

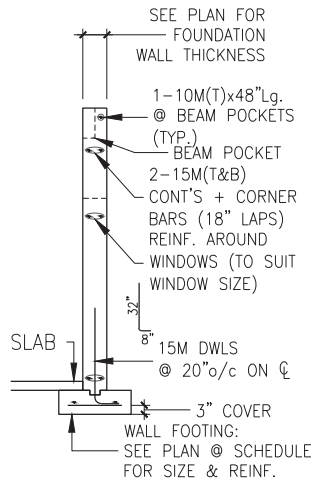
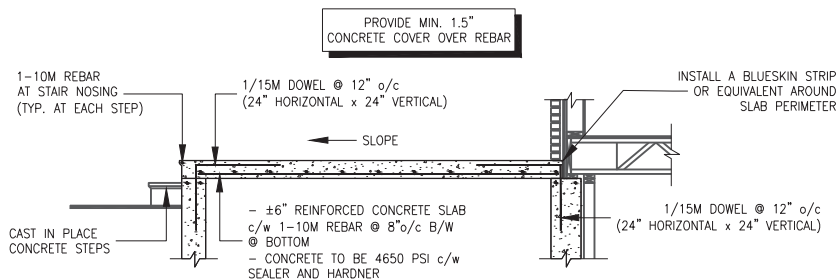
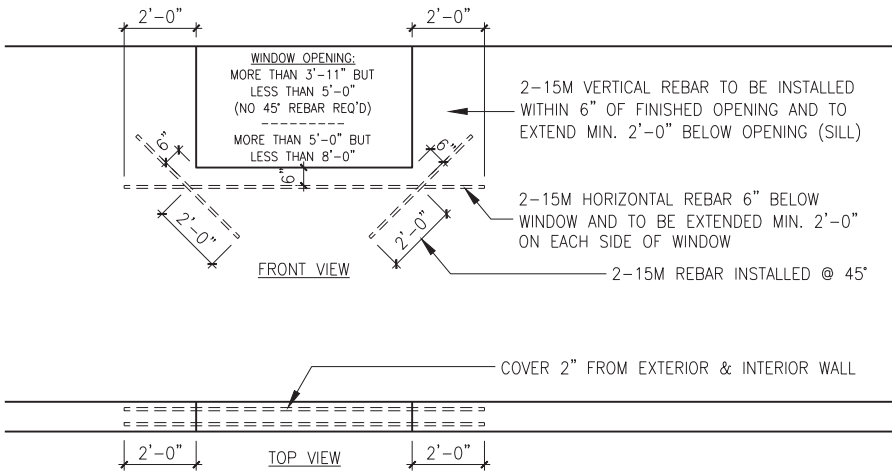
FOOTING SCHEDULE					
ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.

## PAD FOOTING SCHEDULE

ALLOWABLE SOIL BEARING CAPACITY / BEARING RESISTANCE AT SLS FOR «SITE CLASS:D»					
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	40"x40"x10" DP.3-15M (B)x34" LG.EW.	44"x44"x10" DP. 3-15M (B)x38" LG.EW	48"x48"x10" DP. 4-15M (B)x42" LG.EW	52"x52"x10" DP. 4-15M (B)x46" LG.EW	64"x64"x12" DP. 5-15M (B)x58" LG.EW
F2	24"x24"x10" DP.	24"x24"x10" DP.	24"x24"x10" DP.	28"x28"x12" DP.	64"x64"x12" DP. 5-15M (B)x58" LG.EW
F3	36"x60"x10" DP.3-15M (B) LONG. AND 5-15M (B) TRANS.	40"x60"x10" DP.3-15M (B) LONG. AND 5-15M (B) TRANS.	44"x66"x10" DP.4-15M (B) LONG. AND 5-15M (B) TRANS.	48"x72"x10" DP.4-15M (B) LONG. AND 6-15M (B) TRANS.	60"x84"x12" DP. 5-15M(B) LONG and 7-15M(B) TRANS.

## FOOTING TABLE

SCALE: 3/16" = 1'-0"



- NOTES:**
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
  - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. C/W 5 TO 8% AIR ENTRAINMENT & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
  - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
  - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
  - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 UTILITY WINDOW THAT:

B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m<sup>2</sup> (3,8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

## 2012 O.B.C. DRAWINGS

DRAWING:

## FOOTING TABLE

ADDRESS:	SCALE:	DATE:
XX	3/16" = 1'-0"	11/25/201

# 1030 - THE NASH 2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

# A5



- BASEMENT NOTE:**
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- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m<sup>2</sup> (3.8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



**Valecraft**  
Homes Ltd.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR  
VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS  
AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.


- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

**\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\***


REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN	* POST ARE ALL JACK C/w STUD
P2 = 2-2x4 OR 2-2x6	(EX. P2 = 1 JACK + 1 STUD)
P3 = 3-2x4 OR 3-2x6	* IF NO POST ARE MENTIONED ON
P4 = 4-2x4 OR 4-2x6	PLANS, PROVIDE MIN. A "P2"
P5 = 5-2x4 OR 5-2x6	
P6 = 6-2x4 OR 6-2x6	
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)	
P14 = HSS 89.8x89.4x8 + 100x200x12 T&B PL. (*)	
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)	
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)	
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (*)	
(*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)	

 = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE;

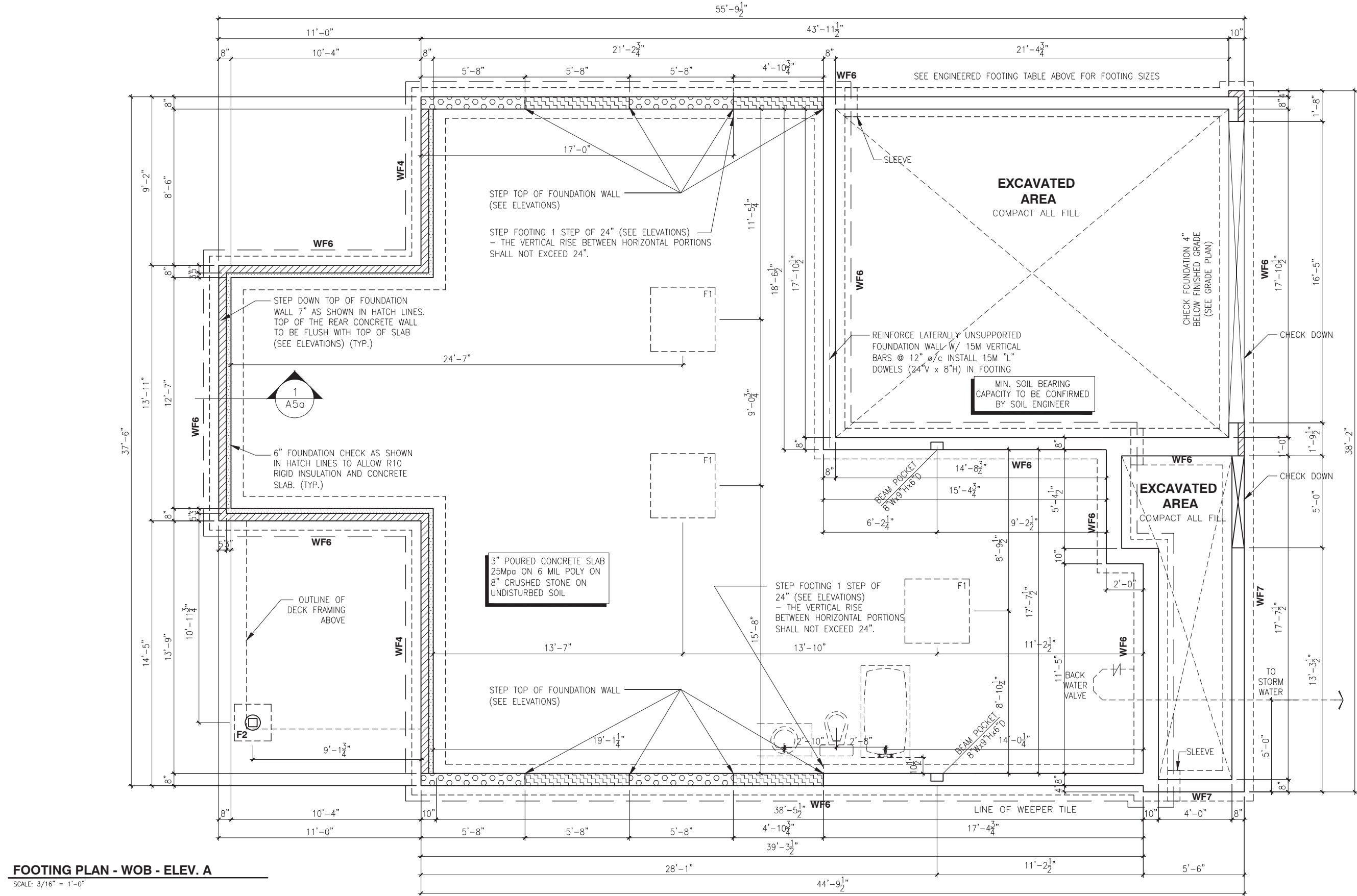
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

# 1030 - THE NASH 2018 FOOTPRINT

(STANDARD DRAWINGS)

### A5a



FOOTING PLAN - WOB - ELEV. A

SCALE: 3/16" = 1'-0"

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- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
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  - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

- BASEMENT NOTE:
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LOT: XXXX  
DATE: XX/XX/XXXX



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E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

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P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
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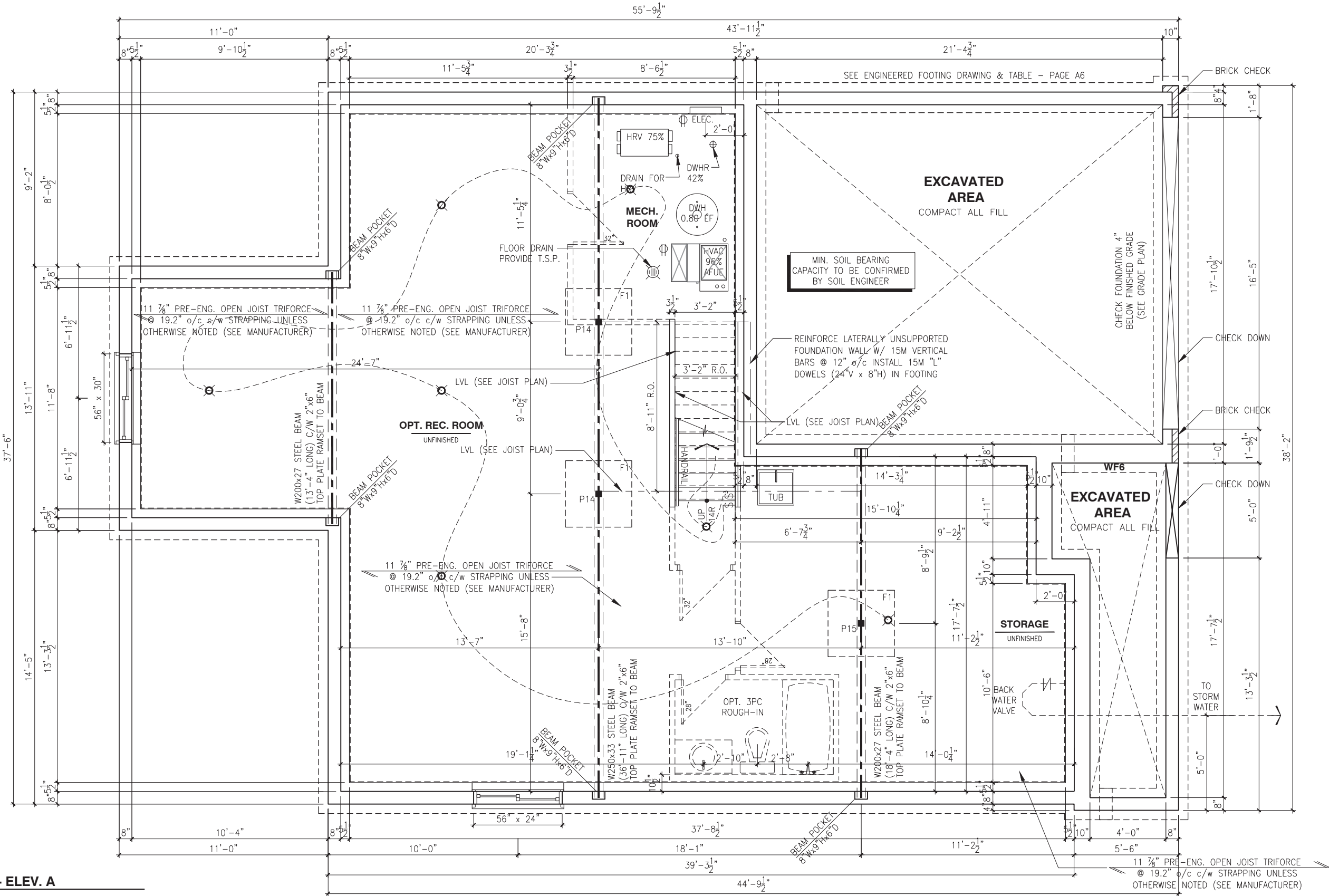
## 2012 O.B.C. DRAWINGS

DRAWING: FOOTING PLAN WOB

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A5a



BASEMENT PLAN - ELEV. A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

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NO.	DESCRIPTION	DATE	BY

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING:

BASEMENT PLAN

ADDRESS:

XX

SCALE:

3/16" = 1'-0"

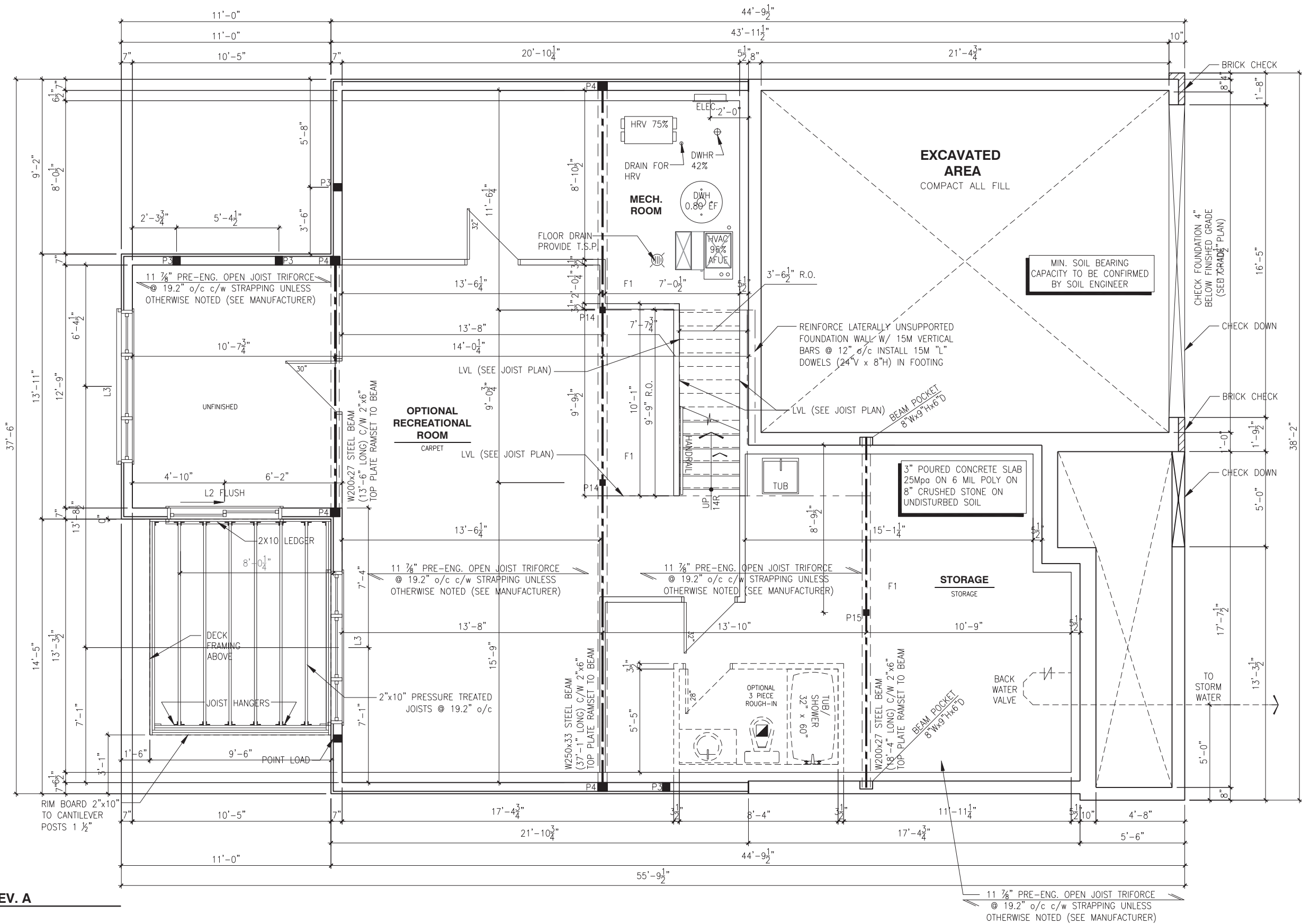
DATE:

11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A6a



**BASEMENT PLAN - ELEV. A**

SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**

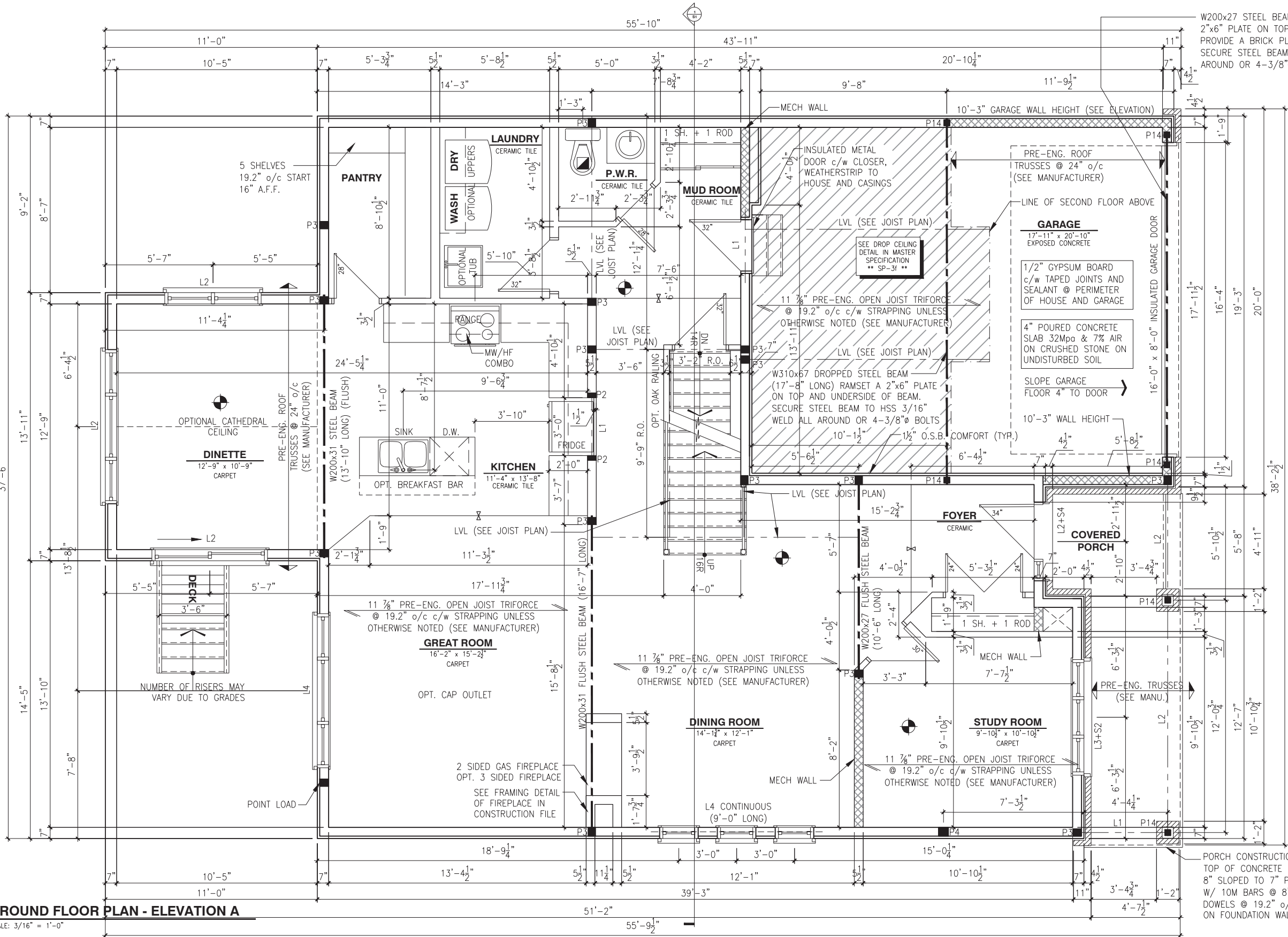
DRAWING: **BASEMENT PLAN WOB**

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

**1030 - THE NASH**  
**2018 FOOTPRINT**  
(STANDARD DRAWINGS)

SHEET:

**A6a**



FLOOR	SQ.FT.
GROUND FLOOR	1307
SECOND FLOOR (WITHOUT	1364
TOTAL	2671

- NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
  - INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
  - WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
  - COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
  - COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS. PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

GROUND FLOOR PLAN - ELEVATION A

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
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I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73.0x48.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- ☼ = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
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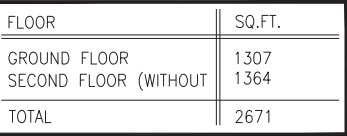
2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR PLAN  
ELEVATION A

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A7a



NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECFART HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECFART HOMES LTD AND MANUFACTURERS.

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**Valecraft**  
Homes Ltd.

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- TARIION REGISTRATION NUMBER #611

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REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

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\* UNLESS OTHERWISE NOTED

\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN	* POST
P2 = 2-2x4 OR 2-2x6	(EX. P2)
P3 = 3-2x4 OR 3-2x6	* IF NO
P4 = 4-2x4 OR 4-2x6	PLANS,
P5 = 5-2x4 OR 5-2x6	
P6 = 6-2x4 OR 6-2x6	
P13 = HSS 8.9x88.9x3.18 + 100x200x12 T&B PL	(*)
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL	(*)
P15 = HSS 76.2x76.2x4.78 + 130x180x12 T&B PL	(*)
P16 = HSS 76.2x76.2x4.78 + 130x180x12 T&B PL	(*)
P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM T&B PL	(*)
+ 130x160x10 TOP PL	(*)

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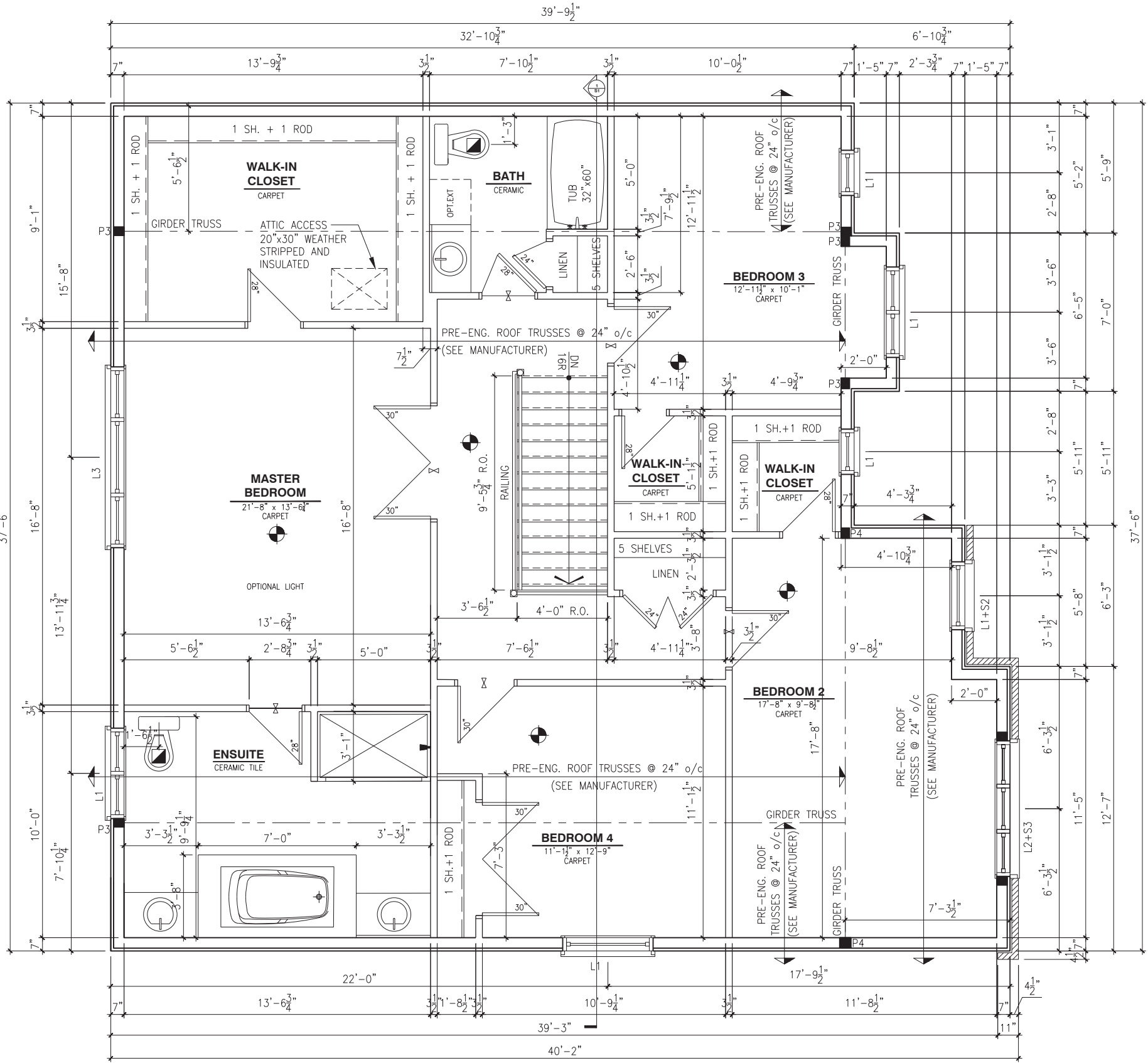
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 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

<b>2012 O.B.C. DRAWINGS</b>	
<b>GROUND FLOOR PLAN ELEVATION A WOB</b>	
SCALE: $\frac{3/16"}{1'} = \frac{1'-0"}{1'}$	DATE: 11/25/2019
<b>THE NASH FOOTPRINT</b>	
SHEET: <b>A7a</b>	



SECOND FLOOR PLAN - ENSUITE UPG.

SCALE: 3/16" = 1'-0"

- NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
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LOT: XXXX  
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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV. NO.	DESCRIPTION	DATE	BY
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH

- NOTES: STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
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  - L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
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- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73.0Dx4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
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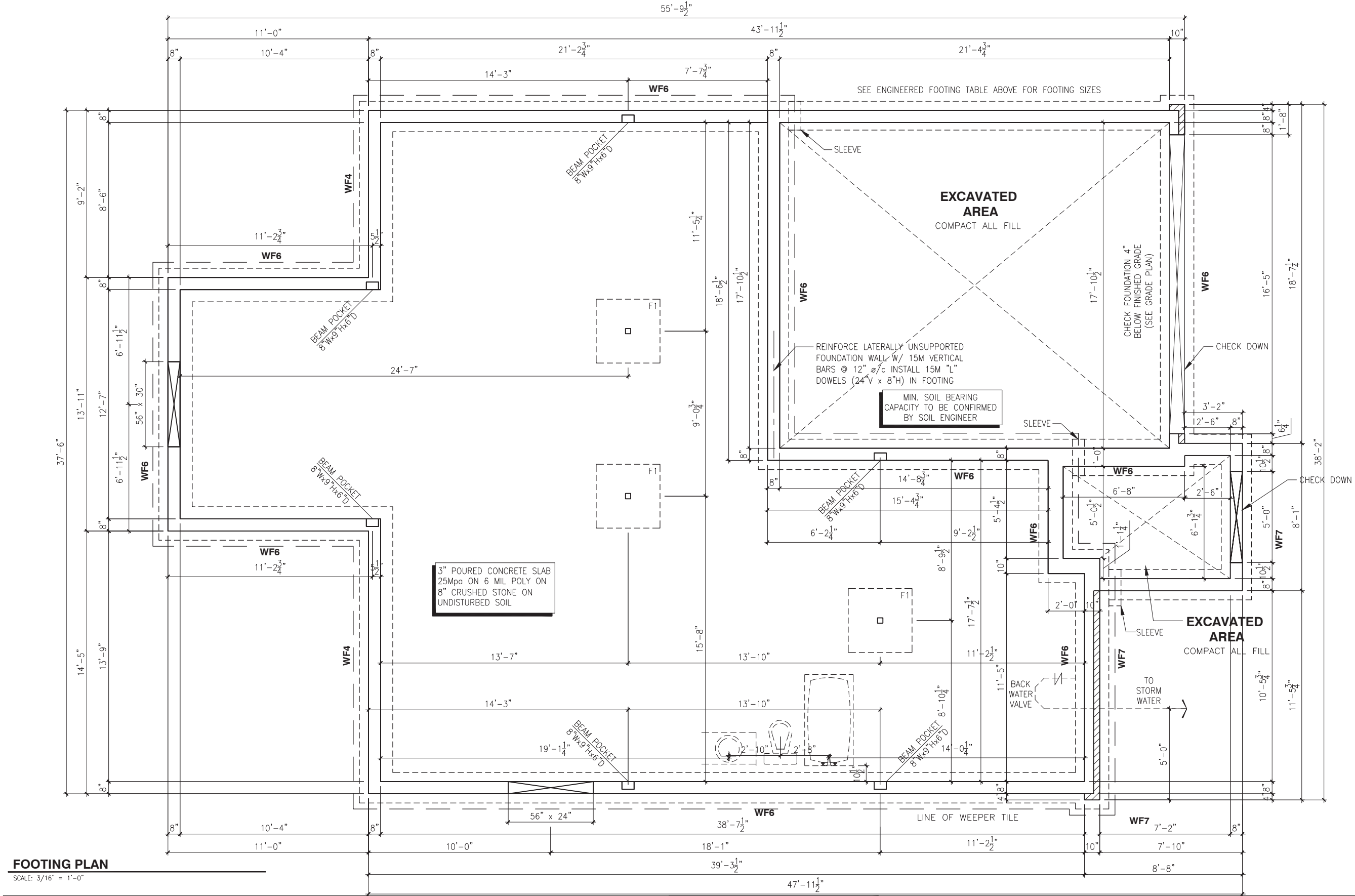
2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A8a



**FOOTING PLAN**  
SCALE: 3/16" = 1'-0"

- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
  - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
  - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
  - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
  - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

- BASEMENT NOTE:**
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
  - B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m<sup>2</sup> (3.8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

**LOT: XXXX**  
**DATE: XX/XX/XXXX**



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- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

- NOTES: STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
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  - S5 = L 125x90x10
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  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
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  - L2 = 3-2x10 + P3 ON BOTH SIDES
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**2012 O.B.C. DRAWINGS**

DRAWING:

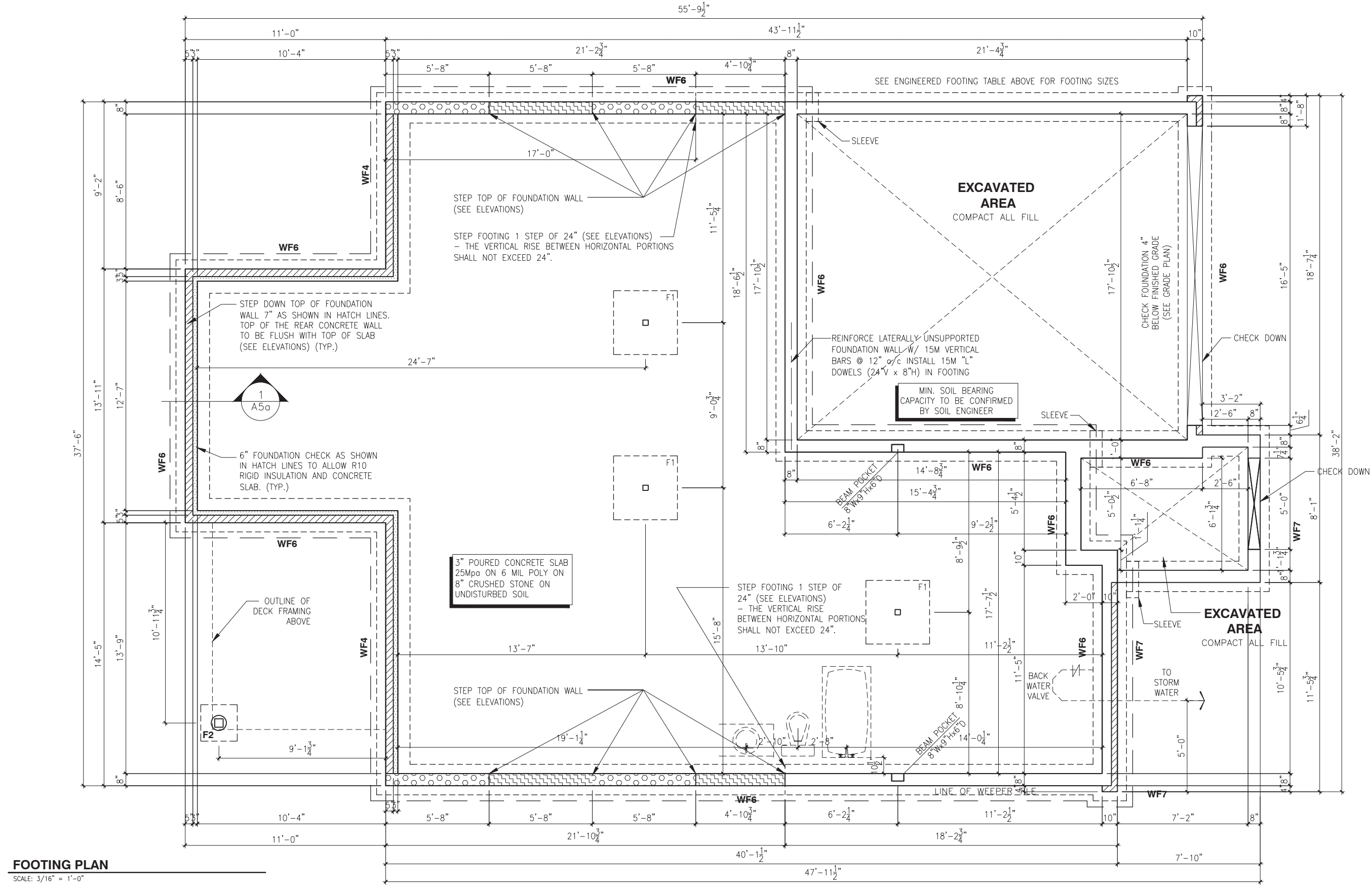
**FOOTING PLAN**

ADDRESS:XXSCALE:3/16" = 1'-0"DATE:11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

**A5b**



**FOOTING PLAN**  
SCALE: 3/16" = 1'-0"

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LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73.0x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12@ ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
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- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

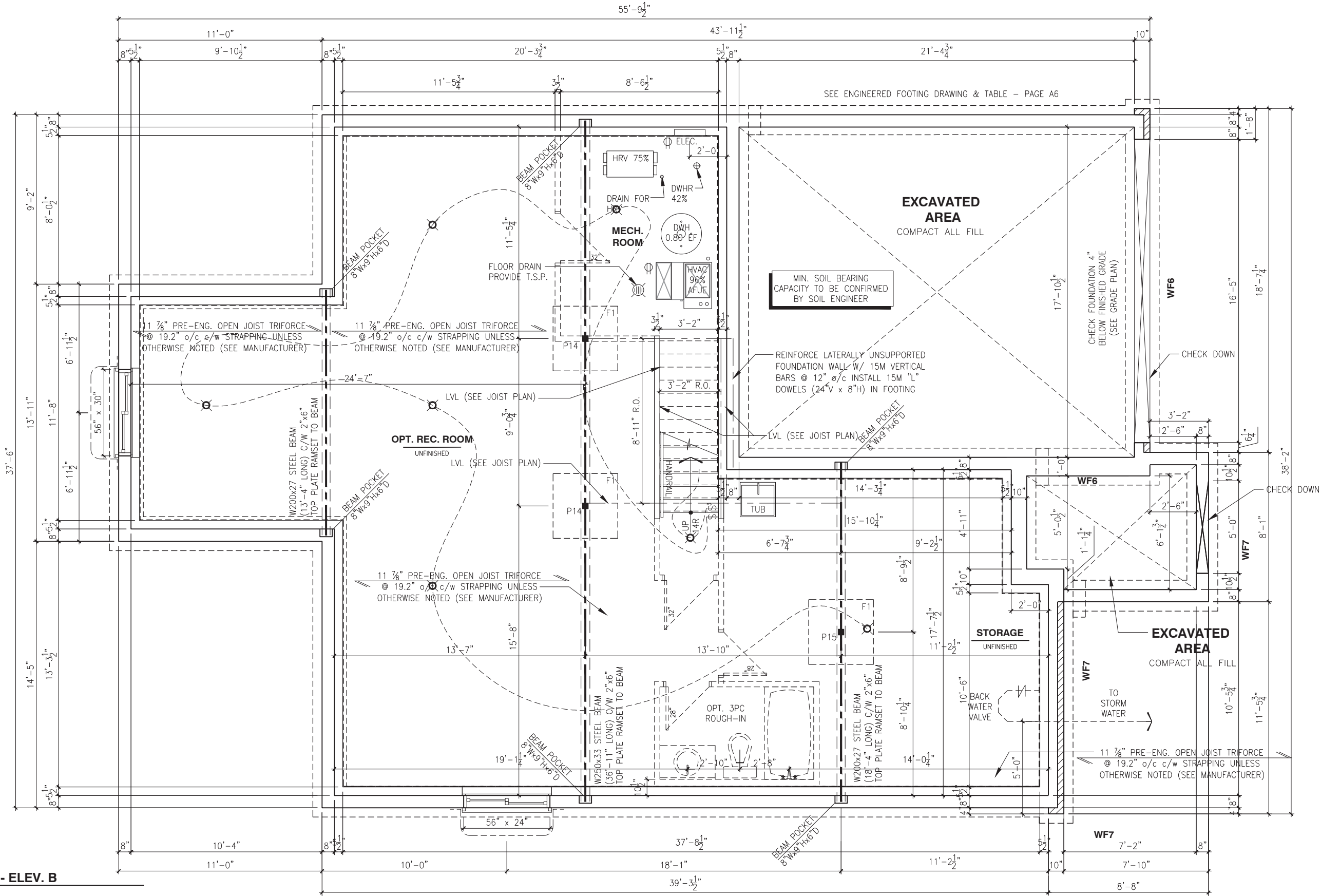
**2012 O.B.C. DRAWINGS**

DRAWING:**FOOTING PLAN WOB**

ADDRESS:XXSCALE:3/16" = 1'-0"DATE:11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:**A5b**



**BASEMENT PLAN - ELEV. B**  
SCALE: 3/16" = 1'-0"

**LOT:** XXXX  
**DATE:** XX/XX/XXXX



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C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
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E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.  
- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611  
\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:  
S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)  
LINTEL TABLE:  
L1 = 2-2x10 + P2 ON BOTH SIDES  
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POST TABLE:  
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P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73.0x73.0x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12@ ANCH. (WHERE ANCH. PL. NOT USED)  
\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
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- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.  
 = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

**2012 O.B.C. DRAWINGS**

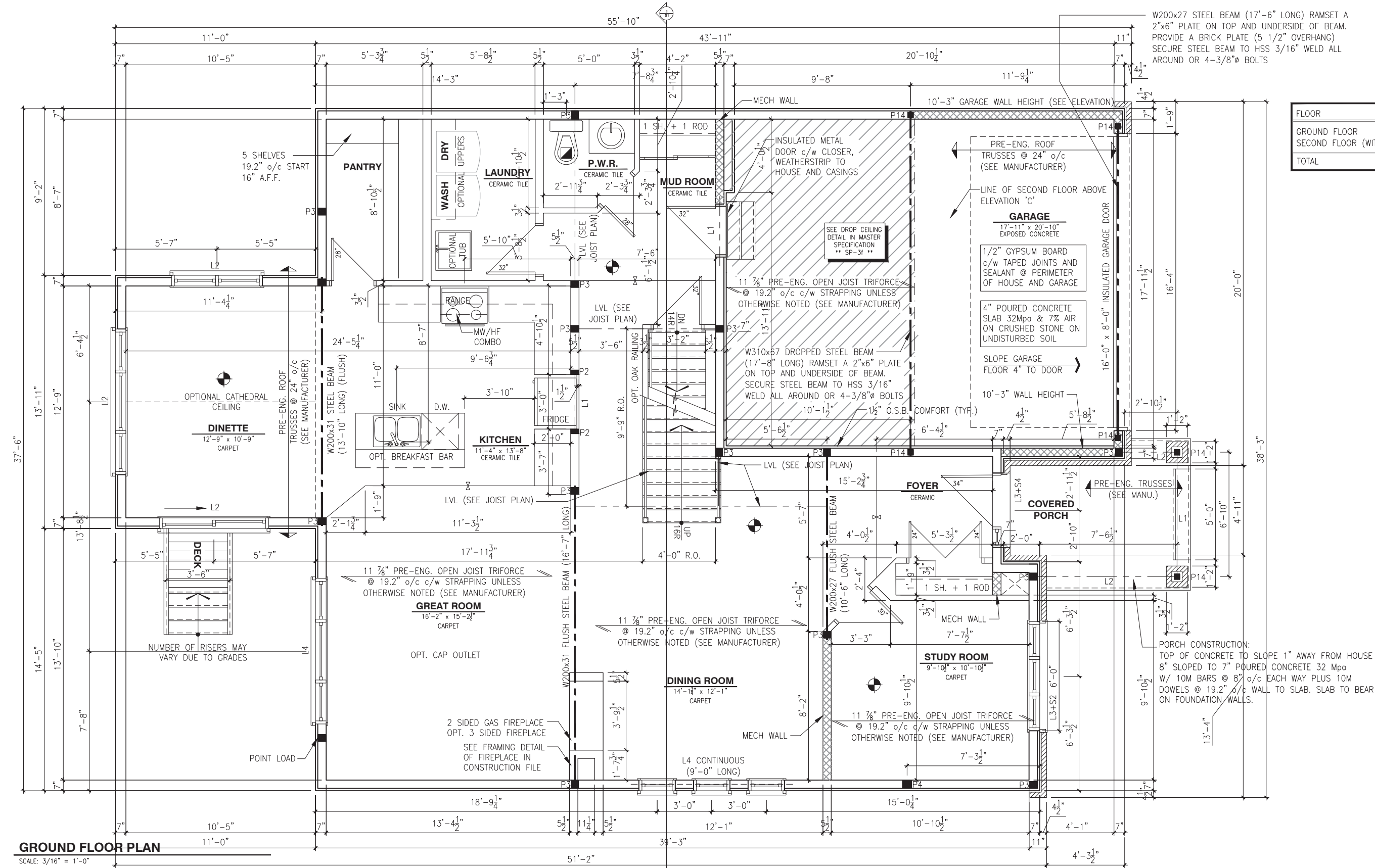
DRAWING:**BASEMENT PLAN**

ADDRESS:XXSCALE:3/16" = 1'-0"DATE:11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:**A6b**





NOTES:

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: XXXX  
DATE: XX/XX/XXXX



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I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

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L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
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POST TABLE:

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P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
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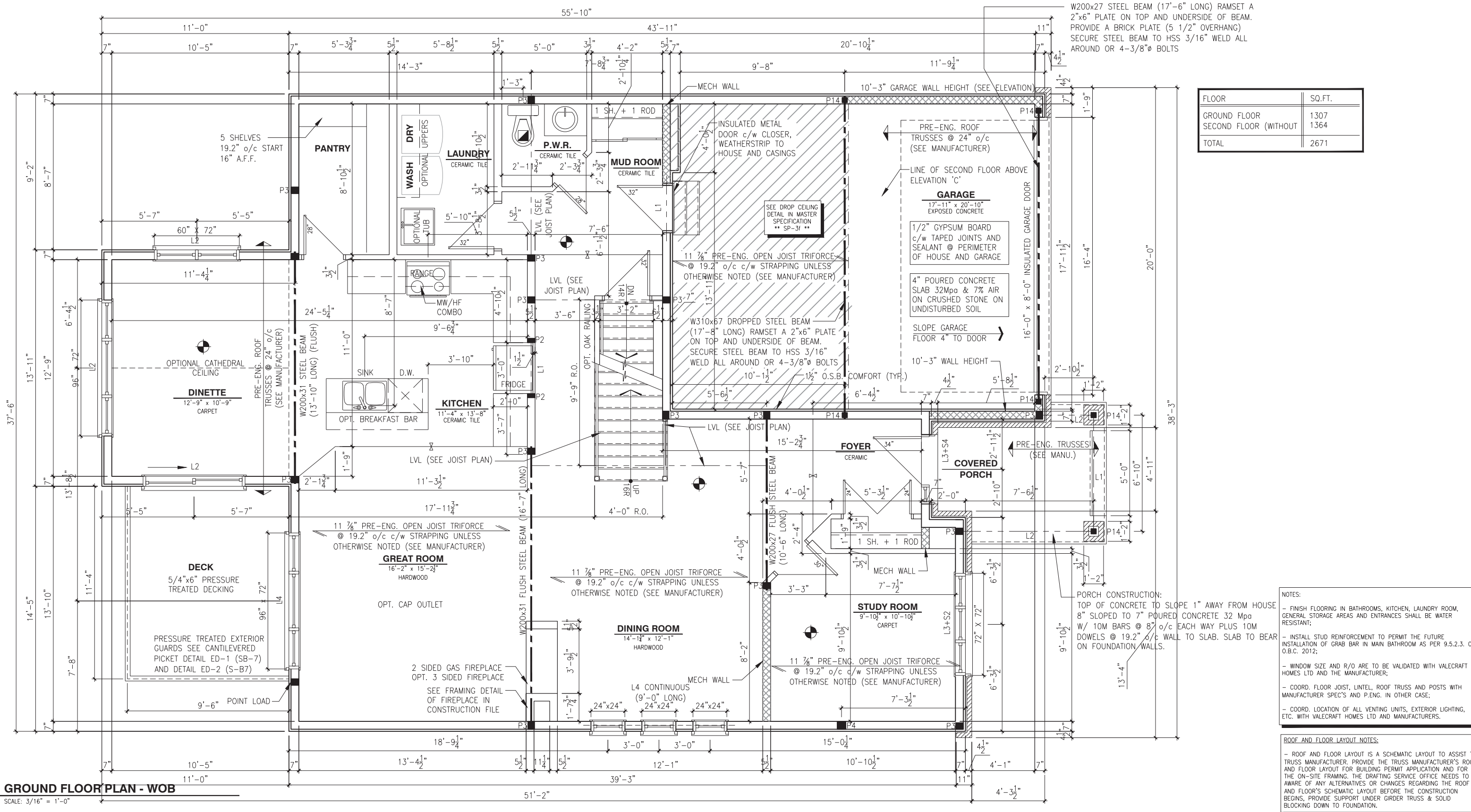
2012 O.B.C. DRAWINGS

