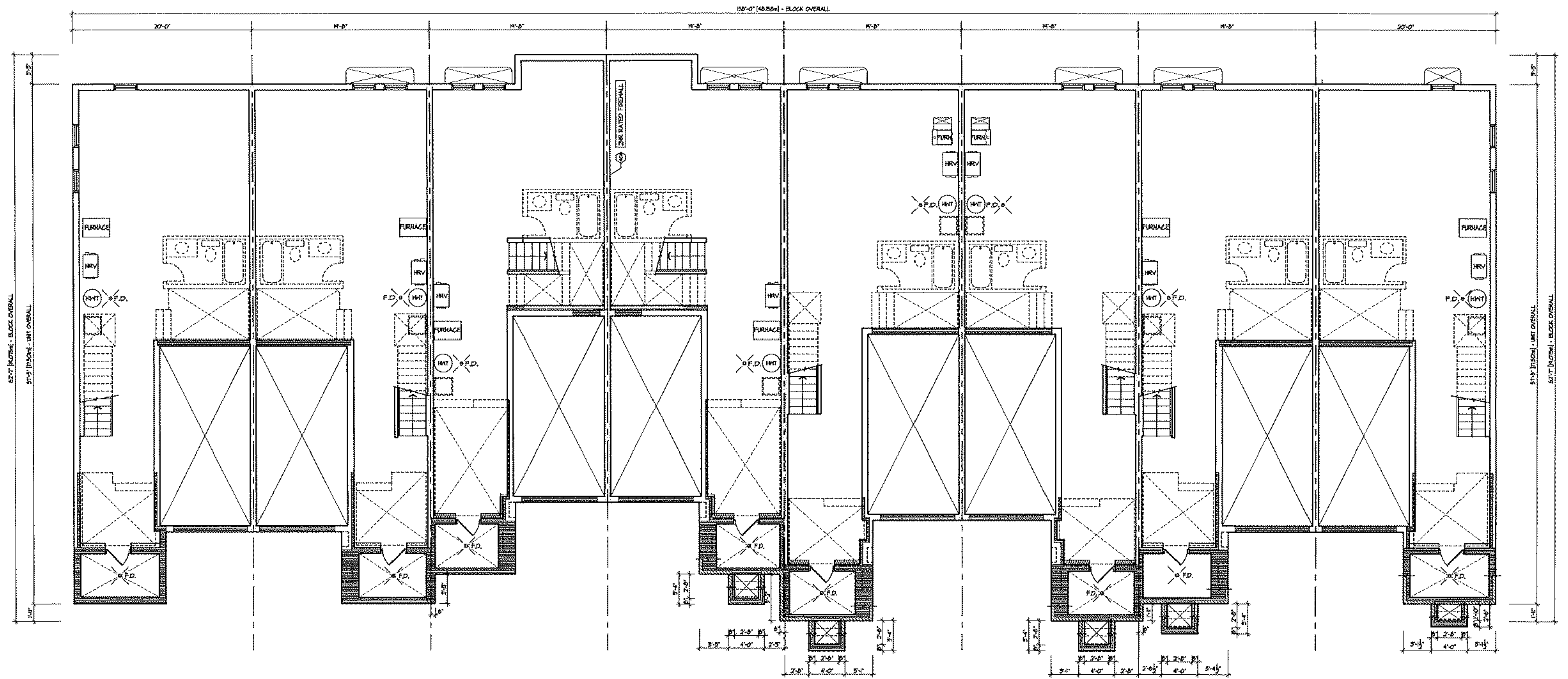




119 2018-END
19 EL. 'A'

120 2017
19 EL. 'A' (REV)

121 2015
19 EL. 'A'

122 2015
19 EL. 'A' (REV)

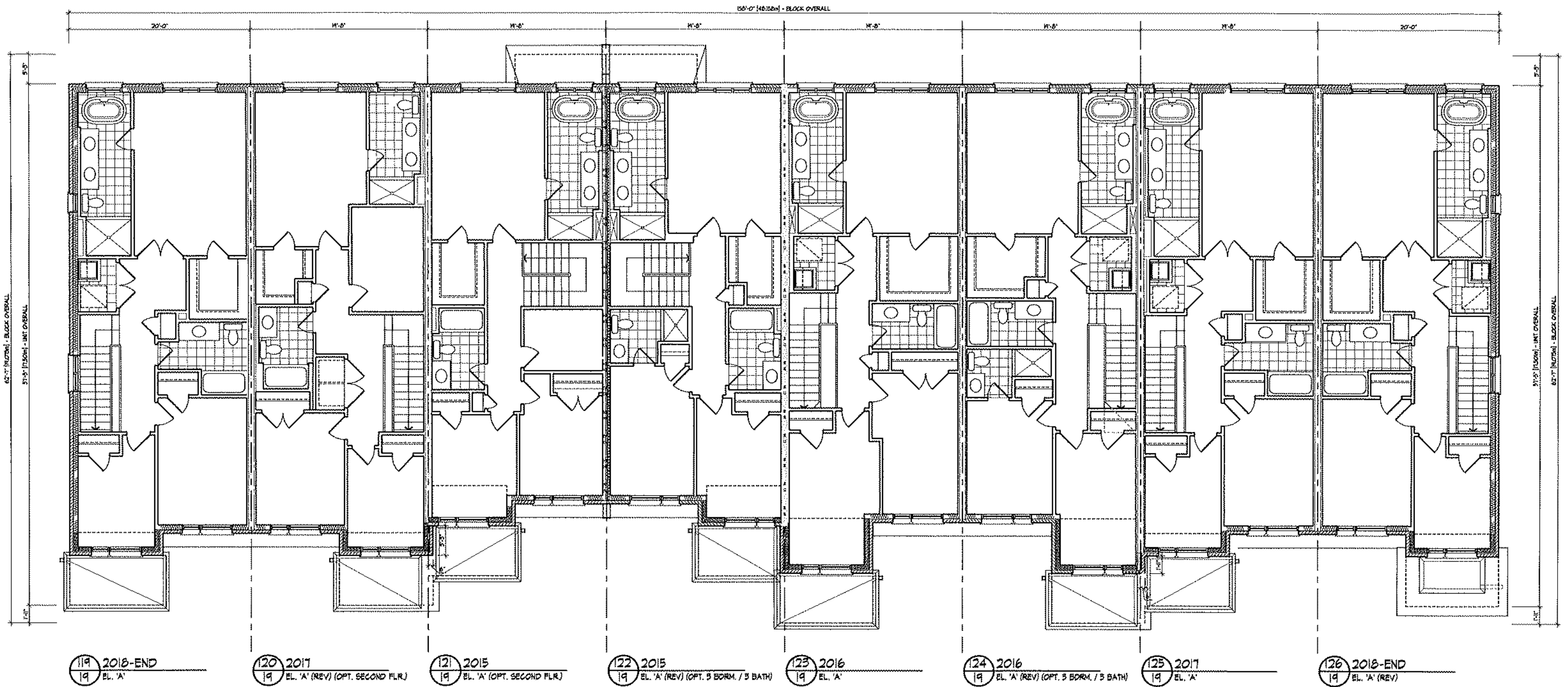
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19 EL. 'A'

124 2016
19 EL. 'A' (REV)

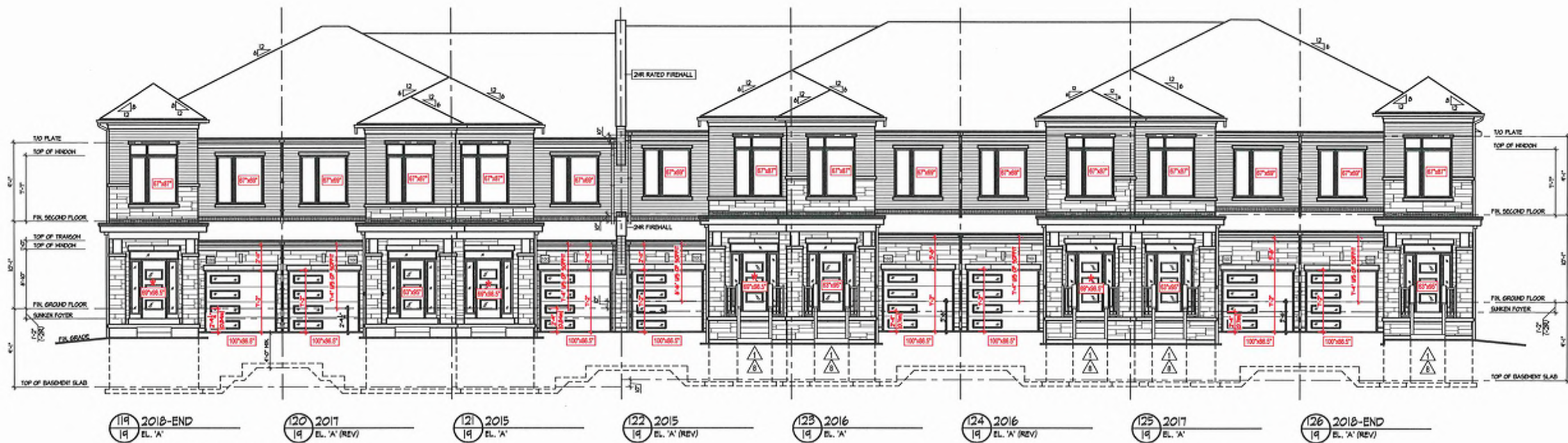
125 2017
19 EL. 'A'

