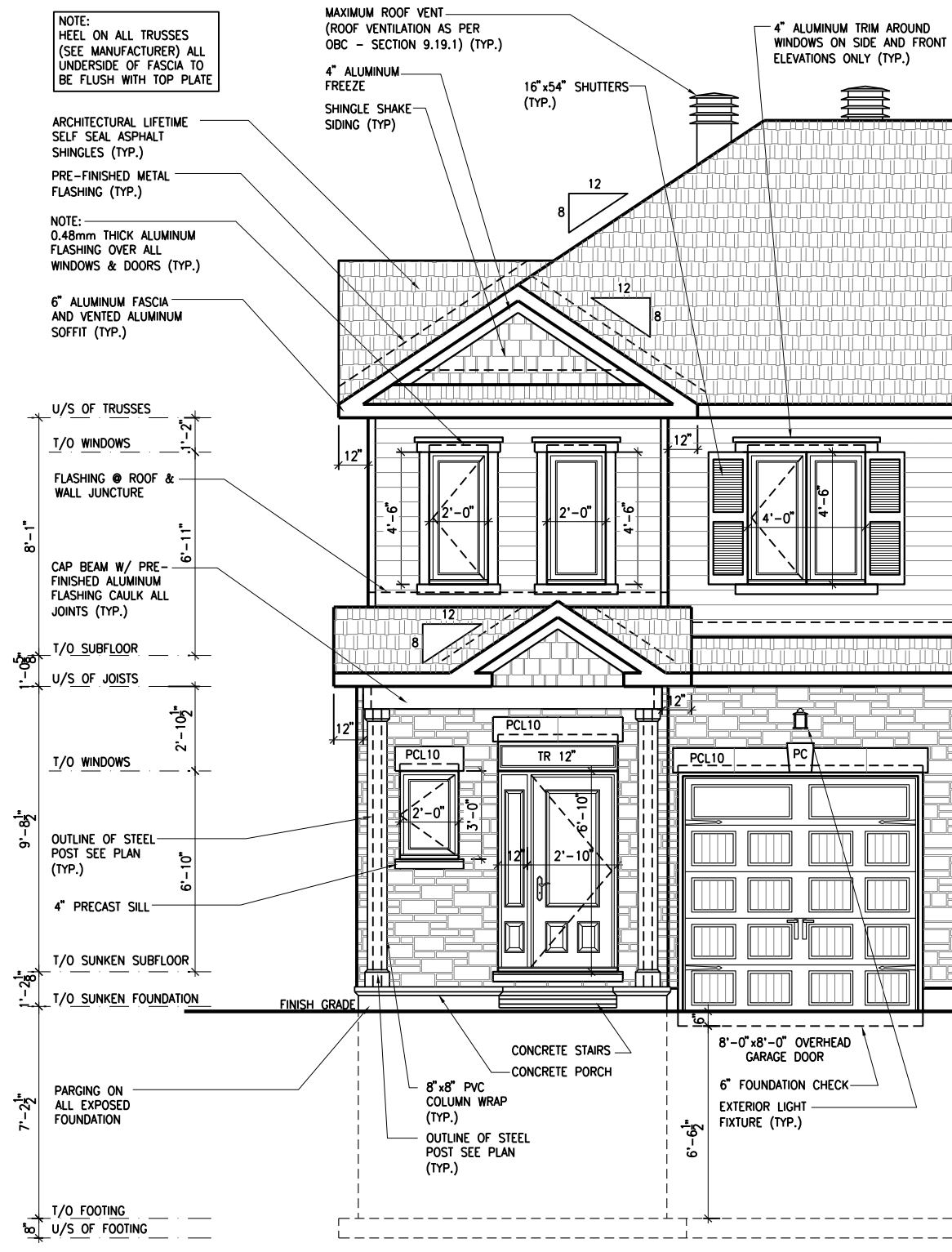


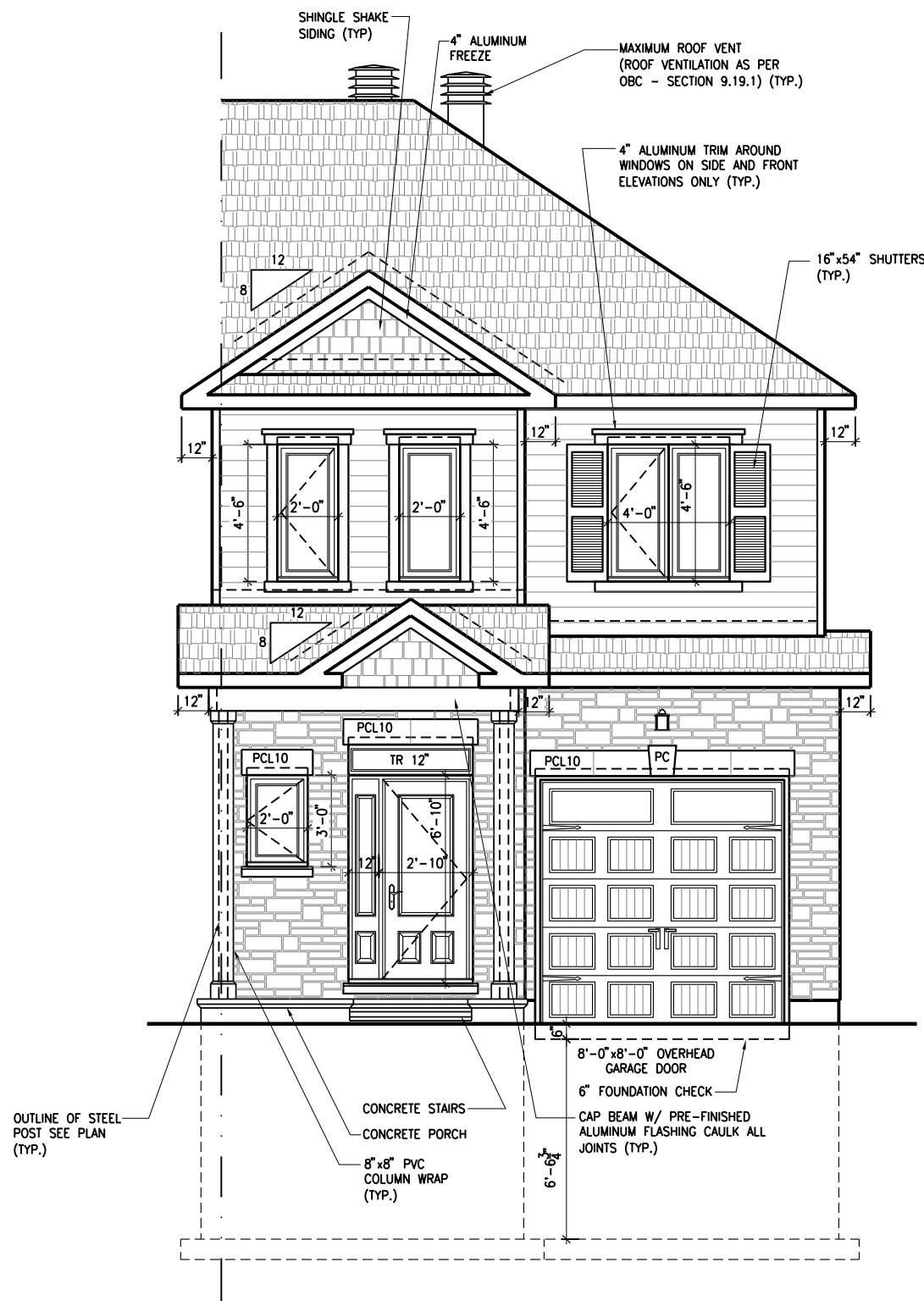
FRONT ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"



FRONT ELEVATION - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

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PC - PRECAST KEYSTONE
PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

FRONT ELEVATION - END UNITS

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.1a

FRONT ELEVATION - MID UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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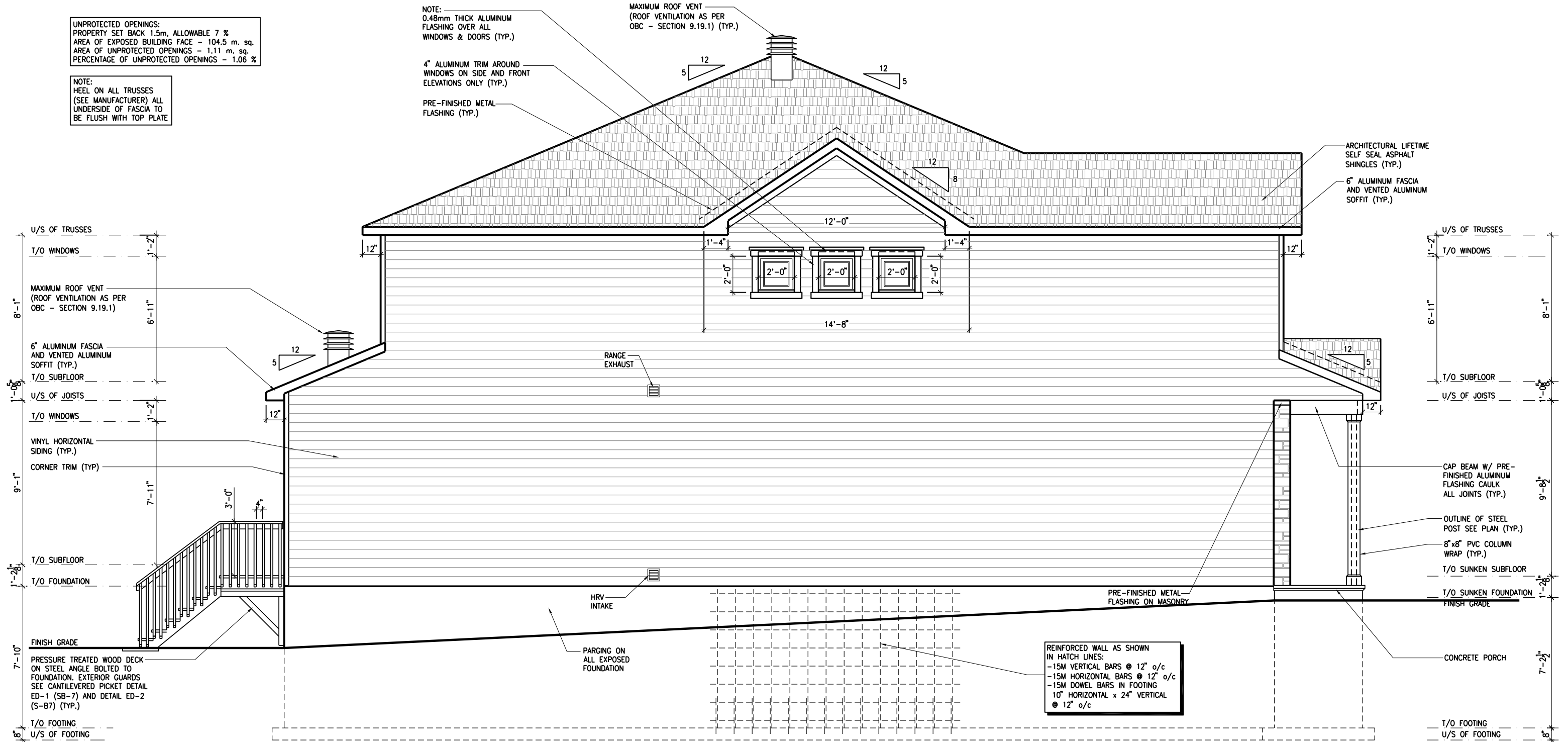
DRAWING:
FRONT ELEVATION - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.1b



1
A.2a LEFT ELEVATION - PORCH END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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120 - THE HUNTLEY 2020 FOOTPRINT		SHEET: A.2a
(STANDARD DRAWINGS)		

UNPROTECTED OPENINGS:
PROPERTY SET BACK 1.2m, ALLOWABLE 7 %
AREA OF EXPOSED BUILDING FACE - 110.6 m. sq.
AREA OF UNPROTECTED OPENINGS - 1.1 m. sq.
PERCENTAGE OF UNPROTECTED OPENINGS - 1.0 %

NOTE:
HEEL ON ALL TRUSSES
(SEE MANUFACTURER) ALL
UNDERSIDE OF FASCIA TO
BE FLUSH WITH TOP PLATE

NOTE:
0.48mm THICK ALUMINUM
FLASHING OVER ALL
WINDOWS & DOORS (TYP.)

MAXIMUM ROOF VENT
(ROOF VENTILATION AS PER
OBC - SECTION 9.19.1) (TYP.)

4" ALUMINUM TRIM AROUND
WINDOWS ON SIDE AND FRONT
ELEVATIONS ONLY (TYP.)

PRE-FINISHED METAL
FLASHING (TYP.)

ARCHITECTURAL LIFETIME
SELF SEAL ASPHALT
SHINGLES (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

CORNER TRIM (TYP.)

MAXIMUM ROOF VENT
(ROOF VENTILATION AS PER
OBC - SECTION 9.19.1)

6" ALUMINUM FASCIA
AND VENTED ALUMINUM
SOFFIT (TYP.)

VINYL HORIZONTAL
SIDING (TYP.)

CORNER TRIM (TYP.)

PRESSURE TREATED
EXTERIOR GUARDS SEE
CANTILEVERED PICKET
DETAIL ED-1 (SB-7)
AND DETAIL ED-2
(S-B7)

5/4"x6" PRESSURE
TREATED DECKING

T/O SUBFLOOR

U/S OF JOISTS

2"x10" PRESSURE
TREATED JOISTS
@ 16" o/c

6"x6" PRESSURE
TREATED BRACING

6"x6" PRESSURE
TREATED POST

T/O CONCRETE SLAB
AND REAR FOUNDATION

FINISH GRADE

T/O FOOTING

U/S OF FOOTING

(2) 15M BARS
VERTICAL (TYP.)

(2) 15M BARS
HORIZONTAL
(TYP.)

(2) 15M BARS

RANGE EXHAUST

FURNACE
AND HWT
EXHAUST

HRV
EXHAUST

TOP OF CONCRETE
SLAB

PARGING ON
ALL EXPOSED
FOUNDATION

PRE-FINISHED METAL
FLASHING ON MASONRY

REINFORCED WALL AS SHOWN
IN HATCH LINES:
- 15M VERTICAL BARS @ 12" o/c
- 15M HORIZONTAL BARS @ 12" o/c
- 15M DOWEL BARS IN FOOTING
10" HORIZONTAL x 24" VERTICAL
@ 12" o/c

STEP FOOTING: 1 STEP OF 23 5/8"
- THE VERTICAL RISE
BETWEEN HORIZONTAL PORTIONS
SHALL NOT EXCEED 23 5/8".
- THE HORIZONTAL DISTANCE
BETWEEN RISERS SHALL NOT
BE LESS THAN 23 5/8".

24"W.x24"W.x10"H. CAST-IN PLACE
CONCRETE FOOTING 20Mpa ON
UNDISTURBED SOIL ON 2 (SRP 400)
HD RIGID INSULATION FROST
PROTECTION

INSTALL 2"(SRP 400) HD RIGID INSULATION
FROST PROTECTION IF UNDERSIDE OF
FOOTINGS ARE LESS THAN 5'-0" BELOW
FINISH GRADE

LEFT ELEVATION - PORCH END UNIT - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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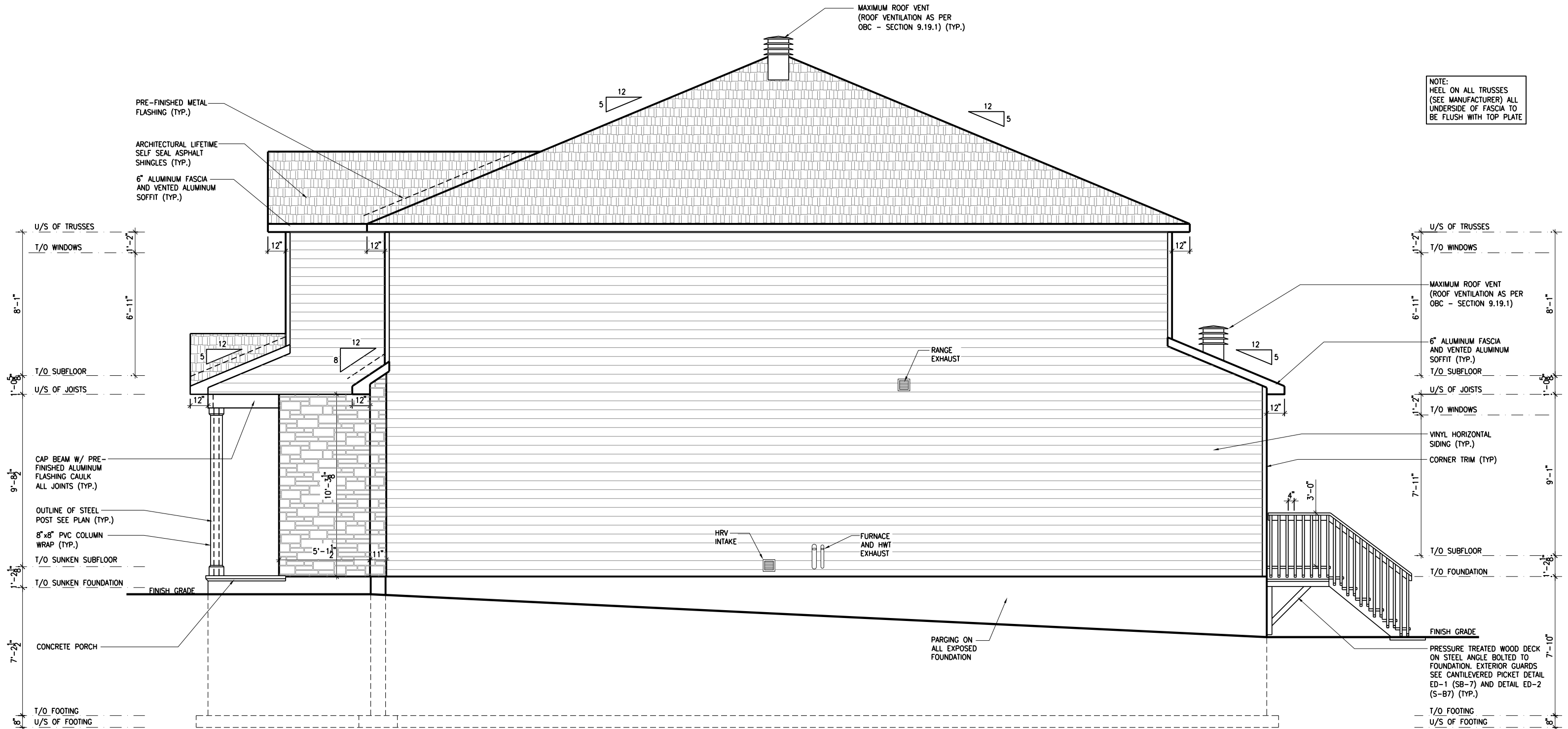
DRAWING: LEFT ELEVATION
PORCH END UNIT - WALKOUT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:
A.2b



1
A.2c
RIGHT ELEVATION - GARAGE END UNIT
SCALE: 3/16" = 1'-0"

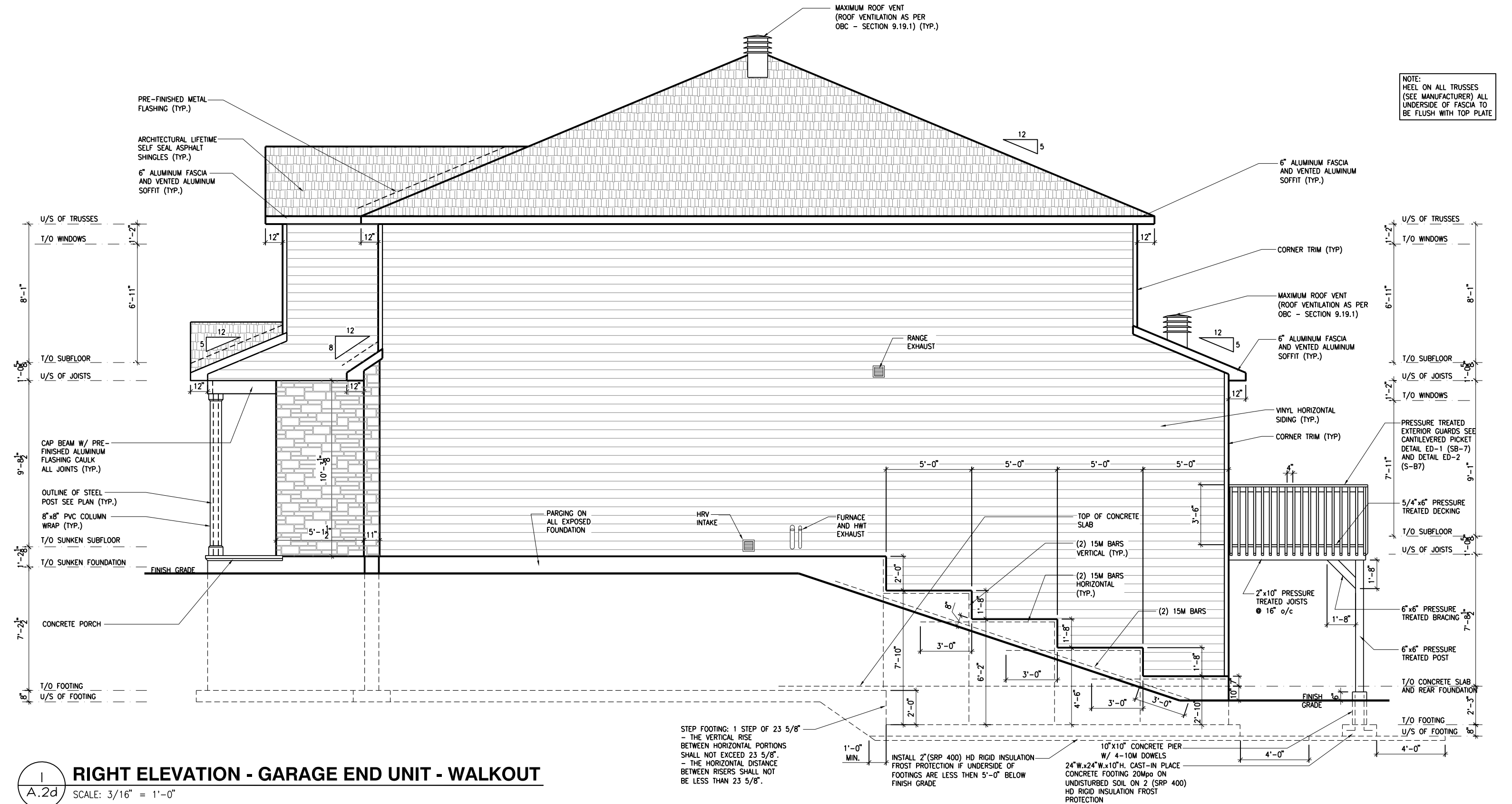
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120 - THE HUNTLEY 2020 FOOTPRINT		SHEET: A.2c
(STANDARD DRAWINGS)		



1
A.2d **RIGHT ELEVATION - GARAGE END UNIT - WALKOUT**
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes Ltd.

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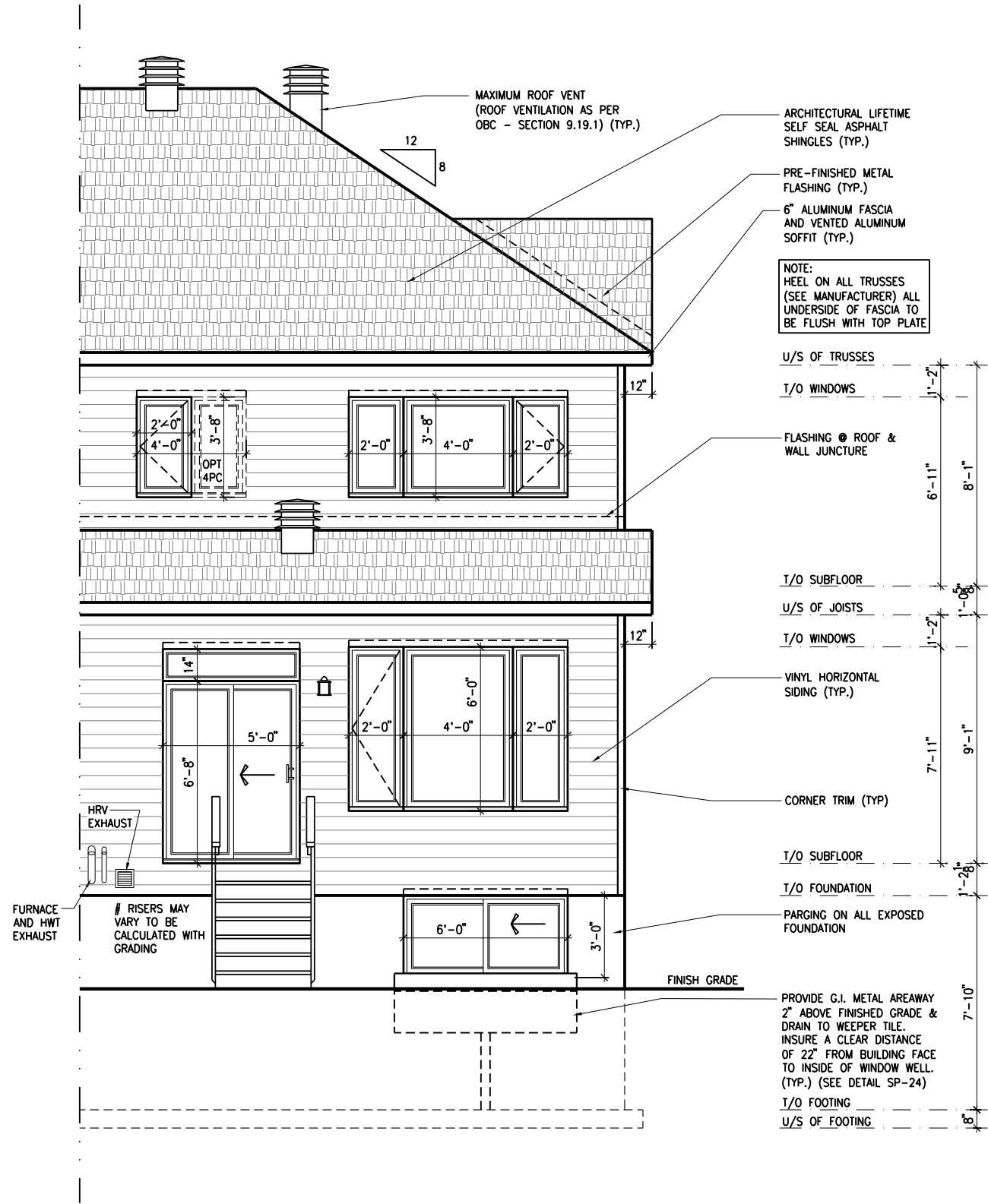
DRAWING: RIGHT ELEVATION GARAGE END UNIT -WALKOUT

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120 - THE HUNTLEY 2020 FOOTPRINT **SHEET: A.2d**
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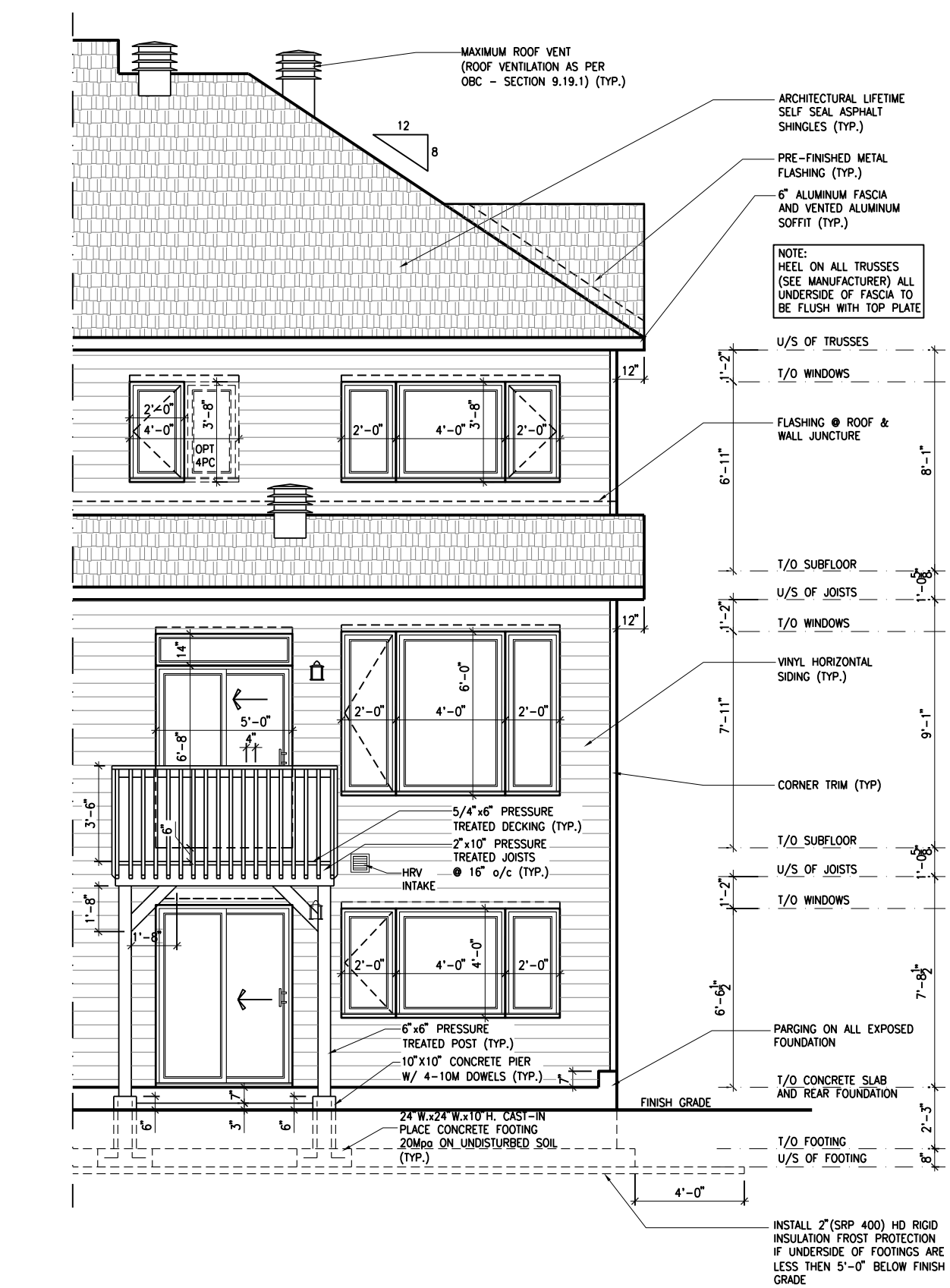
REAR ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"



REAR ELEVATION - PORCH END UNIT - WALKOUT

SCALE: 3/16" = 1'-0"



