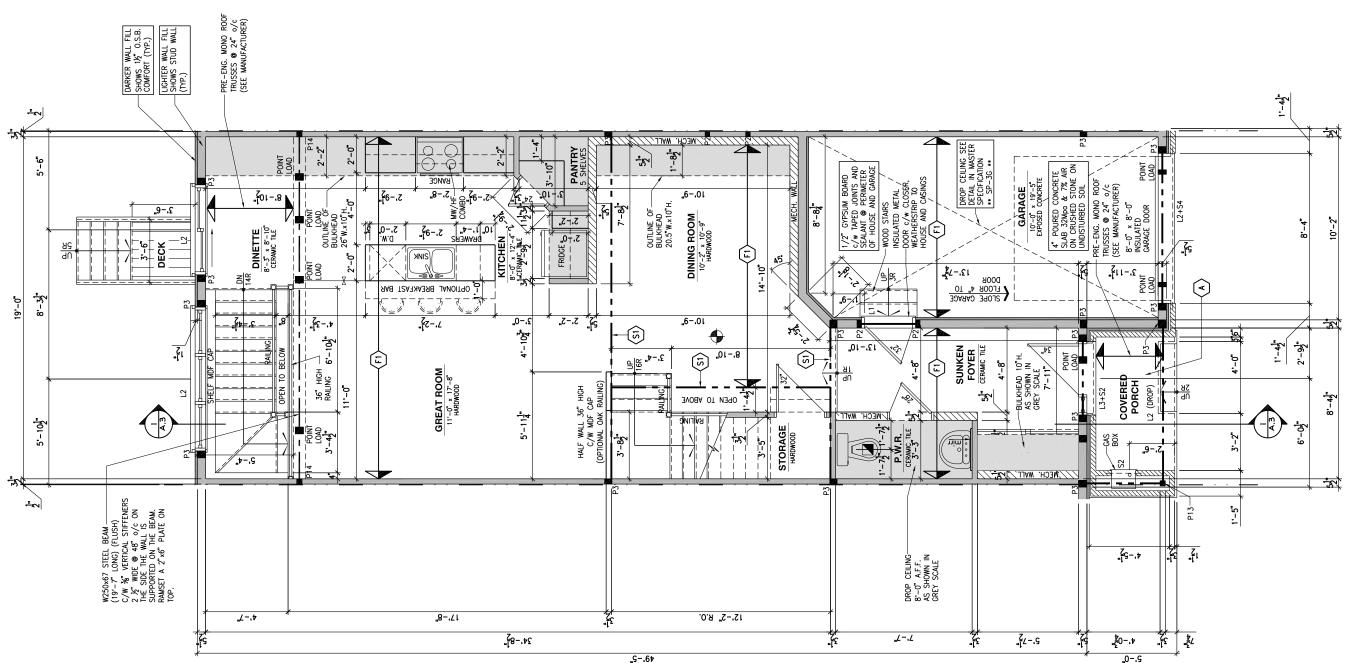
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - MID UNIT

LOT: XXXX DATE: XX/XX/XXXX



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RAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #2 - MID**

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

A.7f

XX/XX/XXXX

SHEET

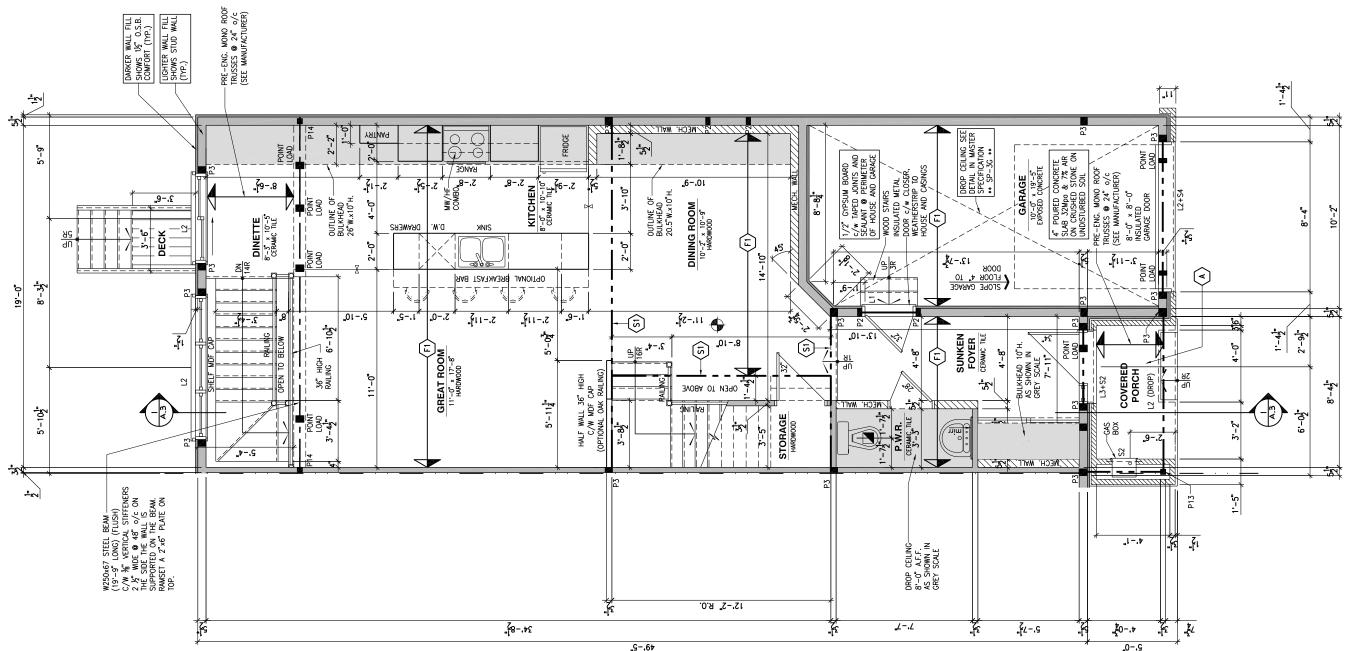
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GROUND FLOOR PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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PRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN-GARAGE END

SCALE: 3/16" = 1'-0" 110 - THE THOMAS

SHEET **A.**7g

XX/XX/XXXX

(STANDARD DRAWINGS)

2020 FOOTPRINT

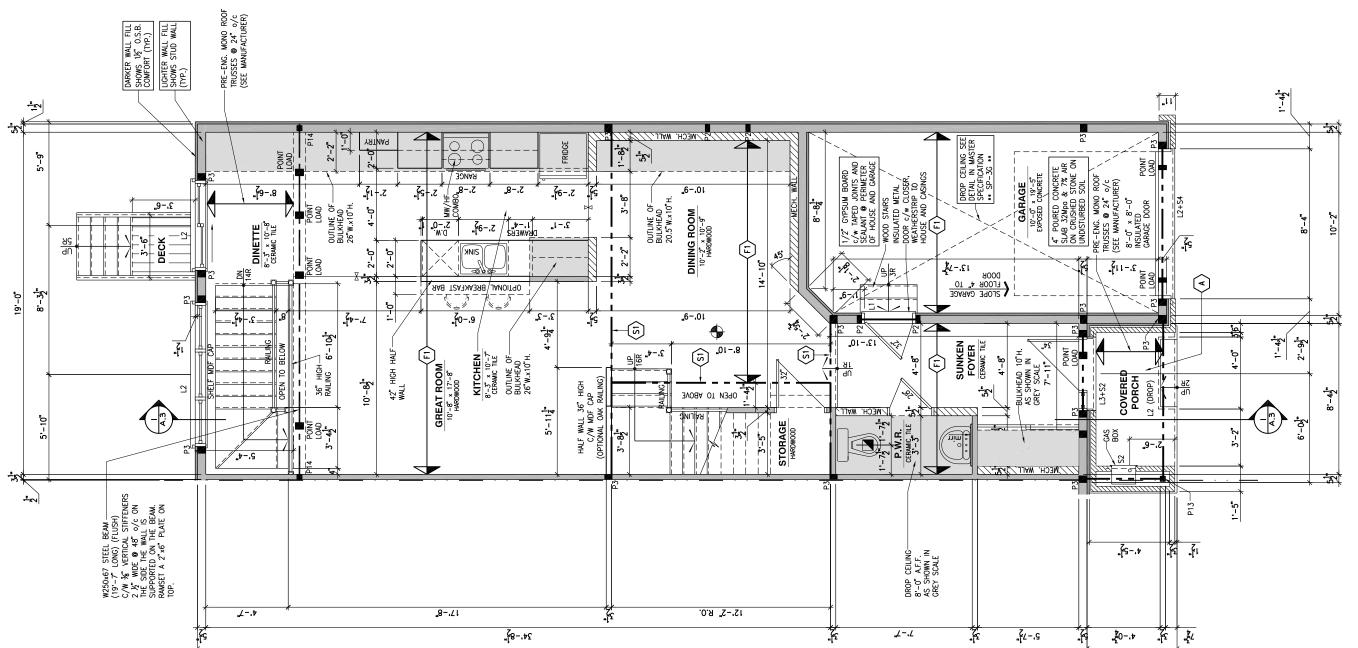
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"G-.6t

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - GARAGE END UNIT

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LOT: XXXX DATE: XX/XX/XXXX



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RAWING: GROUND FLOOR PLAN

OPT. KITCHEN #1 - GARAGE END 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

SHEET A.7h

XX/XX/XXXX

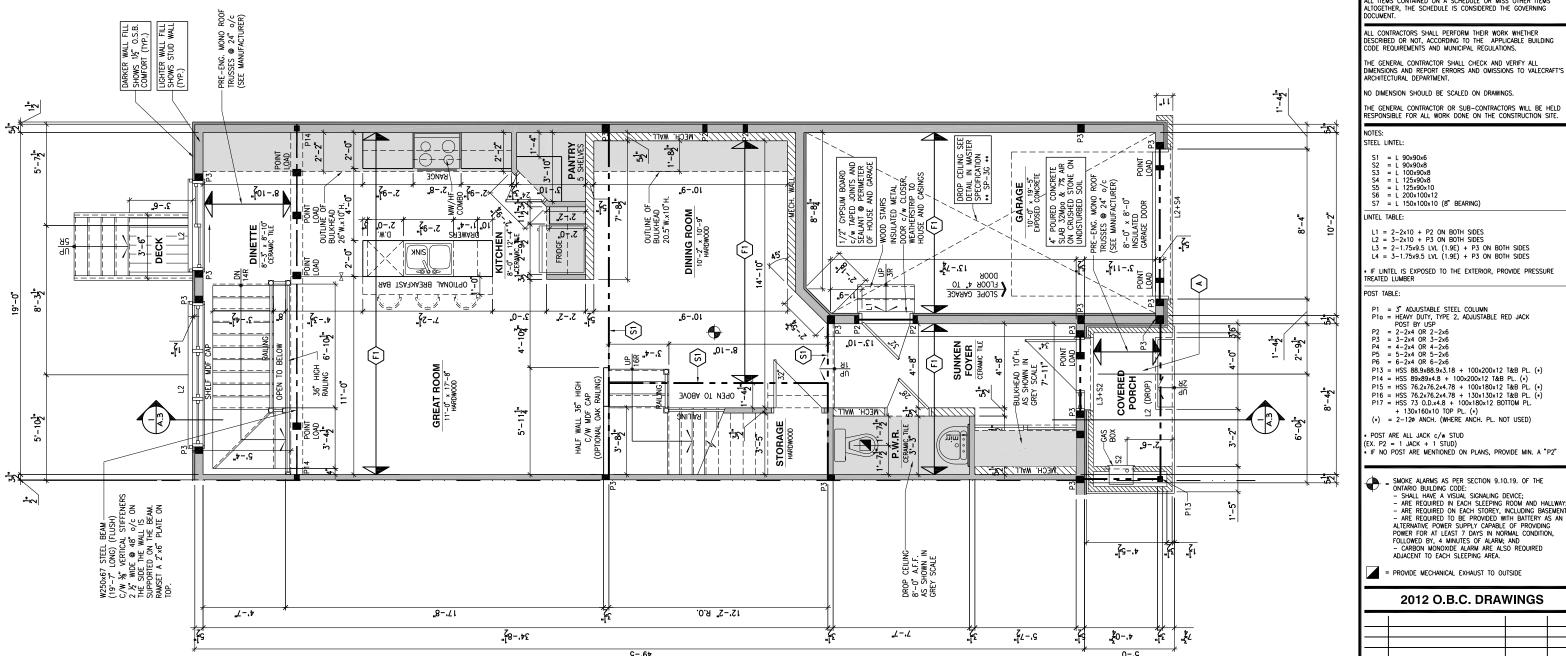
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PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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2012 O.B.C. DRAWINGS

REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON REV-3 AS PER STRUCTURAL REVIEW 03/20/2019 VH REV-2 AS PER STRUCTURAL REVIEW 11/07/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD NO. DESCRIPTION

