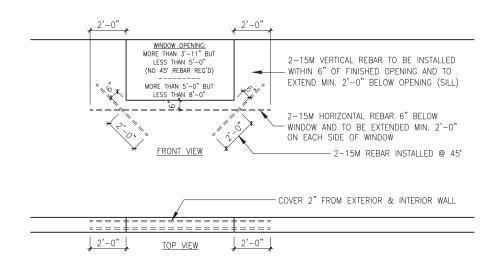
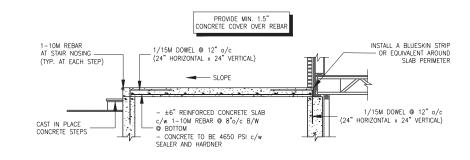
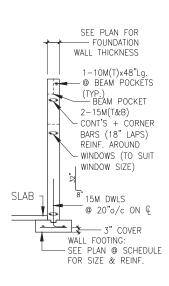
		FOOTING	SCHEDULE		
ALLOWAB	LE SOIL BEARING CAPAC	TY / BEARING RESISTA	NCE AT SLS FOR «SITE	: CLASS:D»	
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
WF1	30"x8" DP. 2-15M(B) LONG.	36"x8" DP. 15M(B)x32"Lg @ 20" o/c 3-15M(B) LONG.	40"x8" DP. 15M(B)x36"Lg @ 20" o/c 3-15M(B) LONG.	48"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	72"x10" DP. 15M(B)x66"Lg @ 16" o/c 5-15M(B) LONG.
WF2	28"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	46"x8" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.	70"x10" DP. 15M(B)x64"Lg @ 16" o/c 5-15M(B) LONG.
WF3	26"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	42"x8" DP. 15M(B)x38"Lg @ 20" o/c 3-15M(B) LONG.	64"x10" DP. 15M(B)x58"Lg @ 16" o/c 5-15M(B) LONG.
WF4	24"x8" DP. 2-15M(B) LONG.	28"x8" DP. 2-15M(B) LONG.	32"x8" DP. 2-15M(B) LONG.	38"x8" DP. 15M(B)x34"Lg @ 20" o/c 3-15M(B) LONG.	58"x10" DP. 15M(B)x52"Lg @ 16" o/c 4-15M(B) LONG.
WF5	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	26"x8" DP. 2-15M(B) LONG.	34"x8" DP. 2-15M(B) LONG.	52"x10" DP. 15M(B)x48"Lg @ 16" o/c 4-15M(B) LONG.
WF6	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	30"x8" DP. 2-15M(B) LONG.	46"x10" DP. 15M(B)x42"Lg @ 16" o/c 3-15M(B) LONG.
WF7	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	20"x8" DP. 2-15M(B) LONG.	24"x8" DP. 2-15M(B) LONG.	36"x10" DP. 15M(B)x32"Lg @ 16" o/c 3-15M(B) LONG.
	PAD F	OOTING SCHE	DULE		
ALLOWAB	LE SOIL BEARING CAPAC	TY / BEARING RESISTA	NCE AT SLS FOR «SITE	CLASS:D»	
WALL FOOTINGS	100KPa	85KPa	75KPa	60KPa	40KPa
F1	F1		48"x48"x10" DP. 4-15M (B)x42" LG.EW	52"x52"x10" DP. 4-15M (B)x46" LG.EW	64"x64"x12" DP. 5-15M (B)x58" LG.EW
F2	F2 24"x24"x10" DP. 24"x24		24"x24"x10" DP.	28"x28"x12" DP.	64"x64"x12" DP. 5-15M (B)x58" LG.EW
F3	36"x60"x10" DP.3-15M (B) LONG. AND 5-15M (B) TRANS.	40"x60"x10" DP.3-15M (B) LONG. AND 5-15M (B) TRANS.	44"x66"x10" DP.4-15M (B) LONG. AND 5-15M (B) TRANS.	48"x72"x10" DP.4-15M (B) LONG. AND 6-15M (B) TRANS.	60"x84"x12" DP. 5-15M(B) LONG and 7-15M(B) TRANS.







- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTI OF 3000 P.S.I. (21MPa) AT 28 DAYS;
- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);
- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;
- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;
- FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

BASEMENT NOTE:

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:
- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:
- A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
- B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SF.)
 WITH NO DIMENSIONS LESS THAN 380mm (15IN)

2012 O.B.C. DRAWINGS

SMOKE ALARMS AS PER SECTION 9.10.19, OF THE ONTARIO BUILDING CODE:
SHALL HAVE A VISUAL SIGNALING DEVICE;
ARE REQUIRED IN EACH SICEPING ROOM AND HALLWAY;
ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM; AND CARPION MONYINE ALARM AND ALARM; AND CARPION MONYINE ALARM; AND CARPION MONYINE ALARM AND AL **FOOTING TABLE**

SCALE: 3/16" = 1'-0" 1030 - THE NASH

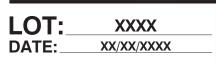
2018 FOOTPRINT (STANDARD DRAWINGS)

A5

11/25/2019

FOOTING TABLE

SCALE: 3/16" = 1'-0"



- Valecraft
- ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER SESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REQUIATIONS.

 8 — THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S
- ARCHITECTURAL DEPARTMENT.
- ARCHITECTURAL DEPARTMENT.

 C NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

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- SHE.

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- I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.
- PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

REV-1 NEW STANDARD DRWG MODIFICATION 11/25/2019 VH

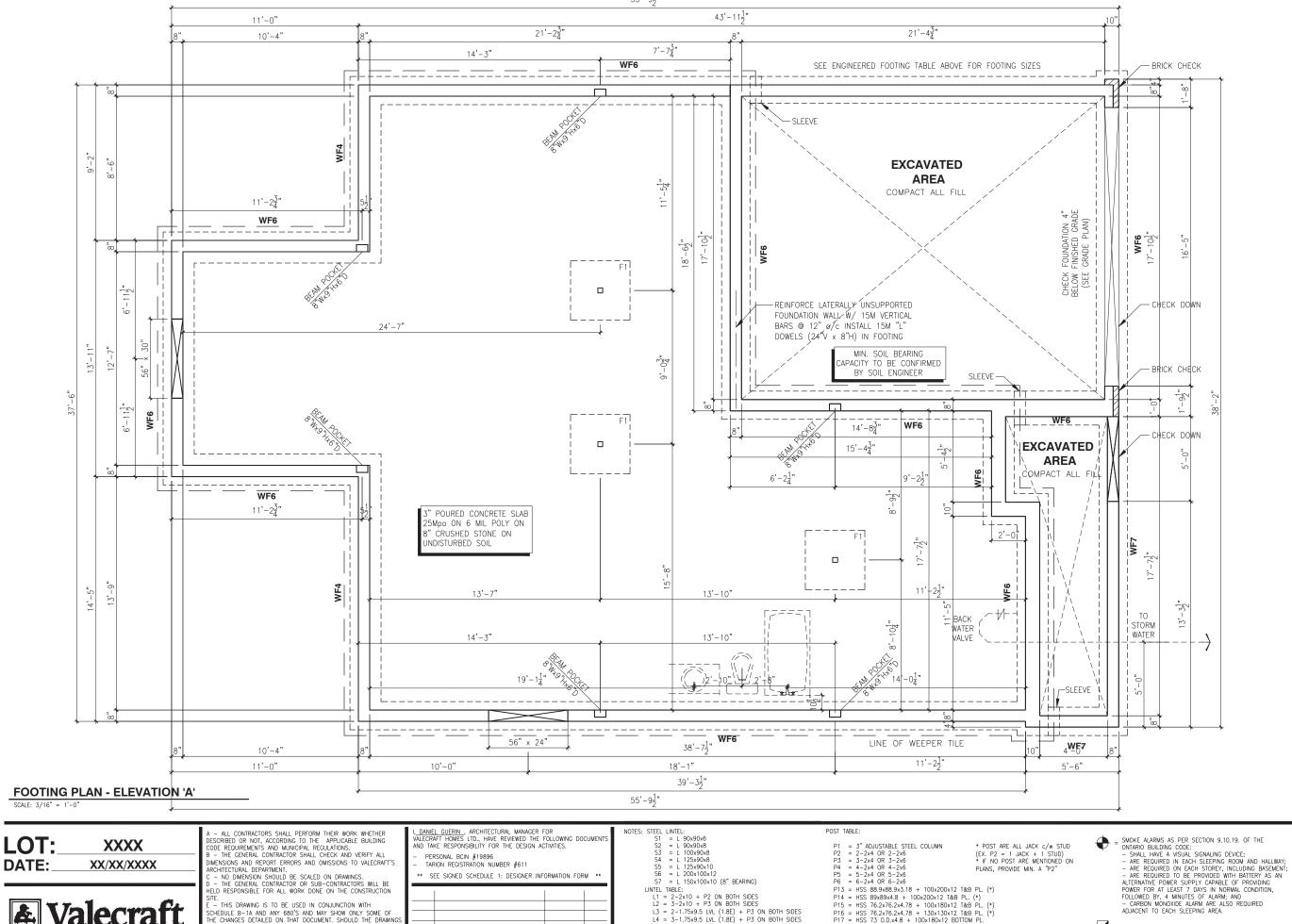
- ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM
- - = L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8
 - S7 = L 150×100×10 (8" BEARING)

 LINTEL TABLE:

 L1 = 2-2×10 + P2 ON BOTH SIDES

 L2 = 3-2×10 + P3 ON BOTH SIDES
- P1 = 3" ADJUSTABLE STEEL COLUMN P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 * POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD) * IF NO POST ARE MENTIONED ON PLANS, IPLANS, IPLANS,
- P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 .0.D.x4.8 + 100x180x12 BOTTOM PL.
- POST TABLE:
- S5 = L 125x90x10S6 = L 200x100x12
 - $L3 = 2-1.75 \times 9.5$ LVL (1.8E) + P3 ON BOTH SIDES $L4 = 3-1.75 \times 9.5$ LVL (1.8E) + P3 ON BOTH SIDES
 - * UNLESS OTHERWISE NOTED + 130x160x10 TOP PL. (*)

 * IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE (*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)



- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. (21MPa) AT 28 DAYS; ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I.

c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;

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2012 O.B.C. DRAWINGS

A5a

FOOTING PLAN

SCALE: DATE: 3/16" = 1'-0" 11/25/2019

1030 - THE NASH 2018 FOOTPRINT

(STANDARD DRAWINGS)

Valecraft

ARCHITECTURAL DEPARTMENT.

. — NO DIMENSION SHOULD BE SCALED ON DRAWINGS.

. — THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE IELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION OF THE CONSTRUCTION.

SITE.

E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH
SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF
THE CHANCES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS
NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER
ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING
DOCUMENT.

REV-1 NEW STANDARD DRWG MODIFICATION 11/25/2019 VH

S7 = L 150x100x10 (8" BEARING) LINTEL TABLE:

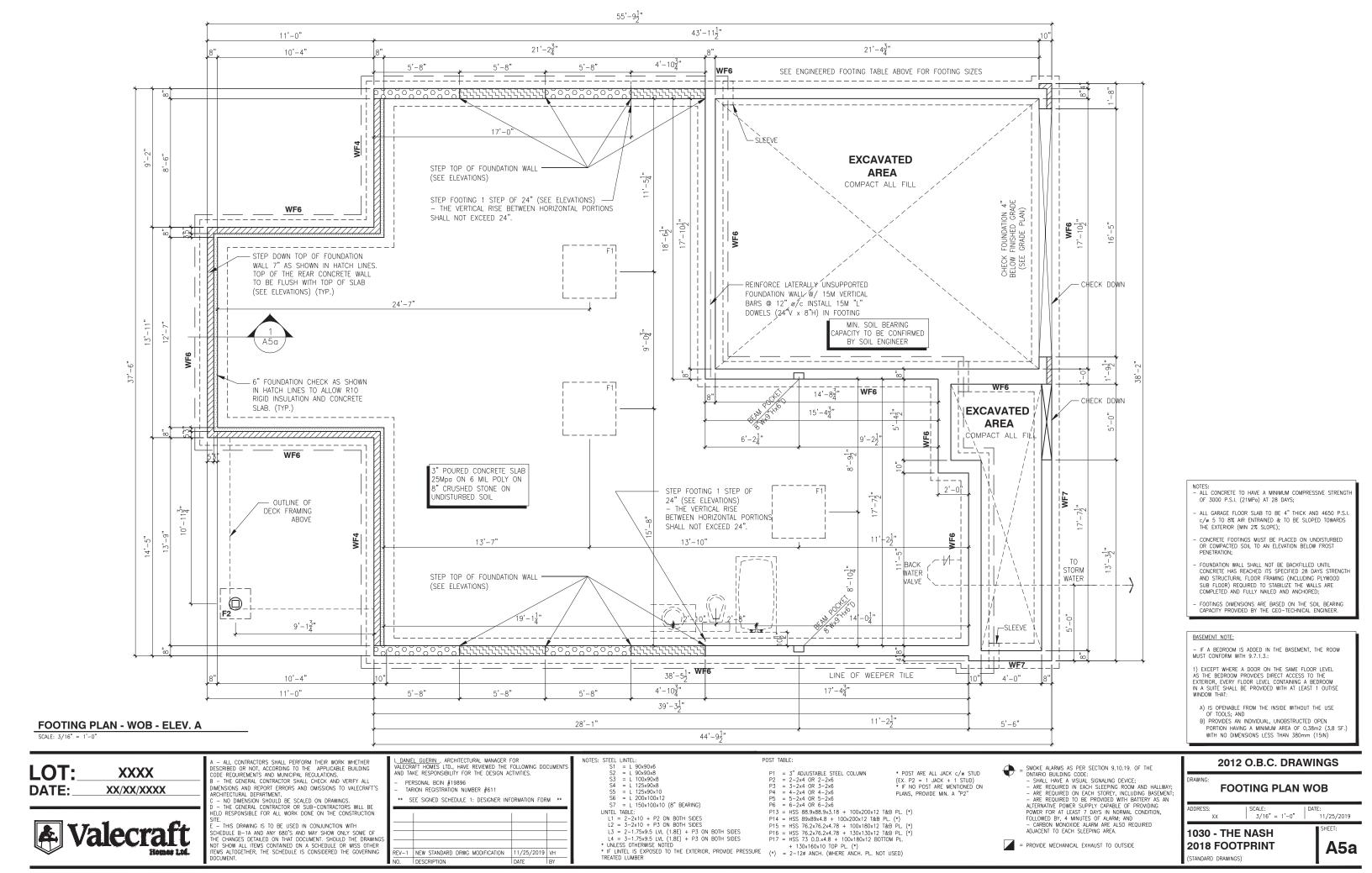
NIEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES L2 = 3-2x10 + F3 ON BOTH SIDES L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES * UNLESS OTHERWISE NOTED

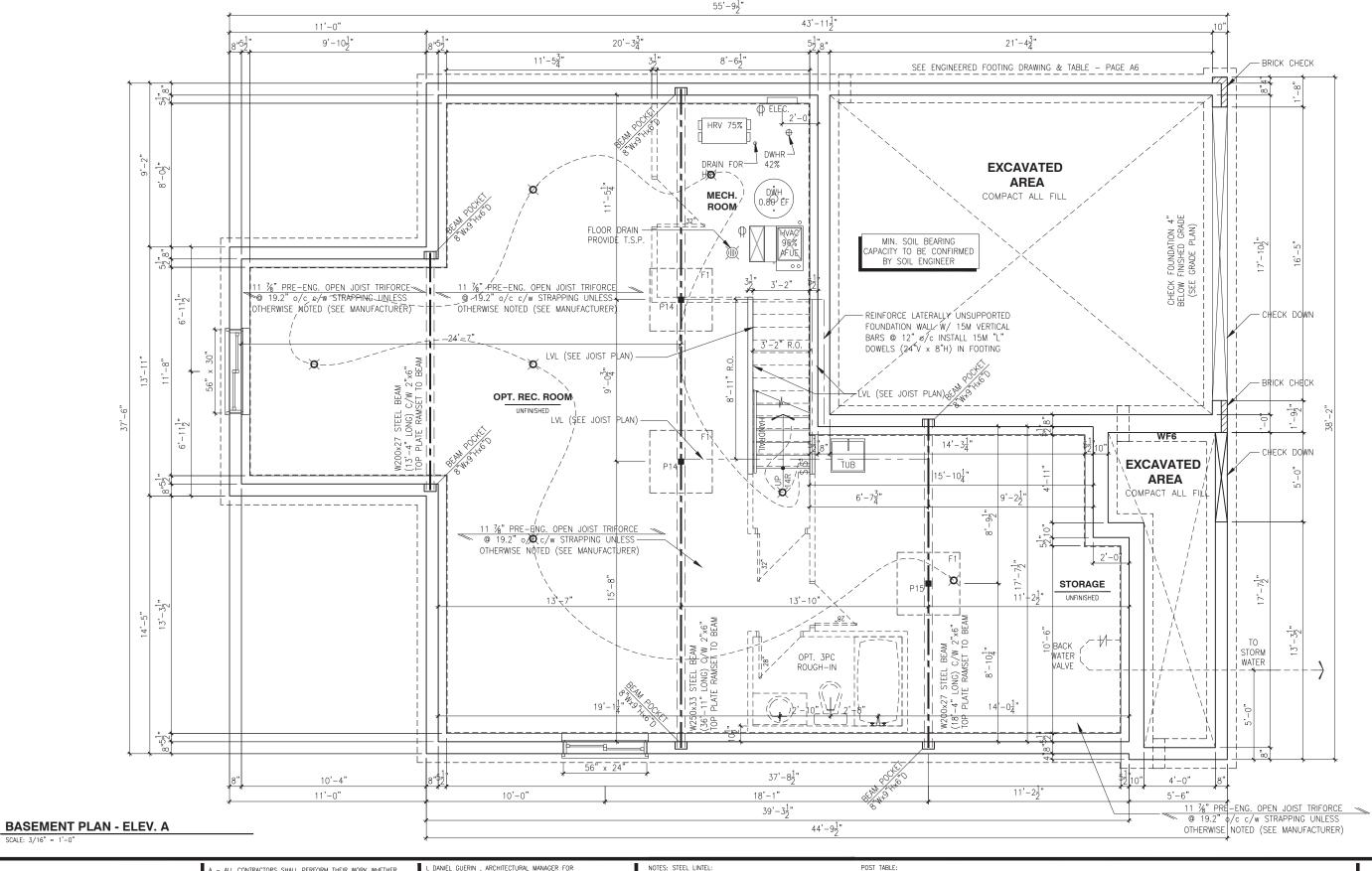
P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73 .0.D.x4.8 + 100x180x12 BOTTOM PL. * UNLESS OTHERWISE NOTED

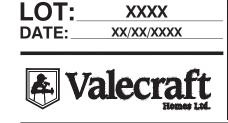
* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

(*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE







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SITE. E - THIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT.