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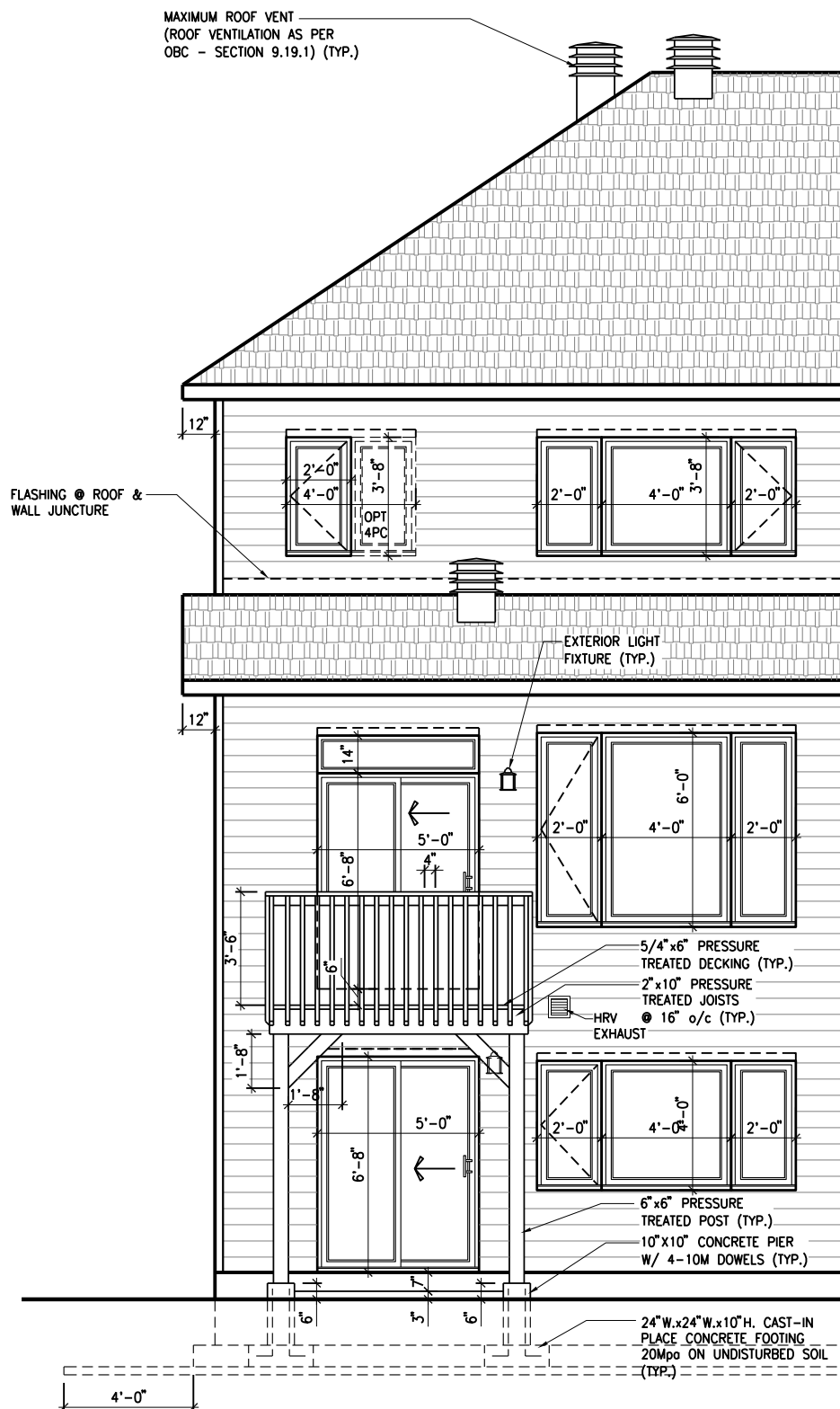
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PORCH END UNITS

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120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.2e



LOT: XXXX
DATE: XX/XX/XXXX



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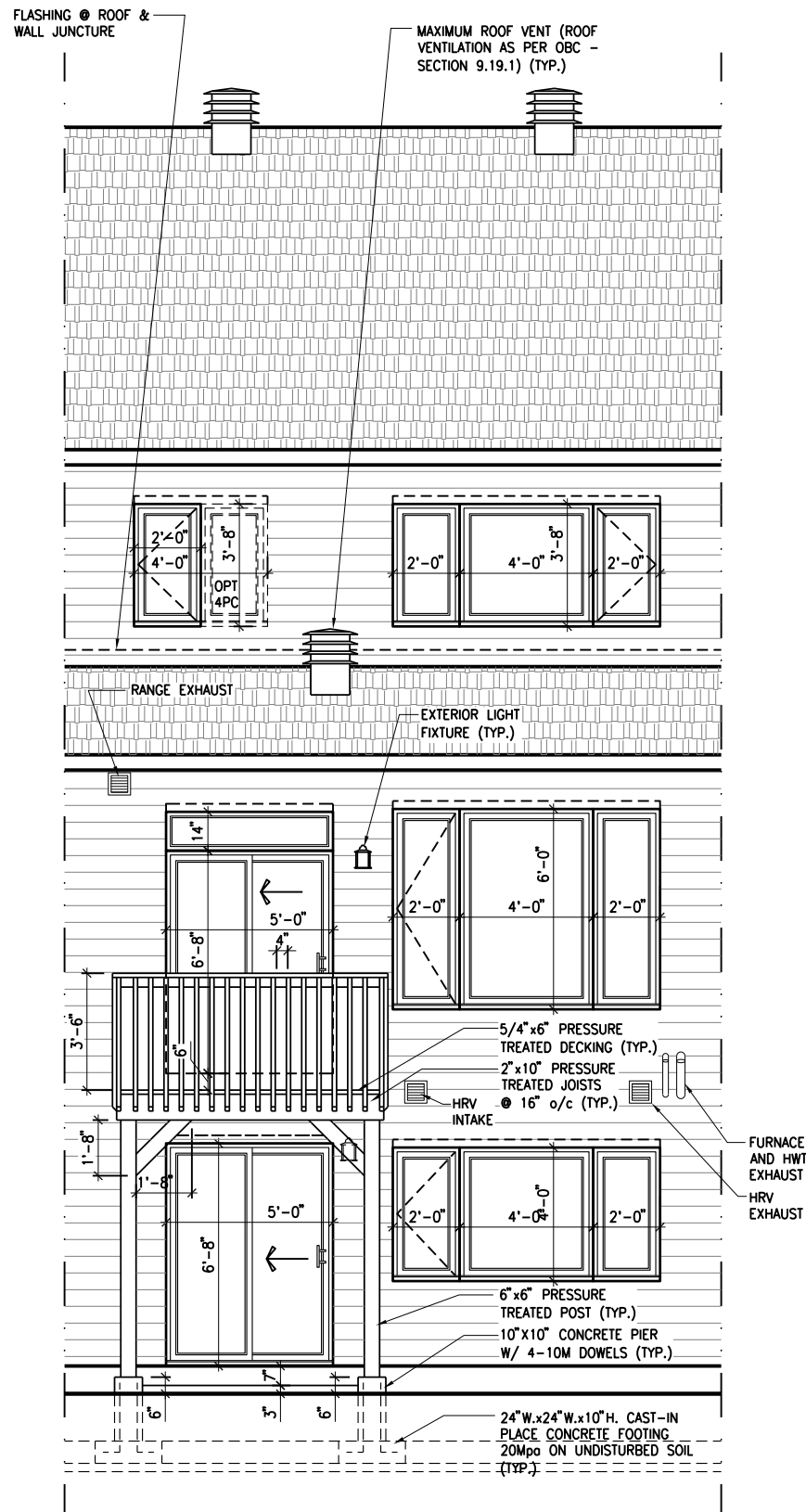
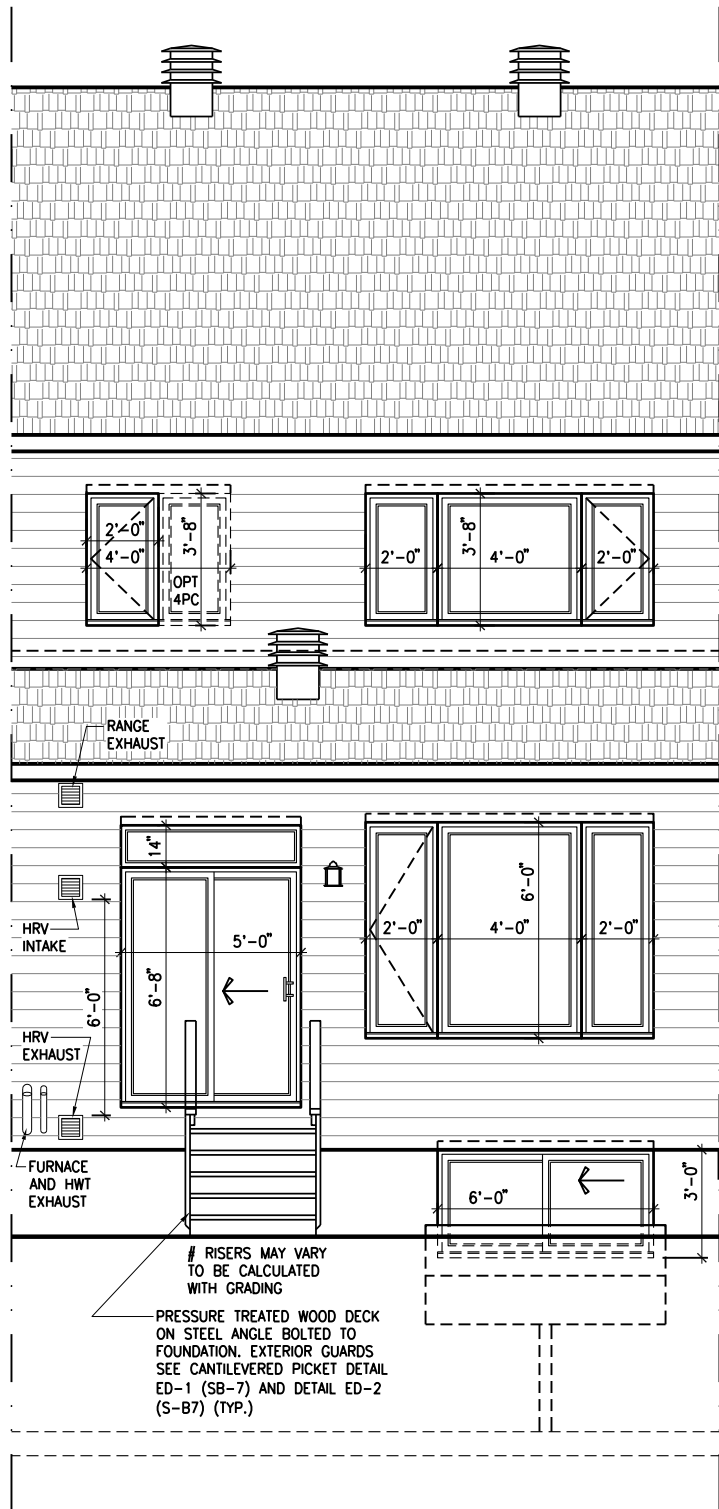
SHEET:
A.2f

1 REAR ELEVATION - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

2 REAR ELEVATION - GARAGE END UNIT - WALKOUT

SCALE: 3/16" = 1'-0"



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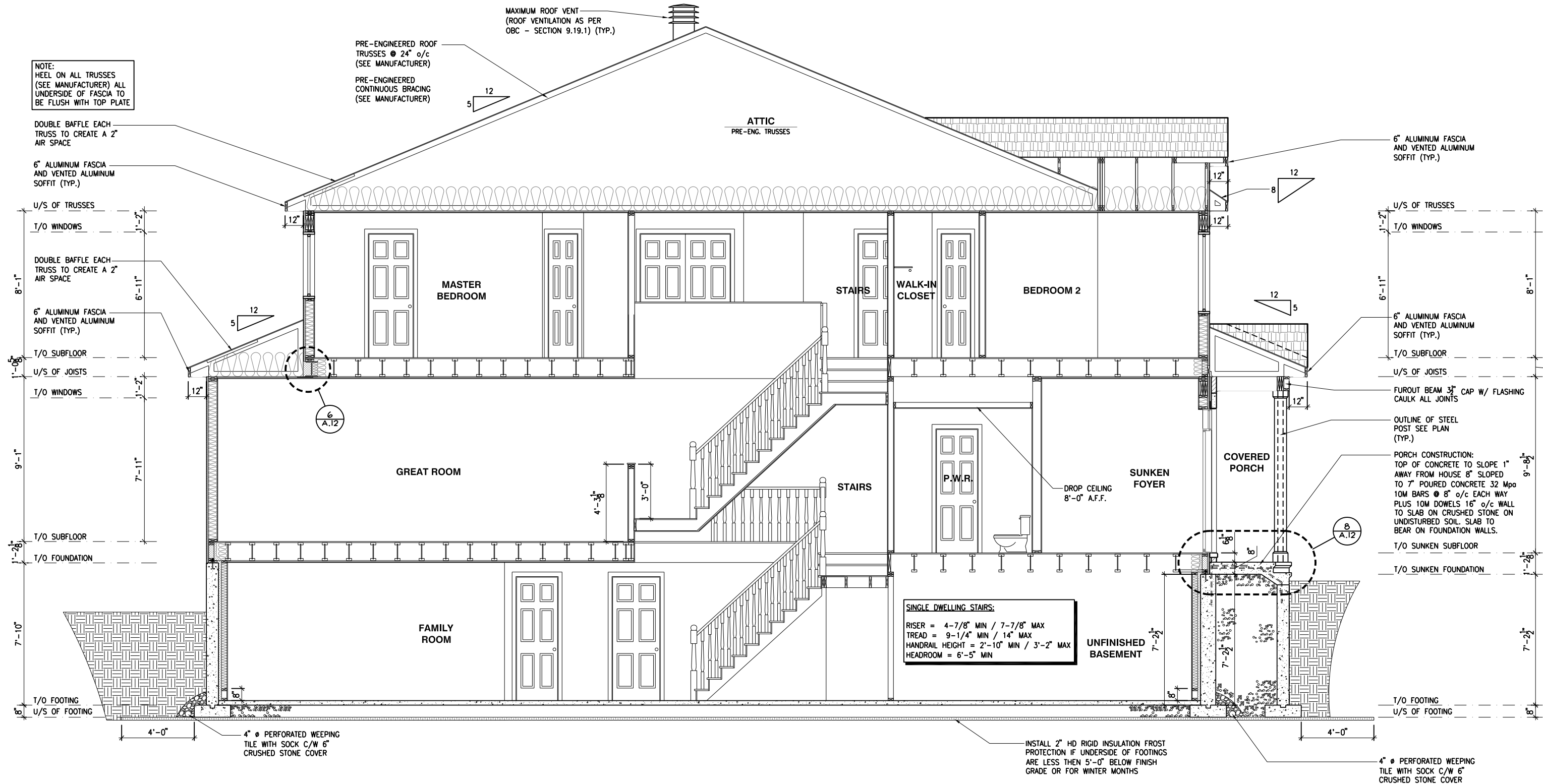
(STANDARD DRAWINGS)

SHEET:

A.2g

1
A.2g
REAR ELEVATION - MID UNIT
SCALE: 3/16" = 1'-0"

2
A.2g
REAR ELEVATION - MID UNIT - WALKOUT
SCALE: 3/16" = 1'-0"



1
A.3a **BUILDING SECTION**
SCALE: 3/16" = 1'-0"

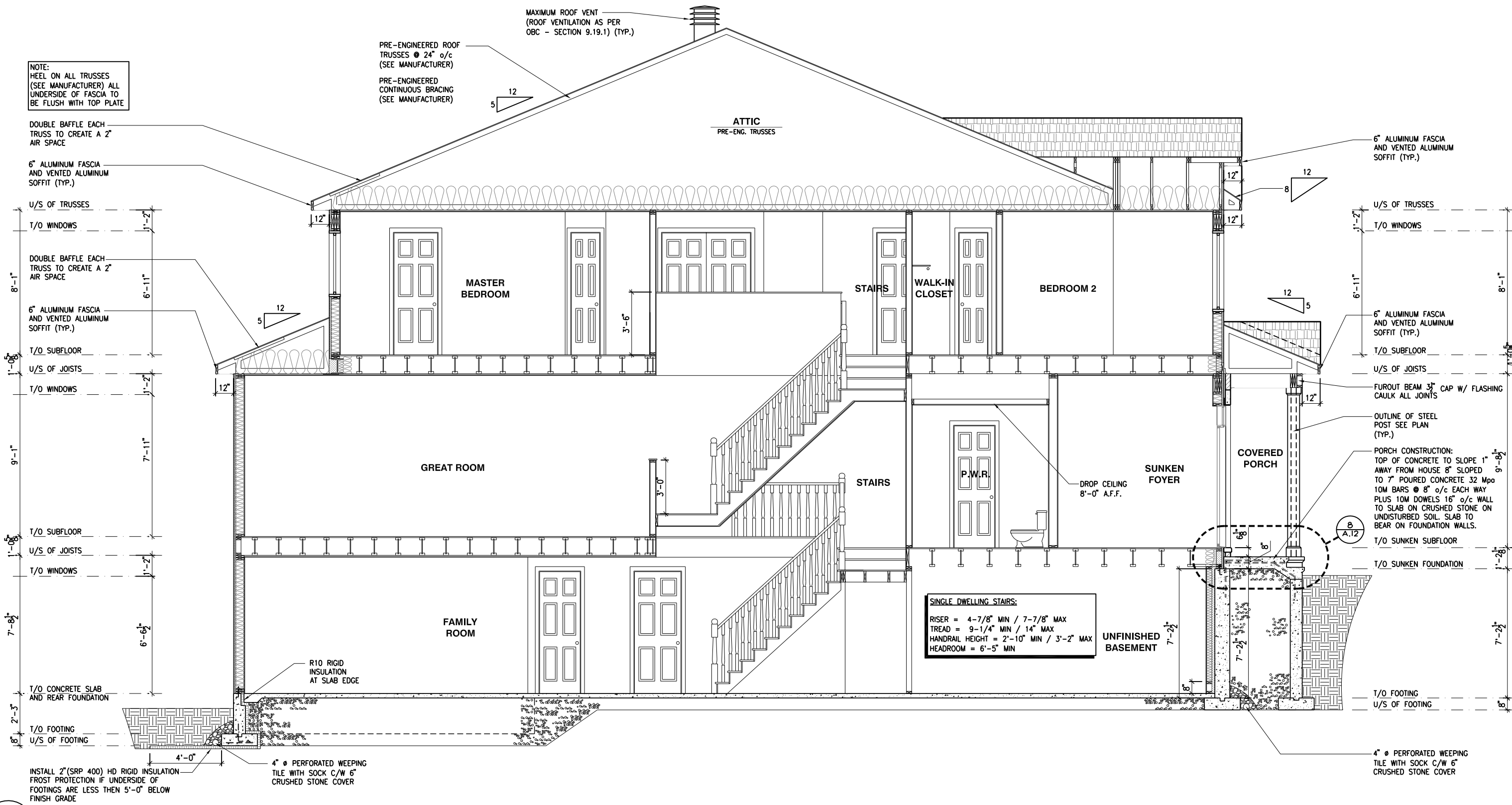
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REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

2012 O.B.C. DRAWINGS		
DRAWING: BUILDING SECTION		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
120 - THE HUNTLEY 2020 FOOTPRINT		SHEET: A.3a
(STANDARD DRAWINGS)		



1
A.3b **BUILDING SECTION - WALKOUT**
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.
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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
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2012 O.B.C. DRAWINGS
DRAWING: BUILDING SECTION WALKOUT
ADDRESS: XX **SCALE:** 3/16" = 1'-0" **DATE:** XX/XX/XXXX
120 - THE HUNTLEY 2020 FOOTPRINT
(STANDARD DRAWINGS) **A.3b**

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
 - F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
 - S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
 - ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
 - COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

- WALK-OUT DECK FRAMING NOTES:
- 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
 - 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
 - RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
 - 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
 - 3-2"x10" PRESSURE TREATED (FLUSH)
 - JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes Ltd.

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- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
 - (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
- POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

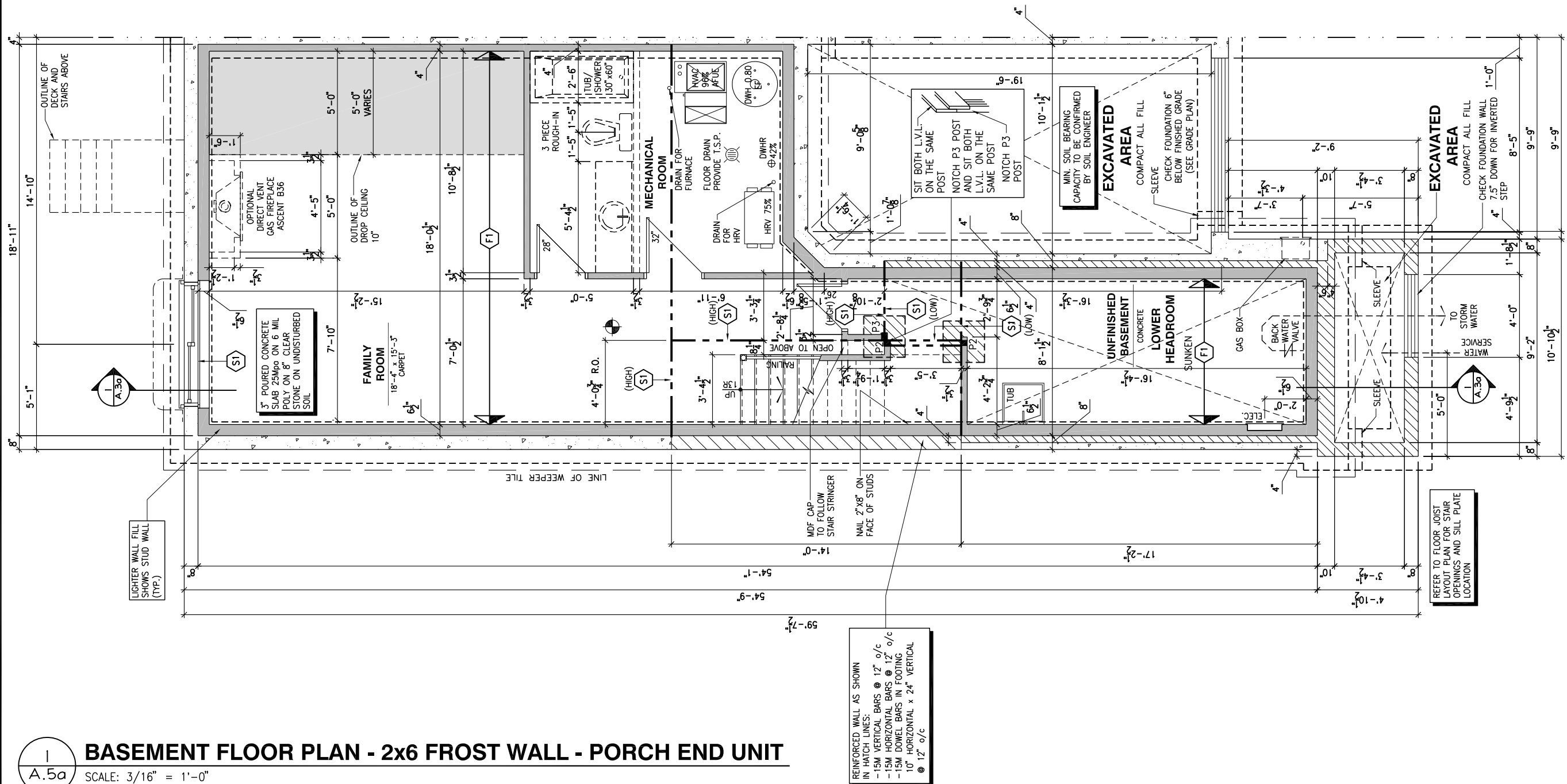
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN
2x6 FROST WALL - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5a



1
A.5a

BASEMENT FLOOR PLAN - 2x6 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

REINFORCED WALL AS SHOWN IN HATCH LINES:
- 15M VERTICAL BARS @ 12" o/c
- 15M HORIZONTAL BARS @ 12" o/c
- 15M DOWEL BARS IN FOOTING
10" HORIZONTAL x 24" VERTICAL @ 12" o/c

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
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- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
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- WALK-OUT DECK FRAMING NOTES:
- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
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- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

- NOTES:
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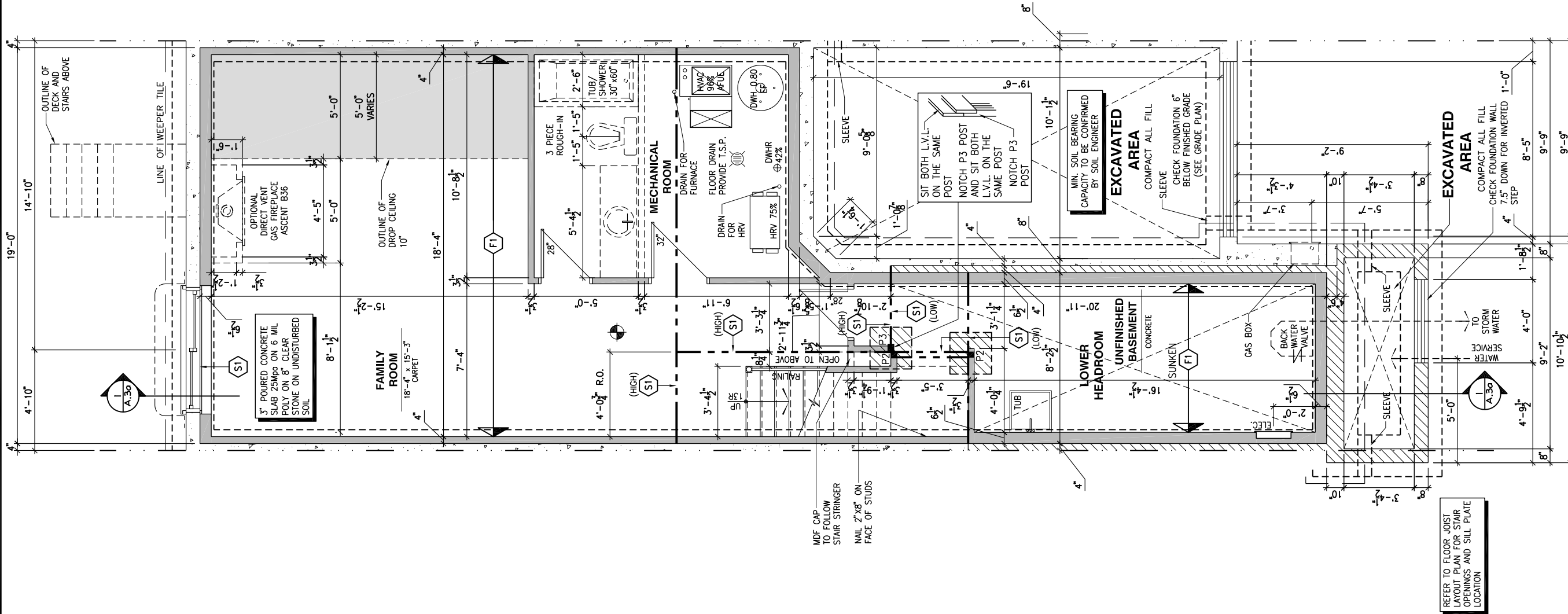
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DRAWING: BASEMENT FLOOR PLAN
2x6 FROST WALL - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5b



1
A.5b

BASEMENT FLOOR PLAN - 2x6 FROST WALL - MID UNIT

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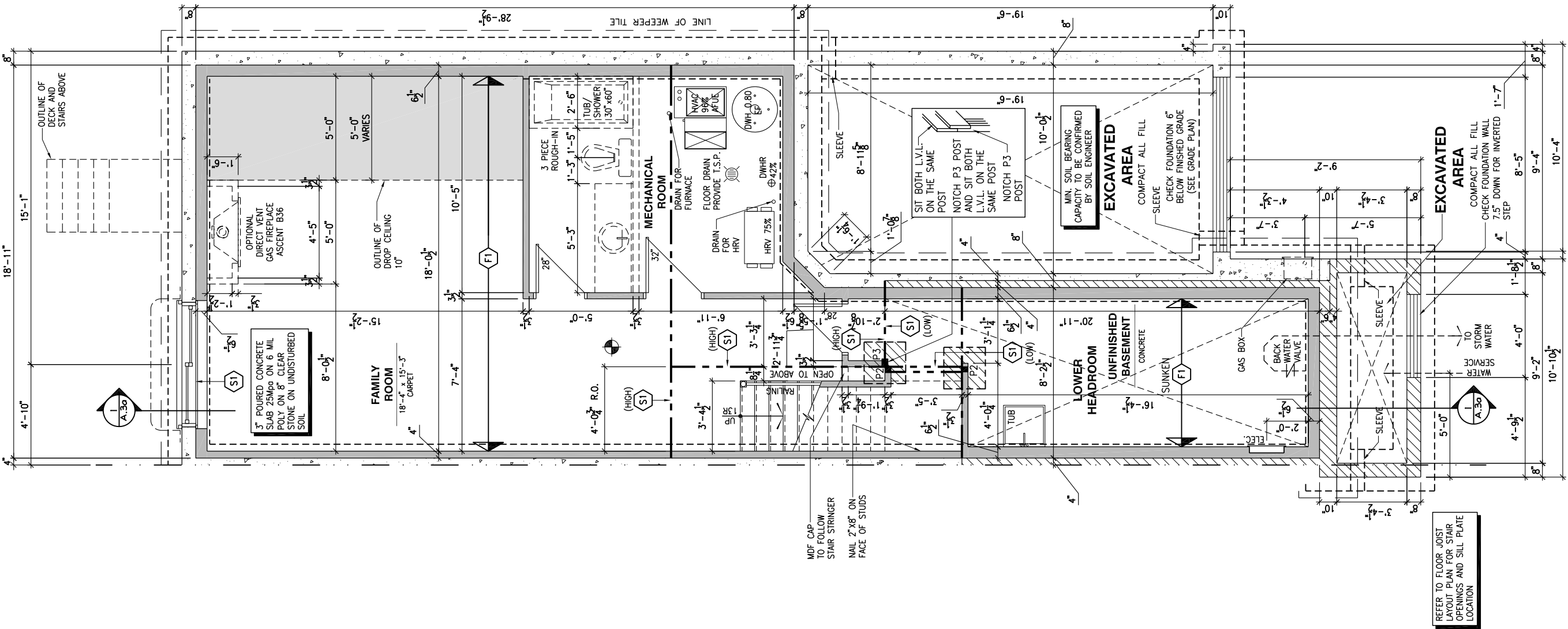
REV	NO.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON	
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH	
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH	
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: **BASEMENT FLOOR PLAN**
2x6 FROST WALL - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5c



1 BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT

A.5c SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

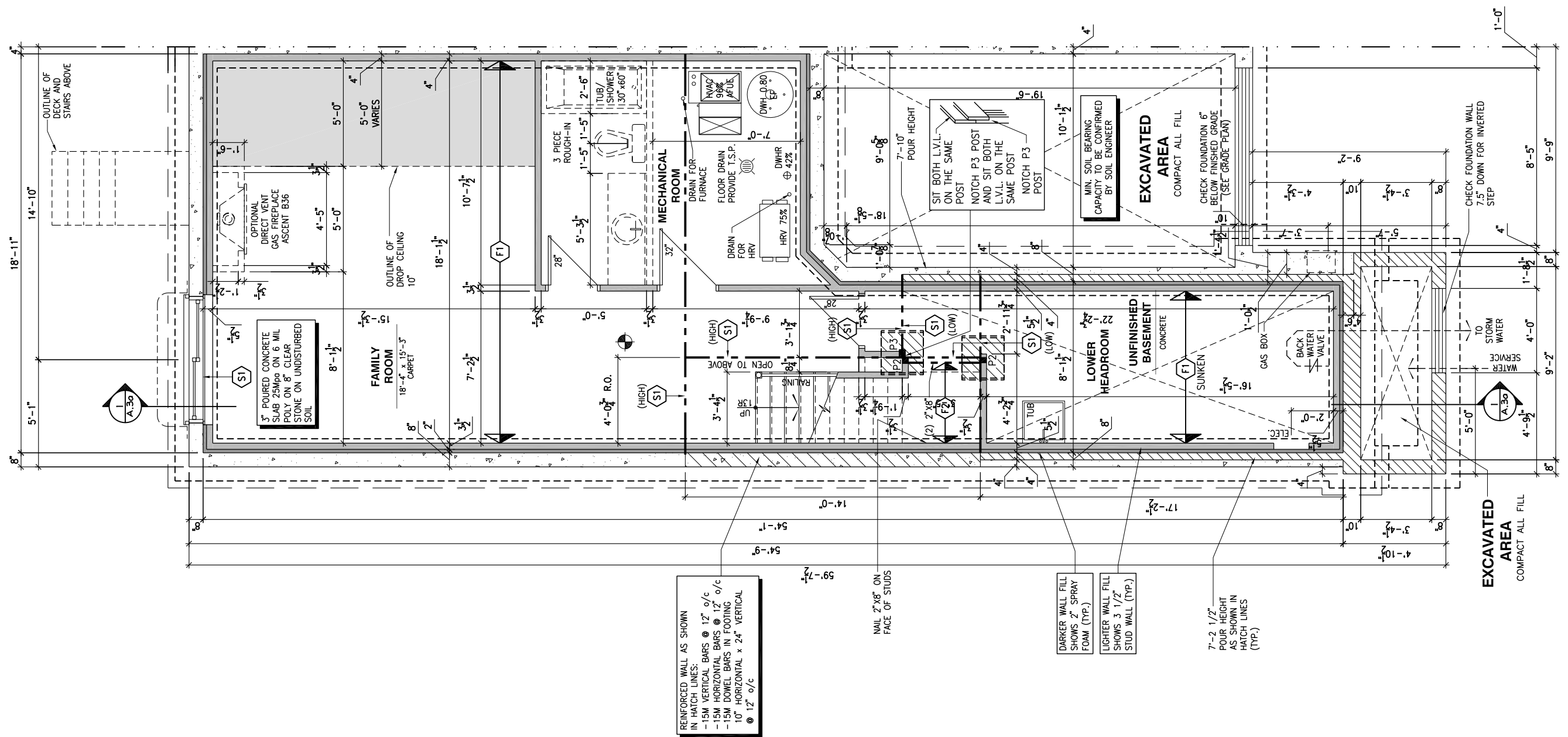
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
 - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
 - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
 - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
 - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

- BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
 - 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
 - A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
 - B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



LOT: XXXX
DATE: XX/XX/XXXX



DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- NOTES:
- STEEL LINTEL:
- S1 = L 90x90x6
 - S2 = 90x90x8
 - S3 = L 100x90x8
 - S4 = L 125x90x8
 - S5 = L 125x90x10
 - S6 = L 200x100x12
 - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
 - L2 = 3-2x10 + P3 ON BOTH SIDES
 - L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
 - L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
 - P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
 - P2 = 2-2x4 OR 2-2x6
 - P3 = 3-2x4 OR 3-2x6
 - P4 = 4-2x4 OR 4-2x6
 - P5 = 5-2x4 OR 5-2x6
 - P6 = 6-2x4 OR 6-2x6
 - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
 - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
 - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
 - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
 - P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)
 - P18 = 2-12x ANCH. (WHERE ANCH. PL. NOT USED)
- POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
- IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON	
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH	
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NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: BASEMENT FLOOR PLAN
ENERGY STAR - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.5d

1 A.5d BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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- 6 JOIST HANGERS AT EVERY JOIST CONNECTION

NOTES:

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
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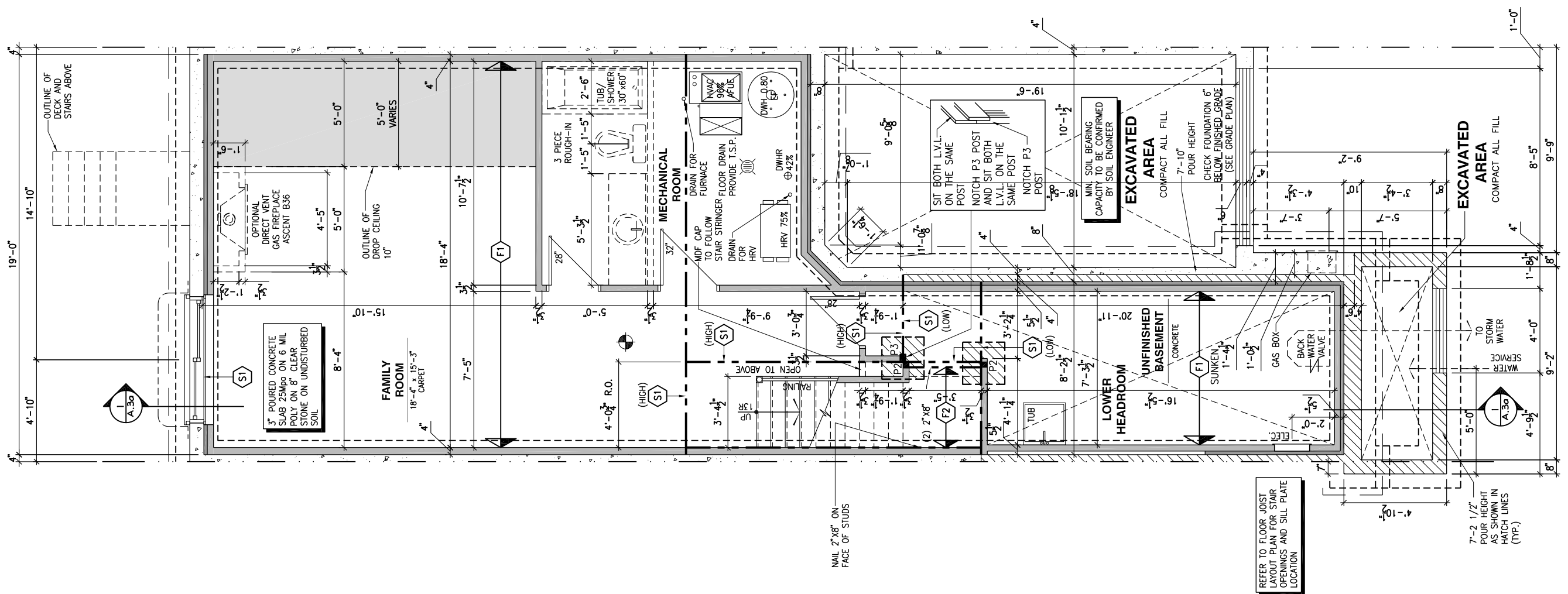
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1 BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT

A.5e SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

S1	= L 90x90x6
S2	= L 90x90x8
S3	= L 100x90x8
S4	= L 125x90x8
S5	= L 125x90x10
S6	= L 200x100x12
S7	= L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1	= 2-2x10 + P2 ON BOTH SIDES
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DRAWING: BASEMENT FLOOR PLAN

ENERGY STAR - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.5e

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F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED

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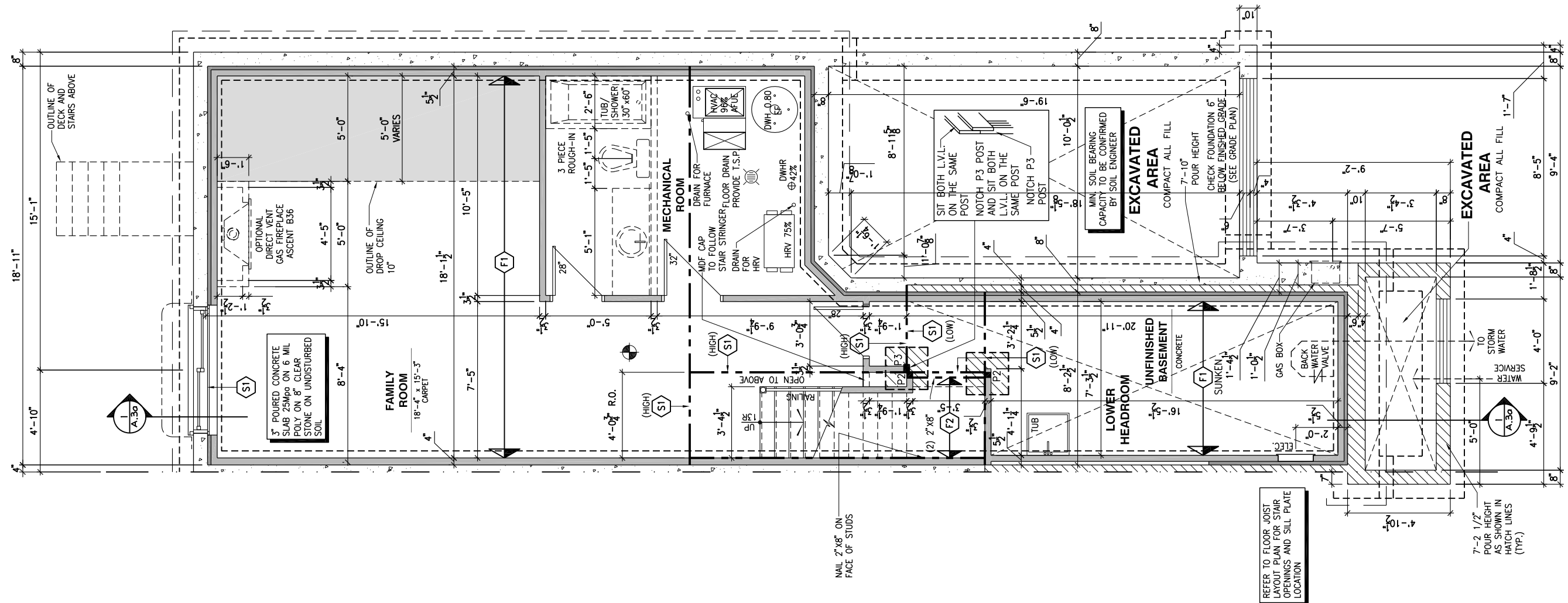
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S7	= L	150x100x10 (8" BEARING)

L1 = $2-2 \times 10 + P2$ ON BOTH SIDES
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POST BY USP
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P4 = 4-2x4 OR 4-2x6
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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

A-5f

$$\frac{1}{A.5f}$$

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

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WALK-OUT DECK FRAMING NOTES:

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- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

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- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m2 (3.8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX

DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

- * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (+)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (+)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (+)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (+)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (+)

- (+) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

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2012 O.B.C. DRAWINGS

REV	NO.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON	
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH	
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH	
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: BASEMENT FLOOR PLAN
WALKOUT - PORCH END UNIT

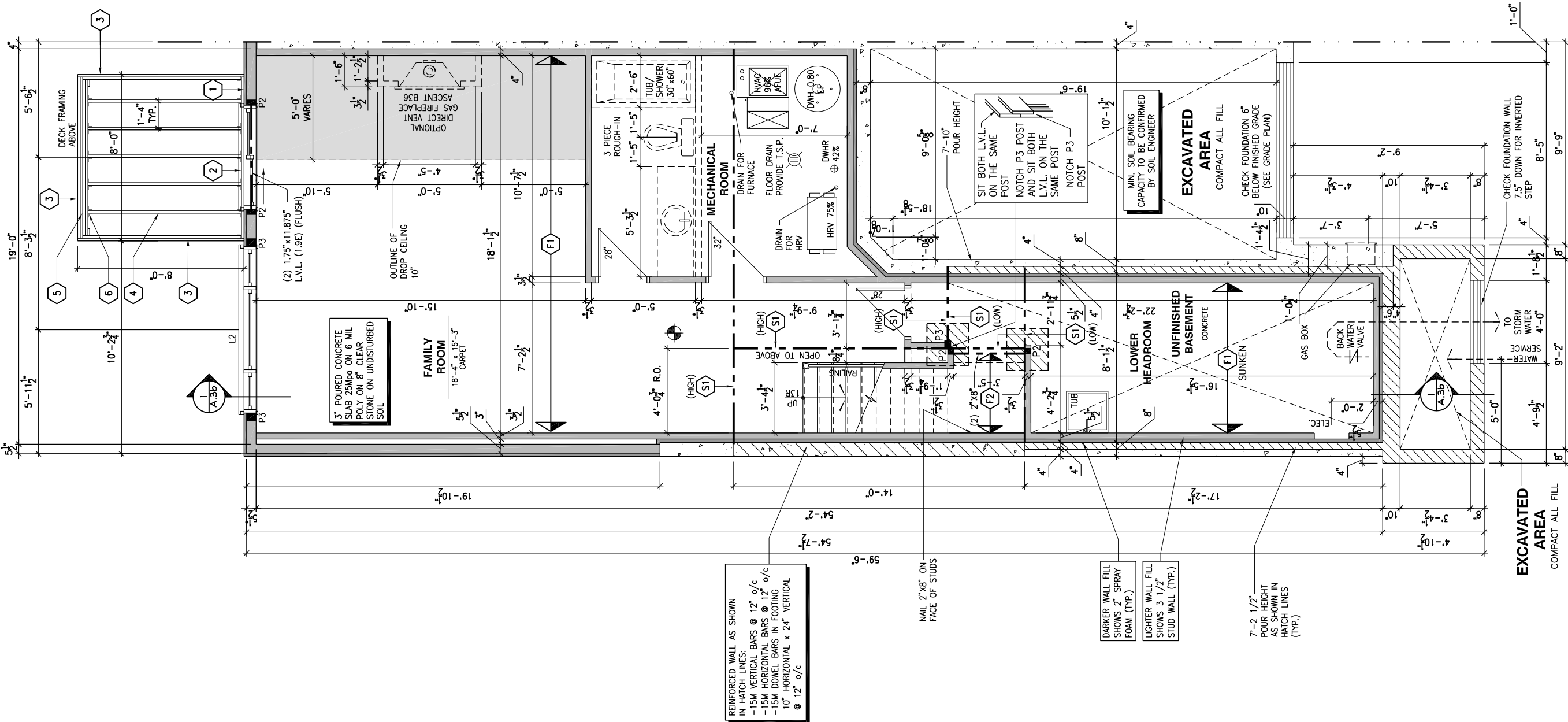
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.5g



1
A.5g

BASEMENT FLOOR PLAN - WALKOUT - PORCH END UNIT

SCALE: 3/16" = 1'-0"

- FLOOR FRAMING:
- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

- GENERAL NOTES:
- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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- WALK-OUT DECK FRAMING NOTES:
- 1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING
- 2 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD. FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- 3 RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 1/2" ALL AROUND
- 4 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 5 3-2"x10" PRESSURE TREATED (FLUSH)
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- TARIION REGISTRATION NUMBER #611

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- LINTEL TABLE:
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2012 O.B.C. DRAWINGS

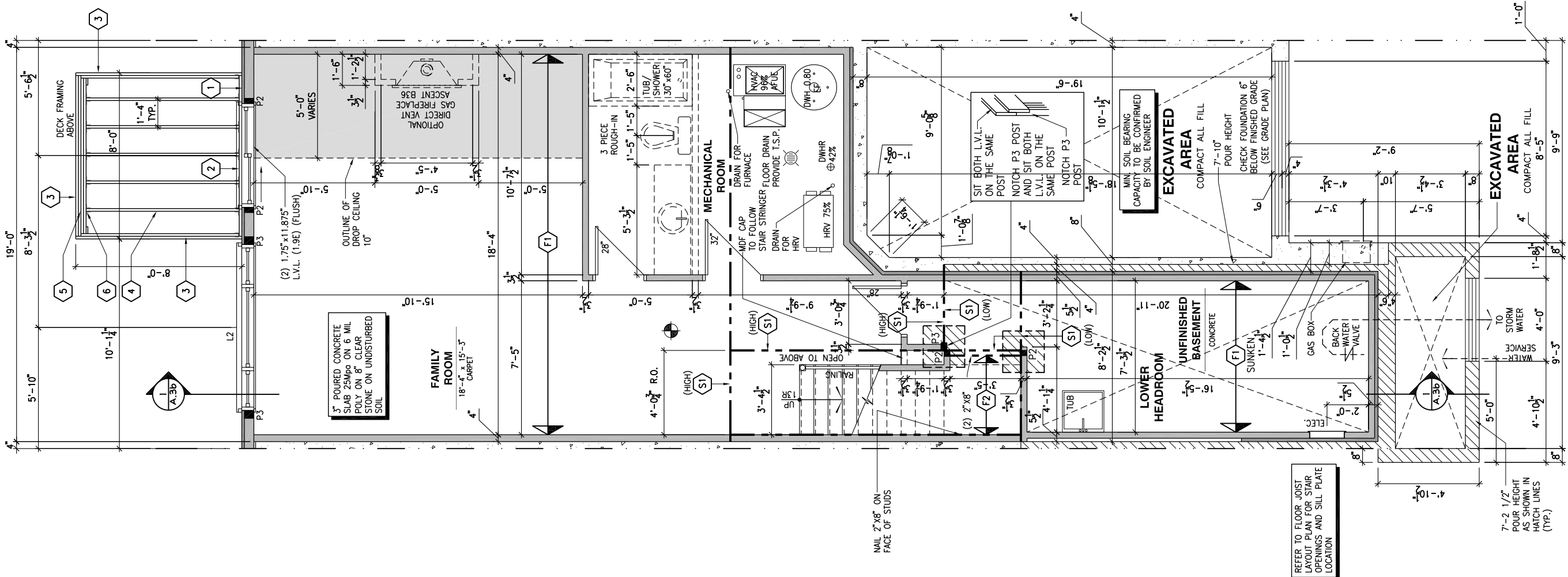
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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: BASEMENT FLOOR PLAN WALKOUT - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.5h



1 A.5h BASEMENT FLOOR PLAN - WALKOUT - MID UNIT

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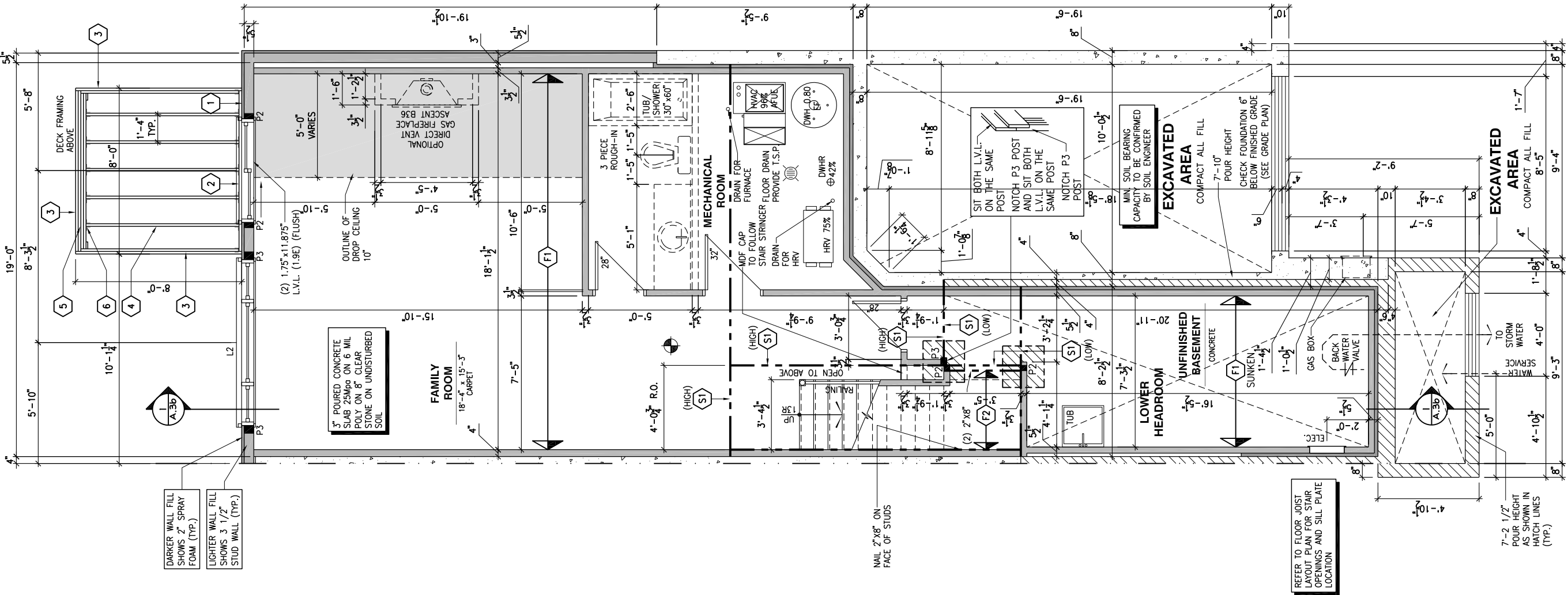
DRAWING: **BASEMENT FLOOR PLAN
WALKOUT - GARAGE END UNIT**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

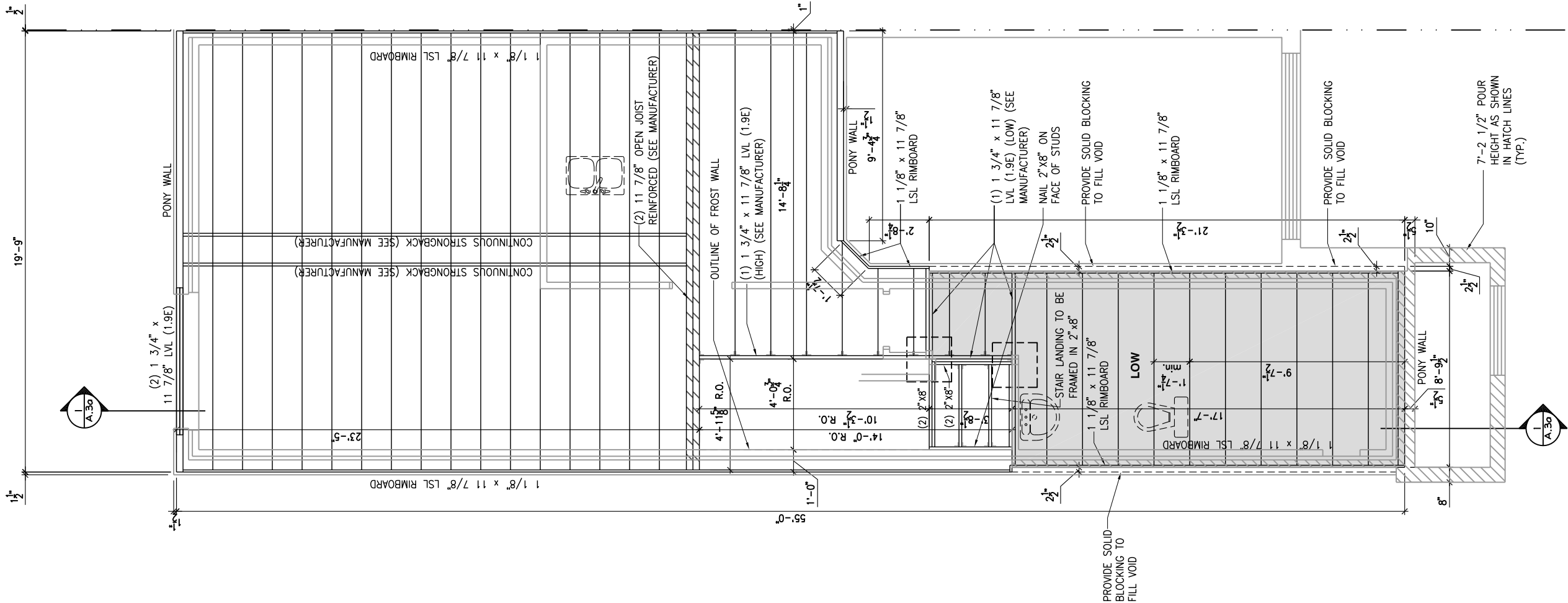
SHEET: **A.5i**

(STANDARD DRAWINGS)



BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - PORCH END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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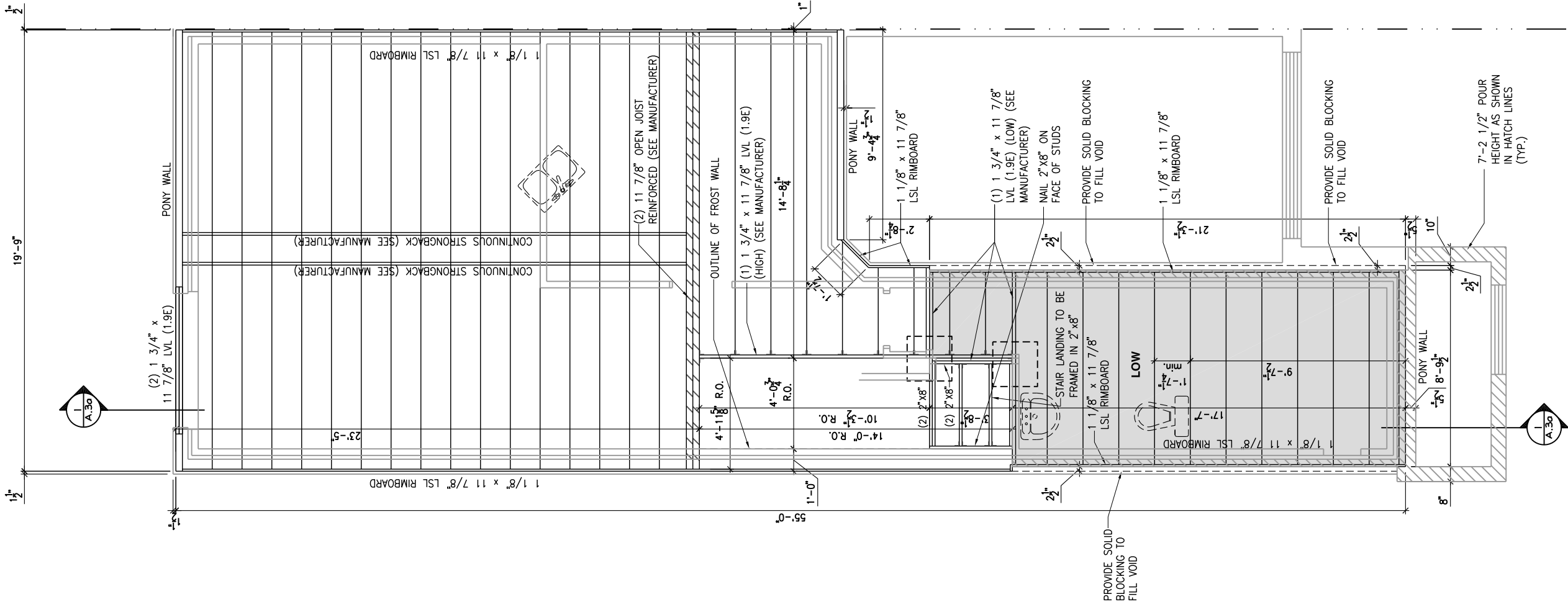
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DRAWING: **GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.6a



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT
SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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REV.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

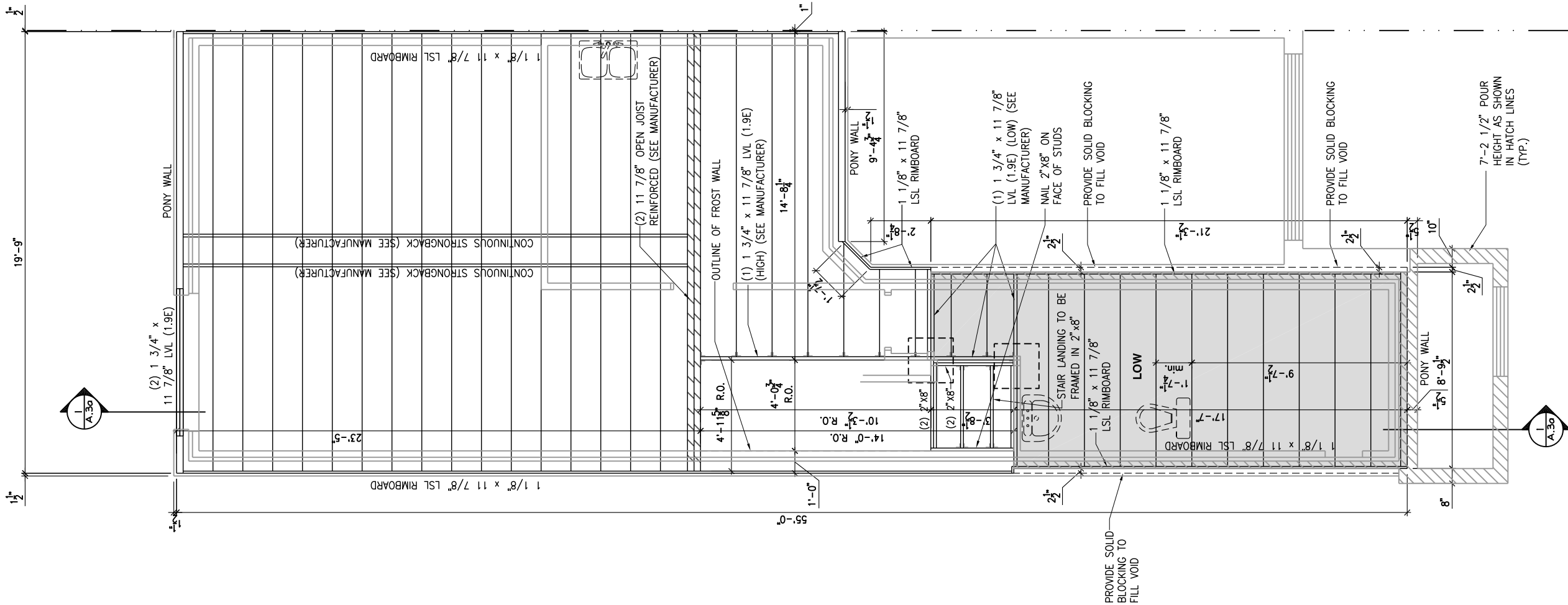
DRAWING: **GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6b



1
A.6c

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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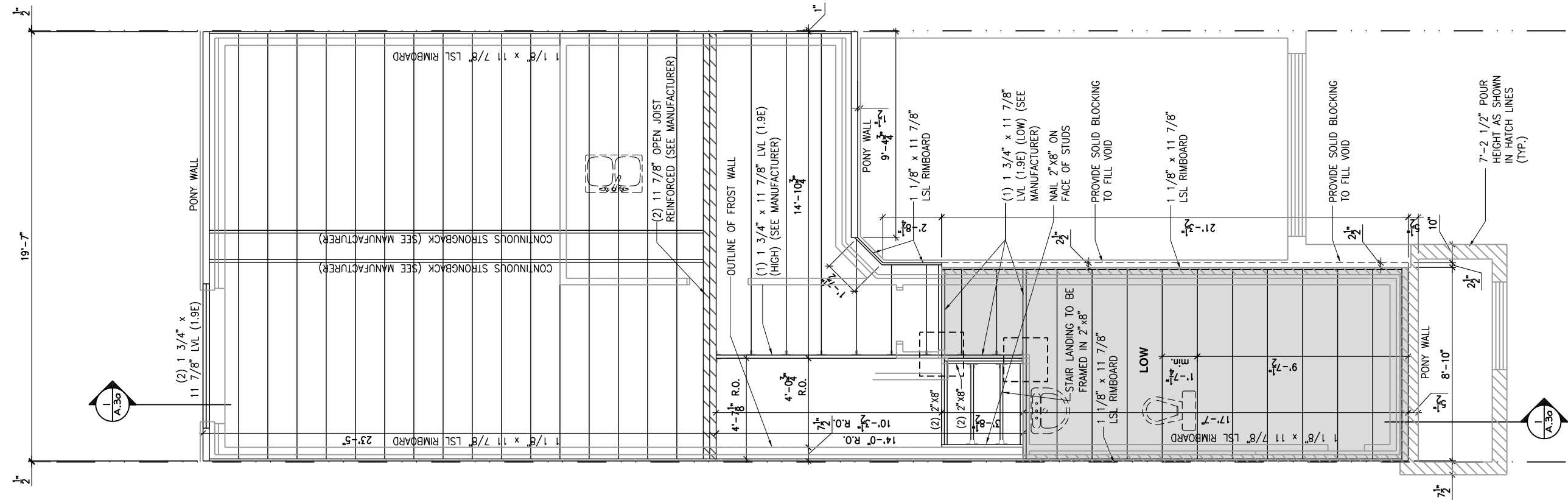
DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

**120 - THE HUNTLEY
2020 FOOTPRINT**
(STANDARD DRAWINGS)

SHEET:

A.6c



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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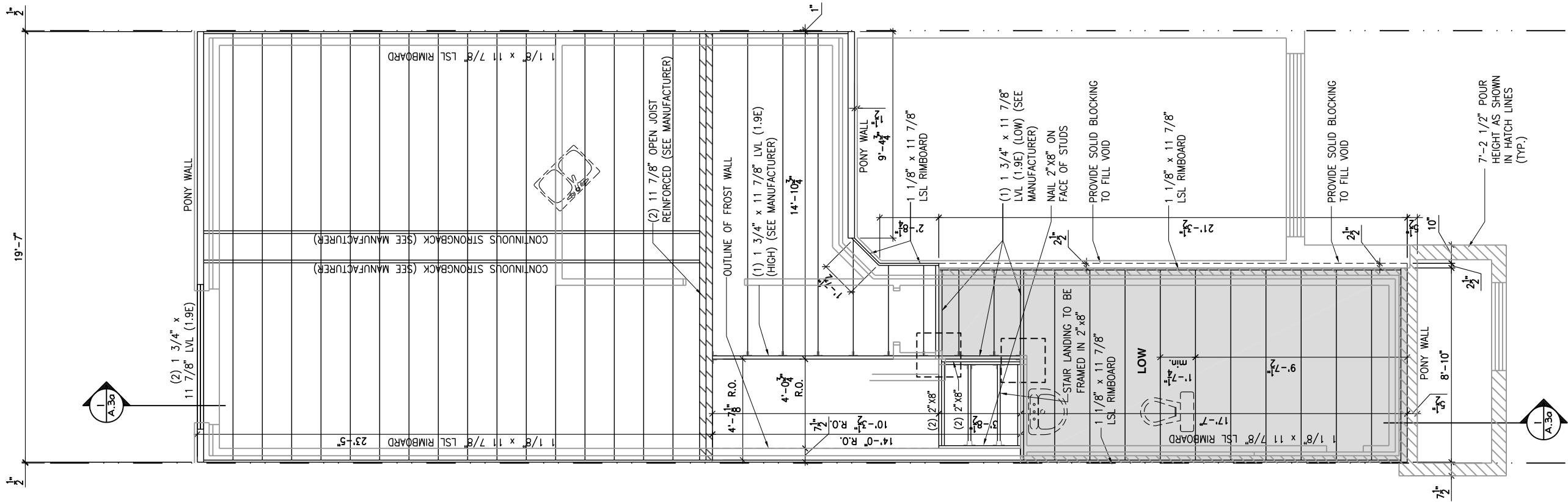
DRAWING: **GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6d