126 2018-END
19 EL. 'A' (REV)

BASEMENT PLAN



SECOND FLOOR PLAN



FRONT ELEVATION



119 2018-END
19 EL. 'A'

120 2017
19 EL. 'A' (REV)

121 2015
19 EL. 'A'

122 2015
19 EL. 'A' (REV)

123
19

FRONT ELEVATION

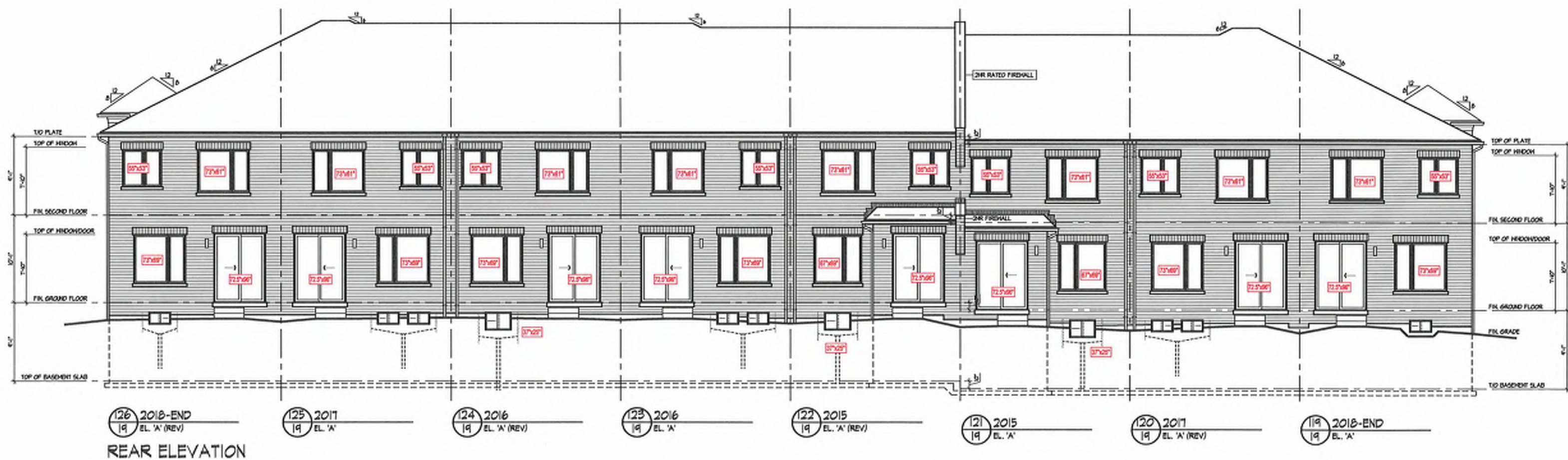


123 2016
19 EL. 'A'

124 2016
19 EL. 'A' (REV)

125 2017
19 EL. 'A'

126 2018-END
19 EL. 'A' (REV)





126 2018-END
19 EL. 'A' (REV)

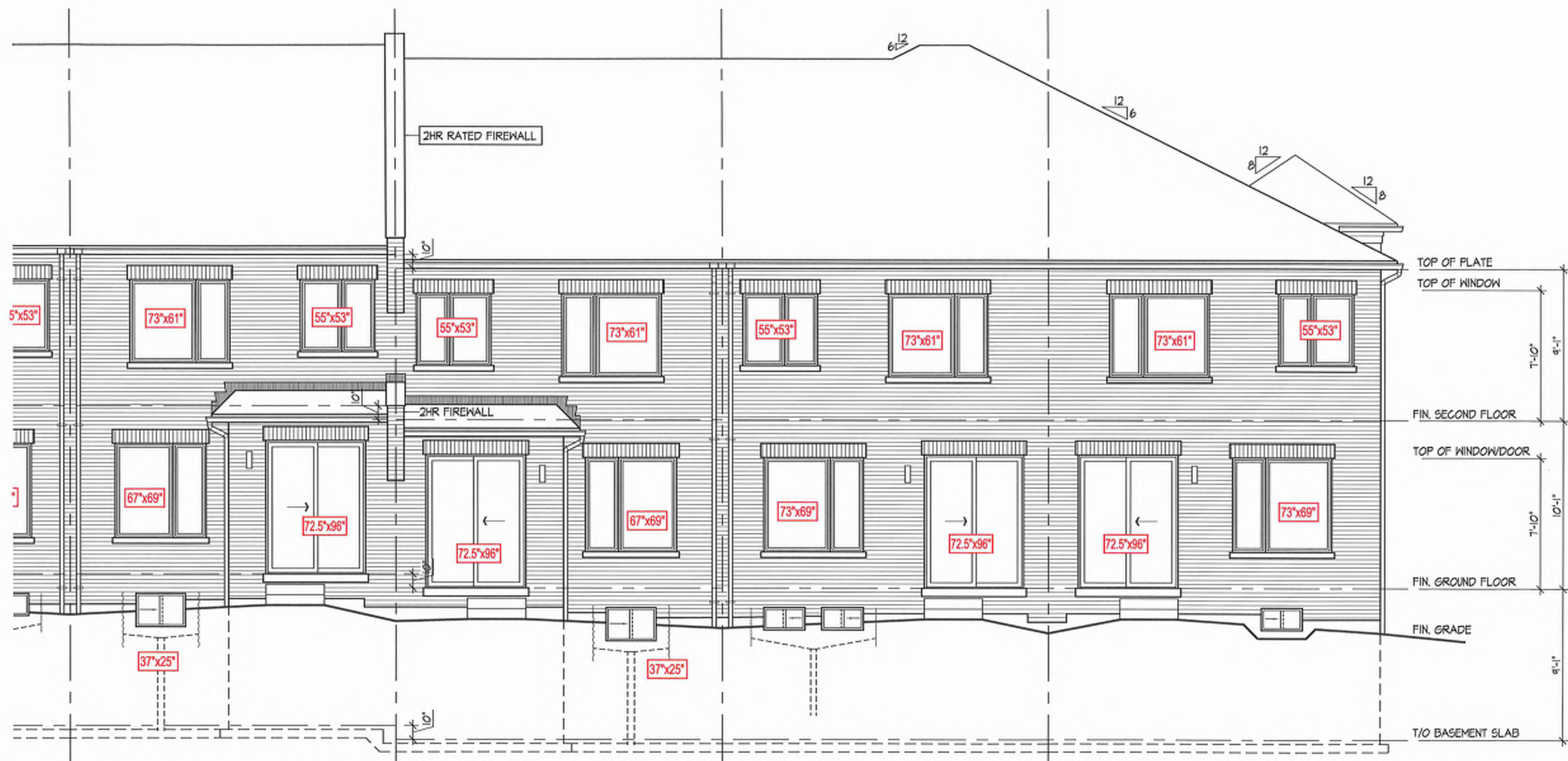
125 2017
19 EL. 'A'

124 2016
19 EL. 'A' (REV)

123 2016
19 EL. 'A'

122
19

REAR ELEVATION



122 2015
19 EL. 'A' (REV)

121 2015
19 EL. 'A'

120 2017
19 EL. 'A' (REV)

119 2018-END
19 EL. 'A'



119 2018-END
19 EL. 'A'

LEFT SIDE ELEVATION



126 2018-END
19 EL. 'A' (REV)

RIGHT SIDE ELEVATION

**6/12 PITCHES (TYP.)
UNLESS NOTED**

DENOTE:

FR- FLAT ROOF

H-27" HIGHER PLATE

H1- 20" HIGHER PLATE

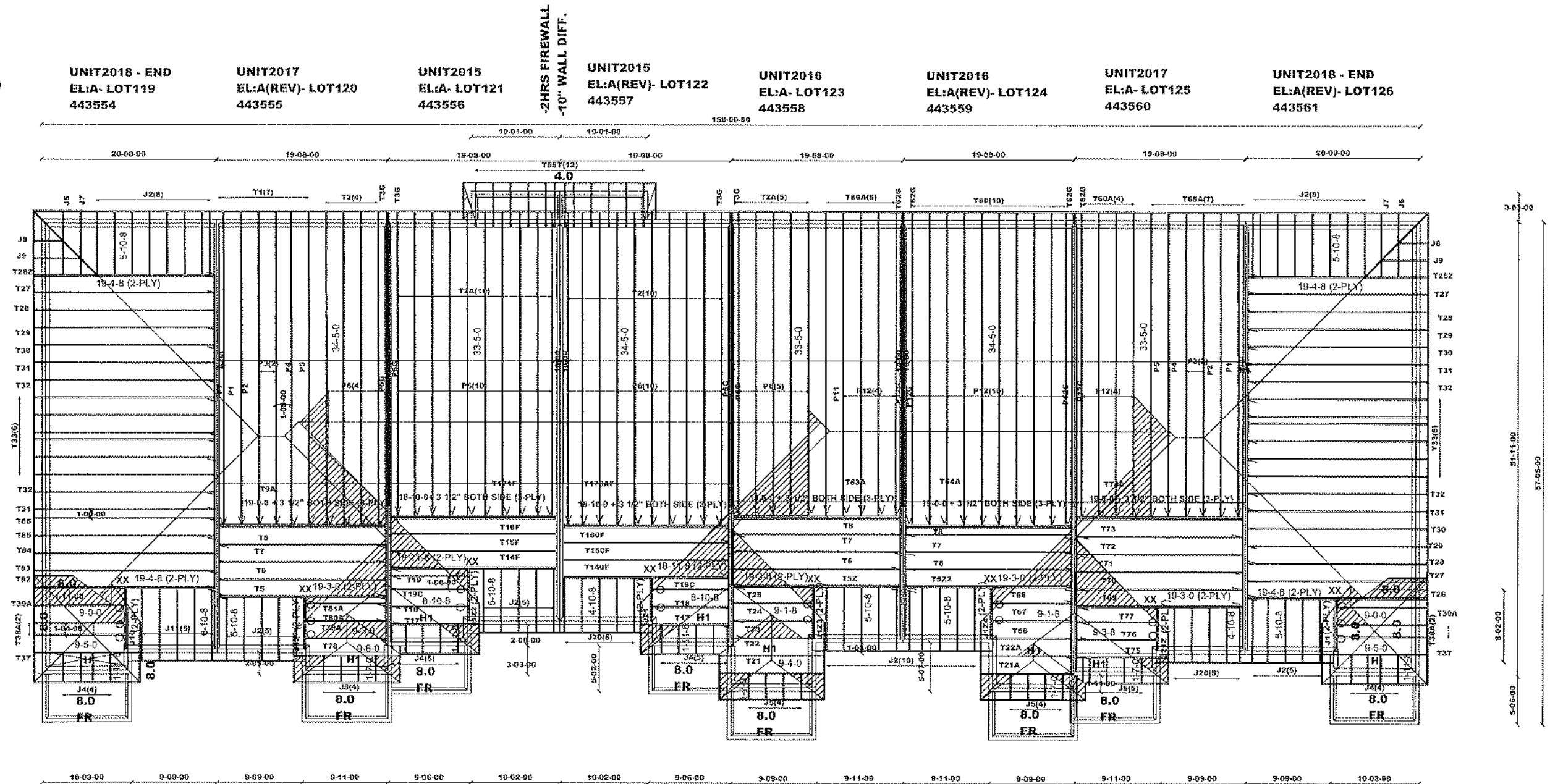
HF-22" HIGHER
FASCIA ONLY

All conventional framing to conform with Part 9 of O.B.C. 2024. Roof rafters that cross over or meet trusses to be min. 2x4 SPF #2 @ 24" o/c with a vertical post to the truss at each cross point. Vertical posts longer than 6' to have lateral bracing so that the distance between the post end points and lateral bracing does not exceed 6'.

DESIGN CONFORMS WITH OBC 2024
OCCUPANCY: RESIDENTIAL | PART-9
Ss = 31.3 psf | Sr = 8.4 psf

DESIGN LOADS:
 $TCSL = 25.6 \text{ psf}$
 $TCDL = 6.0 \text{ psf}$
 $BCLL = 6.0 \text{ psf}$
 $BCDL = 7.4 \text{ psf}$

DENOTES
CONVENTIONAL
FRAMING



Job Track: **53945**
Plan Log: **209121**
Layout ID: **443553**

Builder / Location: **ROYAL PINE HOMES / RICHMOND HILL**

Project: **EARL GLEN**

Date: 6/12/2025 Sales: Rick DiCiano

Designer:SV

Model / Elevation: **BLOCK19-UNITS119-126**

THESE DRAWINGS CONSTITUTE THE PROPERTY OF TAMARACK ROOF TRUSSES INC., SHALL NOT BE REPRODUCED, PUBLISHED, OR REDISTRIBUTED IN ANY MANNER OR UTILIZED FOR ANY PURPOSE OTHER THAN THE MANUFACTURE OF TRUSSES BY TAMARACK ROOF TRUSSES INC AND WILL BE RETRACTED BY TAMARACK ROOF TRUSSES INC IF UTILIZED FOR ANY OTHER PURPOSE.

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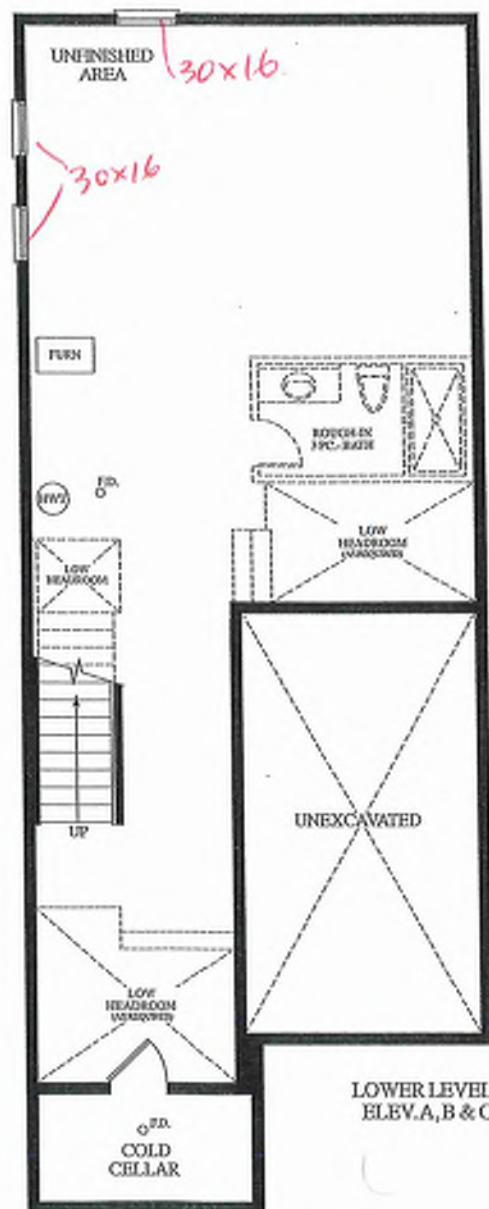


