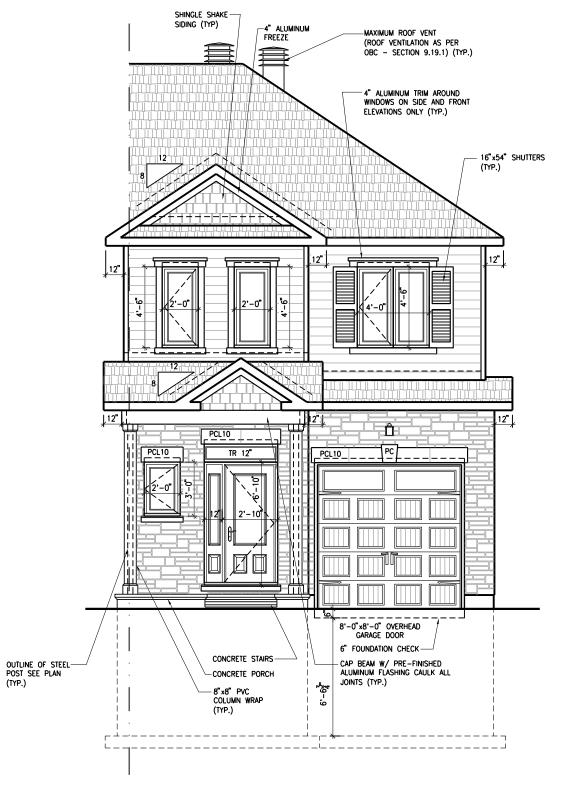
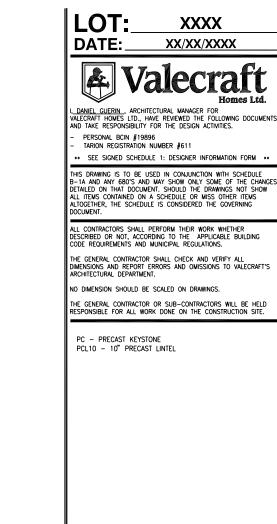


FRONT ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"

(A.la





2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING:

FRONT ELEVATION - END UNITS

ADDRESS: | SCALE: | DATE: | XX/XX/XXXX

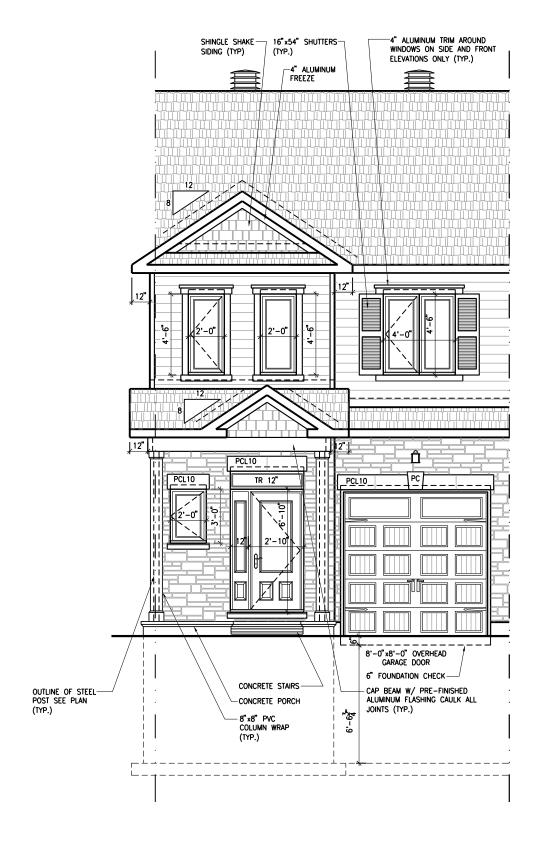
120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.1a

SHEET

SCALE: 3/16" = 1'-0"





LOT: XXXX DATE: XX/XX/XXXX



I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ••

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT, SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYOR
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION		MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

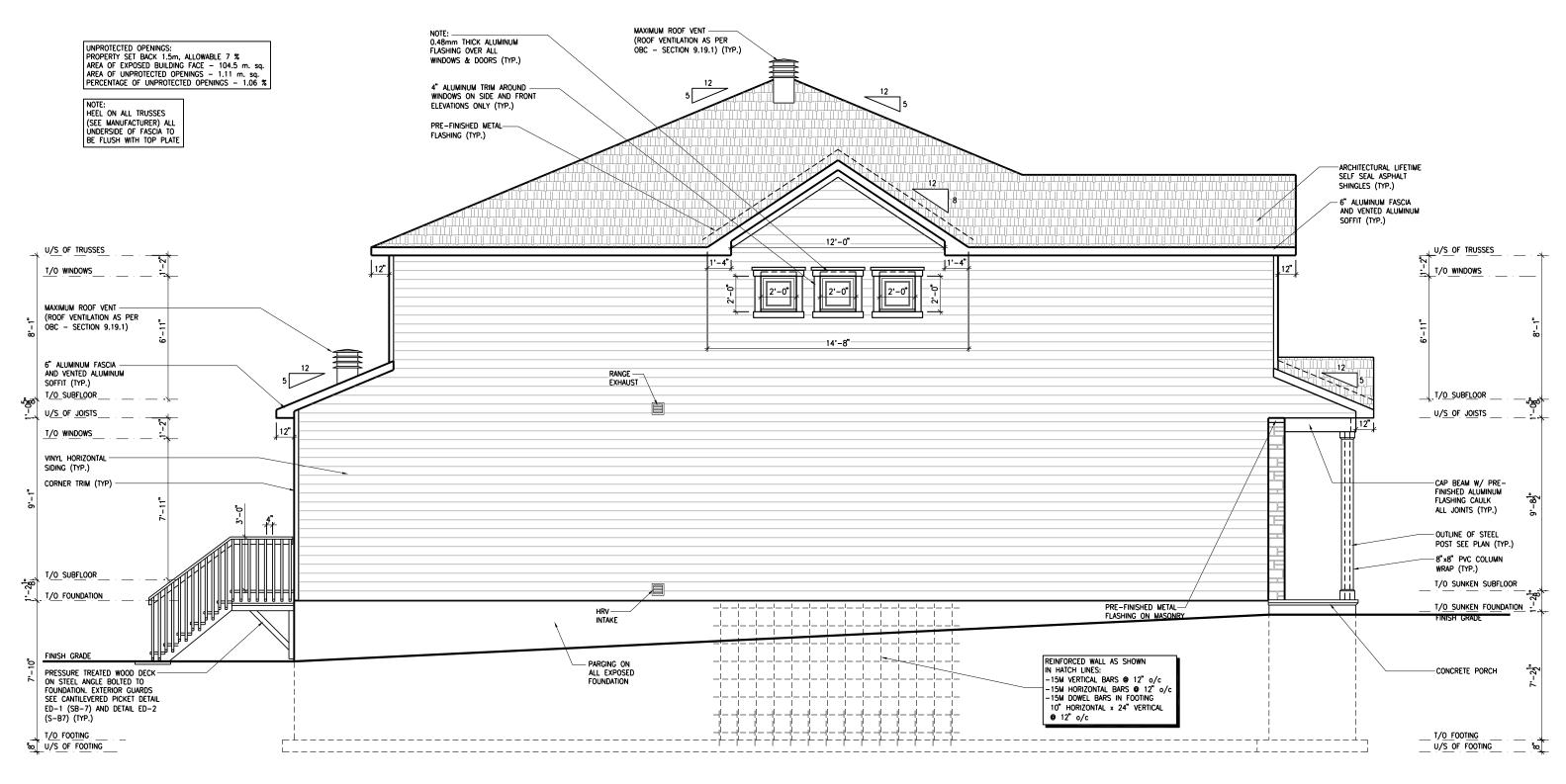
FRONT ELEVATION - MID UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.1b





LEFT ELEVATION - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX

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D – THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION STIE.

SITE.

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I<u>, Daniel Guerin</u>, architectural manager for Valegraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ** EV-4 NEW STANDARD DRWG MODIFICATION REV-3 AS PER STRUCTURAL REVIEW 03/20/2019 VH REV-2 AS PER STRUCTURAL REVIEW 11/07/2018 VH REV-2 AS PER STRUCTURAL REVIEW

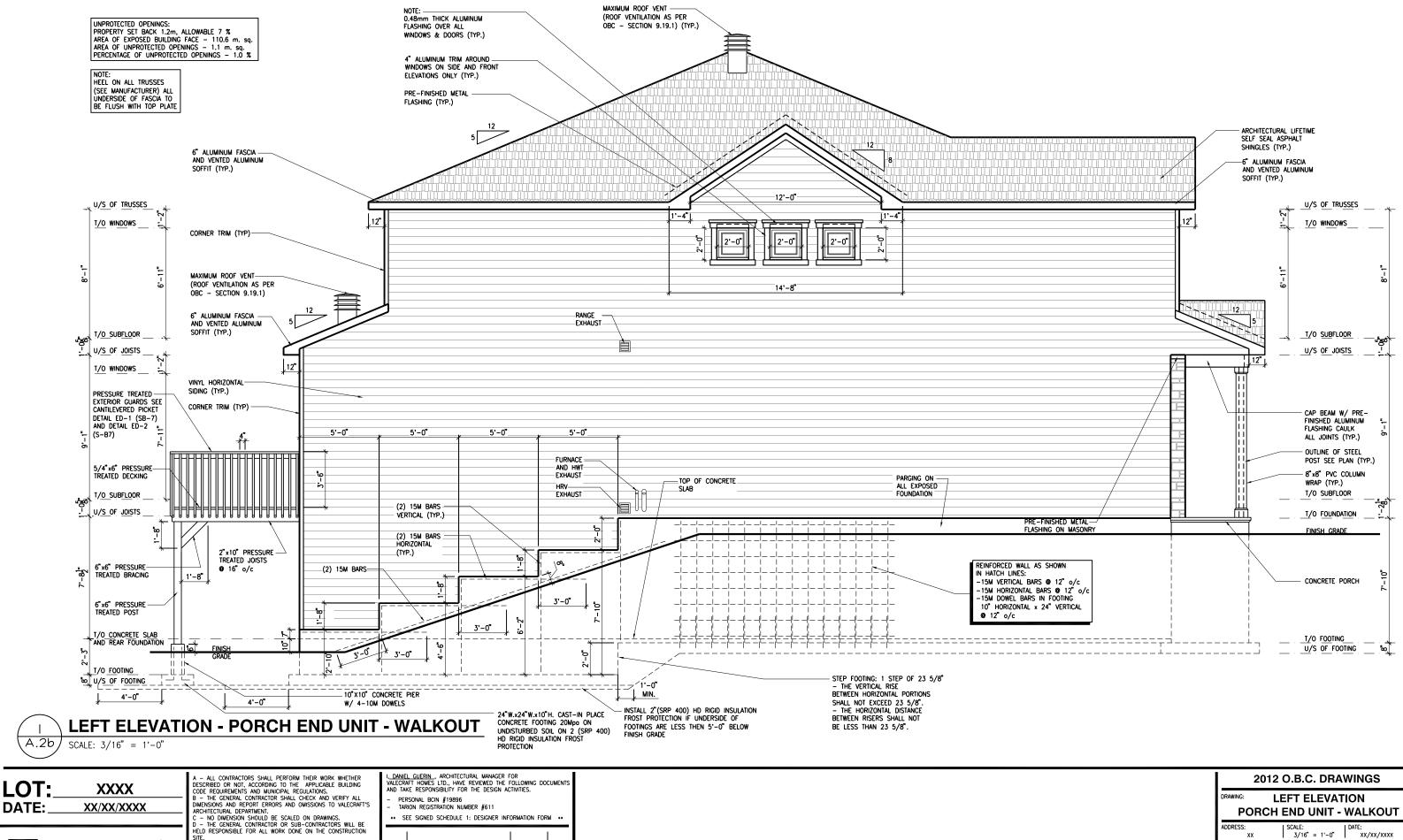
REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD

O DESCRIPTION MM/DD/YYYY BY

2012 O.B.C. DRAWINGS **LEFT ELEVATION PORCH END UNIT** ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT (STANDARD DRAWINGS)

A.2a



DATE:

SITE.

E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH
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DOCUMENT.

EV-4 NEW STANDARD DRWG MODIFICATION REV-3 AS PER STRUCTURAL REVIEW 03/20/2019 VH REV-2 AS PER STRUCTURAL REVIEW 11/07/2018 VH REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD

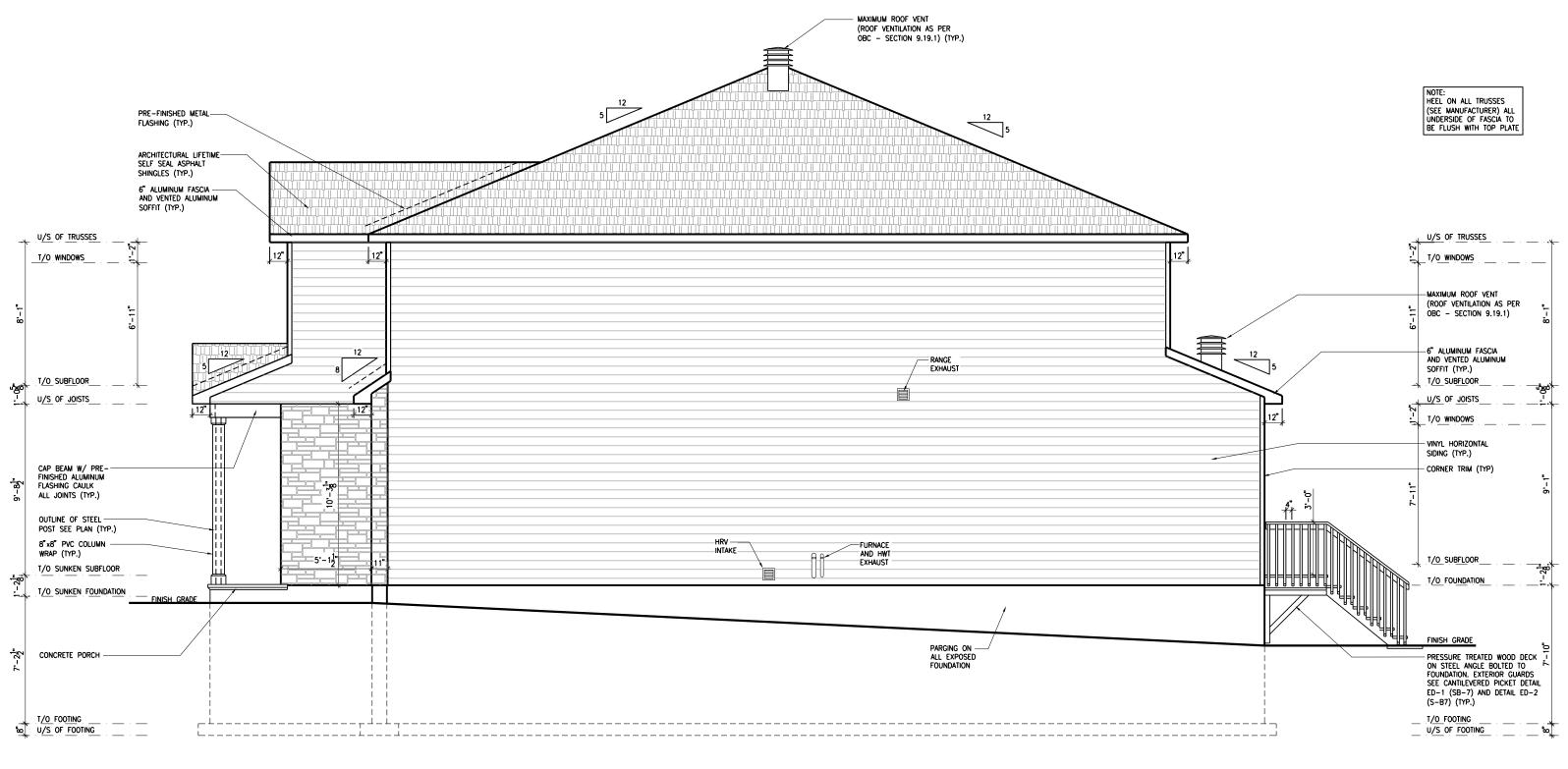
MM/DD/YYYY BY

DESCRIPTION

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT (STANDARD DRAWINGS)

A.2b





RIGHT ELEVATION - GARAGE END UNIT

 $\overline{\text{SCALE}}$: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT. ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALCERAFT'S ARCHITECTURAL DEPARTMENT.

C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION STIE.

SITE.

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I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM ** REV-4 NEW STANDARD DRWG MODIFICATION REV-3 AS PER STRUCTURAL REVIEW 03/20/2019 VH REV-2 AS PER STRUCTURAL REVIEW 11/07/2018 VH
 REV-1
 NEW STANDARD DRWG MODIFICATION
 11/13/2017
 MAD

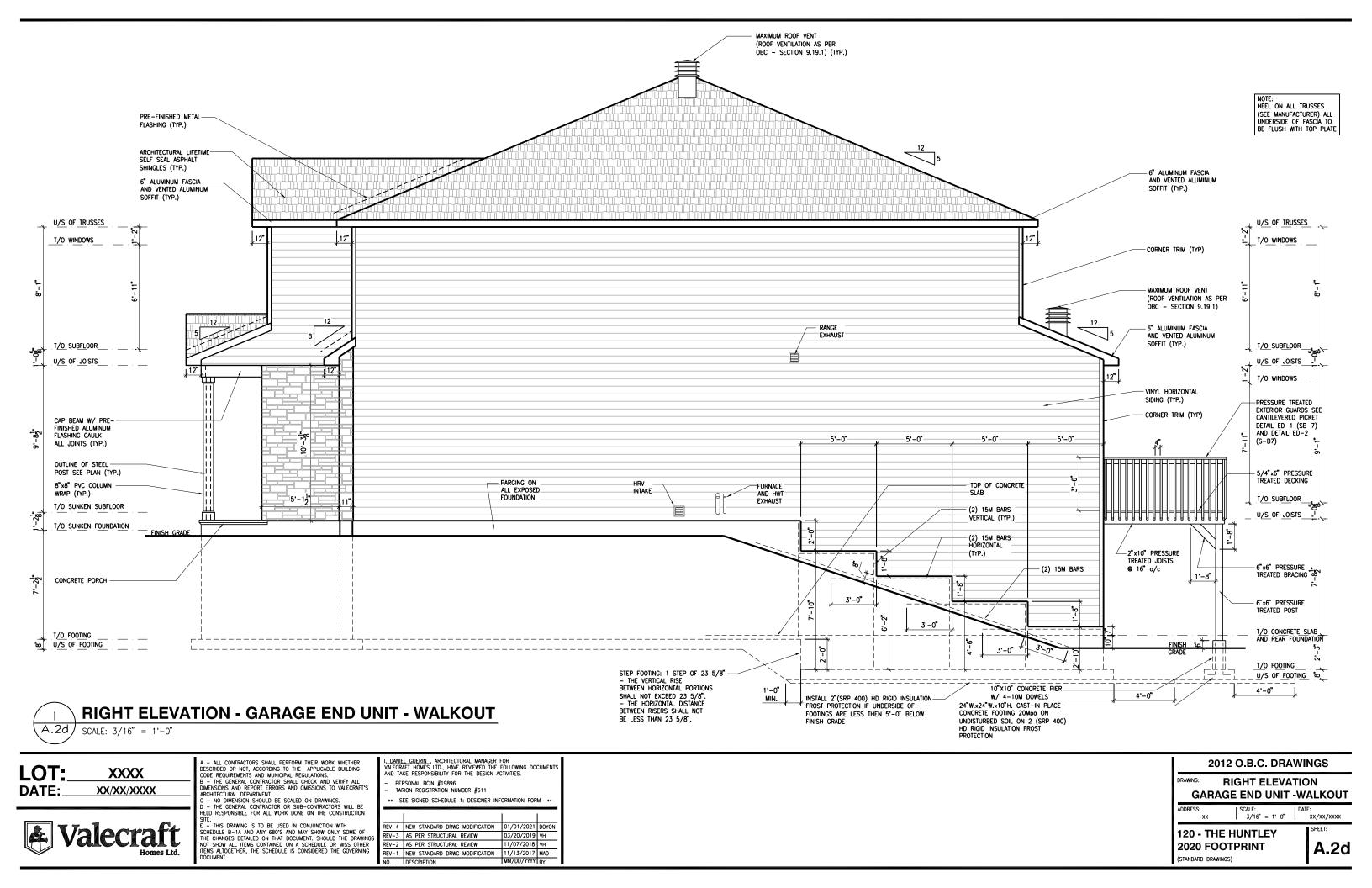
 NO.
 DESCRIPTION
 MM/DD/YYYY
 BY

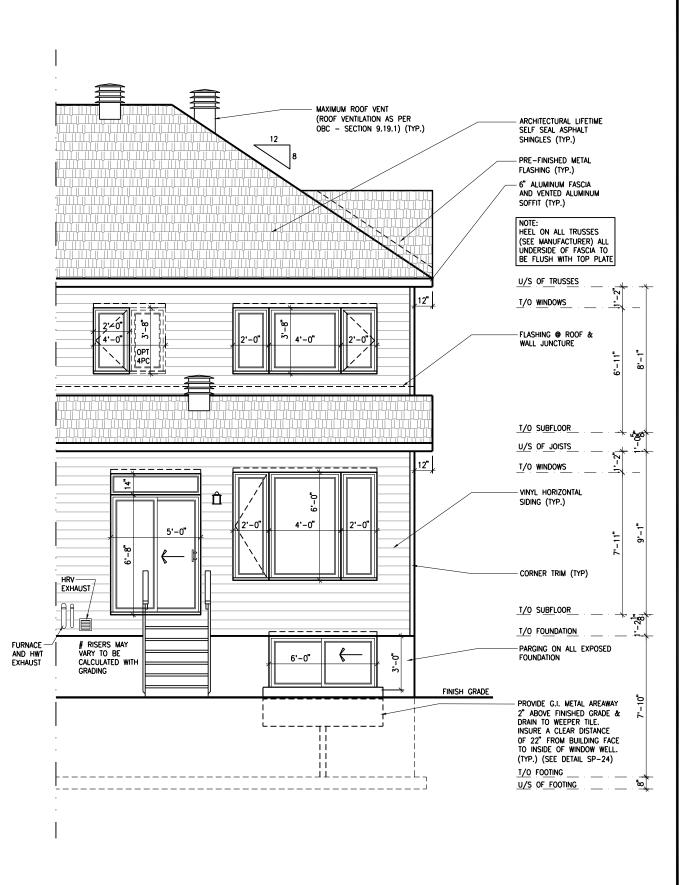
2012 O.B.C. DRAWINGS RIGHT ELEVATION **GARAGE END UNIT**

ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT (STANDARD DRAWINGS)

A.2c



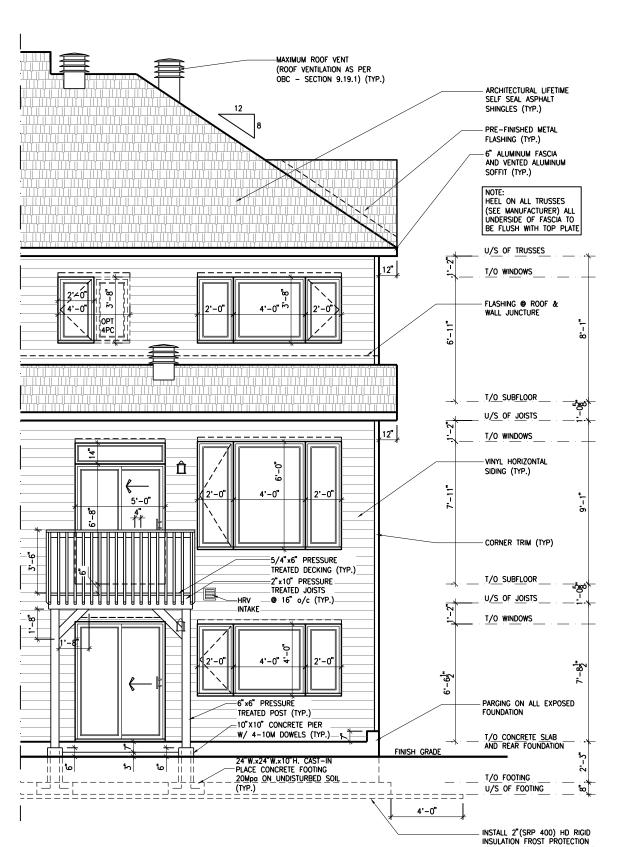


REAR ELEVATION - PORCH END UNIT

(A.2e)

REAR ELEVATION - PORCH END UNIT - WALKOUT

SCALE: 3/16" = 1'-0"



LOT: **XXXX** XX/XX/XXXX



I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION		MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

REAR ELEVATION

PORCH END UNITS

IF UNDERSIDE OF FOOTINGS ARE

LESS THEN 5'-0" BELOW FINISH

xx/xx/xxxx SHEET

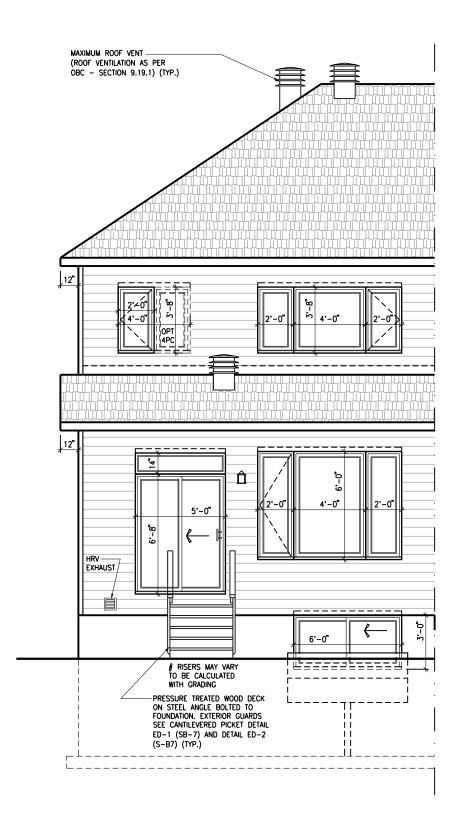
120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.2e

SCALE: 3/16" = 1'-0"

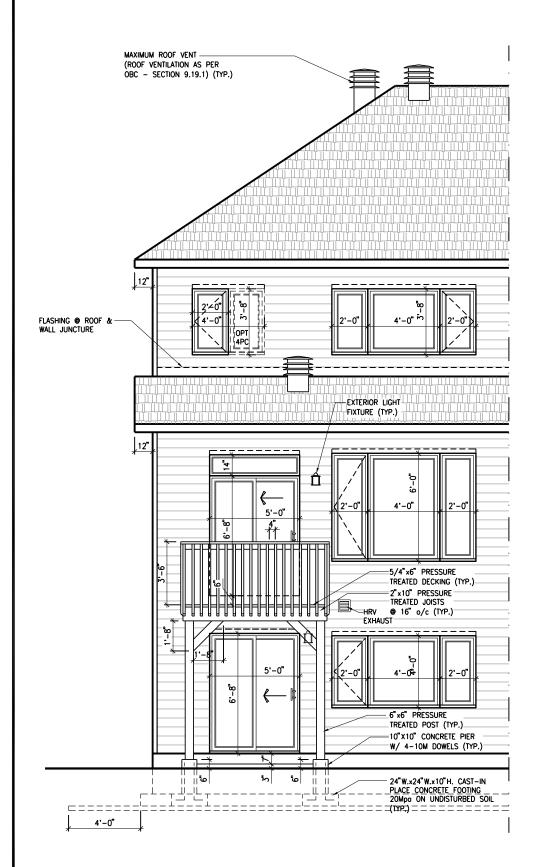
(A.2e)





REAR ELEVATION - GARAGE END UNIT

SCALE: 3/16" = 1'-0"



REAR ELEVATION - GARAGE END UNIT - WALKOUT

LOT: XXXX DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

DRWG MODIFICATION	01/01/2021	DOYON
CTURAL REVIEW	03/20/2019	VH
CTURAL REVIEW	11/07/2018	VH
DRWG MODIFICATION	11/13/2017	
	MM/DD/YYYY	BY
	CTURAL REVIEW D DRWG MODIFICATION	CTURAL REVIEW 11/07/2018

REAR ELEVATION

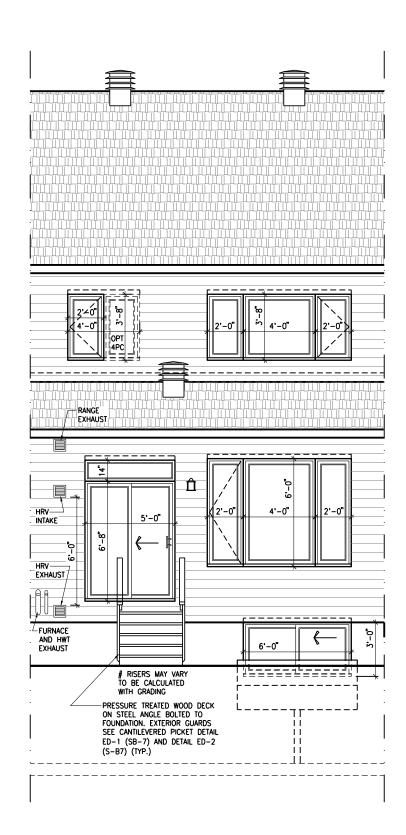
GARAGE END UNITS | SCALE: | 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

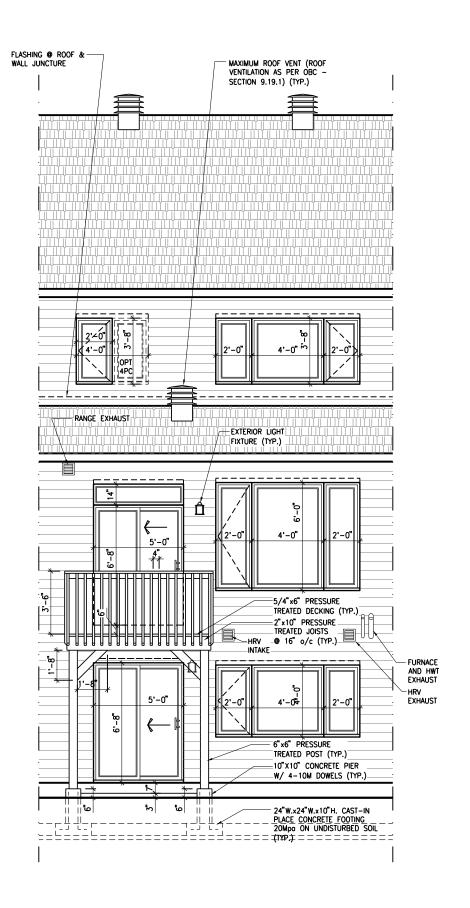
A.2f

xx/xx/xxxx

(STANDARD DRAWINGS)