DRAWING: **GROUND FLOOR PLAN ELEVATION B**

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: **A7b**



LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:  
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NOTES:  
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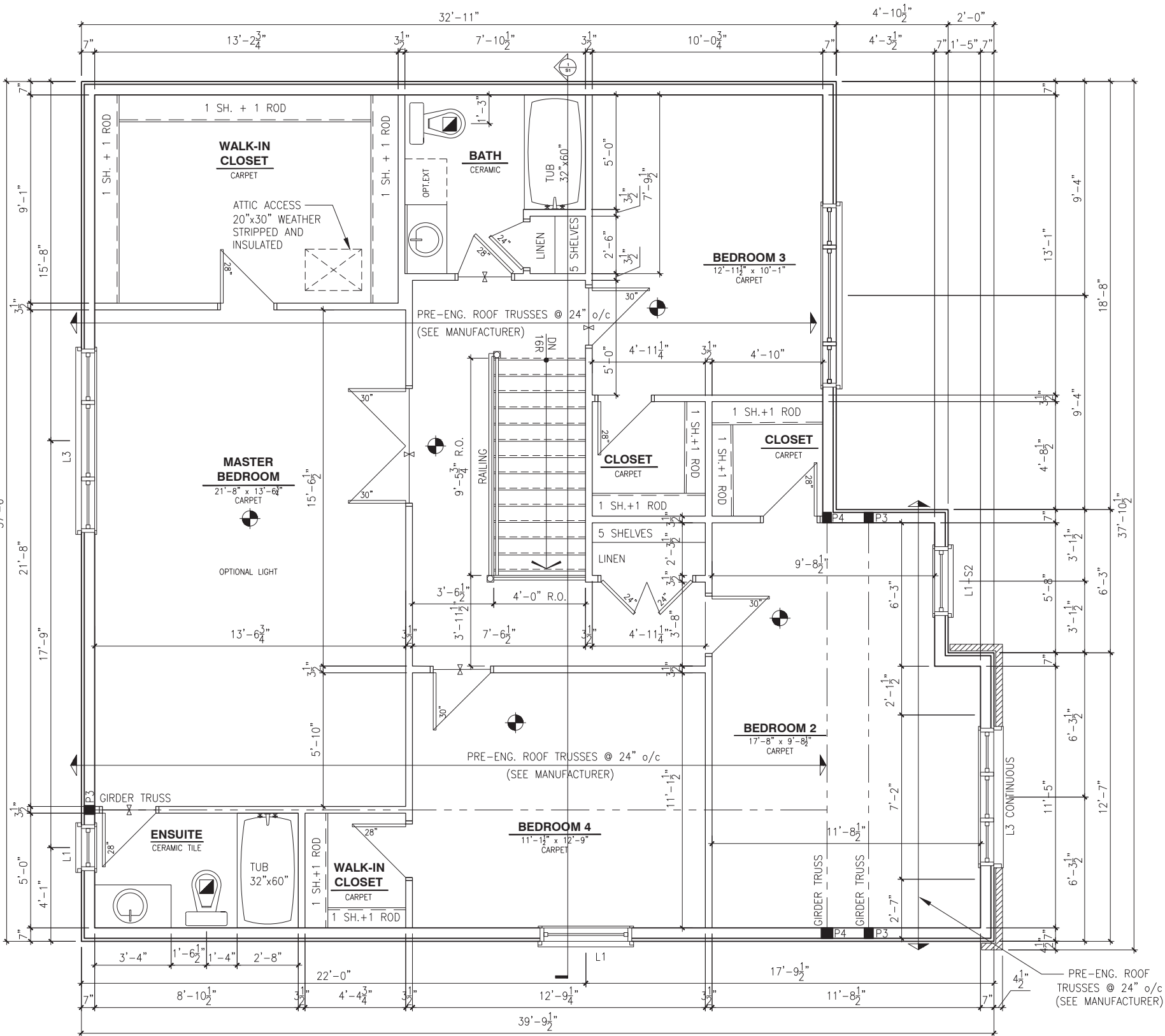
2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR PLAN  
ELEVATION B WOB

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SEE: A7b



SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

- NOTES:
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LOT: XXXX  
DATE: XX/XX/XXXX



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- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NO.	DESCRIPTION	DATE	BY

- NOTES: STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
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  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
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- UNLESS OTHERWISE NOTED
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- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR PLAN

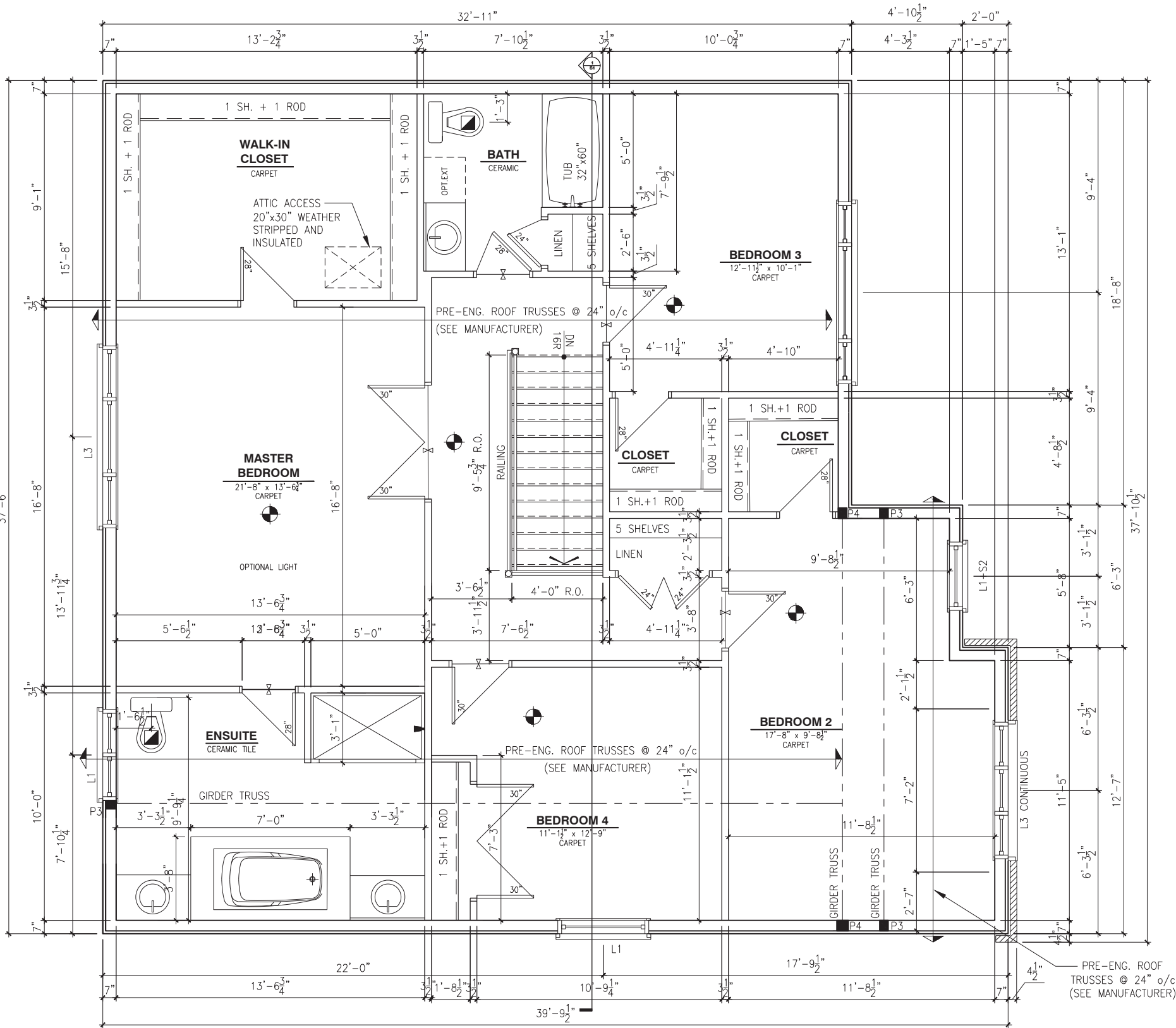
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A8b



- NOTES:
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SECOND FLOOR PLAN - ENSUITE UPG.

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:

S1 = L 90x90x6  
S2 = L 90x90x8  
S3 = L 100x90x8  
S4 = L 125x90x8  
S5 = L 125x90x10  
S6 = L 200x100x12  
S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

L1 = 2-2x10 + P2 ON BOTH SIDES  
L2 = 3-2x10 P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
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P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)  
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- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

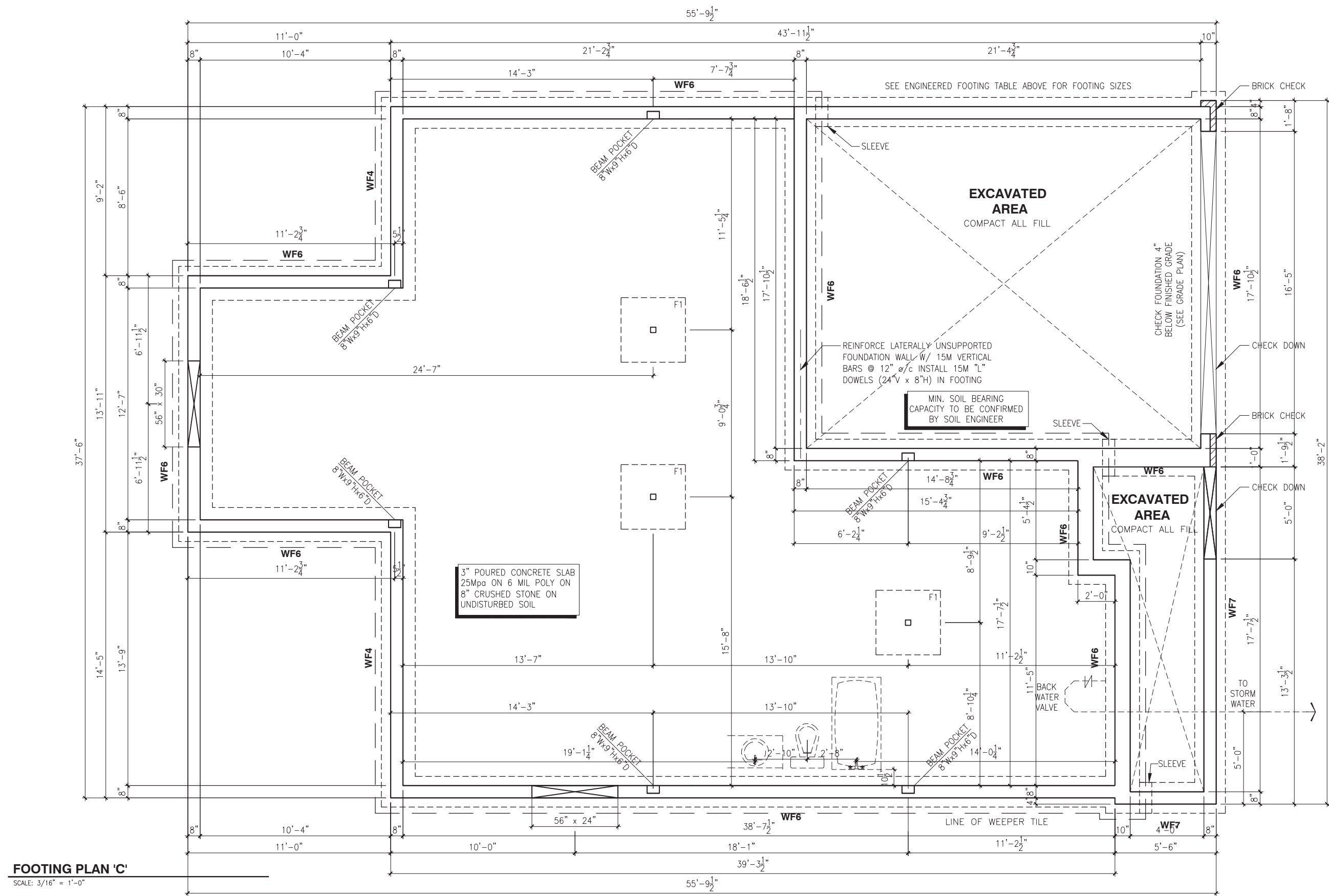
2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR PLAN

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A8b



FOOTING PLAN 'C'  
SCALE: 3/16" = 1'-0"

- NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS;
  - ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
  - CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
  - FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
  - FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

- BASEMENT NOTE:
- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT:
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.38m<sup>2</sup> (3.8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896			
- TARION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

- NOTES: STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
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- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
  - P2 = 2-2x4 OR 2-2x6
  - P3 = 3-2x4 OR 3-2x6
  - P4 = 4-2x4 OR 4-2x6
  - P5 = 5-2x4 OR 5-2x6
  - P6 = 6-2x4 OR 6-2x6
  - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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  - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
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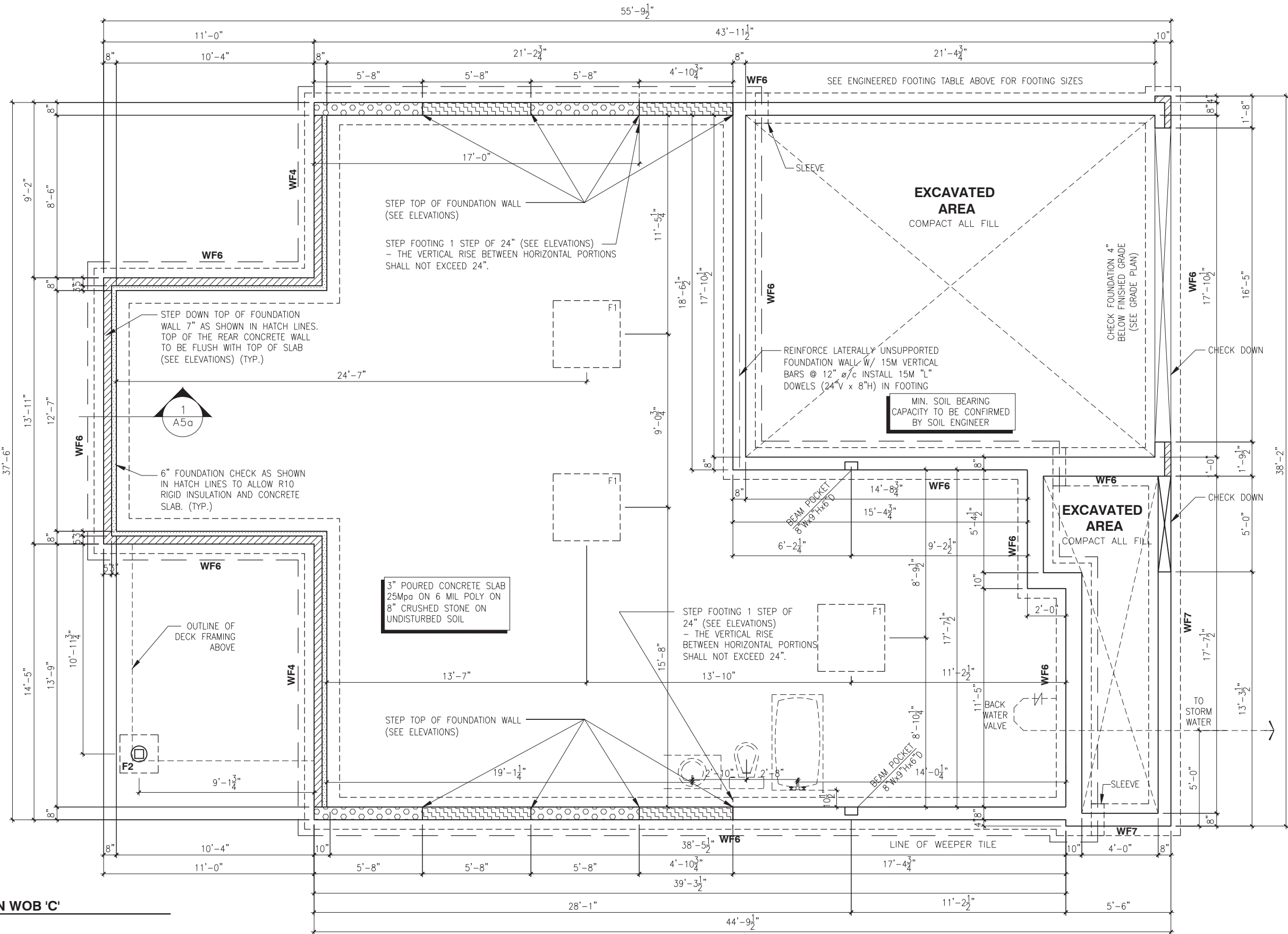
2012 O.B.C. DRAWINGS