DRAWING: GROUND FLOOR PLAN

OPT. KITCHEN #2 - GARAGE END 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

A.7i

XX/XX/XXXX

SHEET

(STANDARD DRAWINGS)

LOT:

PERSONAL BCIN #19896

DOCUMENT

STEEL LINTEL:

LINTEL TABLE:

POST TABLE

S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

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+ 130×160×10 TOP PL. (*)

(*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

TARION REGISTRATION NUMBER #611

XXXX

XX/XX/XXXX

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- > 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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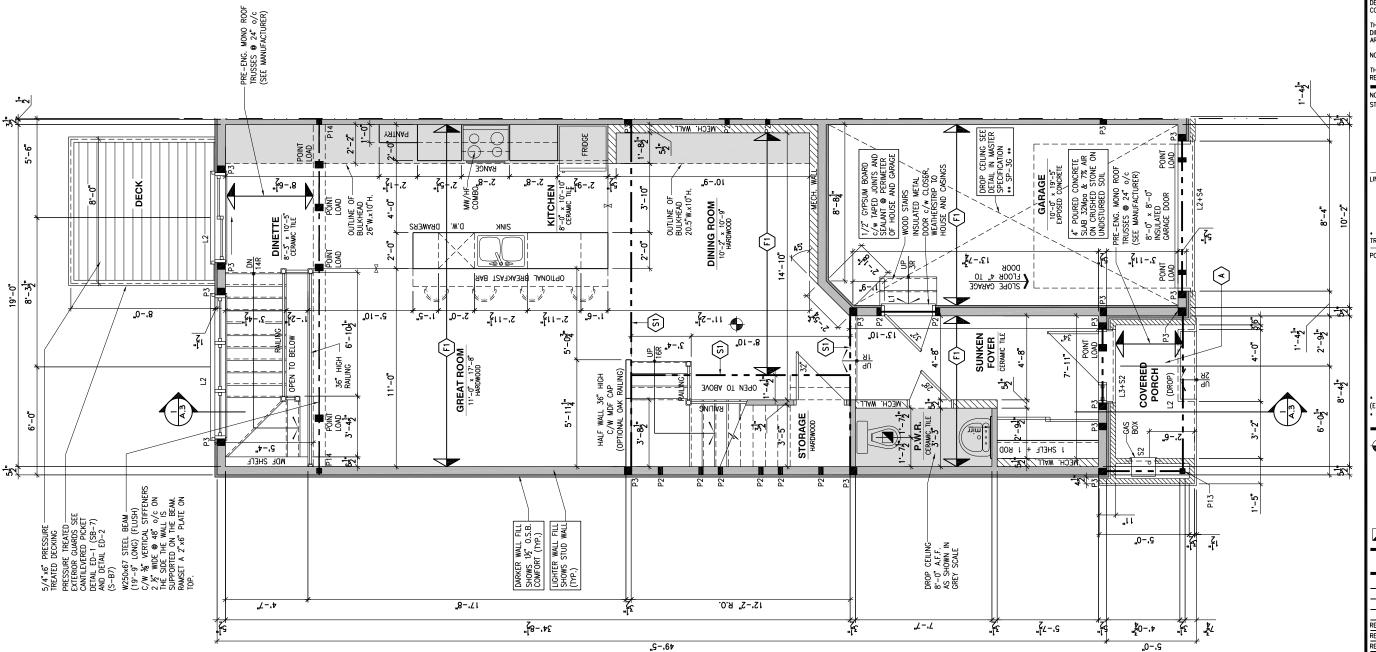
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NO.	DESCRIPTION	MM/DD/YYYY	BY

WEROUND FLOOR - WALKOUT STANDARD KITCHEN - PORCH END

SCALE: 3/16" = 1'-0" XX/XX/XXXX

SHEET

A.7j

110 - THE THOMAS

2020 FOOTPRINT

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

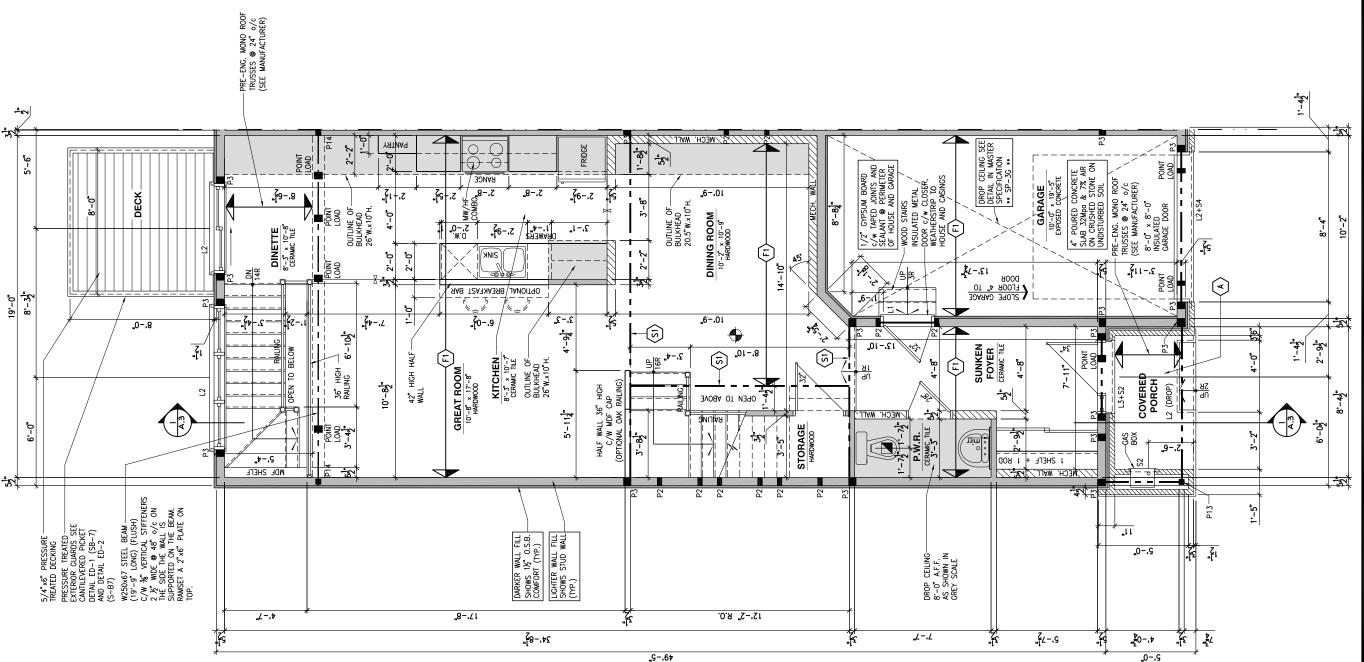
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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XX/XX/XXXX

XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #1 - PORCH END

3/16" = 1'-0"

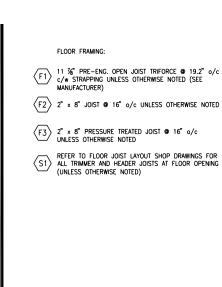
110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.7k

XX/XX/XXXX

SHEET



GENERAL NOTES: PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE

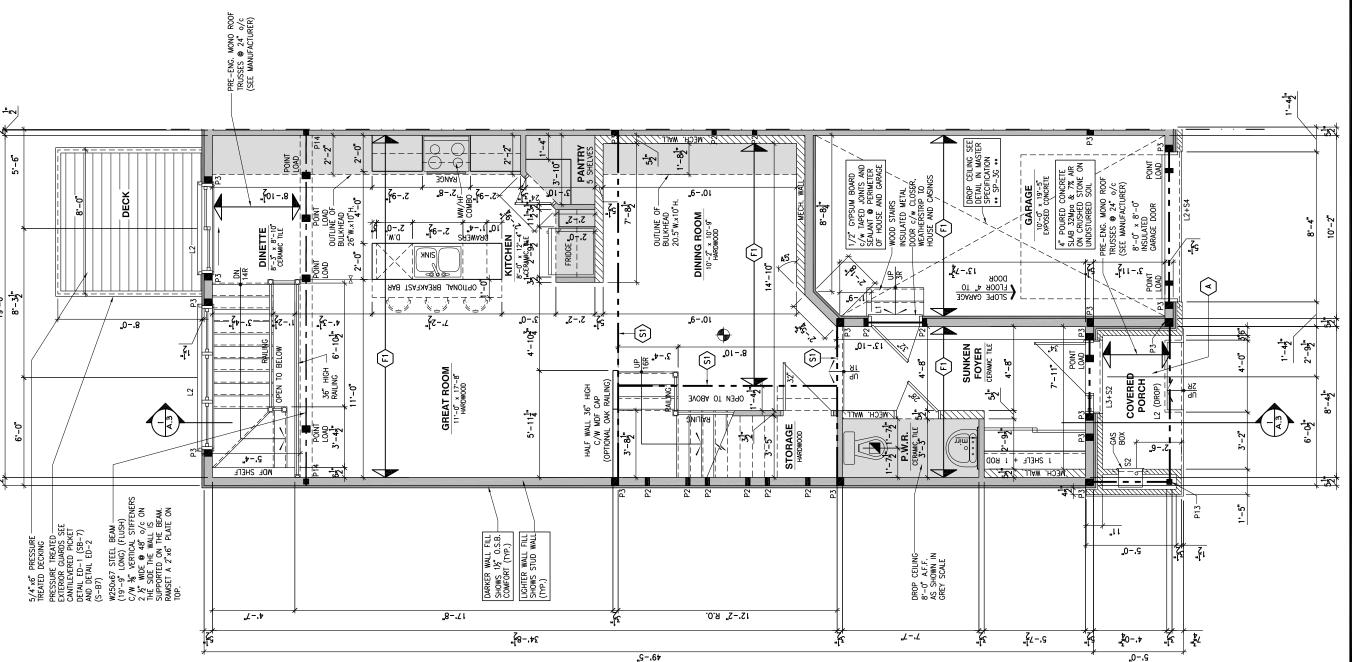
GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - PORCH END UNIT

2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING

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LOT: XXXX XX/XX/XXXX



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AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -PORCH END**

SCALE: 3/16" = 1'-0" XX/XX/XXXX SHEET

A.7I

110 - THE THOMAS 2020 FOOTPRINT

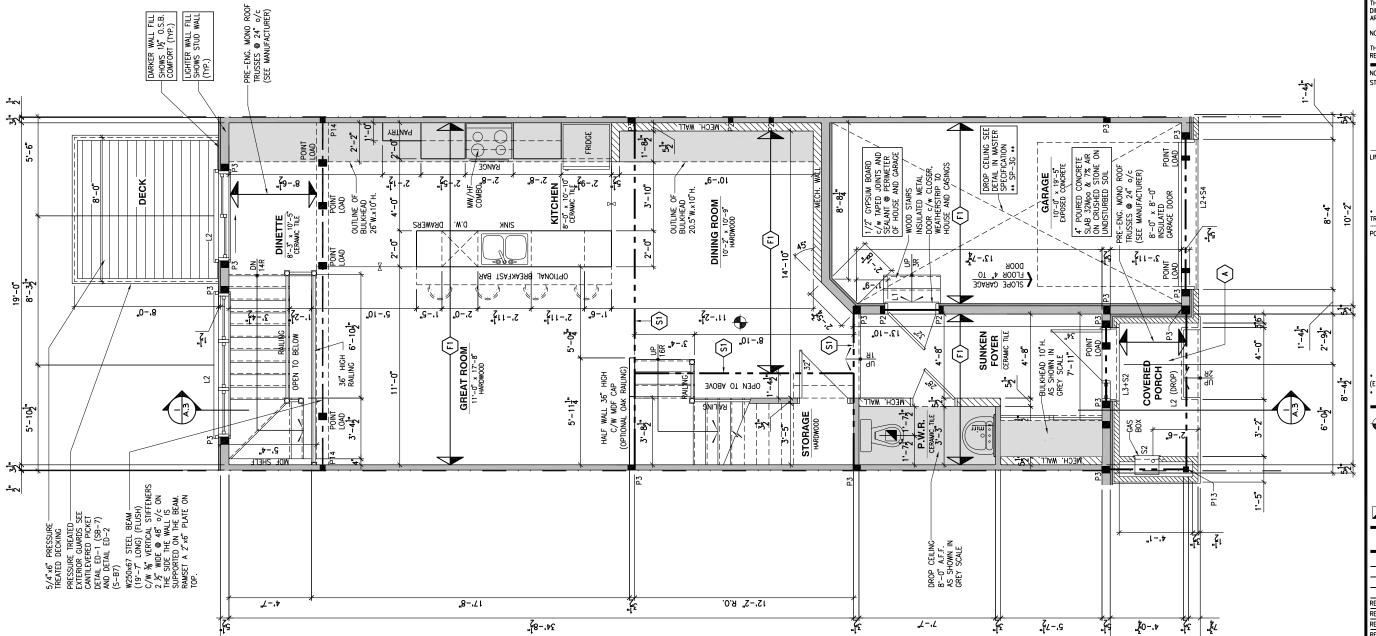
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..9-.67

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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 P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT **STANDARD KITCHEN - MID**

2.-0.