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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

REV-1 NEW STANDARD DRWG MODIFICATION 11/25/2019 VH

= L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10 = L 200x100x12 S6 = L 200x100x12
S7 = L 150x100x10 (8" BEARING)
LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
* UNLESS OTHERWISE NOTED
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* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

(*) = 2-12Ø ANCH. (WHERE ANCH. PL. NOT USED)

(EX. P2 = 1 JACK + 1 STUD) * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

* POST ARE ALL JACK c/w STUD

= SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
ONTARIO BUILDING CODE:
- SHALL HAVE A VISUAL SIGNALING DEVICE;
- ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;
- ARE REQUIRED ON EACH STOREY, INCLUDING BASEMENT;
- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN
ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING
POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION,
FOLLOWED BY, A MINUTES OF ALARM, AND
- CARBON MONOXIDE ALARM ARE ALSO REQUIRED
ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

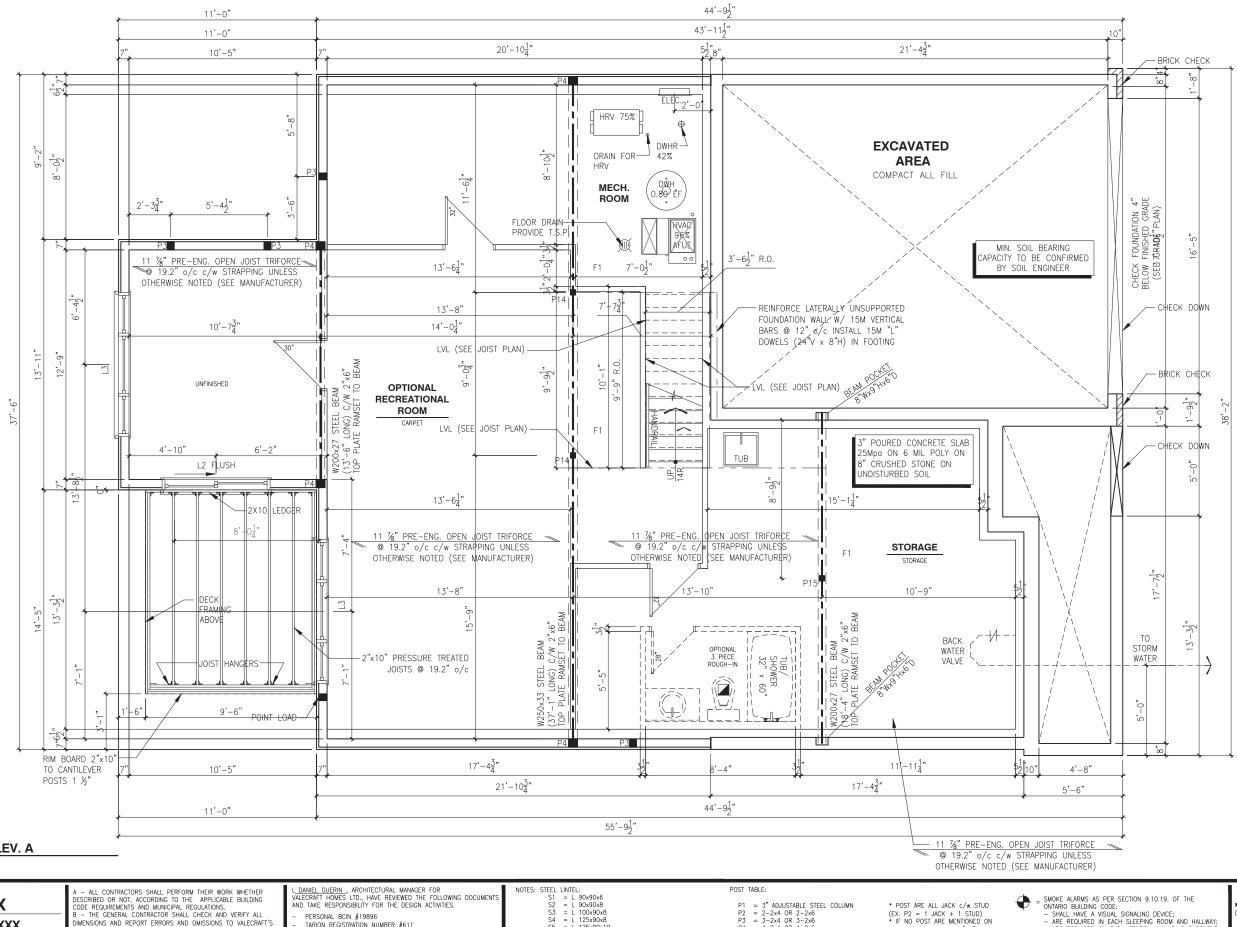
2012 O.B.C. DRAWINGS

BASEMENT PLAN

| SCALE: | DATE: | 11/25/2019 **1030 - THE NASH**

2018 FOOTPRINT (STANDARD DRAWINGS)

A6a



BASEMENT PLAN - ELEV. A



A – ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMENTS AND MUNICIPAL REQULATIONS.
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C – NO DIMENSION SHOULD BE SCALED ON DRAWINGS.
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II.. — THIS DRAWING IS TO BE USED IN CONJUNCTION WITH CHEDULE B-1A AND ANY 680'S AND MAY SHOW ONLY SOME OF HE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS OT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER EMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING OCUMENT.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

REV-1 NEW STANDARD DRWG MODIFICATION 11/25/2019 VH

S5 = L 125x90x10S6 = L 200x100x12

S6 = L 200x 100x12
S7 = L 150x 100x10 (8" BEARING)
LINTEL TABLE:
L1 = 2-2x10 + P2 ON BOTH SIDES
L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9,5 LVL (1.8E) + P3 ON BOTH SIDES
L4 = 3-1.75x9,5 LVL (1.8E) + P3 ON BOTH SIDES
+ UNLESS OTHERWISE NOTED

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E LINTEL IS EXPOSED TO THE EXTERIOR PROVIDE PREE LINTEL IS EXPOSED TO THE EXTERIOR PROVIDE PRE**E LINTEL IS EXPOSED TO THE EXTERIOR PROVIDE PRE**E LINTEL IS EXPOSED TO THE EXTERIOR PROVIDE PRE-* UNLESS OTHERWISE NOTED

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

P1 = 3" ADJUSTABLE STEEL COLUMN P2 = 2-2x4 OR 2-2x6 (EX, P2 = 15 = 3-2x4 OR 3-2x6 *IF NO P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 PLANS, P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x8.9x3.18 + 100x200x12 T&B PL (*)

(EX. P2 = 1 JACK + 1 STUD) * IF NO POST ARE MENTIONED ON P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 100x130x12 T&B PL. (*) P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

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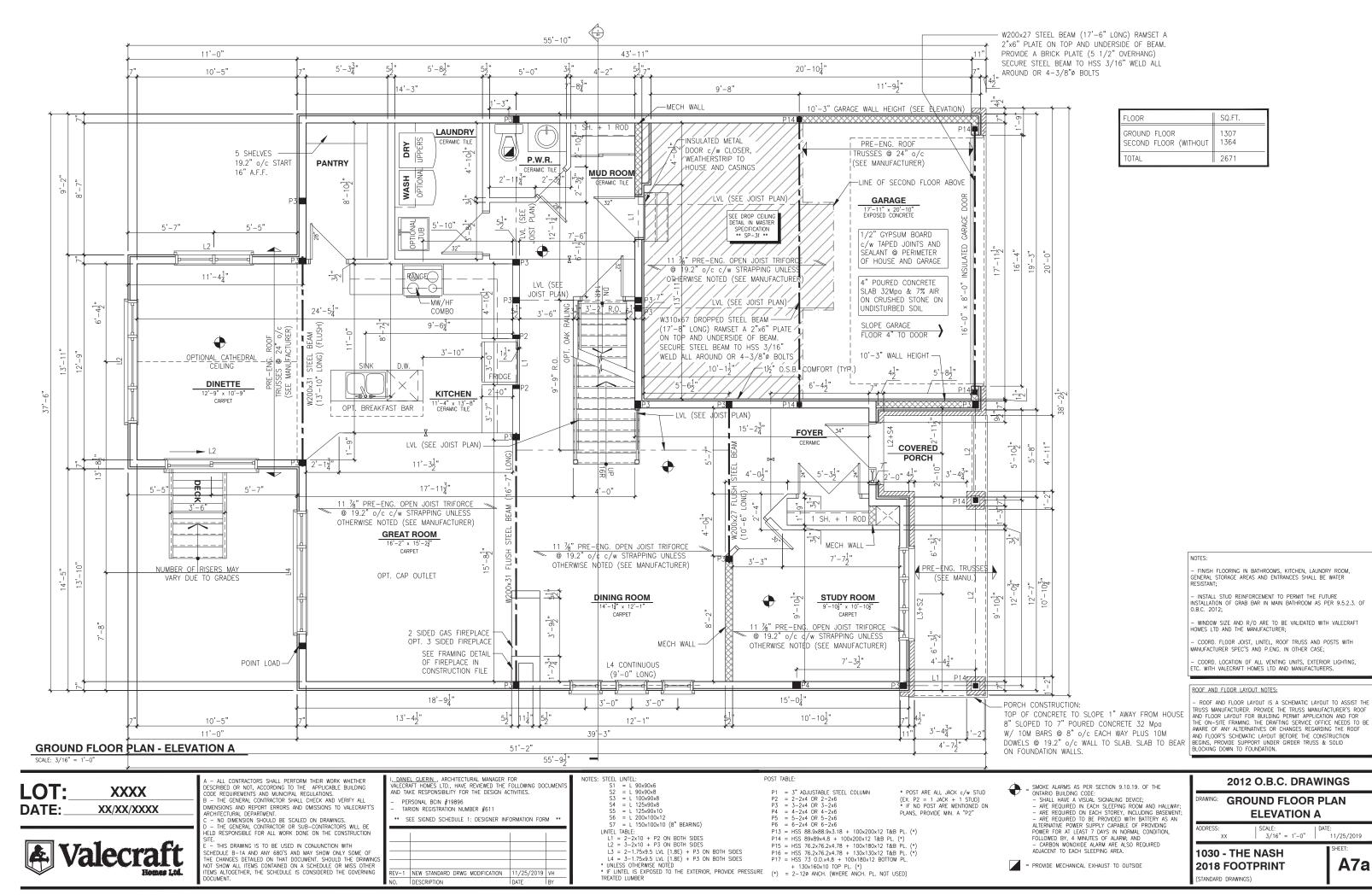
1030 - THE NASH 2018 FOOTPRINT

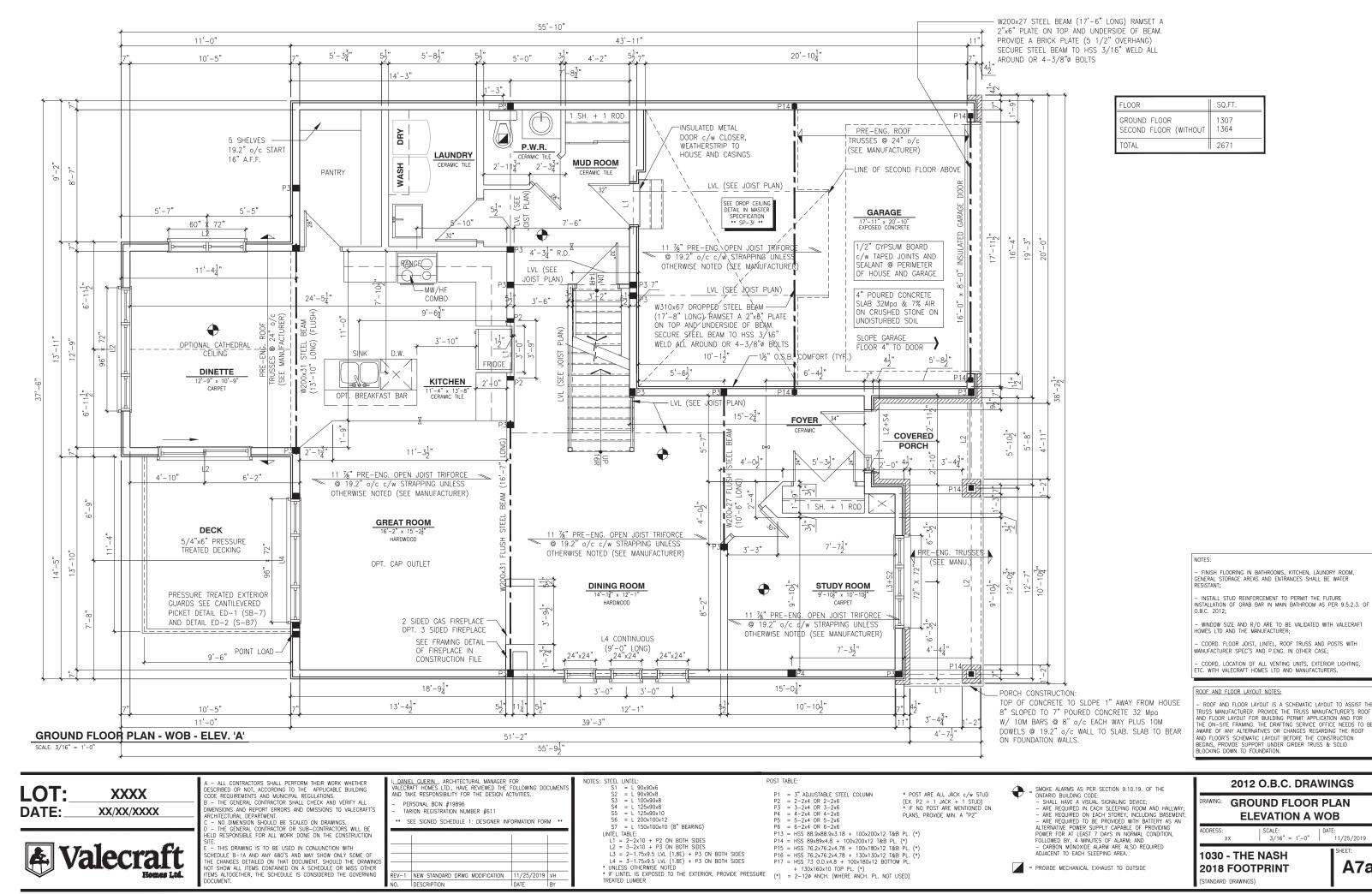
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SCALE: DATE: 11/25/2019 A6a

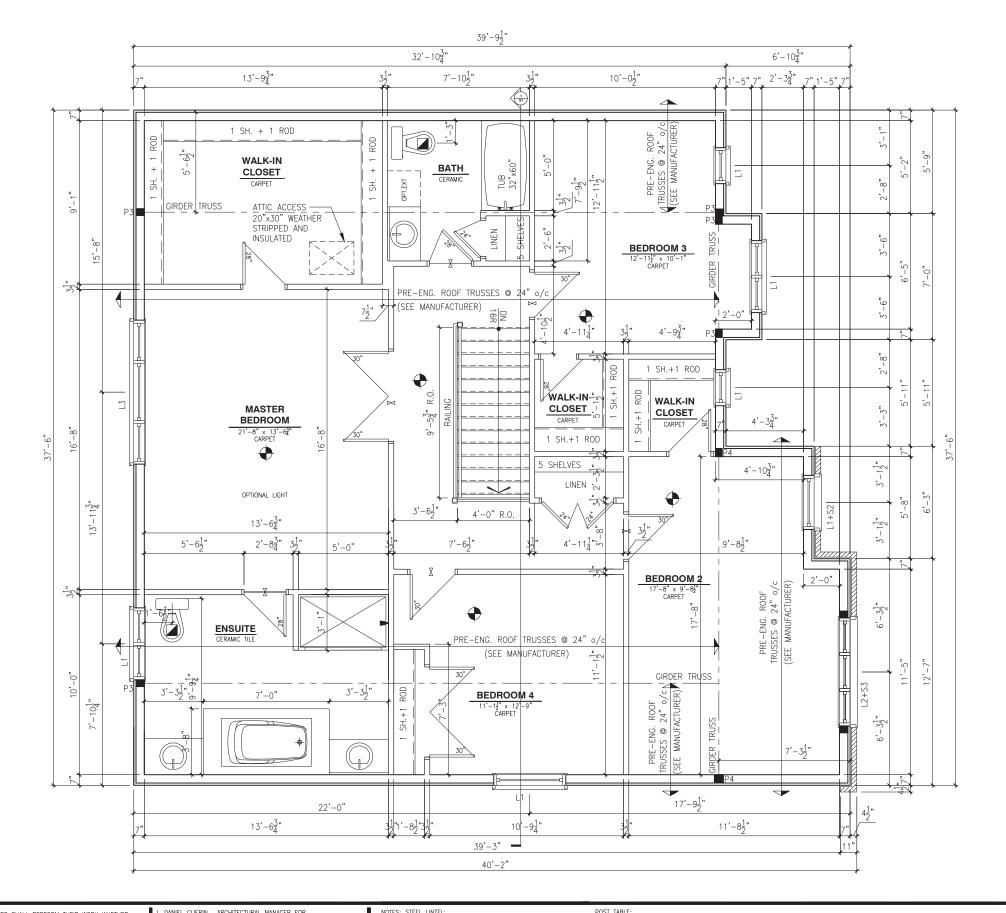
2012 O.B.C. DRAWINGS

BASEMENT PLAN WOB





A7a



SECOND FLOOR PLAN - ENSUITE UPG.