DRAWING: FOOTING PLAN 'C'

ADDRESS: XX | SCALE: 3/16" = 1'-0" | DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A5c



FOOTING PLAN WOB 'C'

SCALE: 3/16" = 1'-0"

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NO.	DESCRIPTION	DATE	BY

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- ▣ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

## 2012 O.B.C. DRAWINGS

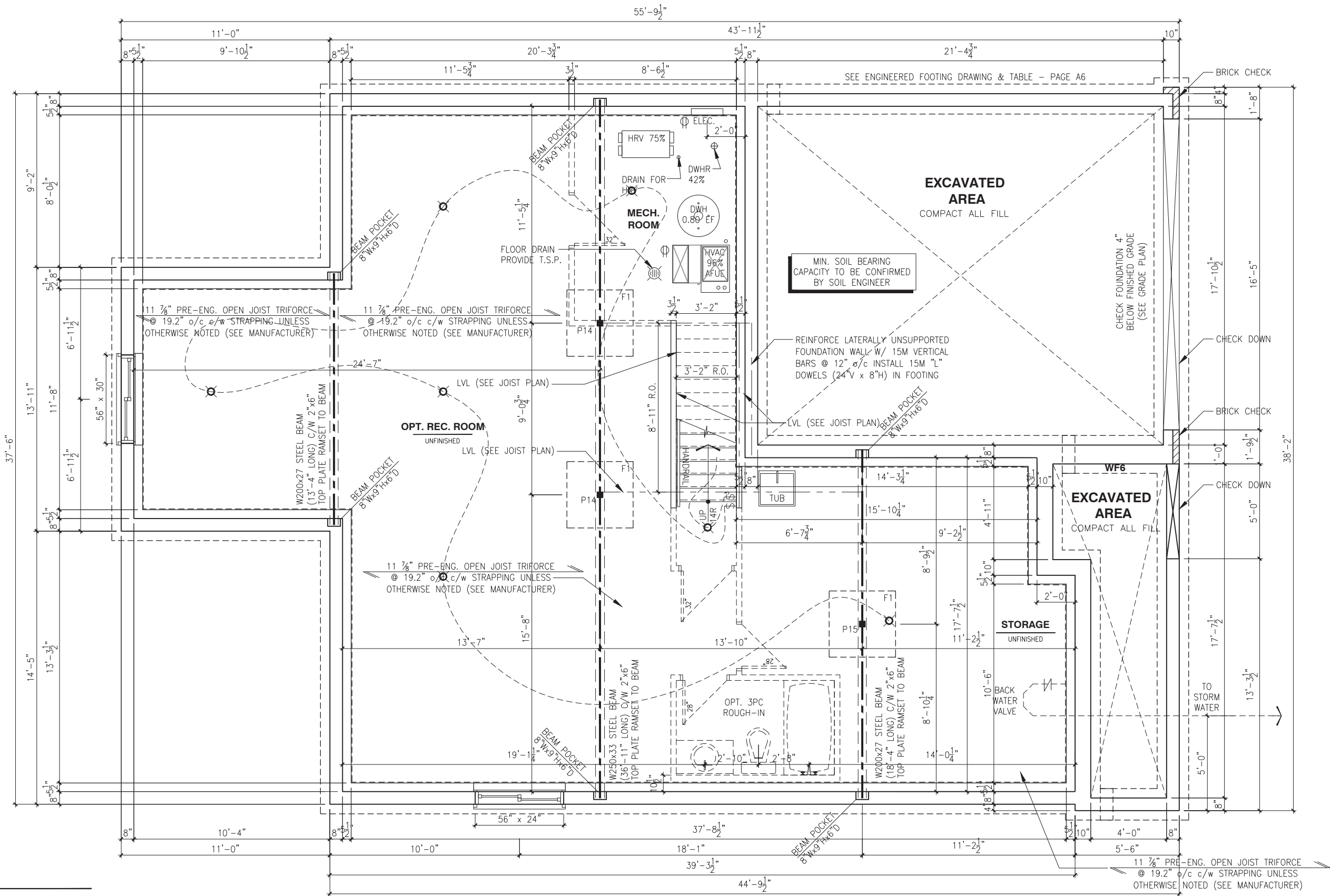
DRAWING: FOOTING PLAN WOB 'C'

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A5c



BASEMENT PLAN 'C'

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896  
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NO.	DESCRIPTION	DATE	BY

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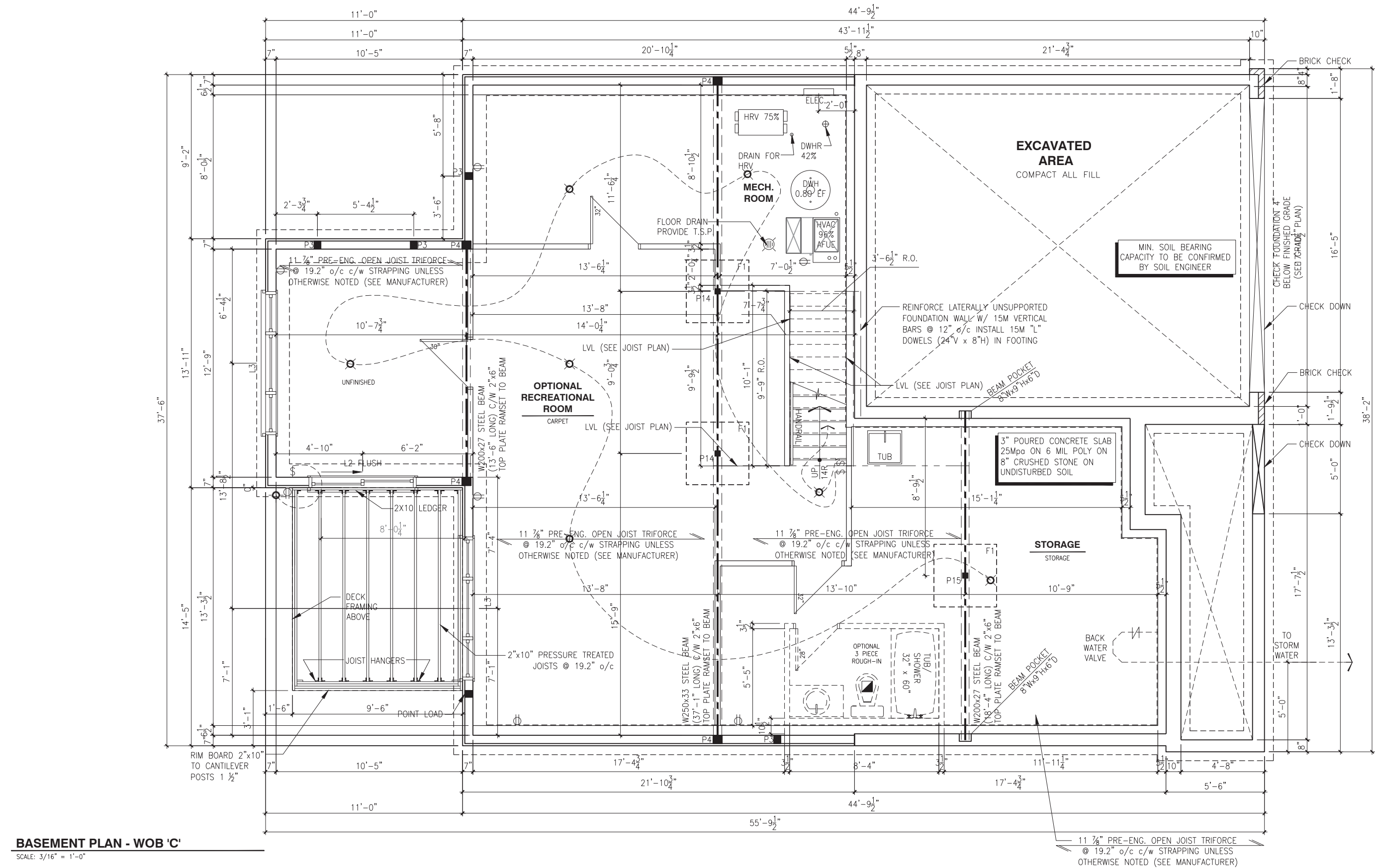
2012 O.B.C. DRAWINGS

DRAWING: BASEMENT PLAN 'C'

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A6c



BASEMENT PLAN - WOB 'C'

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

REV	NO.	DESCRIPTION	DATE	BY
REV-1	1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH

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PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

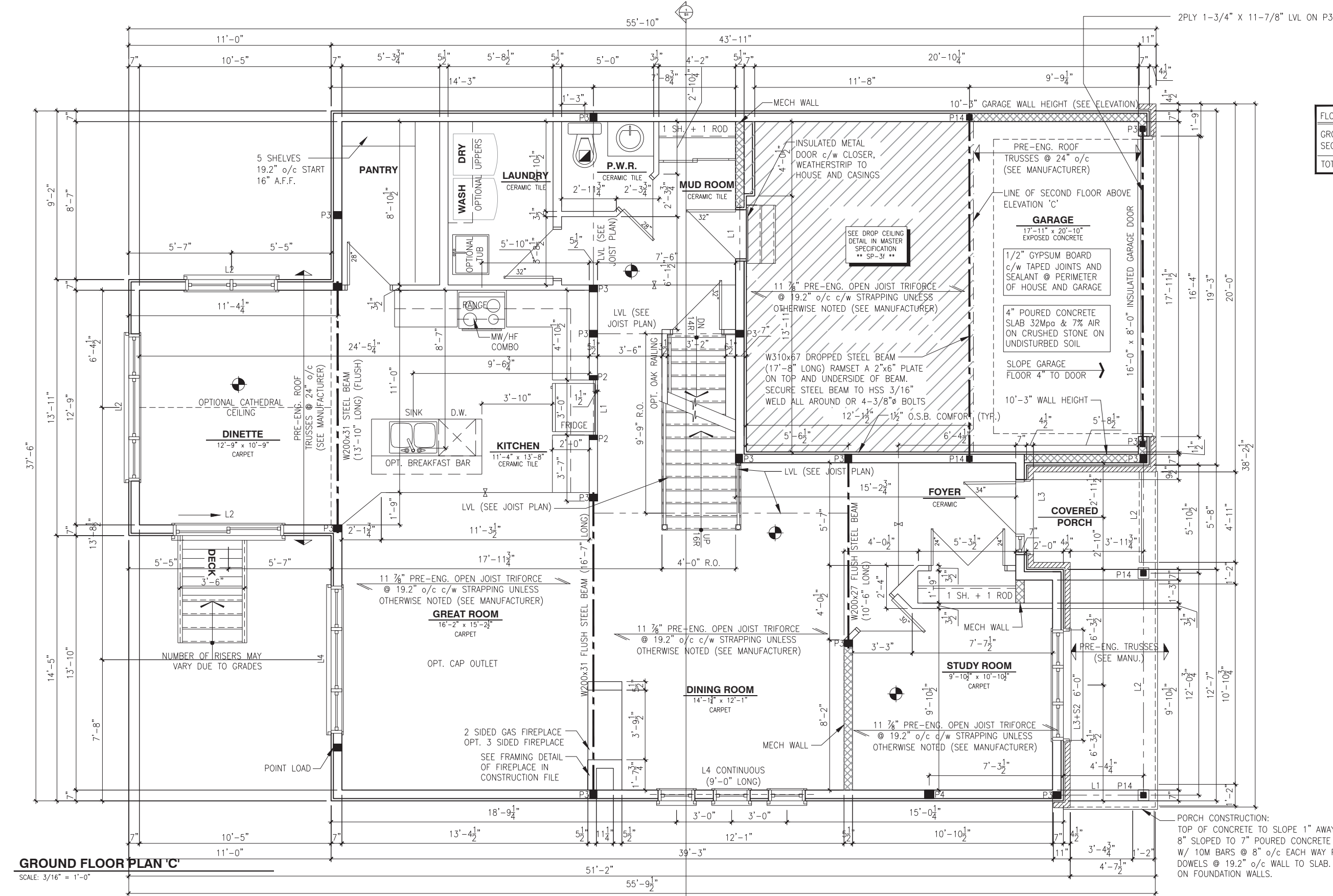
DRAWING: BASEMENT PLAN WOB 'C'

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:

A6c



FLOOR	SQ.FT.
GROUND FLOOR	1307
SECOND FLOOR (WITHOUT	1364
TOTAL	2671

- NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
  - INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
  - WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
  - COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
  - COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

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LOT: XXXX  
DATE: XX/XX/XXXX



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I. DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.			
- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

- NOTES: STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
  - L2 = 3-2x10 + P3 ON BOTH SIDES
  - L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
  - L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
- \* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
  - P2 = 2-2x4 OR 2-2x6
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  - P4 = 4-2x4 OR 4-2x6
  - P5 = 5-2x4 OR 5-2x6
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  - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
  - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
  - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
  - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
  - P17 = HSS 73 0.0x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
  - (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

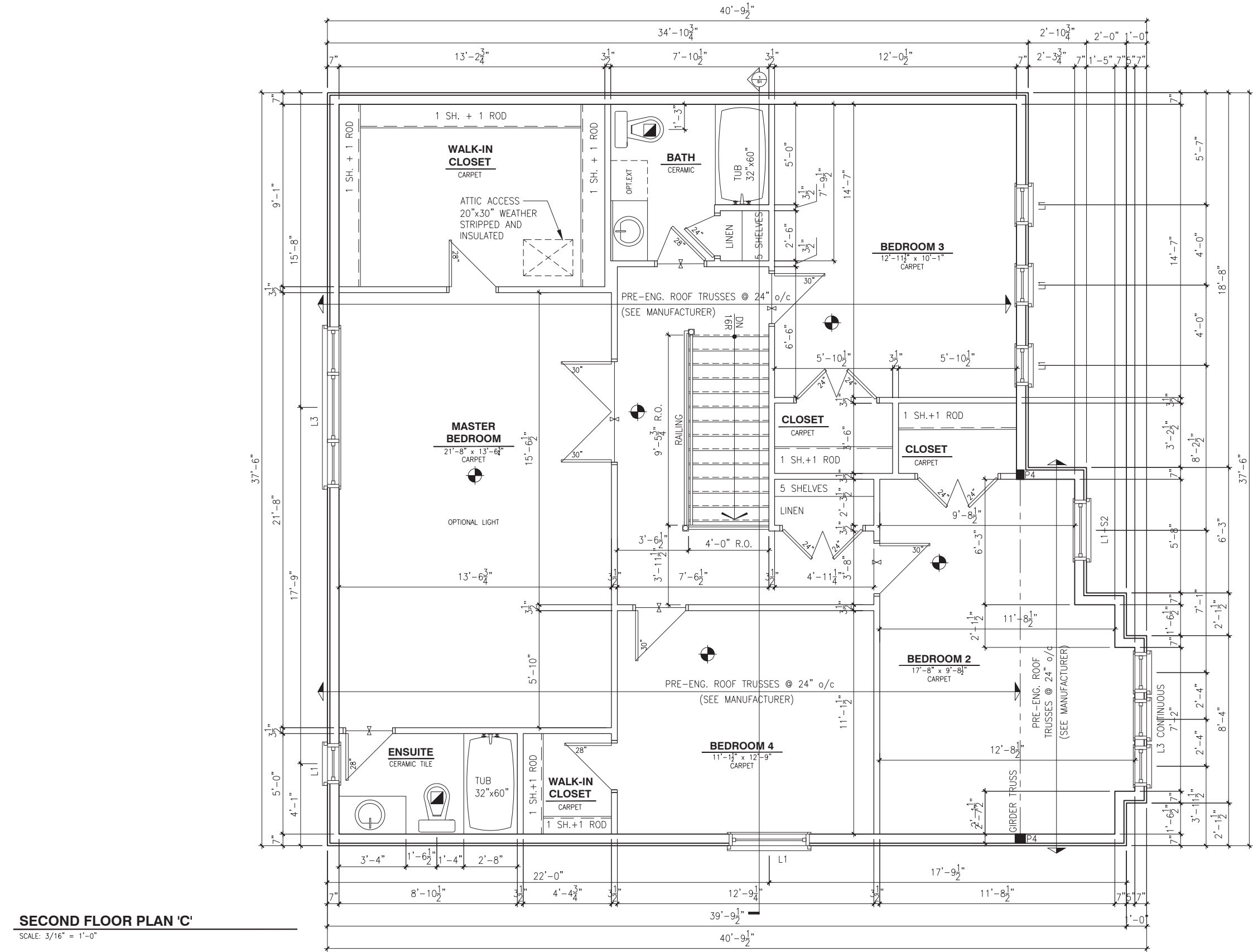
- \* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
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  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- ☐ = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS		
DRAWING: GROUND FLOOR PLAN 'C'		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: 11/25/2019
1030 - THE NASH 2018 FOOTPRINT (STANDARD DRAWINGS)		SHEET: A7c