SCALE: 3/16" = 1'-0" XX/XX/XXXX

SHEET

110 - THE THOMAS 2020 FOOTPRINT

|A.7m| (STANDARD DRAWINGS)

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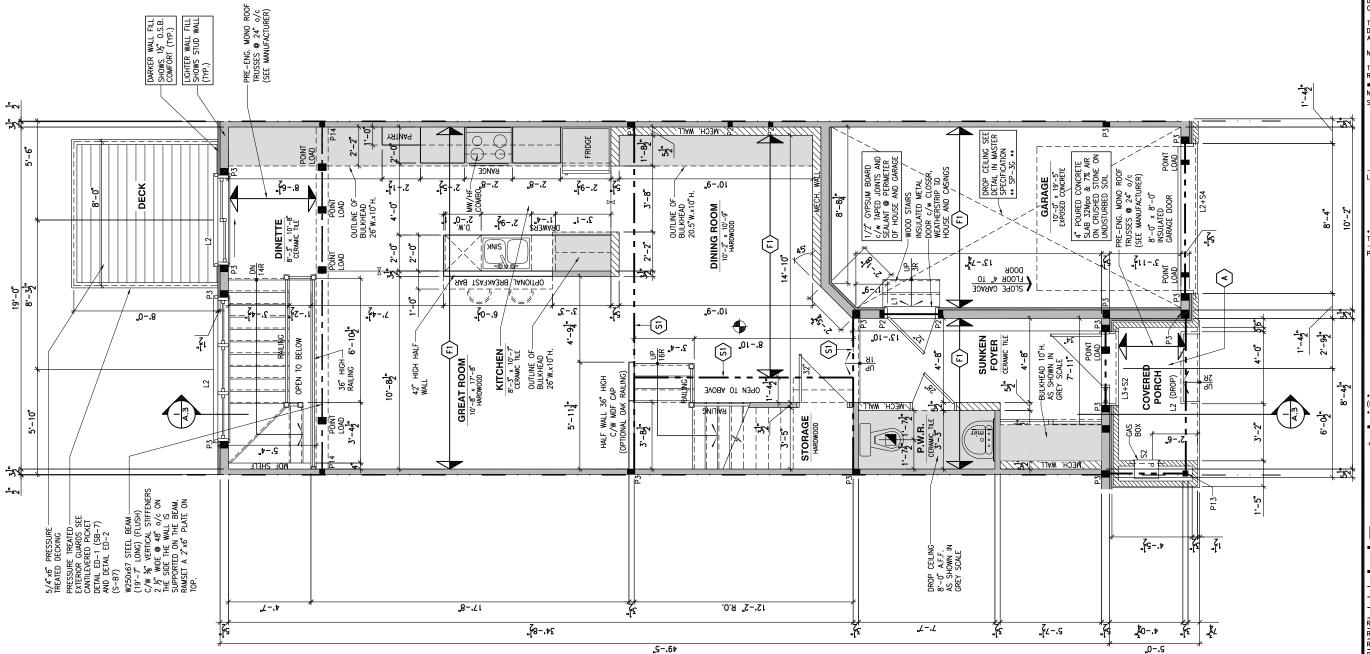
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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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AWING: GROUND FLOOR - WALKOUT **OPTIONAL KITCHEN #1 - MID**

SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

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SHEET

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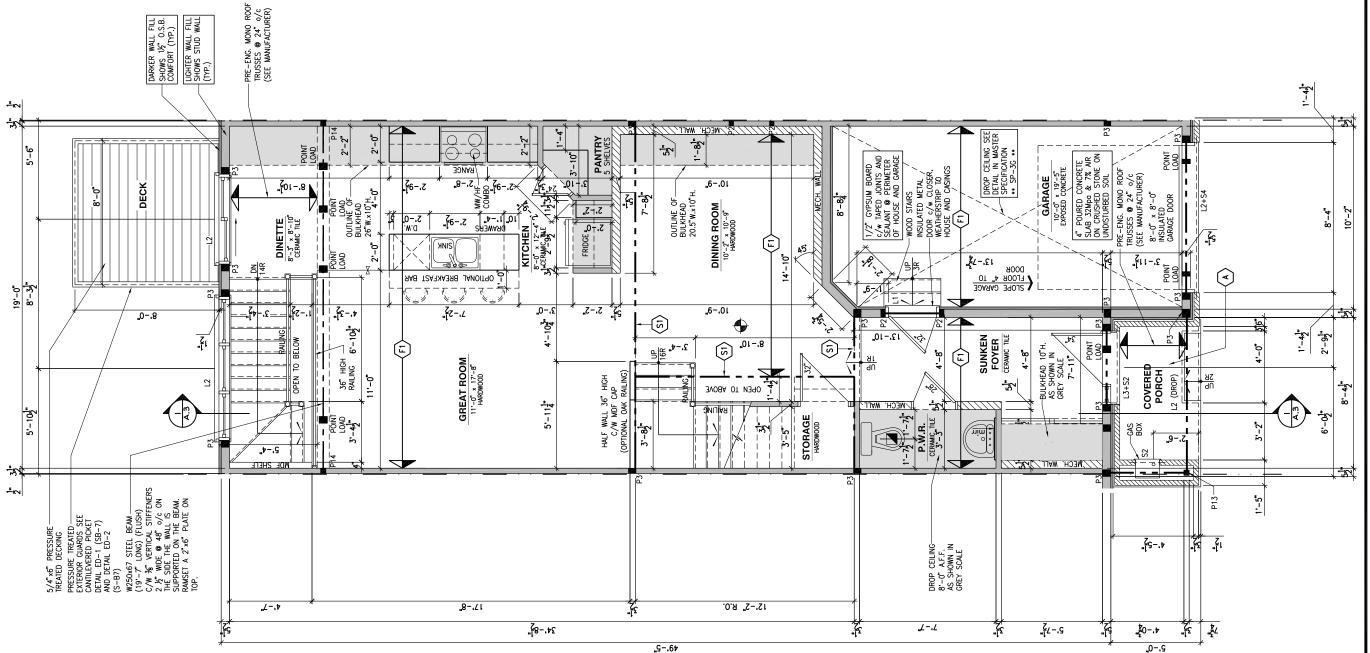
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SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

LOT: XXXX XX/XX/XXXX



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AWING: GROUND FLOOR - WALKOUT **OPTIONAL KITCHEN #2 - MID**

SCALE: 3/16" = 1'-0"

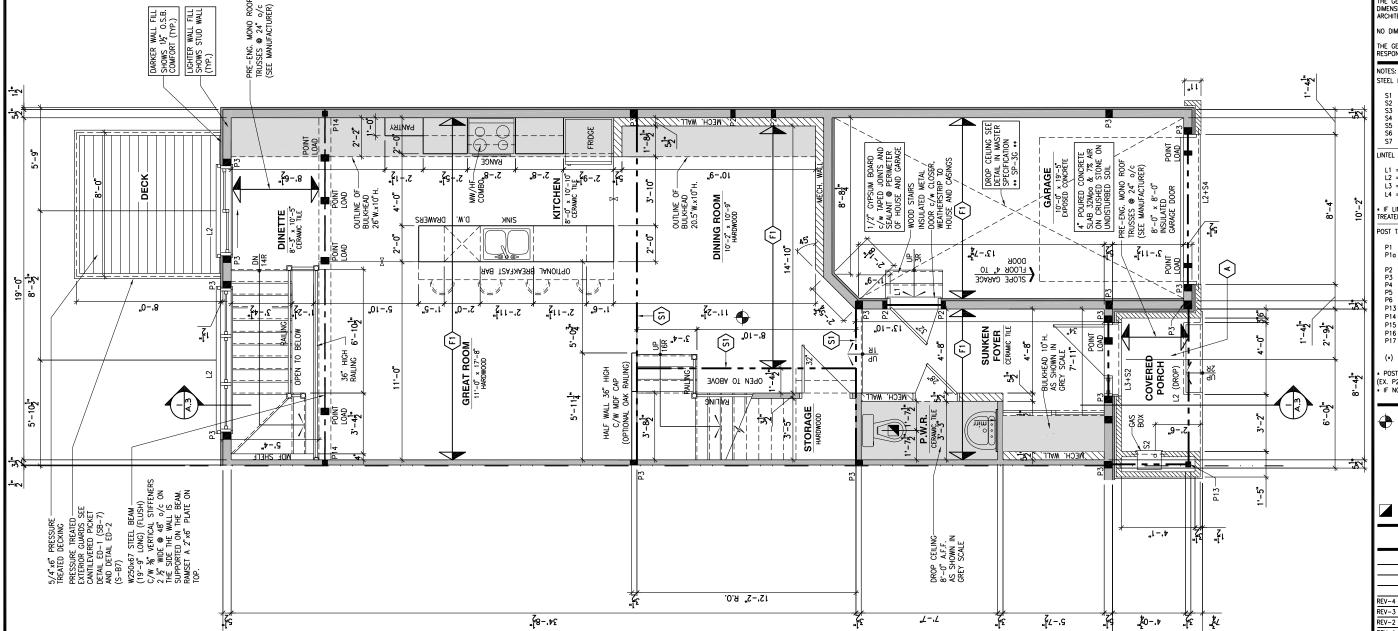
SHEET **A.7**o

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"G-.6t

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

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STANDARD KITCHEN-GARAGE END SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

SHEET **A.**7p

XX/XX/XXXX

(STANDARD DRAWINGS)

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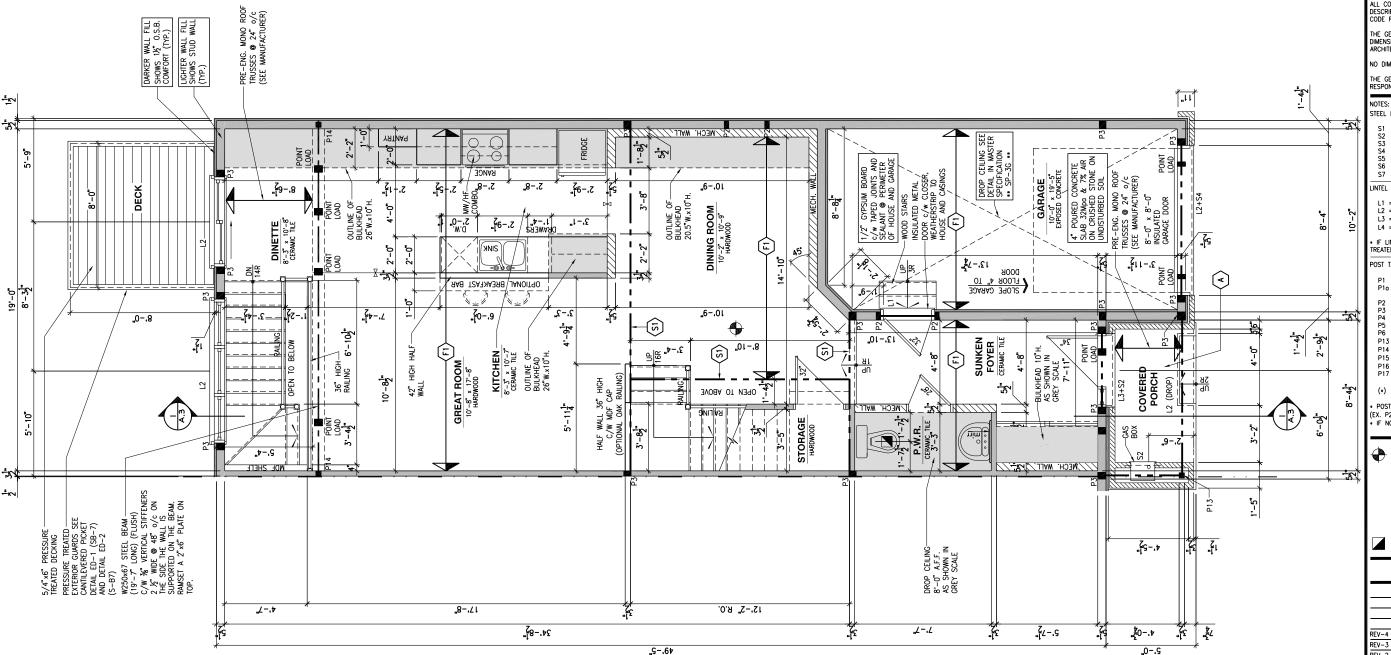
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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