BAYVIEW HEIGHTS

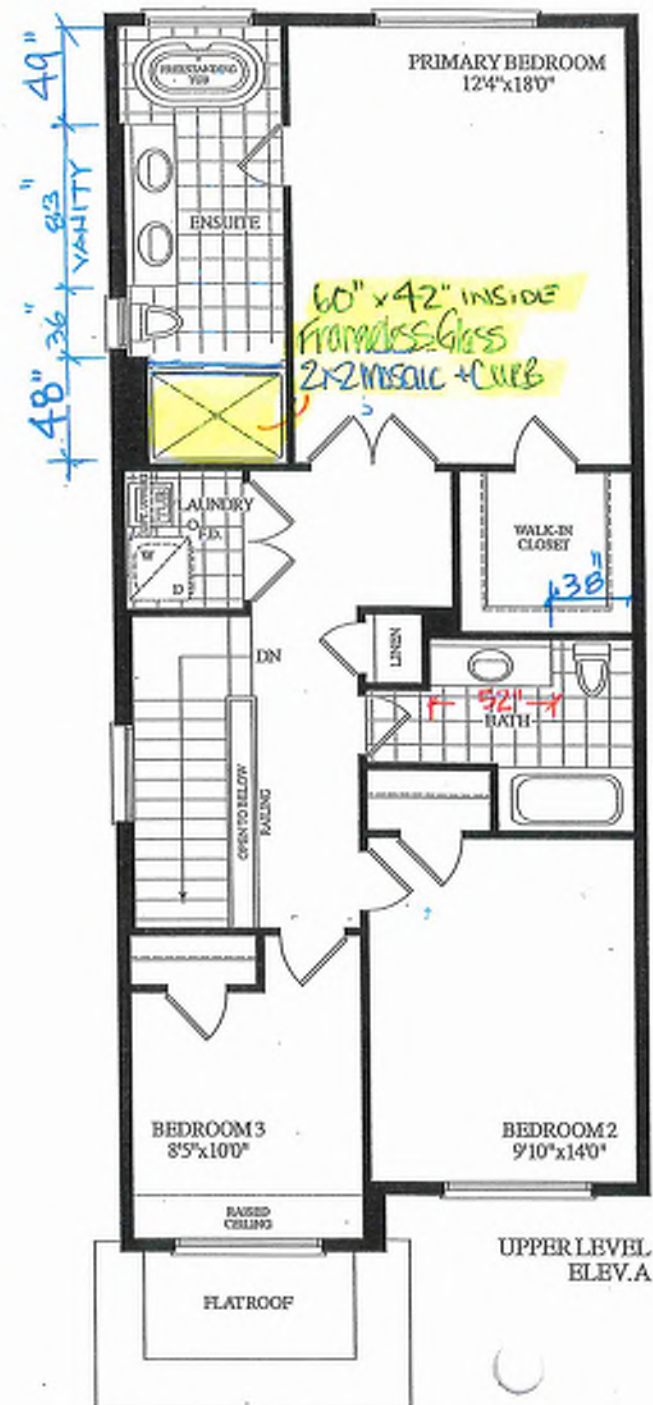
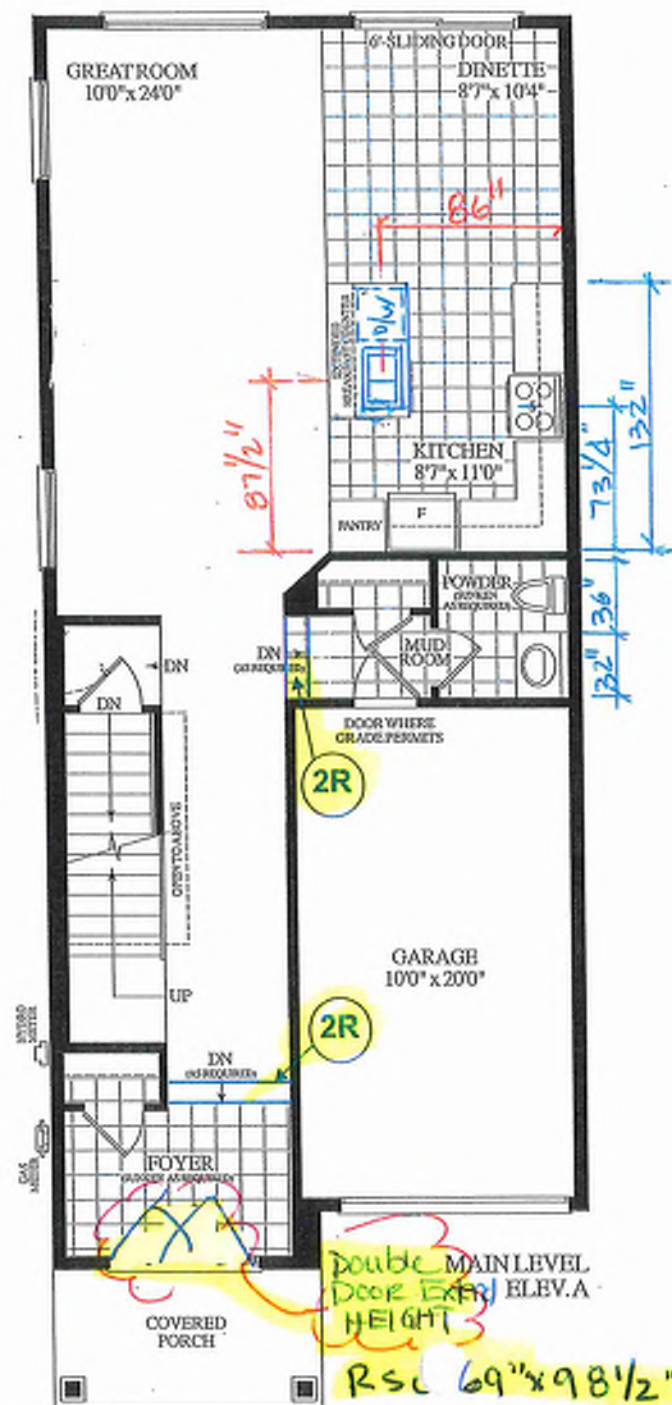
RICHMOND HILL



ELEVATION A



LOWER LEVEL
ELEV. A, B & C

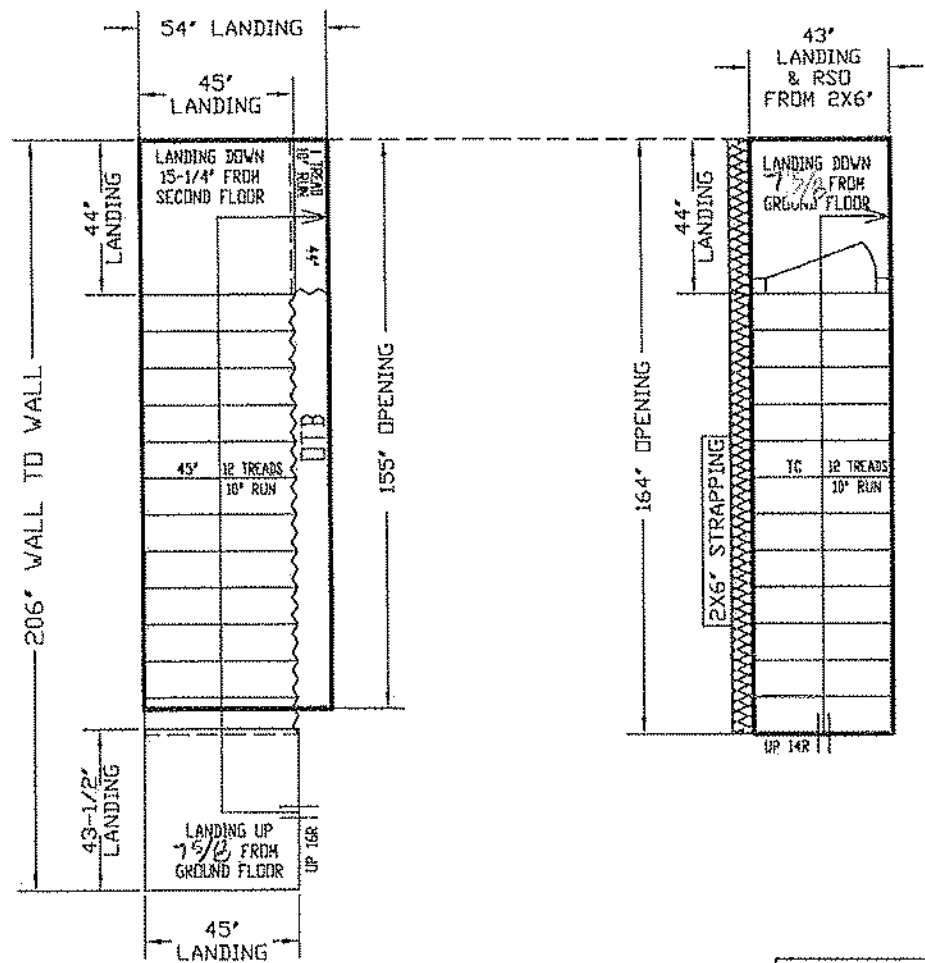


Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E.&O.E.

BLK. 19 TH. 119 20-18 THE KATHERINE (END) EL. A 3 BDRM 2 BATH 1815 SQ.FT.