REAR ELEVATION - MID UNIT - WALKOUT (A.2g) SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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PC - PRECAST KEYSTONE PCL10 - 10" PRECAST LINTEL

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

REAR ELEVATION - MID UNITS

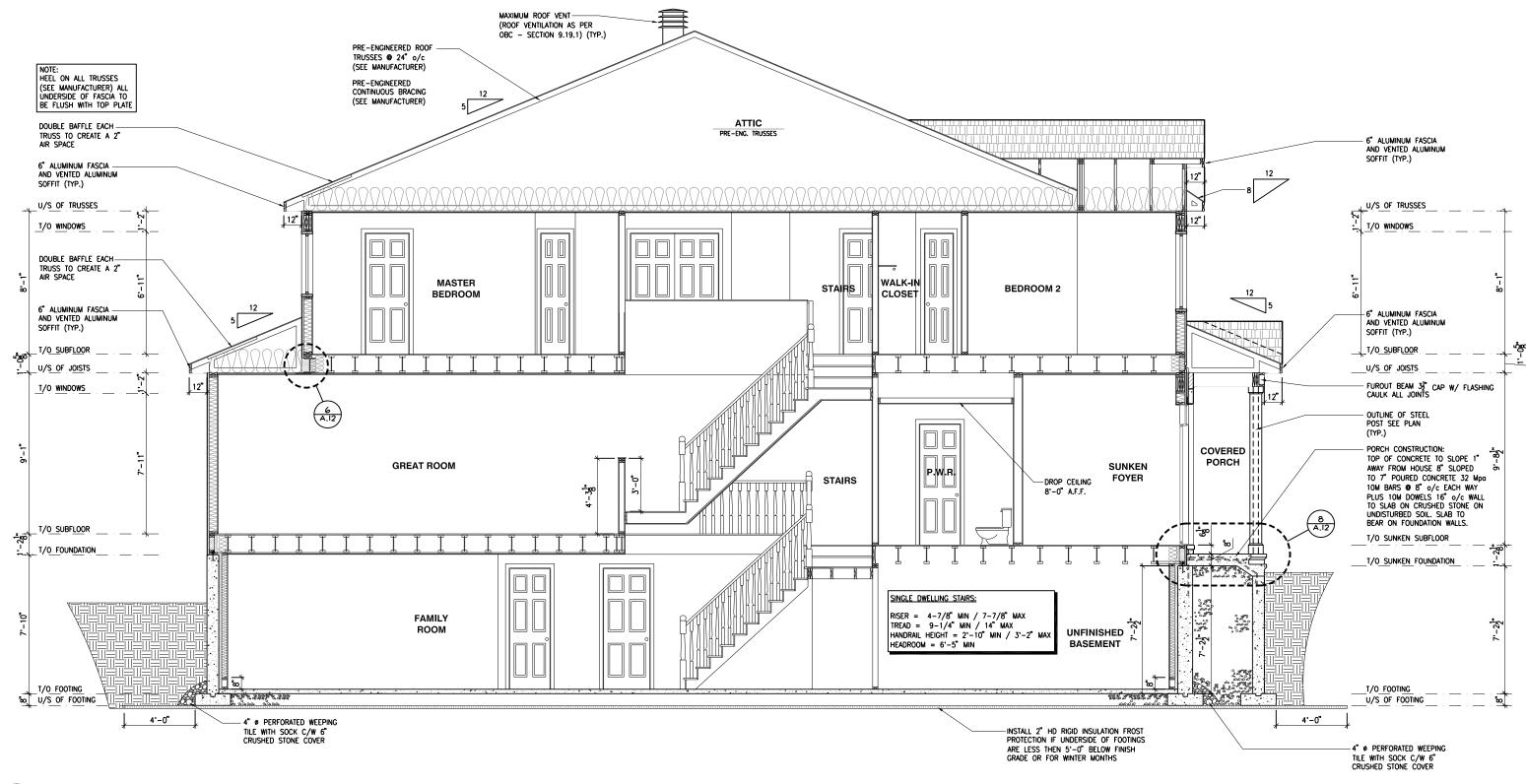
| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

120 - THE HUNTLEY 2020 FOOTPRINT

A.2g

SHEET

(STANDARD DRAWINGS)





BUILDING SECTION

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX

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PERSONAL BCIN #19896
TARION REGISTRATION NUMBER #611

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REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	٧H
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1		11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

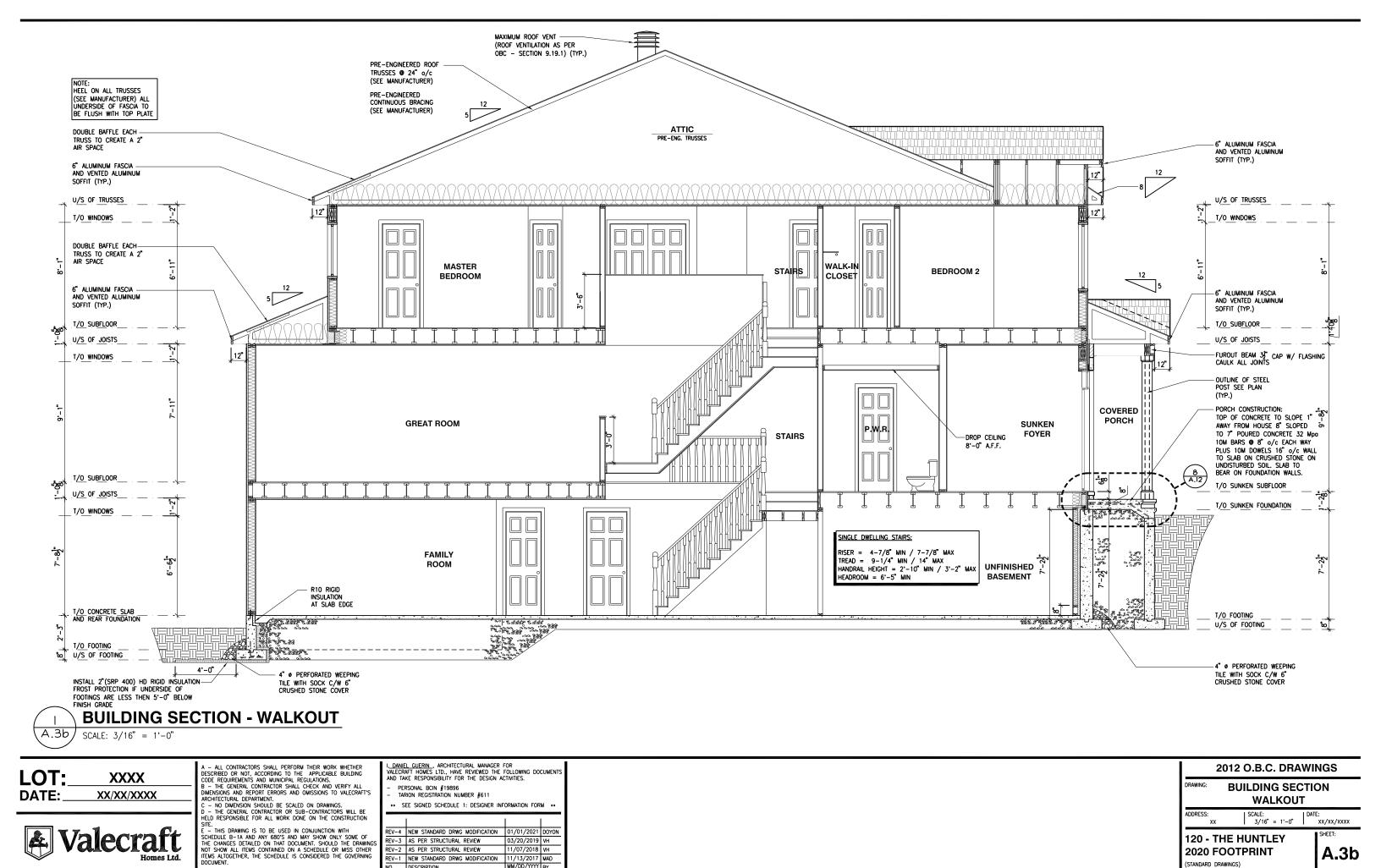
2012 O.B.C. DRAWINGS

BUILDING SECTION

ADDRESS: SCALE: 3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT (STANDARD DRAWINGS)

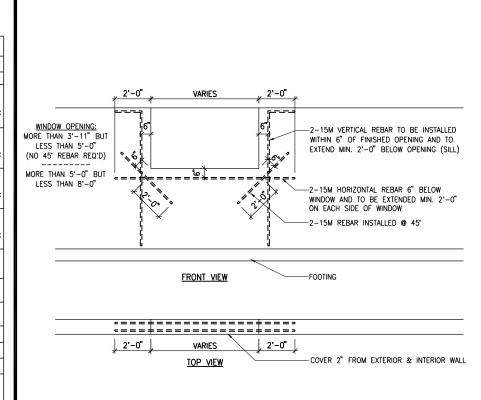
A.3a



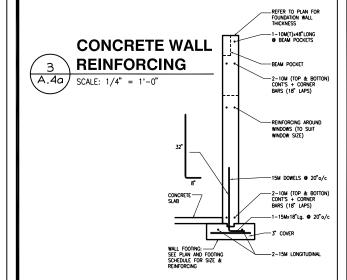
DESCRIPTION

MM/DD/YYYY BY

	FOOTING SCHEDULE					
	ALLOWABLE SOIL BEARING CAR	PACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D)	>		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa		
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS		40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS			
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	3-15M LONGITUDINAL BARS		
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS		
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS		
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS		
	PAI	FOOTING SCHED	JLE			
	ALLOWABLE SOIL BEARING CAR	PACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D))		
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa		
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY		
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 12"H.		



BASEMENT WINDOW REINFORCING





XXXX

PERSONAL BCIN #19896

LOT:

- TARION REGISTRATION NUMBER #611

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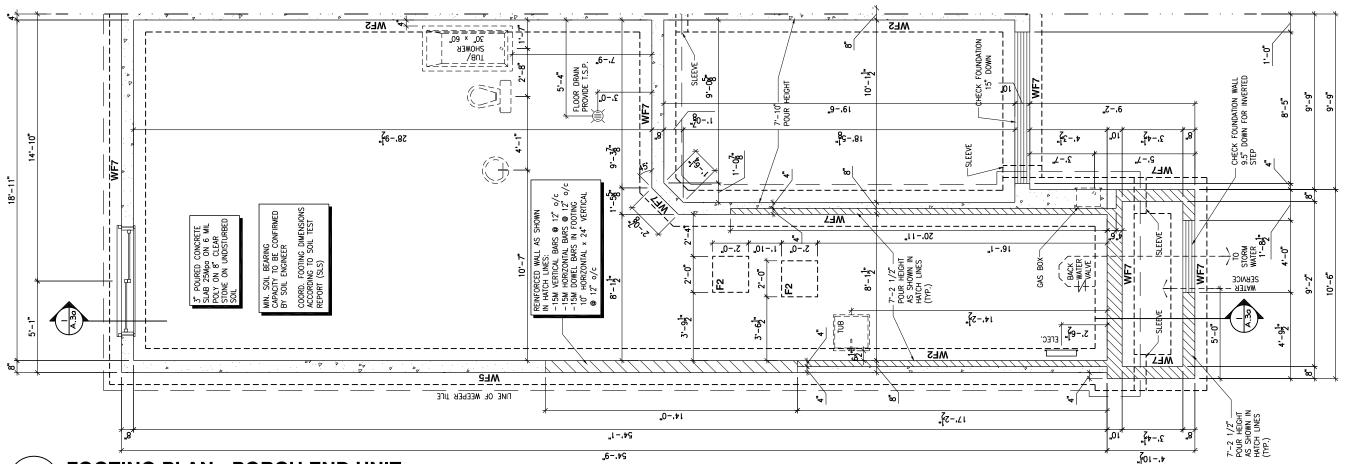
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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- Footings have been designed for the allowable soil bearing capacity or bearing resistance at SLS and design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
 AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION:
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.



(2) (A.4a)

SCALE: 3/16" = 1'-0"

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

FOOTING PLAN -PORCH END UNIT

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

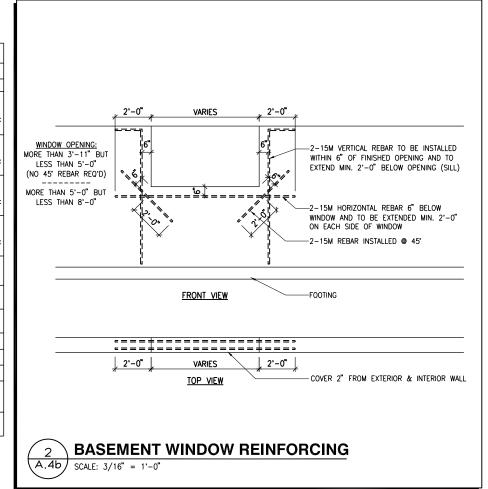
(STANDARD DRAWINGS)

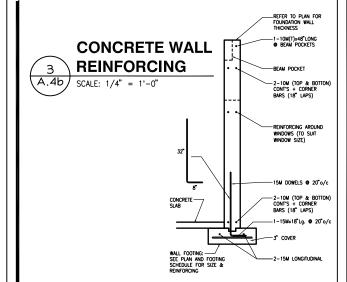
A.4a

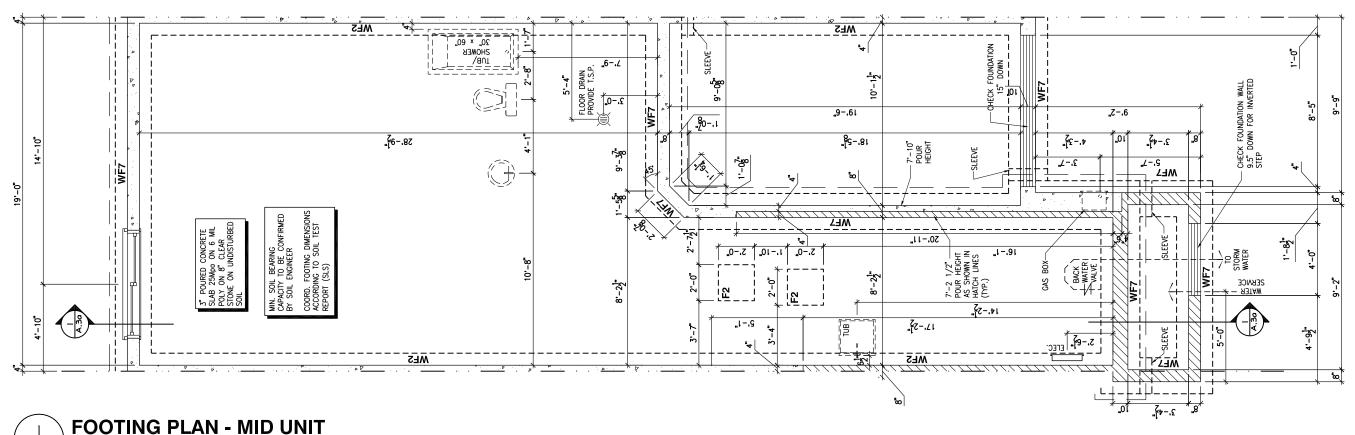
SHEET

FOOTING PLAN - PORCH END UNIT

	FOOTING SCHEDULE					
	ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
		· · · · · · · · · · · · · · · · · · ·				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa		
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS		
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS		
WF3	26"W. x 8"H. 2-15M LONGITUDINAL BARS	30"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	42"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 38" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
WF4	24"W. x 8"H. 2-15M LONGITUDINAL BARS	28"W. x 8"H. 2-15M LONGITUDINAL BARS	32"W. x 8"H. 2-15M LONGITUDINAL BARS	38"x8" DP. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS		
WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS		
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS		
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS		
	PAſ	D FOOTING SCHEDU	JLE			
	ALLOWABLE SOIL BEARING CAP	PACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D»	»		
POST FOOTINGS	100KPa	85KPa	75KPa	60KPa		
F1	36"W.x36"W.x10"H. 3-15M LONGITUDINAL BARS x 30" LONG EACH WAY	38"W.x38"W.x10"H. 3-15M LONGITUDINAL BARS x 32" LONG EACH WAY	40"W.x40"W.x10"H. 3-15M LONGITUDINAL BARS x 34" LONG EACH WAY	44"W.x44"W.x10"H. 3-15M LONGITUDINAL BARS x 38" LONG EACH WAY		
F2	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	24"W. x 24"W. x 10"H.	28"W. x 28"W. x 12"H.		







LOT: **XXXX** XX/XX/XXXX DATE:

I, <u>Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

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- TARION REGISTRATION NUMBER #611

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- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
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2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

FOOTING PLAN - MID UNIT

3/16" = 1'-0" XX/XX/XXXX

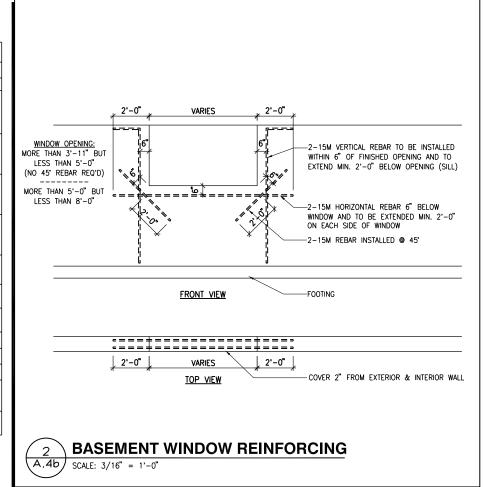
120 - THE HUNTLEY 2020 FOOTPRINT

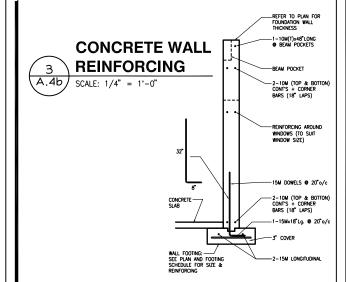
SHEET A.4b

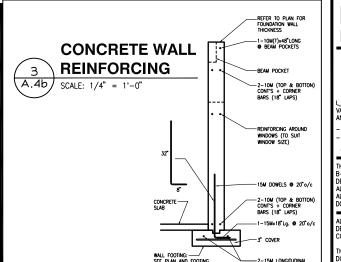
SCALE: 3/16" = 1'-0"

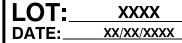
(A.4b)

	FOOTING SCHEDULE					
	ALLOWABLE SOIL BEARING CAP	· · · · · · · · · · · · · · · · · · ·				
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa		
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS	36"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 32" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS			
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	46"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS		
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WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS		
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS		
	PA	D FOOTING SCHEDU	JLE			
	ALLOWABLE SOIL BEARING CAP	PACITY / BEARING RESISTANCE	AT SLS FOR «SITE CLASS:D)	"		
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I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

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- TARION REGISTRATION NUMBER #611

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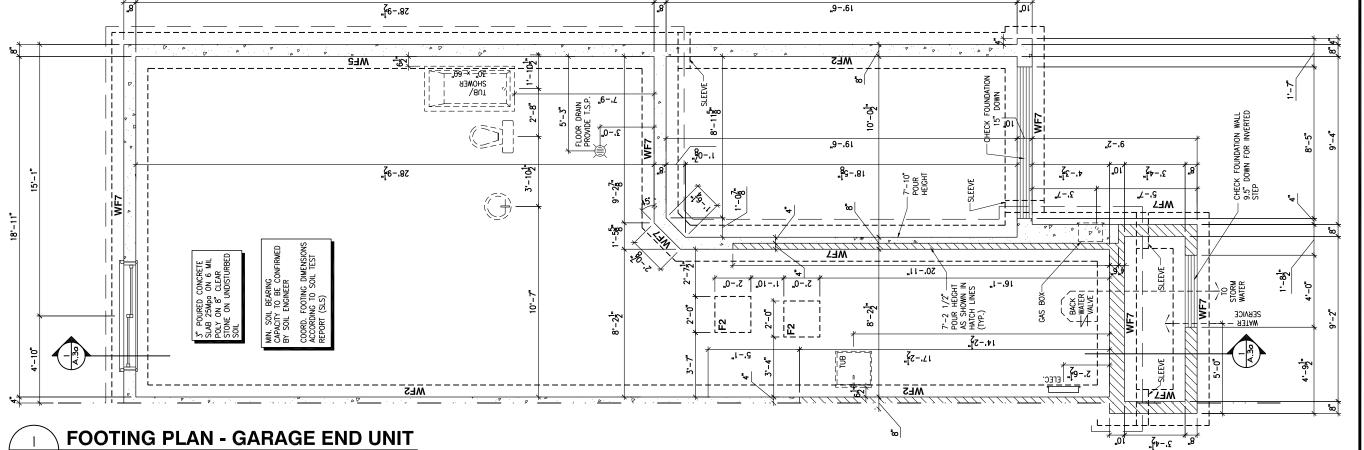
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2012 O.B.C. DRAWINGS

NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
AS PER STRUCTURAL REVIEW	03/20/2019	VH
AS PER STRUCTURAL REVIEW	11/07/2018	VH
NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
DESCRIPTION	MM/DD/YYYY	BY
	AS PER STRUCTURAL REVIEW AS PER STRUCTURAL REVIEW NEW STANDARD DRWG MODIFICATION	AS PER STRUCTURAL REVIEW 03/20/2019 AS PER STRUCTURAL REVIEW 11/07/2018 NEW STANDARD DRWG MODIFICATION 11/13/2017

FOOTING PLAN - GARAGE END

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

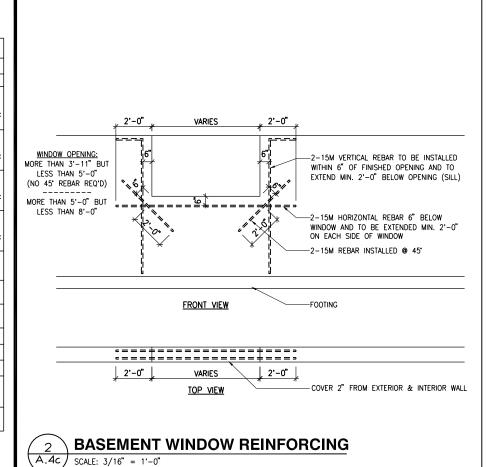
(STANDARD DRAWINGS)

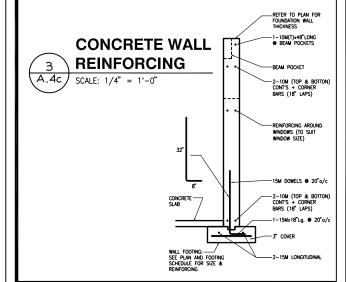
A.4c

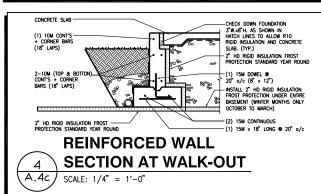
SHEET

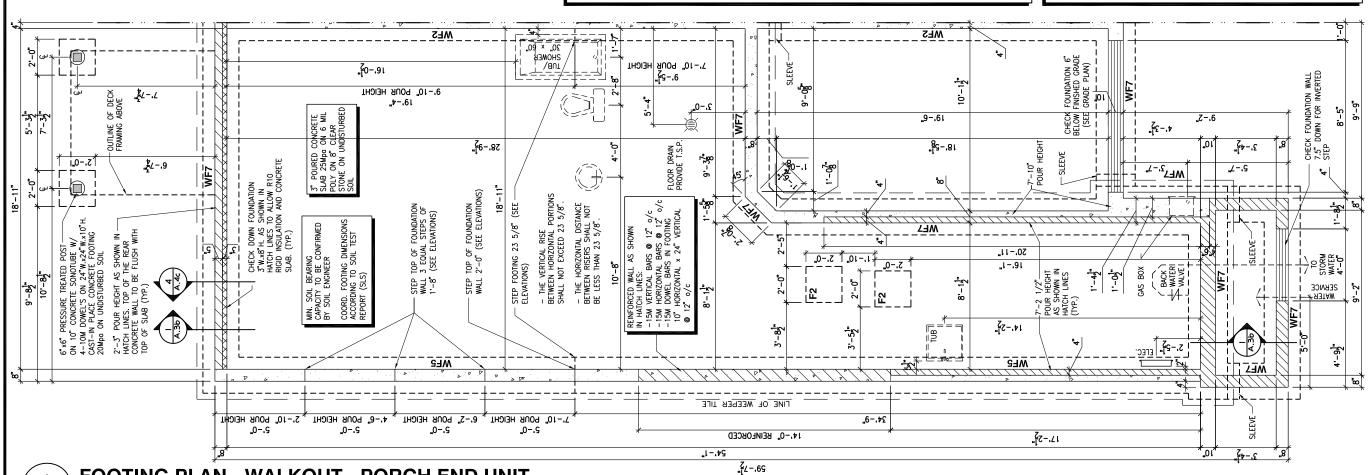
(A.4c

	FOOTING SCHEDULE					
	ALLOWABLE SOIL BEARING CAR	PACITY / BEARING RESISTANCE	E AT SLS FOR «SITE CLASS:D»	,		
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa		
WF1	30"W. x 8"H. 2-15M LONGITUDINAL BARS		40"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 36" LONG @ 20" o/c 3-15M LONGITUDINAL BARS	48"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 42" LONG @ 16" o/c 3-15M LONGITUDINAL BARS		
WF2	28"W. x 8"H. 2-15M LONGITUDINAL BARS	34"W. x 8"H. 2-15M LONGITUDINAL BARS	38"W. x 8"H. 15M TRANSVERSE BOTTOM BARS 34" LONG @ 20" o/c 3-15M LONGITUDINAL BARS			
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WF5	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	26"W. x 8"H. 2-15M LONGITUDINAL BARS	34"x8" DP. 2-15M LONGITUDINAL BARS		
WF6	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	24"W. x 8"H. 2-15M LONGITUDINAL BARS	30"x8" DP. 2-15M LONGITUDINAL BARS		
WF7	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	20"W. x 8"H. 2-15M LONGITUDINAL BARS	24"x8" DP. 2-15M LONGITUDINAL BARS		
	PAI	FOOTING SCHED	JLE			
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SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY
	REV-3 REV-2 REV-1	REV-3 AS PER STRUCTURAL REVIEW REV-2 AS PER STRUCTURAL REVIEW REV-1 NEW STANDARD DRWG MODIFICATION	REV-3 AS PER STRUCTURAL REVIEW 03/20/2019 REV-2 AS PER STRUCTURAL REVIEW 11/07/2018 REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017

FOOTING PLAN WALKOUT - PORCH END UNIT

SCALE: 3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

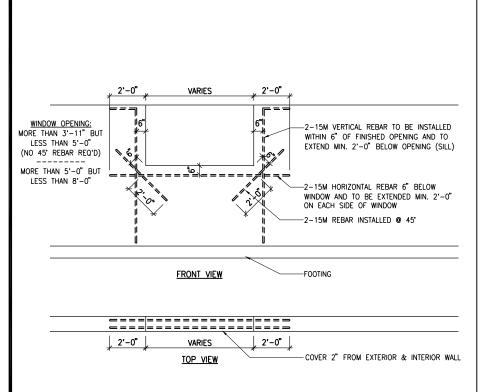
A.4d

SHEET

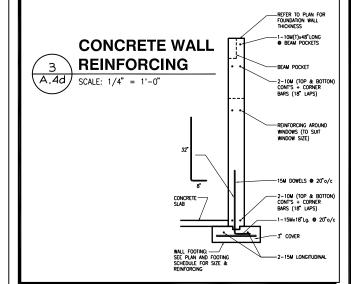
FOOTING PLAN - WALKOUT - PORCH END UNIT

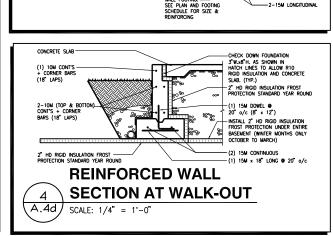
(A.4d *)*

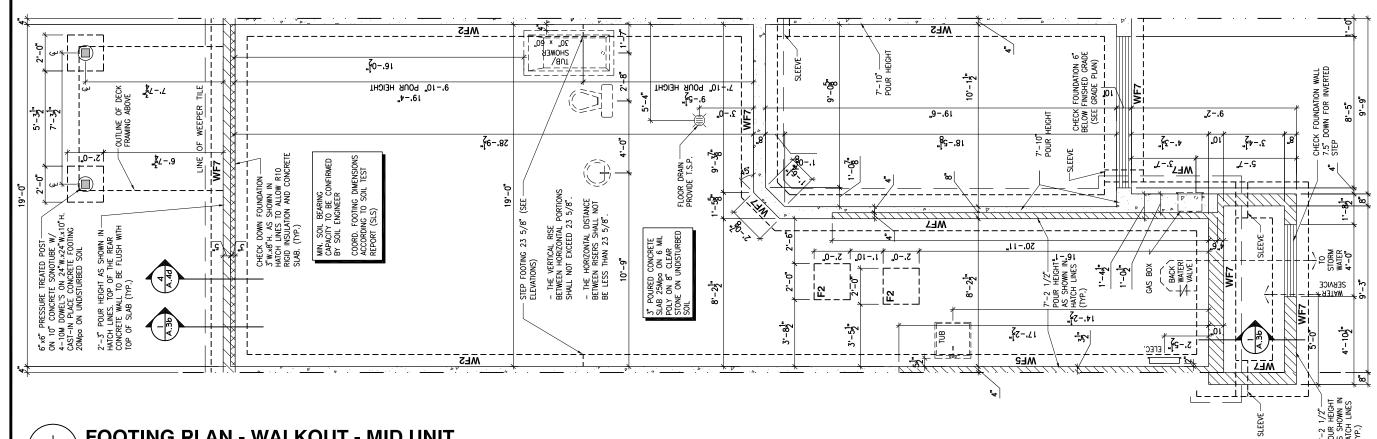
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BASEMENT WINDOW REINFORCING







 $\begin{pmatrix} 2 \\ A.4d \end{pmatrix}$

SCALE: 3/16" = 1'-0"

XXXX

XX/XX/XXXX

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PERSONAL BCIN #19896

LOT:

DATE:

- TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

his drawing is to be used in conjunction with schedule --1a and any 680's and May show only some of the Change 'Etailed on that document. Should the Drawings not show LL items contained on a schedule or Miss other items LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- FOOTINGS HAVE BEEN DESIGNED FOR THE ALLOWABLE SOIL BEARING CAPACITY OR BEARING RESISTANCE AT SLS AND DESIGN PARAMETERS OUTLINED IN A GEOTECHNICAL REPORT REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED
 AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
- FOR ALLOWABLE BEARING VALUES OUTSIDE OF THE FOOTING SCHEDULE, CONTACT THE STRUCTURAL ENGINEER FOR INSTRUCTIONS;
- CONCRETE STRENGTH @ 28 DAYS FOR FOOTINGS AND WALL = 20MPo AND CONCRETE FOR FOUNDATION WALLS SHOULD HAVE 6% (\pm 1%) AIR ENTRAINMENT;
- REINFORCING STEEL SHALL COMPLY TO G30.18 GRADE 400;
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FOUNDATION PLAN FOR THE SPECIFIC MODEL AND ARCHITECTURAL SPECIFICATION.