LOT: XXXX DATE: XX/XX/XXXX

Valecraft Nomes Let.

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. 90x90x8 100x90x8 = L 125x90x10 = L 200x100x12 = L 150x100x10 (8" BEARING)

LINTEL TABLE:

NIEL 18BLE: $L1 = 2 - 2 \times 10 + P2$ ON BOTH SIDES $L2 = 3 - 2 \times 10 + P3$ ON BOTH SIDES $L3 = 2 - 1.75 \times 9.5$ LVL (1.8E) + P3 ON BOTH SIDES

P1 = 3" ADJUSTABLE STEEL COLUMN

P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 0.0.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)

P6 = 6-2x4 OR 6-2x6

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD) * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

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SECOND FLOOR PLAN

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

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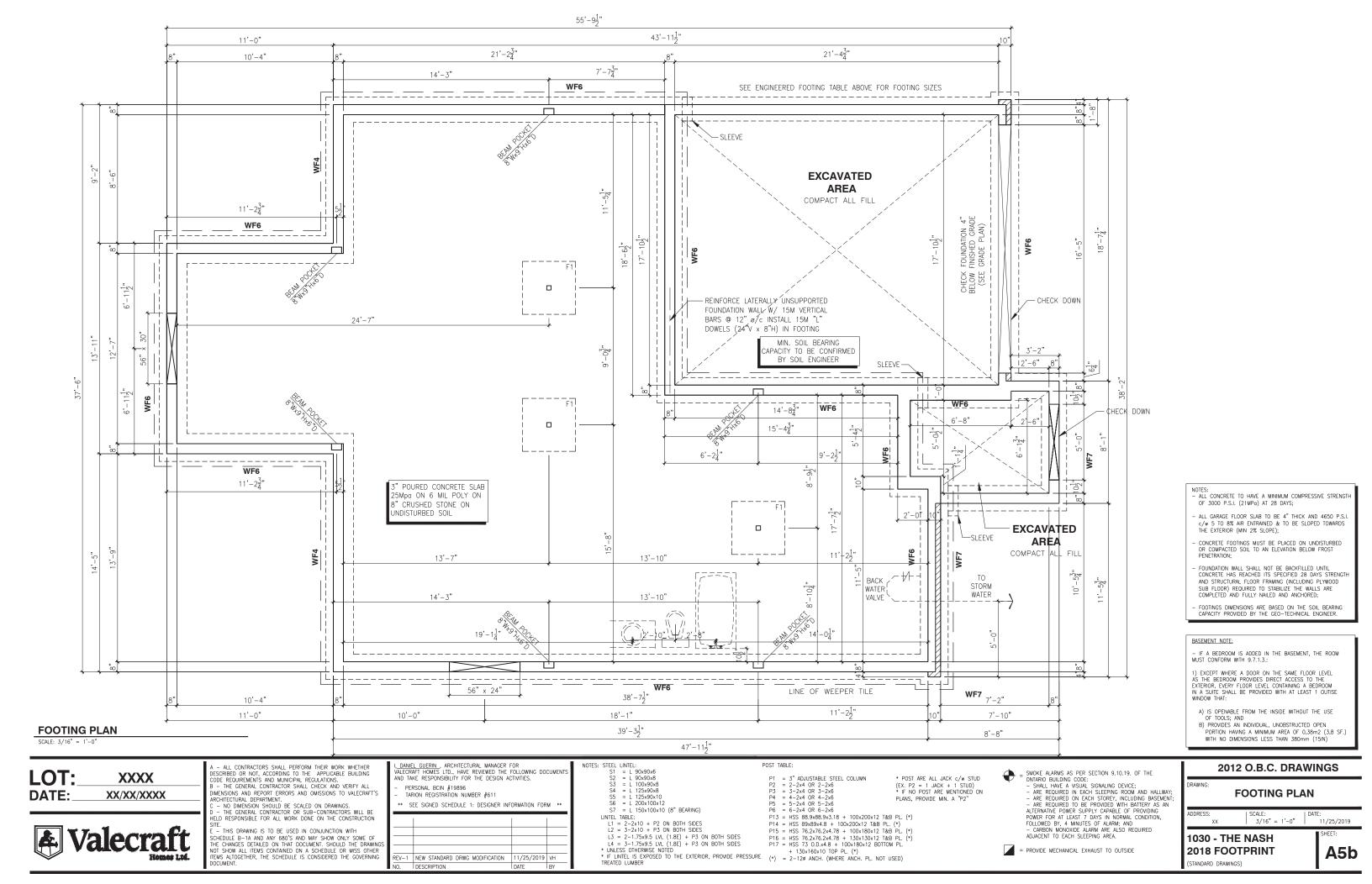
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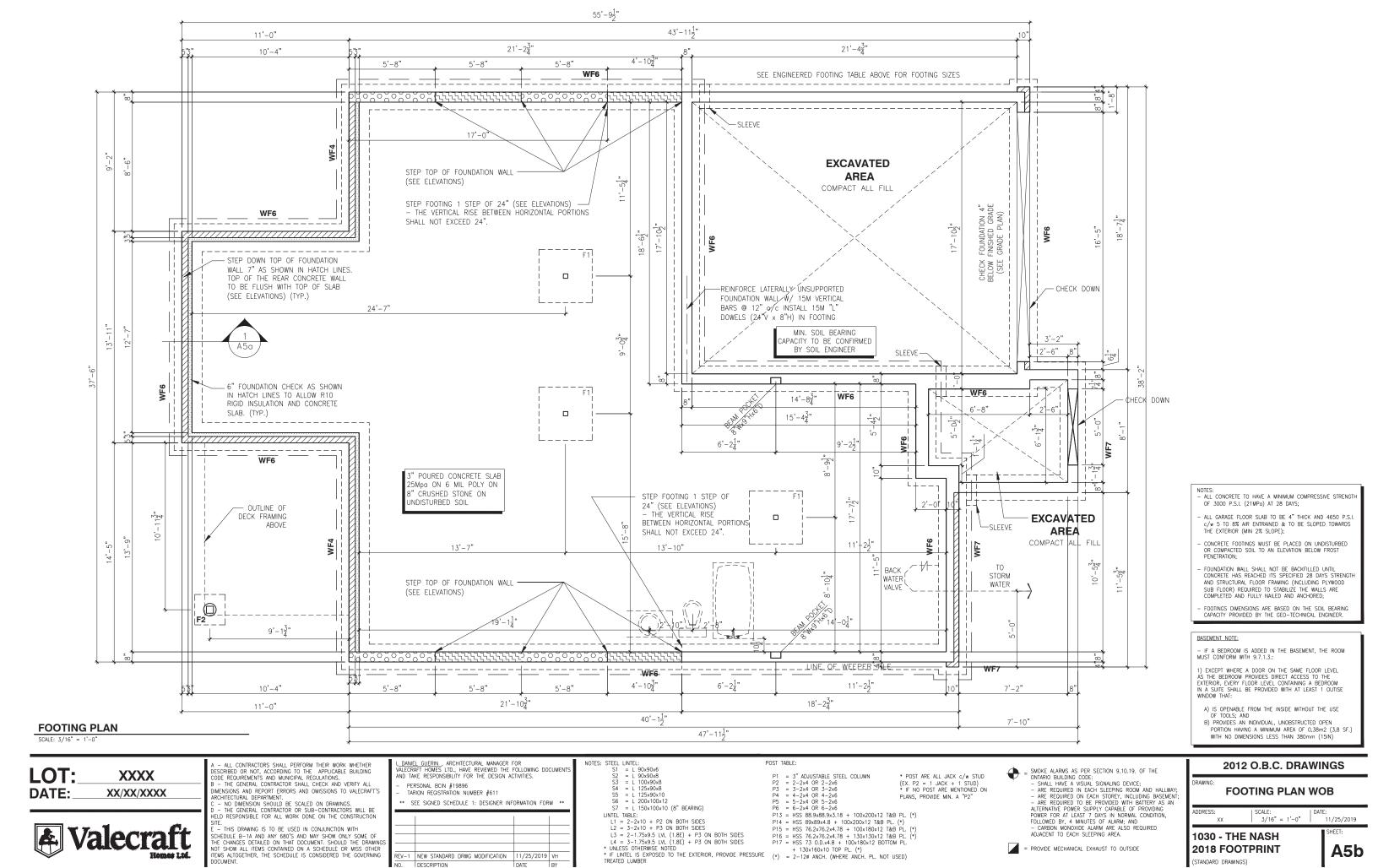
1030 - THE NASH **2018 FOOTPRINT**

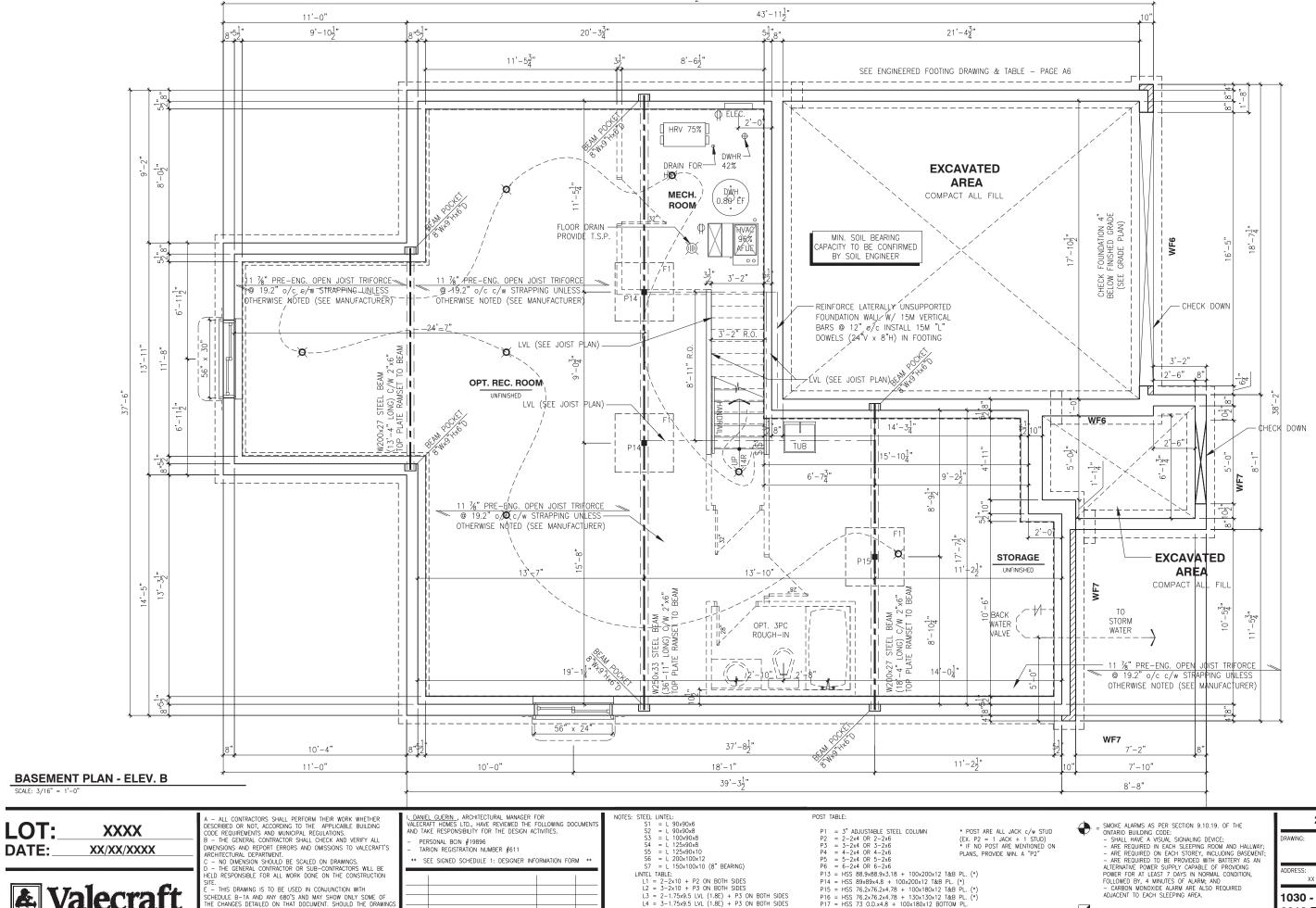
STANDARD DRAWINGS)

A8a

11/25/2019









DATE:

ARCHIECTURAL DEPARTMENT.
C - NO DIMENSION SHOULD BE SCALED ON DRAWINGS.
D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION

SIIE.

E – THIS DRAWING IS TO BE USED IN CONJUNCTION WITH
SCHEDULE B–1A AND ANY 680'S AND MAY SHOW ONLY SOME OF
THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS
NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER TEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING

REV-1 NEW STANDARD DRWG MODIFICATION 11/25/2019 VH
NO. DESCRIPTION DATE RY

S7 = L 150x100x10 (8" BEARING) LINTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES * UNLESS OTHERWISE NOTED * UNLESS OTHERWISE NOTED

* IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE

(*) = 2-120 ANCH. (WHERE ANCH. PL. NOT USED)

P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73.0.0x4.8 + 100x180x12 BOTTOM PL.

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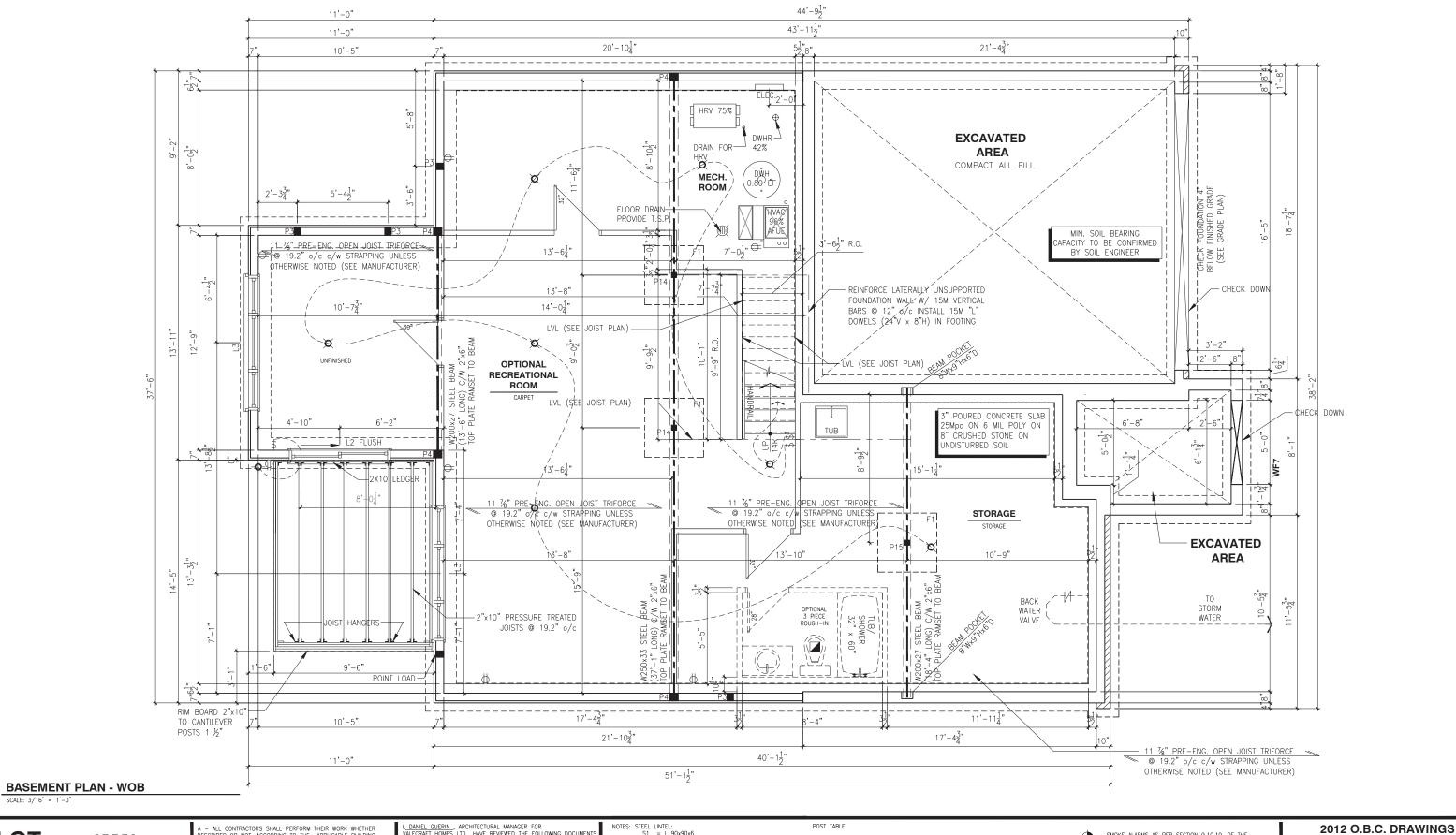
BASEMENT PLAN

| SCALE: | DATE: | 11/25/2019

1030 - THE NASH 2018 FOOTPRINT

STANDARD DRAWINGS)