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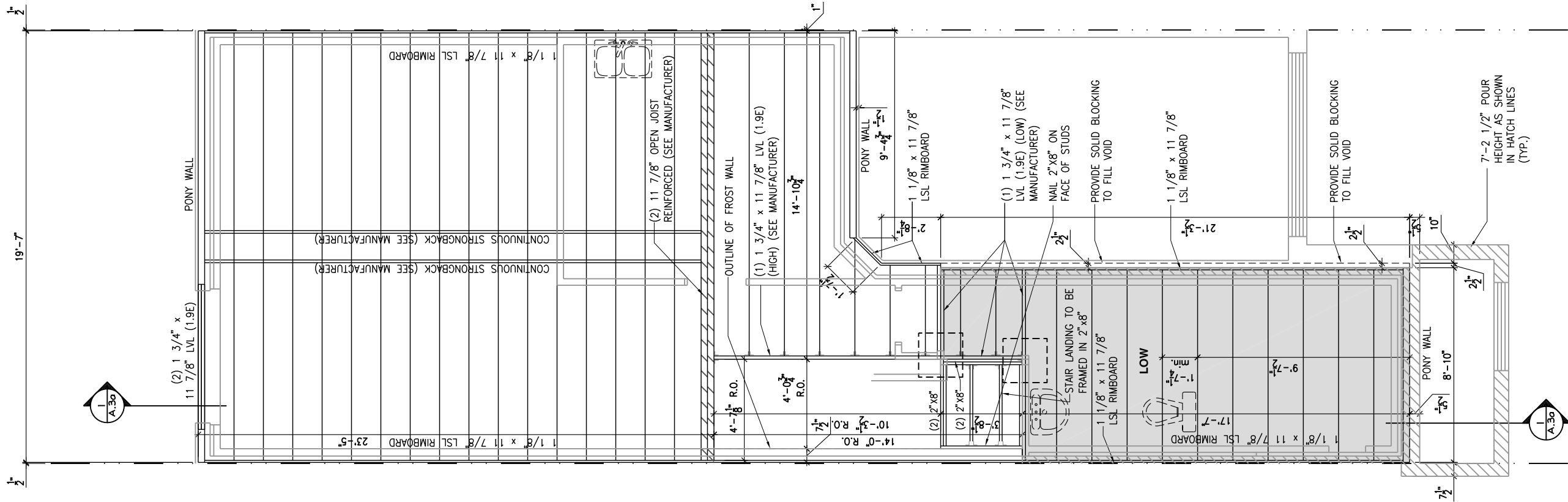
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: XX/XX/XXXX



1
A.6f

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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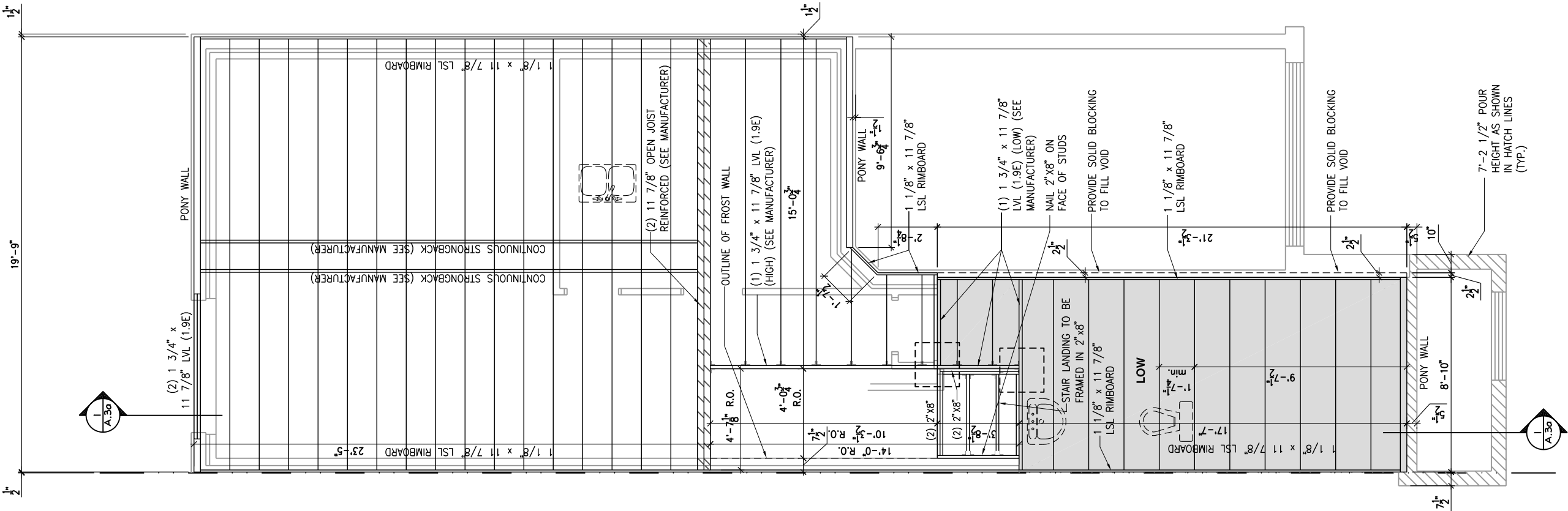
DRAWING: **GROUND FLOOR - FLOOR JOIST FRAMING PLAN - MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6f



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR
JOIST FRAMING - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.6g



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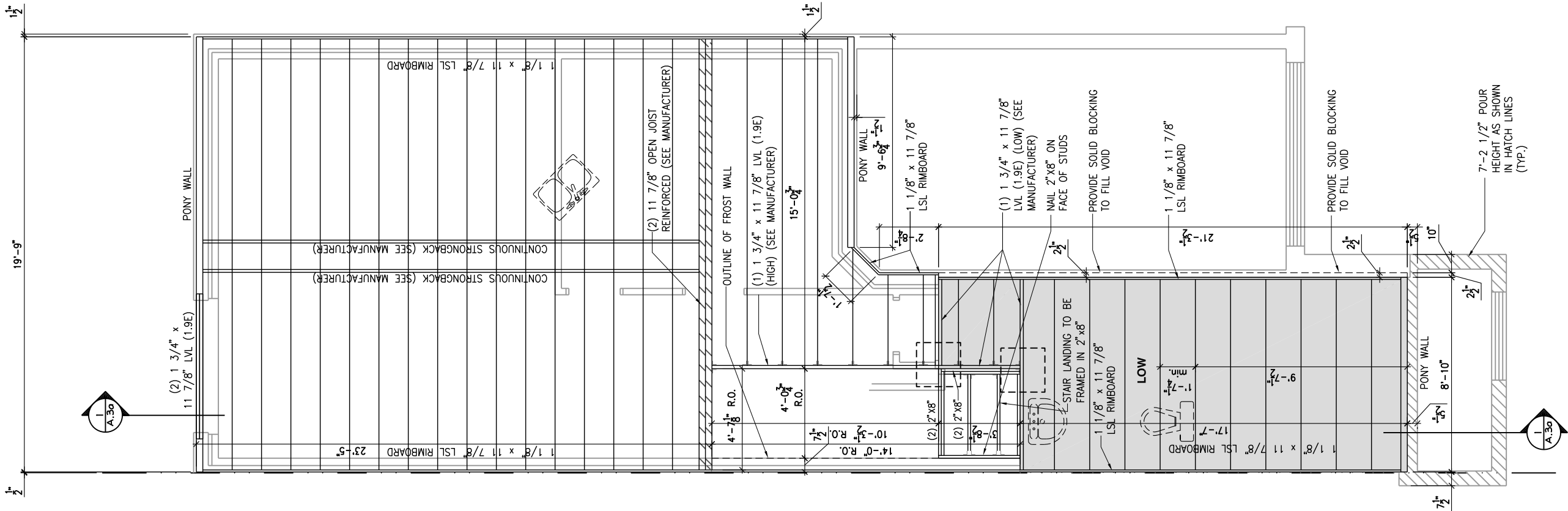
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - FLOOR JOIST FRAMING - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX



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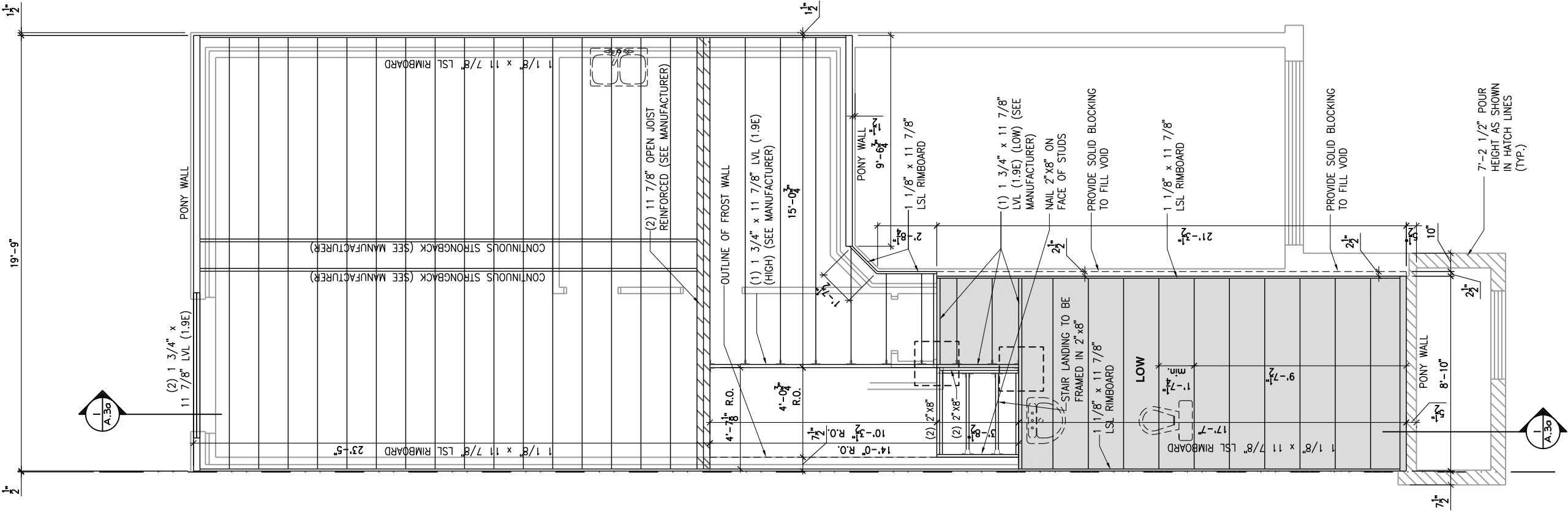
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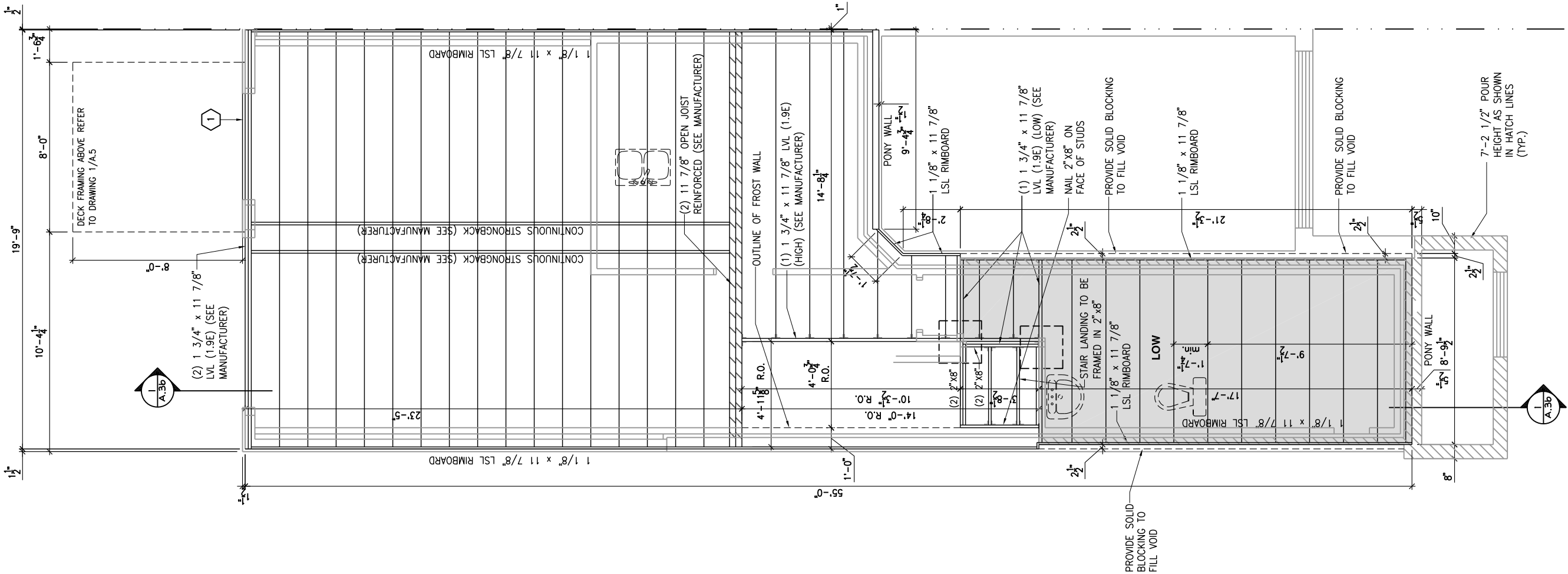
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1
2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX

DATE: XX/XX/XXXX

**Valecraft**
Homes Ltd.

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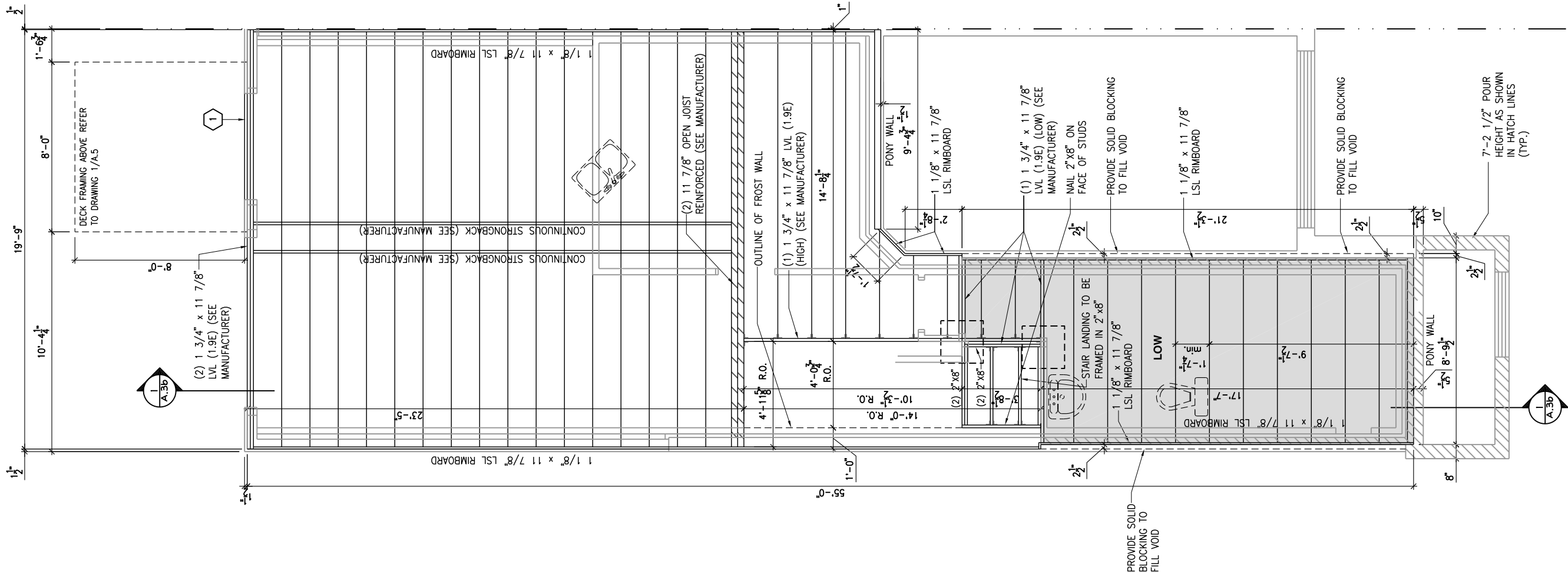
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: A.6j



1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes Ltd.

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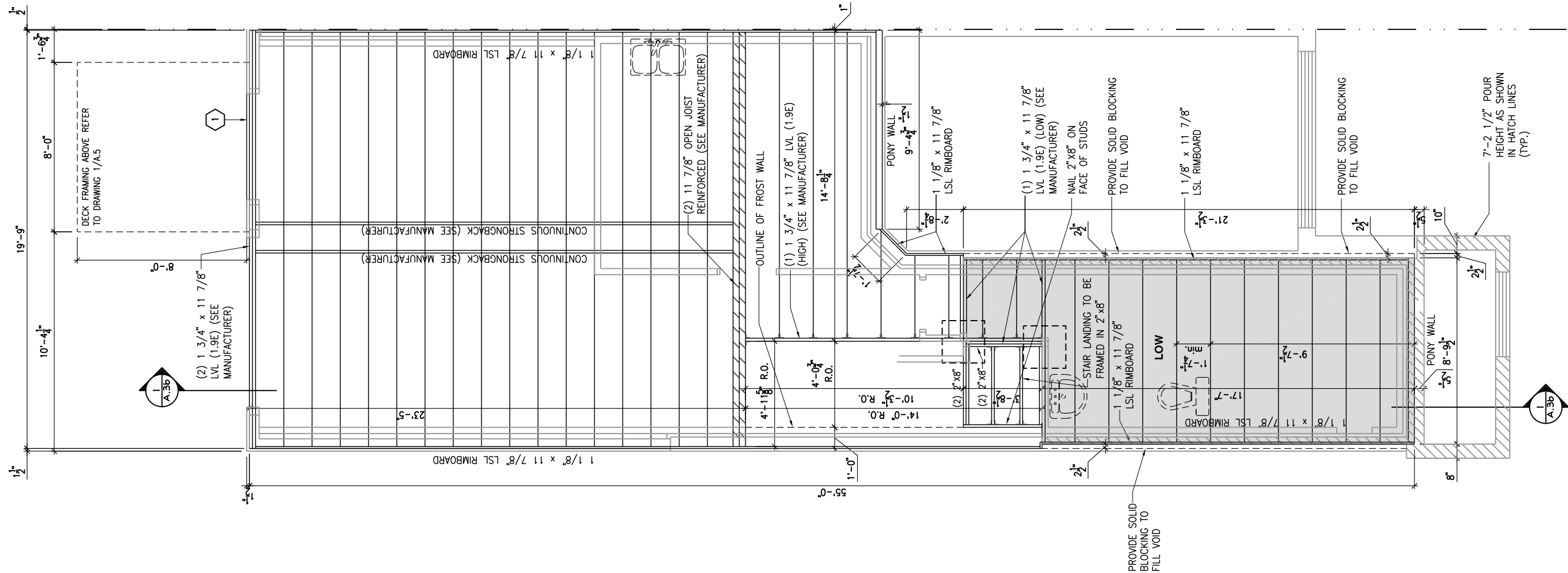
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD

DRAWING: **GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT (STANDARD DRAWINGS)

SHEET: **A.6k**



1 2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
DATE: XX/XX/XXXX



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DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

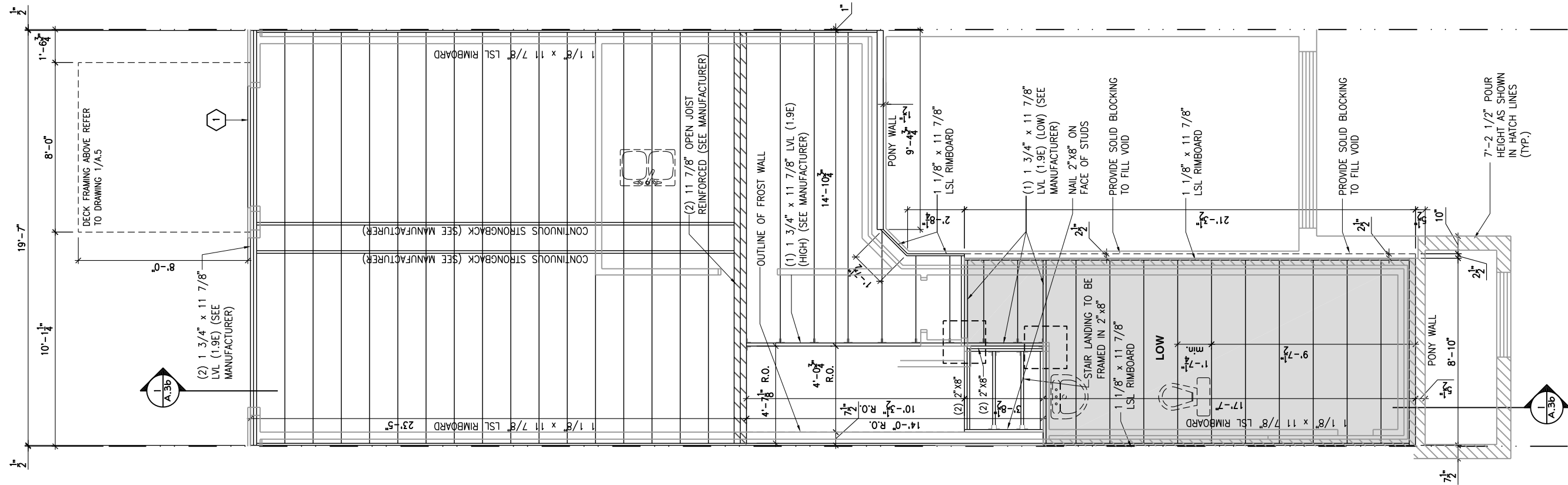
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.61



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
DATE: XX/XX/XXXX



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DRAWING: GROUND FLOOR - JOIST FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

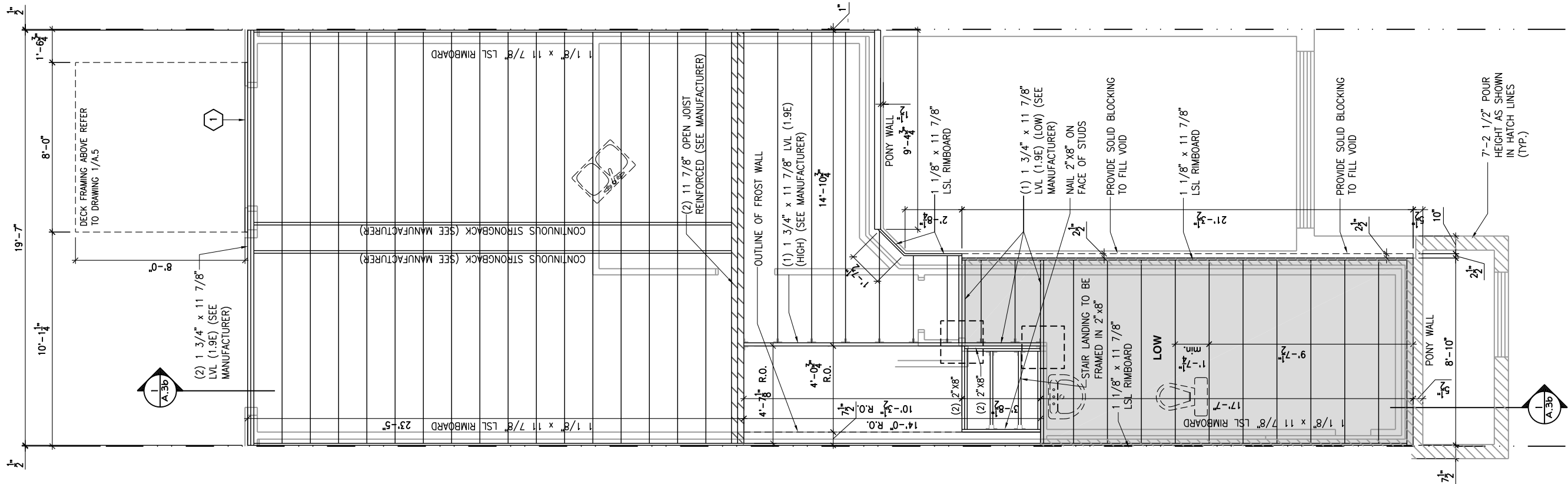
SHEET:

A.6m

1
A.6m

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

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2012 O.B.C. DRAWINGS

REV.	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST
FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

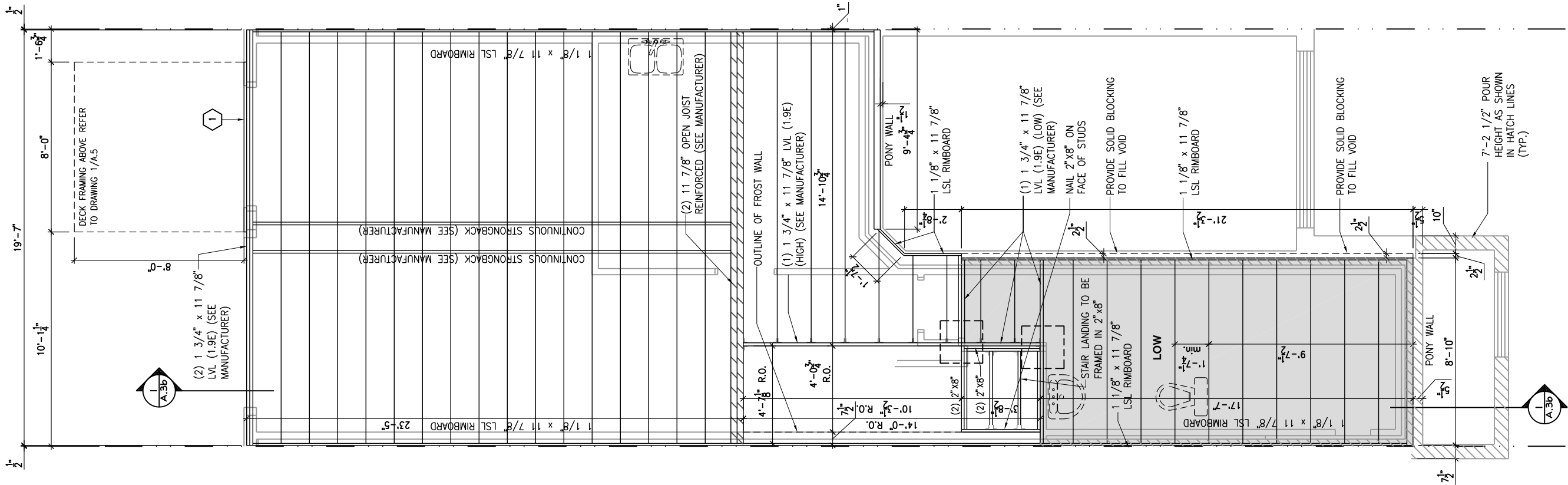
SHEET:

A.6n

1
A.6n

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - MID UNIT

SCALE: 3/16" = 1'-0"



1
2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
DATE: XX/XX/XXXX

Valecraft
Homes Ltd.