2012 O.B.C. DRAWINGS

	REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
	REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
	REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
	REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
.	NO.	DESCRIPTION	MM/DD/YYYY	BY

FOOTING PLAN WALKOUT - MID UNIT

3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

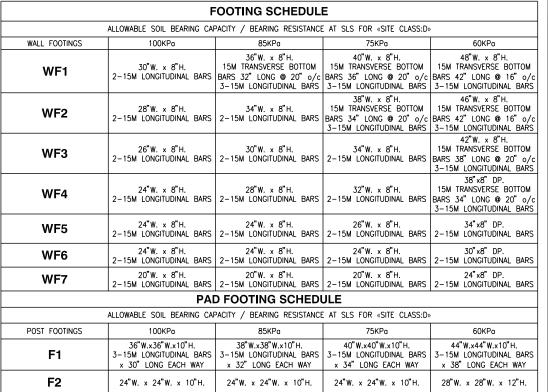
(STANDARD DRAWINGS)

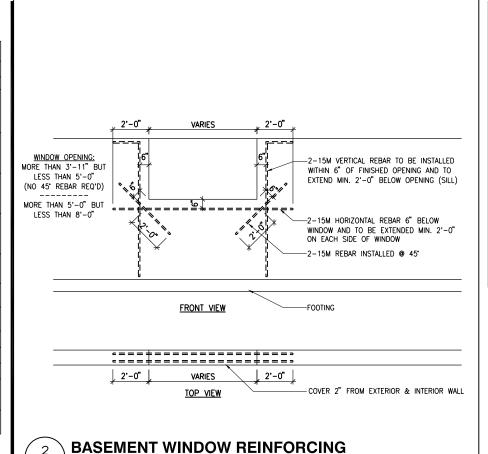
SHEET A.4e

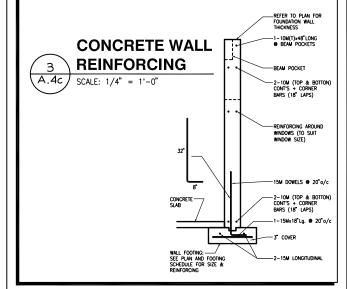
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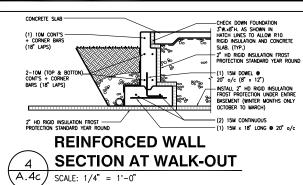
FOOTING PLAN - WALKOUT - MID UNIT

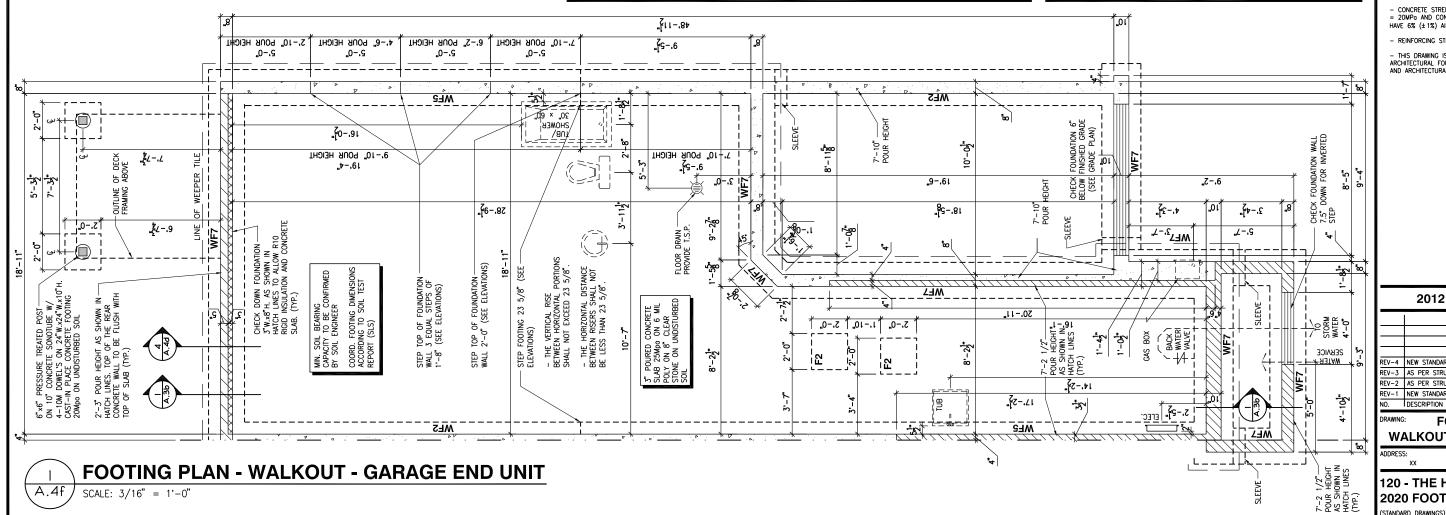
(A.4e)











SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



<u>Daniel Guerin</u>, architectural manager for MLECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS IND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611
- SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

- 1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

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IO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- Footings have been designed for the allowable soil Bearing capacity or bearing resistance at SLS and Design parameters outlined in a geotechnical report REPORT PREPARED BY PATERSON GROUP AND/OR OTHERS (AVAILABLE UPON REQUEST);
- BEARING STRATA TO BE INSPECTED AND THE BEARING VALUE AND UNDER SIDE OF FOOTING (USF) ELEVATION CONFIRMED BY GEOTECHNICAL CONSULTANT AT TIME OF EXCAVATION;
- THICKNESS OF L.W.F. IS SPECIFIED ON DRAWINGS.
 THICKNESS OF L.W.F. AT GARAGES, PORCHES AND PLACEMENT
 OF L.W.F. AT OTHER AREAS, IF REQUIRED, TO BE CONFIRMED AS PER GEOTECHNICAL CONSULTANTS RECOMMENDATIONS AT THE TIME OF EXCAVATION;
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2012 O.B.C. DRAWINGS

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	REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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ı	NO	DESCRIPTION	MM/DD/YYYY	RY

FOOTING PLAN

WALKOUT - GARAGE END UNIT

3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

SHEET A.4f

XX/XX/XXXX

(A.5a

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

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GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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OUTLINE OF DROP CEILIP 10"

WALK-OUT DECK FRAMING NOTES:

- $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates. Install at the same time as comfort board and install tyck homewrap or equivalent continuous over solid blocking
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES
 WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 $\frac{1}{2}$ " ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

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P3 POST IT BOTH ON THE

CH P. SIT E ON POS1

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

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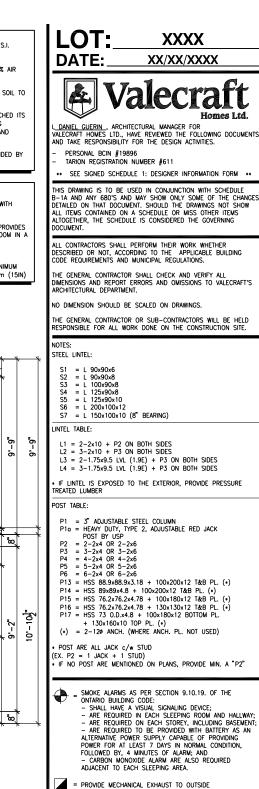
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND R) PROVIDES AN INDIVIDUAL UNORSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SQ.FT.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

3.-4]..

<u>....</u>



EXCAVATED
AREA
COMPACT ALL FILL CHECK FOUNDATION V 7.5" DOWN FOR INVER **ZEBAICE** - A3TAW 2012 O.B.C. DRAWINGS

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SIEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

XXXX

XX/XX/XXXX

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

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REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYO
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
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NO.	DESCRIPTION	MM/DD/YYYY	BY

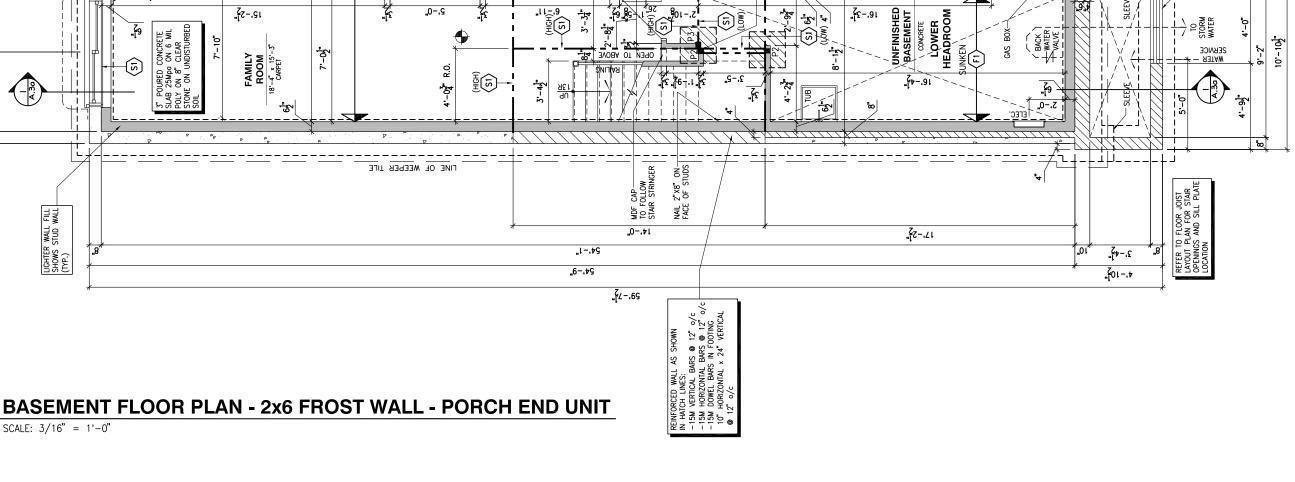
RAWING: BASEMENT FLOOR PLAN 2x6 FROST WALL - PORCH END

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.5a



- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

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GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

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OUTLII DROP 10"

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WALK-OUT DECK FRAMING NOTES:

- $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates. Install at the same time as comfort board and install tyck homewrap or equivalent continuous over solid blocking
- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES
 WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
- RIM BOARD 2"x10" PRESSURE TREATED TO CANTILEVER POSTS 1 $\frac{1}{2}$ " ALL AROUND
- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- $\langle 5 \rangle$ 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

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OPEN TO ABOVE

MDF CAP—TO FOLLOW STAIR STRINGER

NAIL 2"X8" ON-FACE OF STUDS

HVAC 96% AFUE

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POST
NOTCH P3 POST
AND SIT BOTH
L'V.L. ON THE
SAME POST
NOTCH P3

 $4'-0\frac{1}{4}"$

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EXCAVATED A AREA COMPACT ALL FILL

SOIL BE TO BE (

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OWER DROOM

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- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTERBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION:

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGHT AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUBFLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND

– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

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BACK WATER

-ζ₉ Z.-0**..** 3.-41"

"T-'č

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

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AREA COMPACT ALL FILL COMPACT ALL FILL CHECK FOUNDATION WALL 7.5° DOWN FRIED STEP

ZEKNICF

— A3TAW

8

LOT: **XXXX** DATE: XX/XX/XXXX

<u>Daniel Querin</u>, architectural manager for MLECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS IND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BOIN #19896
- TARION REGISTRATION NUMBER #611

IS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE I-- IA AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGE ETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW LL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS LTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT

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THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

NOTES:

STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10 $S6 = L 200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:

- SHALL HAVE A VISUAL SIGNALING DEVICE;

- ARE REQUIRED IN EACH SIEEPING ROOM AND HALLWAY;

- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT,

- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO	DESCRIPTION	MM/DD/YYYY	RY

AWING: BASEMENT FLOOR PLAN

XX/XX/XXXX

A.5b

SHEET

2x6 FROST WALL - MID UNIT 3/16" = 1'-0"

120 - THE HUNTLEY

2020 FOOTPRINT (STANDARD DRAWINGS)

BASEMENT FLOOR PLAN - 2x6 FROST WALL - MID UNIT

(A.5b

SCALE: 3/16" = 1'-0"

- 11 1/8" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR S1) ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

- $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates. Install at the same time as comfort board and install tyck homewrap or equivalent continuous over solid blocking
- THROUGH 2"x10" SOLID BLOCKING AND TOP PLATES
 WITH 3/8" x 6" LAG SCREWS AND WASHERS @ 16" o/c
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- $\langle 4 \rangle$ 2"x10" PRESSURE TREATED JOISTS @ 16" o/c
- 3-2"x10" PRESSURE TREATED (FLUSH)
- JOIST HANGERS AT EVERY JOIST CONNECTION

- 2"x10" PRESSURE TREATED LEDGER. FASTEN TOP THROUGH 2"x10" SOLID BLOCKING AND RIM BOARD, FASTEN BOTTOM
- $\langle 5 \rangle$

- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGHT OF 3000 P.S.I. (21MPa) AT 28 DAYS;

- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

LOT:

PERSONAL BOIN #19896

ARCHITECTURAL DEPARTMENT.

S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10

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LINTEL TABLE:

POST TABLE:

TARION REGISTRATION NUMBER #611

DATE:

OCUMENT

NOTES: STEEL LINTEL: **XXXX**

XX/XX/XXXX

<u>Daniel Querin</u>, architectural manager for MLECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS IND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

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POST BY USP
P2 = 2-224 OR 2-246
P3 = 3-2x4 OR 3-2x6

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

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NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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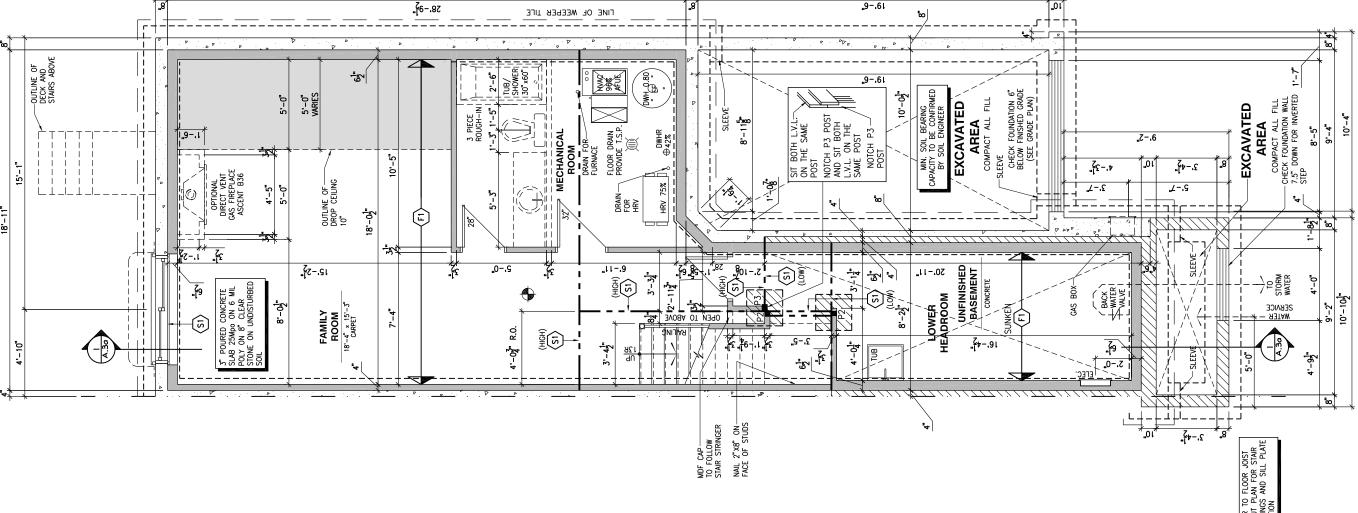
– FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEOTECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

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(A.5c

BASEMENT FLOOR PLAN - 2x6 FROST WALL - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

			l
DEV. 4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-4 REV-3		. , . ,	
	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	l BY

RAWING: BASEMENT FLOOR PLAN

2x6 FROST WALL - GARAGE END

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.5c

- 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE
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- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

WALK-OUT DECK FRAMING NOTES:

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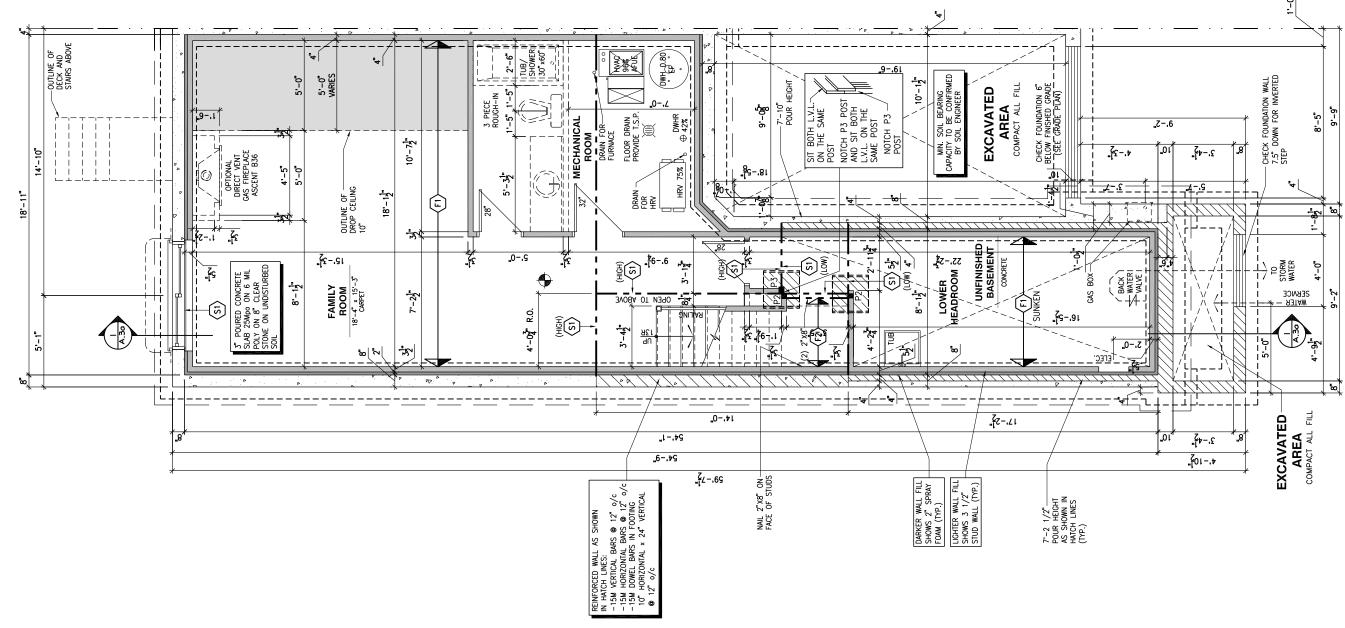
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(A.5d

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - PORCH END UNIT

SCALE: 3/16" = 1'-0"

<u>Daniel Querin</u>, architectural manager for MLECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS IND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BOIN #19896

LOT:

DATE:

TARION REGISTRATION NUMBER #611

XXXX

XX/XX/XXXX

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INTEL TABLE:

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AWING: BASEMENT FLOOR PLAN

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ENERGY STAR - PORCH END

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.5d

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BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: DATE:

XXXX XX/XX/XXXX



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PERSONAL BOIN #19896

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AWING: BASEMENT FLOOR PLAN

ENERGY STAR - MID UNIT 3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

A.5e

SHEET

(STANDARD DRAWINGS)

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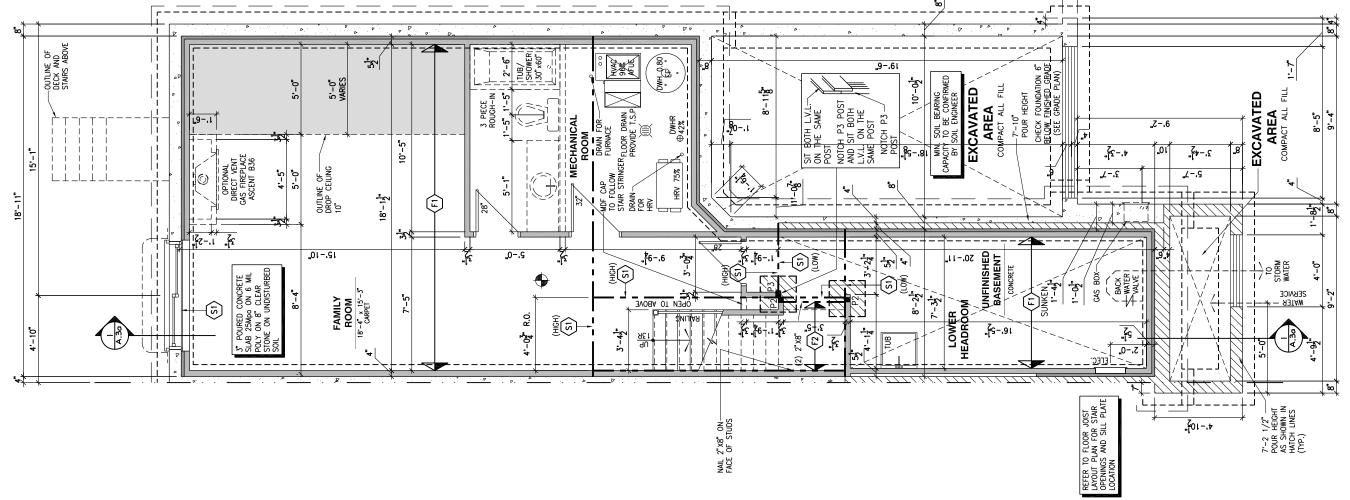
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(A.5f

BASEMENT FLOOR PLAN - ENERGY STAR - SPRAY FOAM AND 2x4 FROST WALL - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT:

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DATE:

<u>Daniel Guerin</u>, Architectural Manager for Alegraft Homes Ltd., Have reviewed the following documents ND take responsibility for the design activities.

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TAWING: BASEMENT FLOOR PLAN **ENERGY STAR - GARAGE END**

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

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(STANDARD DRAWINGS)

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BASEMENT NOTE:

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LOT: **XXXX** DATE: XX/XX/XXXX

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- PERSONAL BOIN #19896
- TARION REGISTRATION NUMBER #611
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S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

ION WALL INVERTED

CHECK FOUNDATIC 7.5" DOWN FOR STEP 8'-5"

SERVICE

<u>-</u>6

→ NATER → +

L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

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2012 O.B.C. DRAWINGS

EXCAVATED - AREA COMPACT ALL FILL	:	CARBON MÖNÖXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA. PROVIDE MECHANICAL EXHAUST TO OUTSIDE					
		2012 O.B.C. DRAWINGS					
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	NO.	DESCRIPTION	MM/DD/YYYY	BY			

RAWING: BASEMENT FLOOR PLAN **WALKOUT - PORCH END UNIT**

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET A.5g

BASEMENT FLOOR PLAN - WALKOUT - PORCH END UNIT

(A.5g)

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- $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates. Install at the same time as comfort board and install tyck homewrap or equivalent continuous over solid blocking
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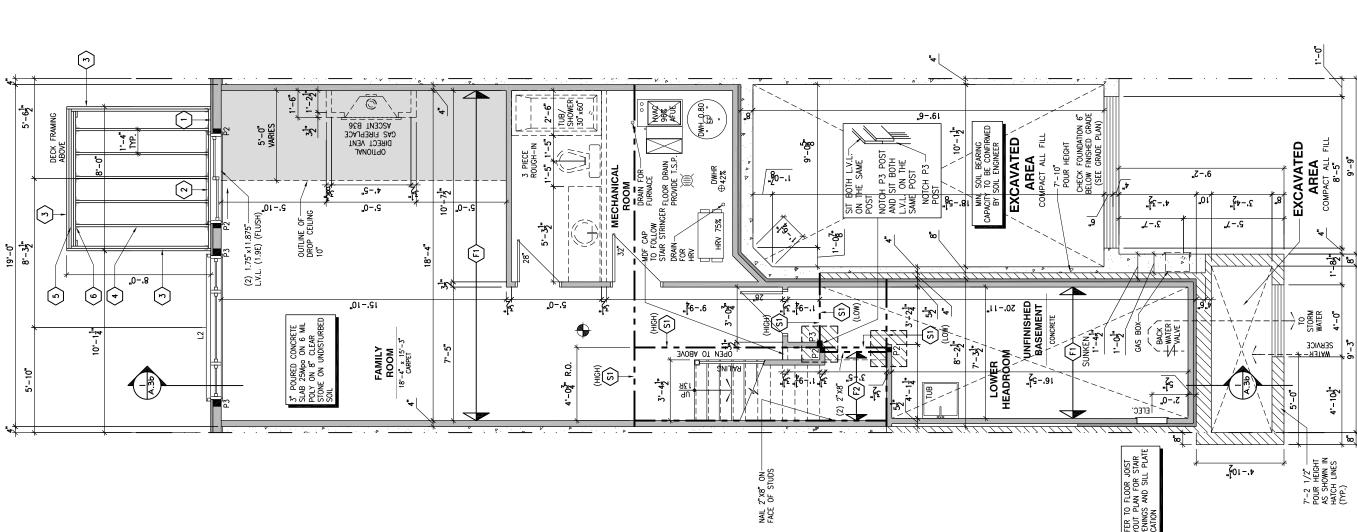
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RAWING: BASEMENT FLOOR PLAN

WALKOUT - MID UNIT 3/16" = 1'-0" XX/XX/XXXX

SHEET

120 - THE HUNTLEY 2020 FOOTPRINT

A.5h

(STANDARD DRAWINGS)

(A.5h

BASEMENT FLOOR PLAN - WALKOUT - MID UNIT

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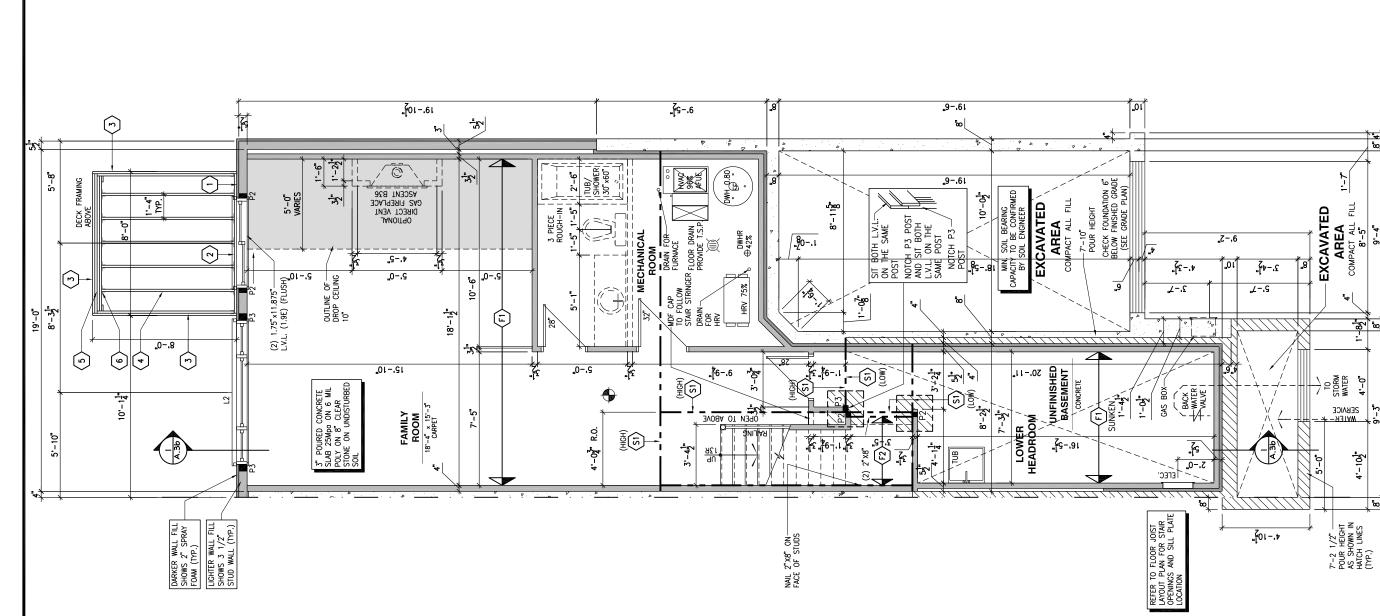
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BASEMENT FLOOR PLAN - WALKOUT - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

A.5i

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	NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: BASEMENT FLOOR PLAN **WALKOUT - GARAGE END UNIT**

3/16" = 1'-0"

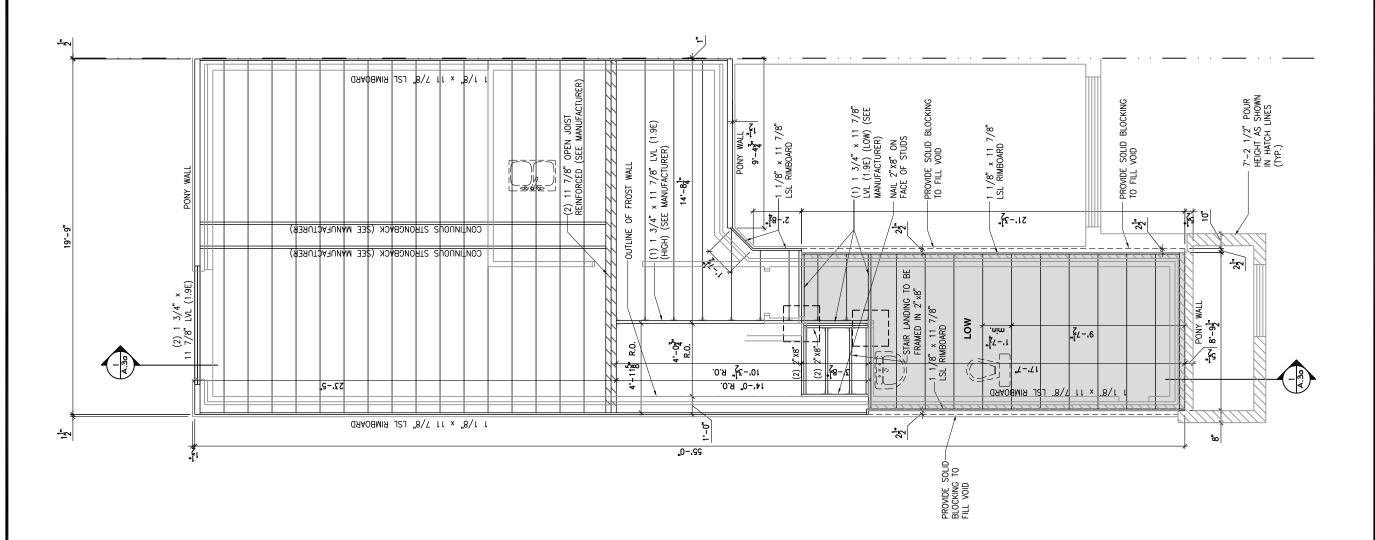
XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.5i