A6b



LOT: XXXX DATE: XX/XX/XXXX

SCALE: 3/16" = 1'-0"

Valecraft

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I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

REV-1 NEW STANDARD DRWG MODIFICATION 11/25/2019 VH

L 90x90x6 L 90x90x8 L 100x90x8 L 125x90x8 = L 125x90x10 = L 200x100x12

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SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

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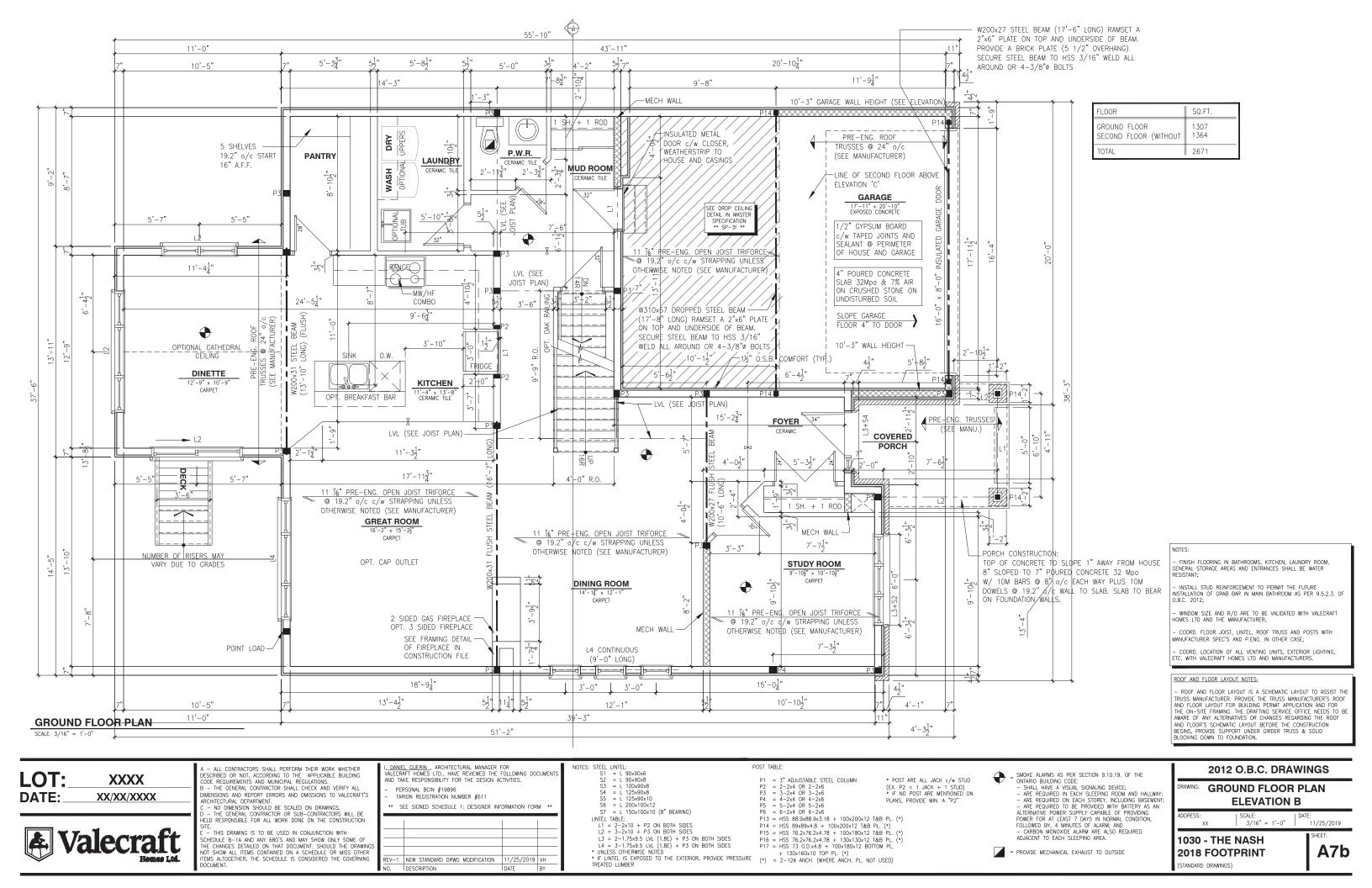
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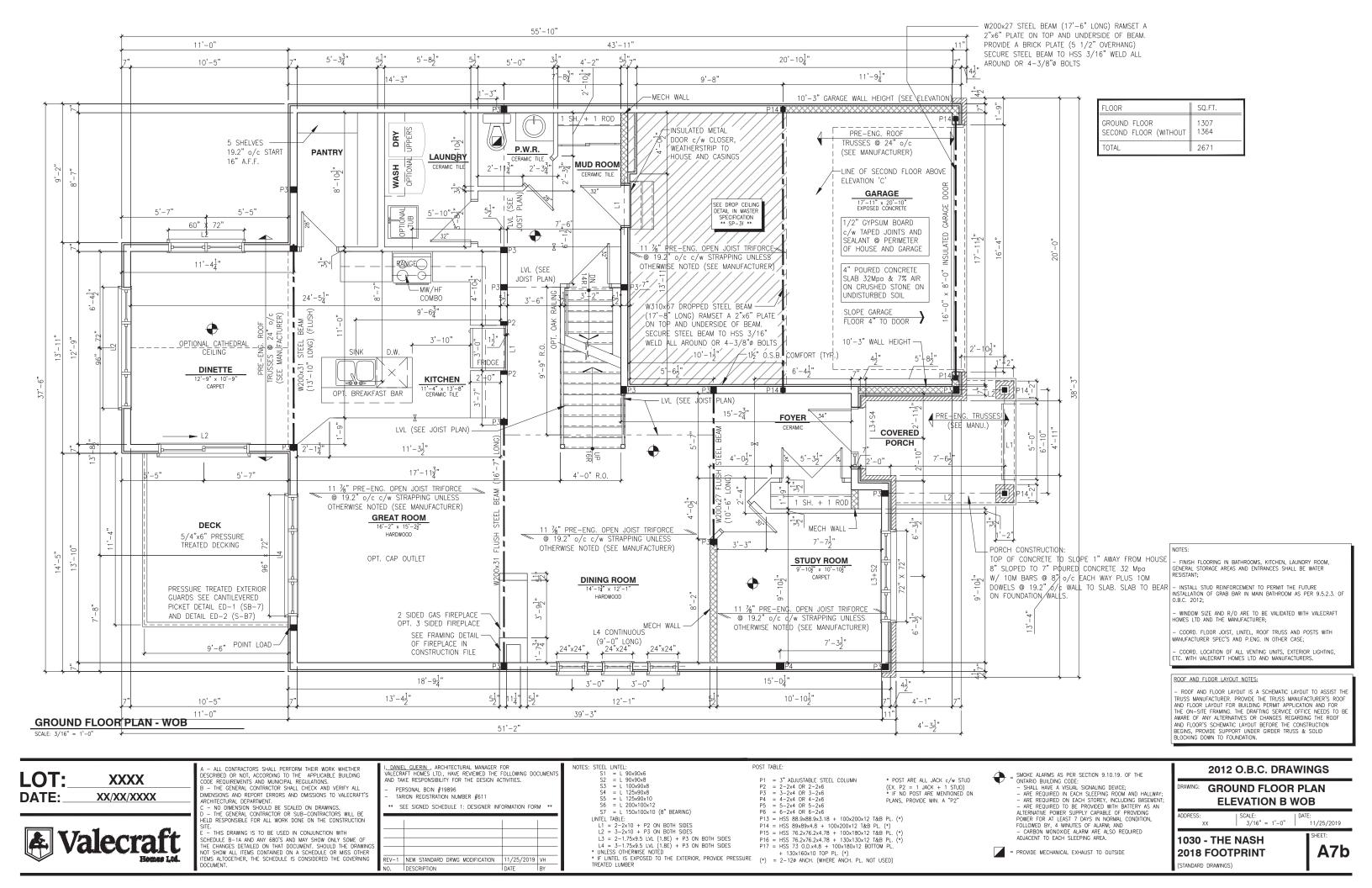
BASEMENT PLAN WOB | SCALE: | 3/16" = 1'-0" 11/25/2019

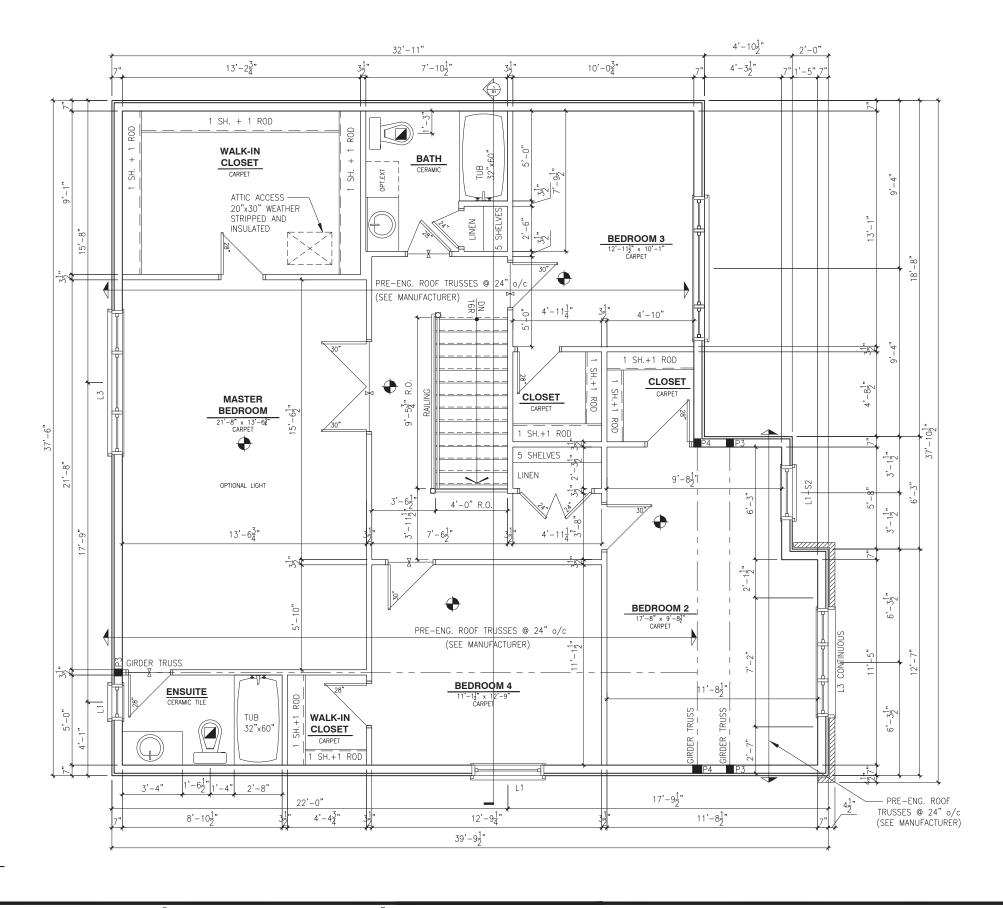
1030 - THE NASH 2018 FOOTPRINT

(STANDARD DRAWINGS)

A6b







SECOND FLOOR PLAN

LOT: XXXX DATE: XX/XX/XXXX



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11/25/2019 VH

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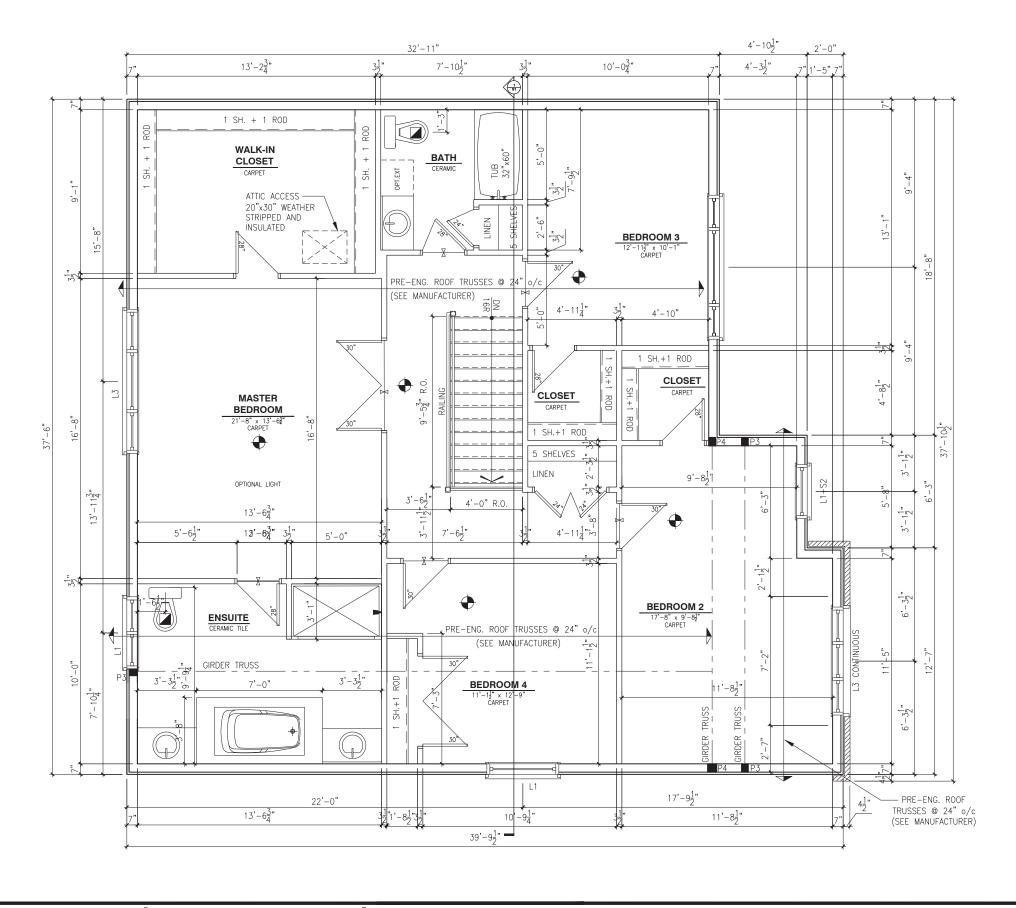
11/25/2019

1030 - THE NASH **2018 FOOTPRINT**

STANDARD DRAWINGS)

ROOF AND FLOOR LAYOUT NOTES:

A8b



SECOND FLOOR PLAN - ENSUITE UPG.

LOT: XXXX DATE: XX/XX/XXXX



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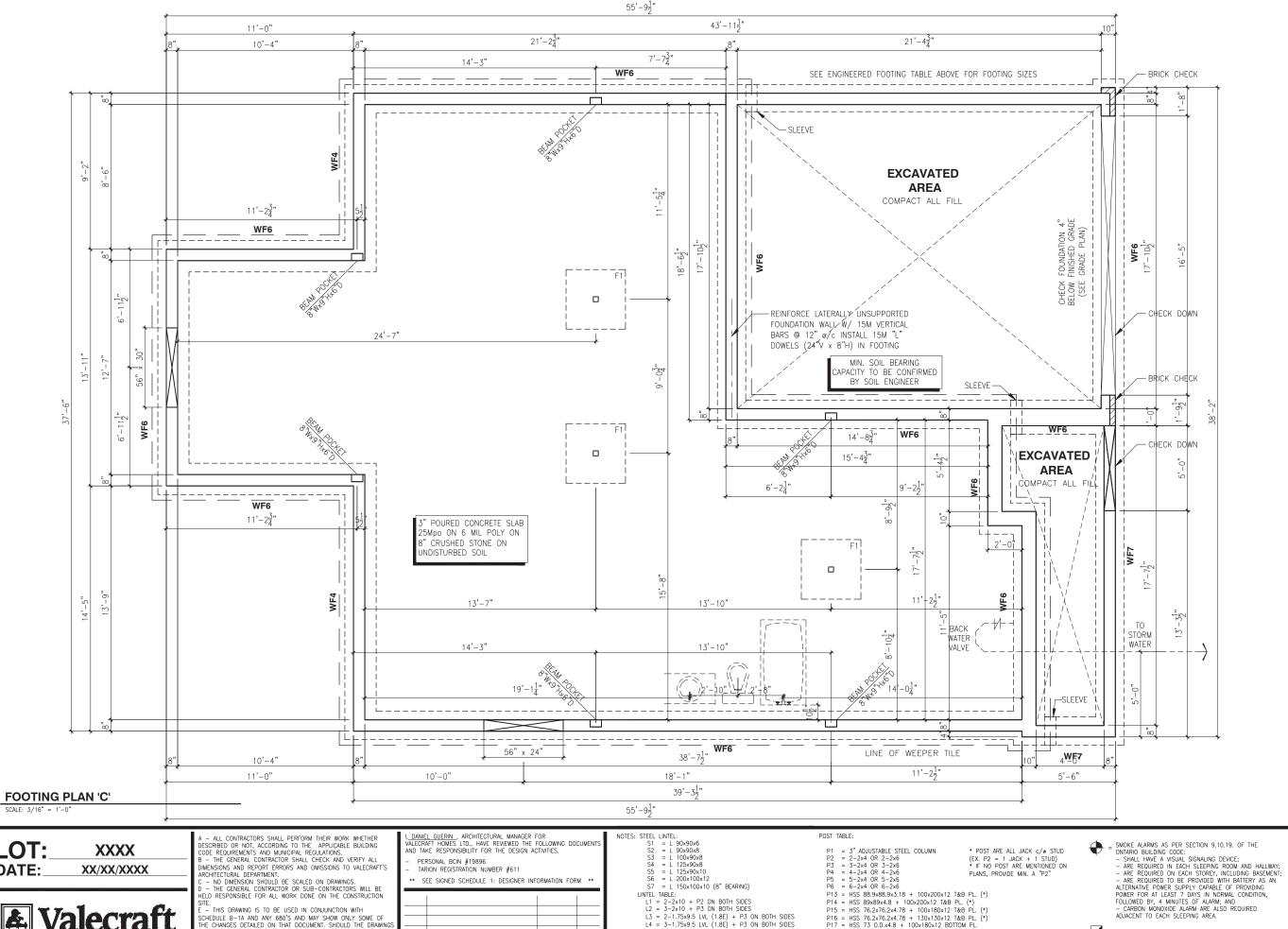
SECOND FLOOR PLAN