l			
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #1 - GARAGE END**

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.7q

XX/XX/XXXX

SHEET

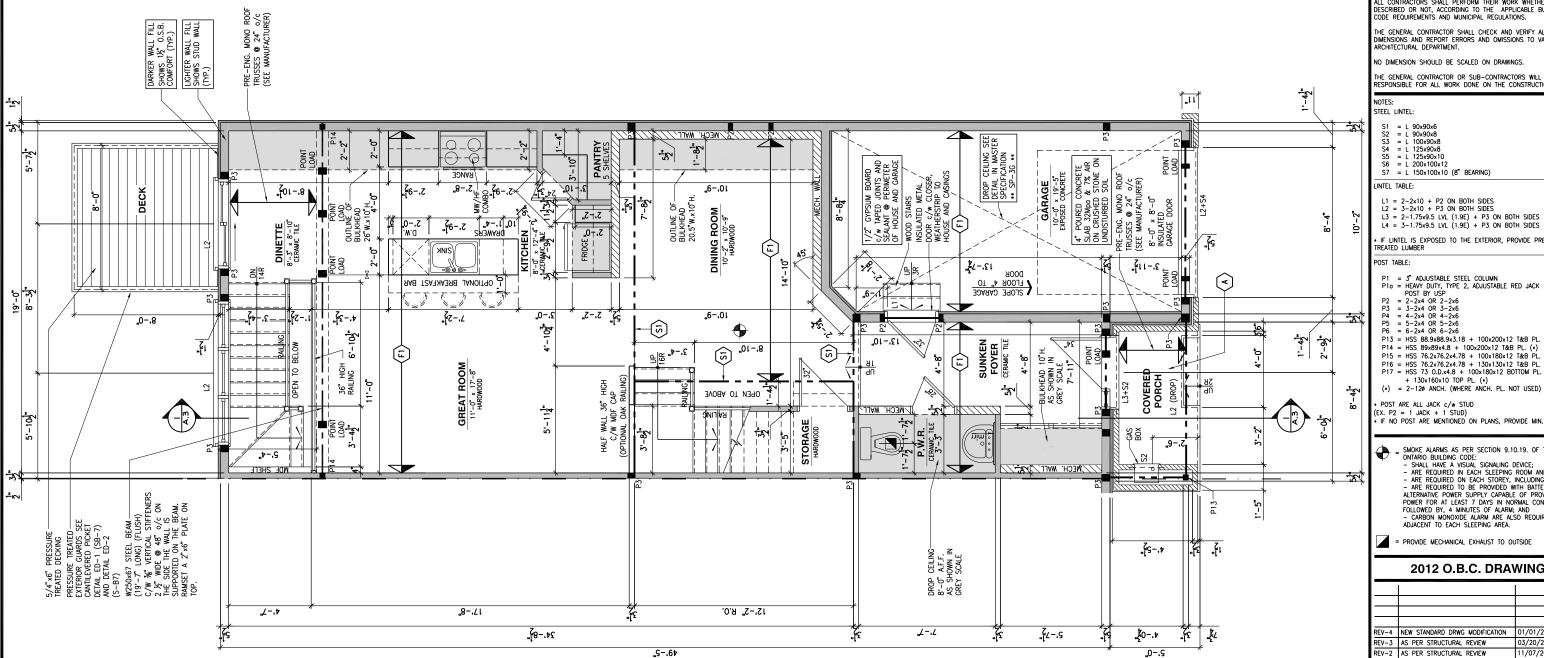
- > 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c WALL TO SLAB ON CLEAR STONE ON UNDISTURBED SOIL SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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- TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM *

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STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = L 200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*)

 (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SICREPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
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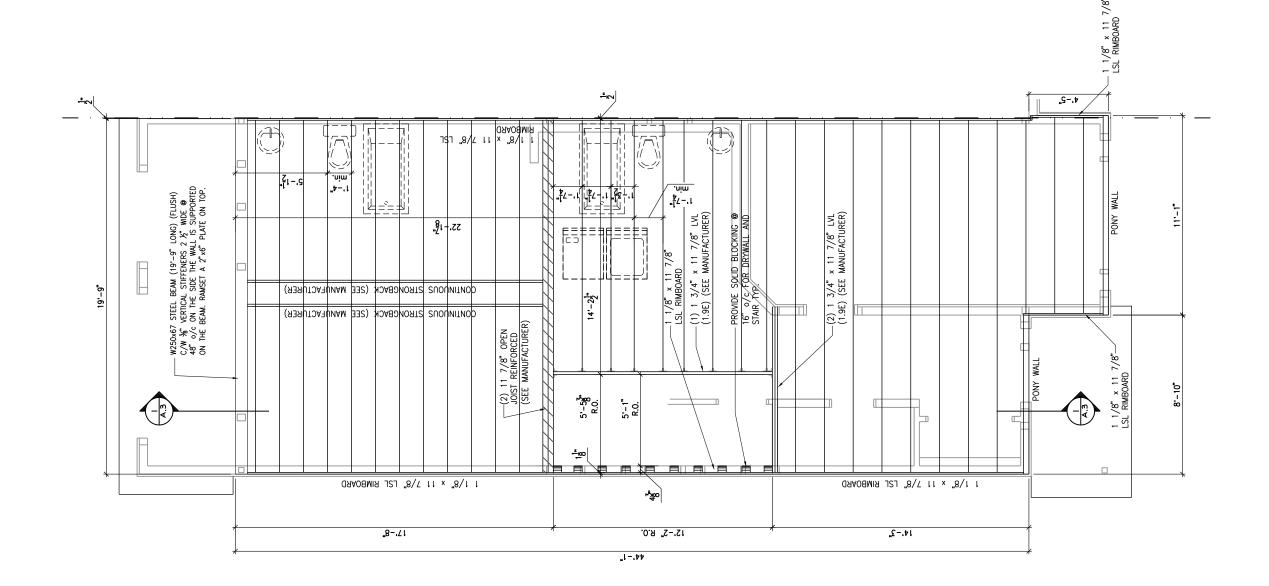
AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -GARAGE END**

SCALE: 3/16" = 1'-0"

XX/XX/XXXX SHEET

A.7r

110 - THE THOMAS 2020 FOOTPRINT



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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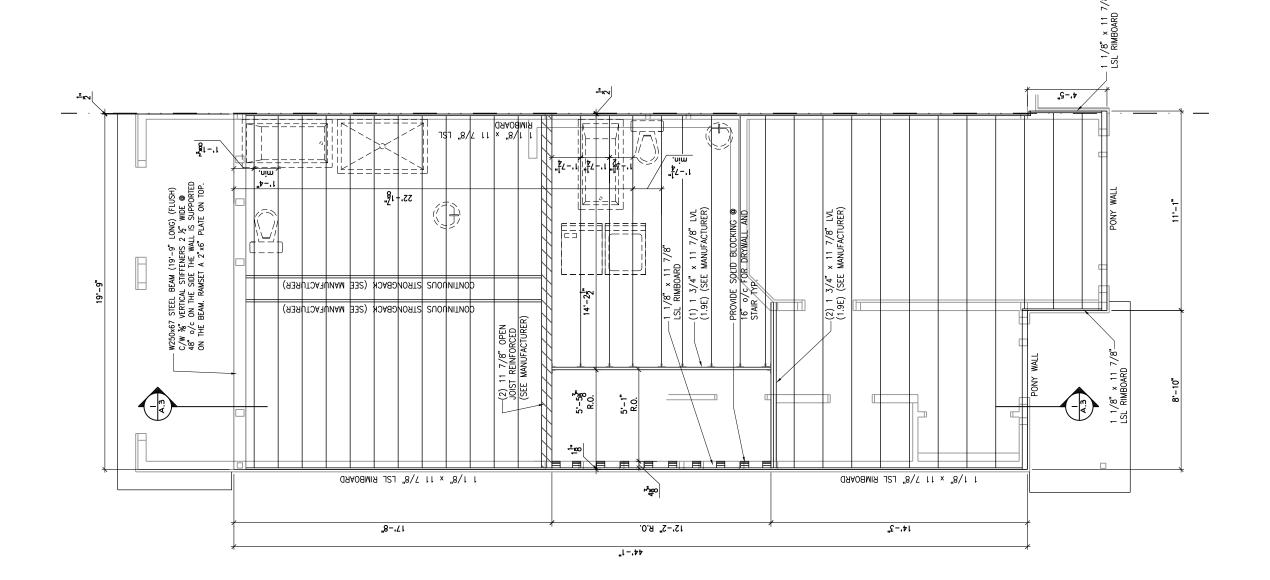
RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.8a



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR

JOIST FRAMING - PORCH END

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.8b

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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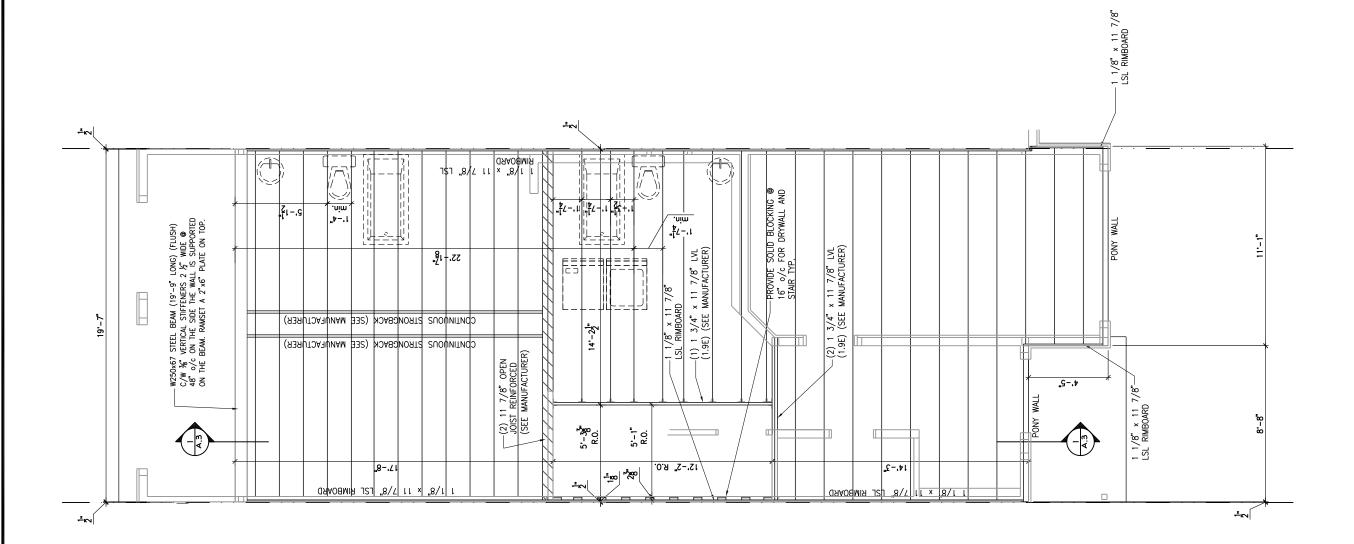
RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.8c



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN-MID**

| SCALE: | 3/16" = 1'-0"

110 - THE THOMAS

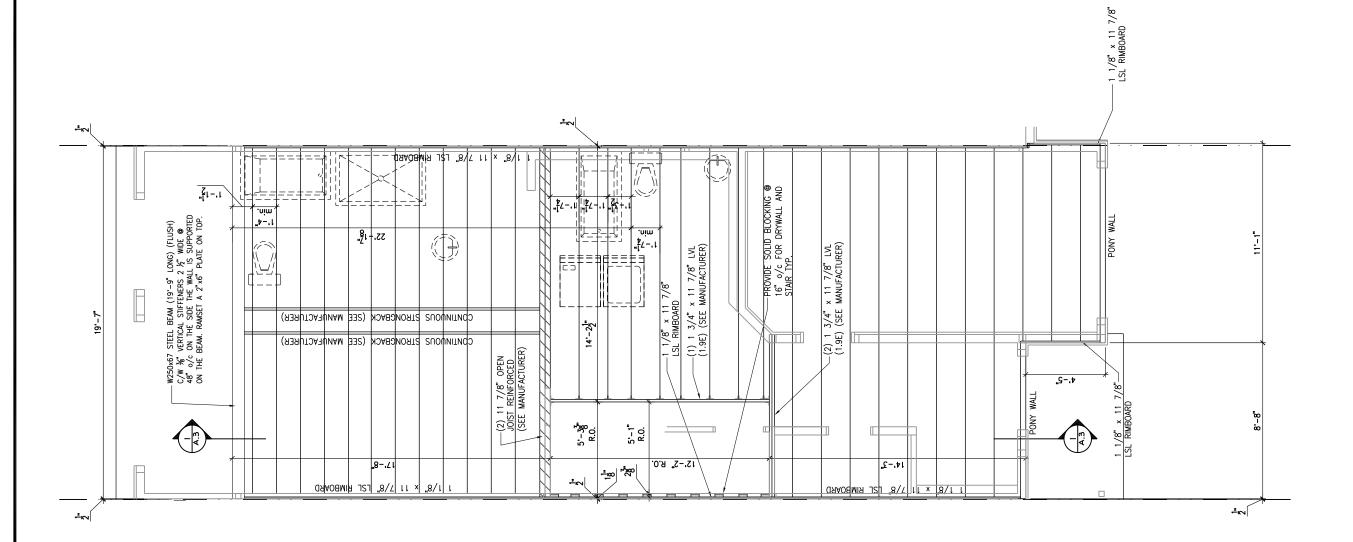
2020 FOOTPRINT

(STANDARD DRAWINGS)