SHEET



(A.6a)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

TE: XX/XX/XXXX

XXXX



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DRAWING: GROUND FLOOR - FLOOR
JOIST FRAMING - PORCH END

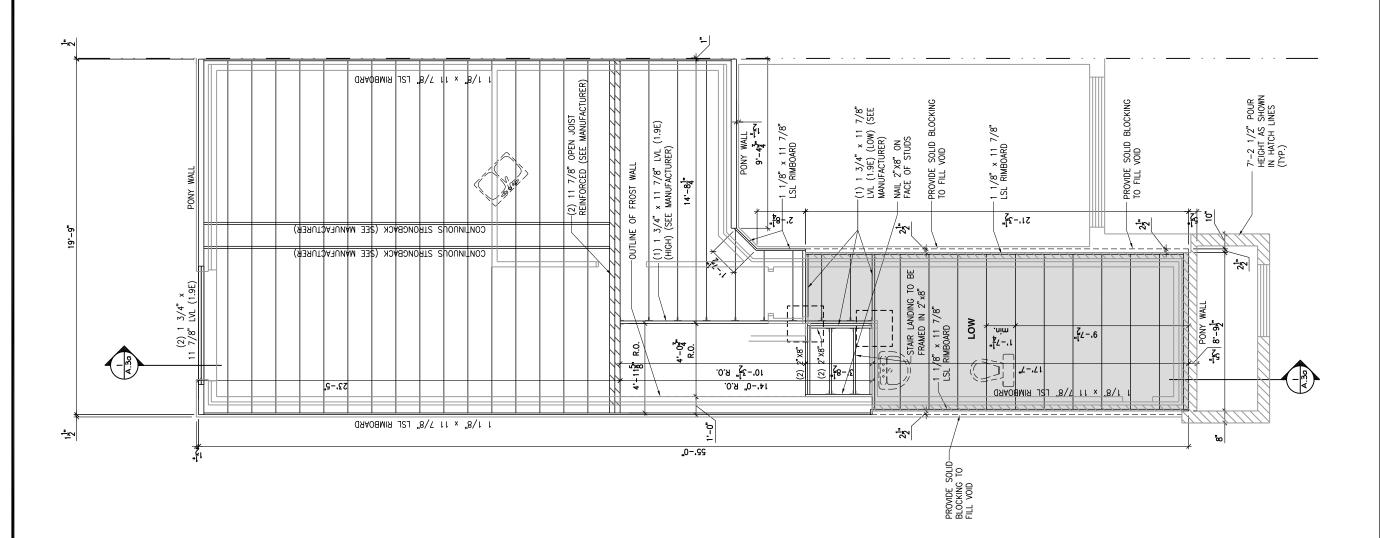
ADDRESS: | SCALE: | DATE: | XX | 3/16" = 1'-0" | DATE: | XX/XX/XXXX

120 - THE HUNTLEY

2020 FOOTPRINT
(STANDARD DRAWINGS)

A.6a

SHEET:



(A.6b)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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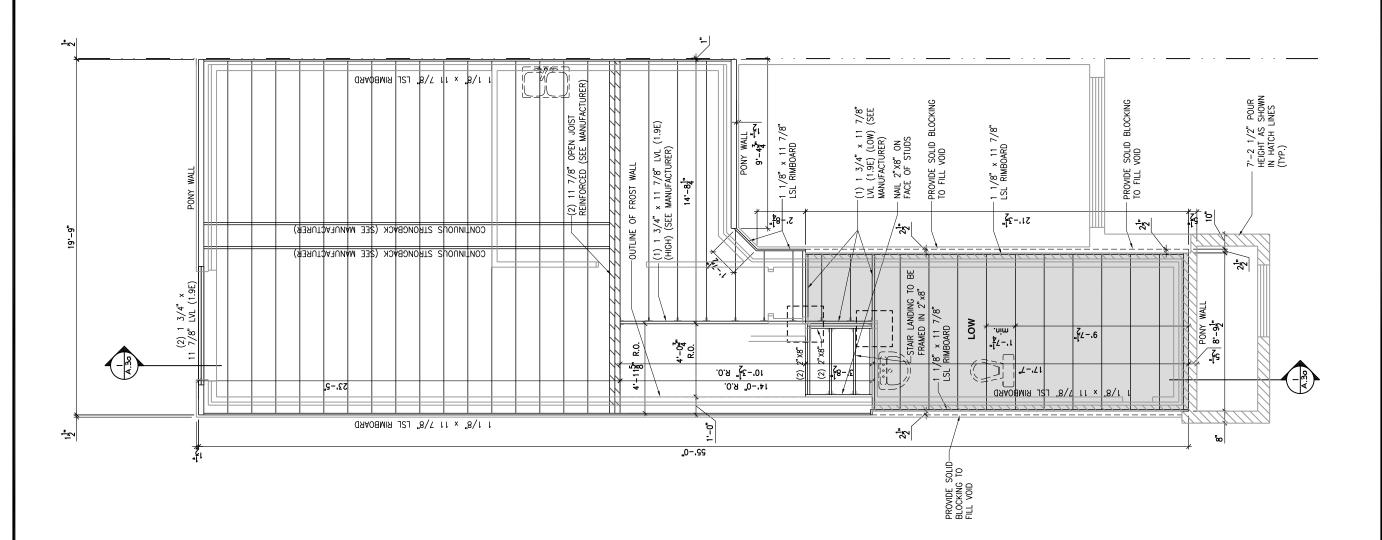
RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6b



(A.6c)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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2012 O.B.C. DRAWING	S
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REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

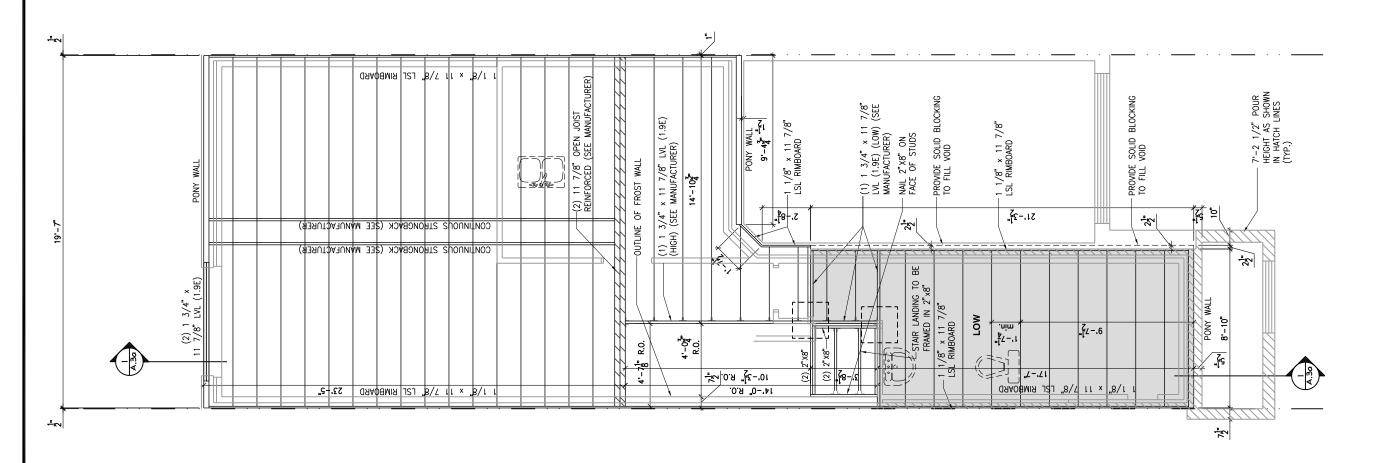
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6c

SHEET:



(A.6d)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

| SCALE: | 3/16" = 1'-0"

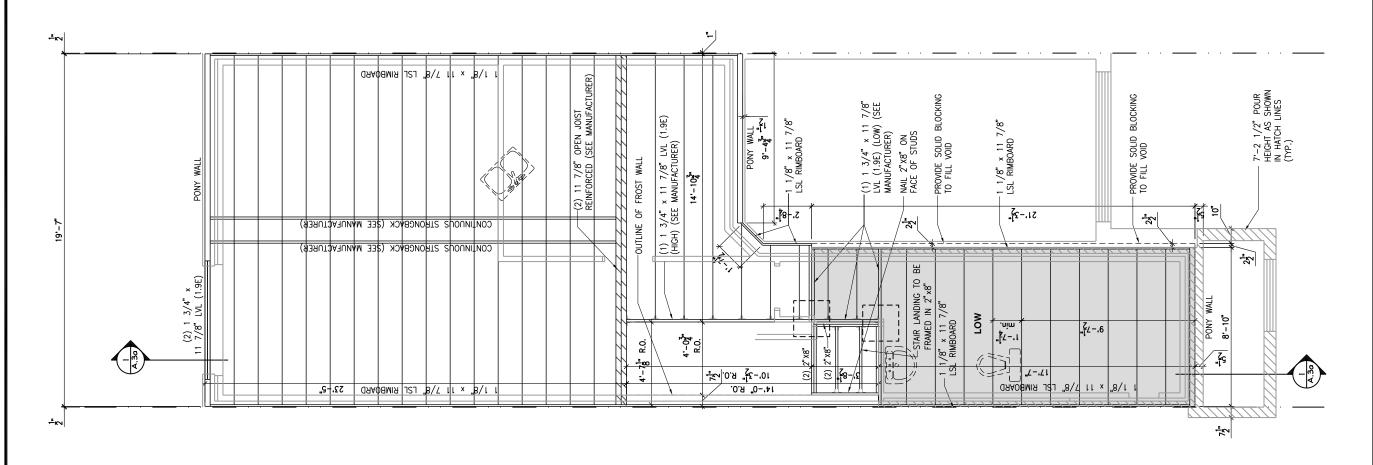
120 - THE HUNTLEY

2020 FOOTPRINT

SHEET: A.6d

DATE: XX/XX/XXXX

(STANDARD DRAWINGS)



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

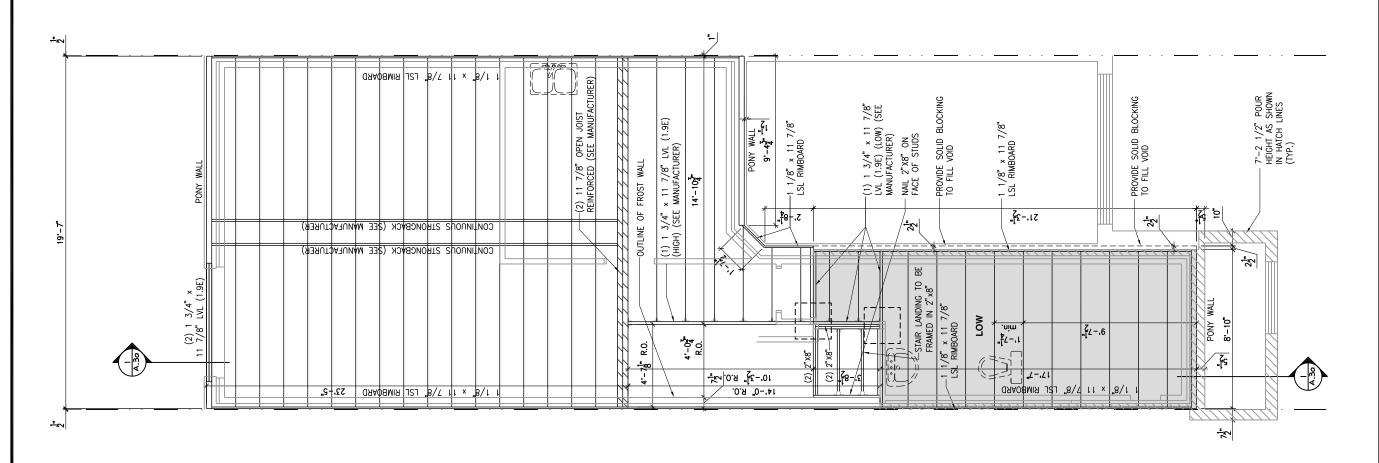
| SCALE: | 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

SHEET: A.6e

DATE: XX/XX/XXXX

(STANDARD DRAWINGS)



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR

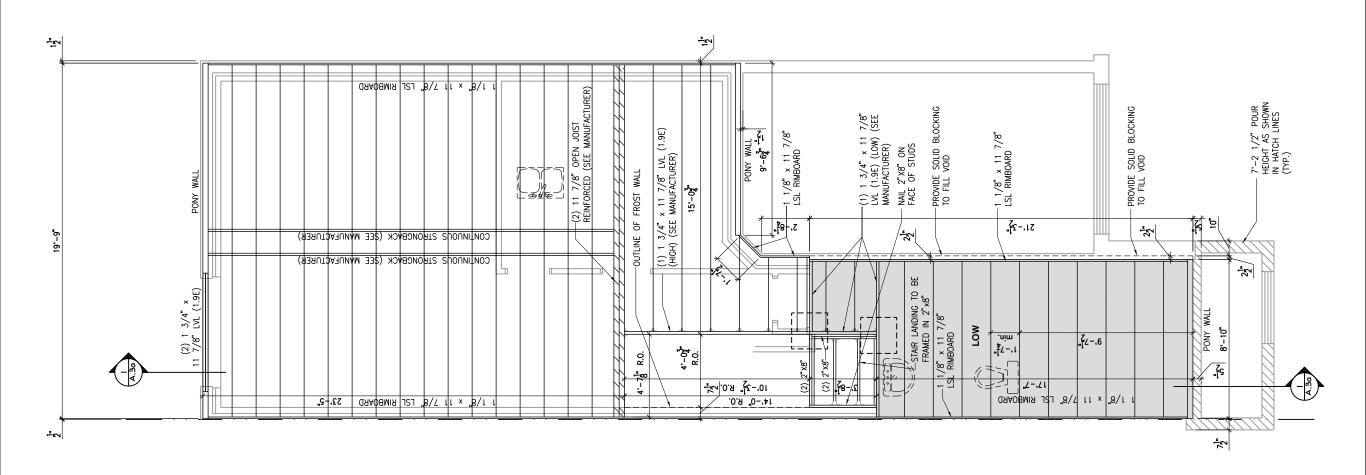
JOIST FRAMING PLAN - MID | SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6f

SHEET:



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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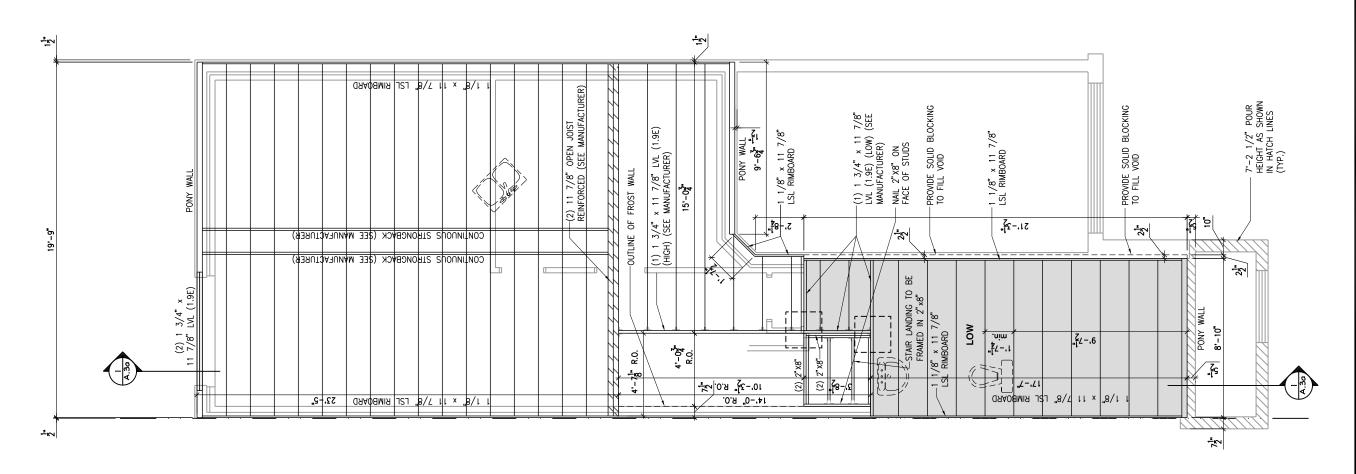
RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6g



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 1 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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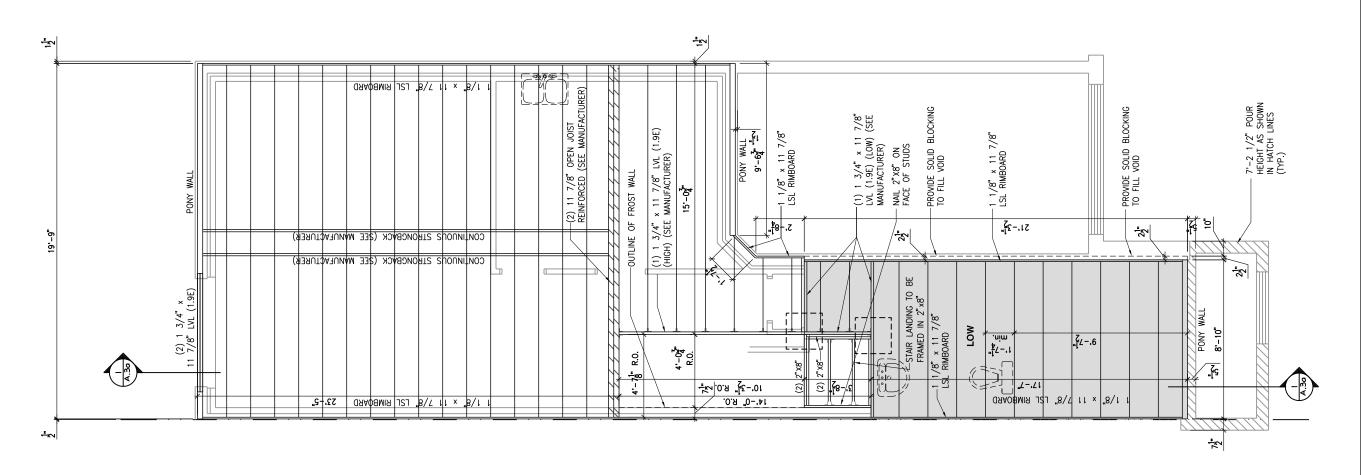
RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

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120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6h



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL KITCHEN 2 - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - FLOOR **JOIST FRAMING - GARAGE END**

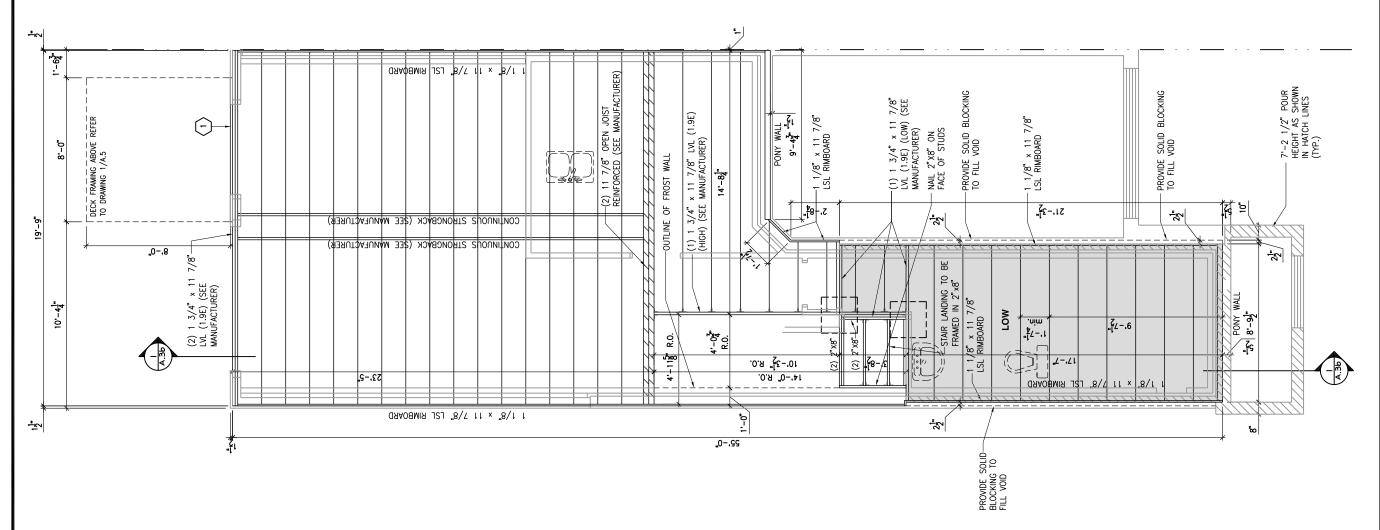
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6i

SHEET:



GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

(A.6j/ SCALE: 3/16" = 1'-0" $2^{\prime\prime}\times10^{\prime\prime}$ solid blocking at ledger nailed to Rim Board and top plates, install at the same time as comfort Board and install tyck homewap or equivalent continuous over solid blocking

DATE: XX/XX/XXXX

XXXX

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2012	O.B.C.	DRAWINGS	,
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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

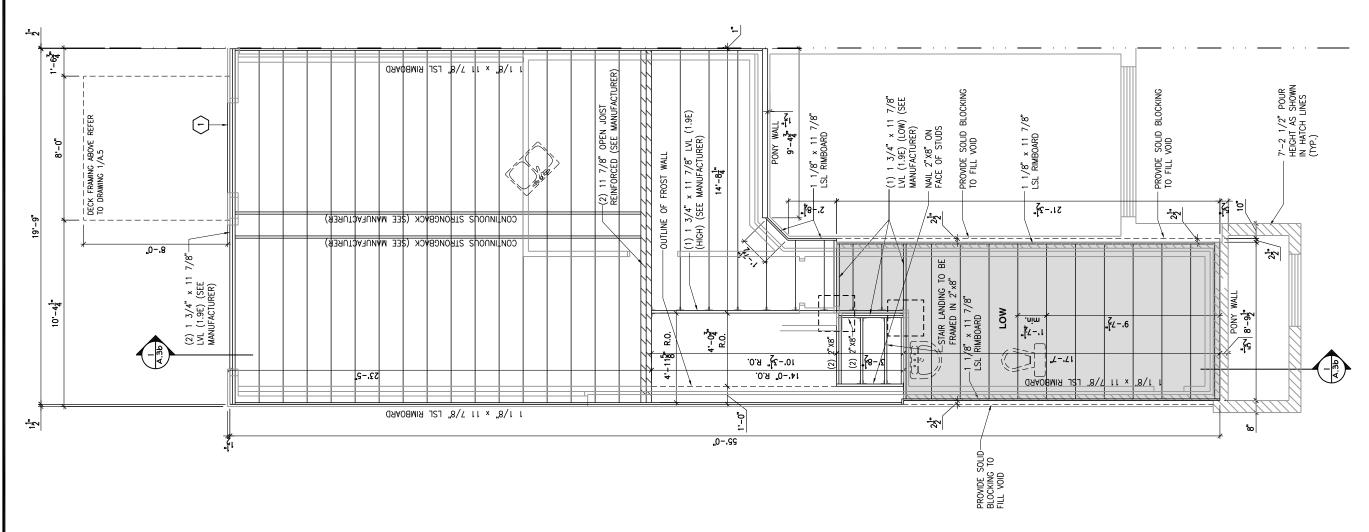
| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY

2020 FOOTPRINT (STANDARD DRAWINGS)

A.6j

SHEET



LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST FRAMING-WALKOUT-PORCH END

SHEET:

A.6k

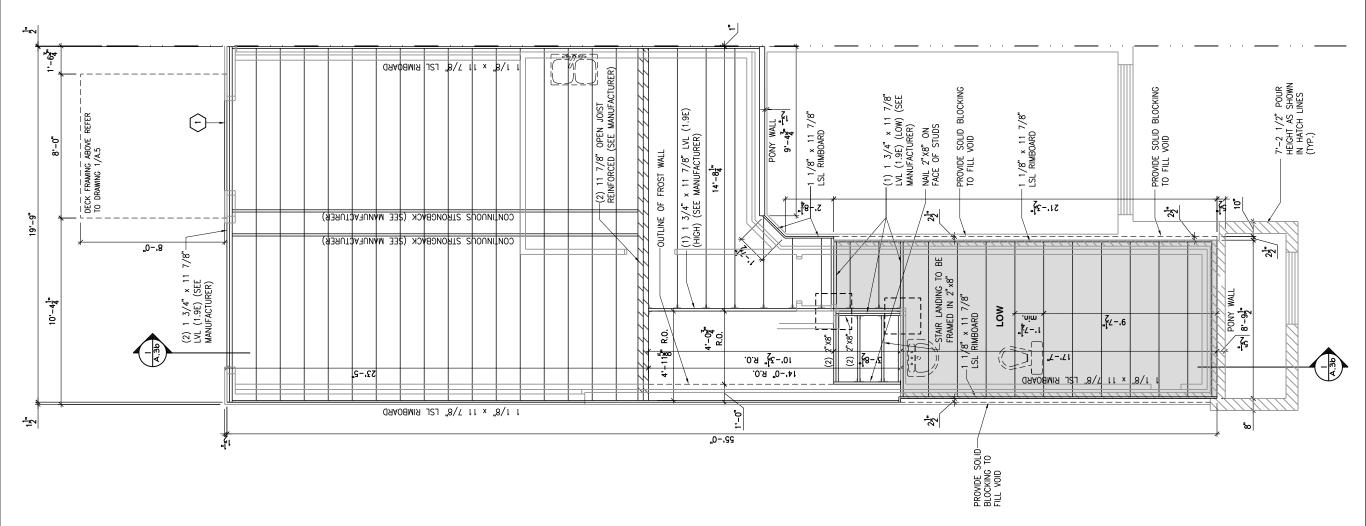
xx/xx/xxxx

120 - THE HUNTLEY

2020 FOOTPRINT

(STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - PORCH END UNIT



LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-PORCH END | SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

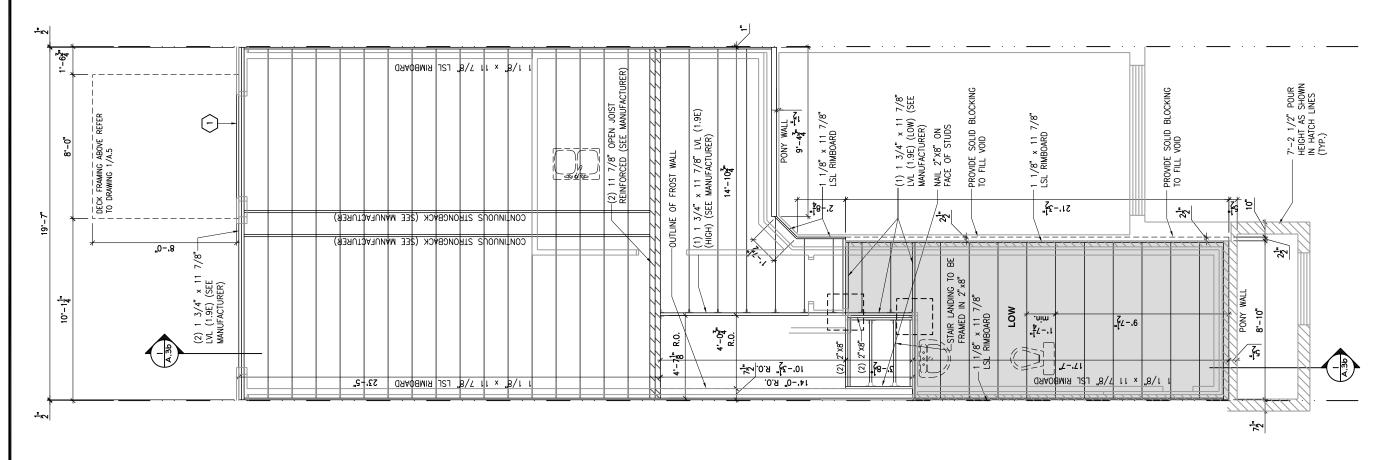
120 - THE HUNTLEY

2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: **A.6**I

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - PORCH END UNIT



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DRAWING: GROUND FLOOR - JOIST

xx/xx/xxxx

|A.6m|

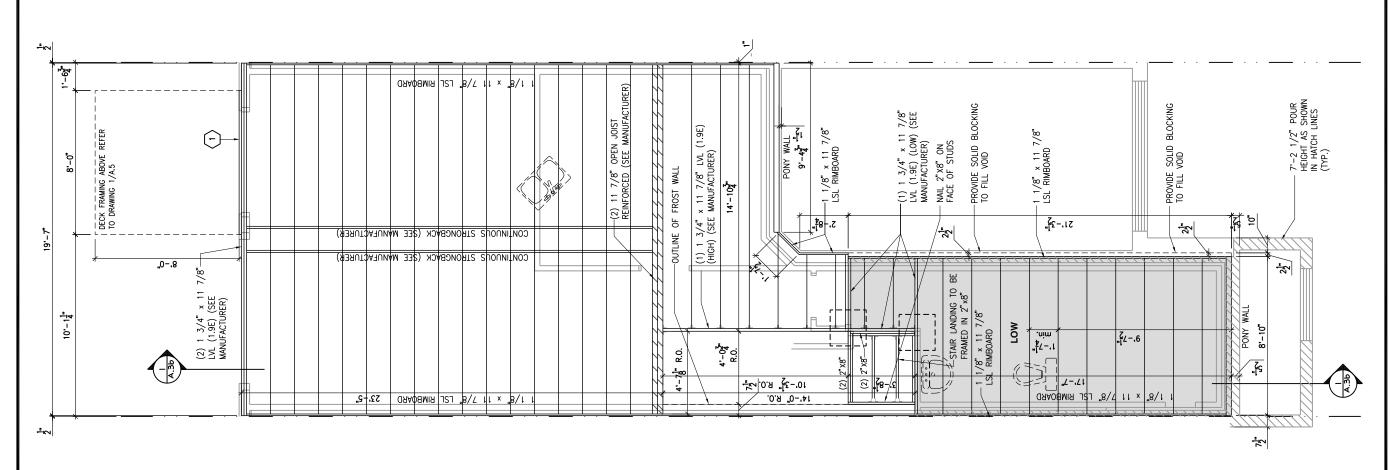
SHEET:

FRAMING PLAN - WALKOUT - MID

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT



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PRAWING: GROUND FLOOR - JOIST

FRAMING PLAN - WALKOUT - MID

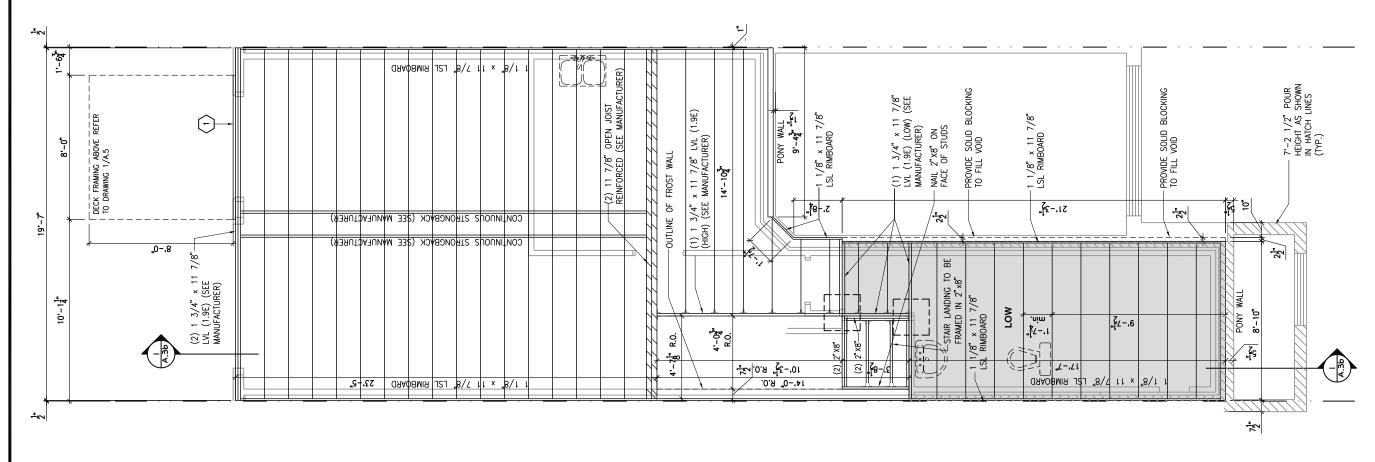
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120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6n

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - MID UNIT



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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

FRAMING PLAN - WALKOUT - MID

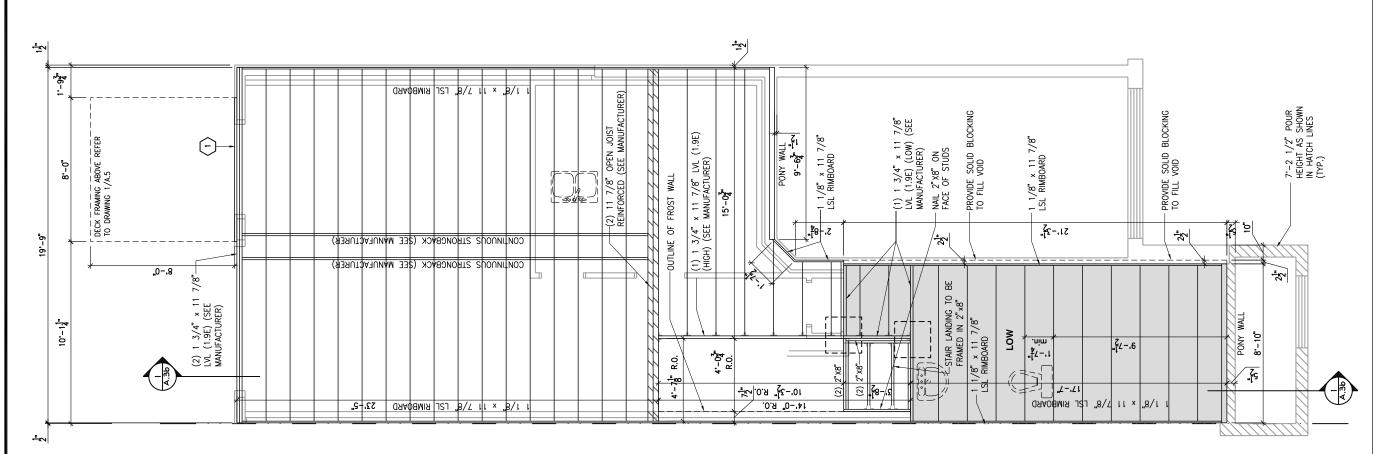
xx/xx/xxxx SHEET:

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.60

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - MID UNIT



LOT: XXXX DATE: XX/XX/XXXX



I<u>, Daniel Guerin</u>, architectural manager for Valecraft Homes Ltd., have reviewed the following documents and take responsibility for the design activities.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

•• SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM •

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2012 O.B.C. DRAWINGS

l			
REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYOR
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR - JOIST

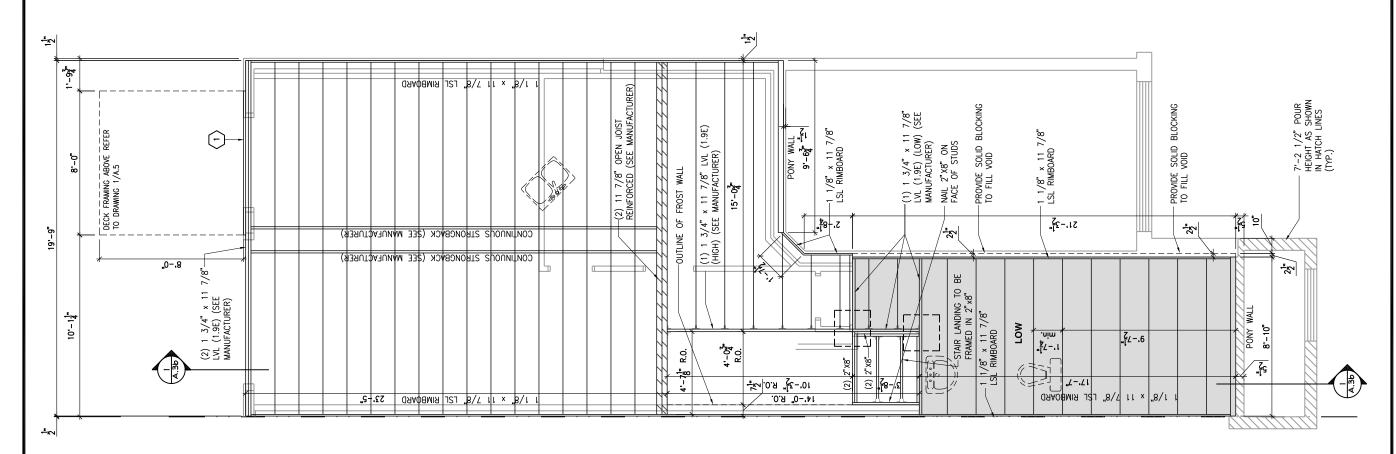
FRAMING-WALKOUT-GARAGE END

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx

120 - THE HUNTLEY 2020 FOOTPRINT

SHEET: A.6p (STANDARD DRAWINGS)

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT



LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-GARAGE END

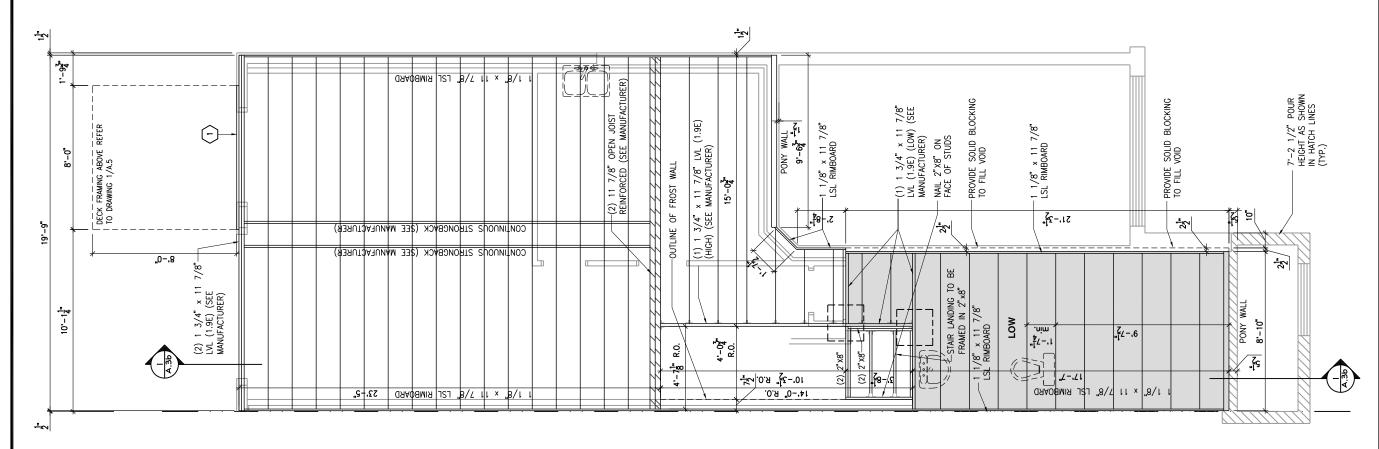
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120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.6q

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 1 - GARAGE END UNIT



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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR - JOIST

FRAMING-WALKOUT-GARAGE END | SCALE: | 3/16" = 1'-0"

120 - THE HUNTLEY

2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.6r

xx/xx/xxxx

GROUND FLOOR - FLOOR JOIST FRAMING PLAN - WALKOUT - OPTIONAL KITCHEN 2 - GARAGE END UNIT

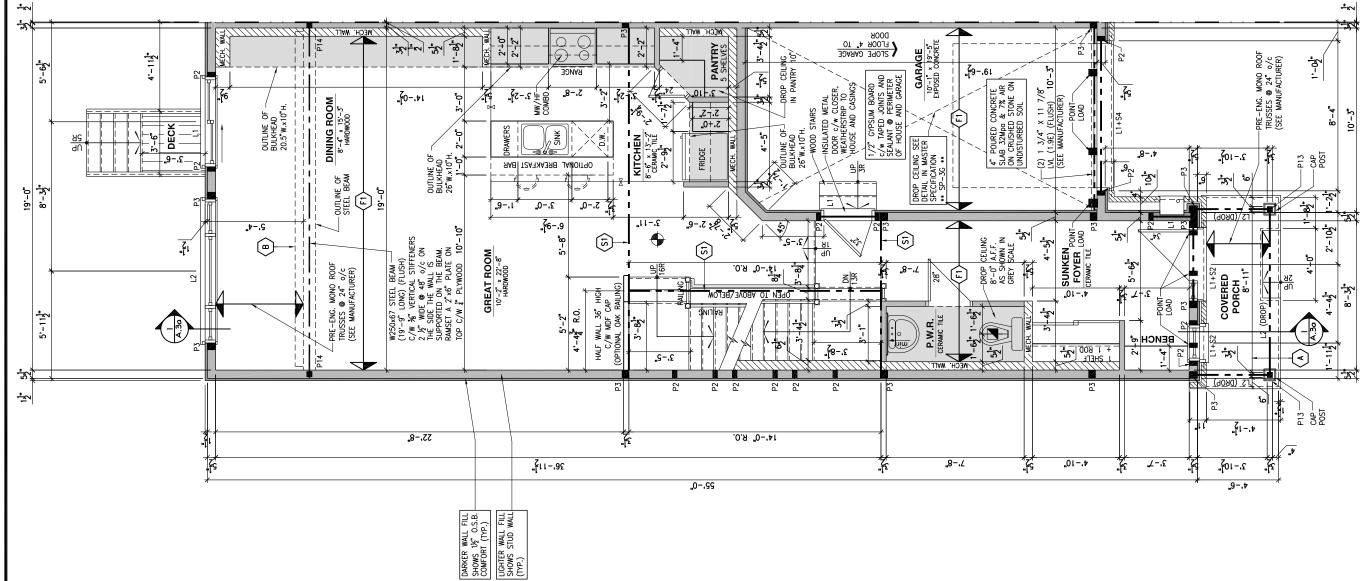
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- F3 2" x 8" PRESSURE TREATED JOIST @ 16" o/c UNLESS OTHERWISE NOTED
- REFER TO FLOOR JOIST LAYOUT SHOP DRAWINGS FOR ALL TRIMMER AND HEADER JOISTS AT FLOOR OPENING (UNLESS OTHERWISE NOTED)

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

PORCH CONSTRUCTION: TOP OF CONCRETE TO SLOPE 1" AWAY FROM HOUSE 8" SLOPED TO 7" POURED CONCRETE 32 Mpg 10M
BARS @ 8" o/c EACH WAY PLUS 10M DOWELS 16" o/c
WALL TO SLAB ON CLEAR STONE ON UNDSTURBED
SOIL. SLAB TO BEAR ON FOUNDATION WALLS.

PROVIDE A 10 1/2" x 3/8" STEEL PLATE (5 1/2" OVERHANG PASS EXTERIOR STUD FACE) WITH FULL 1/4" FILLET WELD TO FLANGE AT TOP AND 1" STITCH WELD AT 6" SPACING AT BOTTOM OF FLANGE. (STOP STEEL PLATE 6" SHORT AT BOTH ENDS OF BEAM TO ALLOW BEAM TO SIT ON TOP OF WALL)



GROUND FLOOR PLAN - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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 $S6 = L 200 \times 100 \times 12$ S7 = L 150x100x10 (8" BEARING)

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POST TARLE

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P4 = 4-2x4 OR 4-2x6
P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

+ 130×160×10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

PRAWING: GROUND FLOOR PLAN

STANDARD KITCHEN - PORCH END

3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

SHEET **A.7**a

XX/XX/XXXX

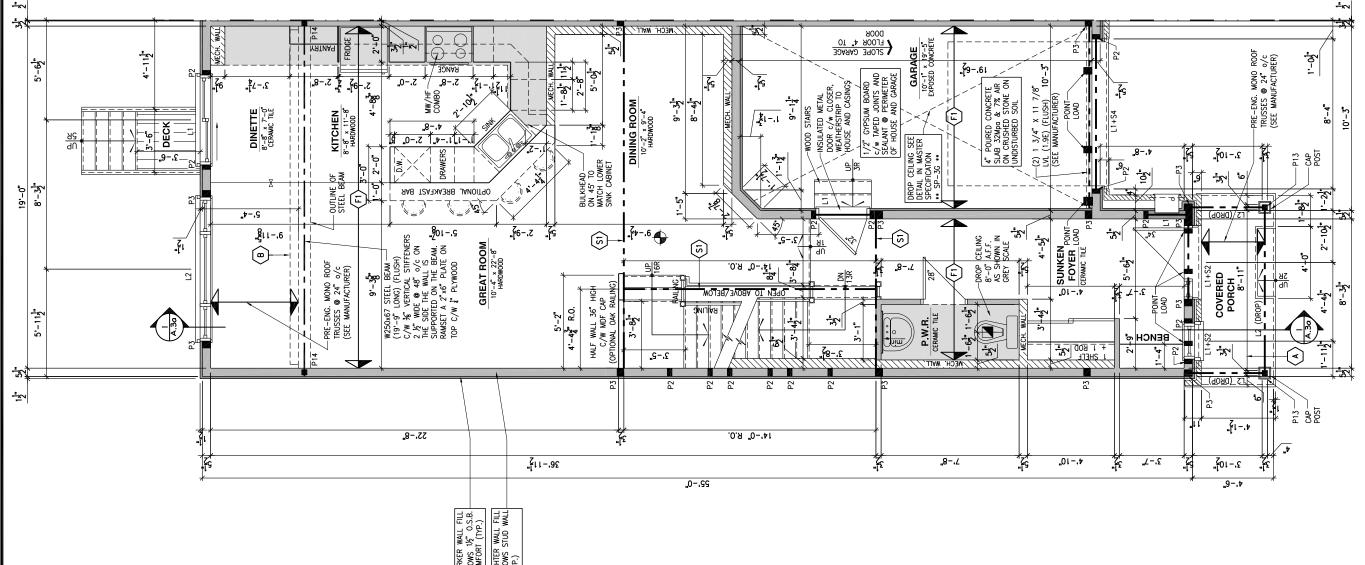
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN OPT. KITCHEN #1 - PORCH END

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

A.7b

SHEET

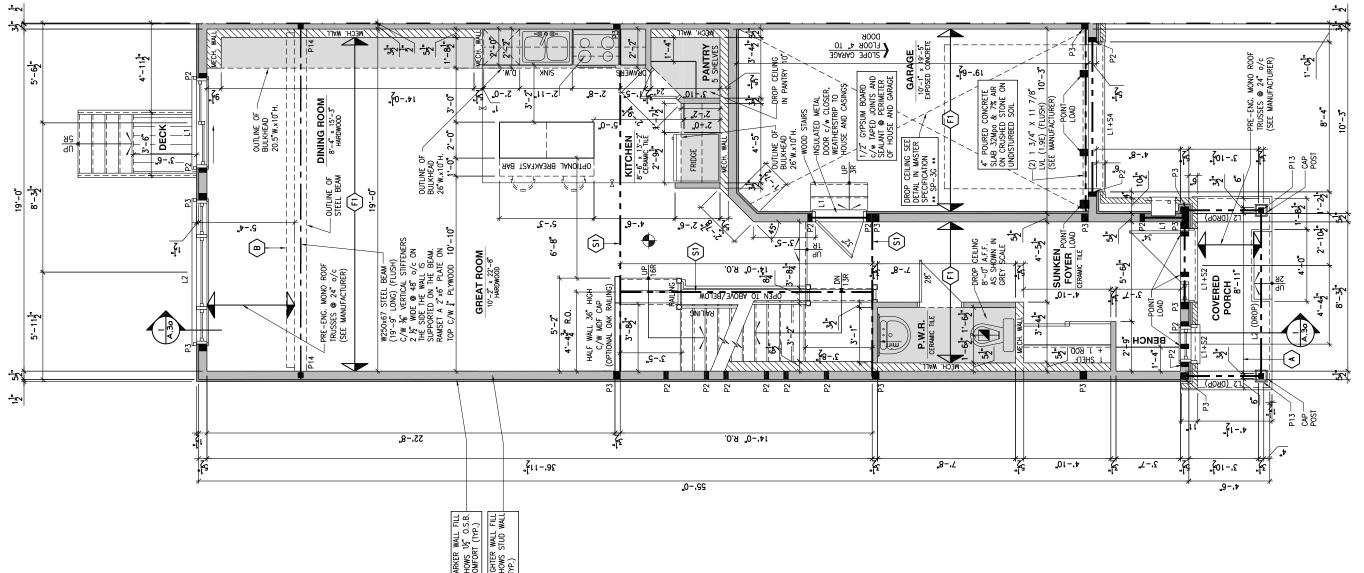
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: GROUND FLOOR PLAN OPT. KITCHEN #2 - PORCH END

3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

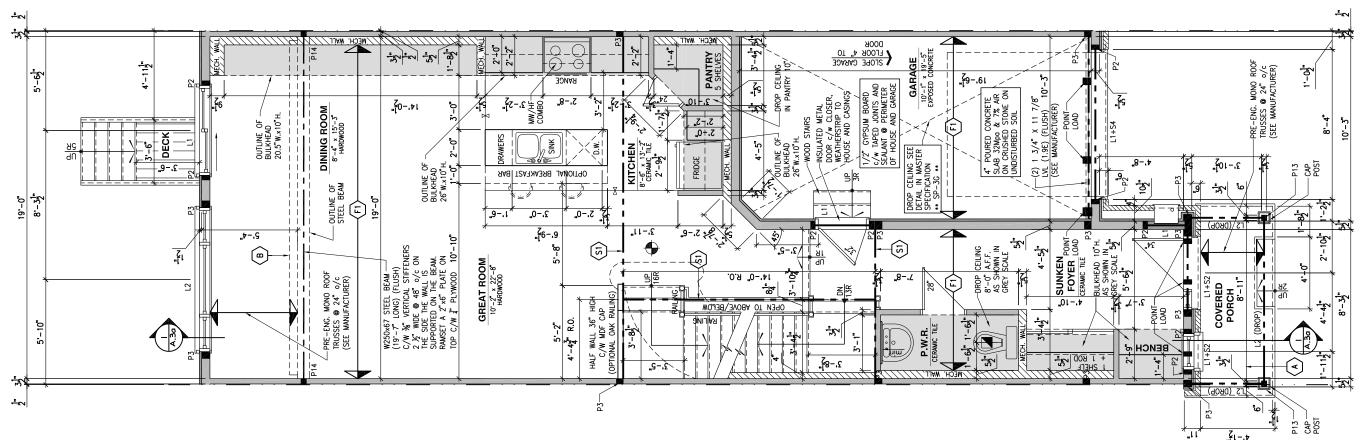
SHEET A.7c

XX/XX/XXXX

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LOT: **XXXX** DATE: XX/XX/XXXX



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P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: GROUND FLOOR PLAN **STANDARD KITCHEN - MID**

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY

2020 FOOTPRINT

(STANDARD DRAWINGS)

A.7d

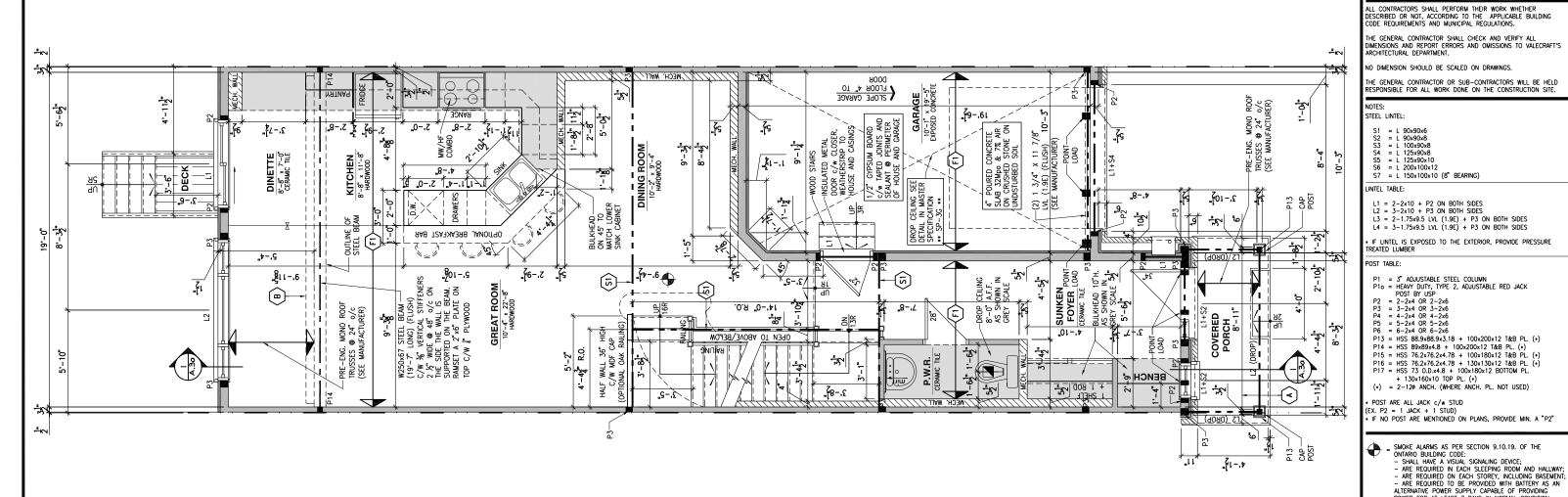
SHEET

GROUND FLOOR PLAN - STANDARD KITCHEN - MID UNIT

- > 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
- F2 2" x 8" JOIST @ 16" o/c UNLESS OTHERWISE NOTED
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #1 - MID UNIT

120 - THE HUNTLEY 2020 FOOTPRINT

REV-3 AS PER STRUCTURAL REVIEW

REV-2 AS PER STRUCTURAL REVIEW

POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

REV-4 NEW STANDARD DRWG MODIFICATION 01/01/2021 DOYON

REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD

DRAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #1 - MID** 3/16" = 1'-0"

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

(STANDARD DRAWINGS)

NO. DESCRIPTION

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

DATE:

DOCUMENT

XXXX

XX/XX/XXXX

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> SHEET A.7e

XX/XX/XXXX

03/20/2019 VH

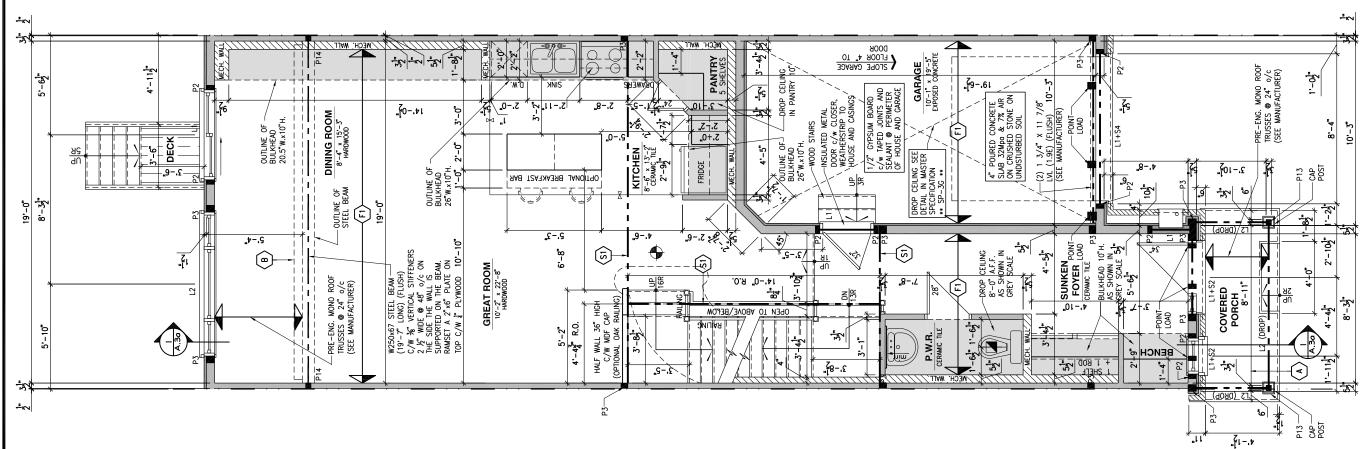
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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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RAWING: GROUND FLOOR PLAN **OPTIONAL KITCHEN #2 - MID**

3/16" = 1'-0" xx/xx/xxxx

120 - THE HUNTLEY 2020 FOOTPRINT

A.7f

SHEET

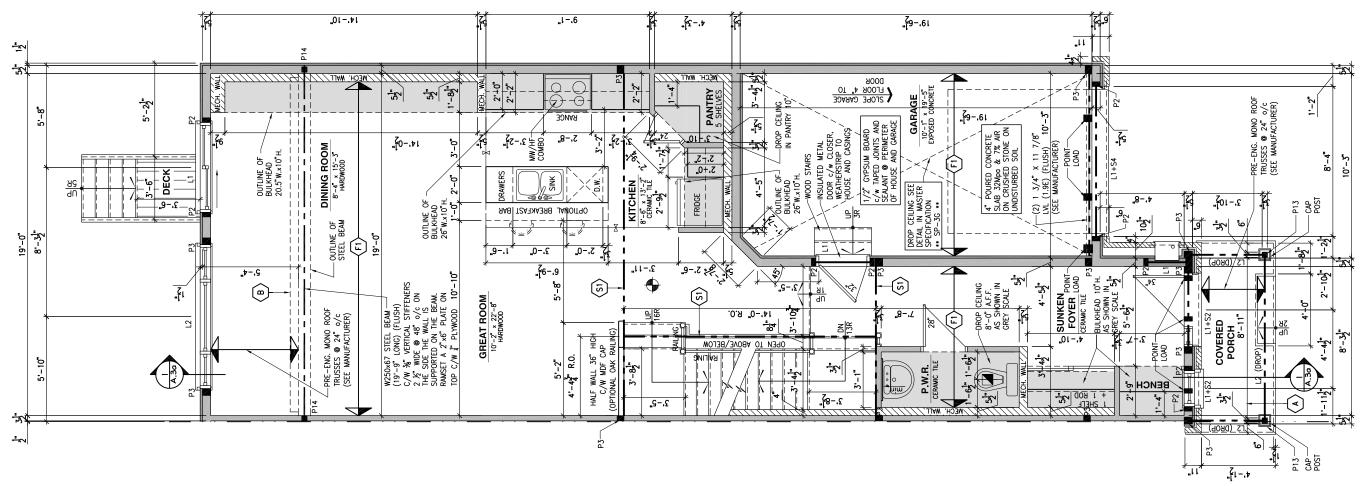
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RAWING: GROUND FLOOR PLAN

STANDARD KITCHEN-GARAGE END

XX/XX/XXXX

A.7g

SHEET

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120 - THE HUNTLEY

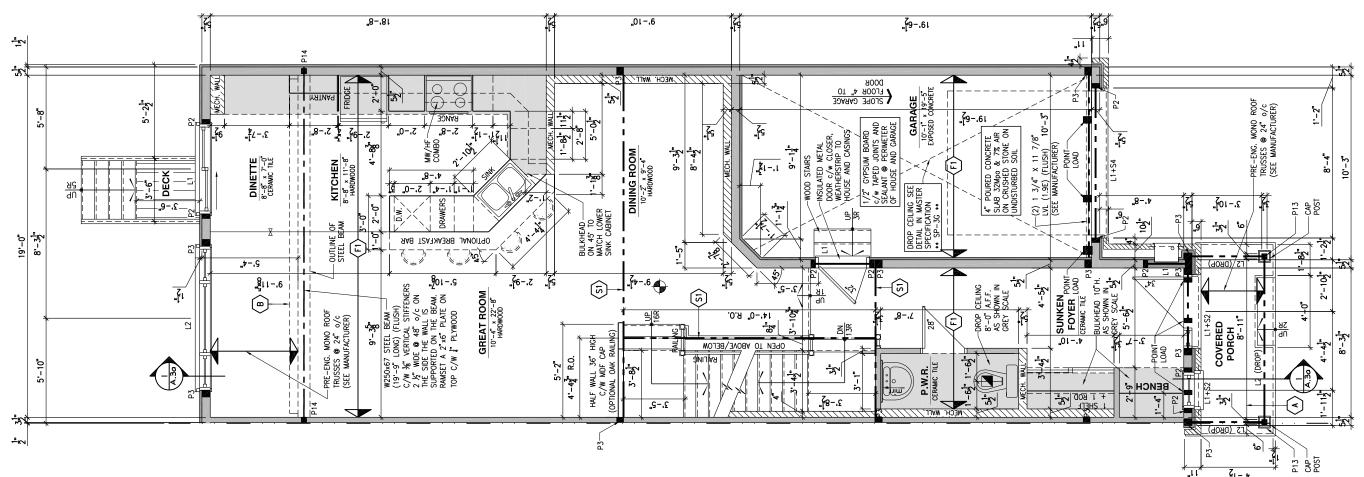
2020 FOOTPRINT (STANDARD DRAWINGS)