11/25/2019

1030 - THE NASH **2018 FOOTPRINT**

STANDARD DRAWINGS)

A8b



NOTES:
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH

OF 3000 P.S.I. (21MPa) AT 28 DAYS;

ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I.
 c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS
 THE EXTERIOR (MIN 2% SLOPE);

- CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;

FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL
AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE
EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM
IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE
WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)



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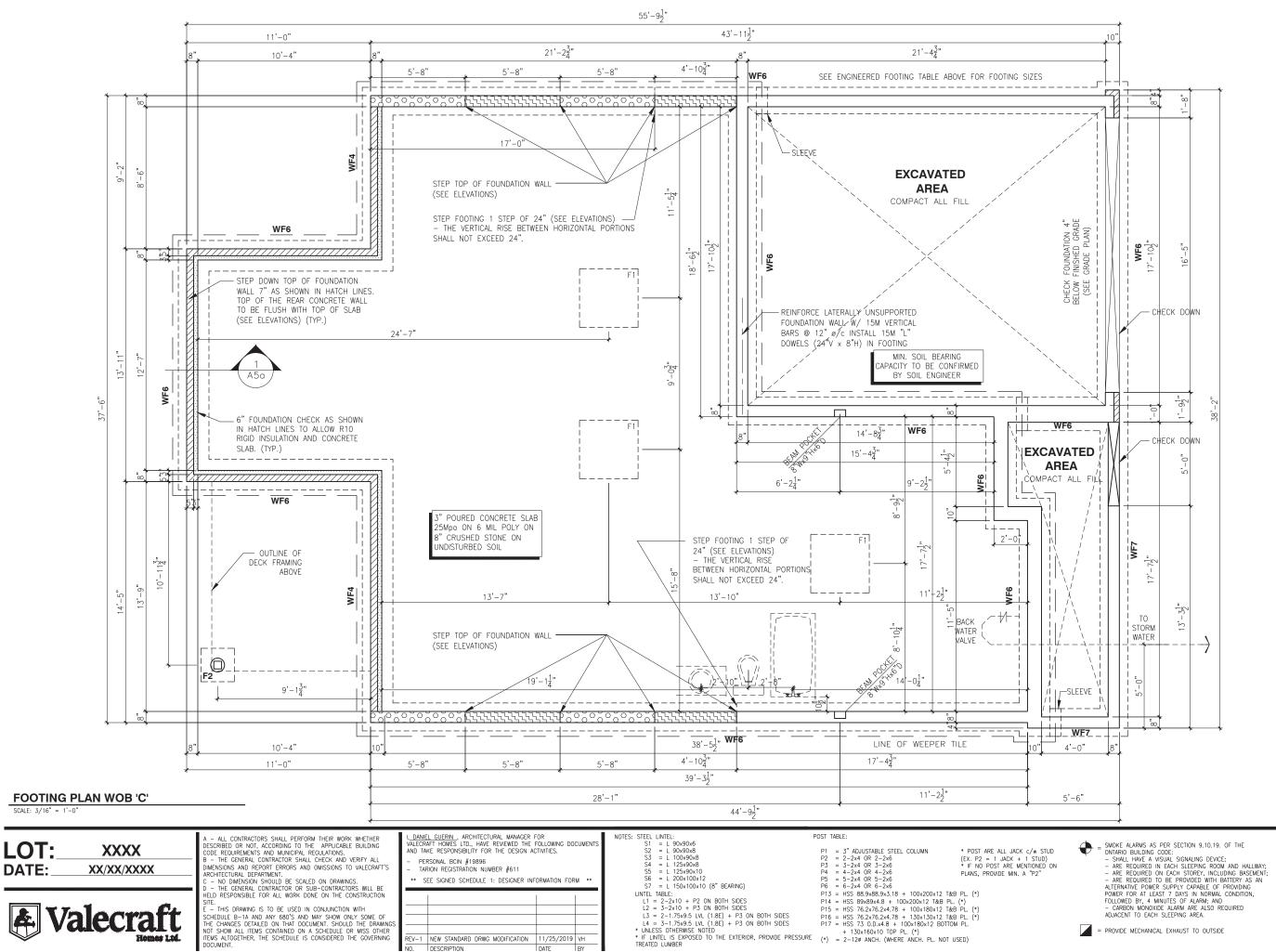
FOOTING PLAN 'C'

SCALE: DATE: 3/16" = 1'-0" 11/25/2019

1030 - THE NASH 2018 FOOTPRINT

(STANDARD DRAWINGS)

A₅c



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- ALL GARAGE FLOOR SLAB TO BE 4" THICK AND 4650 P.S.I. c/w 5 TO 8% AIR ENTRAINED & TO BE SLOPED TOWARDS THE EXTERIOR (MIN 2% SLOPE);

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION;

- FOUNDATION WALL SHALL NOT BE BACKFILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28 DAYS STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB FLOOR) REQUIRED TO STABILIZE THE WALLS ARE COMPLETED AND FULLY NAILED AND ANCHORED;

FOOTINGS DIMENSIONS ARE BASED ON THE SOIL BEARING CAPACITY PROVIDED BY THE GEO-TECHNICAL ENGINEER.

- IF A BEDROOM IS ADDED IN THE BASEMENT, THE ROOM MUST CONFORM WITH 9.7.1.3.:

1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTISE WINDOW THAT:

A) IS OPENABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS; AND
B) PROVIDES AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0,38m2 (3,8 SF.) WITH NO DIMENSIONS LESS THAN 380mm (15IN)

2012 O.B.C. DRAWINGS

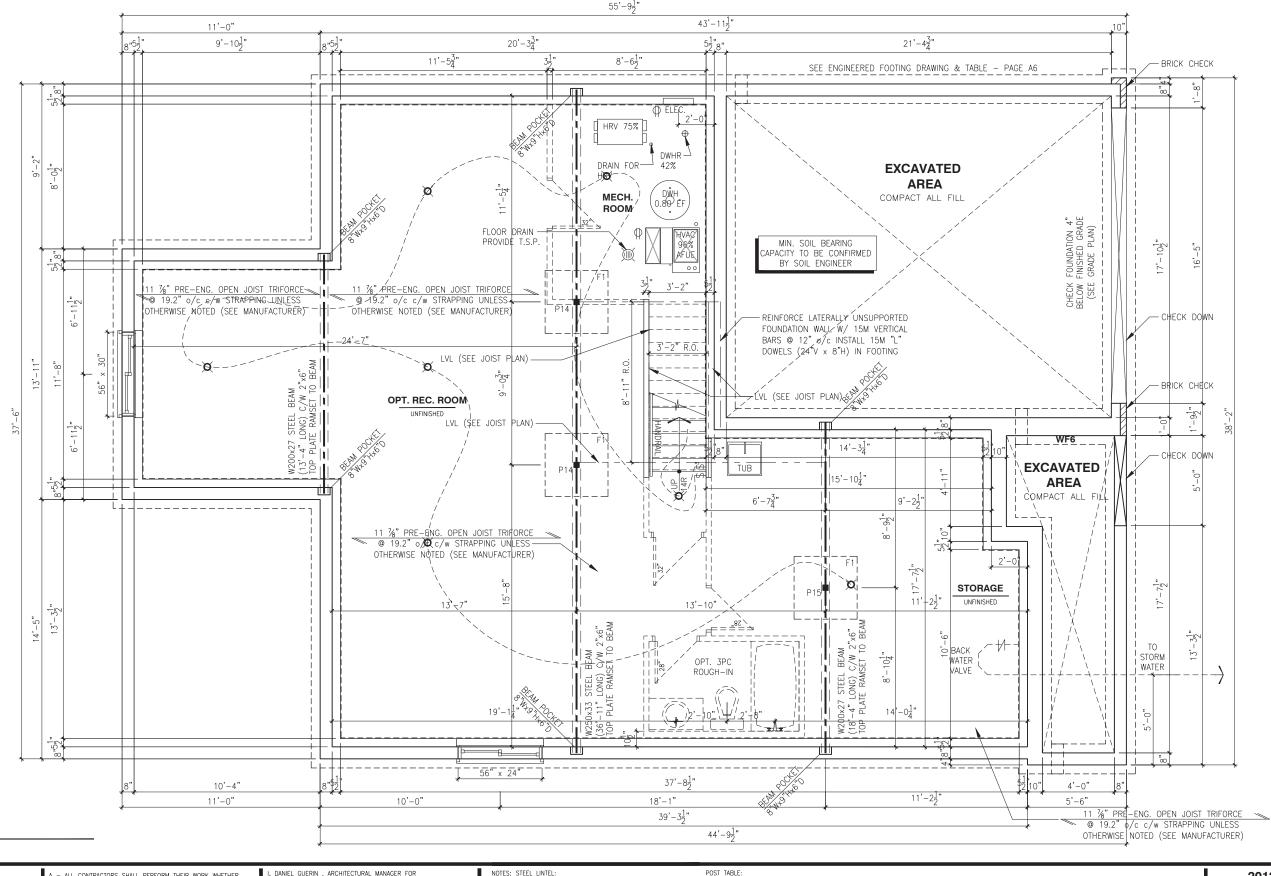
FOOTING PLAN WOB 'C'

SCALE: DATE: 11/25/2019

1030 - THE NASH 2018 FOOTPRINT

(STANDARD DRAWINGS)

A₅c



LOT: XXXX XX/XX/XXXX

BASEMENT PLAN 'C'

SCALE: 3/16" = 1'-0"

Valecraft Valecraft

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I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENT: AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES. PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 ** SEE SIGNED SCHEDULE 1: DESIGNER INFORMATION FORM

REV-1 NEW STANDARD DRWG MODIFICATION 11/25/2019 VH

NO. DESCRIPTION

= 1 90x90x6

= L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10 = L 200x100x12 P1 = 3" ADJUSTABLE STEEL COLUMN P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6 = L 150x100x10 (8" BEARING) LINTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

P6 = 6-2x4 OR 6-2x6 P13 = HSS 88.9x88.9x1.8 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73.0.x4.8 + 100x180x12 BOTTOM PL. L2 = 3-2x10 + P3 ON BOTH SIDES
L3 = 2-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES
UNLESS OTHERWISE NOTED

**IF LINTEL IS EXPOSED TO THE EXTERIOR, PROVIDE PRESSURE
TOPATEN LINLARS

**P15 = HSS 76.2x16.2x4.78 + 100x180x12 T&B PL.

**P17 = HSS 73 0.0.x4.8 + 100x180x12 BOTTOM PL.

**+ 130x160x10 TOP PL. (*)

**+ 2-12\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$\text{\$

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD) * IF NO POST ARE MENTIONED ON

PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE
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- ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, 4 MINUTES OF ALARM, AND

- CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

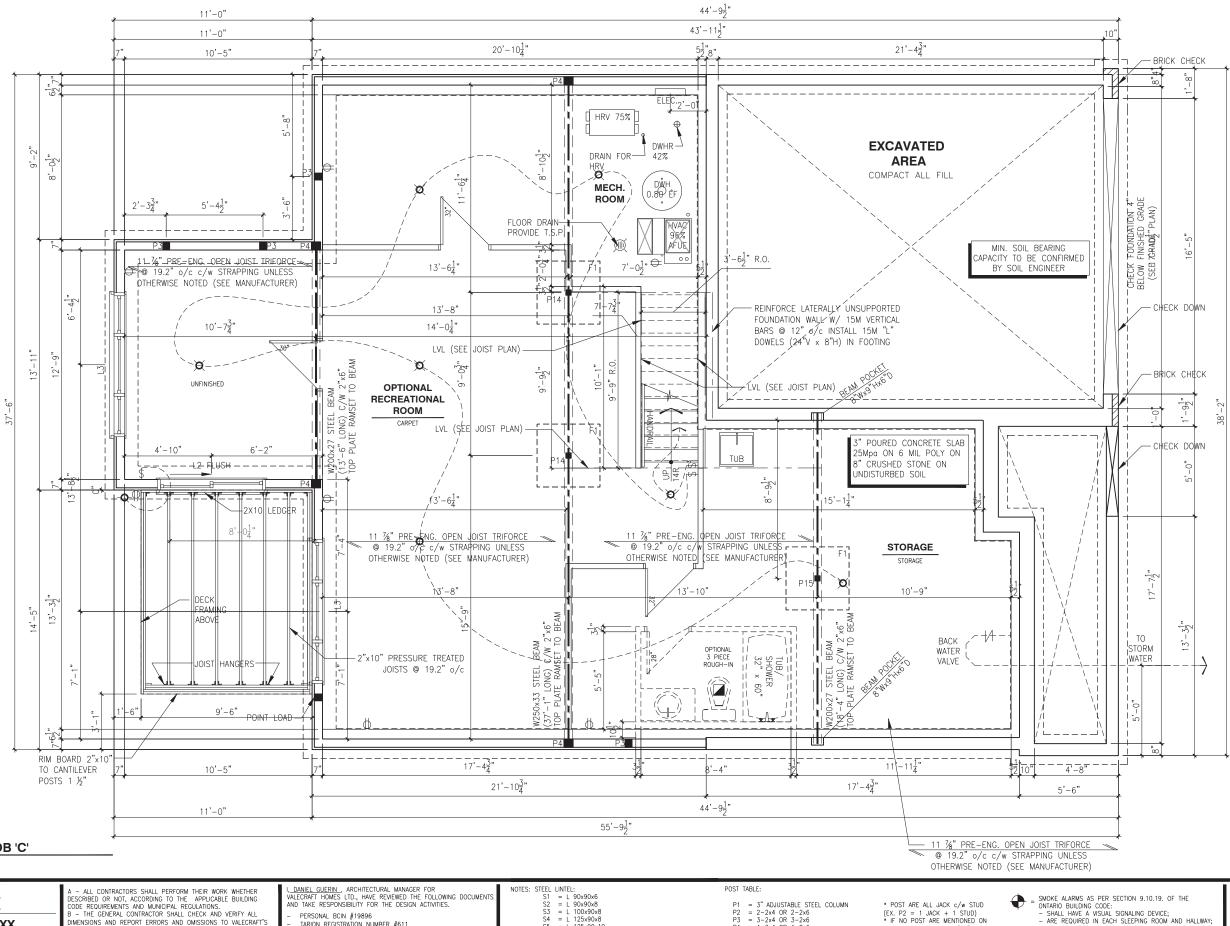
2012 O.B.C. DRAWINGS

BASEMENT PLAN 'C'

SCALE: 3/16" = 1'-0" DAIL: 11/25/2019

1030 - THE NASH 2018 FOOTPRINT (STANDARD DRAWINGS)

A6c



BASEMENT PLAN - WOB 'C'

SCALE: 3/16" = 1'-0"

LOT: XXXX XX/XX/XXXX



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NO. DESCRIPTION

= L 90x90x6 = L 90x90x8 = L 100x90x8 = L 125x90x8 = L 125x90x10 = L 200x100x12

S7 = L 150x100x10 (8" BEARING) LINTEL TABLE: L1 = 2-2x10 + P2 ON BOTH SIDES L2 = 3-2x10 + P3 ON BOTH SIDES

P1 = 3" ADJUSTABLE STEEL COLUMN P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6

PLANS, PROVIDE MIN. A "P2"

P6 = 6-2x4 OR 6-2xb P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*) P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*) P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*) P17 = HSS 73.0.0x4.8 + 100x180x12 BOTTOM PL.