GROUND TO SECOND
122' HT 11-7/8" JOIST

BASEMENT TO GROUND
BSMT 11-7/8" JOIST



REVISED
JUNE 4, 2025

ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL.
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

STAIRS LINE UP BY
THE EXTERIOR WALL

NO WALLS UNTIL
STAIRS INSTALLED

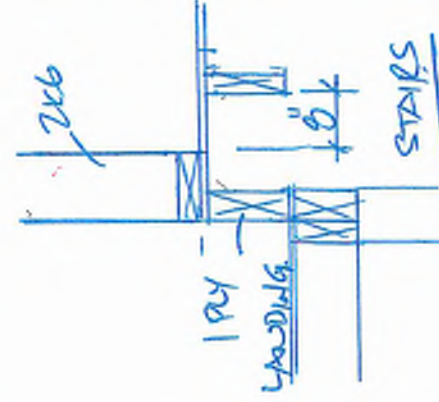
GARAGE RIGHT >

 Alpha Stairs and Railings Inc. Equality To Step Up To	ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OWNERS UNLESS SPECIFIED ABOVE			SITE BAYVIEW HEIGHTS		NAME	DATE
	ANY STRAPPING ALLOWANCES TO BE COMPENSATED BY CARPENTERS			LOT #		DRAWN BY	PARAMJEET
	ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPECS AS SUPPLIED TO ALPHA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN ON LAYOUTS ARE RESPECTED TO INSTALL OUR STAIRS. ANY PROBLEMS WITH LEADERSHIP OR STRAPPING ALLOWANCES, ALPHA STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY CARPENTERS OR SITE SUPERS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.			Model		CLIENT	ROYAL PINE HOMES
	ALPHA STAIRS AND RAILINGS INC. 3770 HANSHUA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1H6 TEL: (905) 694-9556 www.alpastairs.com			UNIT 2018 END		LAYOUT #	
						SCALE: 1/32	

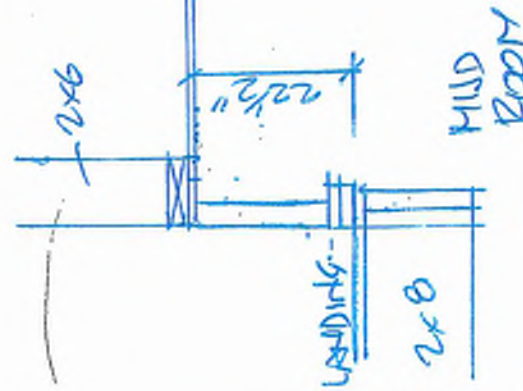
BK 19- 119



**PART. BASEMENT
PLAN FOR NOT
SUNKEN MUDROOM
COND.**



**LANDING
4'3" x 4'3" x 10'2"**



**Preliminary
NOT FINAL April 22 2025**

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	APPROX. LOCATION OF FURNACE AND HOT WATER TANK
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET FORTH IN THE ORDINANCE AND MEETS THE REQUIREMENTS SET FORTH IN THE ORDINANCE AND MEETS THE REQUIREMENTS SET FORTH IN THE ORDINANCE

NAME: HUNT ASSOCIATES INC.
ADDRESS: 5955 Woodbine Ave, Markham, ON L3R 0J7
PHONE: 905.737.5133
FAX: 905.737.7326



DESIGN ASSOCIATES INC.
www.huntassociatesinc.com

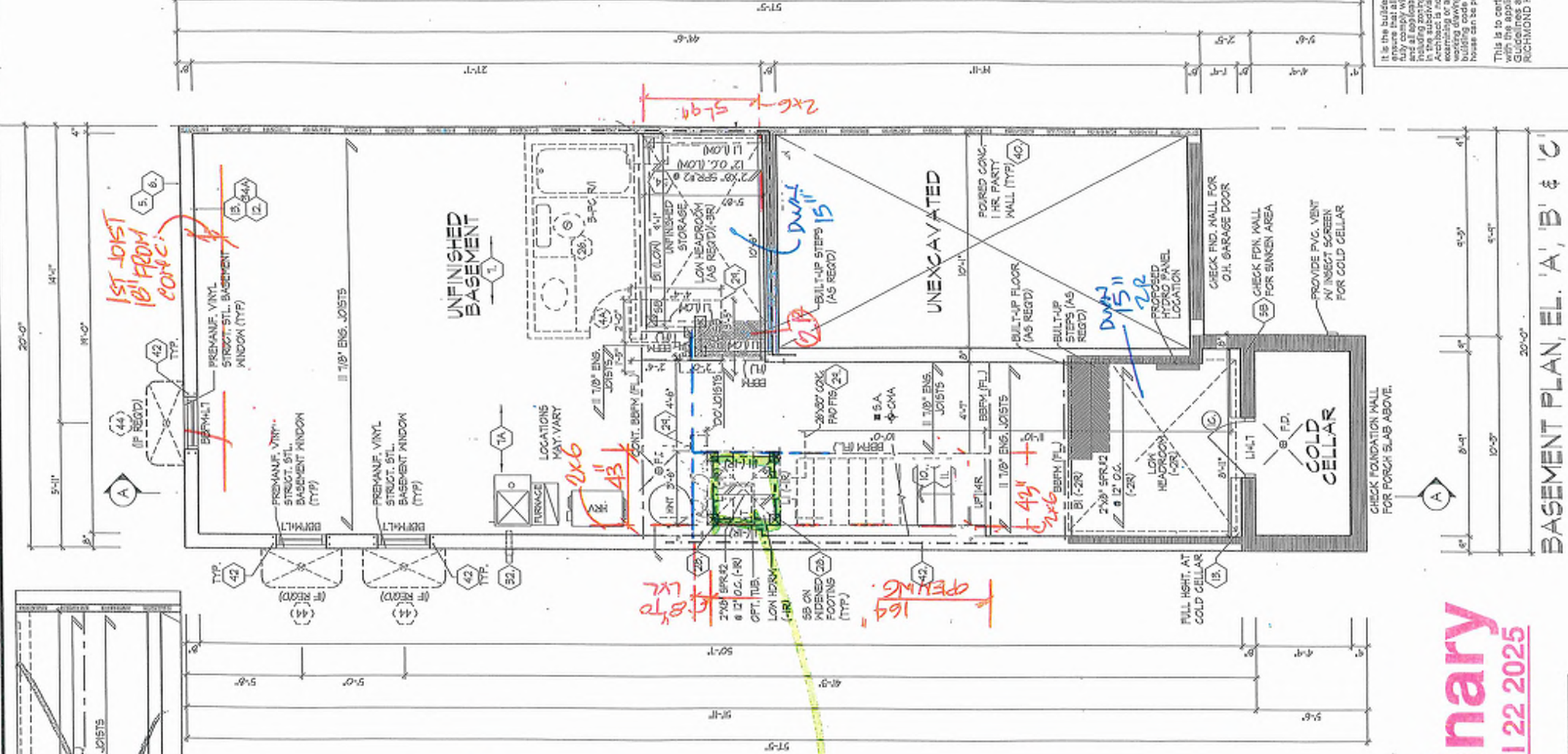
BLK 19-119

**ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.**

BASEMENT PLAN, EL. 'A', 'B' & 'C'
**UNIT 2018-END
REV. 2025.03.27**

Scale: 3/16" = 1'-0"
Drawn By: MMDS
Checked By: KMTT
Date: 218094/WT2018-END
Page Number: 2 of 31

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible for any errors or omissions or for any consequences arising from the use of these plans. The Contractor is responsible for obtaining all necessary permits and for ensuring that the building is constructed in accordance with the approved plans and the applicable Building Code. This is to certify that these plans comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible for any errors or omissions or for any consequences arising from the use of these plans. The Contractor is responsible for obtaining all necessary permits and for ensuring that the building is constructed in accordance with the approved plans and the applicable Building Code.



BASEMENT PLAN, EL. 'A', 'B' & 'C'

BASEMENT PLAN, EL. 'A', 'B' & 'C'
**UNIT 2018-END
REV. 2025.03.27**

Scale: 3/16" = 1'-0"
Drawn By: MMDS
Checked By: KMTT
Date: 218094/WT2018-END
Page Number: 2 of 31

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible for any errors or omissions or for any consequences arising from the use of these plans. The Contractor is responsible for obtaining all necessary permits and for ensuring that the building is constructed in accordance with the approved plans and the applicable Building Code. This is to certify that these plans comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible for any errors or omissions or for any consequences arising from the use of these plans. The Contractor is responsible for obtaining all necessary permits and for ensuring that the building is constructed in accordance with the approved plans and the applicable Building Code.