SECOND FLOOR PLAN 'C'  
SCALE: 3/16" = 1'-0"

- NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
  - INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
  - WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
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LOT: XXXX  
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REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

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  - S4 = L 125x90x8
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- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
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- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
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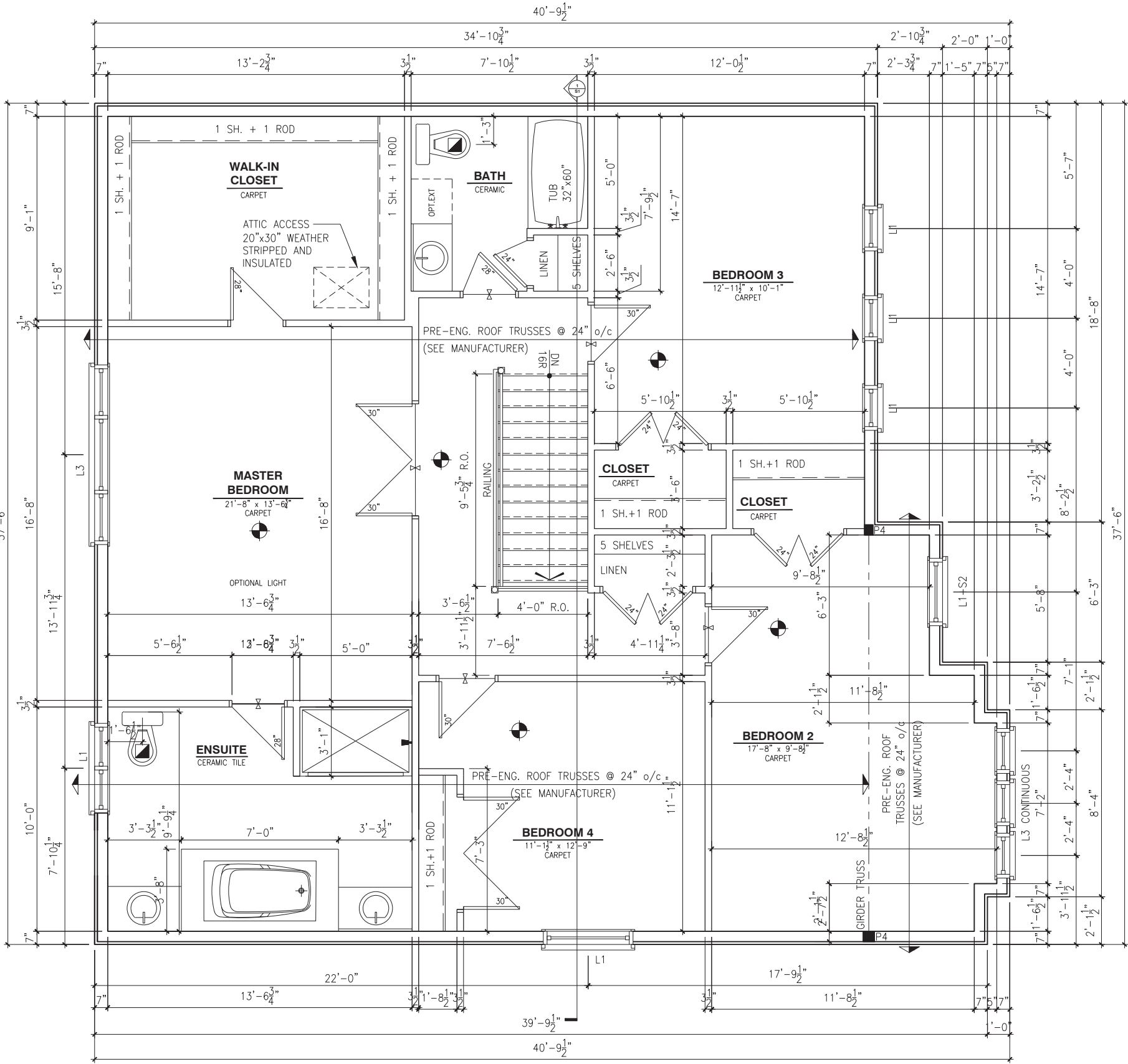
2012 O.B.C. DRAWINGS

DRAWING:  
SECOND FLOOR PLAN 'C'

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A8c



SECOND FLOOR PLAN 'C'  
SCALE: 3/16" = 1'-0"

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NO.	DESCRIPTION	DATE	BY

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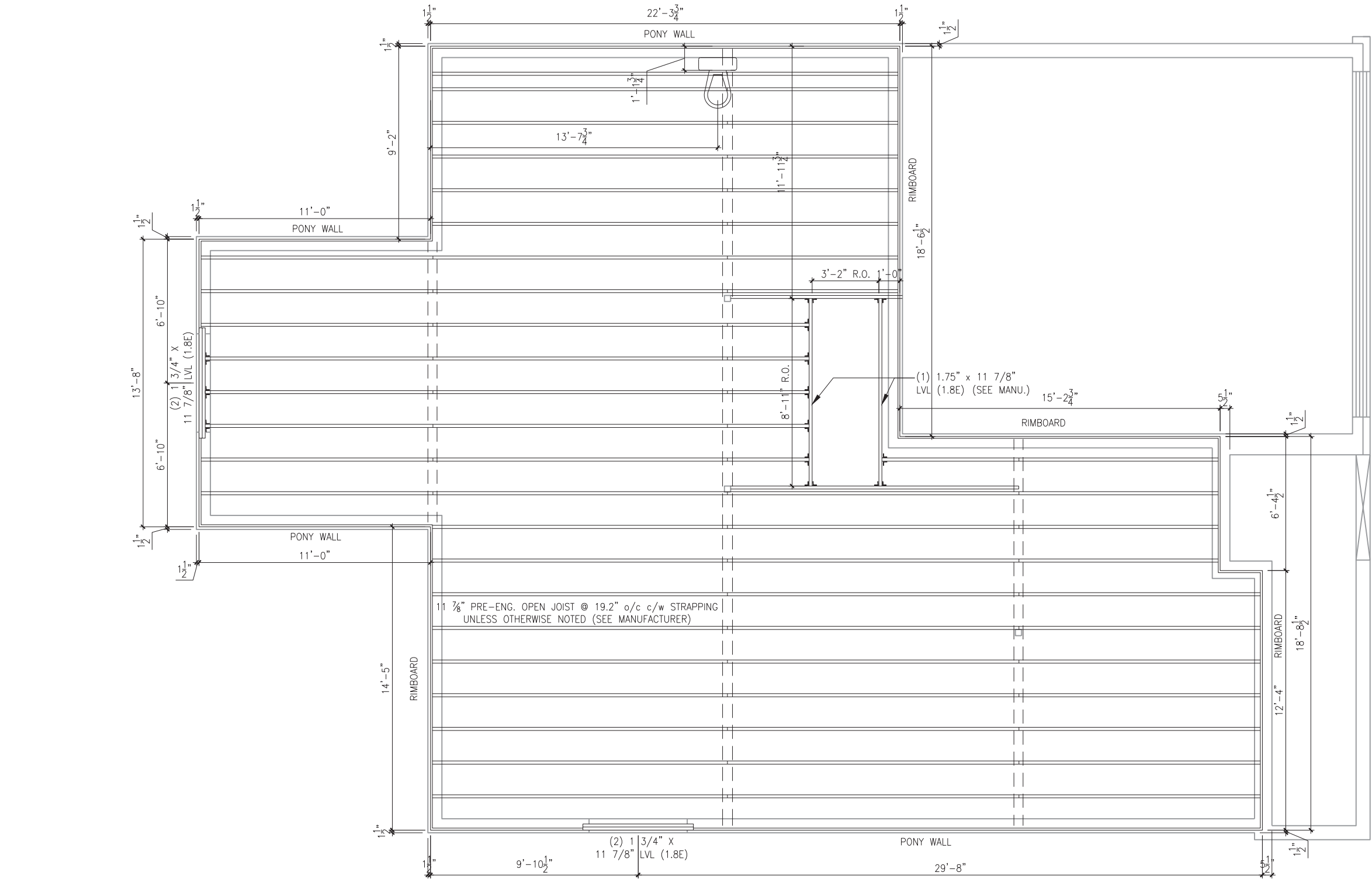
2012 O.B.C. DRAWINGS

DRAWING:  
SECOND FLOOR PLAN 'C'

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET:  
A8c



GROUND FLOOR JOIST LAYOUT

SCALE: 3/16" = 1'-0"

- NOTES:
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LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NO.	DESCRIPTION	DATE	BY

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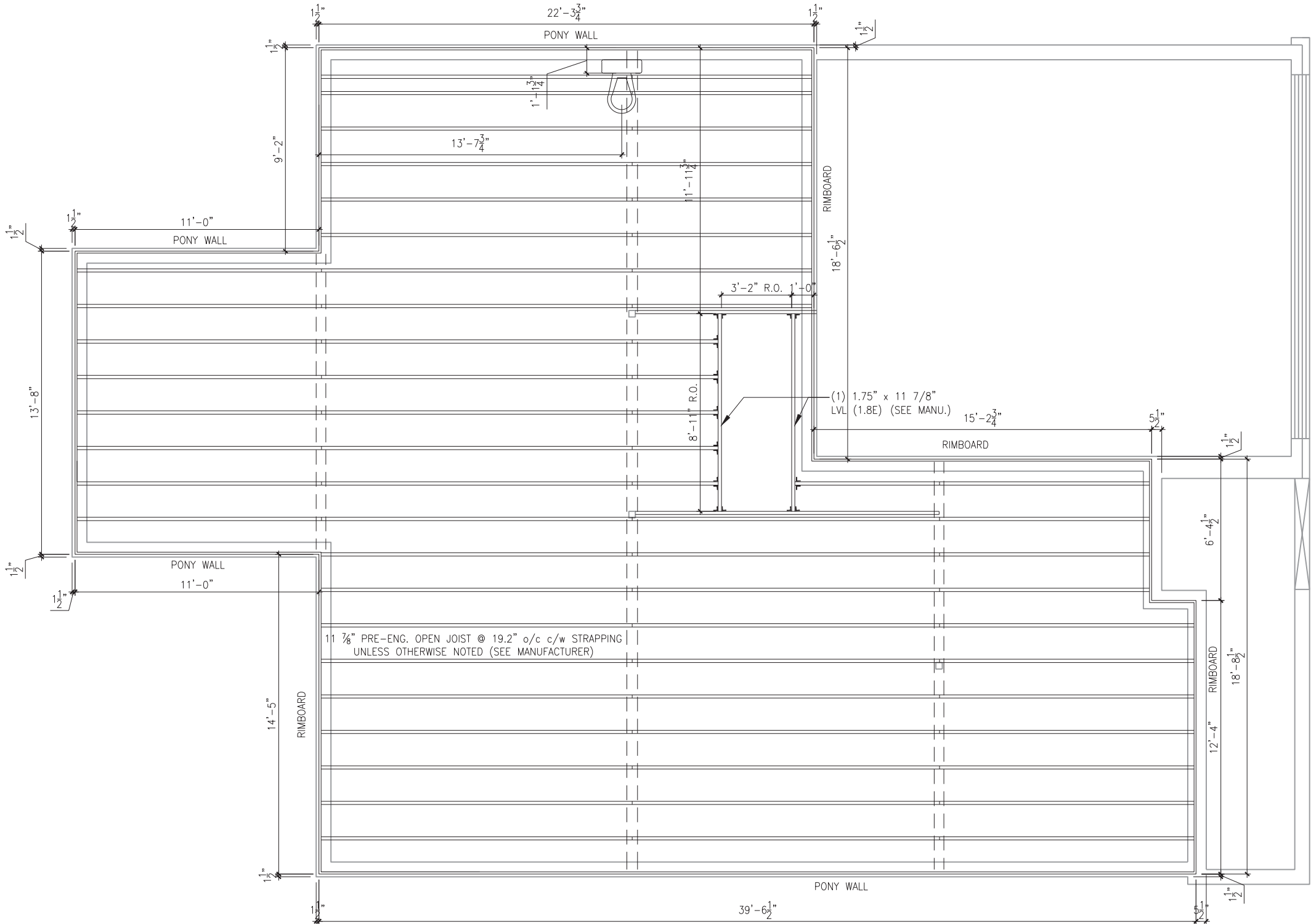
2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR JOIST LAYOUT "A,B,C"

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A9



GROUND FLOOR JOIST LAYOUT - WOB

SCALE: 3/16" = 1'-0"

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NO.	DESCRIPTION	DATE	BY

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- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
- L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

- \* UNLESS OTHERWISE NOTED
- \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

- P1 = 3" ADJUSTABLE STEEL COLUMN
- P2 = 2-2x4 OR 2-2x6
- P3 = 3-2x4 OR 3-2x6
- P4 = 4-2x4 OR 4-2x6
- P5 = 5-2x4 OR 5-2x6
- P6 = 6-2x4 OR 6-2x6
- P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
- P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
- P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
- P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)

- \* POST ARE ALL JACK C/W STUD (EX. P2 = 1 JACK + 1 STUD)
- \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

- (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)

- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR JOIST LAYOUT - WOB "A,B,C"