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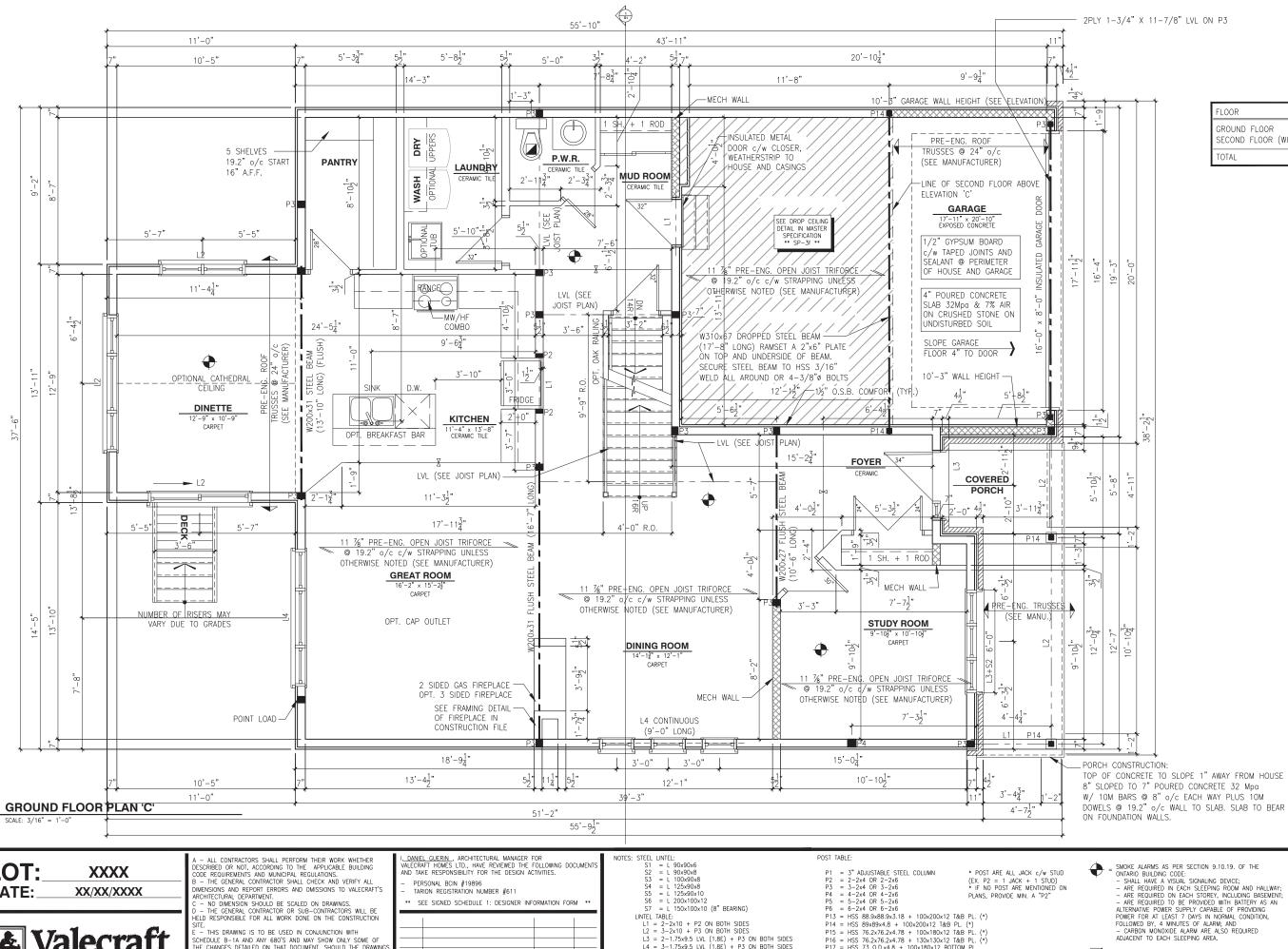
2012 O.B.C. DRAWINGS

BASEMENT PLAN WOB 'C'

SCALE: 3/16" = 1'-0" 11/25/2019

1030 - THE NASH 2018 FOOTPRINT

A6c (STANDARD DRAWINGS)



SQ.FT. GROUND FLOOR 1364 SECOND FLOOR (WITHOUT TOTAL 2671

FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

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- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER;

- COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

- COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

ROOF AND FLOOR LAYOUT NOTES:

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION
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LOT: DATE:

Walecraft Valecraft

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L1 = $2-2\times10$ + P2 ON BOTH SIDES L2 = $3-2\times10$ + P3 ON BOTH SIDES

 $L3 = 2-1.75 \times 9.5$ LVL (1.8E) + P3 ON BOTH SIDES L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P1. L4 = 3 - 1.75x9.5

P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*) P16 = HSS 76.2x6.2x4.78 + 130x130x12 T&B PL. (*)
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= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

2012 O.B.C. DRAWINGS

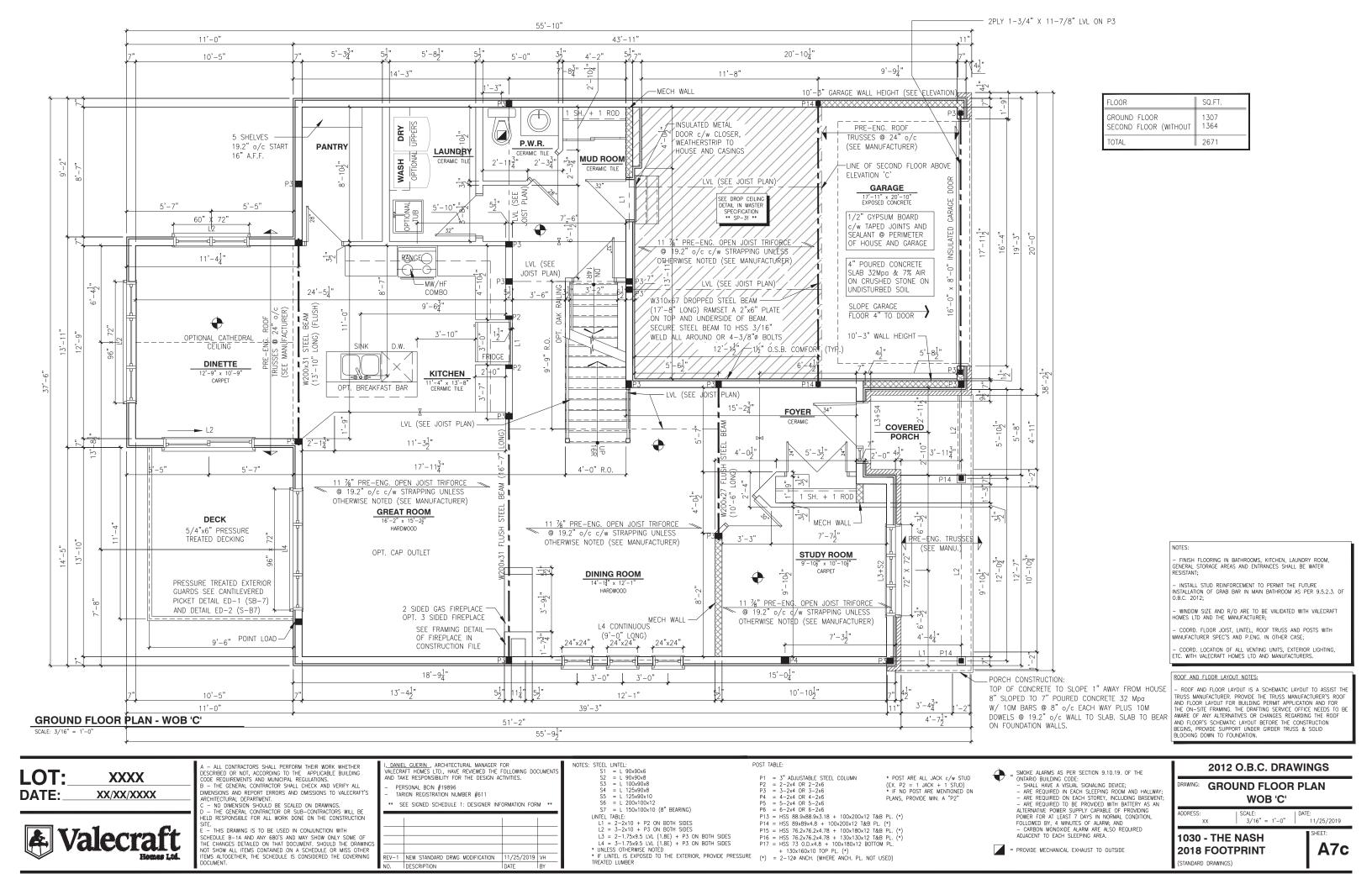
GROUND FLOOR PLAN 'C'

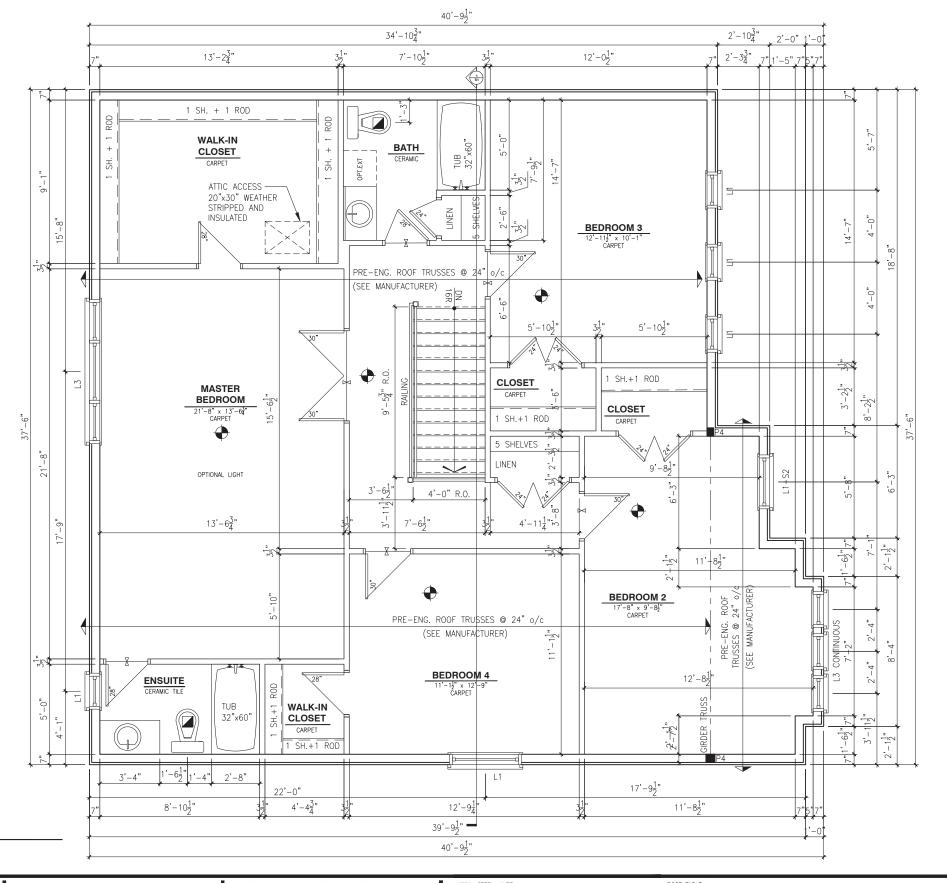
11/25/2019

1030 - THE NASH **2018 FOOTPRINT**

STANDARD DRAWINGS)

A7c





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LOT: XXXX DATE: XX/XX/XXXX

Valecraft Nomes Let.

SECOND FLOOR PLAN 'C'

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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611 REV-1 NEW STANDARD DRWG MODIFICATION 11/25/2019 VH

. 90x90x8 100x90x8

= L 125x90x10 = L 200x100x12 = L 150x100x10 (8" BEARING)

P1 = 3" ADJUSTABLE STEEL COLUMN

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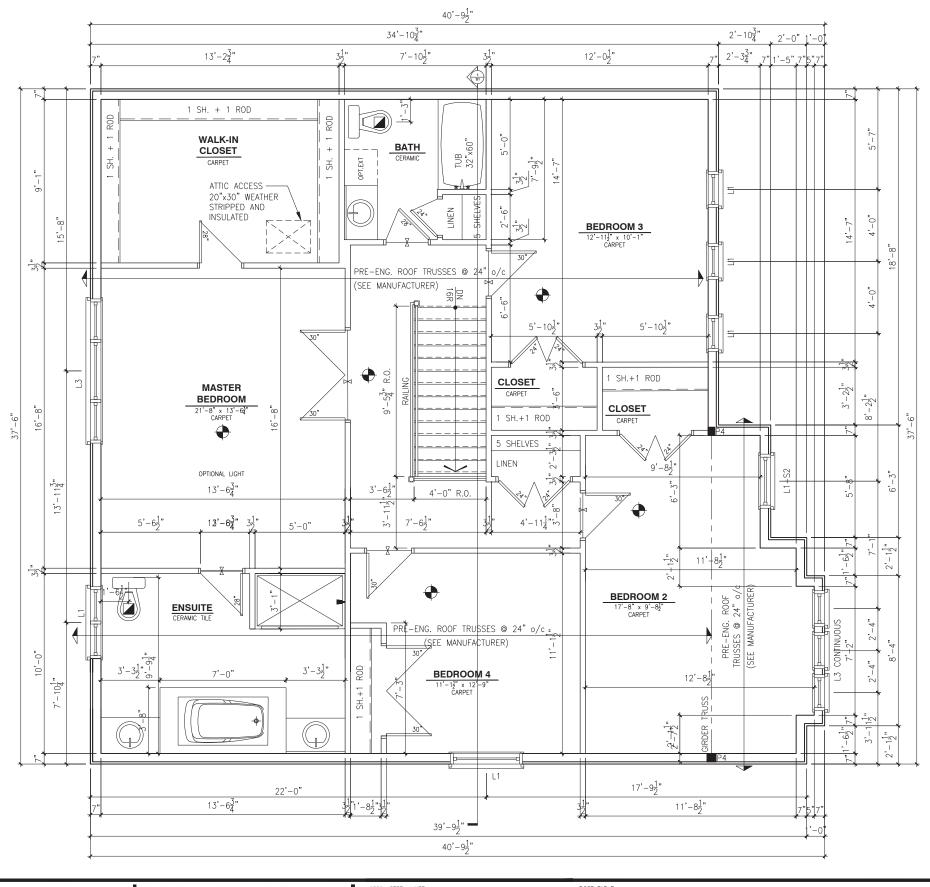
SECOND FLOOR PLAN 'C'

1030 - THE NASH

A8c

11/25/2019

2018 FOOTPRINT STANDARD DRAWINGS)



SECOND FLOOR PLAN 'C'

LOT: XXXX DATE: XX/XX/XXXX

Valecraft Nomes Let.

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PLANS, PROVIDE MIN. A "P2" P6 = 6-2x4 OR 6-2x6P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)

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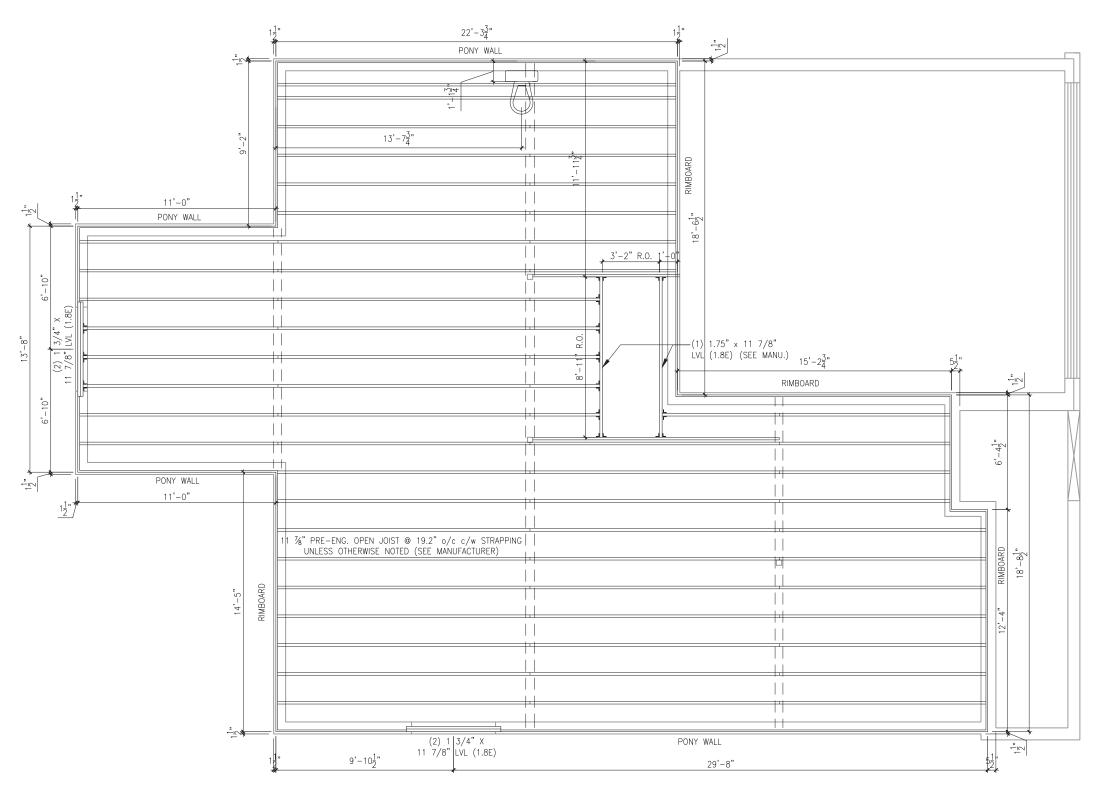
SECOND FLOOR PLAN 'C'

11/25/2019

1030 - THE NASH **2018 FOOTPRINT**

STANDARD DRAWINGS)

A8c



GROUND FLOOR JOIST LAYOUT

LOT: XXXX DATE: XX/XX/XXXX

Valecraft Nomes LAL

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REV-1 NEW STANDARD DRWG MODIFICATION 11/25/2019 VH
NO. DESCRIPTION DATE BY

L 90x90x8 100x90x8

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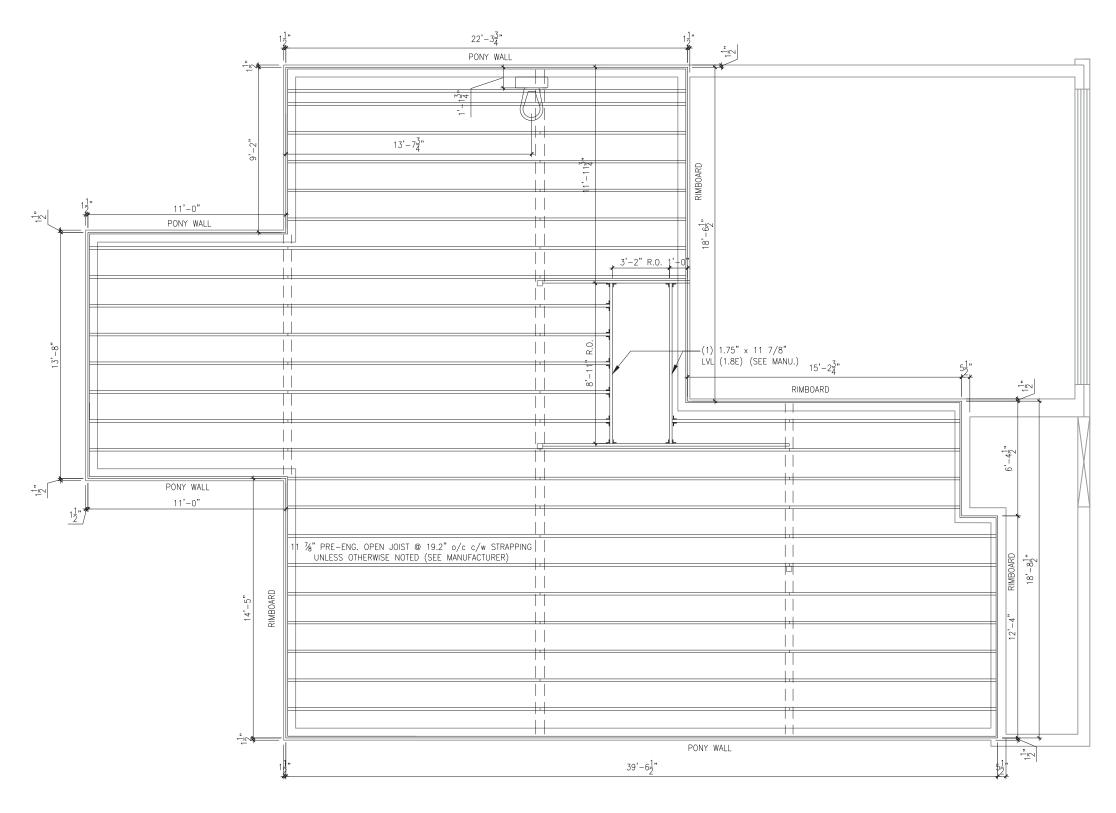
LAYOUT "A,B,C" 11/25/2019