A.8d

DATE: XX/XX/XXXX

SHEET:



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO	DESCRIPTION	MM/DD/YYYY	RY

RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.8e

SHEET:

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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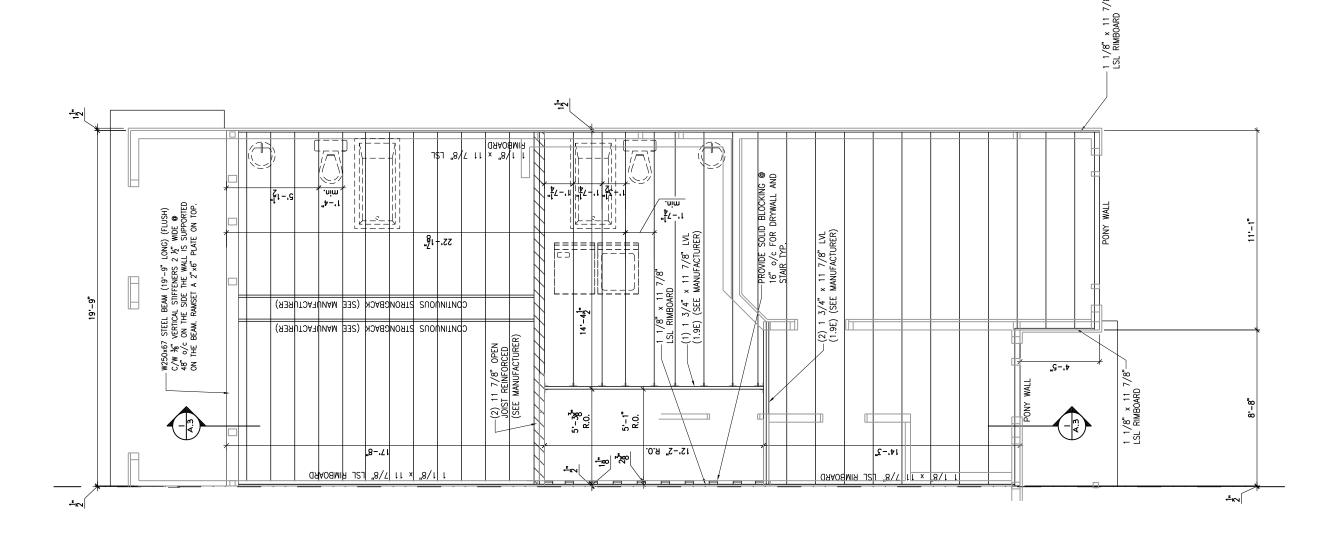
RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

(STANDARD DRAWINGS)

| SCALE: | DATE: | XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

SHEET: A.8f



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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RAWING: SECOND FLOOR - FLOOR

JOIST FRAMING - GARAGE END DATE: XX/XX/XXXX

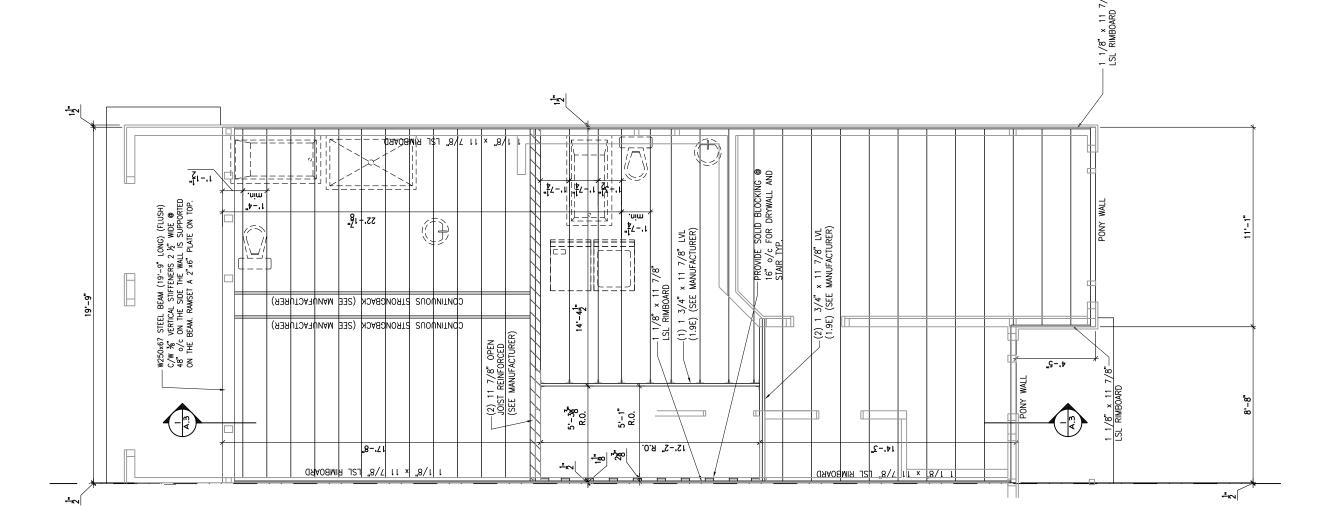
| SCALE: | 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.8g

SHEET:



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

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NO.	DESCRIPTION	MM/DD/YYYY	RY

RAWING: SECOND FLOOR - FLOOR

JOIST FRAMING - GARAGE END

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.8h

SHEET:



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

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NO.	DESCRIPTION	MM/DD/YYYY	BY

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| SCALE: | DATE: | XX/XX/XXXX

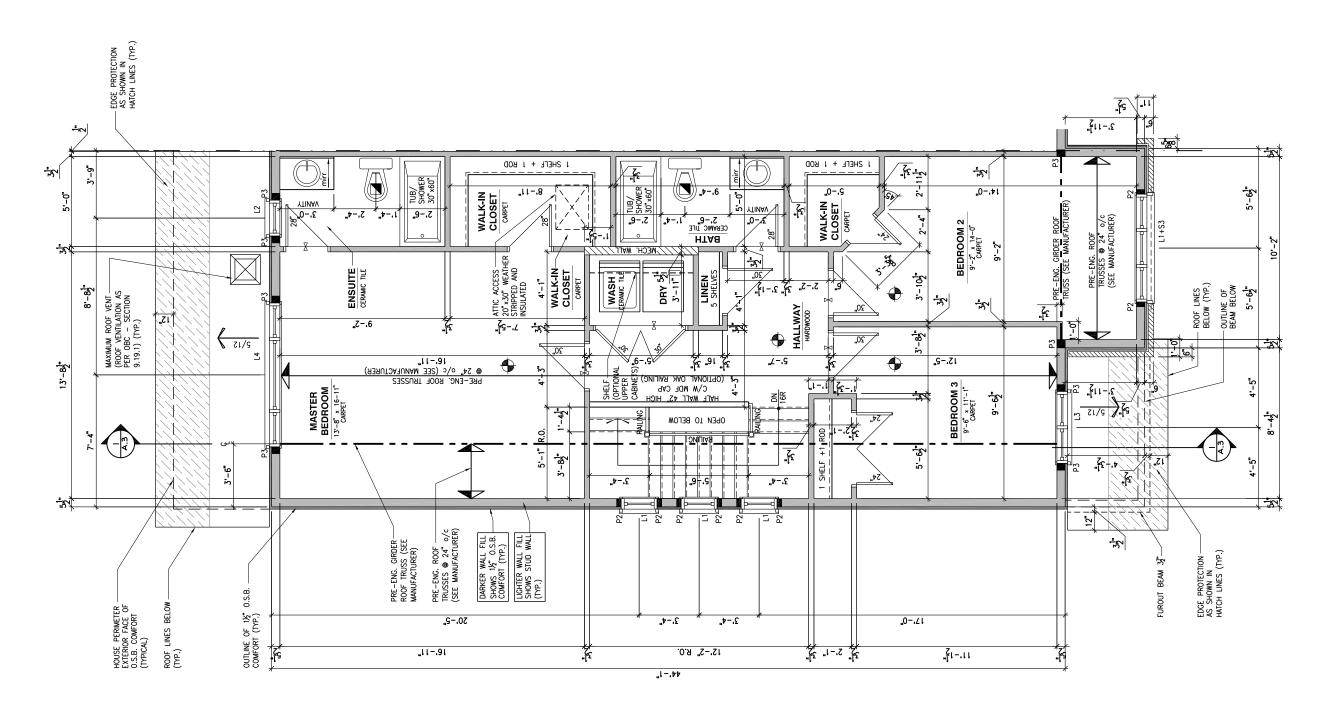
110 - THE THOMAS 2020 FOOTPRINT

A.8i

SHEET:

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SECOND FLOOR PLAN - STANDARD ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

ORAWING: SECOND FLOOR PLAN

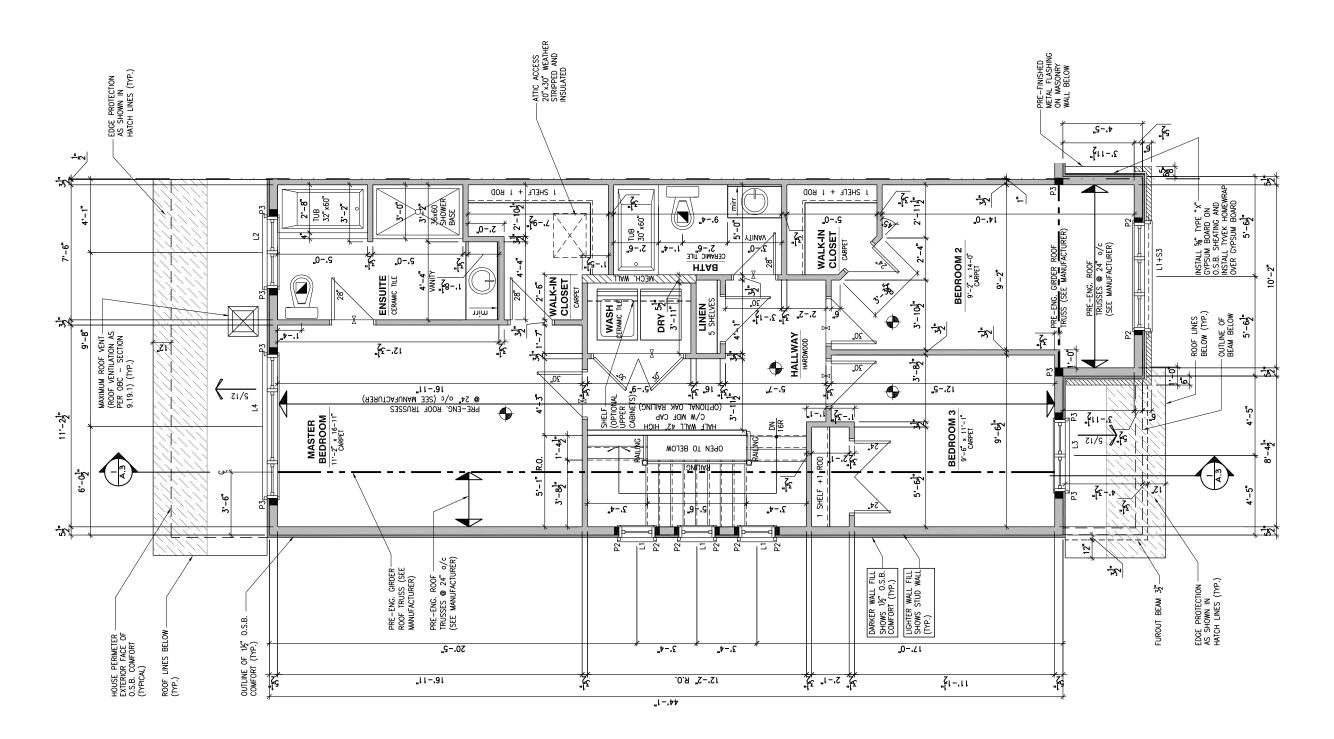
STANDARD ENSUITE - PORCH END

SCALE: 3/16" = 1'-0" XX/XX/XXXX SHEET

110 - THE THOMAS 2020 FOOTPRINT (STANDARD DRAWINGS)

A.9a

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
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 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

LOT: **XXXX** XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR PLAN **OPT 4PC ENSUITE - PORCH END**

XX/XX/XXXX

A.9b

SHEET

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0"

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SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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OPT 5PC ENSUITE - PORCH END | SCALE: | 3/16" = 1'-0"