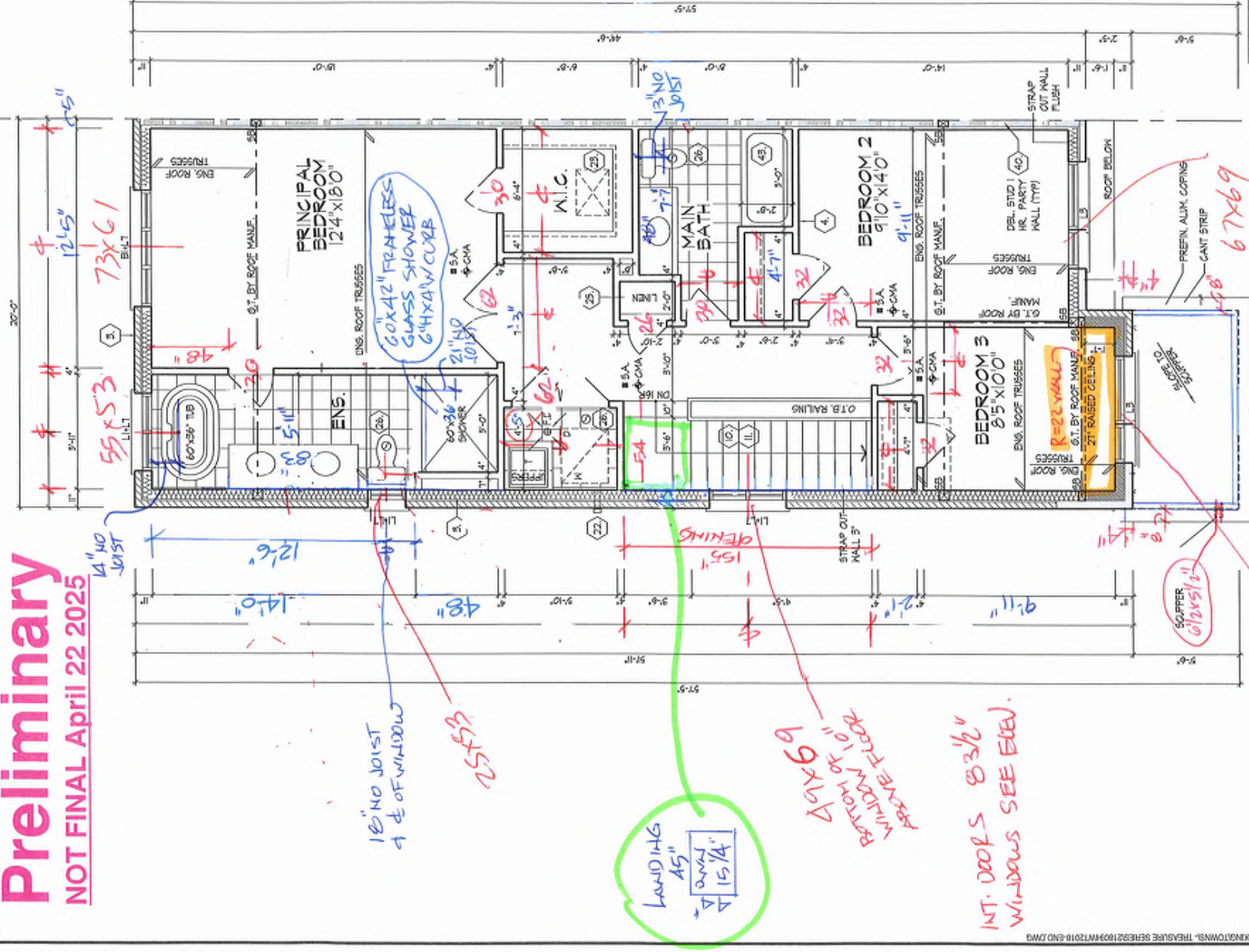
NOT FINAL April 22 2025

UNIT 2018-END
REV.2025.03.27

HUNT DESIGN ASSOCIATES INC.
19955
www.huntdesign.ca
8956 Woodbine Ave. Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326
19955

NOT FINAL April 22 2025

NOT FINAL April 22 2025



REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.

 DENOTES EXTENT OF
11'-4" T/O PLATE

SECOND FLOOR PLAN, EL. A

不



ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

CE

HUNT
DESIGN ASSOCIATES INC.

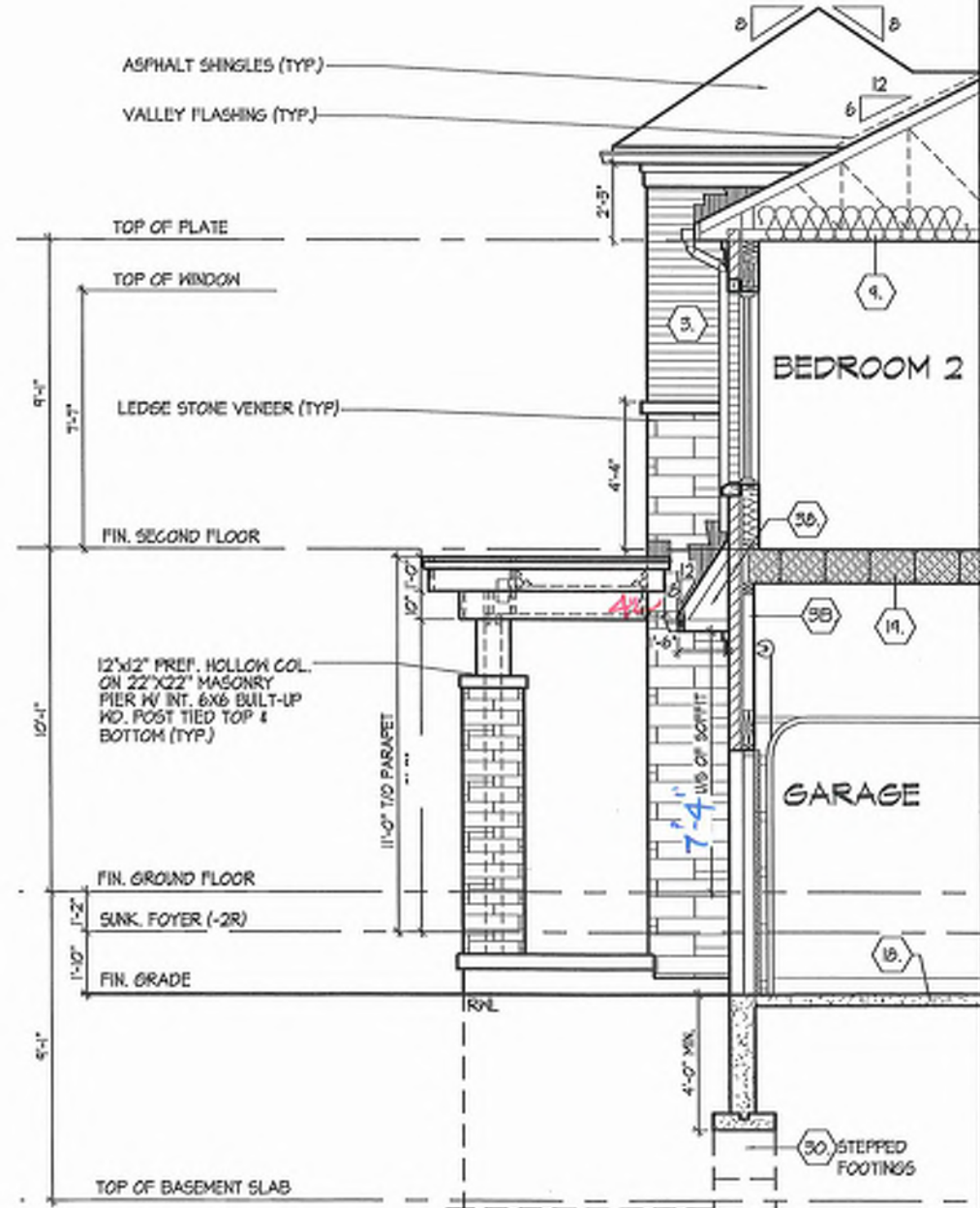
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SECOND FLOOR PLAN, EL. 'B'

UNIT 2018-END
REV.2025.03.27Page Number
9 of 31

State ECN number and original signature:	_____
---	--------------



PARTIAL SECTION 'B', EL. 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements. The Architect is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The Architect is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings. The Architect is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

BK 19-119

PART. SECTION B ELEVATION 'A'

UNIT 2018-END
REV. 2025.03.27

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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Drawn By: KM/TT
Checked By: MM/DS
Scale: 3/16"=1'-0"