1030 - THE NASH

ROOF AND FLOOR LAYOUT NOTES:

2018 FOOTPRINT STANDARD DRAWINGS)

A9



GROUND FLOOR JOIST LAYOUT - WOB

LOT: XXXX DATE: XX/XX/XXXX

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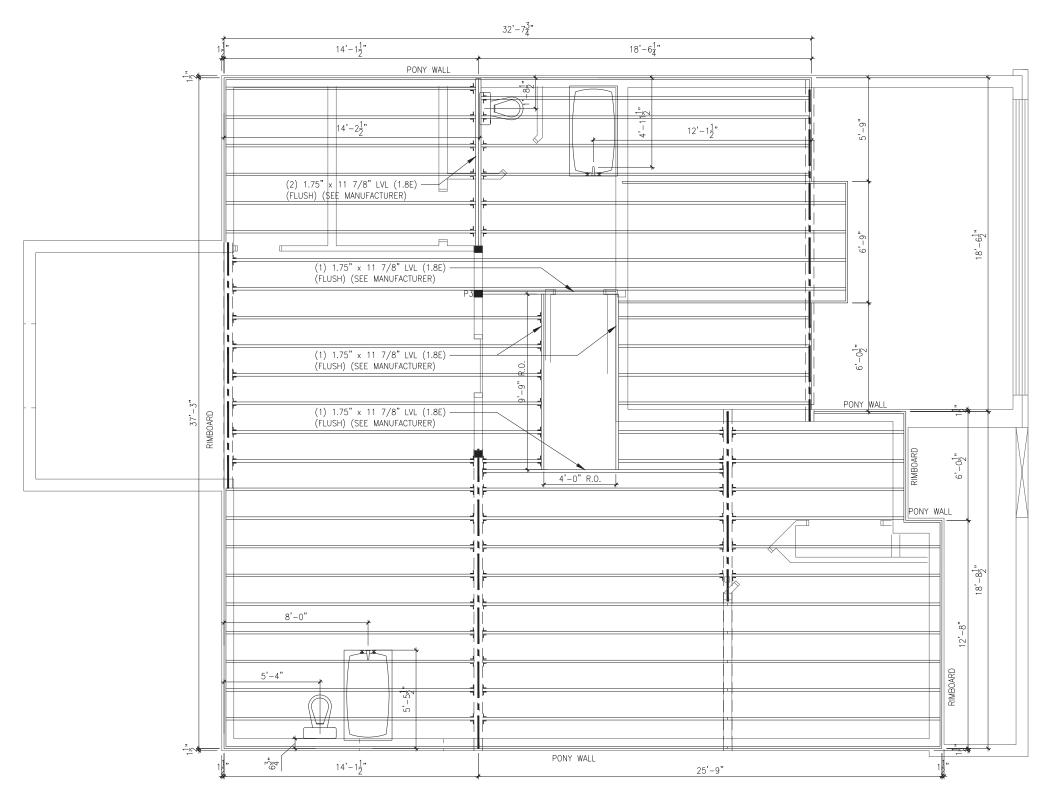
2012 O.B.C. DRAWINGS

PRAWING: GROUND FLOOR JOIST LAYOUT - WOB "A,B,C"

1030 - THE NASH **2018 FOOTPRINT**

A9

STANDARD DRAWINGS)



SECOND FLOOR JOIST LAYOUT

LOT: XXXX DATE: XX/XX/XXXX



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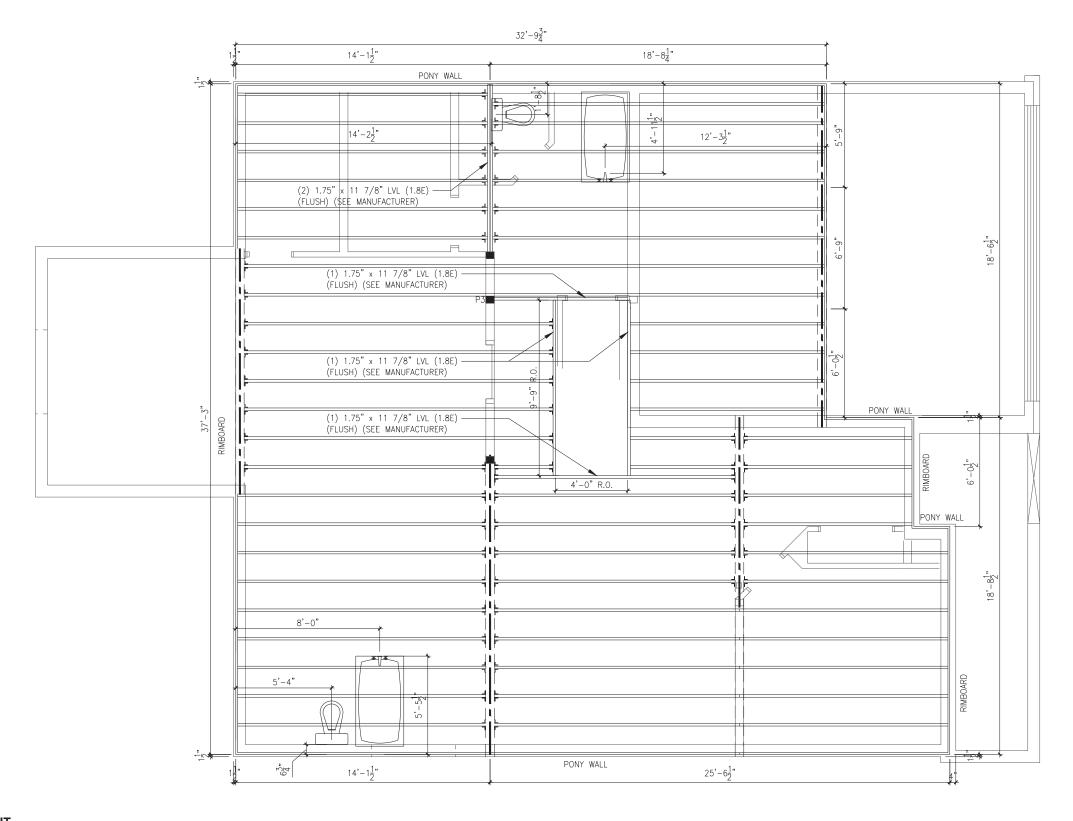
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LAYOUT "A,B,C"

1030 - THE NASH **2018 FOOTPRINT**

STANDARD DRAWINGS)

A10



SECOND FLOOR JOIST LAYOUT

LOT: XXXX DATE: XX/XX/XXXX



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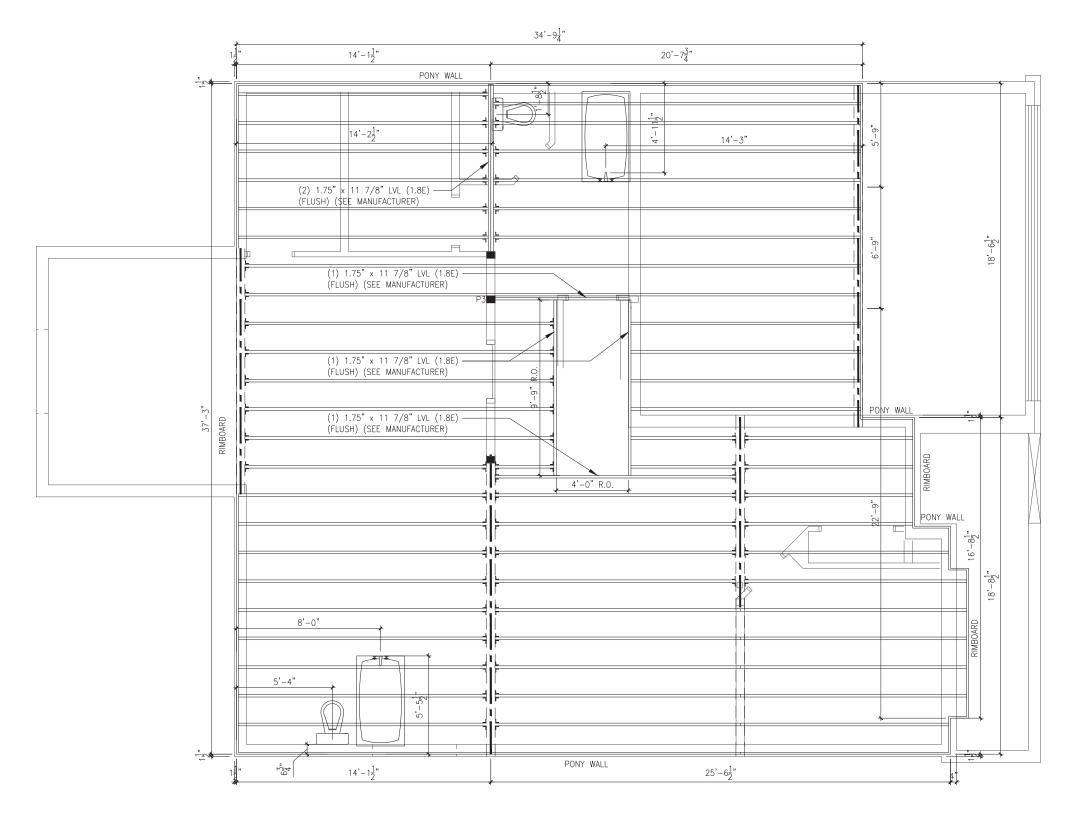
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1030 - THE NASH **2018 FOOTPRINT**

STANDARD DRAWINGS)

A10

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SECOND FLOOR JOIST LAYOUT

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PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

SHALL HAVE A VISUAL SIGNALING DEVICE;

ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

ARE REQUIRED ON EACH STOREY, INCLUDING BASSMENT;

ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, A MINUTES OF ALARM; AND

CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

2012 O.B.C. DRAWINGS

- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

PRAWING: SECOND FLOOR JOIST

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

O.B.C. 2012;

ROOF AND FLOOR LAYOUT NOTES:

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF

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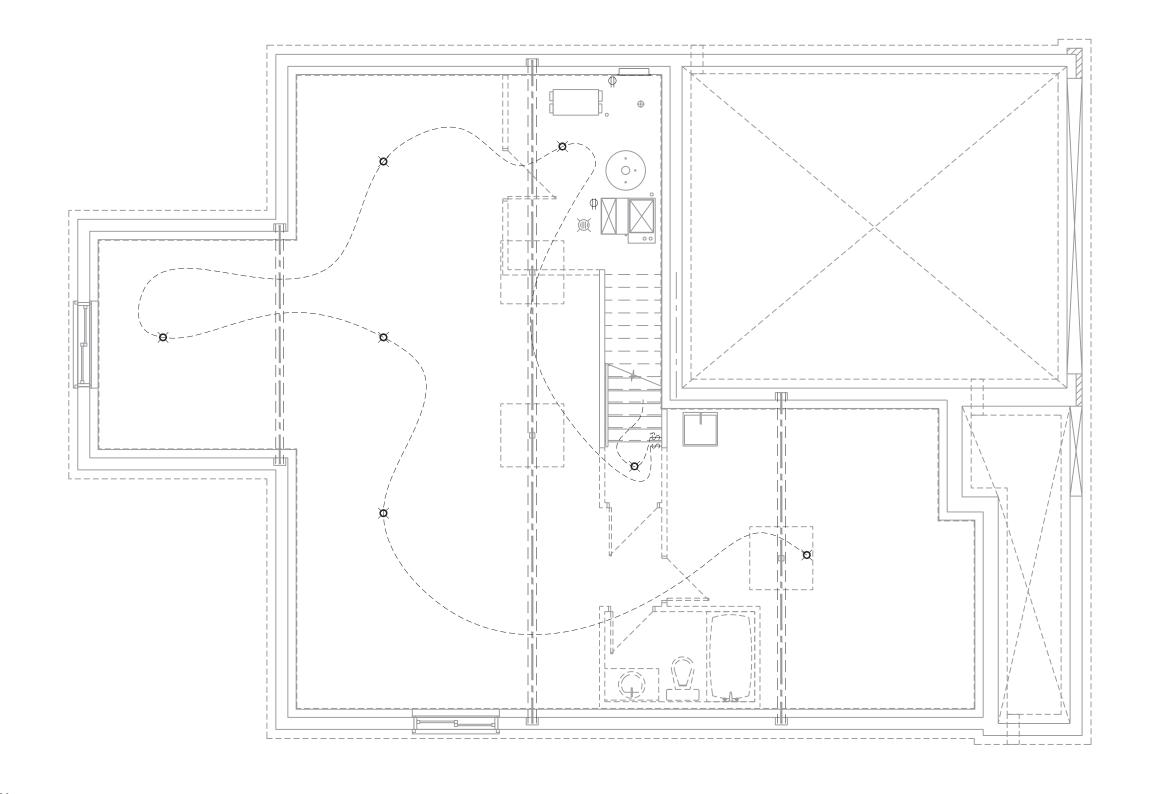
LAYOUT "A,B,C"

1030 - THE NASH **2018 FOOTPRINT**

STANDARD DRAWINGS)

A10

P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
P17 = HSS 73 0.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*) = PROVIDE MECHANICAL EXHAUST TO OUTSIDE



BASEMENT ELECTRICAL

LOT: XXXX DATE: XX/XX/XXXX



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I<u>DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

S	EE SIGNED	SCHEE	ULE 1	DESIGNER	INF	ORMATION	FOR	M **
-1	NEW STAN	IDARD	DRWG	MODIFICATIO	N	11/25/2	019	VH
	DESCRIPTI	OΝ				DATE		DV

L 90x90x8 100x90x8

= L 125x90x0 = L 125x90x10 = L 200x100x12 = L 150x100x10 (8" BEARING)

S7 = L 150x100x10 (8" BEARING) P6 = 6-2x4 OR 6-2x6
L1 = 2-2x10 + P2 ON BOTH SIDES P13 = HSS 88.9x88.9x3.18 + 100x200x12 T&B PL. (*)
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TREATED LUMBER

P1 = 3" ADJUSTABLE STEEL COLUMN P1 = 3" ADJUSTABLE STE P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6

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BASEMENT FLOOR ELECTRICAL

11/25/2019

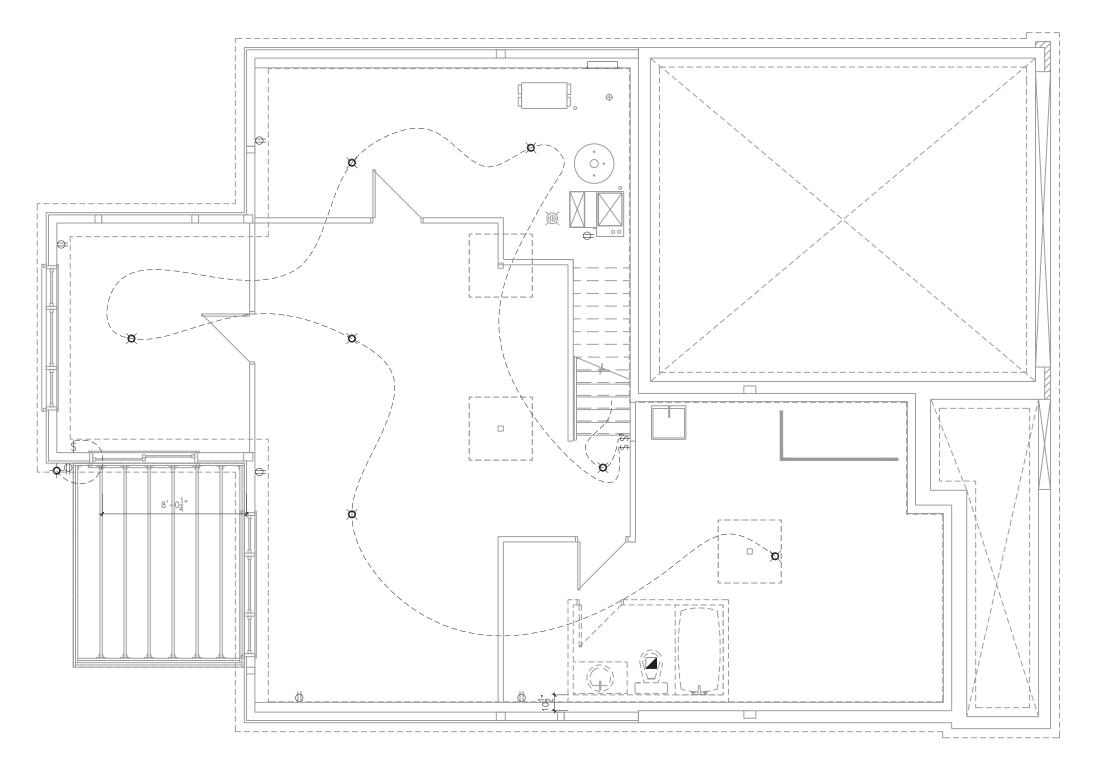
1030 - THE NASH **2018 FOOTPRINT**

STANDARD DRAWINGS)