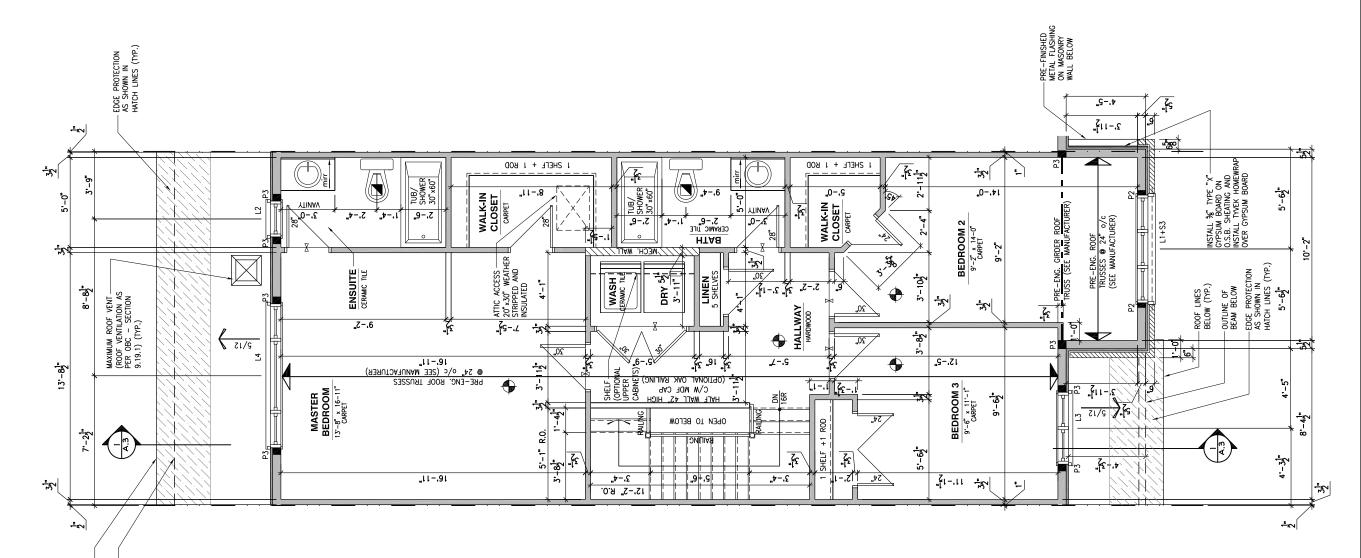
110 - THE THOMAS

2020 FOOTPRINT (STANDARD DRAWINGS)

A.9c

xx/xx/xxxx

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SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

ROOF LINES BELOW -(TYP.) HOUSE PERIMETER -EXTERIOR FACE OF 0.S.B. COMFORT (TYPICAL)

LOT: **XXXX** DATE: XX/XX/XXXX



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SECOND FLOOR PLAN **STANDARD ENSUITE - MID**

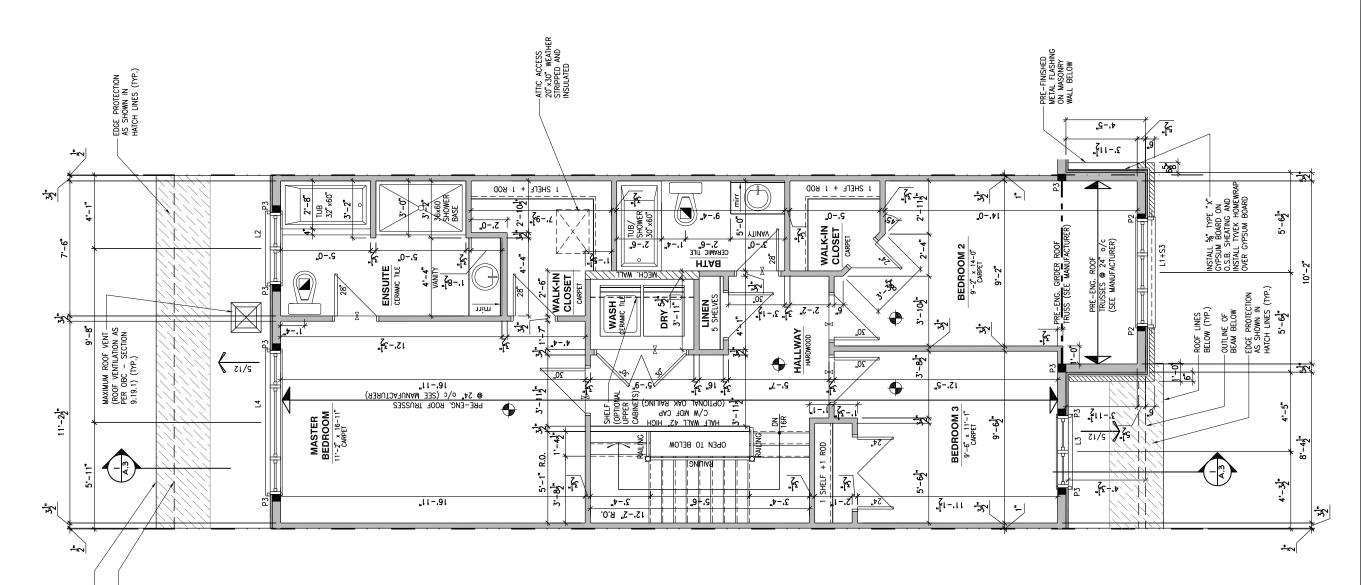
SCALE: 3/16" = 1'-0" XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.9d

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SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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SECOND FLOOR PLAN **OPT 4 PC ENSUITE - MID**

SCALE: 3/16" = 1'-0"

XX/XX/XXXX SHEET

2020 FOOTPRINT (STANDARD DRAWINGS)

110 - THE THOMAS

A.9e

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SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

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LOT: **XXXX** DATE: XX/XX/XXXX



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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
(*) = 2-12e ANCH. (WHERE ANCH. PL. NOT USED)

POST ARE ALL JACK c/w STUD
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

SECOND FLOOR PLAN **OPT 5 PC ENSUITE - MID**

SCALE: 3/16" = 1'-0"

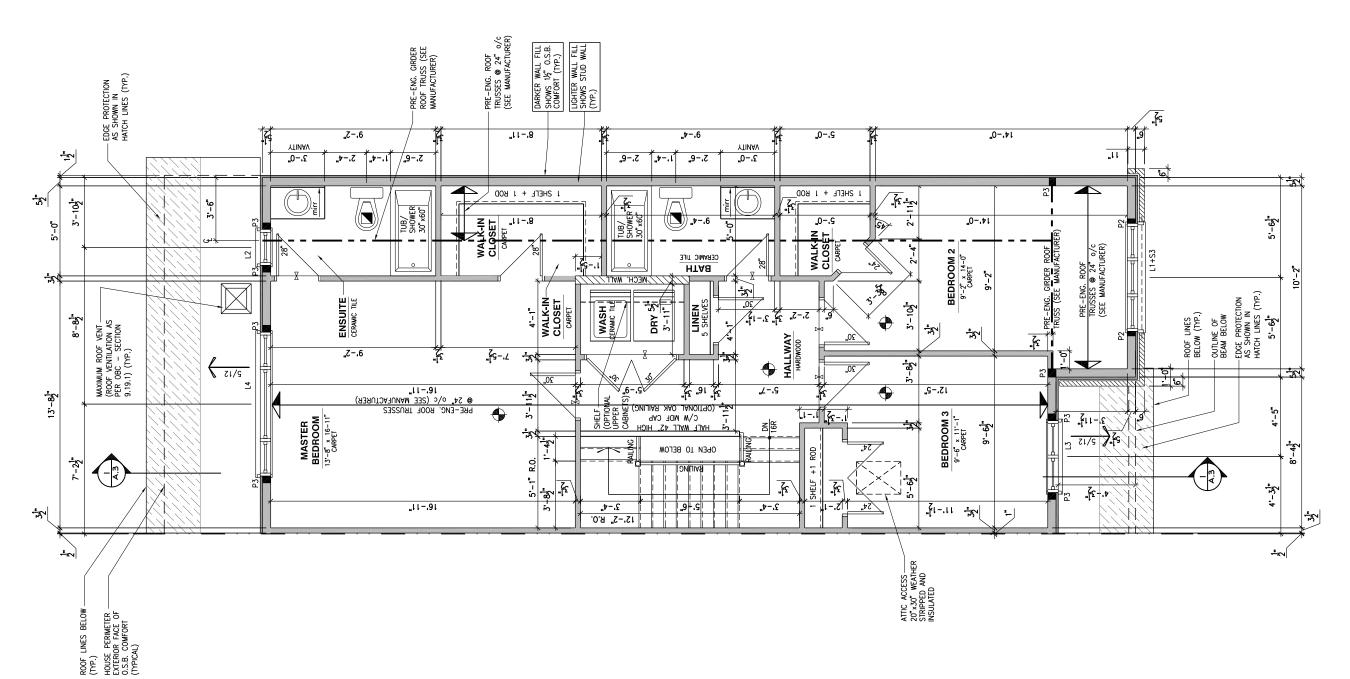
XX/XX/XXXX SHEET: 110 - THE THOMAS

(STANDARD DRAWINGS)

2020 FOOTPRINT

A.9f

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - STANDARD ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX



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NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-244 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS RB 0x88 0x 18 x 100x200x12 T&B P1

- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P13 = HSS 89x894x8.18.8 + 100x200x12 T&B PL. (*)
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN

STANDARD ENSUITE-GARAGE END

SCALE: 3/16" = 1'-0" 110 - THE THOMAS

A.9g

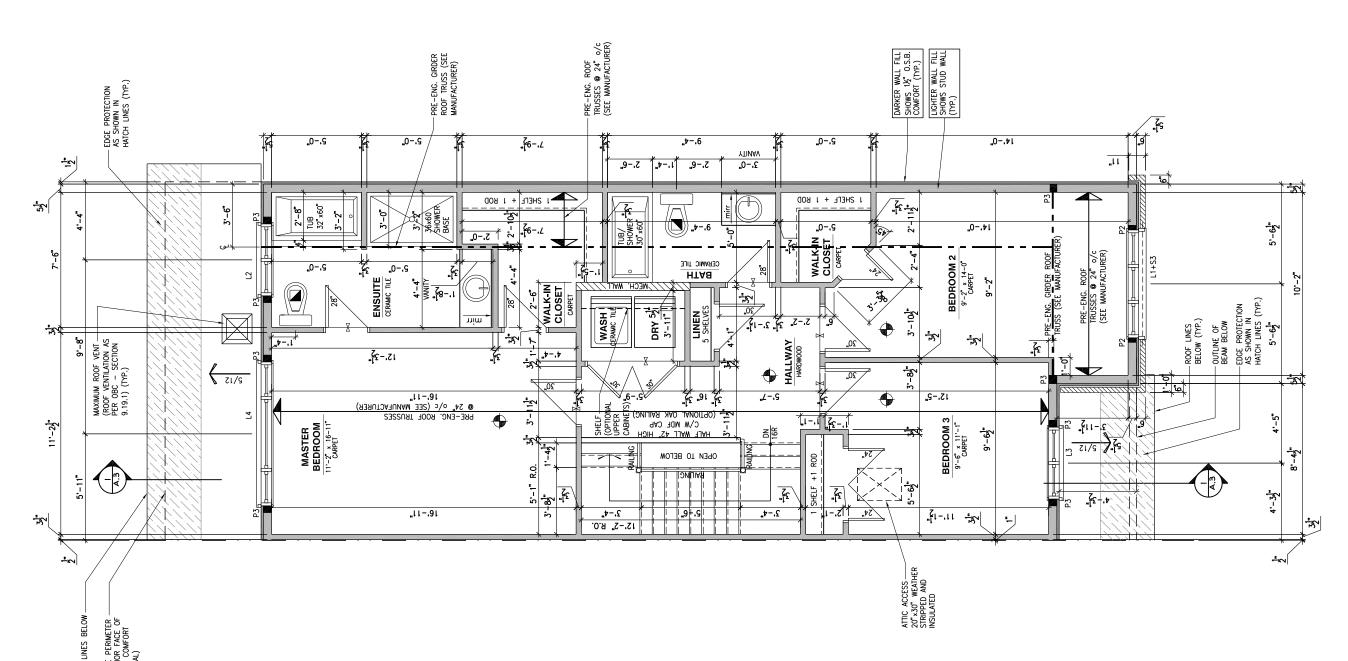
XX/XX/XXXX

SHEET

(STANDARD DRAWINGS)

2020 FOOTPRINT

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 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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- 1		_
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-	STEEL LINTEL:	
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- 1	S2 = L 90x90x8	
- 1	S3 = L 100x90x8	
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ORAWING: SECOND FLOOR PLAN

OPT 4PC ENSUITE - GARAGE END

SCALE: 3/16" = 1'-0"