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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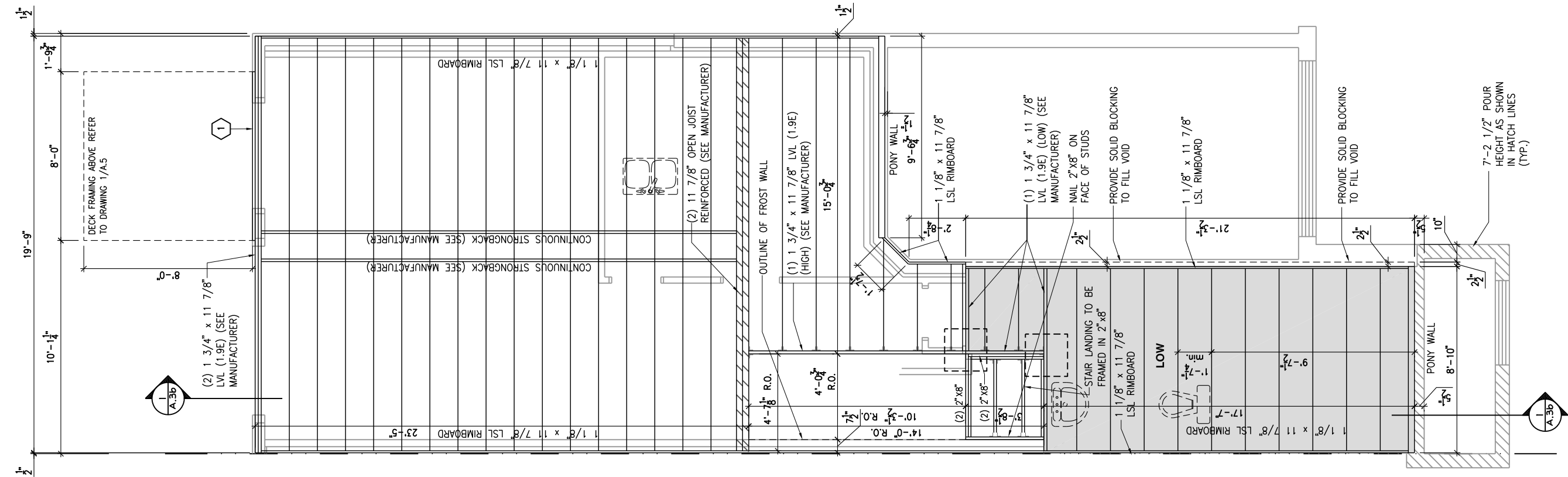
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FRAMING PLAN - WALKOUT - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.60



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

LOT: XXXX
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

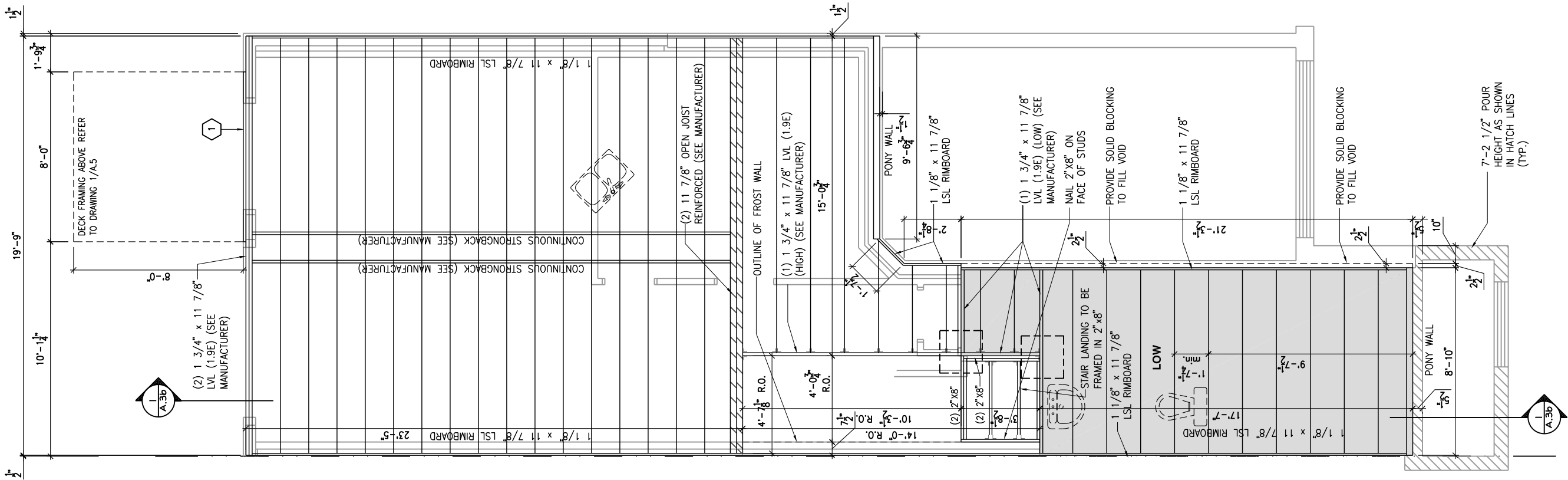
SHEET:

A.6p

1
A.6p

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



1

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NO.	DESCRIPTION	MM/DD/YYYY	BY

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120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

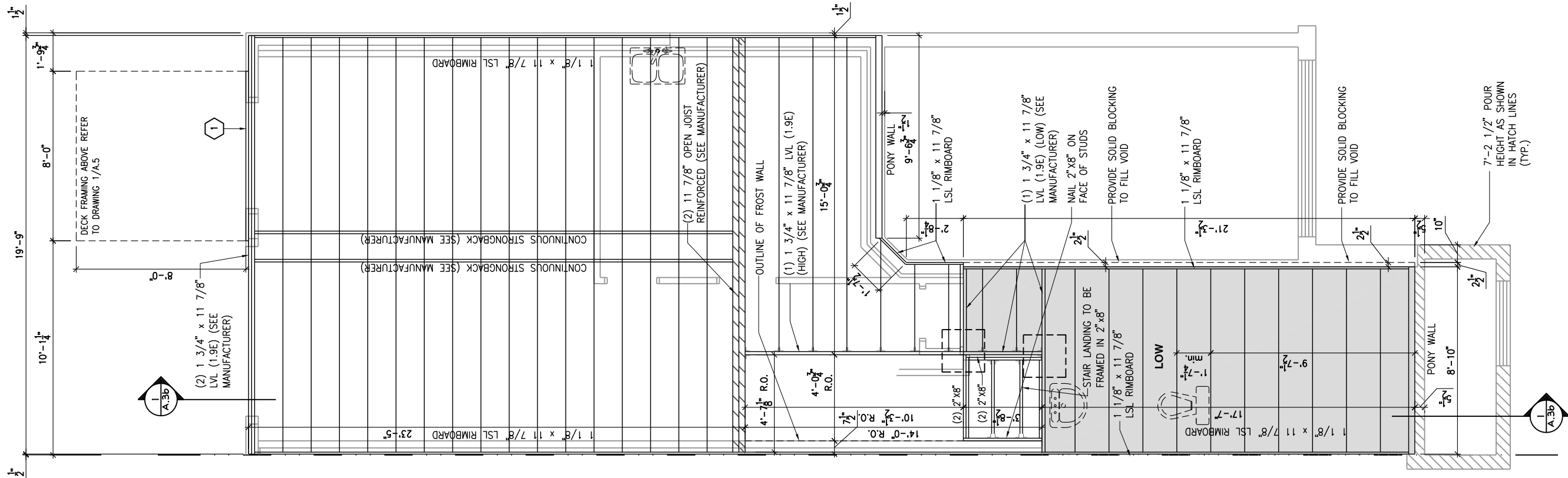
SHEET:

A.6q

1
A.6q

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



1

2"x10" SOLID BLOCKING AT LEDGER NAILED TO RIM BOARD AND TOP PLATES. INSTALL AT THE SAME TIME AS COMFORT BOARD AND INSTALL TYVEK HOMEWRAP OR EQUIVALENT CONTINUOUS OVER SOLID BLOCKING

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ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.6r

1
A.6r

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

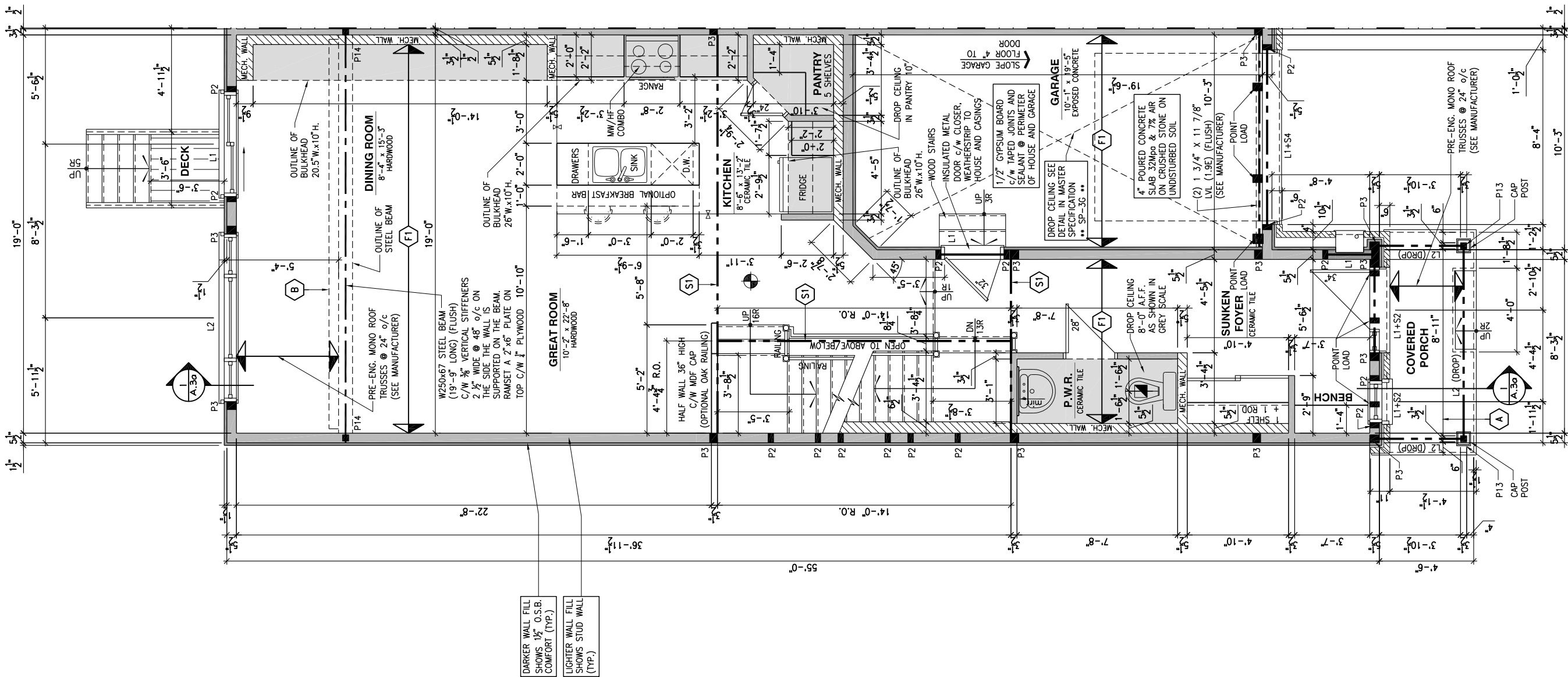
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX
DATE: XX/XX/XXXX



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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
- P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)
- (*) = 2-12" ANCH. (WHERE ANCH. PL. NOT USED)

- * POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7a

GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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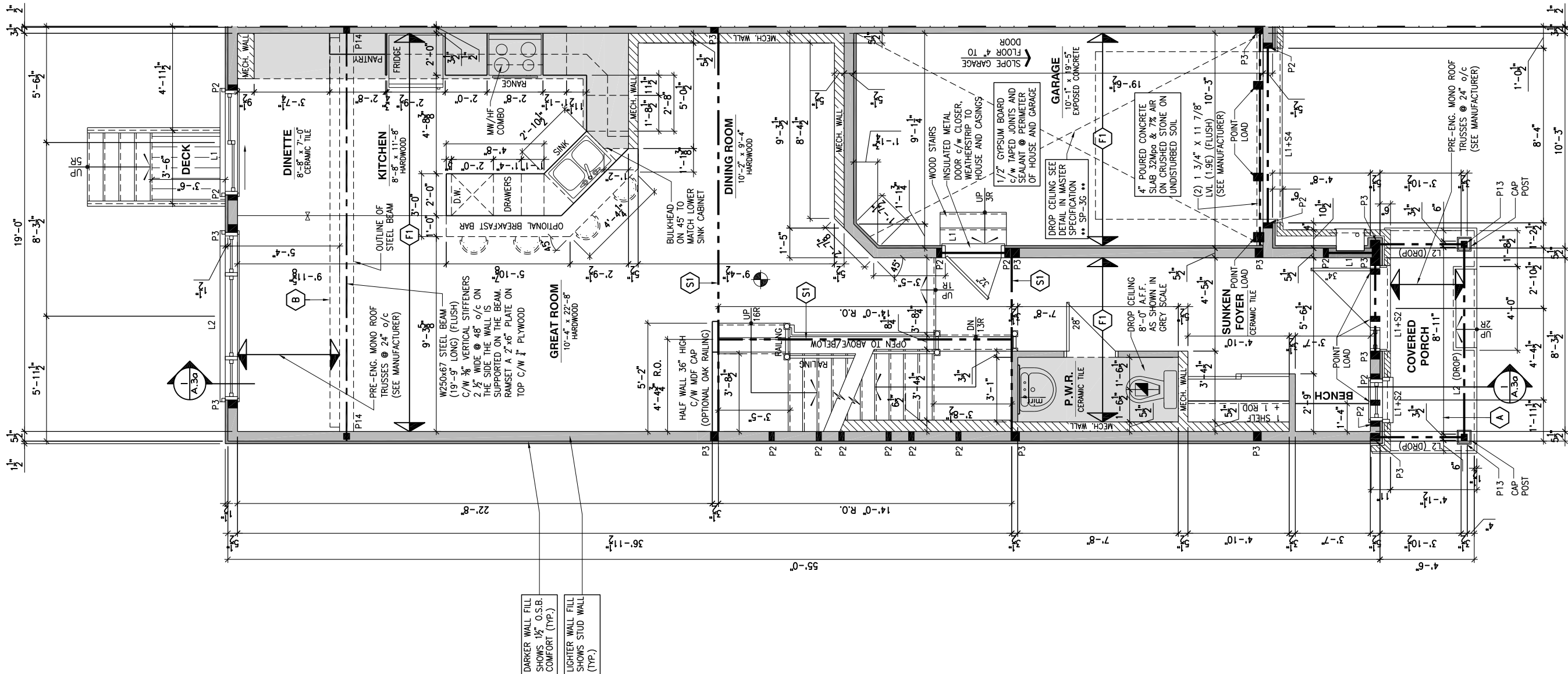
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WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
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PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
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WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



DARKER WALL FILL
SHOWS 1 1/2" O.S.B.
COMFORT (TYP.)

LIGHTER WALL FILL
SHOWS STUD WALL
(TYP.)

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #1 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7b

FLOOR FRAMING:

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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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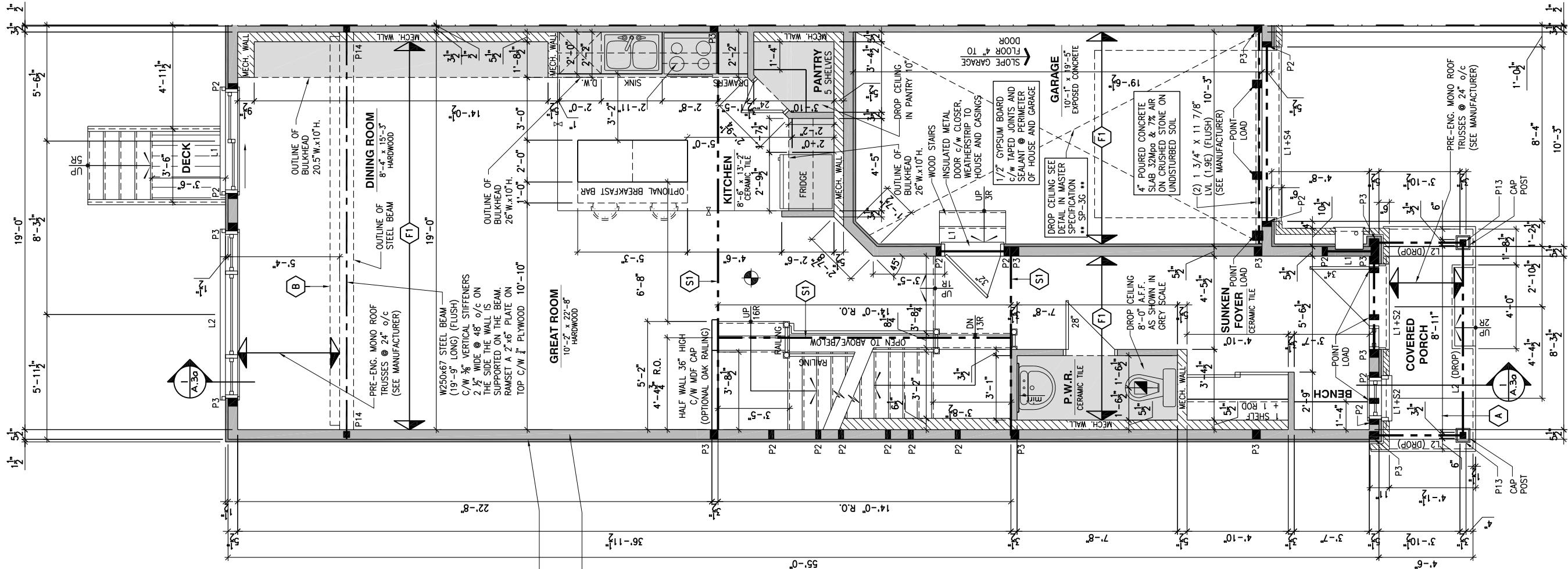
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SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



DARKER WALL FILL
SHOWS 1/2" O.S.B.
COMFORT (TYP.)

LIGHTER WALL FILL
SHOWS STUD WALL
(TYP.)

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

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- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
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POST TABLE:

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- PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR PLAN
OPT. KITCHEN #2 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7c

F1 11 $\frac{3}{4}$ " PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)

F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED

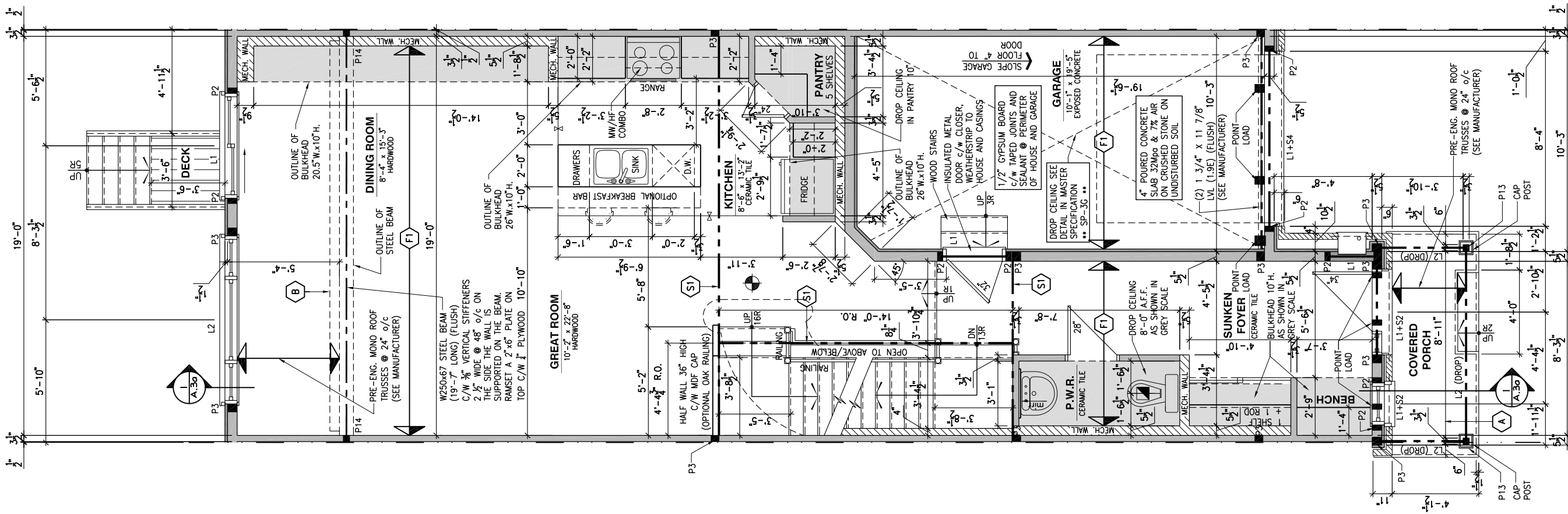
F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED

S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

8" SLOPED TO 1/2" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

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Valecraft
Homes Ltd.

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P13 = HSS 88.9x88.9x1.4 + 100x200x12 T&B PL
P14 = HSS 89.8x94.4 + 100x200x12 T&B PL (*)
P15 = HSS 76.2x76.2x4.8 + 100x180x12 T&B PL
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
STANDARD KITCHEN - MID

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

SHEET:

A.7d

(STANDARD DRAWINGS)

FLOOR FRAMING:

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c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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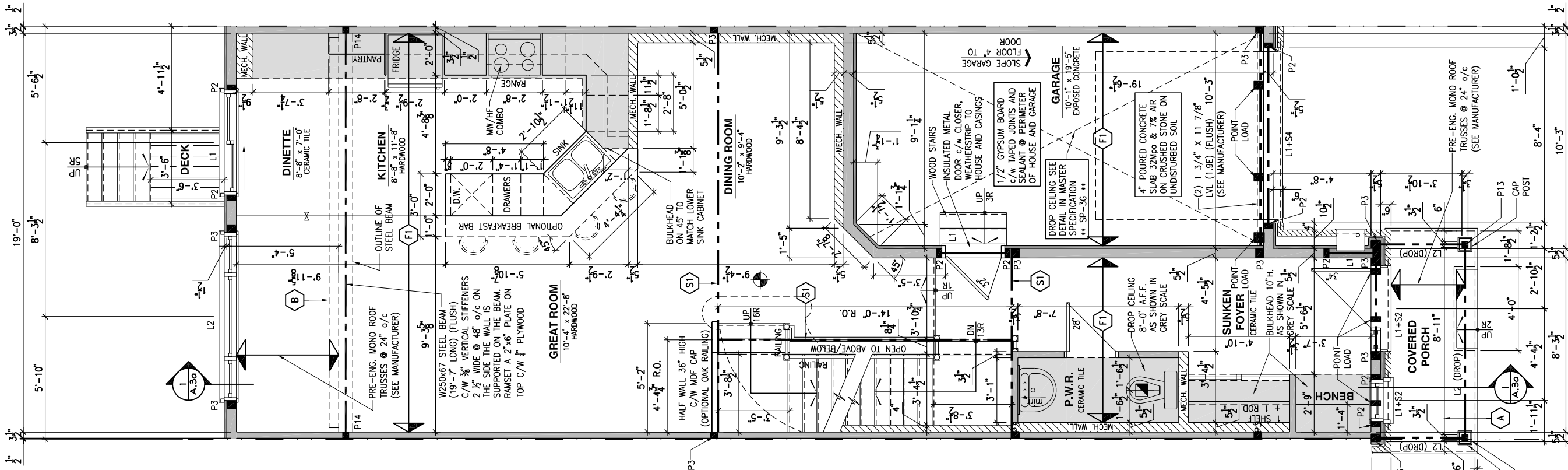
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NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: **GROUND FLOOR PLAN**
OPTIONAL KITCHEN #1 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7e

I
A.7e

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
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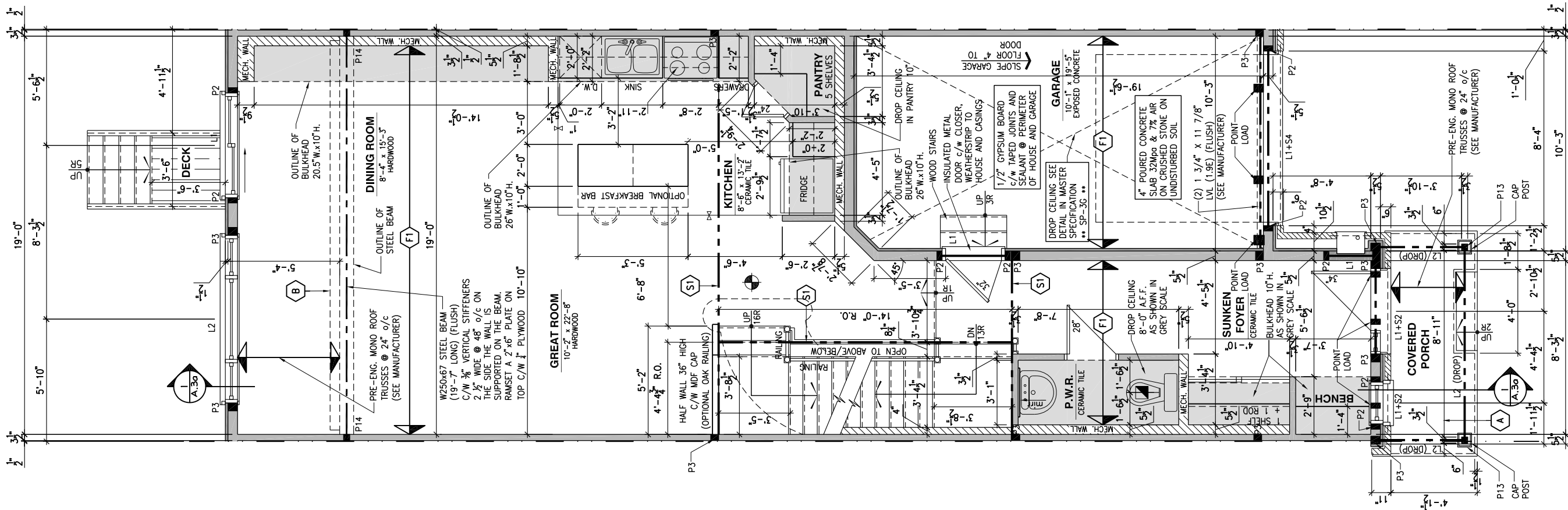
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DRAWING: **GROUND FLOOR PLAN**
OPTIONAL KITCHEN #2 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7f

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

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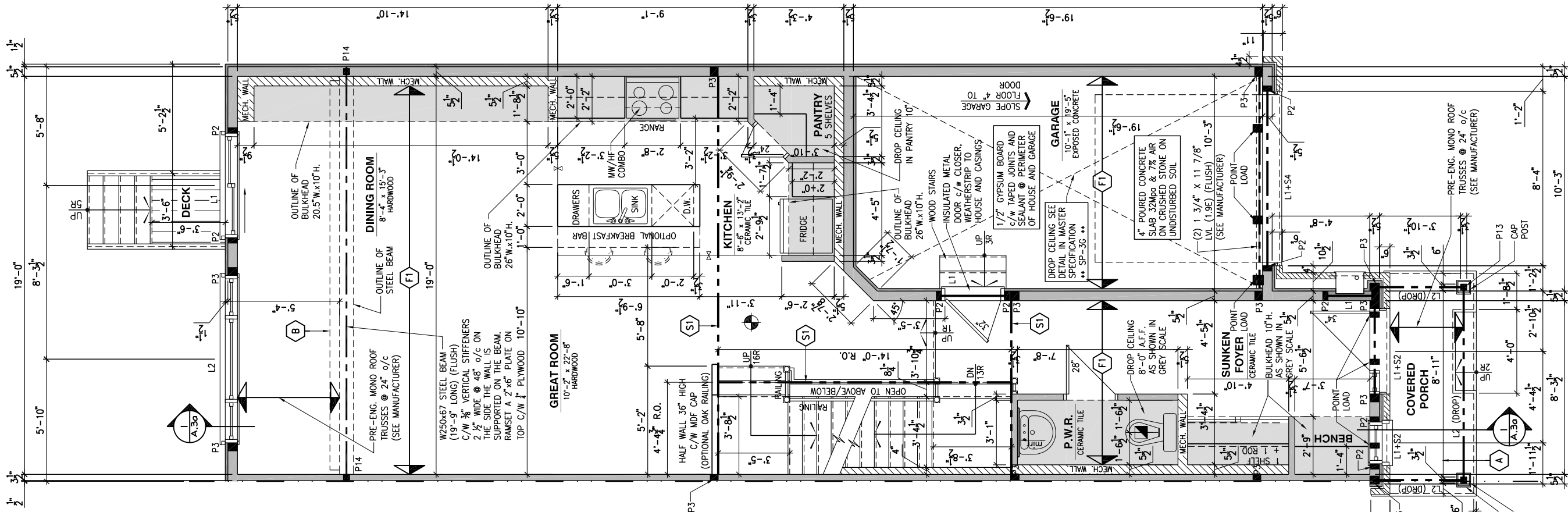
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VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
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S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
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POST BY USP
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ADJACENT TO EACH SLEEPING AREA.

PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7g

GROUND FLOOR PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

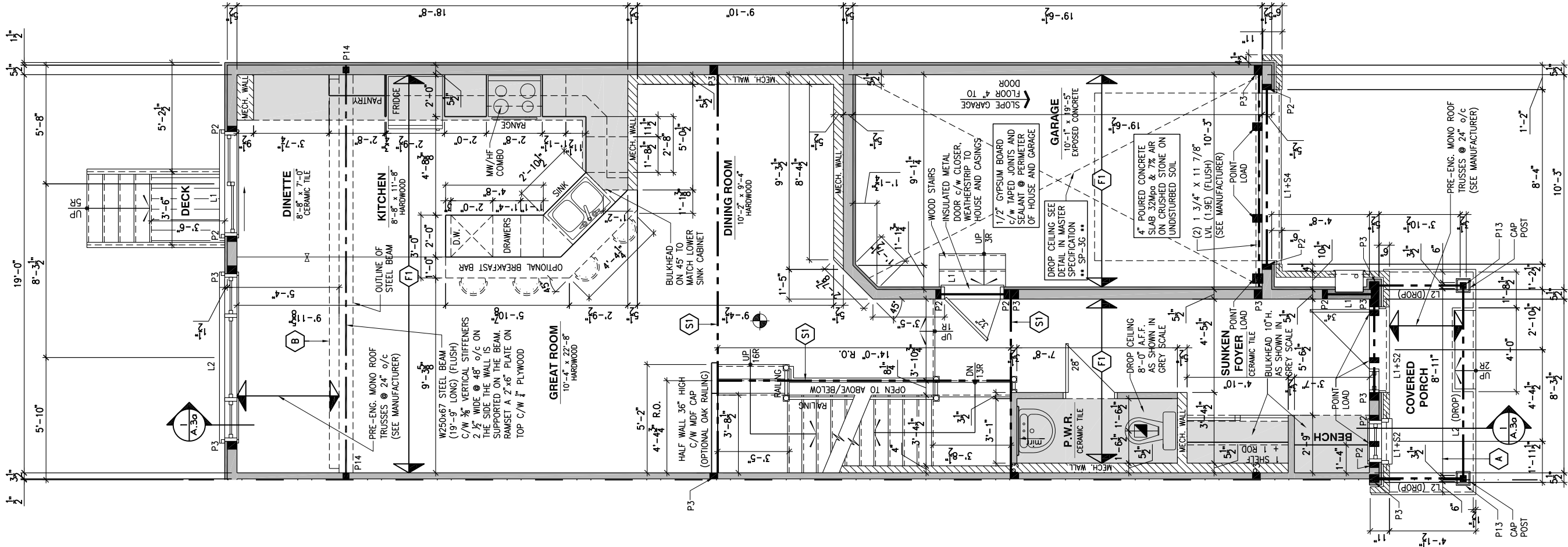
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
OPT. KITCHEN #1 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7h

GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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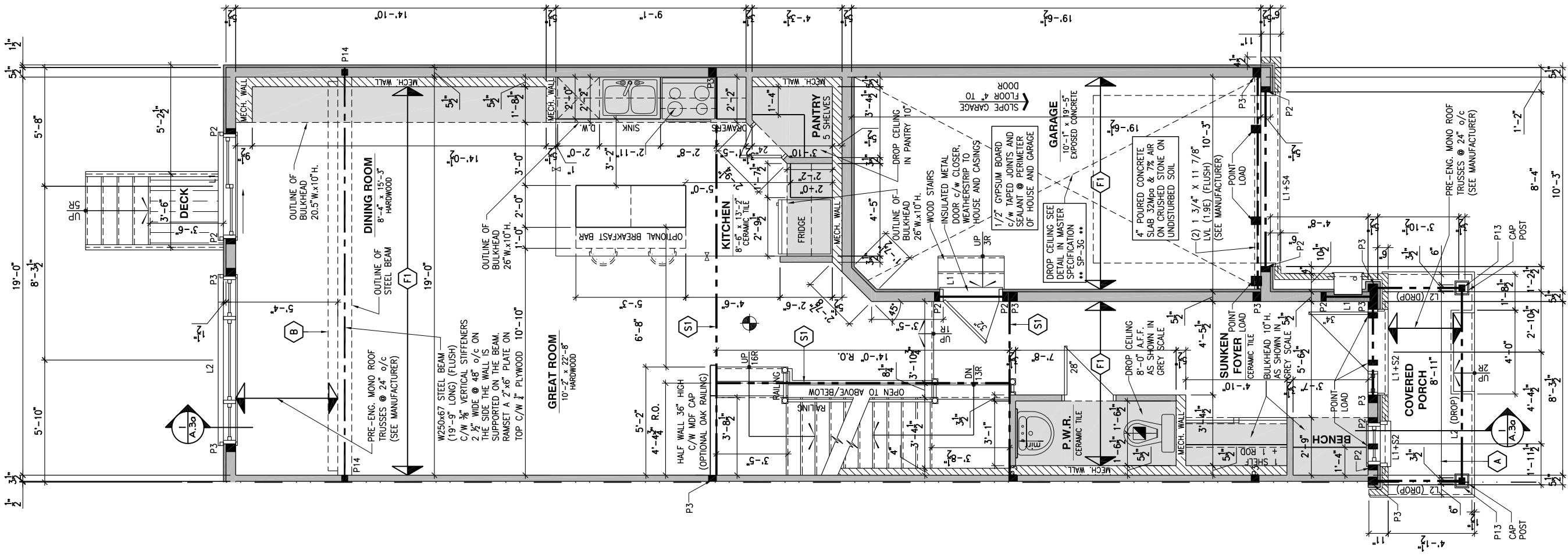
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LOT: XXXX

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **GROUND FLOOR PLAN**
OPT. KITCHEN #2 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7i

GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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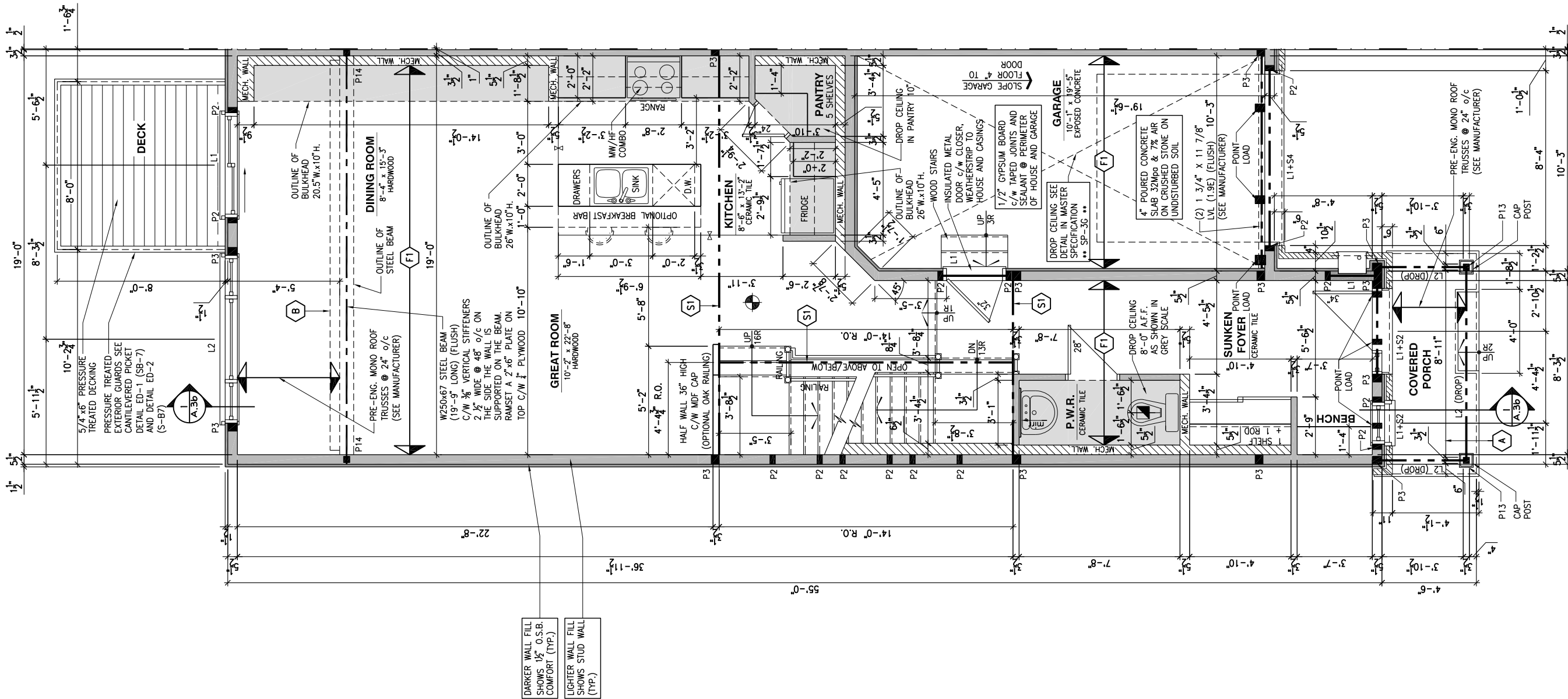
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GROUND FLOOR - WALKOUT
STANDARD KITCHEN - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7j