ROOF AND FLOOR LAYOUT NOTES:

E00

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THIS DRAWING IS TO BE USED IN CONJUNCTION WITH



BASEMENT ELECTRICAL - WOB

LOT: XXXX DATE: XX/XX/XXXX



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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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L 90x90x8 100x90x8

= L 125x90x0 = L 125x90x10 = L 200x100x12 = L 150x100x10 (8" BEARING)

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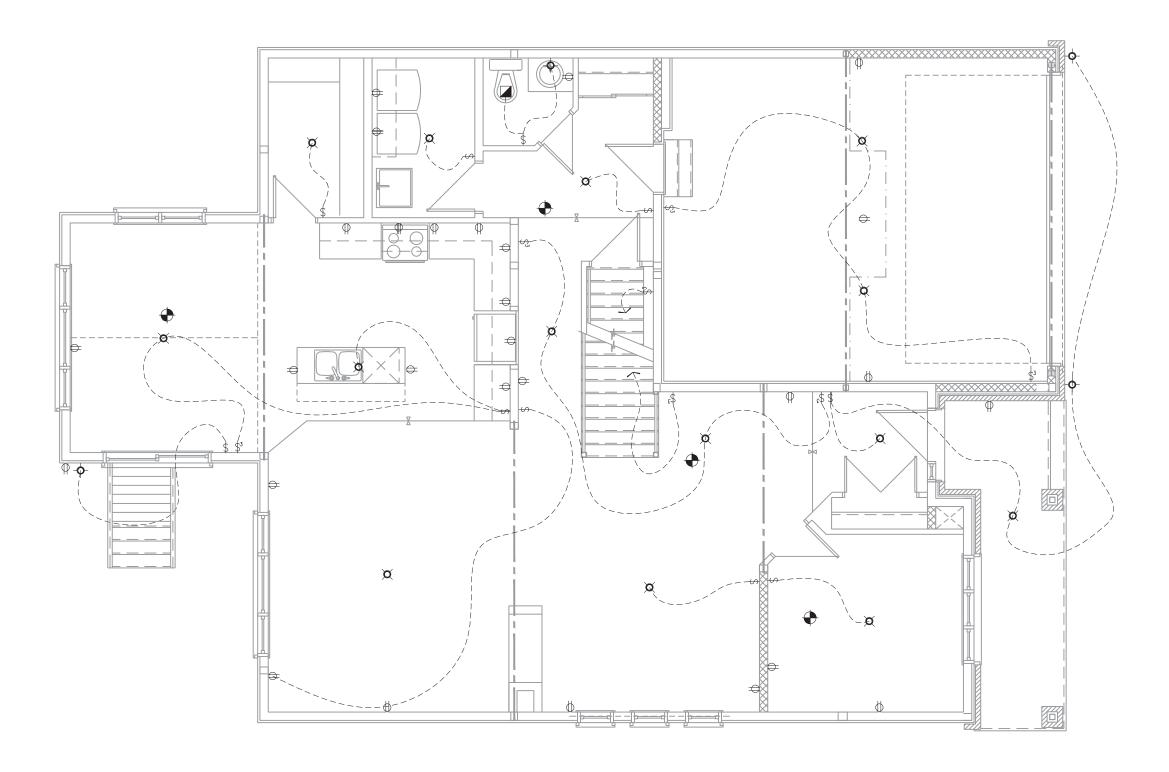
BASEMENT FLOOR ELECTRICAL - WOB

1030 - THE NASH **2018 FOOTPRINT**

STANDARD DRAWINGS)

ROOF AND FLOOR LAYOUT NOTES:

E00



GROUND FLOOR ELECTRICAL

LOT: XXXX DATE: XX/XX/XXXX



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PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

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FIRST FLOOR

1030 - THE NASH

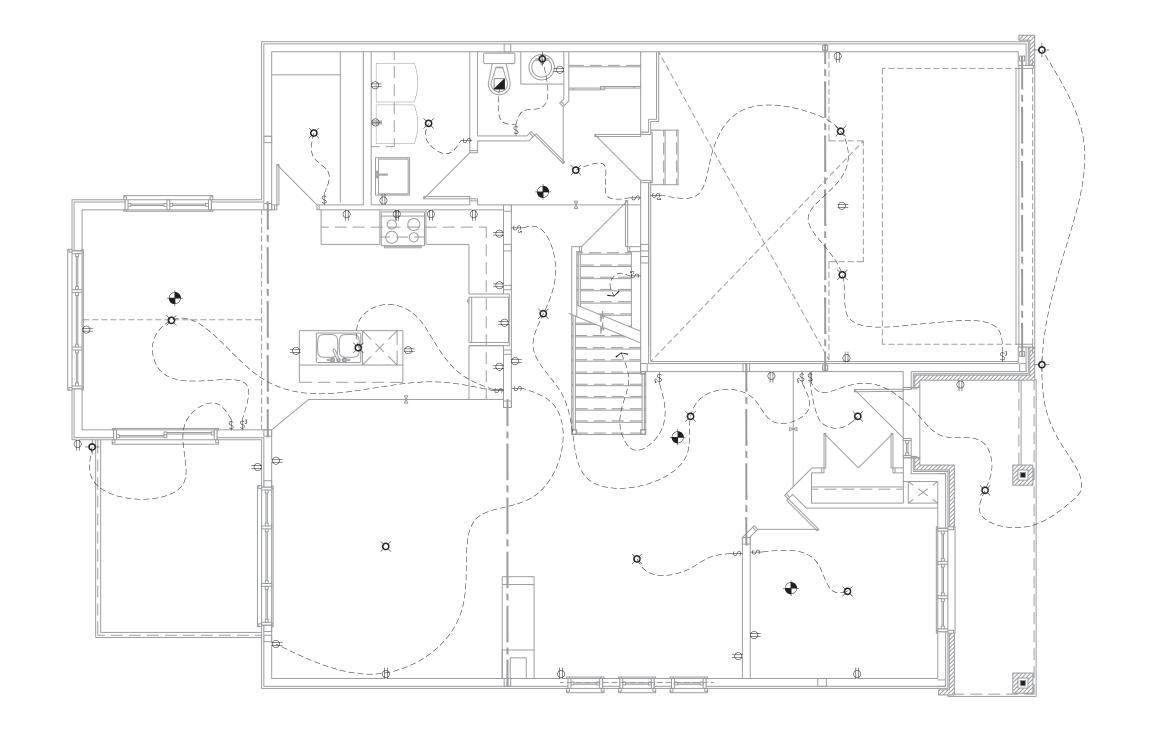
E01

11/25/2019

2018 FOOTPRINT STANDARD DRAWINGS)

= PROVIDE MECHANICAL EXHAUST TO OUTSIDE

ELECTRICAL



GROUND FLOOR ELECTRICAL - WOB

LOT: XXXX DATE: XX/XX/XXXX



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- P1 = 3" ADJUSTABLE STEEL COLUMN
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GROUND FLOOR

ELECTRICAL WOB

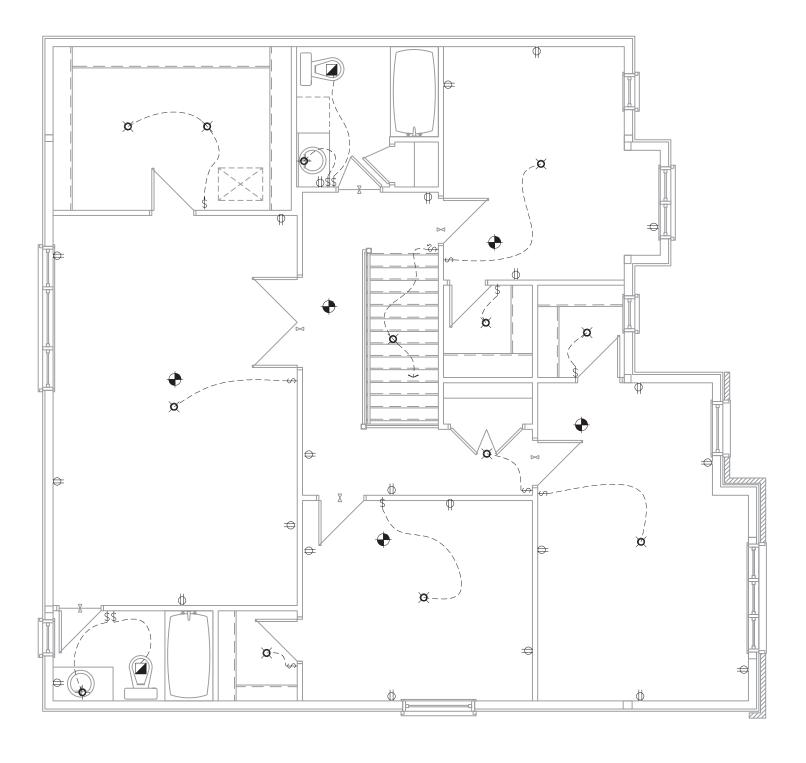
1030 - THE NASH **2018 FOOTPRINT**

E01

STANDARD DRAWINGS)

O.B.C. 2012;

ROOF AND FLOOR LAYOUT NOTES:



SECOND FLOOR ELECTRICAL

LOT: XXXX DATE: XX/XX/XXXX



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REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

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- ROOF AND FLOOR LAYOUT IS A SCHEMATIC LAYOUT TO ASSIST THE TRUSS MANUFACTURER. PROVIDE THE TRUSS MANUFACTURER'S ROOF AND FLOOR LAYOUT FOR BUILDING PERMIT APPLICATION AND FOR THE ON-SITE FRAMING. THE DRAFTING SERVICE OFFICE NEEDS TO BE AWARE OF ANY ALTERNATIVES OR CHANGES REGARDING THE ROOF AND FLOOR'S SCHEMATIC LAYOUT BEFORE THE CONSTRUCTION BEGINS, PROVIDE SUPPORT UNDER GIRDER TRUSS & SOLID BLOCKING DOWN TO FOUNDATION.

- FINISH FLOORING IN BATHROOMS, KITCHEN, LAUNDRY ROOM, GENERAL STORAGE AREAS AND ENTRANCES SHALL BE WATER RESISTANT;

O.B.C. 2012;

ROOF AND FLOOR LAYOUT NOTES:

- INSTALL STUD REINFORCEMENT TO PERMIT THE FUTURE INSTALLATION OF GRAB BAR IN MAIN BATHROOM AS PER 9.5.2.3. OF

- WINDOW SIZE AND R/O ARE TO BE VALIDATED WITH VALECRAFT HOMES LTD AND THE MANUFACTURER; - COORD. FLOOR JOIST, LINTEL, ROOF TRUSS AND POSTS WITH MANUFACTURER SPEC'S AND P.ENG. IN OTHER CASE;

COORD. LOCATION OF ALL VENTING UNITS, EXTERIOR LIGHTING, ETC. WITH VALECRAFT HOMES LTD AND MANUFACTURERS.

SECOND FLOOR

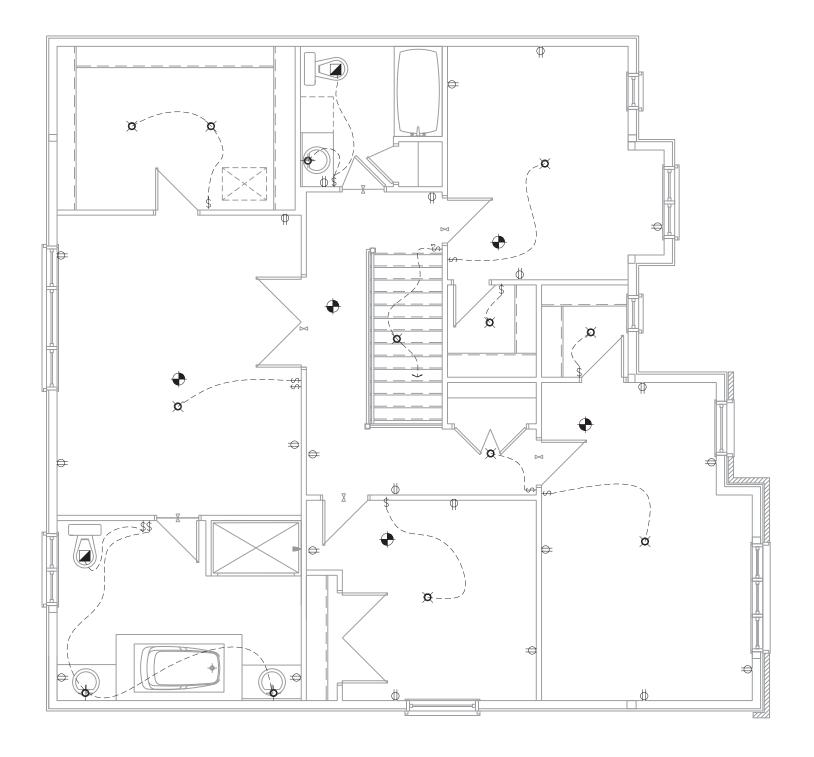
ELECTRICAL

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(STANDARD DRAWINGS)

E02

11/25/2019



SECOND FLOOR ELECTRICAL

LOT: XXXX DATE: XX/XX/XXXX



A – ALL CONTRACTORS SHALL PERFORM THEIR WORK WHETHER DESCRIBED OR NOT, ACCORDING TO THE APPLICABLE BUILDING CODE REQUIREMINTS AND MUNICIPAL REGULATIONS. B – THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL

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DIMENSIONS AND REPORT ERRORS AND OMISSIONS TO VALECRAFT'S

ARCHITECTURAL DEPARTMENT.

C - NO DIMENSION SHOULD BE SCALED ON DRAWINGTOR

D - THE GENERAL CONTRACTOR OR SUB-CONTRACTORS WILL BE

HELD RESPONSIBLE FOR ALL WORK DONE ON THE CONSTRUCTION

SITE.

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH E - I HIS DRAWING IS TO BE USED IN CONJUNCTION WITH SCHEDULE B-ITA AND ANY 680'S AND MAY SHOW ONLY SOME OF THE CHANGES DETAILED ON THAT DOCUMENT. SHOULD THE DRAWINGS NOT SHOW ALL ITEMS CONTAINED ON A SCHEDULE OR MISS OTHER ITEMS ALTOGETHER, THE SCHEDULE IS CONSIDERED THE GOVERNING DOCUMENT. I<u>, DANIEL GUERIN</u>, ARCHITECTURAL MANAGER FOR VALECRAFT HOMES LTD., HAVE REVIEWED THE FOLLOWING DOCUMENTS AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES.

PERSONAL BCIN #19896 TARION REGISTRATION NUMBER #611

** S	EE SIGNED SCHEDULE 1: DESIGNER IN	FORMATION FOR	м **
REV-1	NEW STANDARD DRWG MODIFICATION	11/25/2019	VH
NO.	DESCRIPTION	DATE	BY

L 90x90x8 100x90x8

= L 120x90x0 = L 125x90x10 = L 200x100x12 = L 150x100x10 (8" BEARING)

S7 = L 150x100x10 (8" BEARING) P6 = 6-2x4 OR 6-2x6
LITEL TABLE: P13 = HSS 88.9x89.x3.18 + 100x200x12 T&B PL. (*)
L1 = 2-2x10 + P2 ON BOTH SIDES P14 = HSS 89x89x4.8 + 100x200x12 T&B PL. (*)
L2 = 3-2x10 + P3 ON BOTH SIDES P15 = HSS 76.2x76.2x4.78 + 100x180x12 T&B PL. (*)
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P16 = HSS 76.2x76.2x4.78 + 130x130x12 T&B PL. (*)
L4 = 3-1.75x9.5 LVL (1.8E) + P3 ON BOTH SIDES P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
UNLESS OTHERWISE NOTED P17 = HSS 73 O.D.x4.8 + 100x180x12 BOTTOM PL.
+ 130x160x10 TOP PL. (*)

** UNLESS OTHERWISE NOTED P18 EXTERIOR, PROVIDE PRESSURE
TREATED LUMBER

P1 = 3" ADJUSTABLE STEEL COLUMN

P1 = 3" ADJUSTABLE STE P2 = 2-2x4 OR 2-2x6 P3 = 3-2x4 OR 3-2x6 P4 = 4-2x4 OR 4-2x6 P5 = 5-2x4 OR 5-2x6 P6 = 6-2x4 OR 6-2x6

* POST ARE ALL JACK c/w STUD (EX. P2 = 1 JACK + 1 STUD) * IF NO POST ARE MENTIONED ON PLANS, PROVIDE MIN. A "P2"

SMOKE ALARMS AS PER SECTION 9.10.19. OF THE ONTARIO BUILDING CODE:

SHALL HAVE A VISUAL SIGNALING DEVICE;

ARE REQUIRED IN EACH SLEEPING ROOM AND HALLWAY;

ARE REQUIRED ON EACH STOREY, INCLUDING BASSMENT;

ARE REQUIRED TO BE PROVIDED WITH BATTERY AS AN ALTERNATIVE POWER SUPPLY CAPABLE OF PROVIDING POWER FOR AT LEAST 7 DAYS IN NORMAL CONDITION, FOLLOWED BY, A MINUTES OF ALARM; AND

CARBON MONOXIDE ALARM ARE ALSO REQUIRED ADJACENT TO EACH SLEEPING AREA.

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