110 - THE THOMAS

2020 FOOTPRINT A.9h

xx/xx/xxxx

SHEET

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN

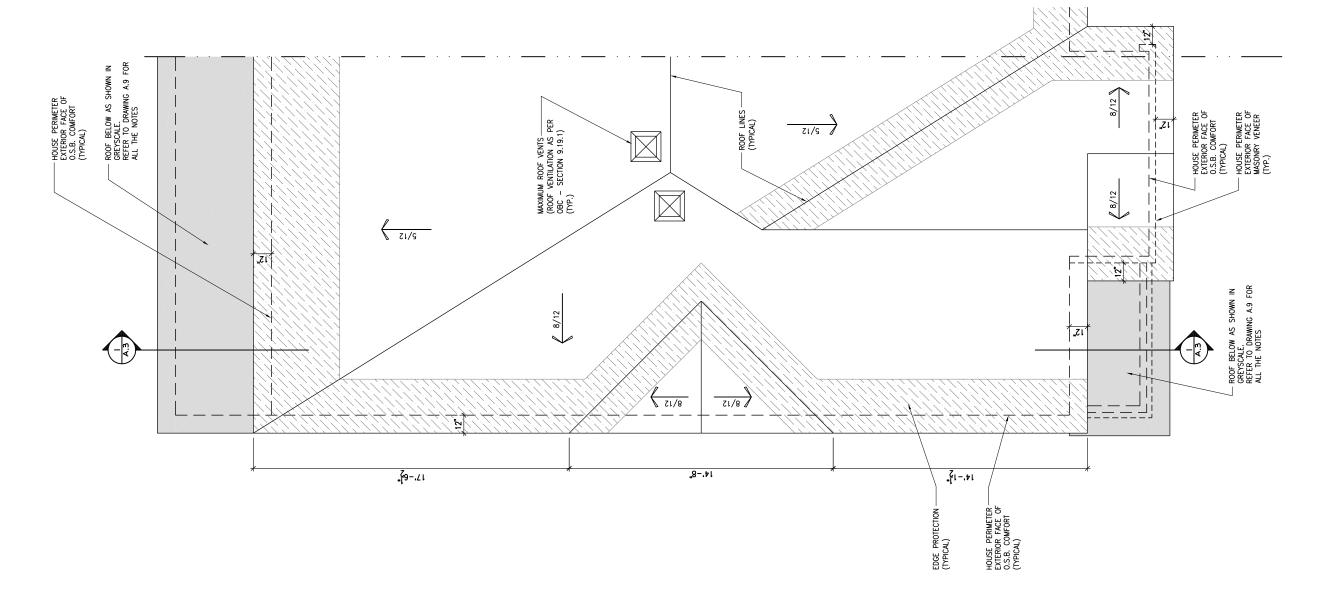
OPT 5PC ENSUITE - GARAGE END

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.9i



ROOF PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

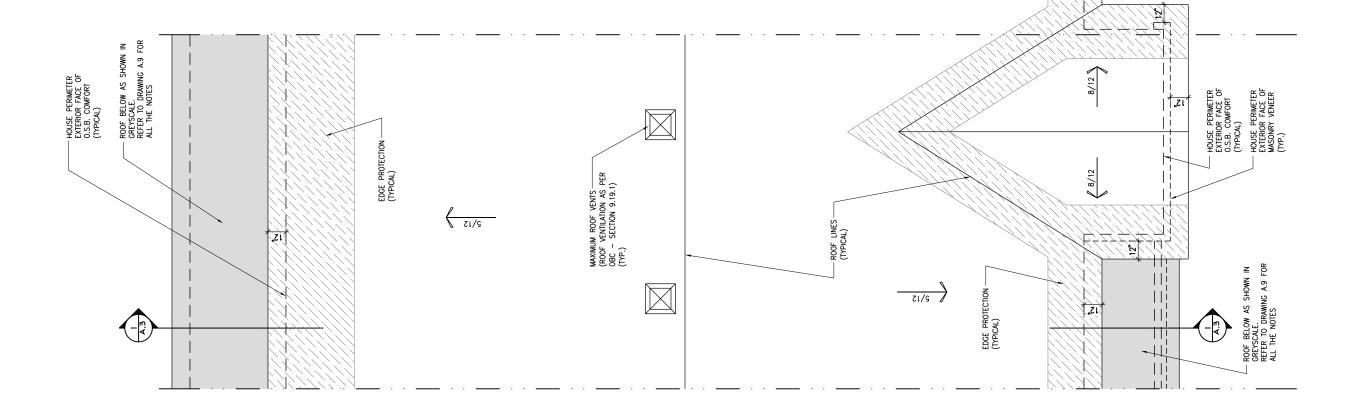
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ROOF PLAN - PORCH END UNIT

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110 - THE THOMAS 2020 FOOTPRINT







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NO.	DESCRIPTION	MM/DD/YYYY	BY

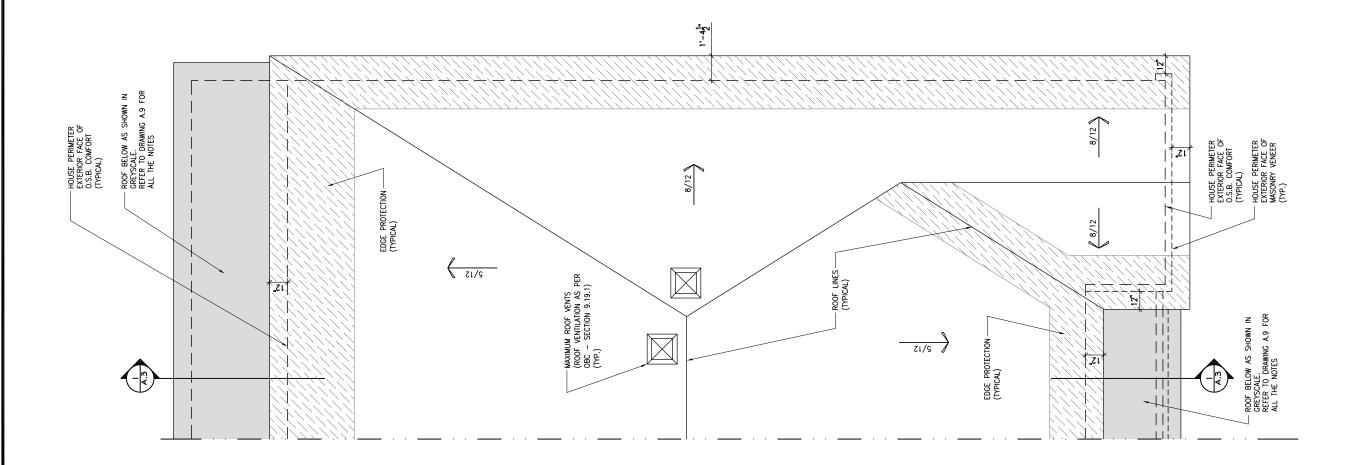
ROOF PLAN - MID UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.10b





ROOF PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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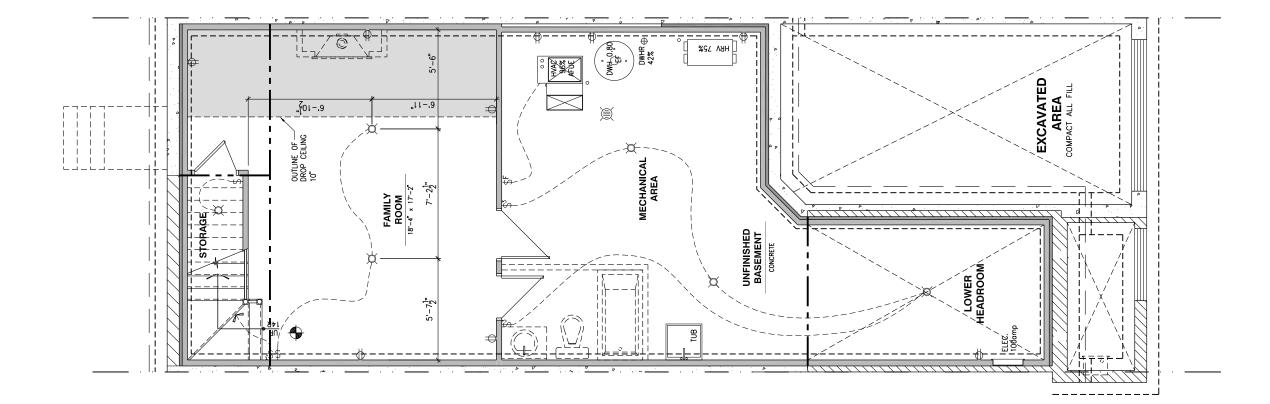
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ROOF PLAN - GARAGE END UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT





E.la

ELECTRICAL PLAN - BASEMENT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET



- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



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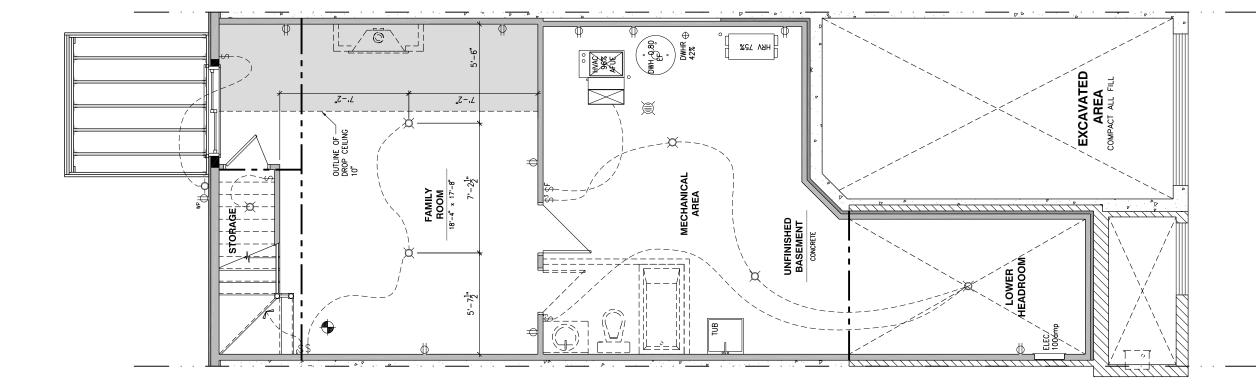
ELECTRICAL PLAN BASEMENT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.1a





ELECTRICAL PLAN - BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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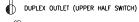
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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)



GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

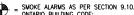
SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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 ARE REGUIRED IN EACH SLEEPING ROOM AND HALLWAY:
 ARE REGUIRED ON EACH STOREY, INCLUDING BASEMENT;
 ARE REGUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM: AND
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYOR
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	٧H
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

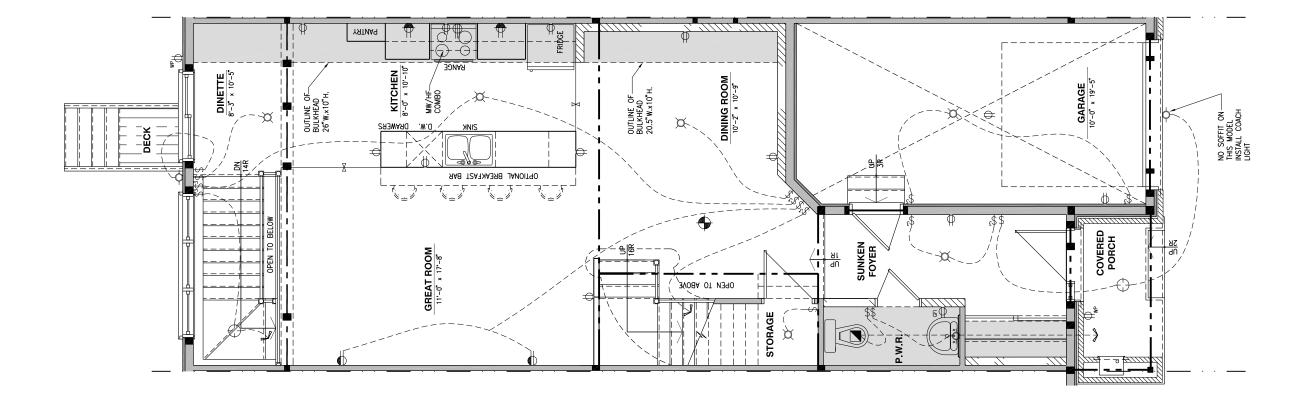
ELECTRICAL PLAN BASEMENT - WALKOUT

SHEET:

E.1b

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT



E.2a

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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\$FP FIREPLACE SWITCH

DUPLEX OUTLET (12" HIGH)

DUPLEX OUTLET (UPPER HALF SWITCH)

GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN GROUND FLOOR

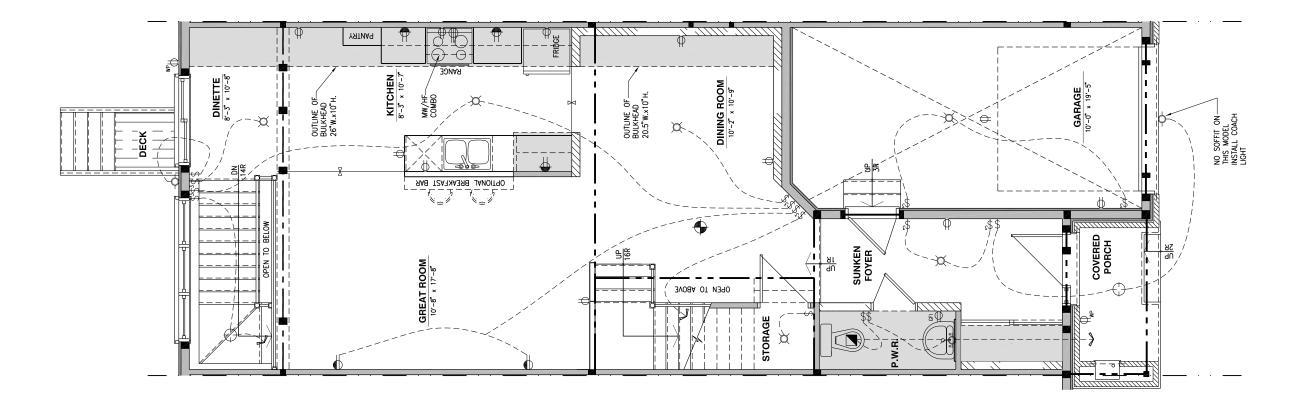
DATE: XX/XX/XXXX

SHEET:

E.2a

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT



(E.2b)

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DF	RAWINGS
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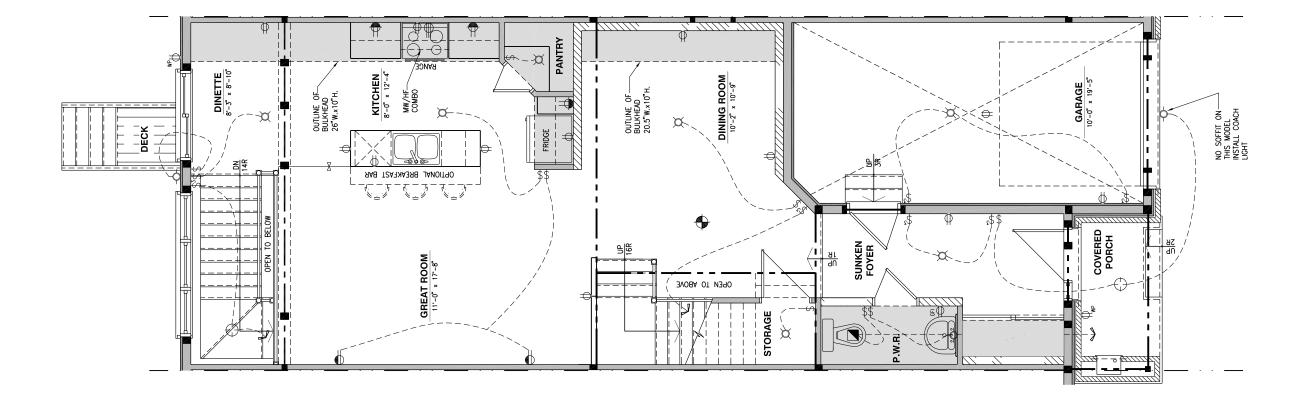
ELECTRICAL PLAN GROUND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

E.2b

SHEET:



E.2c

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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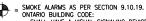
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- 220 VOLT OUTLET
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- POT LIGHT



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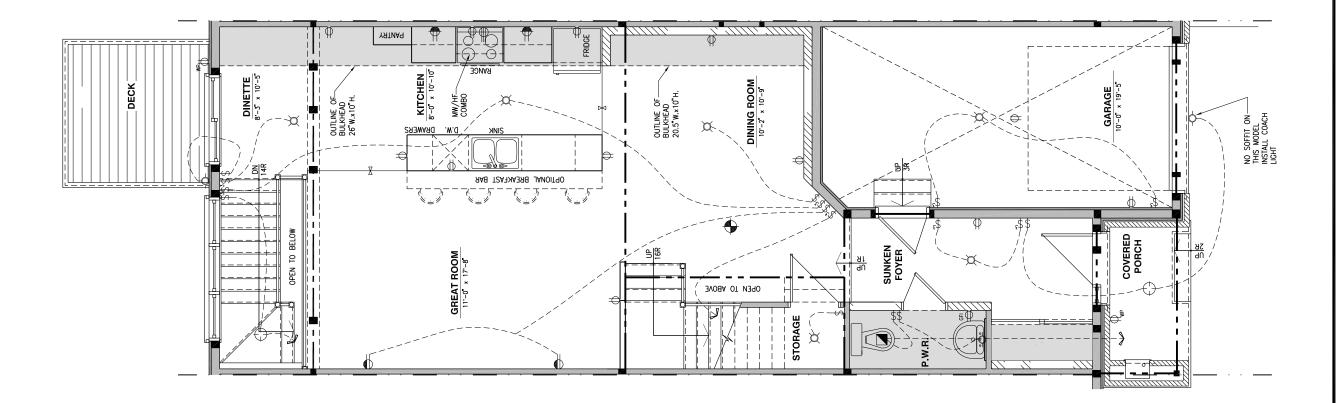
ELECTRICAL PLAN GROUND FLOOR

SCALE: 3/16" = 1'-0"

110 - THE THOMAS 2020 FOOTPRINT

SHEET: E.2c

xx/xx/xxxx



E.2d/

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - WALKOUT

LOT: XXXX DATE: XX/XX/XXXX



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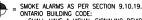
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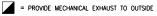
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	2012 O.B.C. DRA	WINGS	
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NO	DESCRIPTION	MM/DD/YYYY	RY

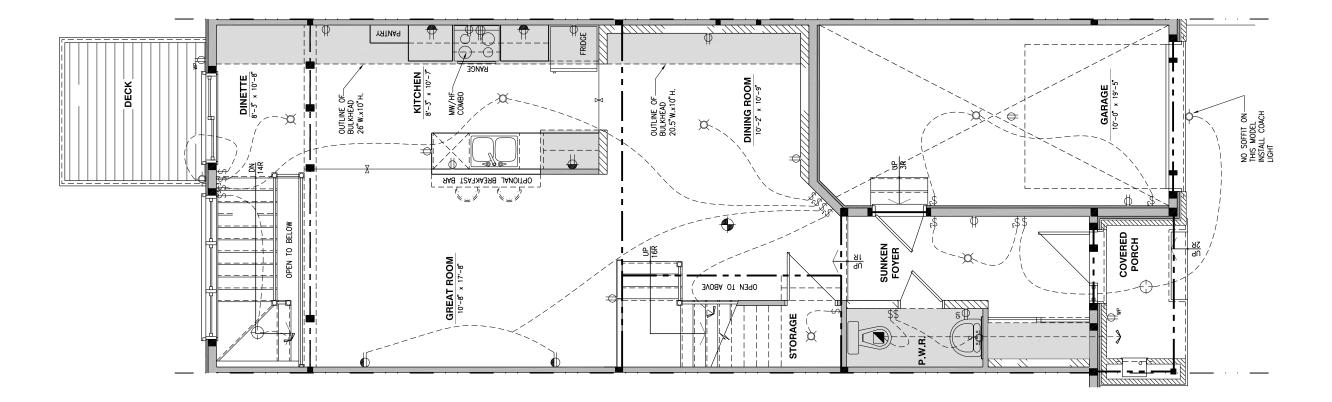
ELECTRICAL PLAN GROUND FLOOR

SCALE: 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.2d



E.2e

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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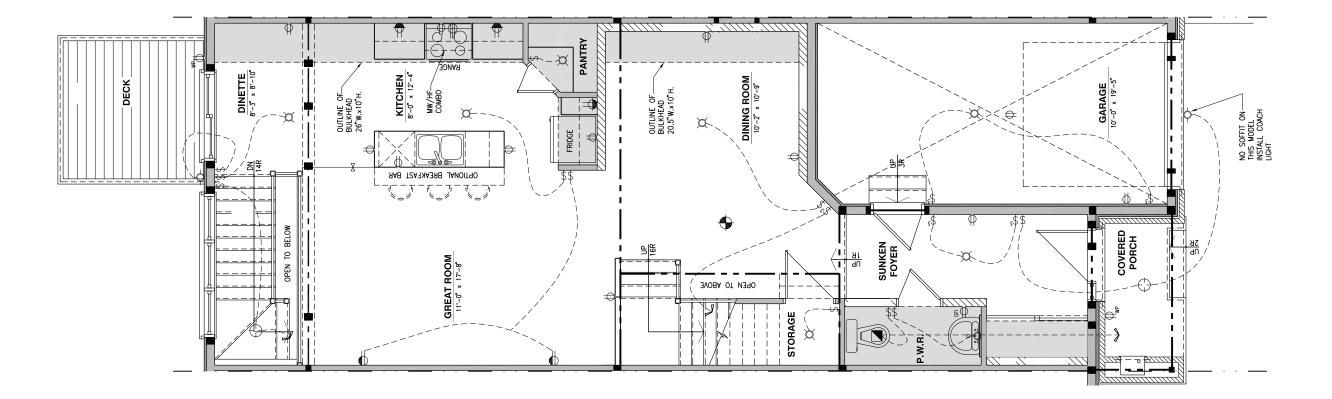
ELECTRICAL PLAN GROUND FLOOR

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.2e



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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CEILING MOUNTED LIGHT FIXTURE

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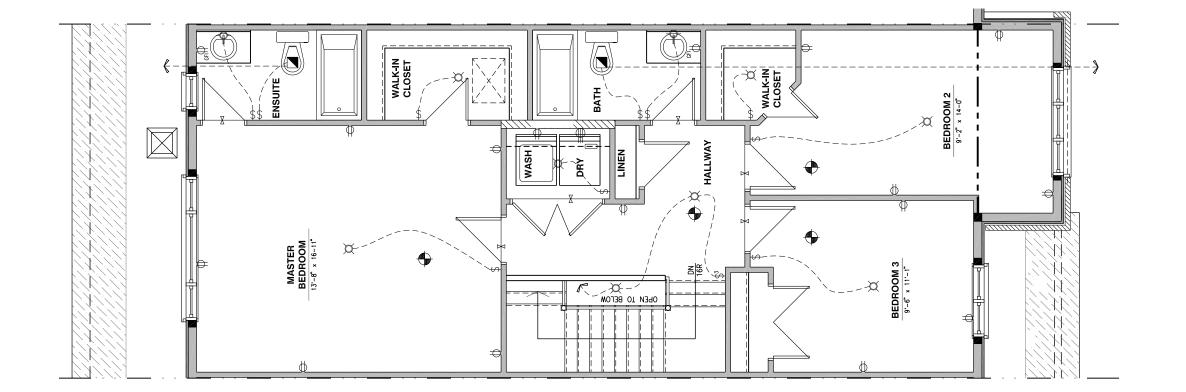
ELECTRICAL PLAN GROUND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.2f



(E.3a)

ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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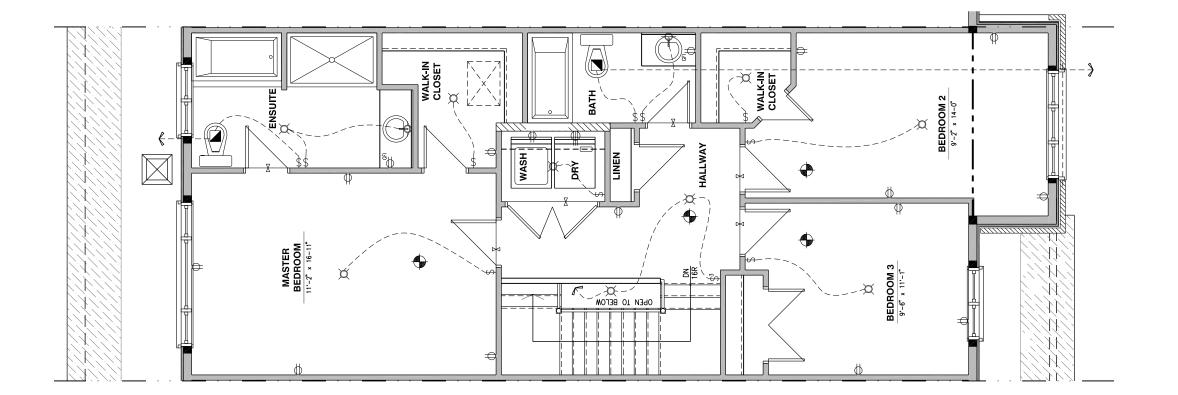
ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.3a



(E.3b)

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 4 PC ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 SHALL HAVE A VISUAL SIGNALING DEVICE;
 ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE



2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO	DESCRIPTION	MM/DD/YYYY	RY

ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

SHEET:

110 - THE THOMAS 2020 FOOTPRINT

E.3b

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 5 PC ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



I<u>, Daniel Guerin</u>, architectural manager for Valegraft homes Ltd., have reviewed the following documents and take responsibility for the design activities.

- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

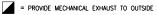
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ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" xx/xx/xxxx

110 - THE THOMAS 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.3c