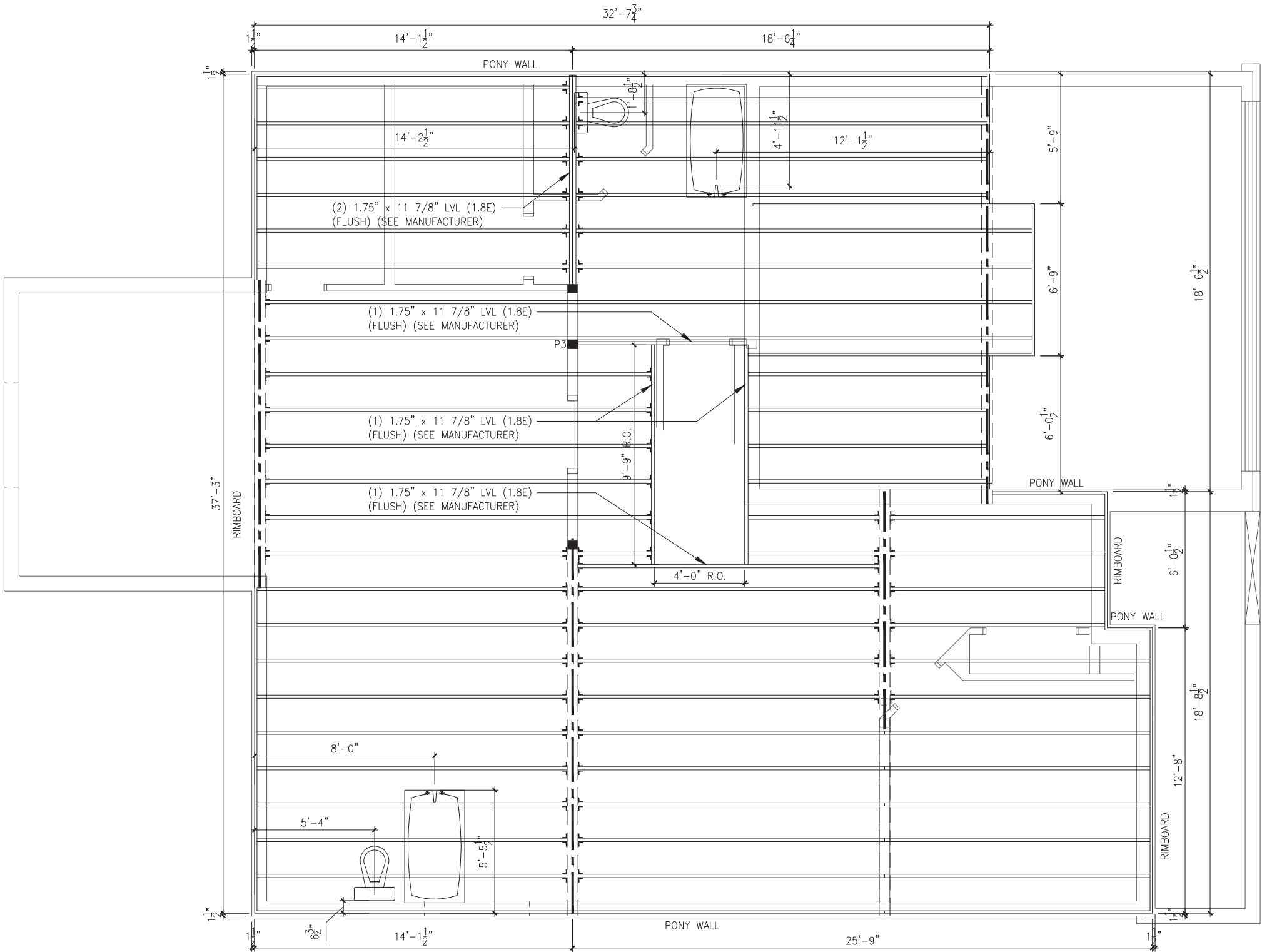
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A9



SECOND FLOOR JOIST LAYOUT

SCALE: 3/16" = 1'-0"

- NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
  - INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
  - WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
  - COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
  - COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

- ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: XXXX  
DATE: XX/XX/XXXX



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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NO.	DESCRIPTION	DATE	BY

- NOTES: STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
  - L2 = 3-2x10 + P3 ON BOTH SIDES
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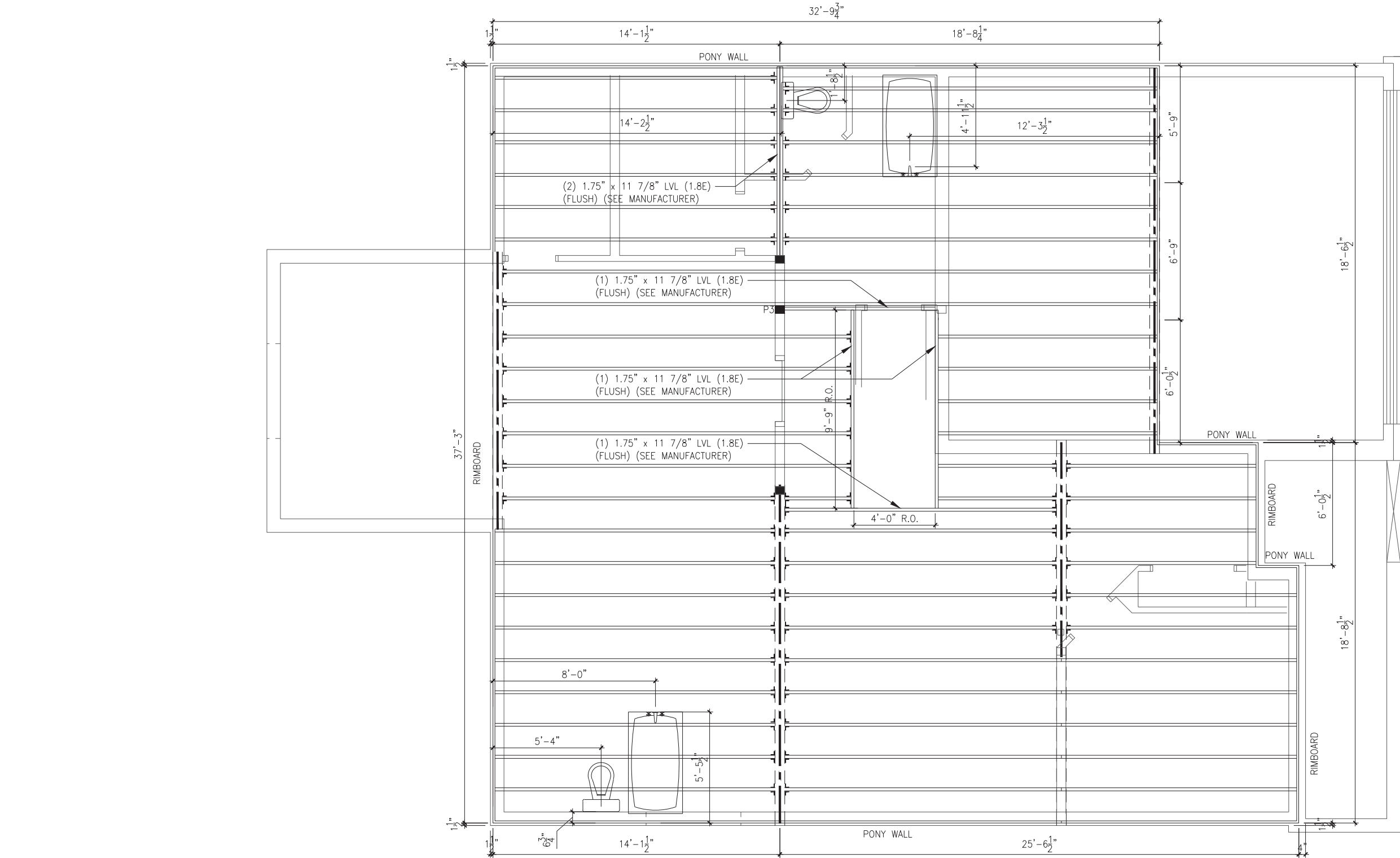
2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR JOIST LAYOUT "A,B,C"

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A10



SECOND FLOOR JOIST LAYOUT

SCALE: 3/16" = 1'-0"

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LOT: XXXX  
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- PERSONAL BCIN #19896			
- TARIION REGISTRATION NUMBER #611			
** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM **			
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

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  - S2 = L 90x90x8
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  - S4 = L 125x90x8
  - S5 = L 125x90x10
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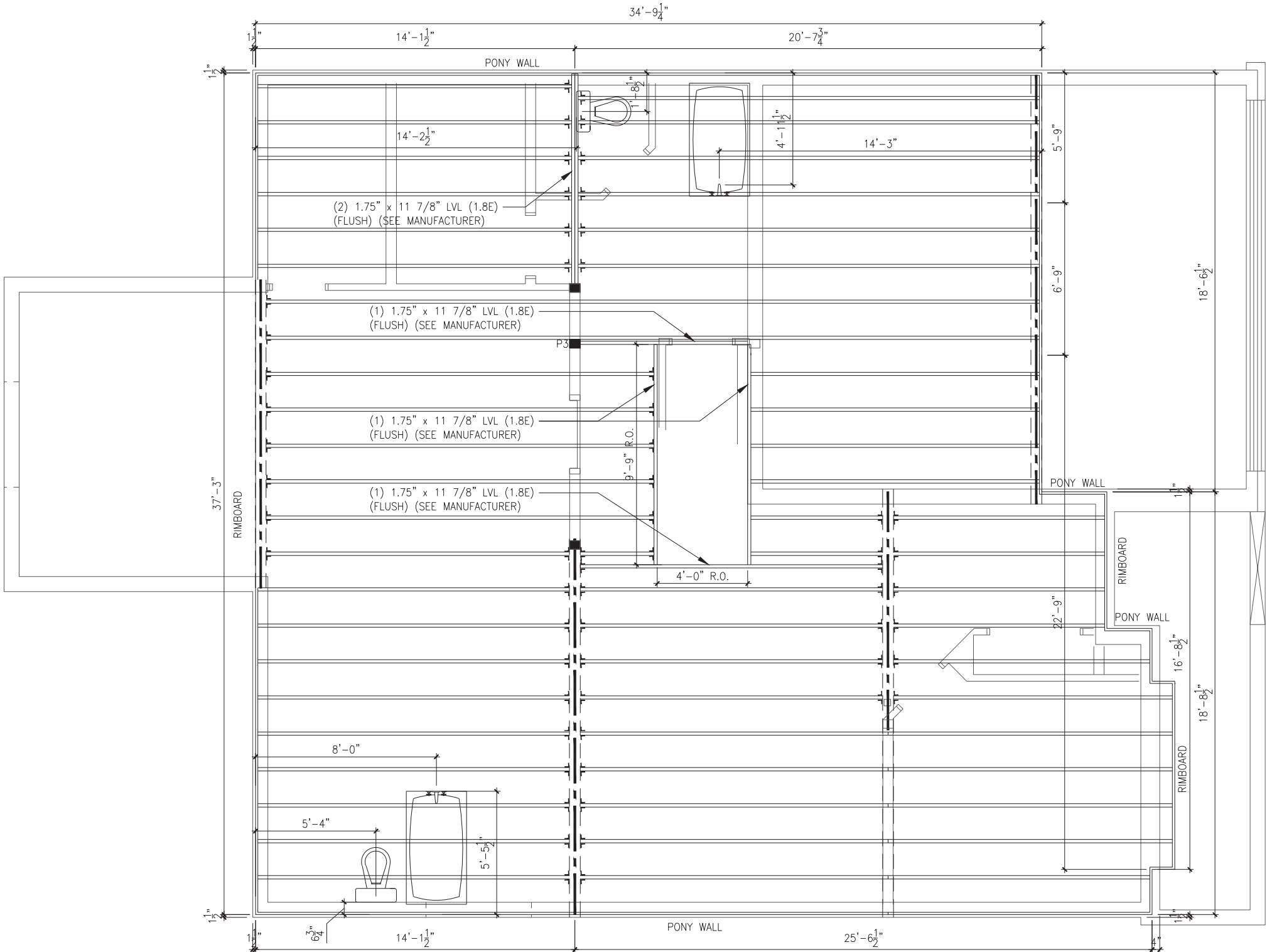
2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR JOIST LAYOUT "A,B,C"

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT  
(STANDARD DRAWINGS)

SHEET: A10



SECOND FLOOR JOIST LAYOUT

SCALE: 3/16" = 1'-0"

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LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NO.	DESCRIPTION	DATE	BY

- NOTES: STEEL LINTEL:
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POST TABLE:

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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR JOIST LAYOUT "A,B,C"

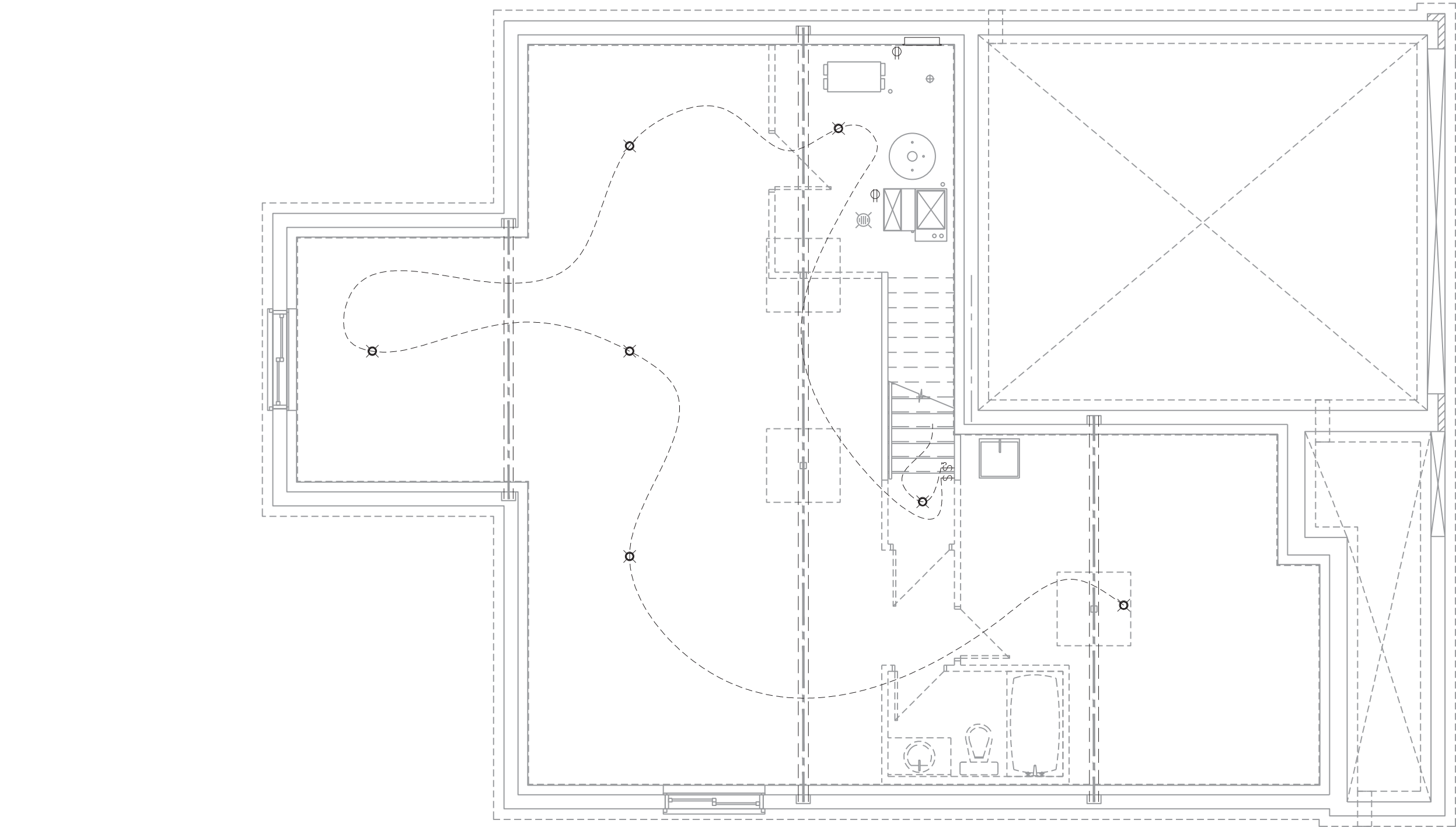
ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

A10



BASEMENT ELECTRICAL

SCALE: 3/16" = 1'-0"

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REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