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DRAWING: GROUND FLOOR PLAN **OPT. KITCHEN #1 - GARAGE END**

(STANDARD DRAWINGS)

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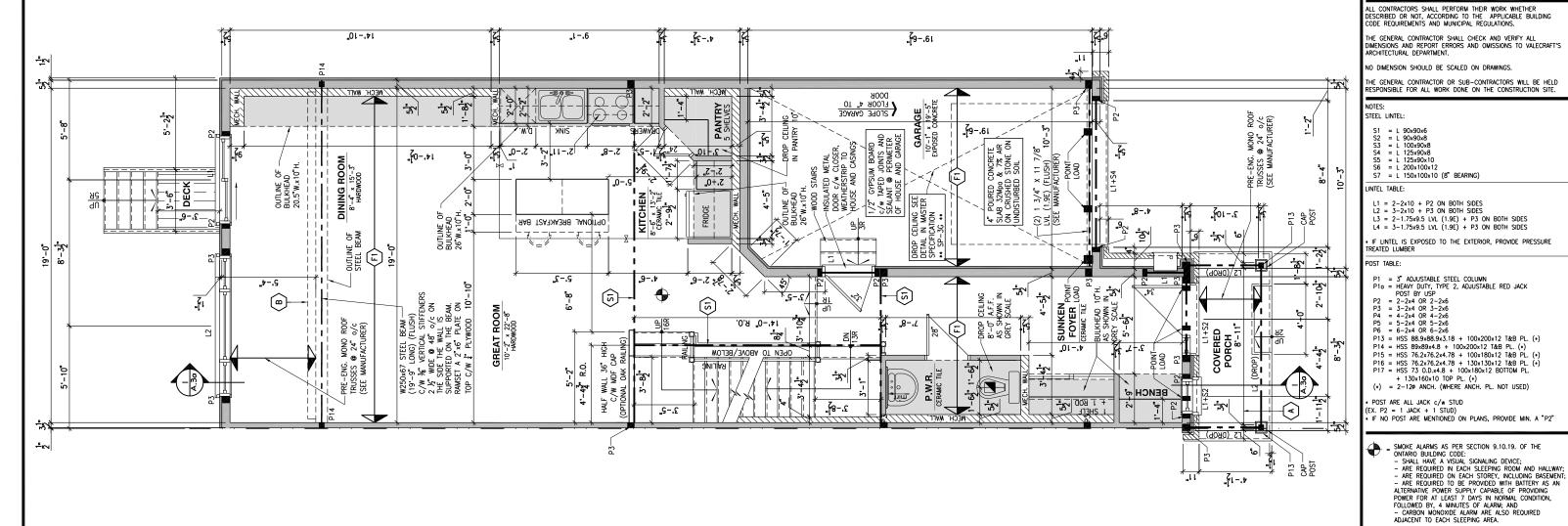
120 - THE HUNTLEY 2020 FOOTPRINT

SHEET A.7h

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GROUND FLOOR PLAN - OPTIONAL KITCHEN #2 - GARAGE END UNIT

XX/XX/XXXX SHEET 120 - THE HUNTLEY 2020 FOOTPRINT

REV-1 NEW STANDARD DRWG MODIFICATION 11/13/2017 MAD

DRAWING: GROUND FLOOR PLAN **OPT. KITCHEN #2 - GARAGE END** 3/16" = 1'-0"

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

REV-4 NEW STANDARD DRWG MODIFICATION

REV-3 AS PER STRUCTURAL REVIEW

REV-2 AS PER STRUCTURAL REVIEW

NO. DESCRIPTION

2012 O.B.C. DRAWINGS

(STANDARD DRAWINGS)

LOT:

PERSONAL BCIN #19896

TARION REGISTRATION NUMBER #611

DATE:

DOCUMENT

XXXX

XX/XX/XXXX

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A.7i

01/01/2021 DOYON

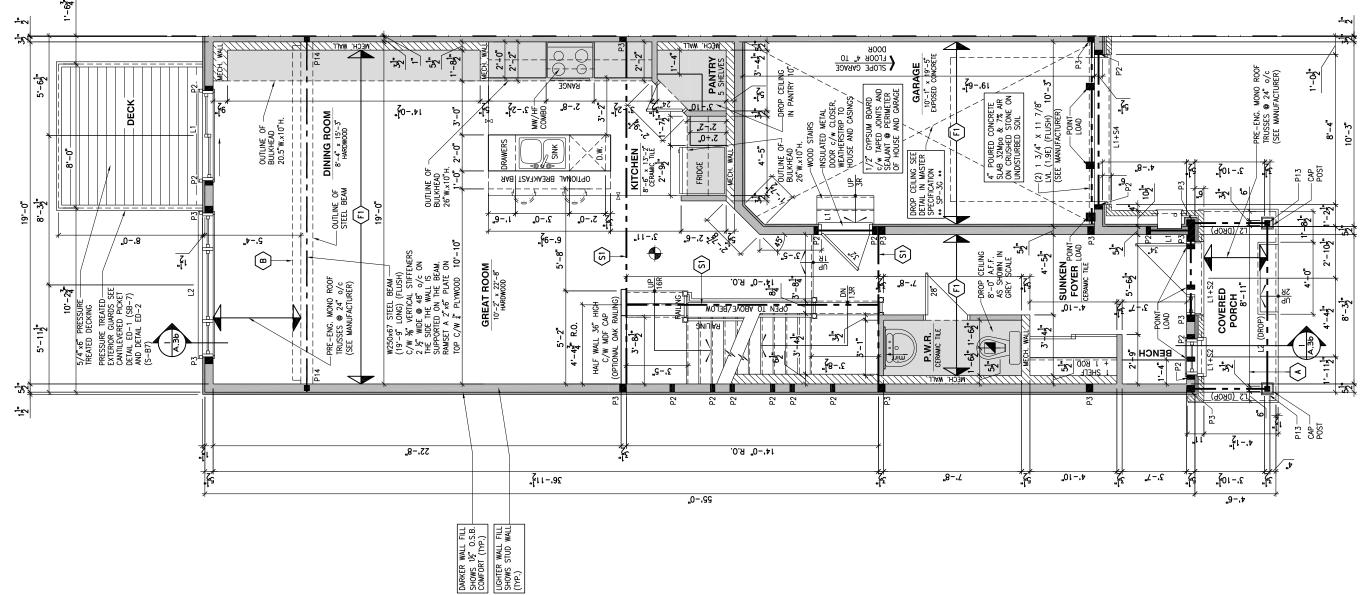
03/20/2019 VH

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GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

WGROUND FLOOR - WALKOUT

STANDARD KITCHEN - PORCH END

3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

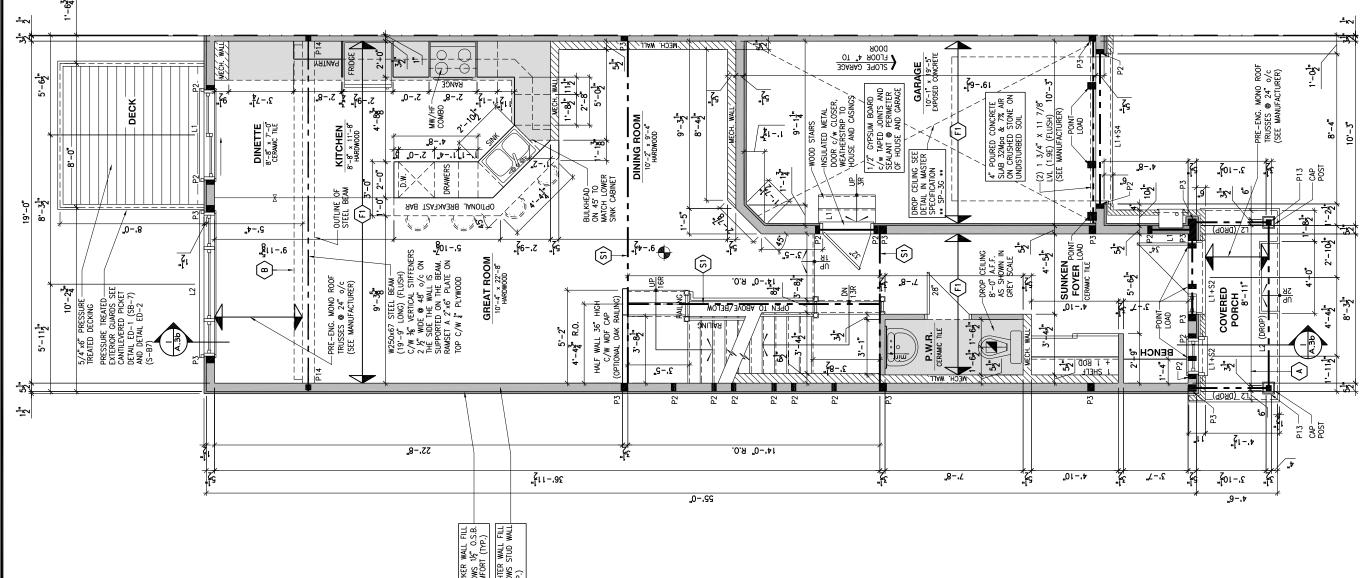
SHEET **A.7**j

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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

AWING: GROUND FLOOR - WALKOUT OPT. KITCHEN #1 - PORCH END

3/16" = 1'-0" 120 - THE HUNTLEY

2020 FOOTPRINT

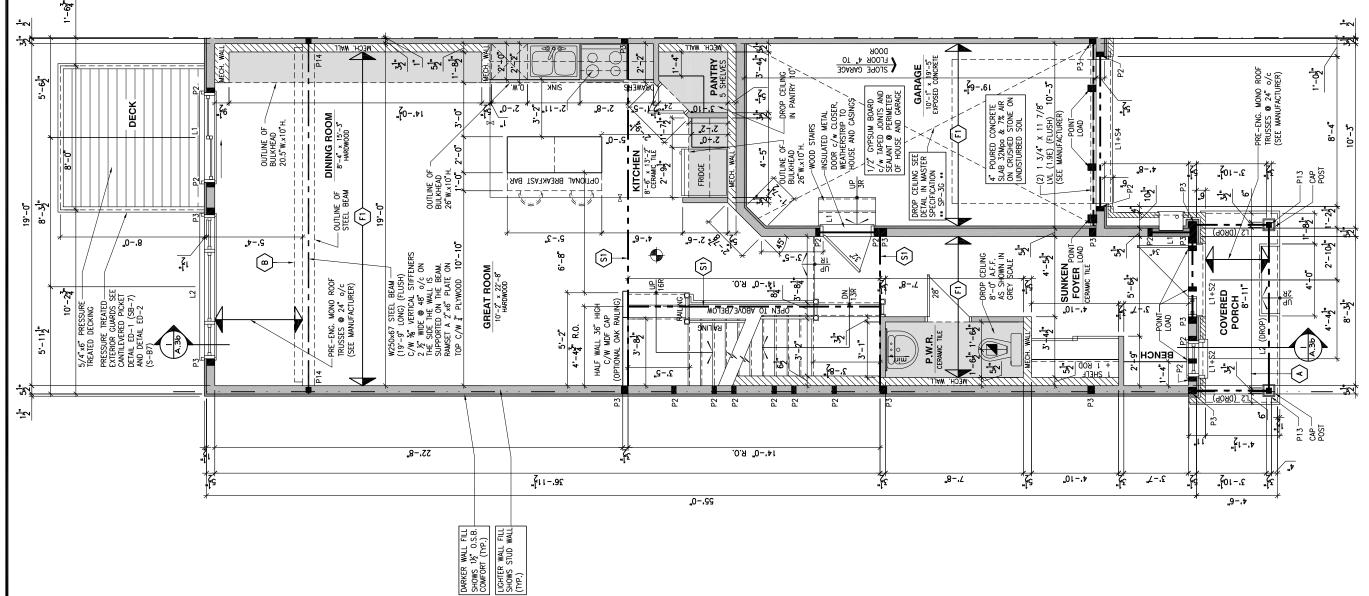
SHEET A.7k

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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #2 - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -PORCH END**

3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.7I

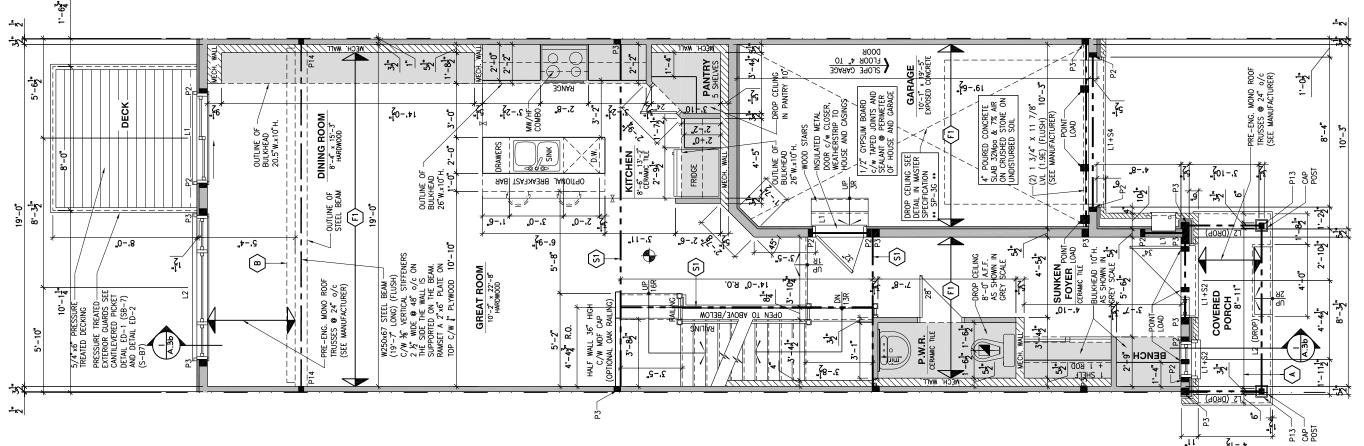
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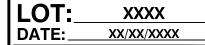
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GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - MID UNIT

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PRAWING: GROUND FLOOR - WALKOUT **STANDARD KITCHEN - MID**

SCALE: 3/16" = 1'-0" XX/XX/XXXX

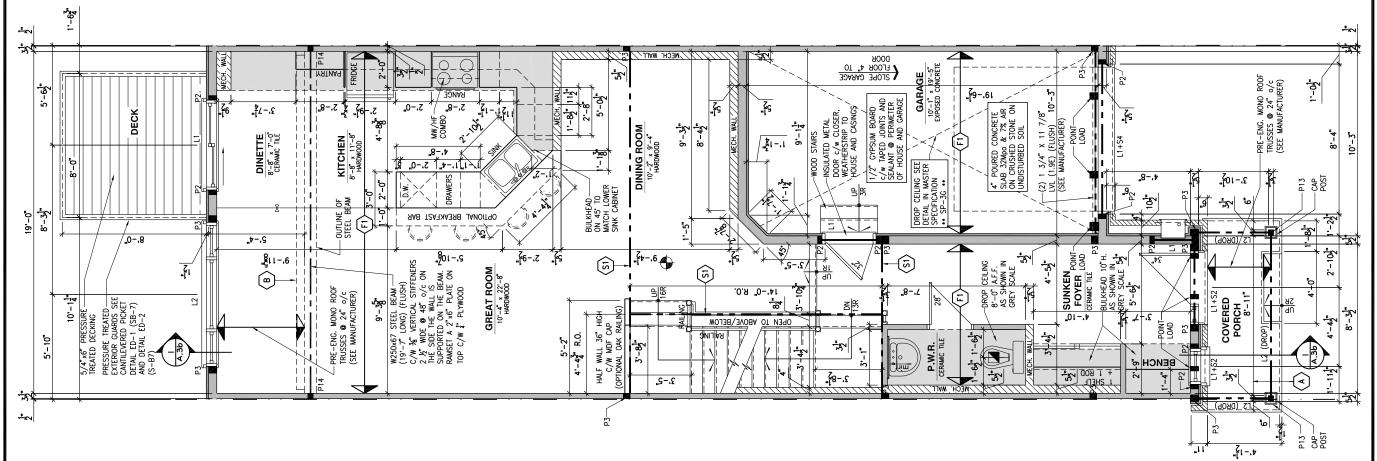
120 - THE HUNTLEY 2020 FOOTPRINT

SHEET A.7m

- > 11 %" PRE-ENG. OPEN JOIST TRIFORCE @ 19.2" o/c c/w STRAPPING UNLESS OTHERWISE NOTED (SEE MANUFACTURER)
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LOT: XXXX DATE: XX/XX/XXXX



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RAWING: GROUND FLOOR - WALKOUT **OPTIONAL KITCHEN #1 - MID**

(STANDARD DRAWINGS)

SCALE: 3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY

2020 FOOTPRINT

A.7n

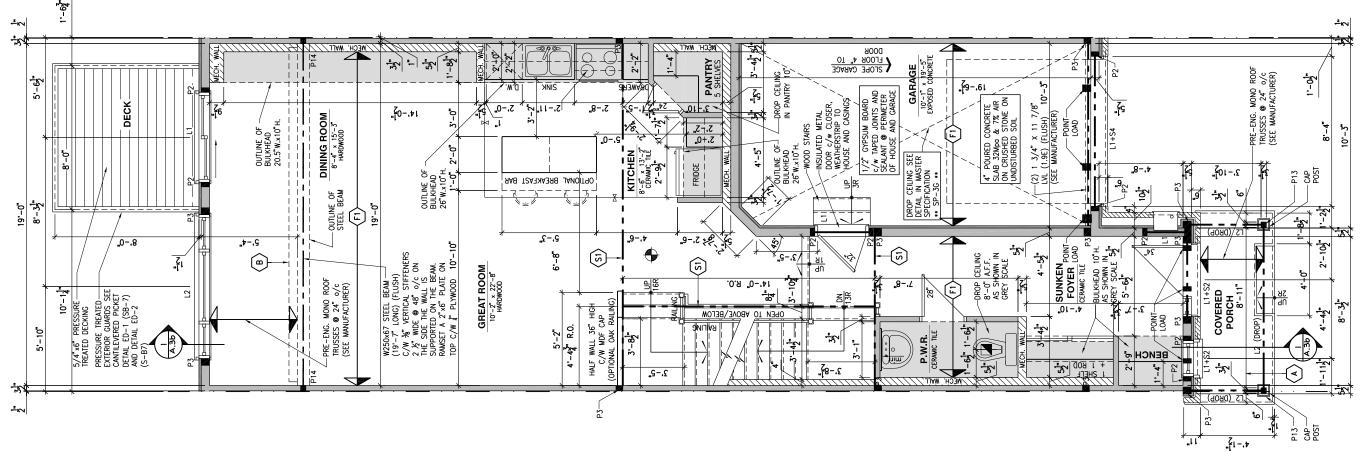
SHEET

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AWING: GROUND FLOOR - WALKOUT **OPTIONAL KITCHEN #2 - MID**

SCALE: 3/16" = 1'-0" XX/XX/XXXX

SHEET

A.7o

120 - THE HUNTLEY

2020 FOOTPRINT

(STANDARD DRAWINGS)

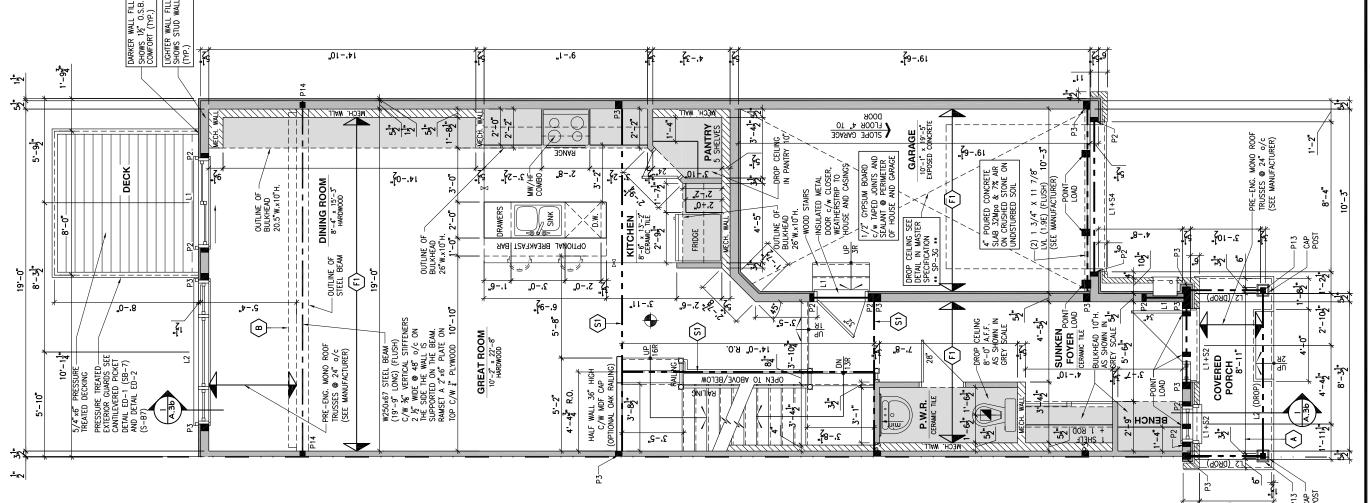
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GROUND FLOOR PLAN - WALKOUT - STANDARD KITCHEN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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AWIGHOUND FLOOR - WALKOUT STANDARD KITCHEN-GARAGE END

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120 - THE HUNTLEY 2020 FOOTPRINT

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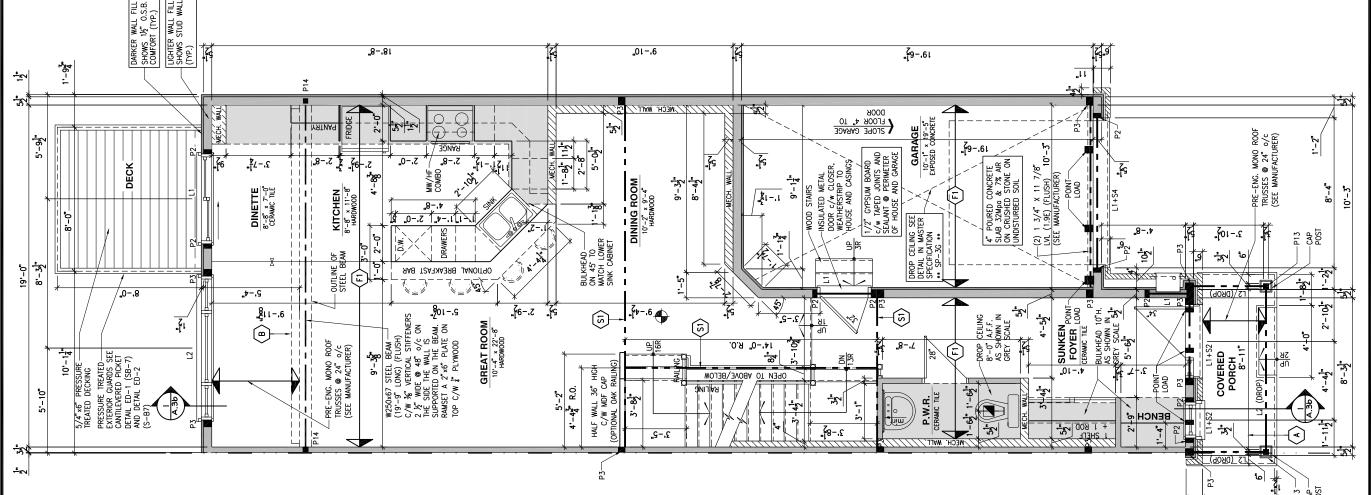
A.7p

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GROUND FLOOR PLAN - WALKOUT - OPTIONAL KITCHEN #1 - GARAGE END UNIT

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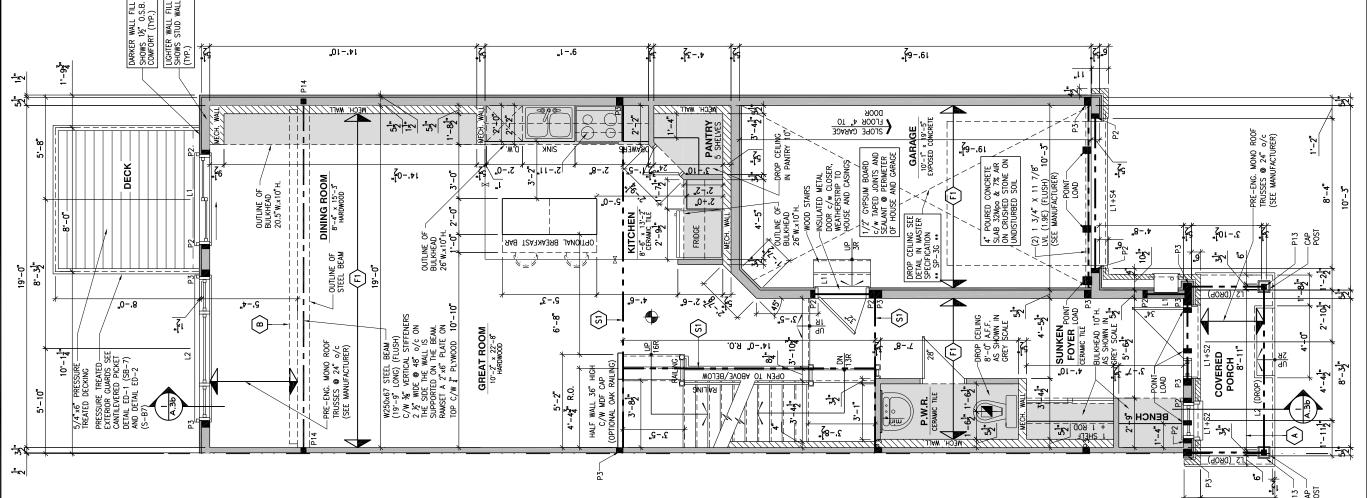
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NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = L 200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*) (*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND — CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYO
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VΗ
REV-1	NEW STANDARD DRWG MODIFICATION		MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

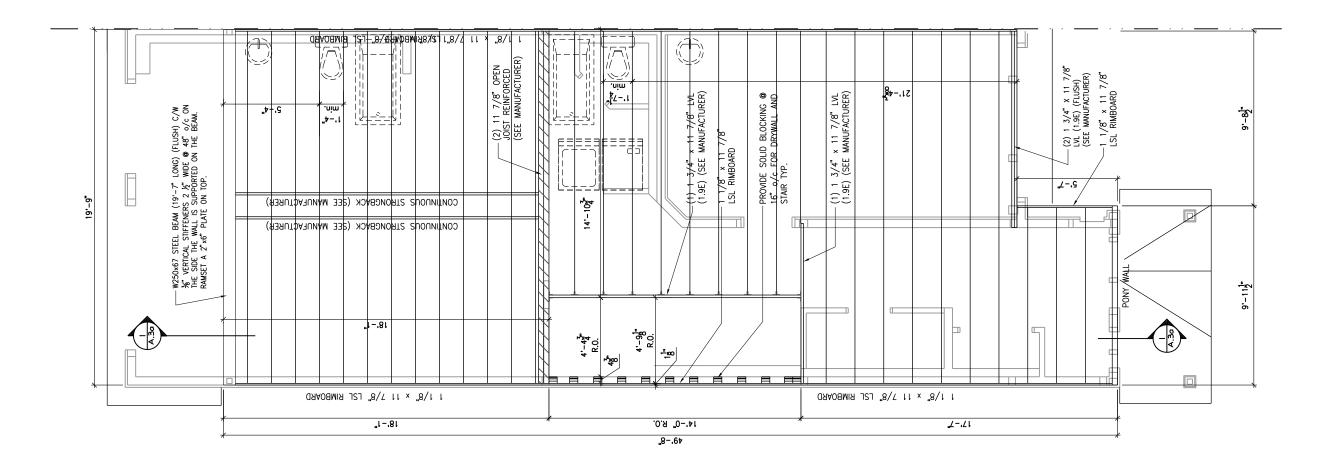
AWING: GROUND FLOOR - WALKOUT **OPT. KITCHEN #2 -GARAGE END**

3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

A.7r

SHEET



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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TARION REGISTRATION NUMBER #611

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR

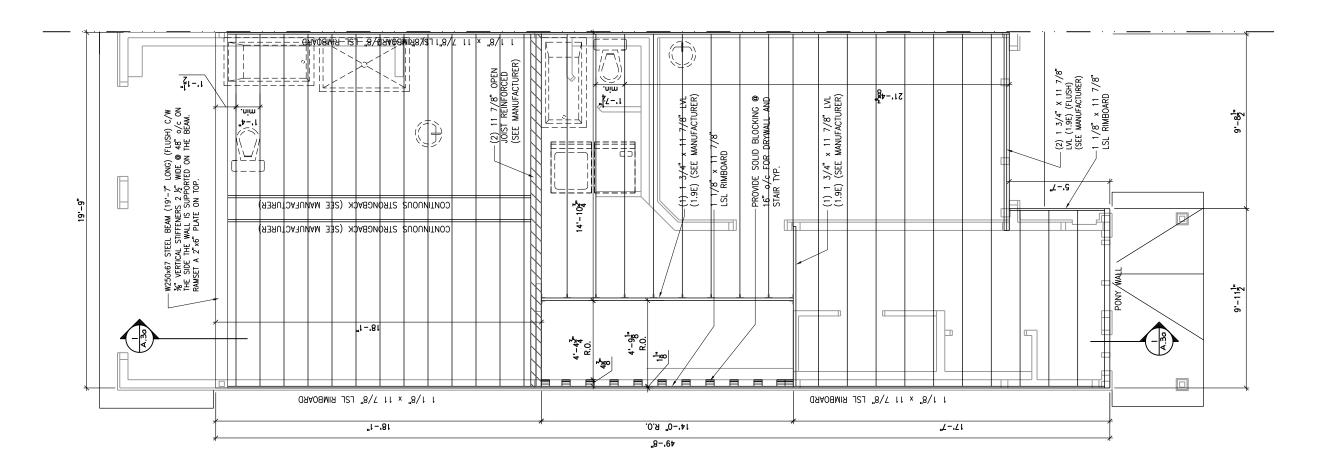
SHEET:

A.8a

JOIST FRAMING - PORCH END DATE: XX/XX/XXXX

| SCALE: | 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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2012 O.B.C. DRAWINGS

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR

JOIST FRAMING - PORCH END DATE: XX/XX/XXXX

| SCALE: | 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.8b

SHEET:

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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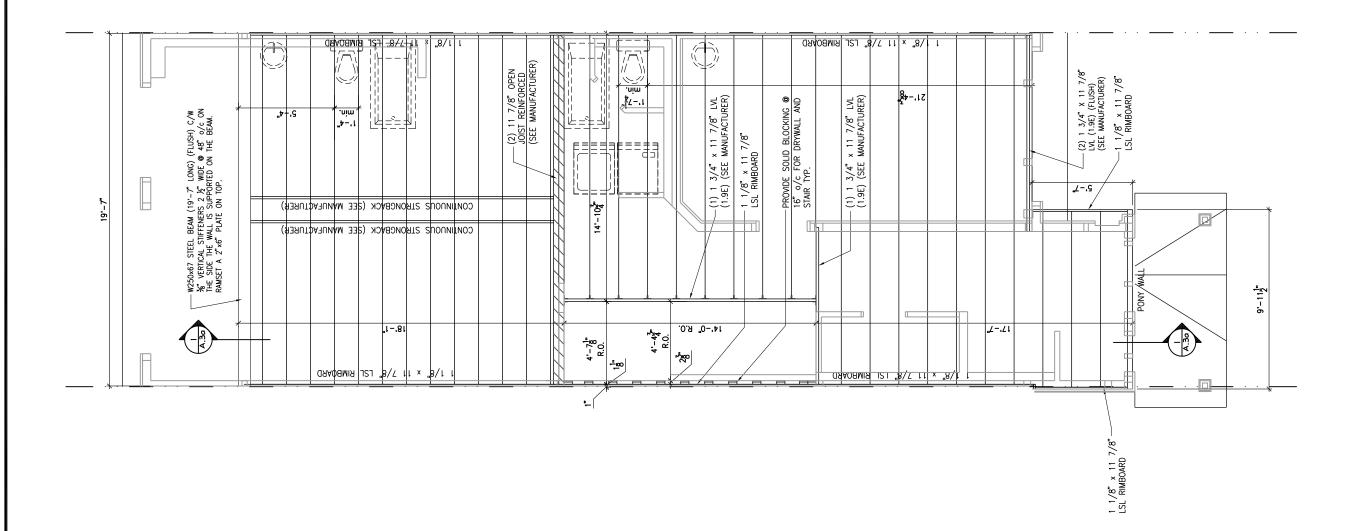
RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING - PORCH END**

(STANDARD DRAWINGS)

| SCALE: | DATE: | XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

SHEET: A.8c



(A.8d)

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

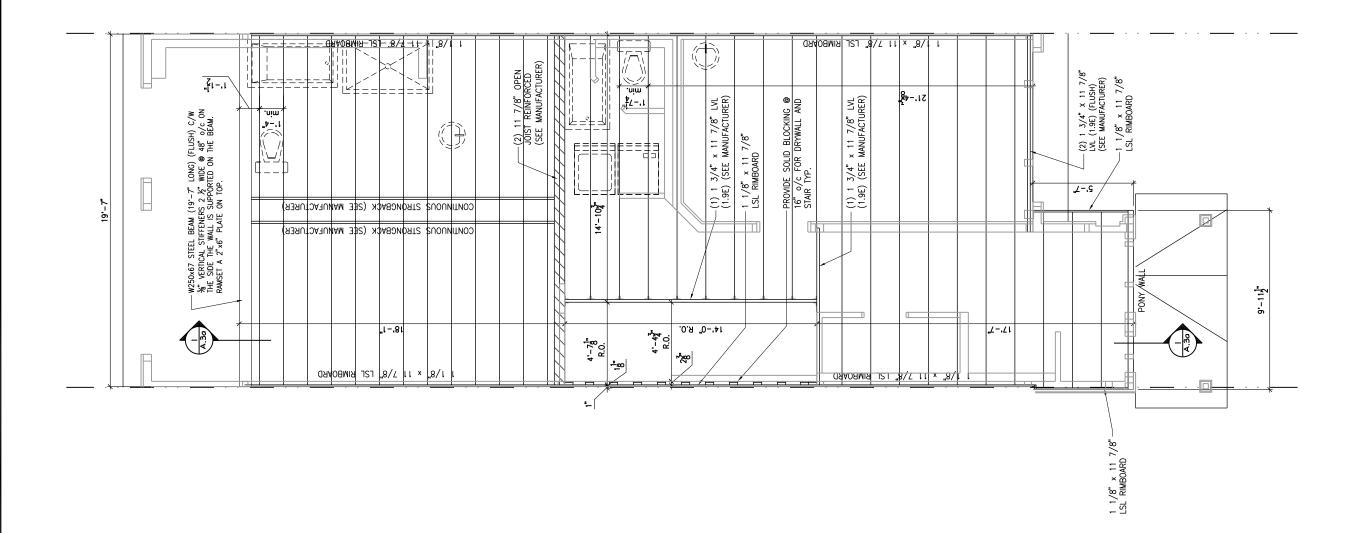
RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN-MID**

SHEET:

A.8d

DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

SCALE: 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.8e

DATE: XX/XX/XXXX

SCALE: 3/16" = 1'-0"

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR **JOIST FRAMING PLAN - MID**

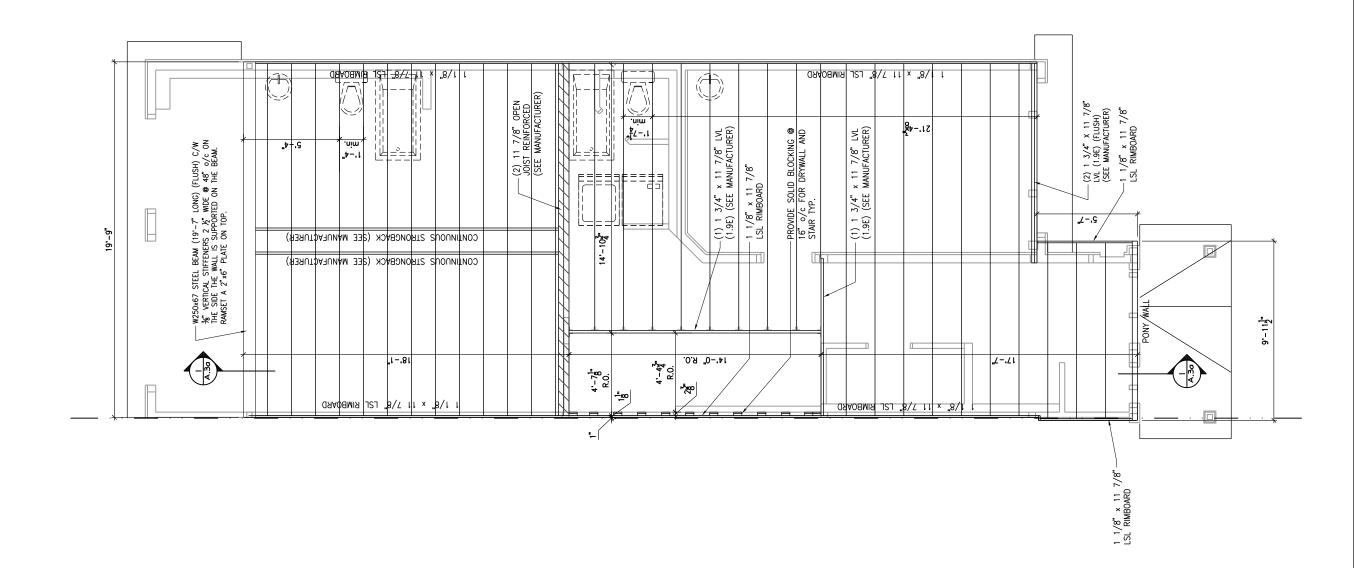
| SCALE: | DATE: | XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.8f

SHEET:



(A.8g)

SECOND FLOOR - FLOOR JOIST FRAMING PLAN - STANDARD ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR

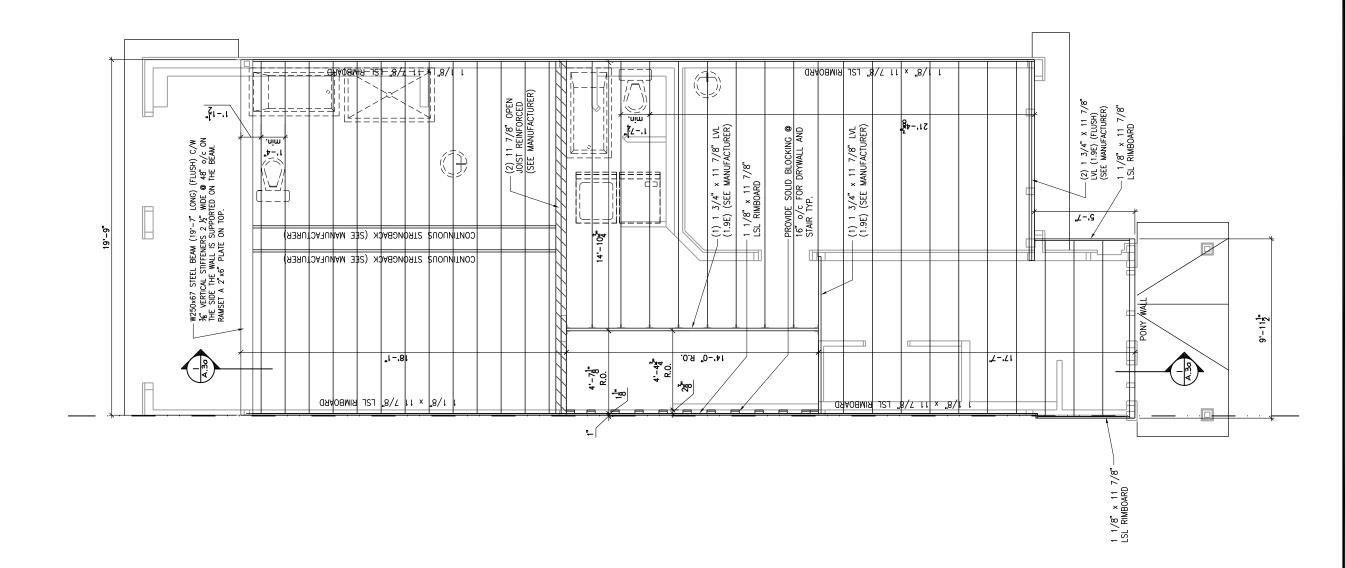
SHEET:

A.8g

JOIST FRAMING - GARAGE END DATE: XX/XX/XXXX

SCALE: 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

RAWING: SECOND FLOOR - FLOOR

JOIST FRAMING - GARAGE END DATE: XX/XX/XXXX

| SCALE: | 3/16" = 1'-0" 120 - THE HUNTLEY

2020 FOOTPRINT

SHEET:

A.8h



SECOND FLOOR - FLOOR JOIST FRAMING PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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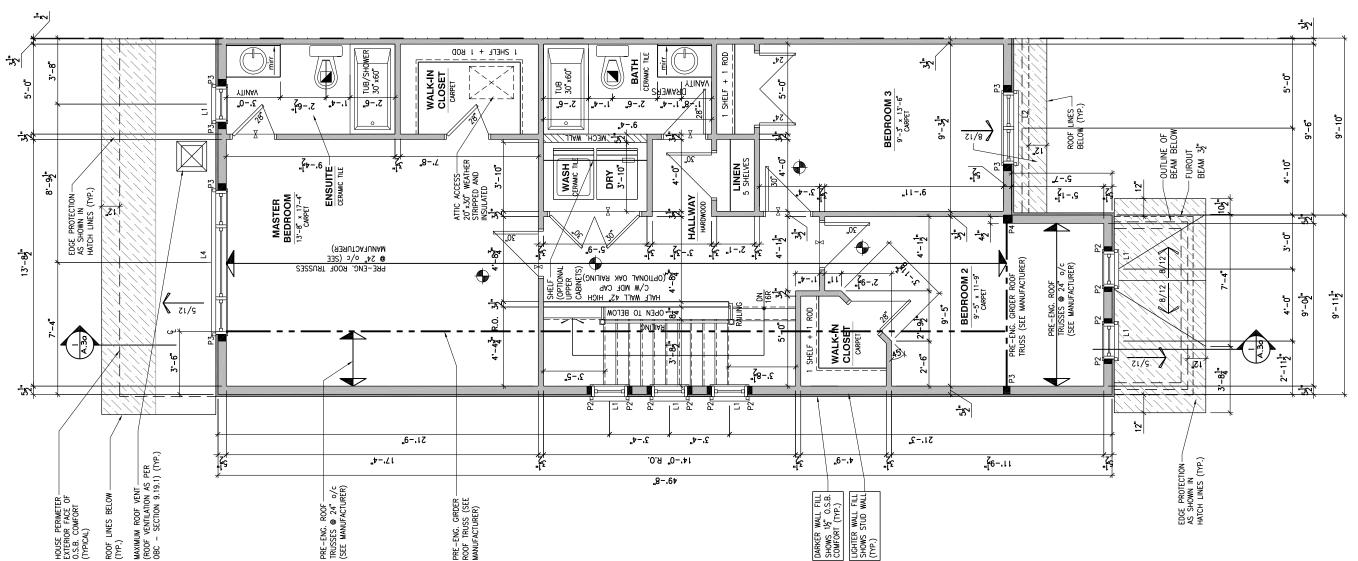
| SCALE: | DATE: | XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

SHEET: **A.8i**

GENERAL NOTES:

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



LOT: **XXXX** DATE: XX/XX/XXXX



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN

STANDARD ENSUITE - PORCH END

120 - THE HUNTLEY

A.9a

XX/XX/XXXX

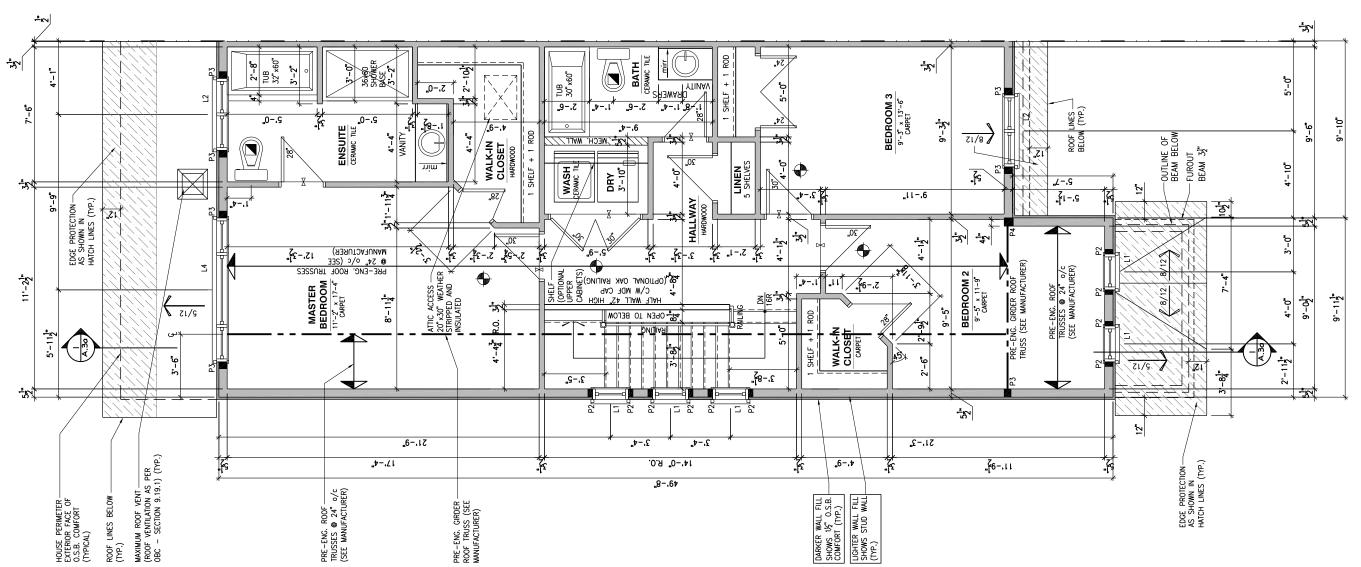
SHEET

2020 FOOTPRINT

(STANDARD DRAWINGS)

SECOND FLOOR PLAN - STANDARD ENSUITE - PORCH END UNIT SCALE: 3/16" = 1'-0"

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX



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STEEL LINTEL:

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LINTEL TABLE:

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P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

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- 13 63 83 89 89 4.8 + 100 200 x12 1 & B PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 & B PL. (*) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 & B PL. (*) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 & B PL. (*) P17 = HSS 73 0.0 x4.8 + 100 x180 x12 BOTTOM PL.
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2012 O.B.C. DRAWINGS

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NO.	DESCRIPTION	MM/DD/YYYY	BY

ORAWING: SECOND FLOOR PLAN

OPT 4PC ENSUITE - PORCH END SCALE: 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.9b

xx/xx/xxxx

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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LINTEL TABLE:

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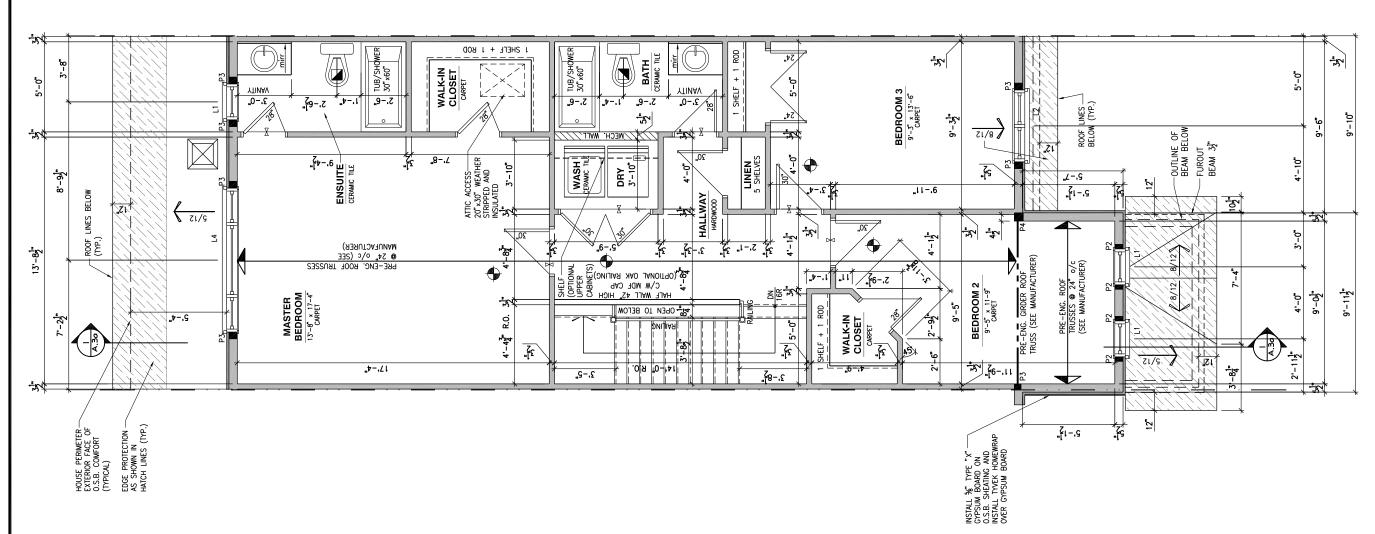
OPT 5PC ENSUITE - PORCH END | SCALE: | 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

SHEET: A.9c

xx/xx/xxxx

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 $\left(A.9d \right)$

SECOND FLOOR PLAN - STANDARD ENSUITE - MID UNIT

LOT: **XXXX** DATE: XX/XX/XXXX



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SECOND FLOOR PLAN **STANDARD ENSUITE - MID**

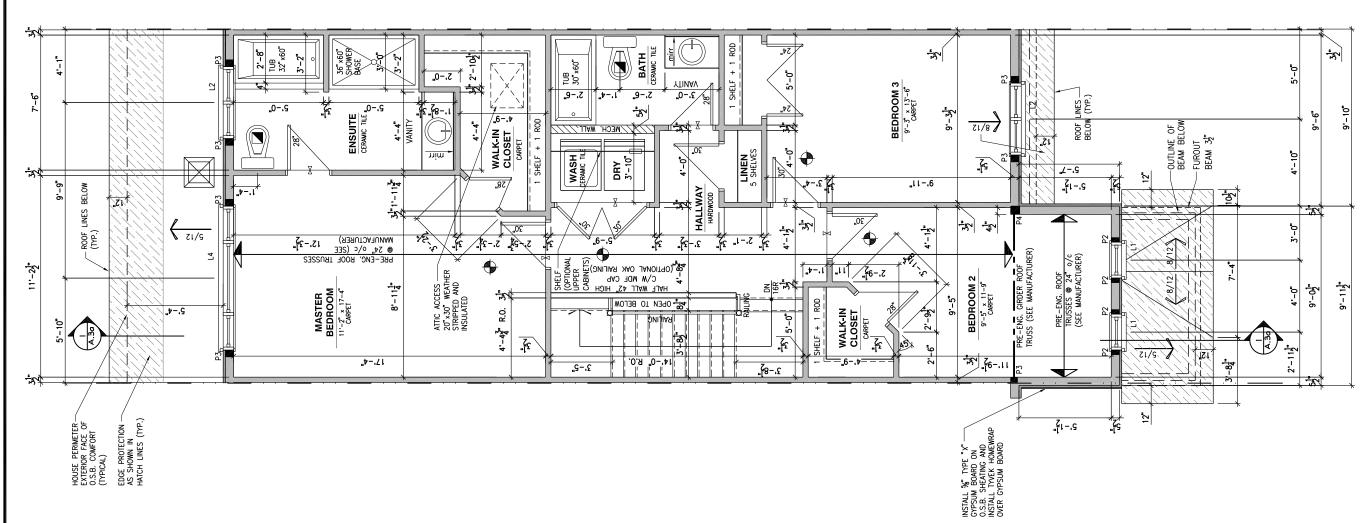
SCALE: 3/16" = 1'-0" XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.9d

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 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - MID UNIT

(A.9e)

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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SECOND FLOOR PLAN **OPT 4 PC ENSUITE - MID**

SCALE: 3/16" = 1'-0"

XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.9e

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
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SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - MID UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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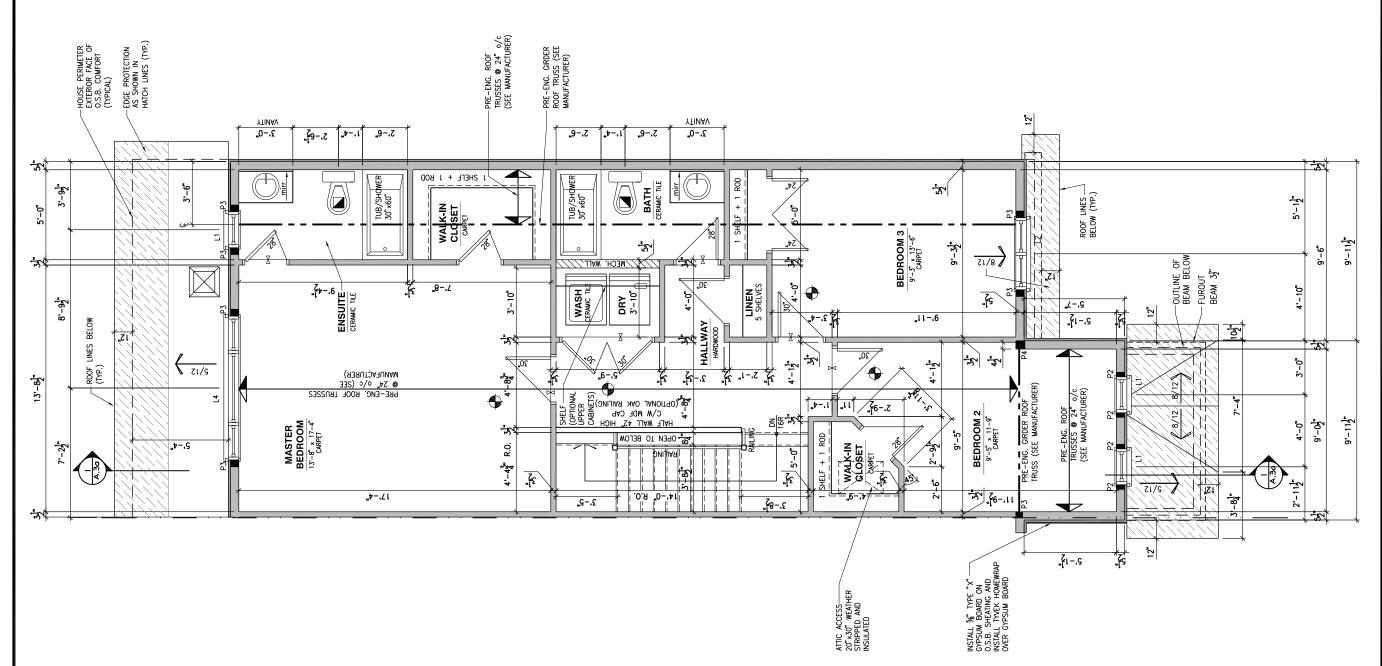
XX/XX/XXXX SHEET:

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

A.9f

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SECOND FLOOR PLAN - STANDARD ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NOTES: STEEL LINTEL:

- S1 = L 90x90x6 S2 = L 90x90x8 S3 = L 100x90x8 S4 = L 125x90x8 S5 = L 125x90x10
- $S6 = L 200 \times 100 \times 12$
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES
- IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
 P10 = HEAVY DUTY, TYPE 2, ADJUSTABLE RED JACK
 POST BY USP
 P2 = 2-244 OR 2-2x6
 P3 = 3-2x4 OR 3-2x6
 P4 = 4-2x4 OR 4-2x6
 P5 = 5-2x4 OR 5-2x6
 P6 = 6-2x4 OR 6-2x6
 P13 = USS R8 0x88 0x 18 x 100x200x12 T&B P1
- P4 = 4-2x4 Or 4-2x0 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
- 13 63 83 83 89 4.8 + 100 200 x12 1 & B PL. (*) P15 = HSS 83 x89 x4.8 + 100 x200 x12 1 & B PL. (*) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 & B PL. (*) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 & B PL. (*) P17 = HSS 73 0.0 x4.8 + 100 x180 x12 BOTTOM PL.
- + 130×160×10 TOP PL. (*)

 (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

* POST ARE ALL JACK c/w STUD

(EX. P2 = 1 JACK + 1 STUD)

• IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING.
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY, 4 MINUTES OF ALARM, AND
CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYOR
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	٧H
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	٧H
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN

STANDARD ENSUITE-GARAGE END

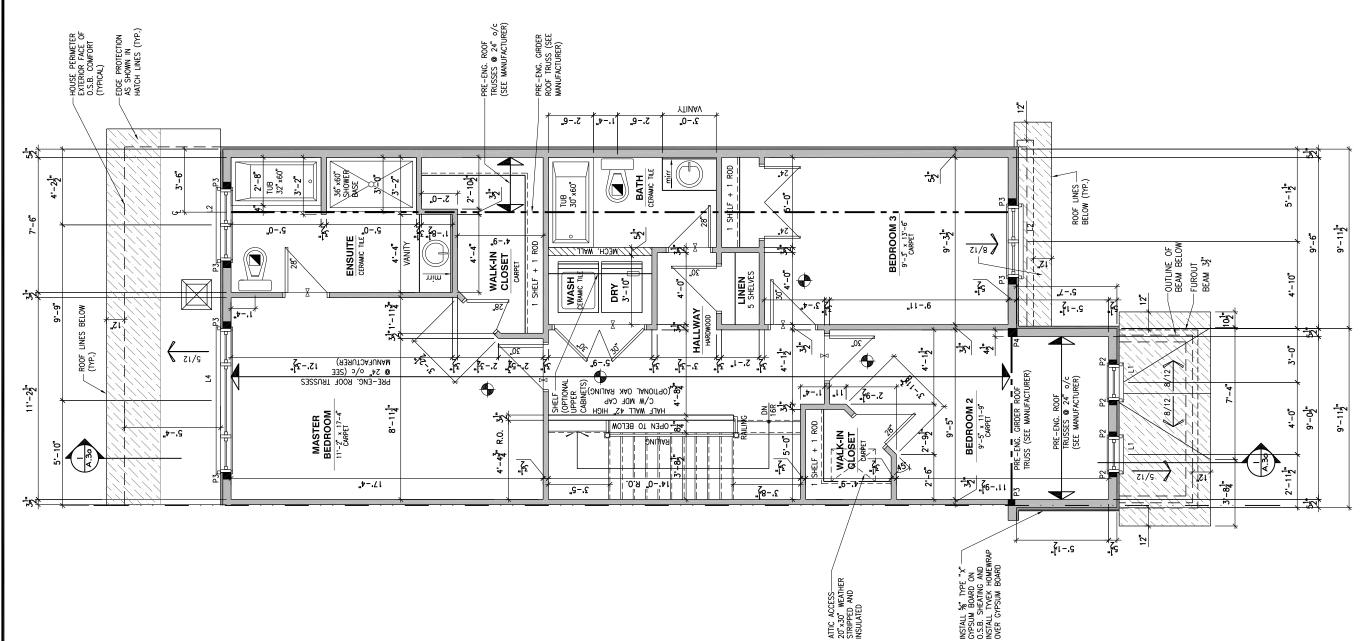
SCALE: 3/16" = 1'-0" 120 - THE HUNTLEY

2020 FOOTPRINT

SHEET **A.**9g

XX/XX/XXXX

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER
 TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS



SECOND FLOOR PLAN - OPTIONAL 4 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** XX/XX/XXXX



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STEEL LINTEL:

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S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

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L3 = 2-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.9E) + P3 ON BOTH SIDES

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POST TABLE:

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POST BY USP
P2 = 2-244 OR 2-2x6
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P5 = 5-2x4 OR 5-2x6
P6 = 6-2x4 OR 6-2x6
P13 = HSS R8 0x88 0x 18 x 100x200x12 T&B P1

P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

13 63 83 89 89 4.8 + 100 200 x12 1 & B PL. (*) P15 = HSS 89 x89 x4.8 + 100 x200 x12 1 & B PL. (*) P15 = HSS 76 2 x76 2 x4.78 + 100 x180 x12 1 & B PL. (*) P16 = HSS 76 2 x76 2 x4.78 + 130 x130 x12 1 & B PL. (*) P17 = HSS 73 0.0 x4.8 + 100 x180 x12 BOTTOM PL.