File Number: 218094/WT2018-END

Page Number: 17 of 31

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SIGNATURE
DATE

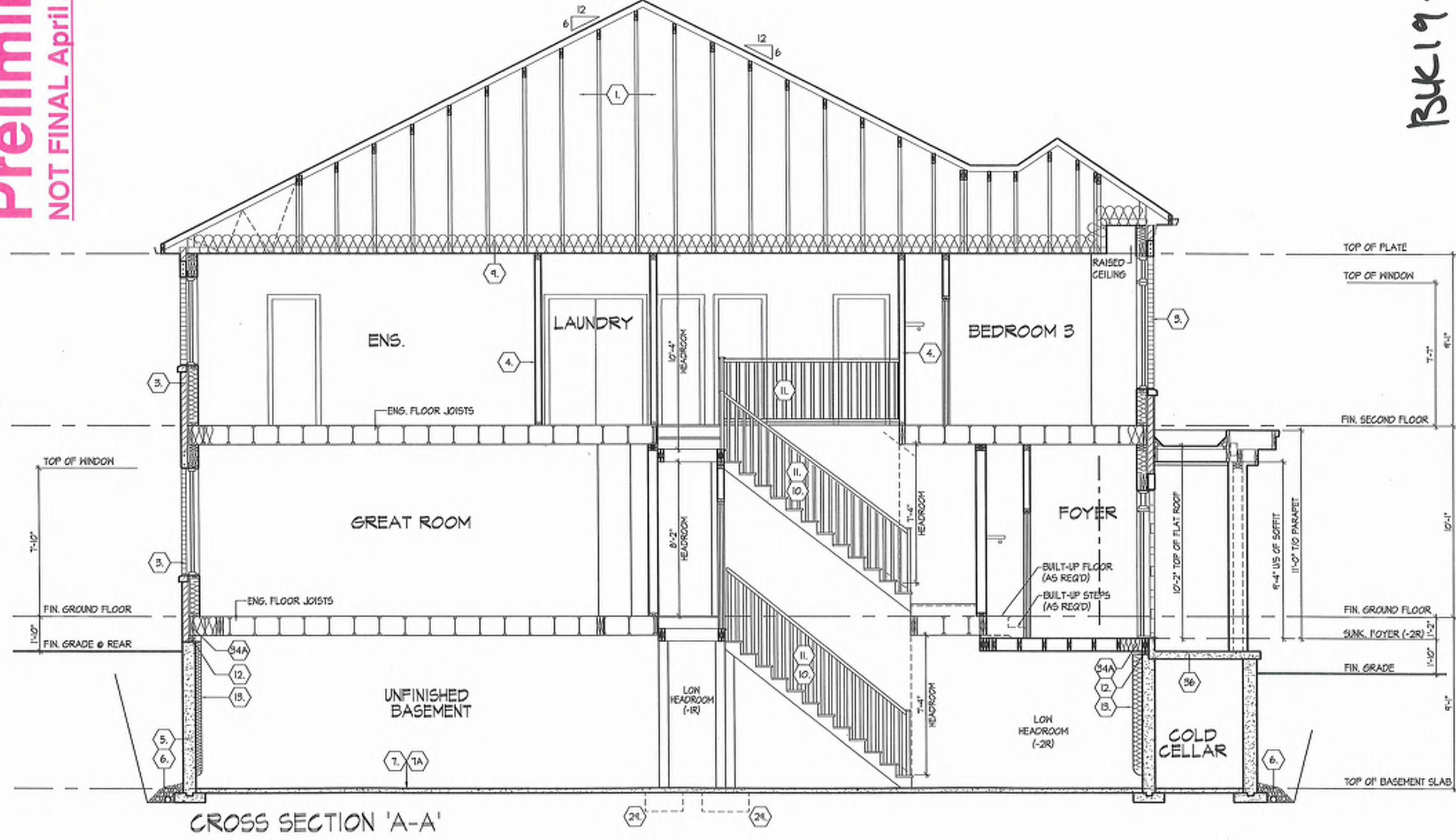
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NOT FINAL April 22 2025

BK19-119



CROSS SECTION 'A-A'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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DESIGN ASSOCIATES INC.
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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE
DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Dominic Modulo

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
21274 BCN 19995

Drawn By: KMTT
Checked By: MMDS
Scale: 3/16" = 1'-0"

Page Number: 28 of 31
REV. 2025.03.27

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cont. SECTION 1.0. CONSTRUCTION NOTES

40

1 HR. PARTY WALL (CONC. BLOCK) (SB-3) WALL TYPE B66 & 9161

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (600) O.C. ON 8" (200) C.C. BLOCK. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL. PROCESSED FILL FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40

1 HR. PARTY WALL (DOUBLE STUD) (SB-3) WALL TYPE W1302

5/8" (15.9) TYPE "X" GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (400) O.C. MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A

2 HR. FIREWALL (SB-3) WALL TYPE B66 & 9161

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (600) O.C. ON 8" (200) C.C. BLOCK. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL. PROCESSED FILL FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41

STUCCO WALL CONSTRUCTION (2"x6") (B-28)

STUCCO FINISH CONFORMING TO O.B.C. SECTION (B-28) AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (B-23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A

STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.

STUCCO FINISH CONFORMING TO O.B.C. SECTION (B-28) AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. (B-27.3) ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (B-23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B

STUCCO WALL @ GARAGE CONST. (B-28)

STUCCO FINISH CONFORMING TO O.B.C. SECTION (B-28) AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (B-23.10.1) & SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

42

UNSUPPORTED FOUNDATION WALLS (B-15.4.2)

REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
3-20M BARS IN TOP PORTION OF WALL (UP TO 8'0" OPENING)
3-20M BARS IN TOP PORTION OF WALL (8'0" TO 10'0" OPENING)
4-20M BARS IN TOP PORTION OF WALL (10'0" TO 15'0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL
REINFORCING AT BASEMENT WINDOWS
2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.
- BARS TO HAVE MIN. 1" (25) CONC. COVER
- BARS TO EXTEND 2'0" (600) BEYOND BOTH SIDES OF OPENING

43

STUD WALL REINFORCEMENT

PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (B-5.2.4.1) (REFER TO DETAILS)

44

WINDOW WELLS

WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21" (530) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEERING TILE CAY A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (B-9.10.1. (3)) (B-14.6.3)

45

CLOPED CEILING CONSTRUCTION (B-9-12) (B-1.1.8) (B-23.4.2)

2"x12" (38x286) ROOF JOISTS @ 16" (400) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (400) O.C. PERPENDICULAR TO ROOF JOIST. PURLINS NOT REQ. W/ SPRAY FOAM; W/ INSULATION BETWEEN JOIST. 6 MIL. POLYETHYLENE VAPOR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46

FLAT ROOF/BALCONY CONSTRUCTION

WATERPROOFING MEMBRANE (B-26.1.5) (B-26.1.5) (B-26.1.5) FULLY ADHERED TO 5/8" (15.9) TAG EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SLOPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x4" (38x184) FLOOR JOISTS @ 16" (400) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CLIP TO BE 4" (100) MIN. ABOVE FINISHED SALCONY FLOOR. CONTINUOUS 1" TRIM DRAIN EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. CONTINUOUS DRAIN TO BE LOCATED 24" (600) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (B-23.2.3). REMOVE CURB WHERE REQ.

47

BALCONY CONSTRUCTION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (300) O.C. LAD FLAT PERPENDICULAR TO JOISTS

47

BALCONY OVER HEATED SPACE CONDITION

SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47

BARREL VAULT CONSTRUCTION

CANTILVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT UP 3-3/4" (19) PLYWOOD HEADER PROVIDED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

48

EGRESS WINDOW ABOVE GRADE (B-9.10.1.1) (B-8.8.1. (6))

EVERY FLOOR WITH A BEDROOM, EXCEPT WHERE A DOOR IS PROVIDED W/ DIRECT ACCESS TO THE EXTERIOR, SHALL HAVE A MINIMUM OF ONE WINDOW WITH A MIN. SILL HEIGHT OF 34" (860) TO A MAX. 34" (1000) FROM FINISHED FLOOR. THIS WINDOW SHALL HAVE AN UNOBSTRUCTED OPEN PORTION OF 3.77 SQ. FT. (0.35m2) WITH NO DIMENSION LESS THAN 1'-3" (380) AND BE FREE OF ANY LIMITING HARDWARE AND USED AS MEANS OF EGRESS. SEE SECTION 2.0 GENERAL NOTES. 2.1 WINDOWS

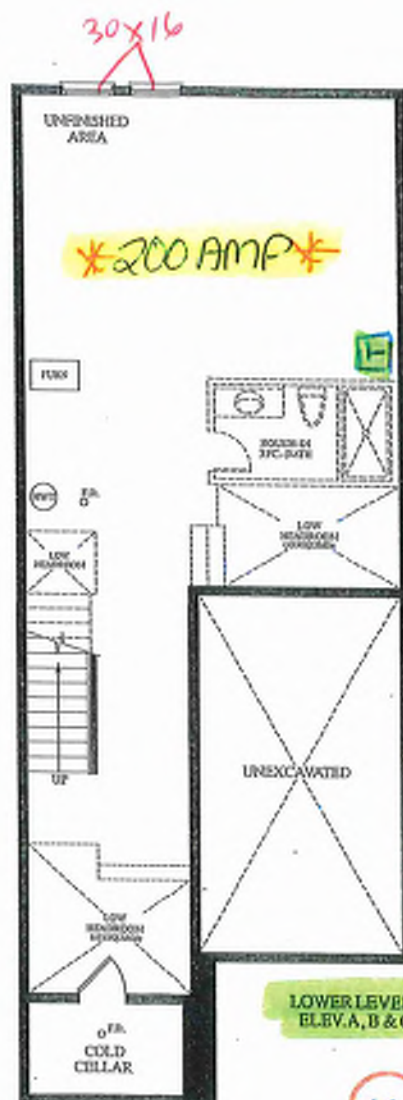
SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS TO B.C. REFERENCE - TABLE 9.23.10.1	
SUPPORTED LOADS (EXTERIOR)	
MIN. STUD SIZE	MAX. STUD SPACING, s (mm) O.C.
2"x4" (38x89)	16" (400)
2"x6" (38x140)	12" (300)
2"x8" (38x200)	12" (300)
2"x10" (38x250)	12" (300)
2"x12" (38x300)	12" (300)
2"x14" (38x350)	12" (300)
2"x16" (38x400)	12" (300)
2"x18" (38x450)	12" (300)
2"x20" (38x500)	12" (300)
2"x22" (38x550)	12" (300)
2"x24" (38x600)	12" (300)
2"x26" (38x650)	12" (300)
2"x28" (38x700)	12" (300)
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2"x32" (38x800)	12" (300)
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BAYVIEW HEIGHTS
RICHMOND HILL