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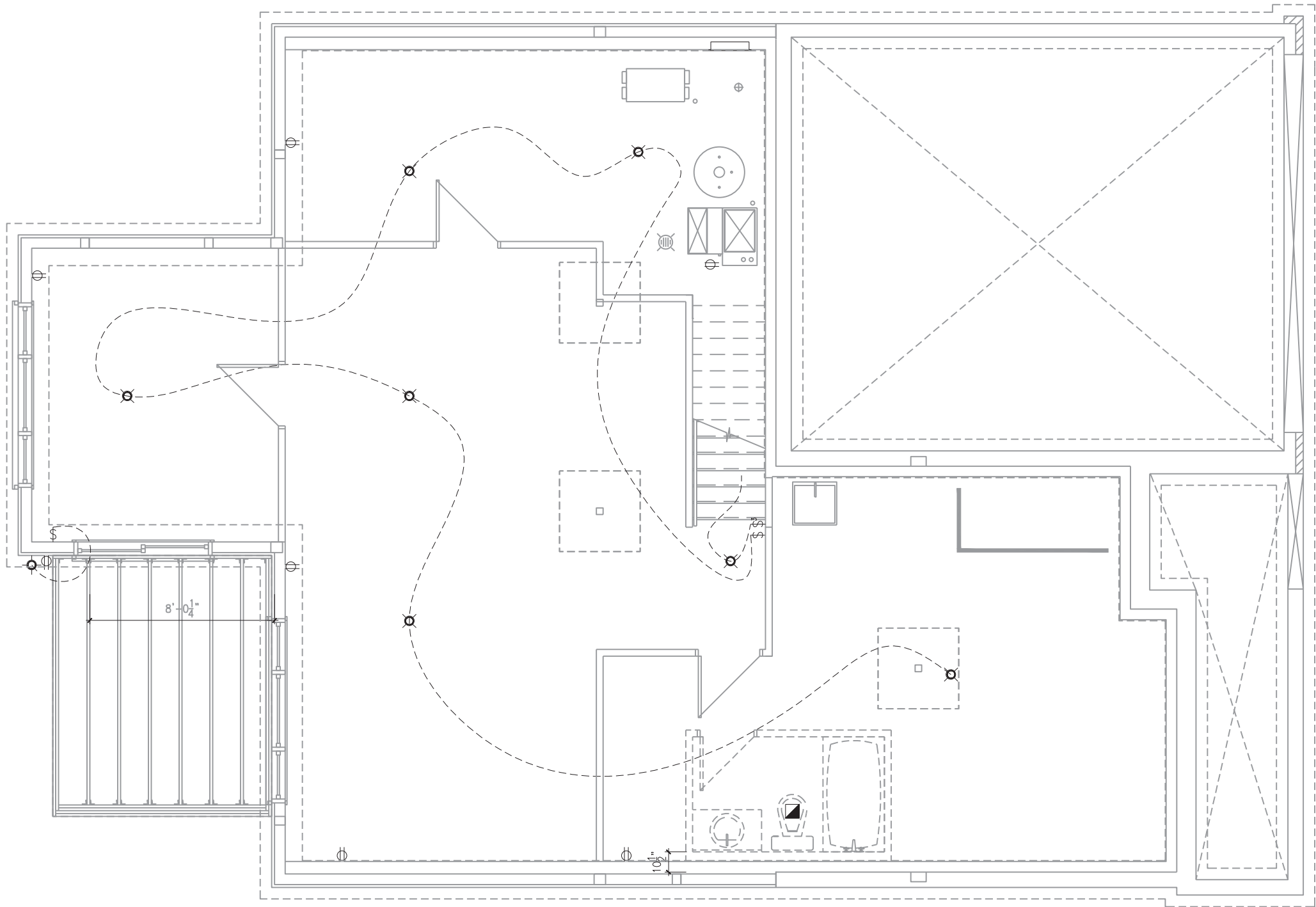
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2012 O.B.C. DRAWINGS

DRAWING: BASEMENT FLOOR ELECTRICAL

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH 2018 FOOTPRINT (STANDARD DRAWINGS) SHEET: E00



BASEMENT ELECTRICAL - WOB

SCALE: 3/16" = 1'-0"

- NOTES:
- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;
  - INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF O.B.C. 2012;
  - WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;
  - COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
  - COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

- ROOF AND FLOOR LAYOUT NOTES:
- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

LOT: XXXX  
DATE: XX/XX/XXXX



A - ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REGULATIONS.  
B - THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S ARCHITECTURAL DEPARTMENT.  
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.  
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION SITE.  
E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NO.	DESCRIPTION	DATE	BY
1	1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH

- NOTES: STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
  - L2 = 3-2x10 + P3 ON BOTH SIDES
  - L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
  - L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
- \* UNLESS OTHERWISE NOTED
  - \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
  - P2 = 2-2x4 OR 2-2x6
  - P3 = 3-2x4 OR 3-2x6
  - P4 = 4-2x4 OR 4-2x6
  - P5 = 5-2x4 OR 5-2x6
  - P6 = 6-2x4 OR 6-2x6
  - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
  - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
  - P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)
  - P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)
  - P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
  - (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
- \* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
  - \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

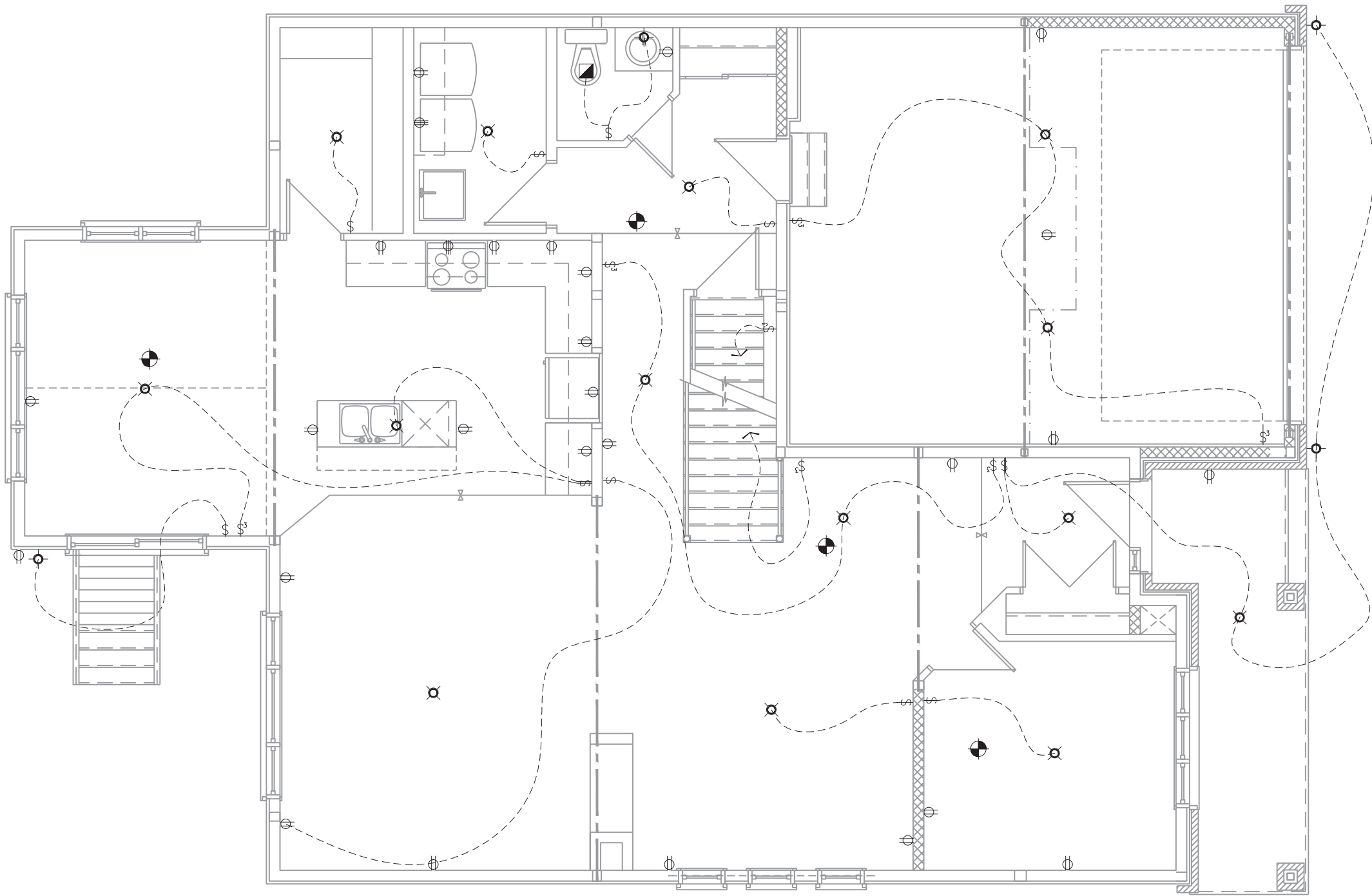
- = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
  - SHALL HAVE A VISUAL SIGNALING DEVICE;
  - ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
  - ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
  - ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND
  - CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.
- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: BASEMENT FLOOR ELECTRICAL - WOB

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH 2018 FOOTPRINT (STANDARD DRAWINGS) SHEET: E00



GROUND FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0"

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  - COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;
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LOT: XXXX  
DATE: XX/XX/XXXX



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I, DANIEL GUERIN, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NO.	NEW STANDARD DRWG MODIFICATION	DESCRIPTION	DATE	11/25/2019	VH	BY

- NOTES: STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
  - S6 = L 200x100x12
  - S7 = L 150x100x10 (8" BEARING)
- LINTEL TABLE:
- L1 = 2-2x10 + P2 ON BOTH SIDES
  - L2 = 3-2x10 + P3 ON BOTH SIDES
  - L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
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- \* UNLESS OTHERWISE NOTED
  - \* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

- POST TABLE:
- P1 = 3" ADJUSTABLE STEEL COLUMN
  - P2 = 2-2x4 OR 2-2x6
  - P3 = 3-2x4 OR 3-2x6
  - P4 = 4-2x4 OR 4-2x6
  - P5 = 5-2x4 OR 5-2x6
  - P6 = 6-2x4 OR 6-2x6
  - P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)
  - P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)
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  - P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)
  - (\*) = 2-12# ANCH. (WHERE ANCH. PL. NOT USED)
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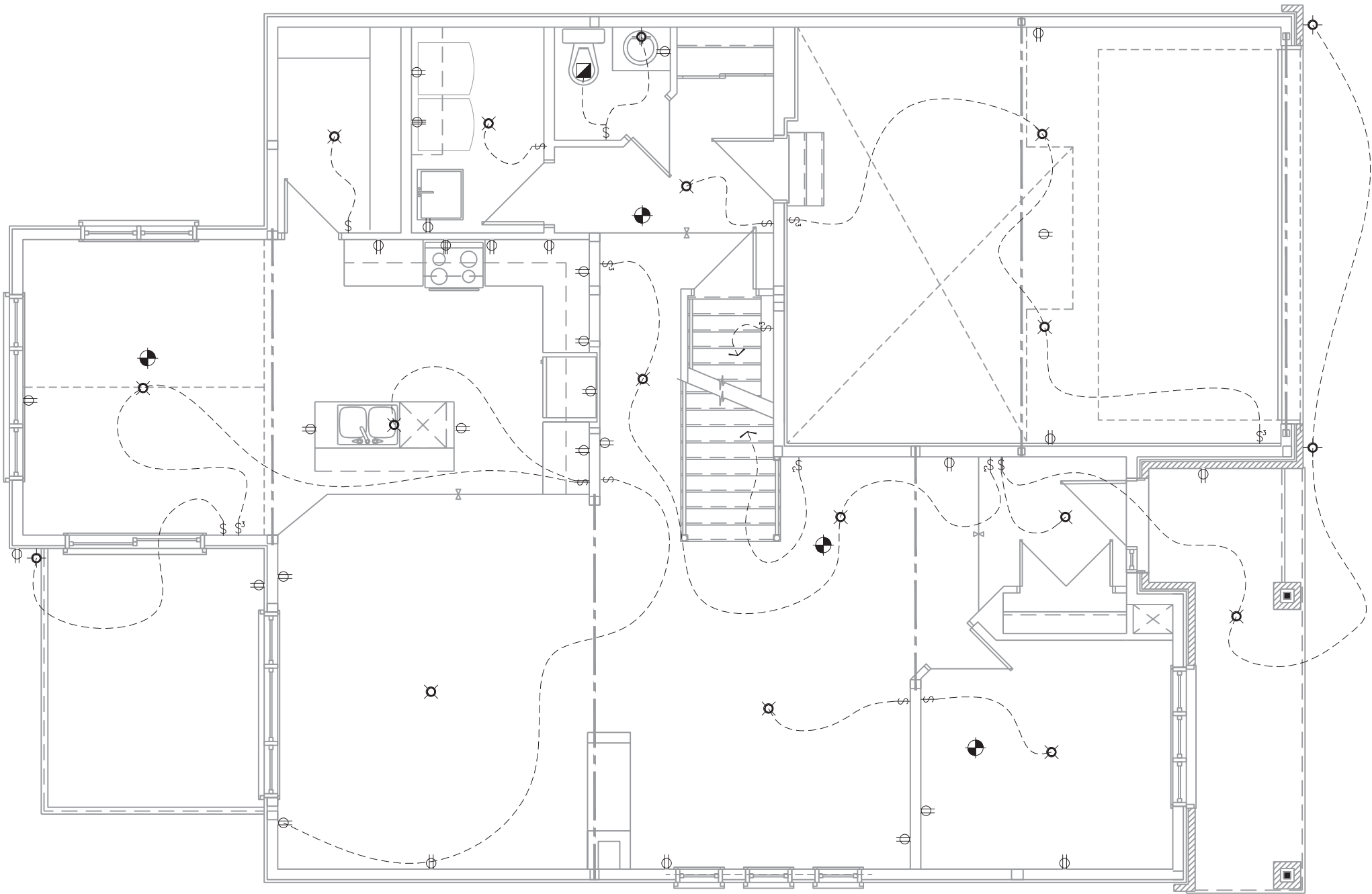
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- = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: FIRST FLOOR ELECTRICAL

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH 2018 FOOTPRINT (STANDARD DRAWINGS) SHEET: E01



GROUND FLOOR ELECTRICAL - WOB

SCALE: 3/16" = 1'-0"

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LOT: XXXX  
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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

- NOTES: STEEL LINTEL:
- S1 = L 90x90x6
  - S2 = L 90x90x8
  - S3 = L 100x90x8
  - S4 = L 125x90x8
  - S5 = L 125x90x10
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- \* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)
  - \* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

-  = SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:
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-  = PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: GROUND FLOOR ELECTRICAL WOB		
ADDRESS: XX	SCALE: 3/16" = 1'-0"	DATE: 11/25/2019
1030 - THE NASH 2018 FOOTPRINT (STANDARD DRAWINGS)		SHEET: E01



NOTES:

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SECOND FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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- PERSONAL BCIN #19896
- TARIION REGISTRATION NUMBER #611

\*\* SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM \*\*

REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

NOTES: STEEL LINTEL:

- S1 = L 90x90x6
- S2 = L 90x90x8
- S3 = L 100x90x8
- S4 = L 125x90x8
- S5 = L 125x90x10
- S6 = L 200x100x12
- S7 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

- L1 = 2-2x10 + P2 ON BOTH SIDES
- L2 = 3-2x10 + P3 ON BOTH SIDES
- L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
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POST TABLE:

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR ELECTRICAL

ADDRESS: XX SCALE: 3/16" = 1'-0" DATE: 11/25/2019

1030 - THE NASH  
2018 FOOTPRINT

(STANDARD DRAWINGS)

SHEET:

E02



NOTES:

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SECOND FLOOR ELECTRICAL

SCALE: 3/16" = 1'-0"

LOT: XXXX  
DATE: XX/XX/XXXX



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REV-1 NO.	NEW STANDARD DRWG MODIFICATION DESCRIPTION	11/25/2019 DATE	VH BY
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S4 = L 125x90x8  
S5 = L 125x90x10  
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L2 = 3-2x10 + P3 ON BOTH SIDES  
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES  
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES

\* UNLESS OTHERWISE NOTED  
\* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE TREATED LUMBER

POST TABLE:

P1 = 3" ADJUSTABLE STEEL COLUMN  
P2 = 2-2x4 OR 2-2x6  
P3 = 3-2x4 OR 3-2x6  
P4 = 4-2x4 OR 4-2x6  
P5 = 5-2x4 OR 5-2x6  
P6 = 6-2x4 OR 6-2x6  
P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (\*)  
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (\*)  
P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (\*)  
P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (\*)  
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL. + 130x160x10 TOP PL. (\*)  
(\*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

\* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD)  
\* IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:  
- SHALL HAVE A VISUAL SIGNALING DEVICE;  
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;  
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;  
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM; AND  
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

DRAWING: SECOND FLOOR ELECTRICAL

ADDRESS: XXSCALE: 3/16" = 1'-0"DATE: 11/25/2019

1030 - THE NASH 2018 FOOTPRINT(SANDARD DRAWINGS)

SHEET: E02