+ 130×160×10 TOP PL. (*)

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

DRAWING: SECOND FLOOR PLAN

OPT 4PC ENSUITE - GARAGE END SCALE: 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

A.9h

xx/xx/xxxx

SHEET

- 1- ALL POINT LOADS TO BE BLOCKED DOWN TO THE FOUNDATION WALL OR SUPPORTING MEMBER
- 2- ALL BEAMS TO HAVE A MIN 3 1/2" END BEARING
- 3- COORDINATE COLUMNS WITH FINAL LOCATION OF GIRDER TRUSSES AS PER APPROVED ROOF TRUSS SHOP DRAWINGS

SECOND FLOOR PLAN - OPTIONAL 5 PC ENSUITE - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: **XXXX** DATE: XX/XX/XXXX



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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
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NO.	DESCRIPTION	MM/DD/YYYY	RY

DRAWING: SECOND FLOOR PLAN

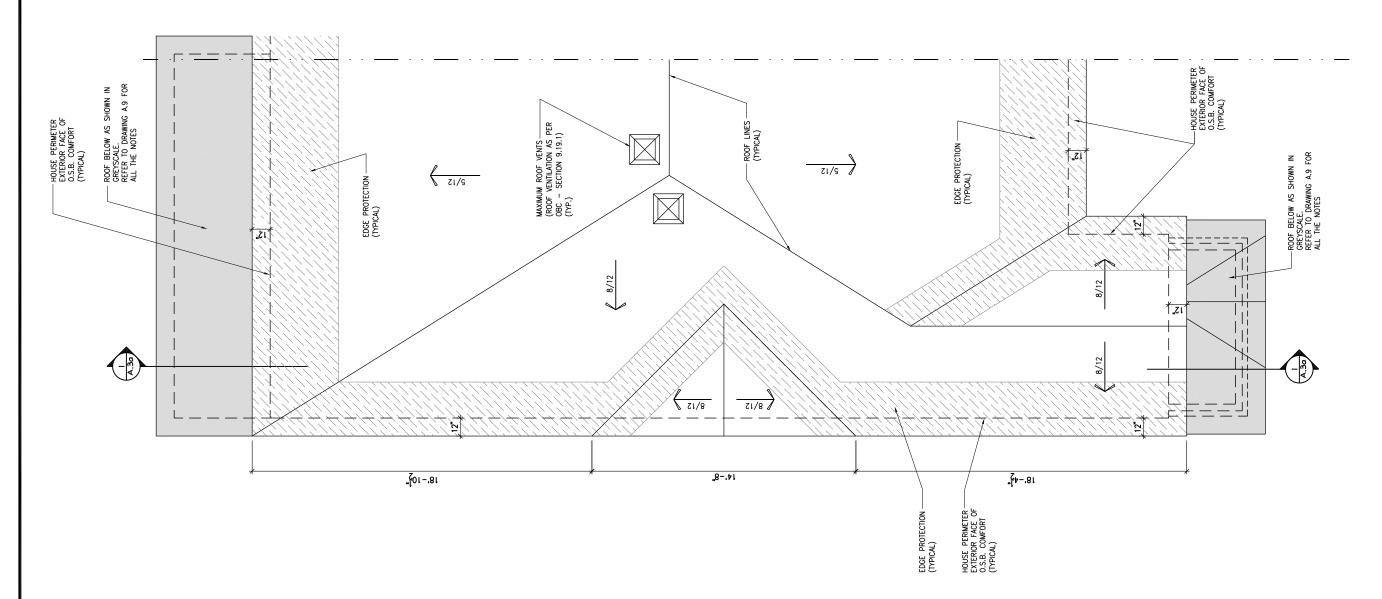
OPT 5PC ENSUITE - GARAGE END

| SCALE: | 3/16" = 1'-0" xx/xx/xxxx SHEET: 120 - THE HUNTLEY

A.9i

(STANDARD DRAWINGS)

2020 FOOTPRINT



ROOF PLAN - PORCH END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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2012 O.B.C. DRAWINGS

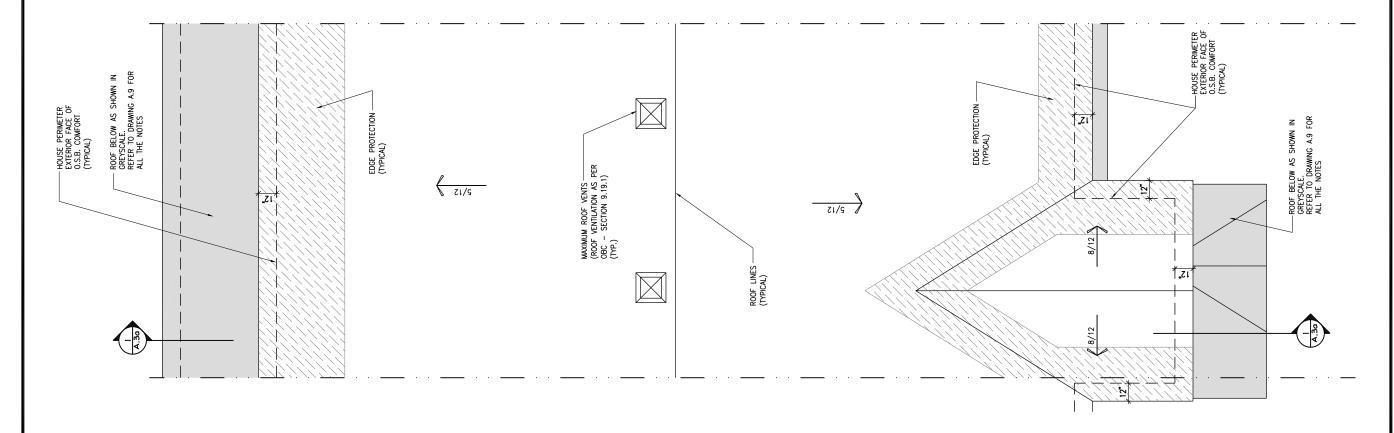
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REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VΗ
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ROOF PLAN - PORCH END UNIT

| SCALE: | 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT





LOT: XXXX XX/XX/XXXX DATE:

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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

ROOF PLAN - MID UNIT

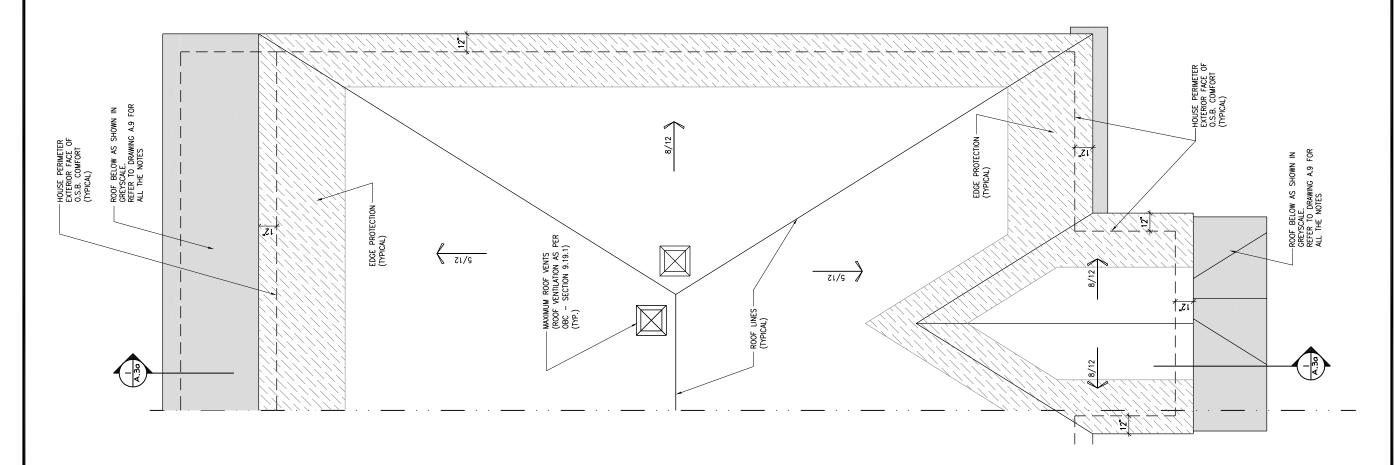
SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

SHEET: A.10b





ROOF PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

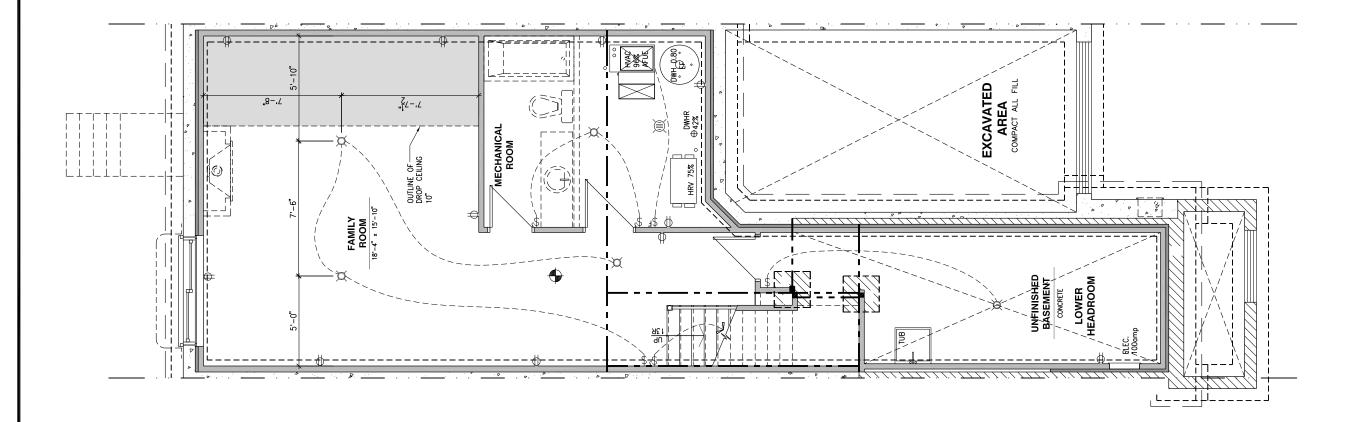
(STANDARD DRAWINGS)

DRAWING:
ROOF PLAN - GARAGE END UNIT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

SHEET: A.10c



E.la

ELECTRICAL PLAN - BASEMENT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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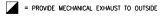
- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET



- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



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2012 O.B.C. DRAWINGS

l			
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REV-1	NEW STANDARD DRWG MODIFICATION		MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

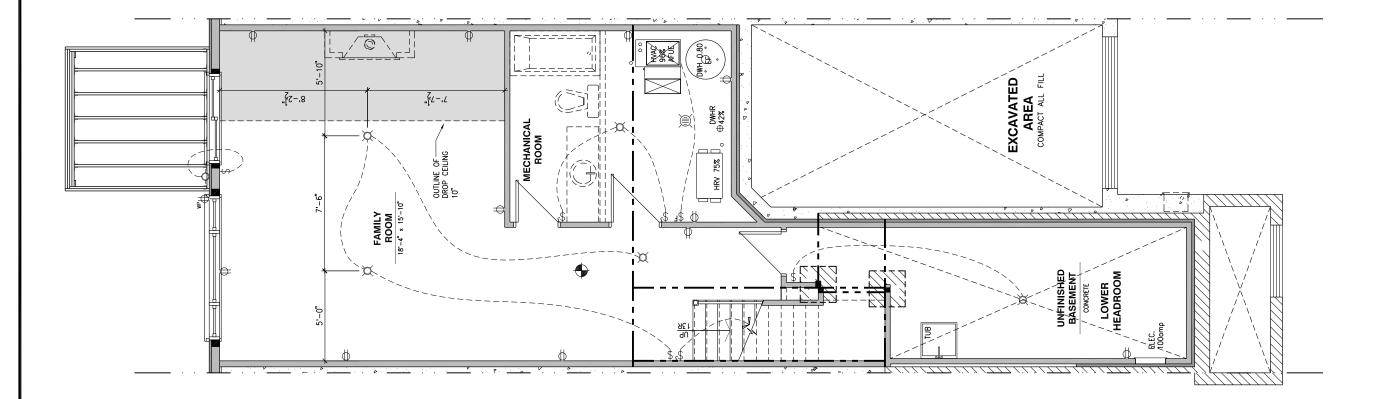
ELECTRICAL PLAN BASEMENT

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.1a



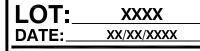
ELECTRICAL PLAN - BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0"

120 - THE HUNTLEY

2020 FOOTPRINT

DATE: XX/XX/XXXX SHEET: E.1b



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- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT

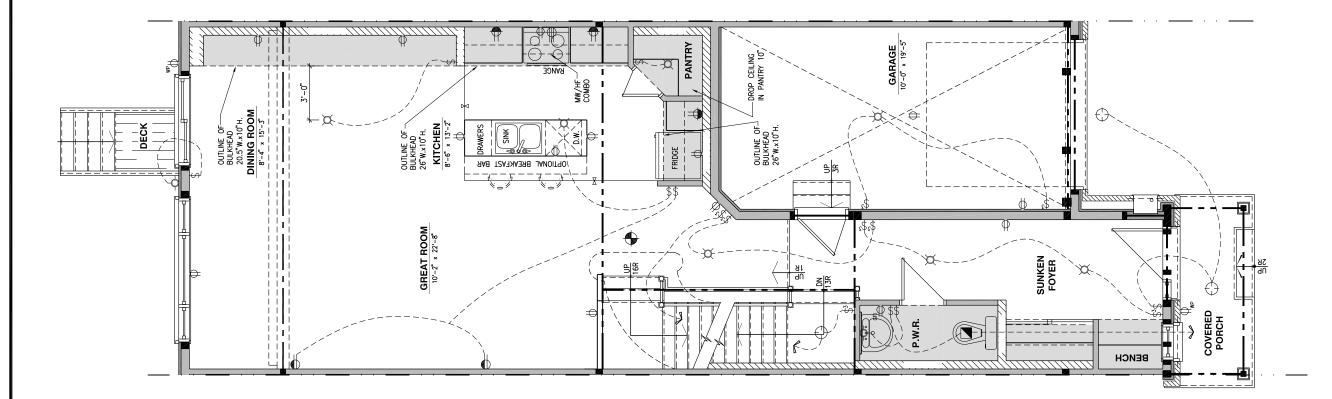
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ELECTRICAL PLAN BASEMENT - WALKOUT

SCALE: 3/16" = 1'-0"



E.2a/

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET



220 VOLT OUTLET

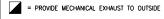
- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



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2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
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REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

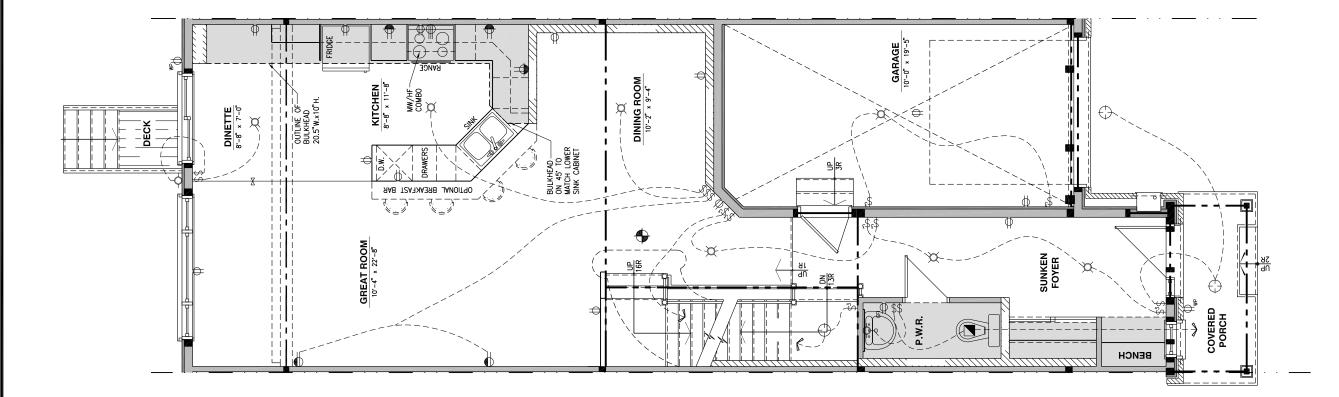
ELECTRICAL PLAN GROUND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.2a



(E.2b)

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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- WP WEATHER PROOF DUPLEX OUTLET
- SPLIT OUTLET
- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN GROUND FLOOR

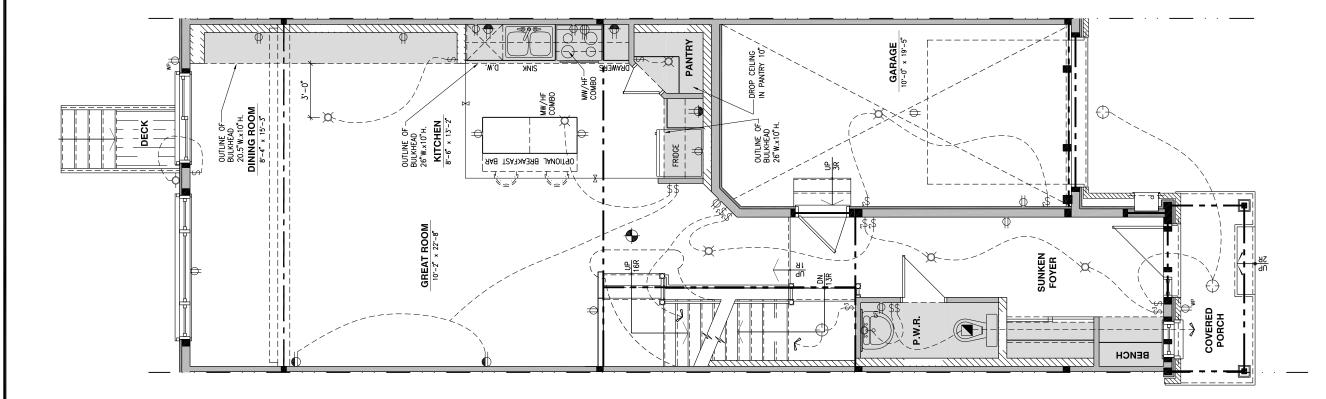
SCALE: 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.2b

DATE: XX/XX/XXXX



E.2c

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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- WP WEATHER PROOF DUPLEX OUTLET

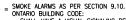


220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT



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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN

GROUND FLOOR

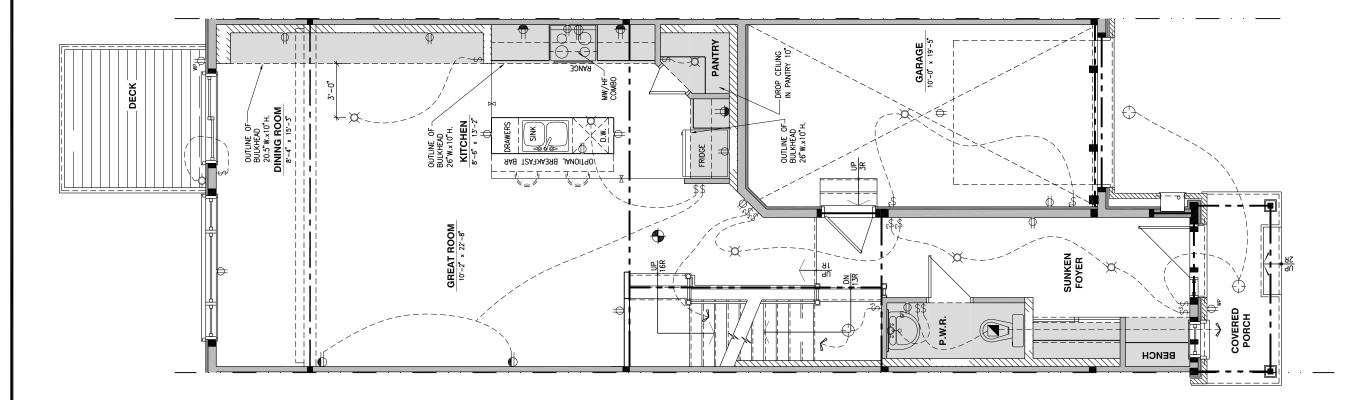
SCALE: 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

E.2c

DATE: XX/XX/XXXX

SHEET:



E.2d

ELECTRICAL PLAN - GROUND FLOOR - STANDARD KITCHEN - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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GROUND FAULT INTERVOLT

WP WEATHER PROOF DUPLEX OUTLET

SPLIT OUTLET

220 VOLT OUTLET

- WALL MOUNTED LIGHT FIXTURE

CEILING MOUNTED LIGHT FIXTURE

POT LIGHT

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NO.	DESCRIPTION	MM/DD/YYYY	BY

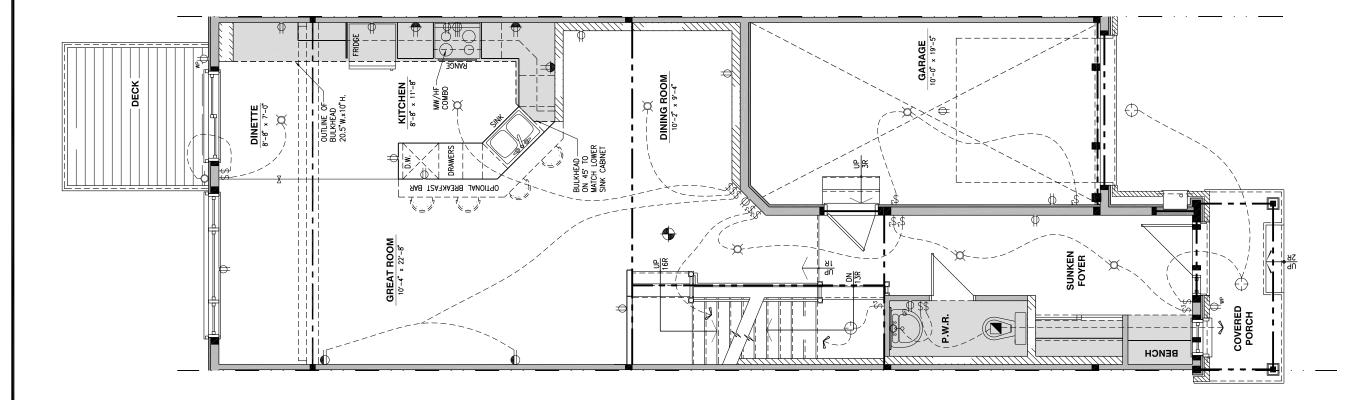
ELECTRICAL PLAN GROUND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX SHEET:

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.2d



E.2e

ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 1 - WALKOUT

LOT: XXXX DATE: XX/XX/XXXX



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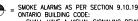
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2012	O.B.C.	DRAWI	NGS
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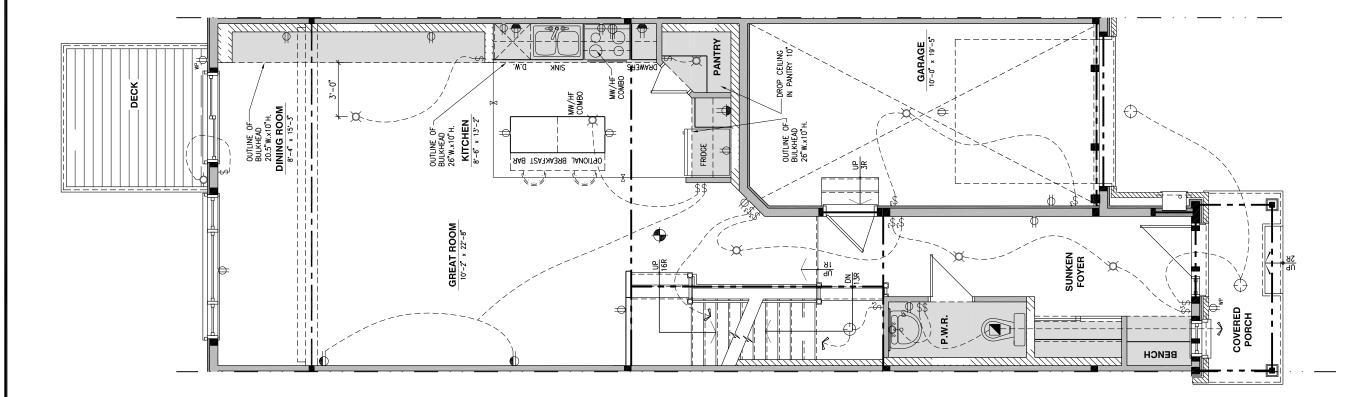
(STANDARD DRAWINGS)

ELECTRICAL PLAN GROUND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

120 - THE HUNTLEY 2020 FOOTPRINT

E.2e



ELECTRICAL PLAN - GROUND FLOOR - OPTIONAL KITCHEN 2 - WALKOUT

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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NO.	DESCRIPTION	MM/DD/YYYY	BY

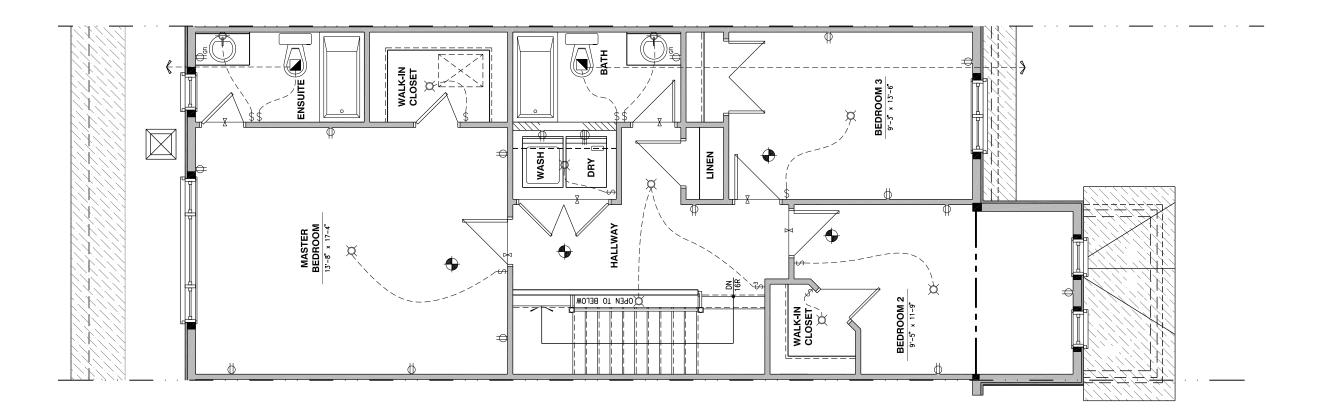
ELECTRICAL PLAN **GROUND FLOOR**

SCALE: 3/16" = 1'-0"

DATE: XX/XX/XXXX SHEET:

120 - THE HUNTLEY 2020 FOOTPRINT

E.2f



(E.3a)

ELECTRICAL PLAN - SECOND FLOOR - STANDARD ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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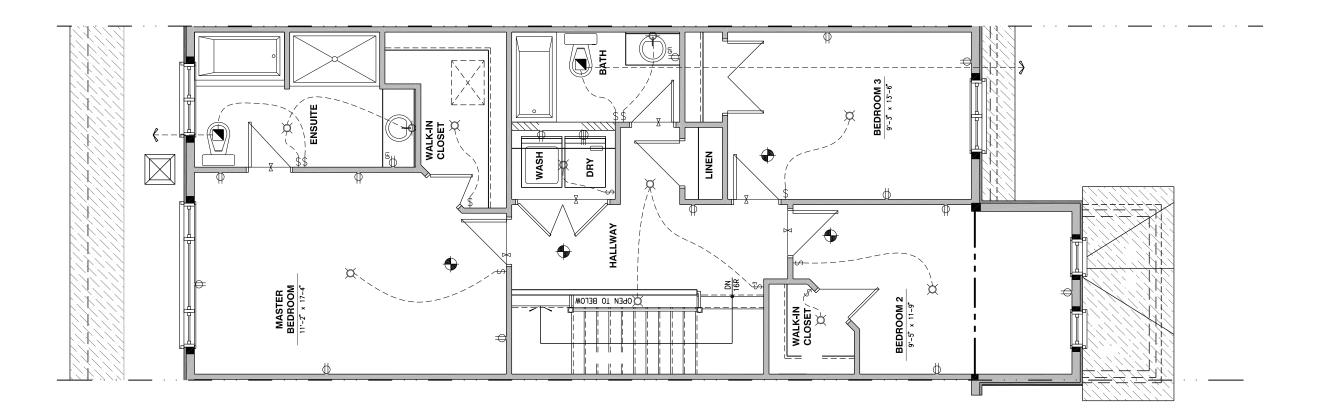
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NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" xx/xx/xxxx

SHEET:

120 - THE HUNTLEY 2020 FOOTPRINT



(E.3b)

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 4 PC ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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220 VOLT OUTLET

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REV-1	NEW STANDARD DRWG MODIFICATION		MAD
NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0"

120 - THE HUNTLEY 2020 FOOTPRINT

(STANDARD DRAWINGS)

E.3b

DATE: XX/XX/XXXX

ELECTRICAL PLAN - SECOND FLOOR - OPTIONAL 5 PC ENSUITE

SCALE: 3/16" = 1'-0"

LOT: XXXX DATE: XX/XX/XXXX



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THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.

THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.

NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.

- \$ SINGLE POLE SWITCH
- \$3 3 WAY SWITCH
- \$4 4 WAY SWITCH
- \$F FURNACE SWITCH
- \$FP FIREPLACE SWITCH
- DUPLEX OUTLET (12" HIGH)
- DUPLEX OUTLET (UPPER HALF SWITCH)
- GROUND FAULT INTERVOLT
- WP WEATHER PROOF DUPLEX OUTLET



- 220 VOLT OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- POT LIGHT



- SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

 SHALL HAVE A VISUAL SIGNALING DEVICE;

 ARE RECOURED IN EACH SILEEPING ROOM AND HALLWAY;

 ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;

 ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND

 CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

REV-4	NEW STANDARD DRWG MODIFICATION	01/01/2021	DOYON
REV-3	AS PER STRUCTURAL REVIEW	03/20/2019	VH
REV-2	AS PER STRUCTURAL REVIEW	11/07/2018	VH
REV-1	NEW STANDARD DRWG MODIFICATION	11/13/2017	
NO.	DESCRIPTION	MM/DD/YYYY	BY

ELECTRICAL PLAN SECOND FLOOR

SCALE: 3/16" = 1'-0" DATE: XX/XX/XXXX

SHEET:

E.3c

120 - THE HUNTLEY 2020 FOOTPRINT