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

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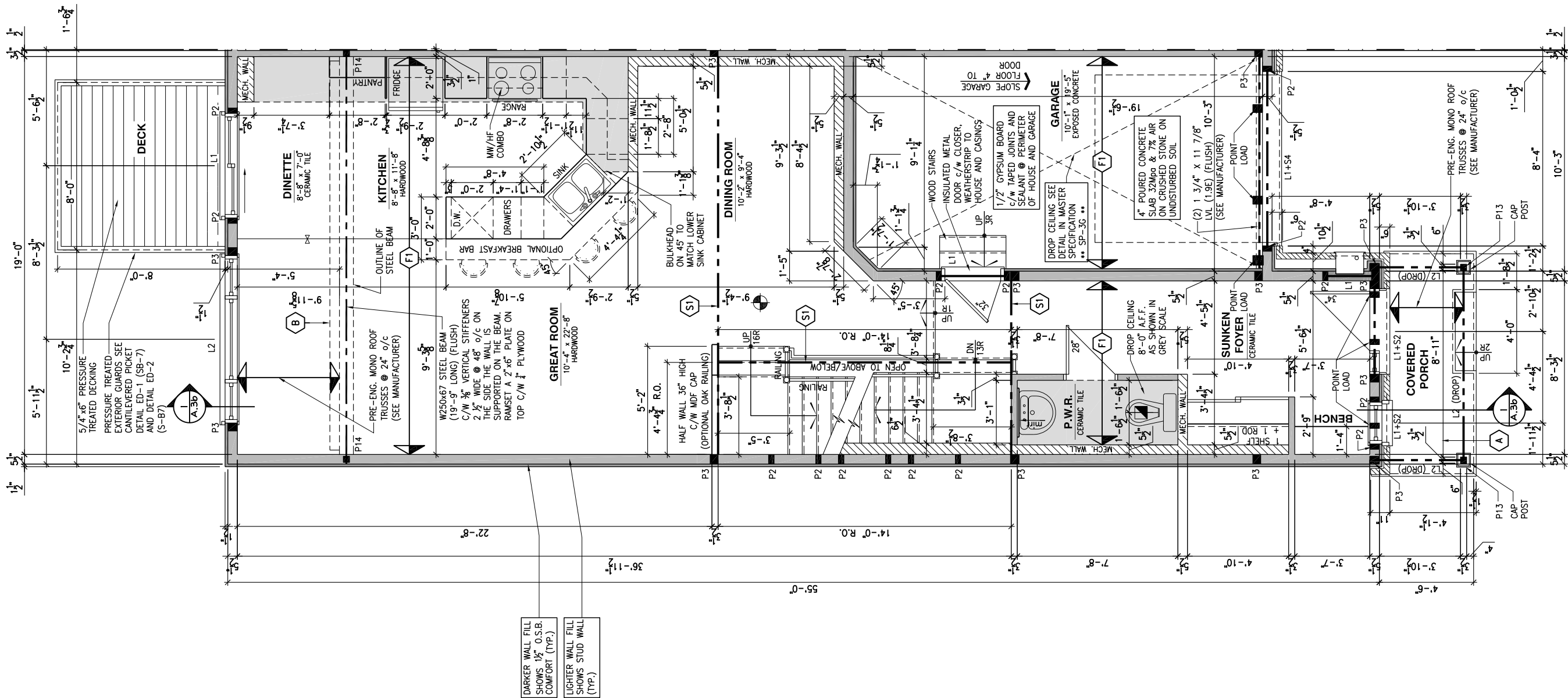
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VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
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S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #1 - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7k

I
A.7k
GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT
SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORM @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
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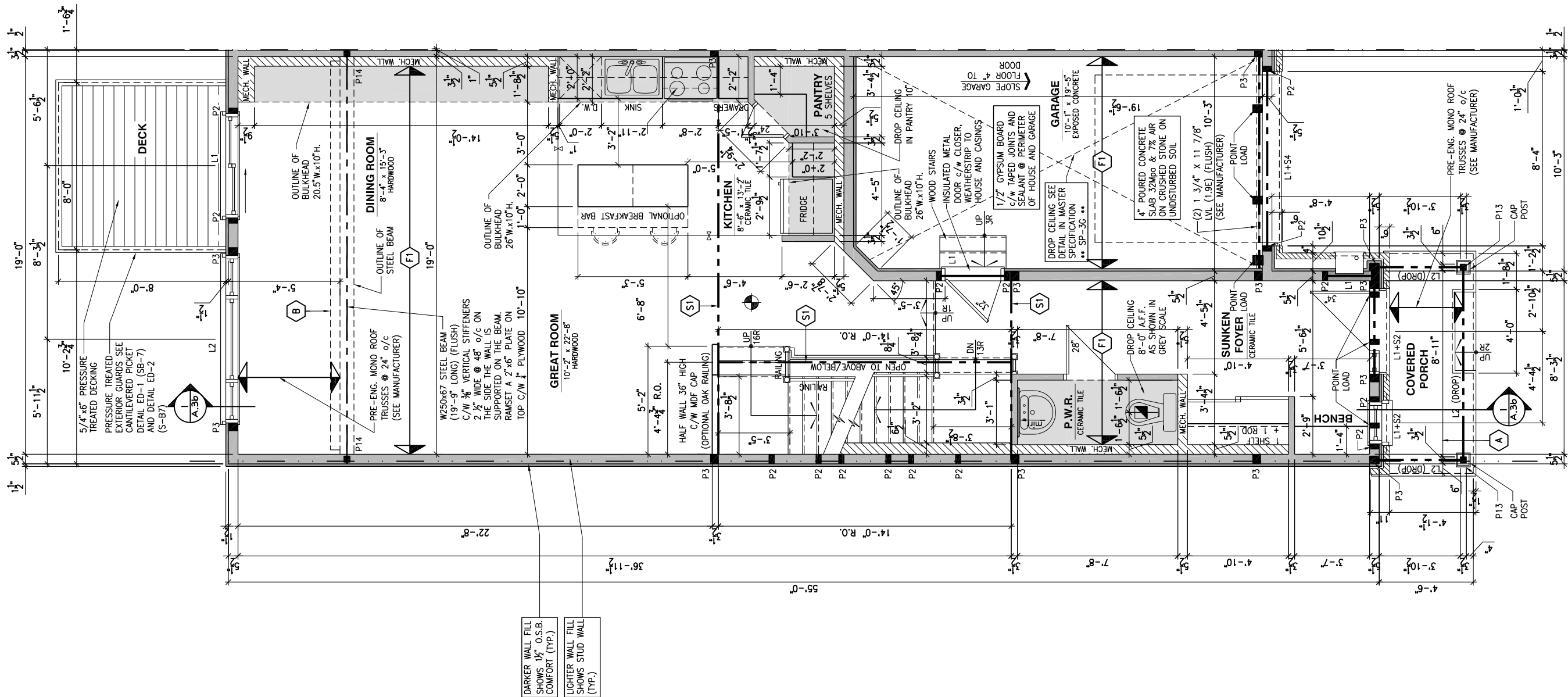
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- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
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TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
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LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #2 -PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.71

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F3 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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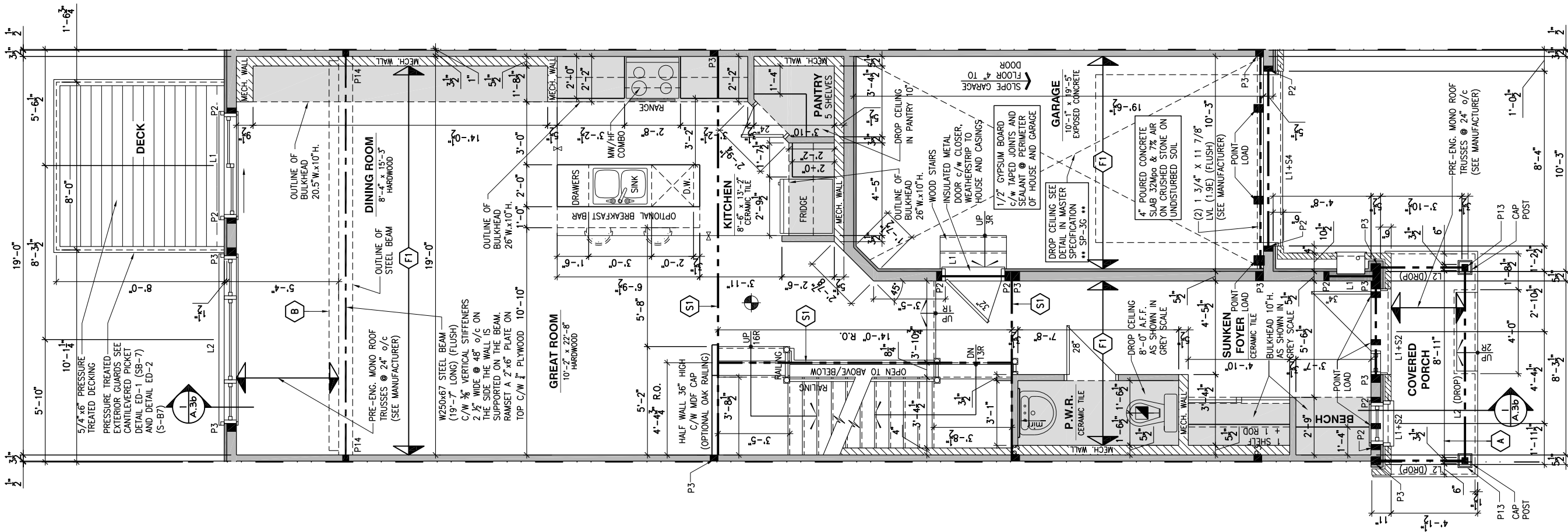
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DRAWING: GROUND FLOOR - WALKOUT
STANDARD KITCHEN - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7m

1
A.7m
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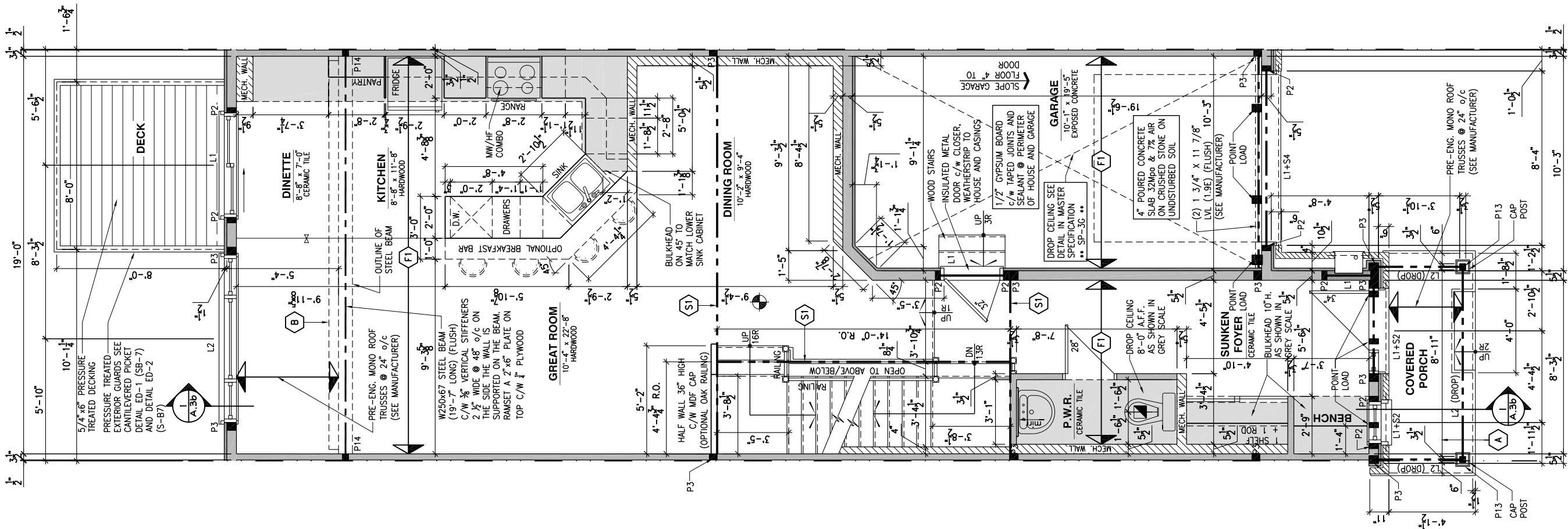
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120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7n

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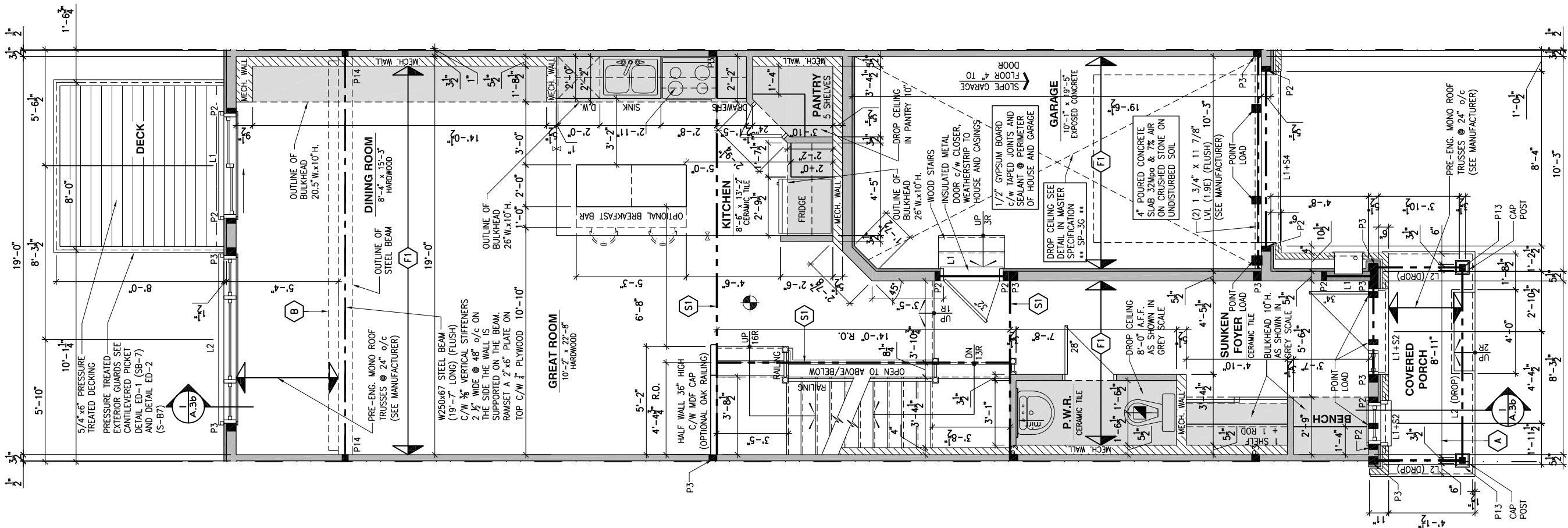
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Valecraft
Homes Ltd.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

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B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES
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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
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POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
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☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPTIONAL KITCHEN #2 - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7o

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c
UNLESS OTHERWISE NOTED
- S1 REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR
ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING
(UNLESS OTHERWISE NOTED)

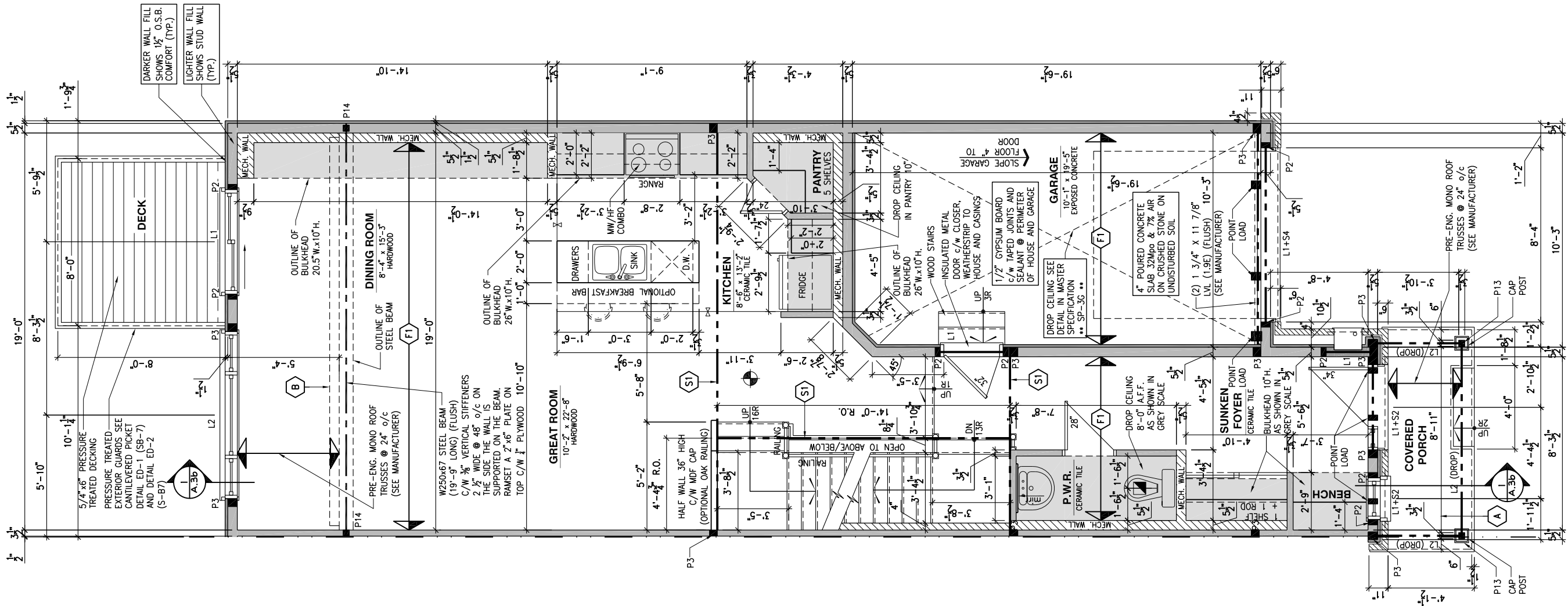
GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION:

TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE
8" SLOPED TO 7" POURED CONCRETE 32 Mpa 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDISTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2"
OVERHANG PASS EXTERIOR STUD FACE) WITH FULL
1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH
WELD AT 6" SPACING AT BOTTOM OF FLANGE.
(STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM
TO ALLOW BEAM TO SIT ON TOP OF WALL)



LOT: XXXX

DATE: XX/XX/XXXX



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GROUND FLOOR - WALKOUT
STANDARD KITCHEN-GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7p

GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F3 11 7/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
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MANUFACTURER)
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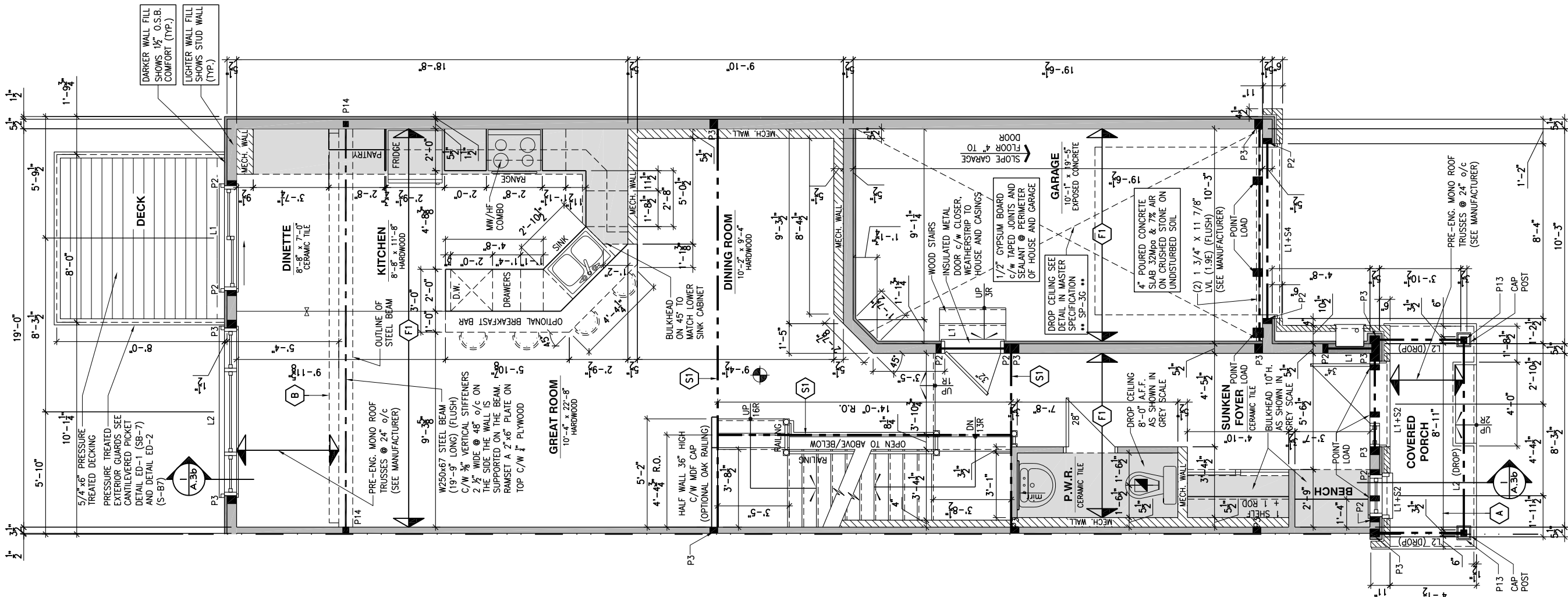
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #1 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.7q

I
A.7a

GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

FLOOR FRAMING:

- F1 11 3/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c
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- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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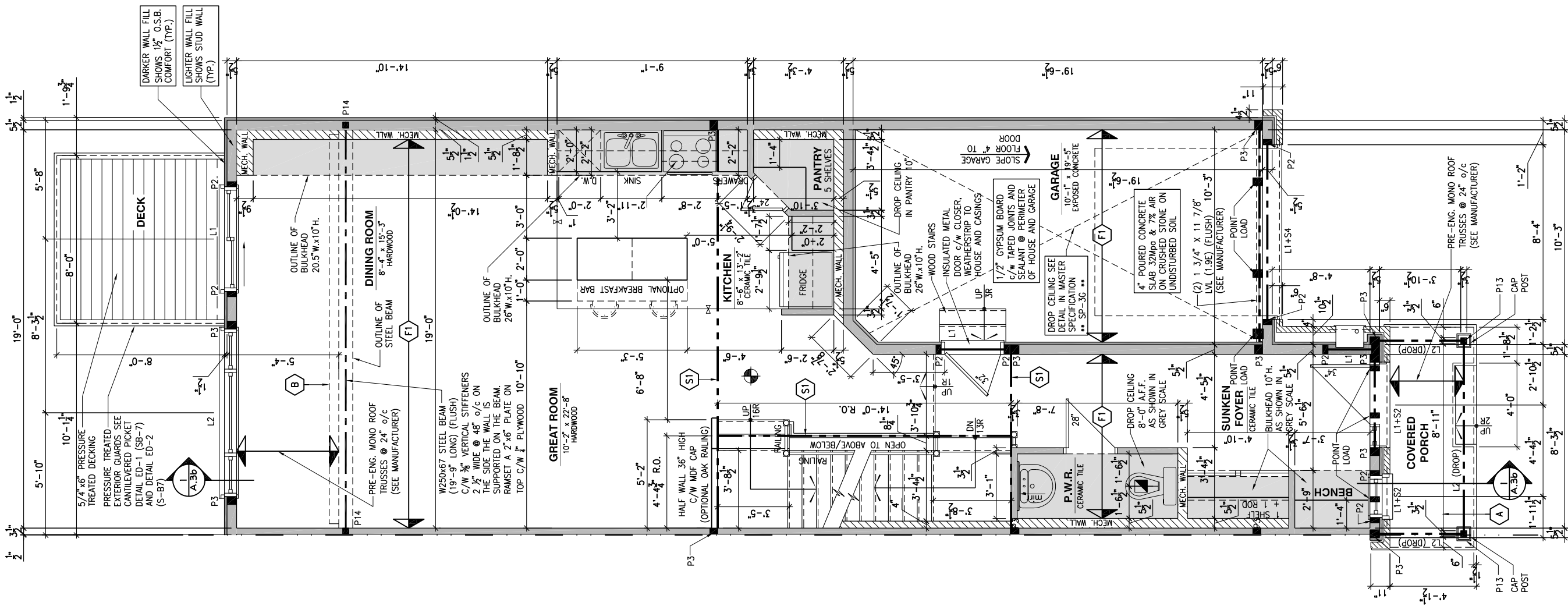
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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX

DATE: XX/XX/XXXX



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DRAWING: GROUND FLOOR - WALKOUT
OPT. KITCHEN #2 - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

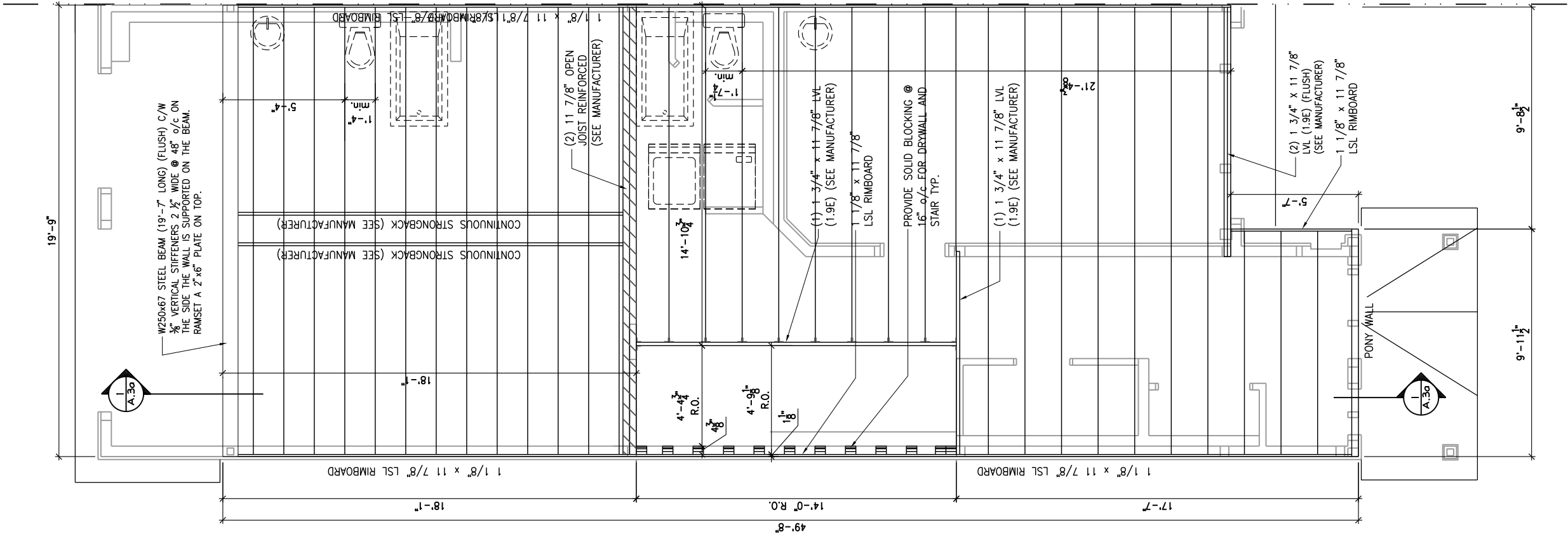
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SHEET:

A.7r

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.8a

LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **

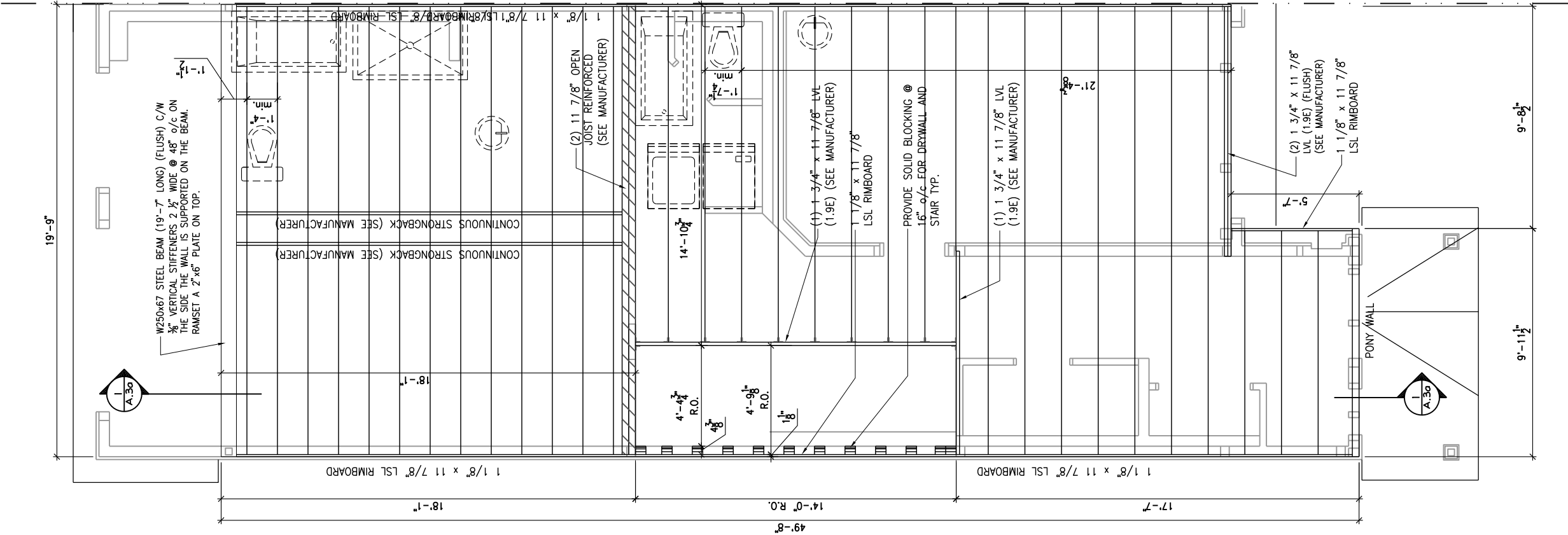
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1
A.8b

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.8b

N/A

LOT:XXXX

DATE:XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR - FLOOR JOIST FRAMING - PORCH END

ADDRESS:XX

SCALE:3/16" = 1'-0"

DATE:XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8c



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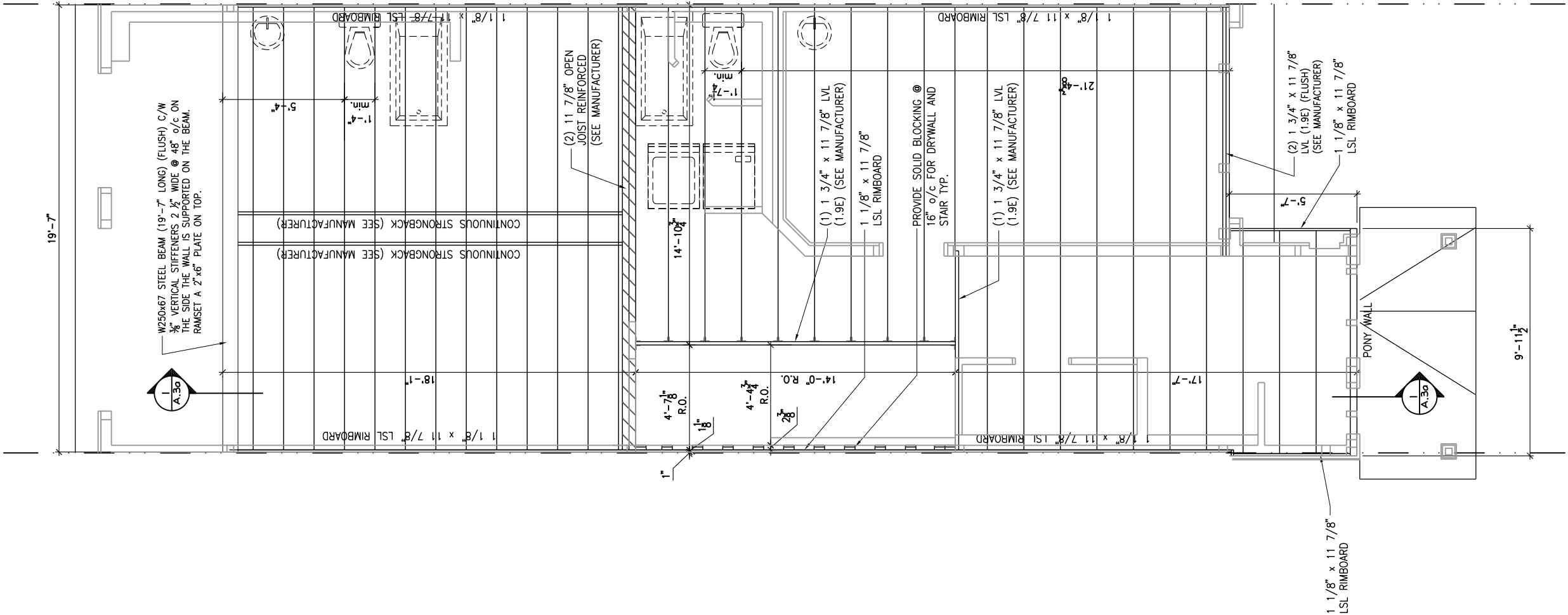
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SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - MID UNIT
SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

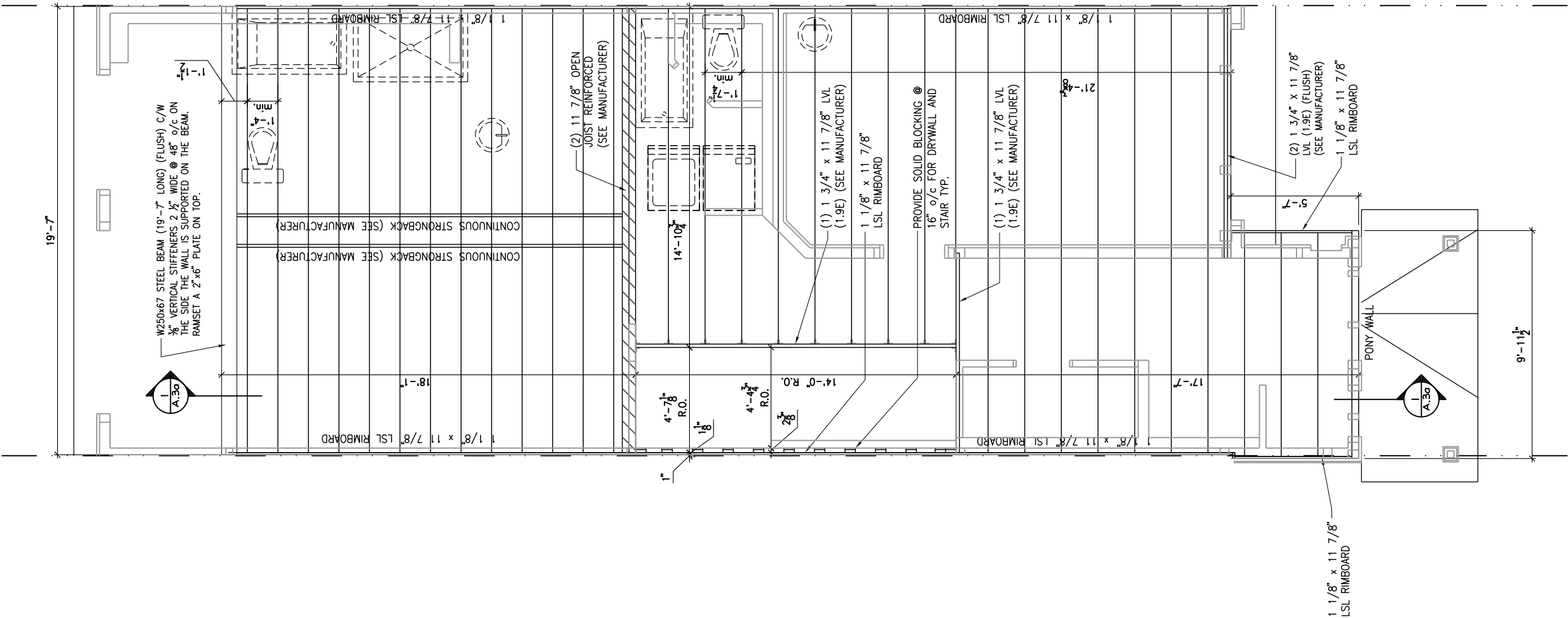
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING PLAN -MID**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8d



1

A.8e

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT:XXXX

DATE:XX/XX/XXXX

Valecraft

Homes Ltd.

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:SECOND FLOOR - FLOOR JOIST FRAMING PLAN - MID

ADDRESS:XX

SCALE:3/16" = 1'-0"

DATE:XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:A.8e

N/A

LOT:XXXX

DATE:XX/XX/XXXX



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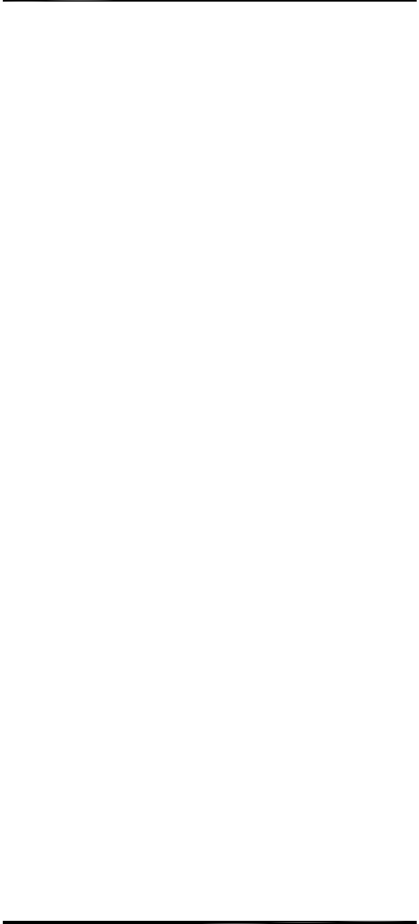
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:SECOND FLOOR - FLOOR JOIST FRAMING PLAN - MID

ADDRESS:xxSCALE:3/16" = 1'-0"DATE:xx/xx/xxxx



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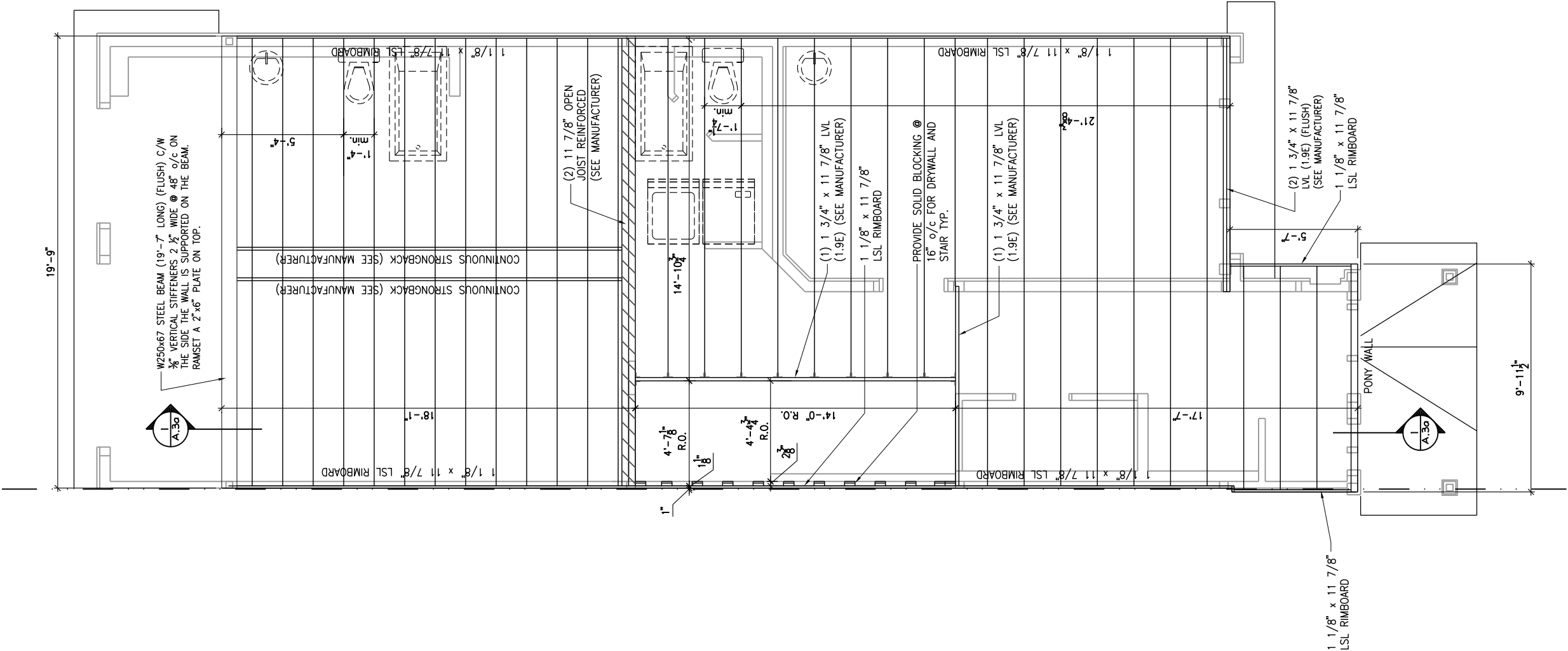
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1 SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - GARAGE END UNIT
SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX



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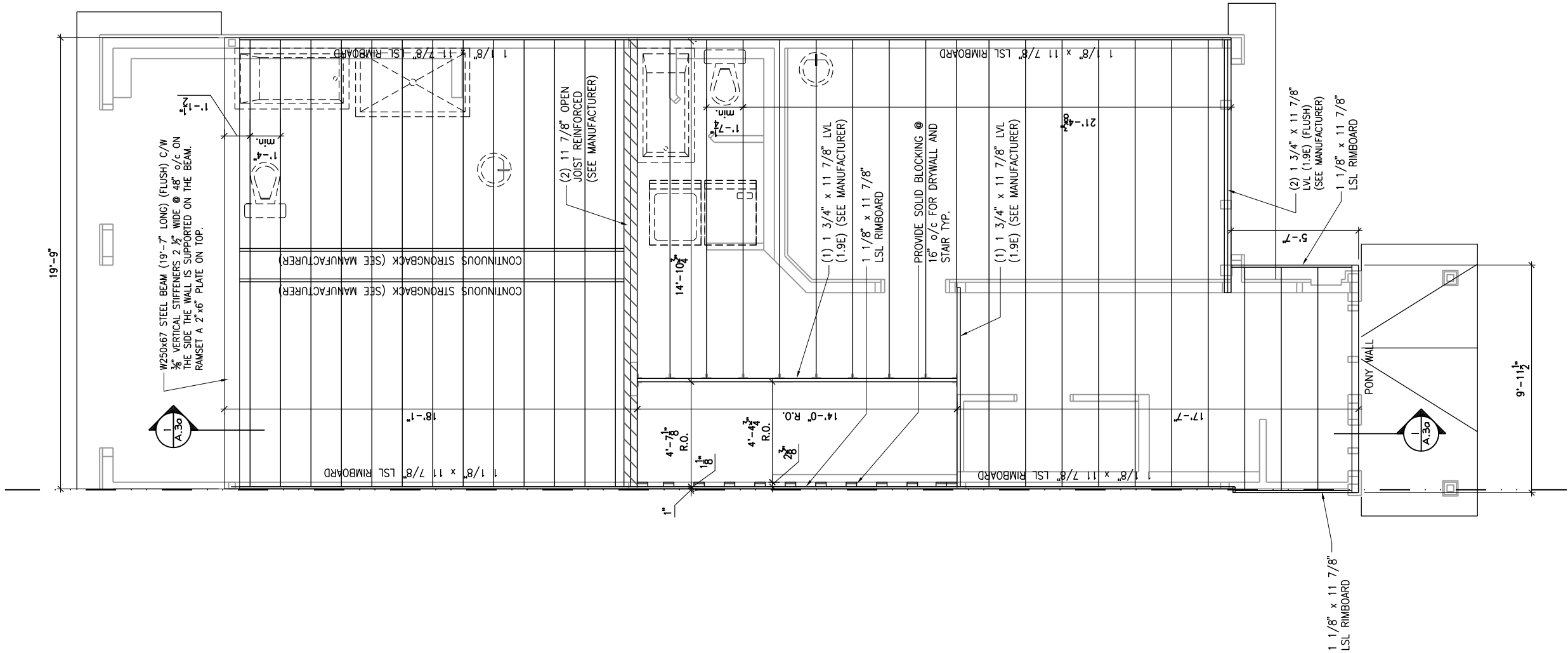
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR - FLOOR
JOIST FRAMING - GARAGE END**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
A.8h

N/A

LOT:XXXX

DATE:XX/XX/XXXX



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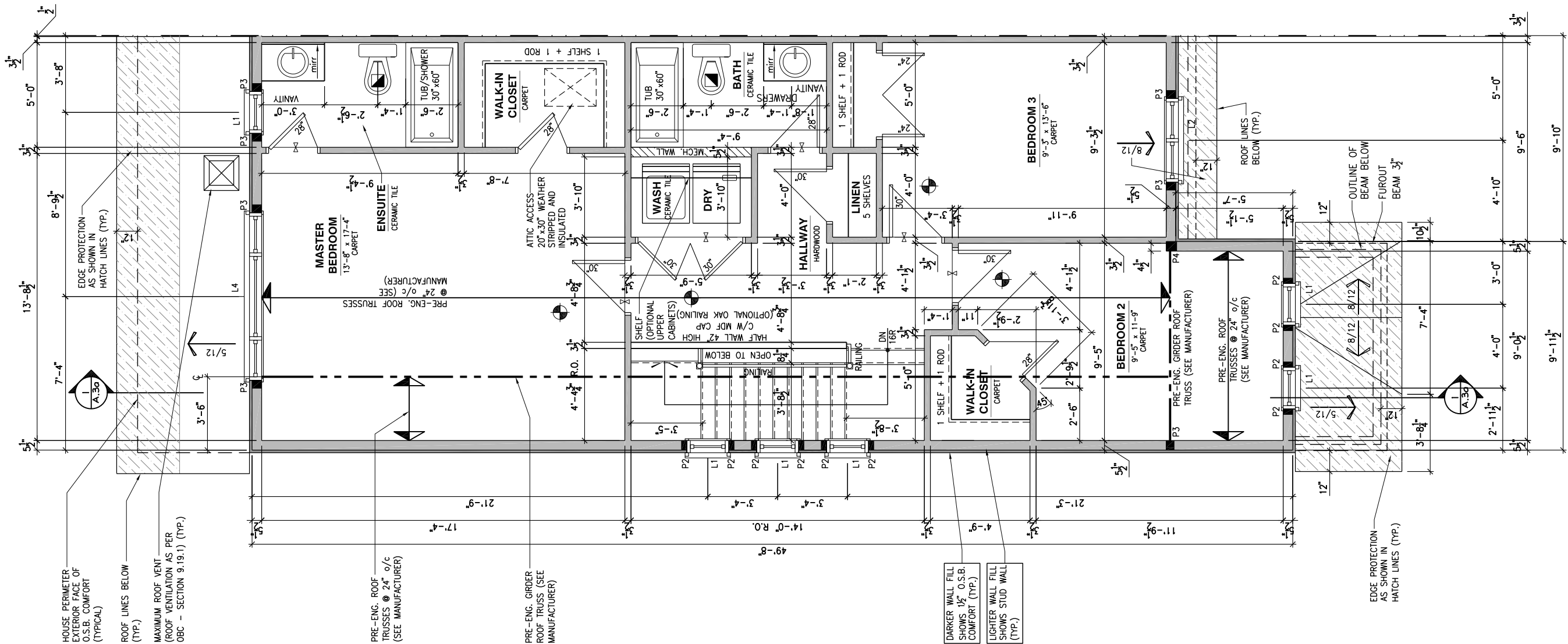
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DRAWING:SECOND FLOOR - FLOOR JOIST FRAMING - GARAGE END

ADDRESS:XXSCALE:3/16" = 1'-0"DATE:XX/XX/XXXX

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



1
A.9a

SECOND FLOOR PLAN - STANDARD ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

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NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK POST BY USP
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
- P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)
- (*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- * POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☉ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR PLAN**
STANDARD ENSUITE - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

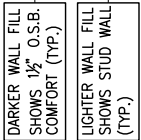
120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.9a

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SCALE: $3/16" = 1'-0"$

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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MA
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR PLAN**
OPT 4PC ENSUITE - PORCH END

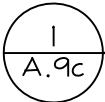
ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

N/A



SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
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LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
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- POST BY USP
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR PLAN**
OPT 5PC ENSUITE - PORCH END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

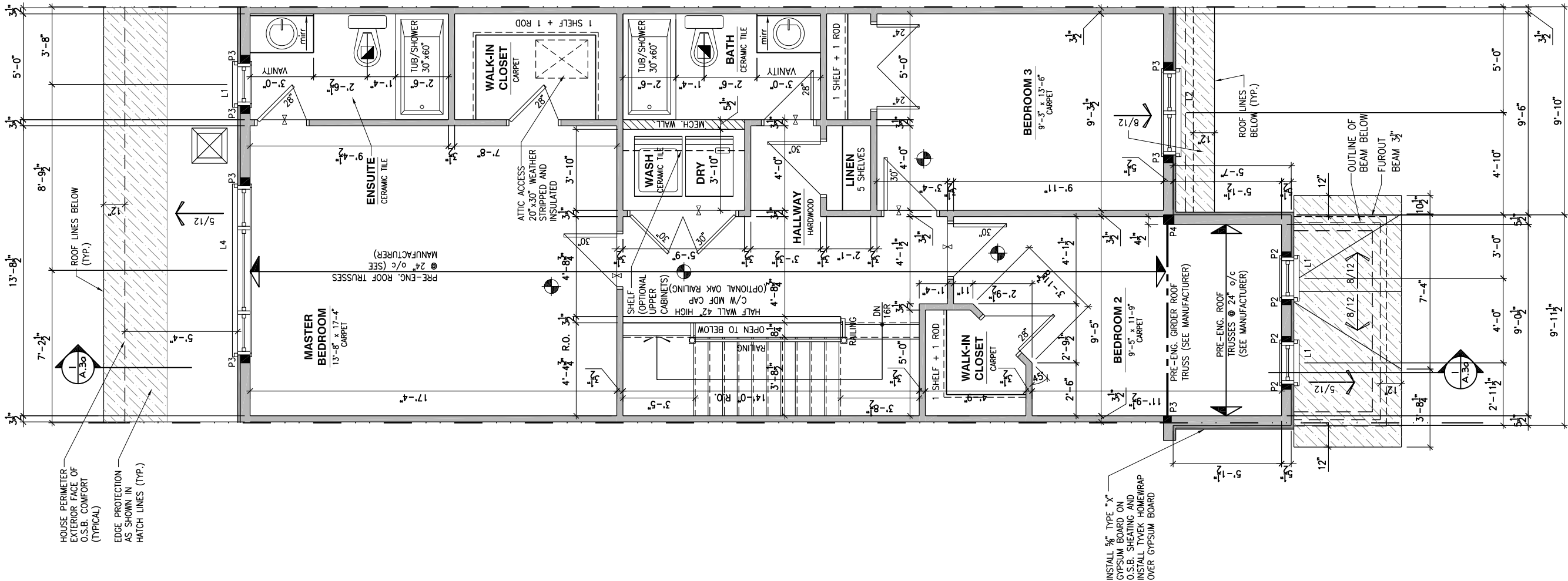
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.9c

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1 SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN
STANDARD ENSUITE - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

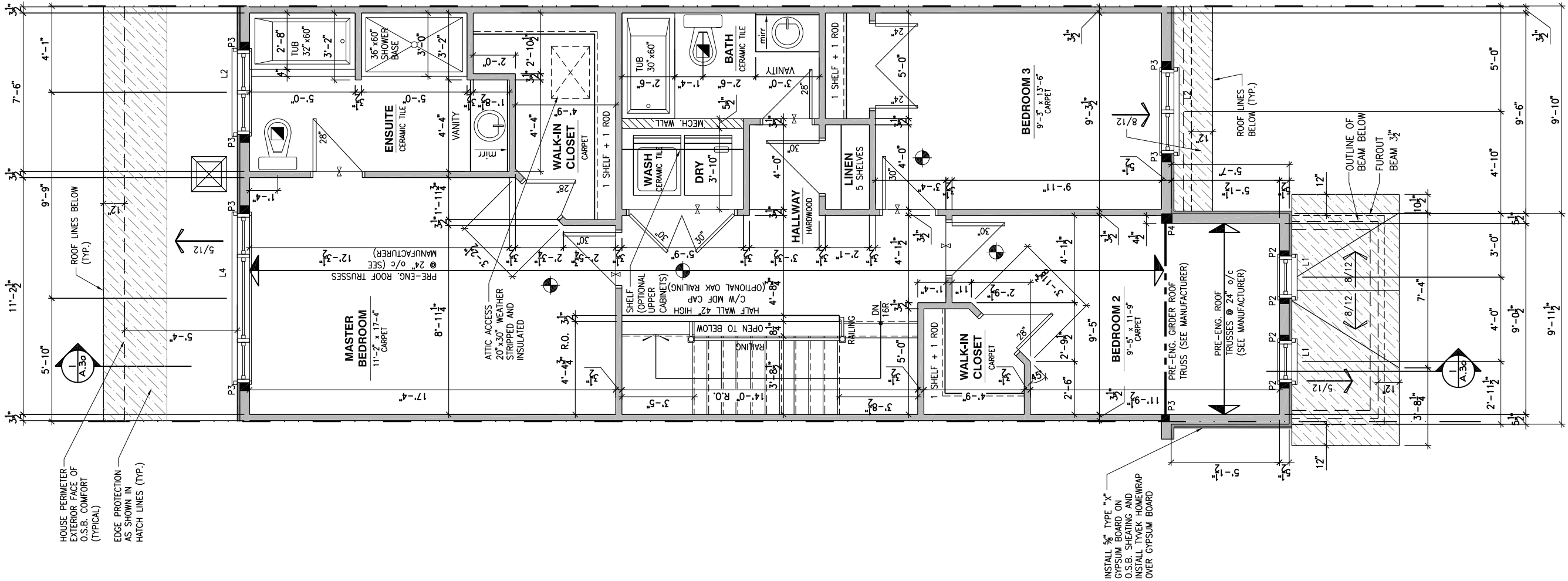
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.9d

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SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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SECOND FLOOR PLAN
OPT 4 PC ENSUITE - MID

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.9e

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N/A

I
A.9f

SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



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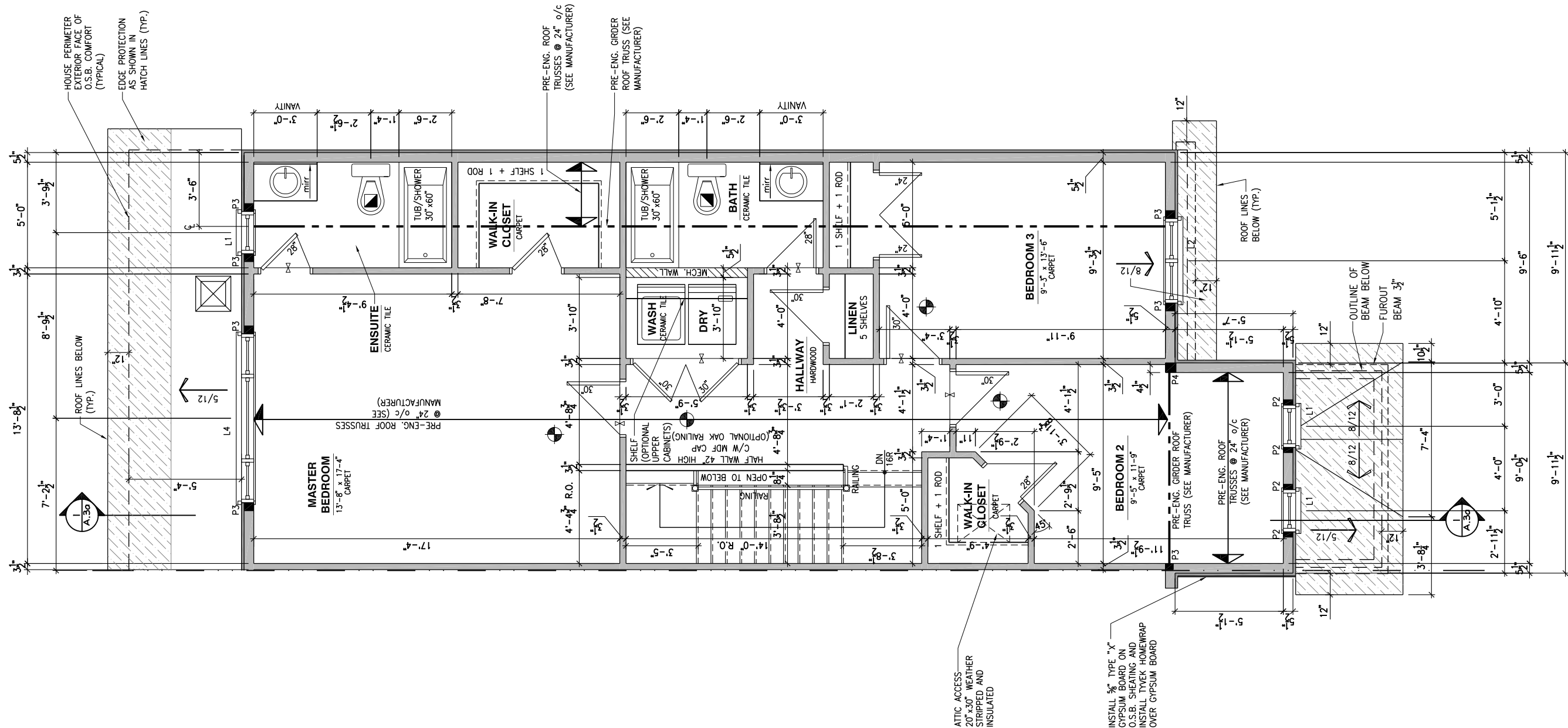
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120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.9f

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ATTIC ACCESS—
20" x 30" WEATHER
STRIPPED AND
INSULATED

INSTALL 5/8" TYPE "X"
GYPSUM BOARD ON
O.S.B. SHEATHING AND
INSTALL TYVEK HOMEWRAP
OVER GYPSUM BOARD

LOT: _____ **XXXX**
DATE: _____ **XX/XX/XXXX**



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR PLAN**
STANDARD ENSUITE-GARAGE END

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.9g

SECOND FLOOR PLAN - STANDARD ENSUITE - GARAGE END UNIT

SCALE: $3/16'' = 1'-0''$

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



INSTALL 5/8" TYPE "X"
GYPSUM BOARD ON
O.S.B. SHEATHING AND
INSTALL TYVEK HOMEWRAP
OVER GYPSUM BOARD



Valecraft
Homes Ltd.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6
S2 = L 90x90x8
S3 = L 100x90x8
S4 = L 125x90x8
S5 = L 125x90x10
S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

• IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
POST BY USP
P2 = 2-2x4 OR 2-2x6
P3 = 3-2x4 OR 3-2x6
P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS 88.9x88.3x1.18 + 100x200x12 T&B PL
P14 = HSS 89.6x94.8 + 100x200x12 T&B PL (*)
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL
P16 = HSS 76.2x76.2x4.78 + 100x130x12 T&B PL
P17 = HSS 73.0xD.x8 + 100x180x12 BOTTOM PL
+ 130x160x10 TOP PL (*)
(*) = 2-12" ANCH. (WHERE ANCH. PL NOT USED)

- * POST ARE ALL JACK c/w STUD
(EX. P2 = 1 JACK + 1 STUD)
- * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON	
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH	
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH	
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD	
NO.	DESCRIPTION	MM/DD/YYYY	BY	

DRAWING: **SECOND FLOOR PLAN**
OPT 4PC ENSUITE - GARAGE END

ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: XX/XX/XXXX
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120 - THE HUNTLEY 2020 FOOTPRINT

SHEET:

A.9h

(STANDARD DRAWINGS)

SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

SCALE: $3/16'' = 1'-0''$

1

A.9h

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

N/A



SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
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- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: **SECOND FLOOR PLAN**
OPT 5PC ENSUITE - GARAGE END

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

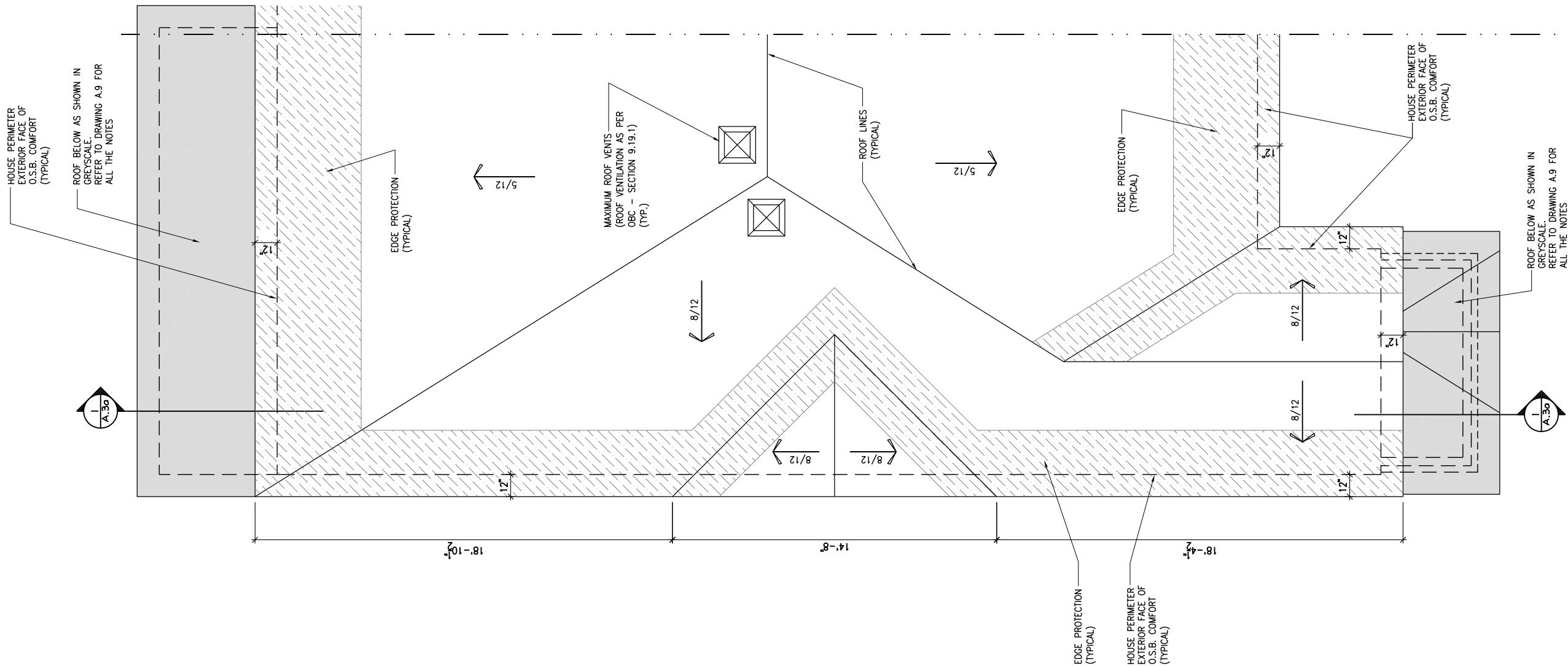
(STANDARD DRAWINGS)

SHEET:

A.9i

ROOF PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



Valecraft
Homes Ltd.

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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

ROOF PLAN - PORCH END UNIT

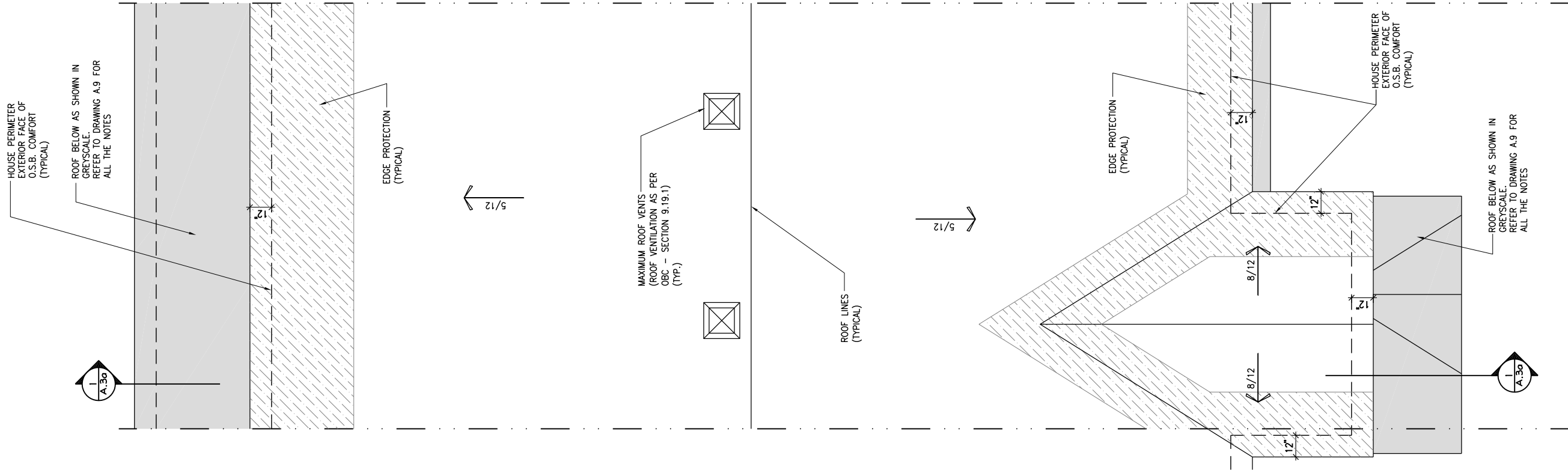
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A.10a



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

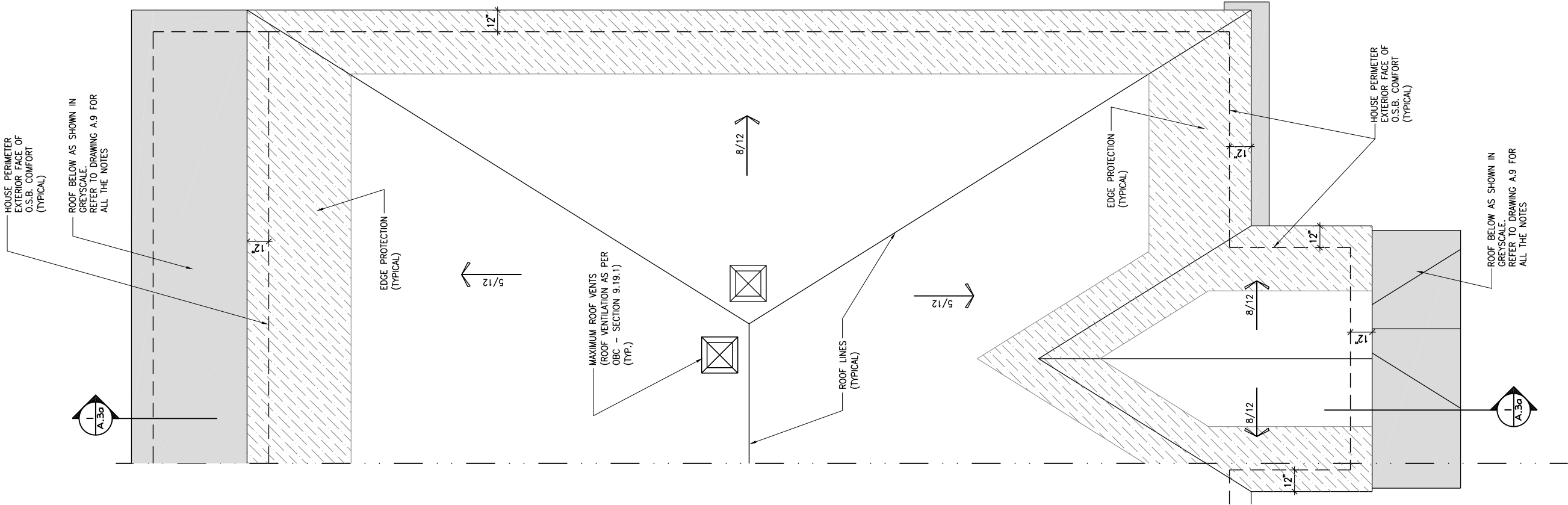
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ROOF PLAN - MID UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

ROOF PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:
ROOF PLAN - GARAGE END UNIT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

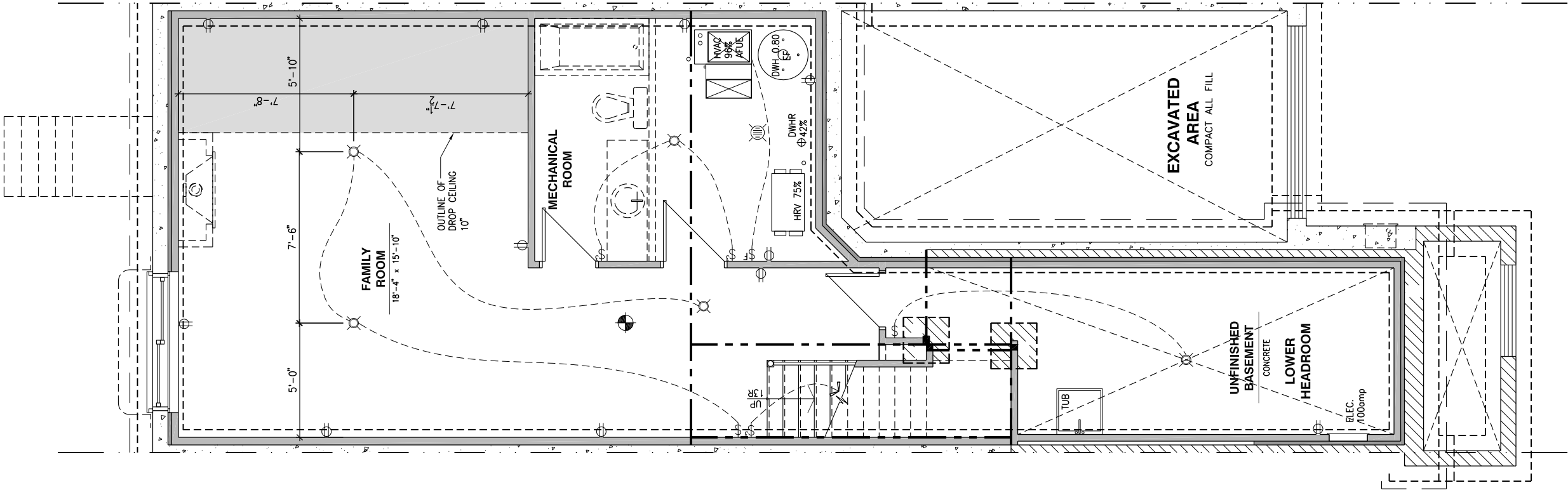
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

A.10c

ELECTRICAL PLAN - BASEMENT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- \$D DUPLEX OUTLET (12" HIGH)
- \$DU DUPLEX OUTLET (UPPER HALF SWITCH)
- \$GFI GROUND FAULT INTERVOLT
- \$WP WEATHER PROOF DUPLEX OUTLET
- \$S SPLIT OUTLET
- \$220 220 VOLT OUTLET
- \$WLM WALL MOUNTED LIGHT FIXTURE
- \$CMLF CEILING MOUNTED LIGHT FIXTURE
- \$PL POT LIGHT
- \$SA SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- \$ME = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
BASEMENT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

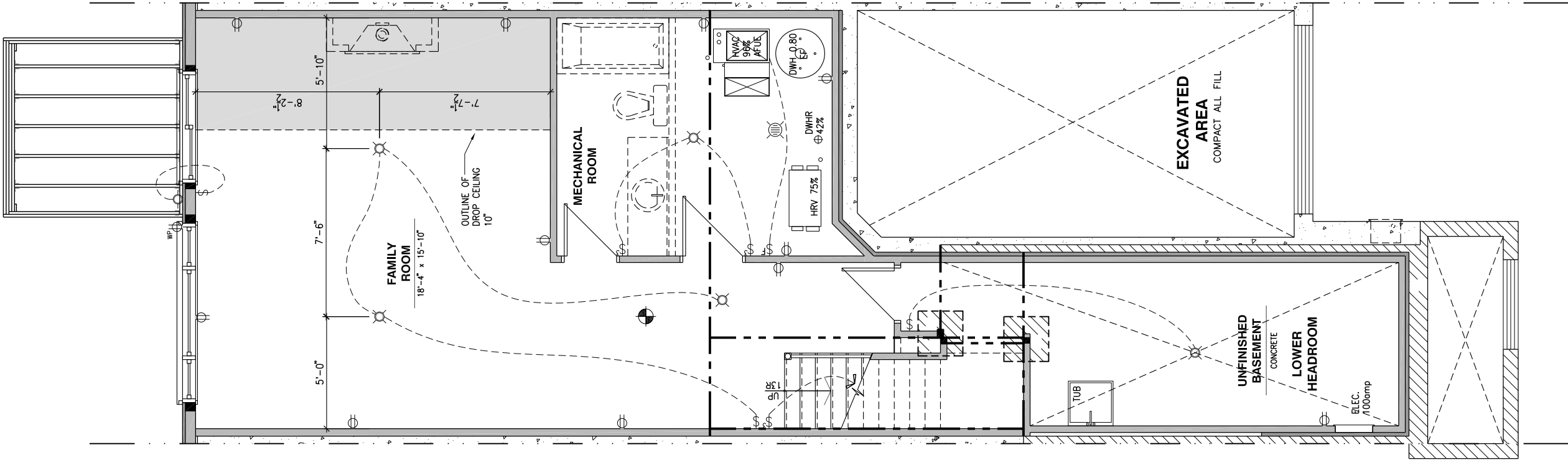
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.1a

ELECTRICAL PLAN - BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
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- \$ FP FIREPLACE SWITCH
- \$ DUPLX OUTLET (12" HIGH)
- \$ DUPLX OUTLET (UPPER HALF SWITCH)
- \$ GFI GROUND FAULT INTERVOLT
- \$ WP WEATHER PROOF DUPLX OUTLET
- \$ SPLIT OUTLET
- \$ 220 VOLT OUTLET
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- \$ CEILING MOUNTED LIGHT FIXTURE
- \$ POT LIGHT
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
BASEMENT - WALKOUT

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

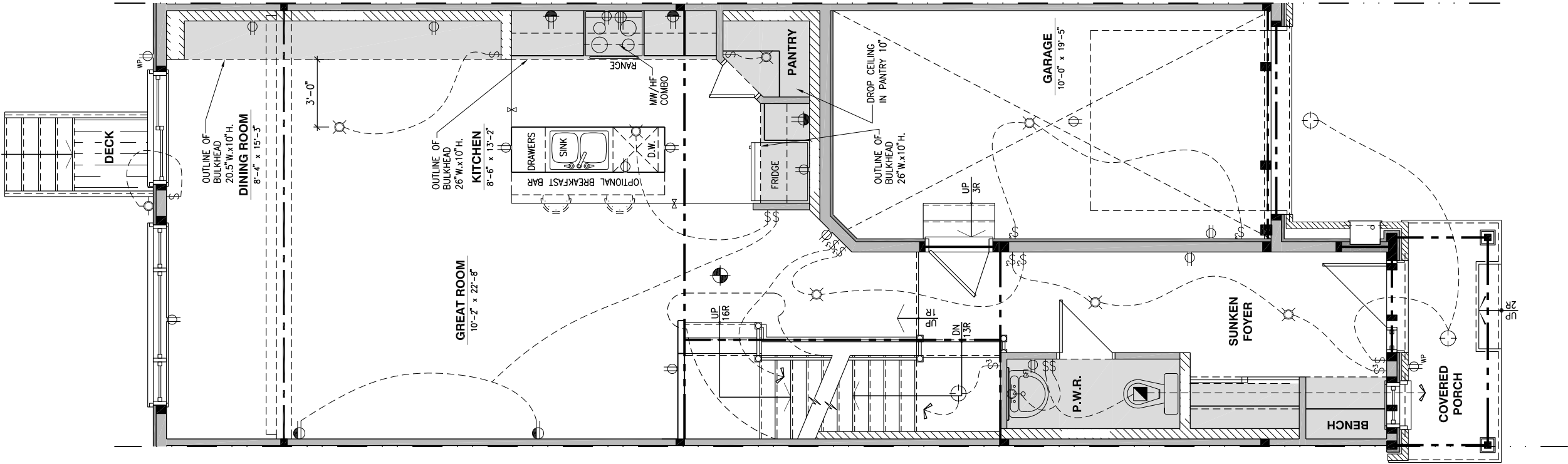
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.1b

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

REV	DESCRIPTION	DATE	BY
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REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

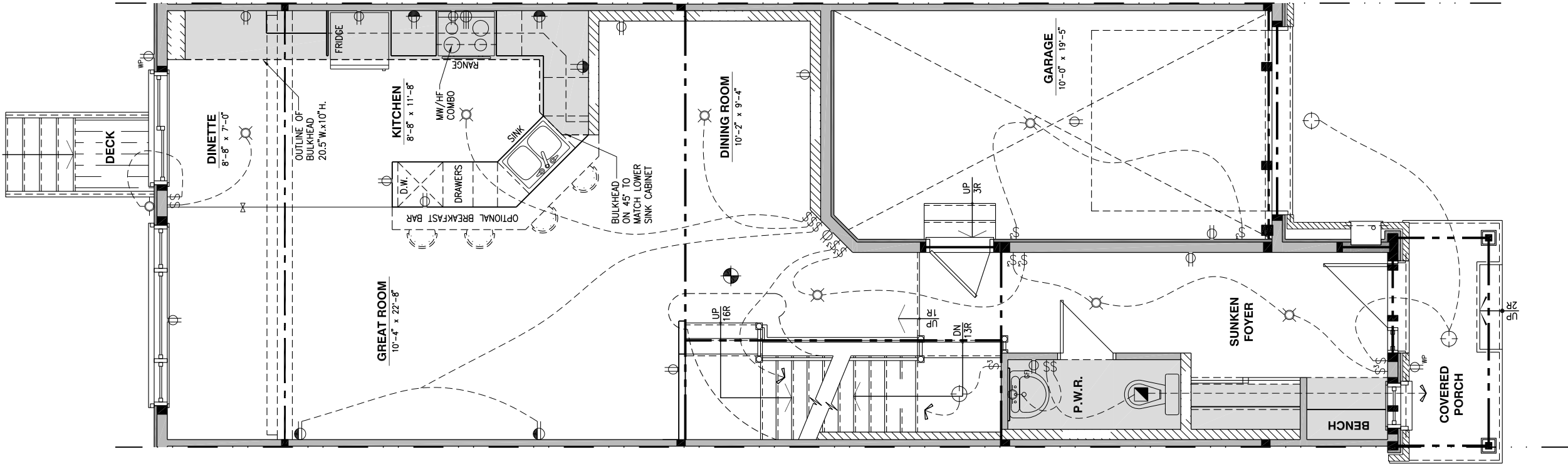
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2a

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

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- \$ SINGLE POLE SWITCH
- \$ 3 WAY SWITCH
- \$ 4 WAY SWITCH
- \$ FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
- ⊕ DUPLEX OUTLET (UPPER HALF SWITCH)
- ⊕GFI GROUND FAULT INTERVOLT
- ⊕WP WEATHER PROOF DUPLEX OUTLET
- ⊕ SPLIT OUTLET
- ⊕ 220 VOLT OUTLET
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ POT LIGHT
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

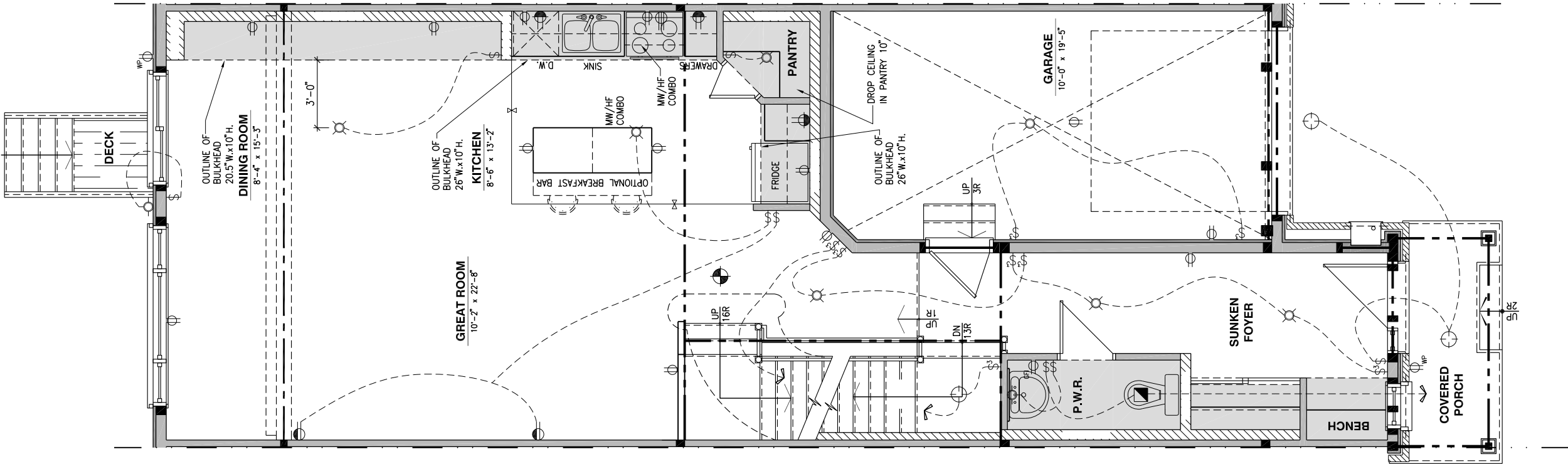
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2b

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$FP FIREPLACE SWITCH
- ⊕ DUPLEX OUTLET (12" HIGH)
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

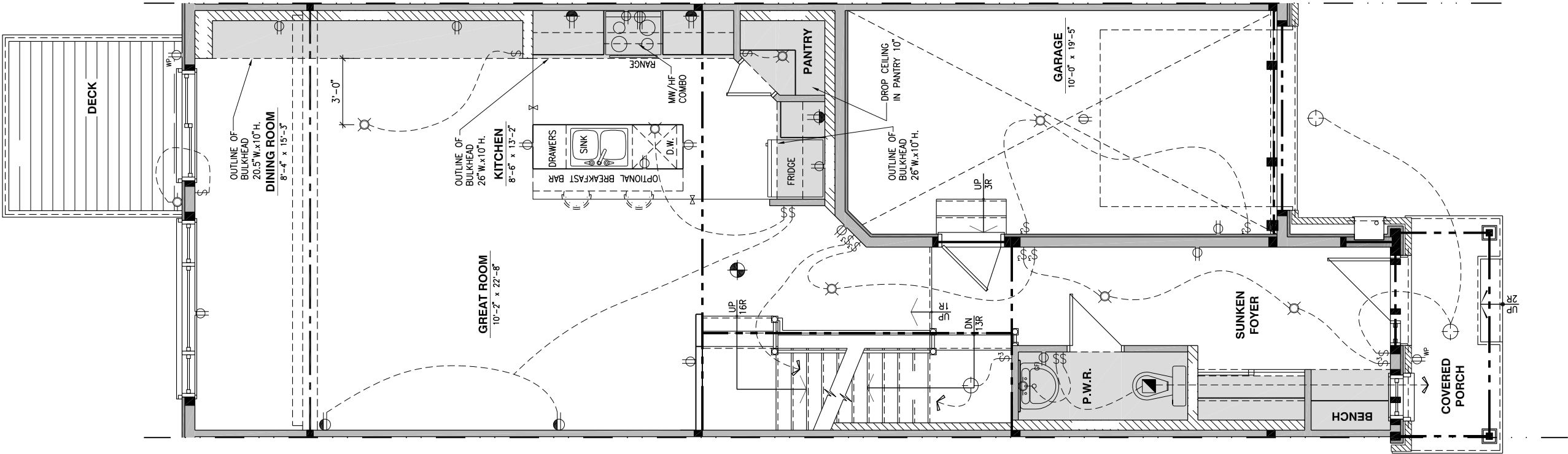
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2c

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

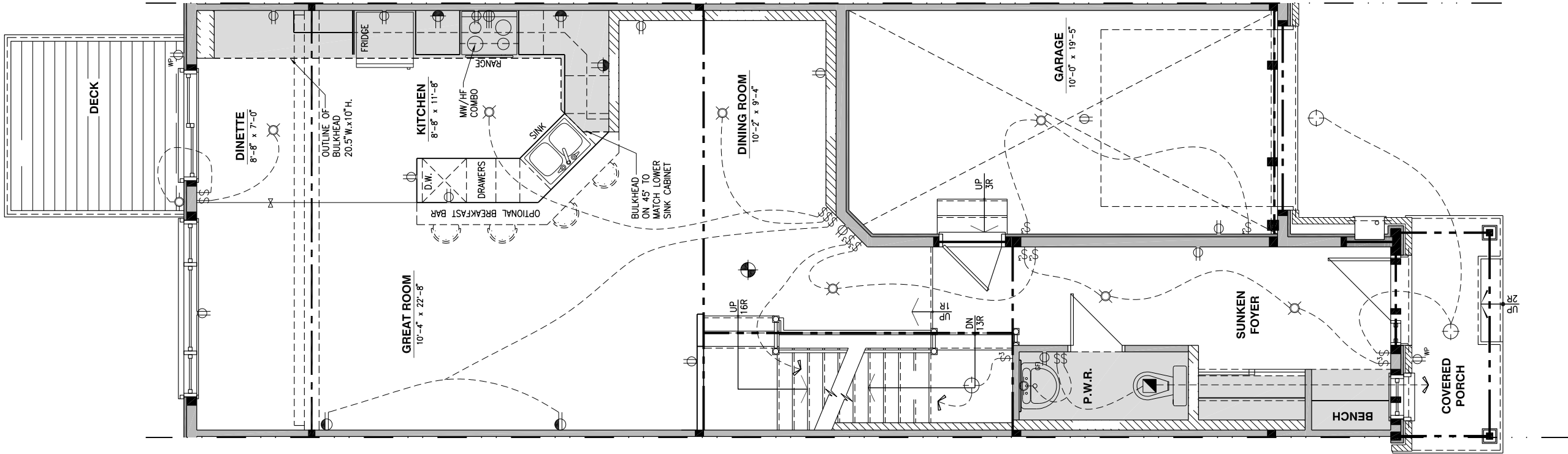
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2d

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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DRAWING: ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

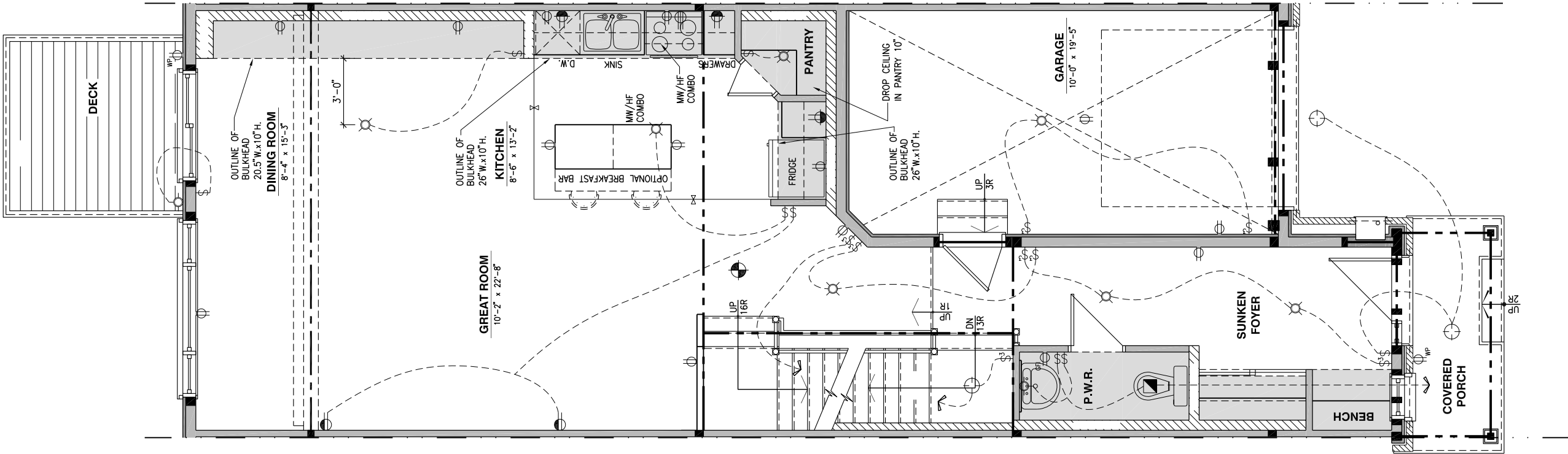
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2e

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN
GROUND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

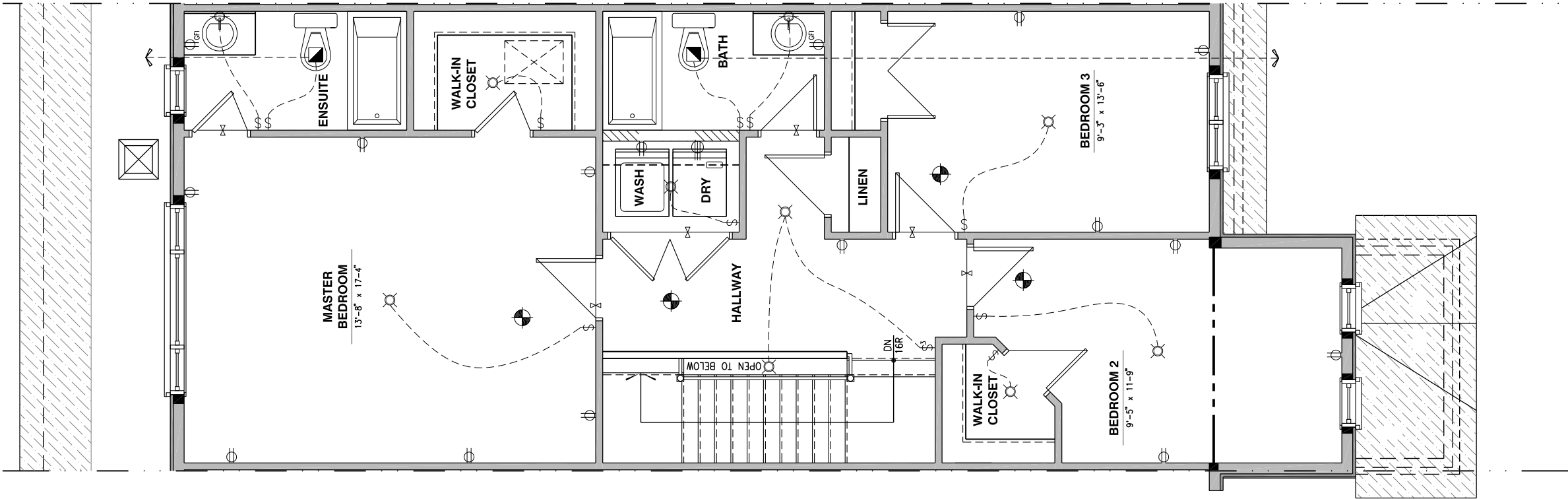
120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.2f

ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR

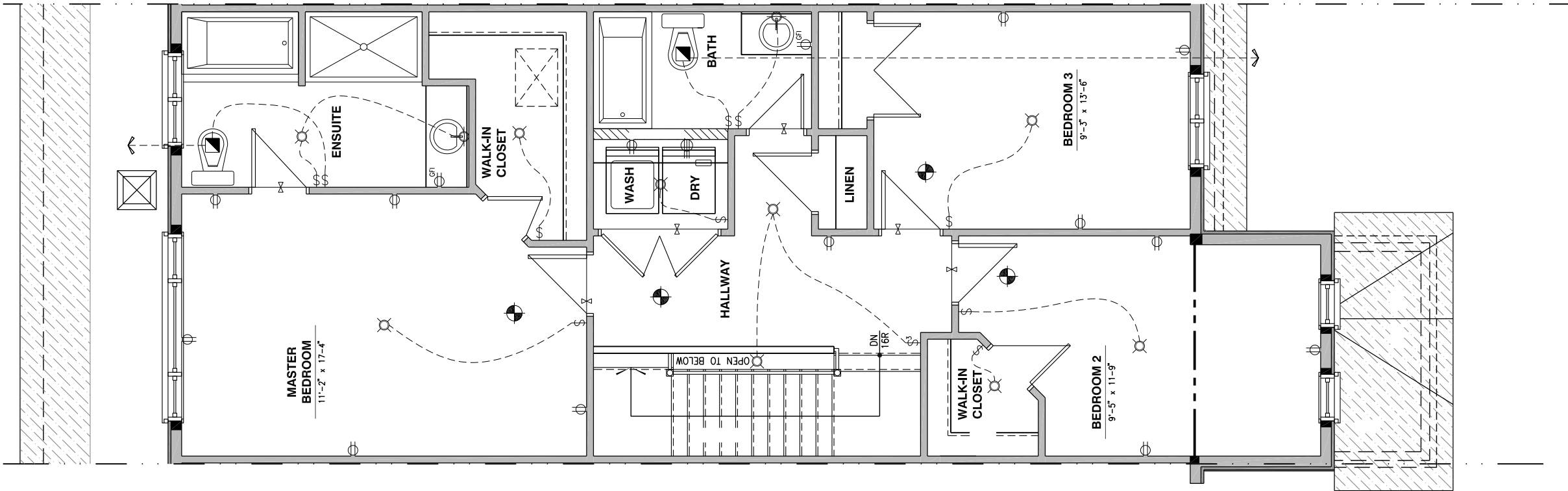
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3a

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 4 PC ENSUITE

SCALE: 3/16" = 1'-0"



LOT: XXXX
DATE: XX/XX/XXXX



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- \$WP WEATHER PROOF DUPLEX OUTLET
- \$ SPLIT OUTLET
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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: ELECTRICAL PLAN
SECOND FLOOR

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:

E.3b

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 5 PC ENSUITE

SCALE: 3/16" = 1'-0"

N/A

LOT:XXXX
DATE:XX/XX/XXXX



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- \$


SINGLE POLE SWITCH
- \$3


3 WAY SWITCH
- \$4


4 WAY SWITCH
- \$F


FURNACE SWITCH
- \$FP


FIREPLACE SWITCH
- 


DUPLEX OUTLET (12" HIGH)
- 


DUPLEX OUTLET (UPPER HALF SWITCH)
- 


GFI GROUND FAULT INTERVOLT
- 


WEATHER PROOF DUPLEX OUTLET
- 


SPLIT OUTLET
- 

220 VOLT OUTLET
- 

WALL MOUNTED LIGHT FIXTURE
- 

CEILING MOUNTED LIGHT FIXTURE
- 

POT LIGHT
- 

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
 - SHALL HAVE A VISUAL SIGNALING DEVICE;
 - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
 - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
 - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND
 - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- 

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:

ELECTRICAL PLAN
SECOND FLOOR

ADDRESS:
xx

SCALE:
3/16" = 1'-0"

DATE:
xx/xx/xxxx

120 - THE HUNTLEY
2020 FOOTPRINT
(STANDARD DRAWINGS)

SHEET:
E.3c