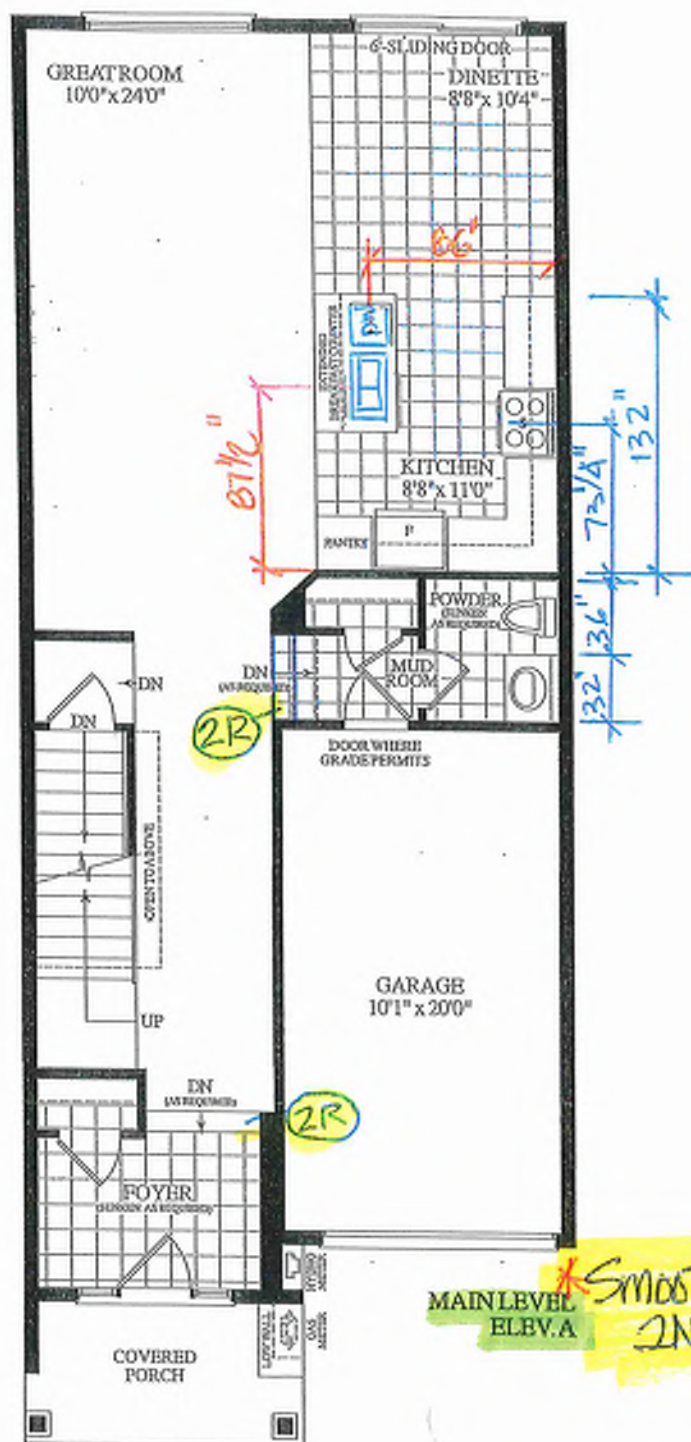
LOWER LEVEL
ELEV. A, B & C

MAIN LEVEL
ELEV. A

SMOOTH CEILINGS
2ND FLOOR

OPT. SECOND FLOOR PLAN,
EL. 'A' W/ FLEX SPACE
(EL. 'B' & 'C' SIMILAR)

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E&O.E.

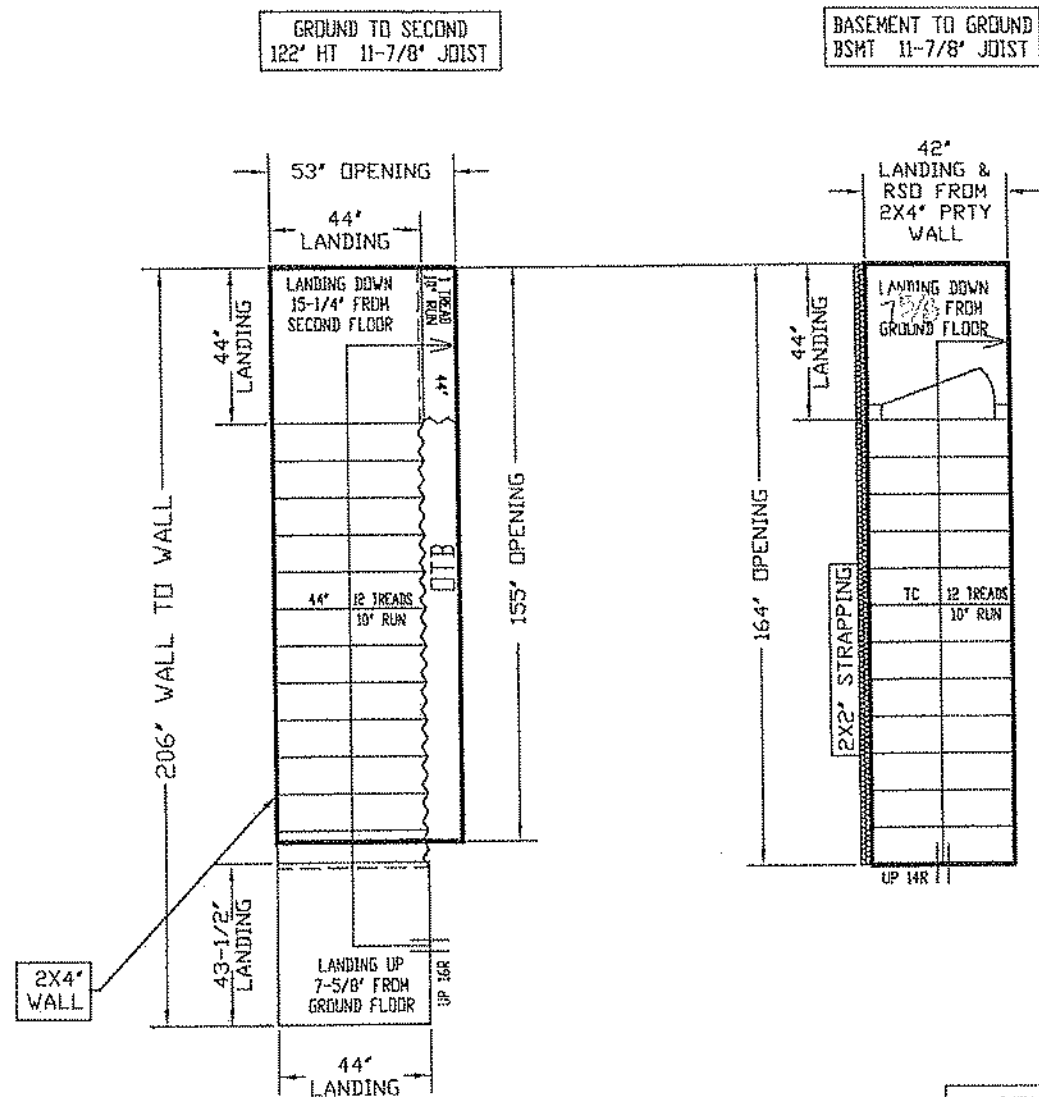


BLK.19 TH. 120

20-17 THE DIANA EL. A

4 BDRM. 2 BATH.

1780 SQ.FT.



REVISED
JUNE 4, 2025

ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

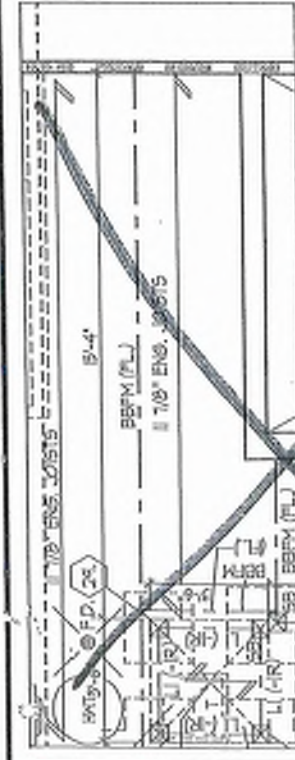
STAIRS LINE UP BY
PARTY WALL

NO WALLS UNTIL
STAIRS INSTALLED

GARAGE RIGHT >

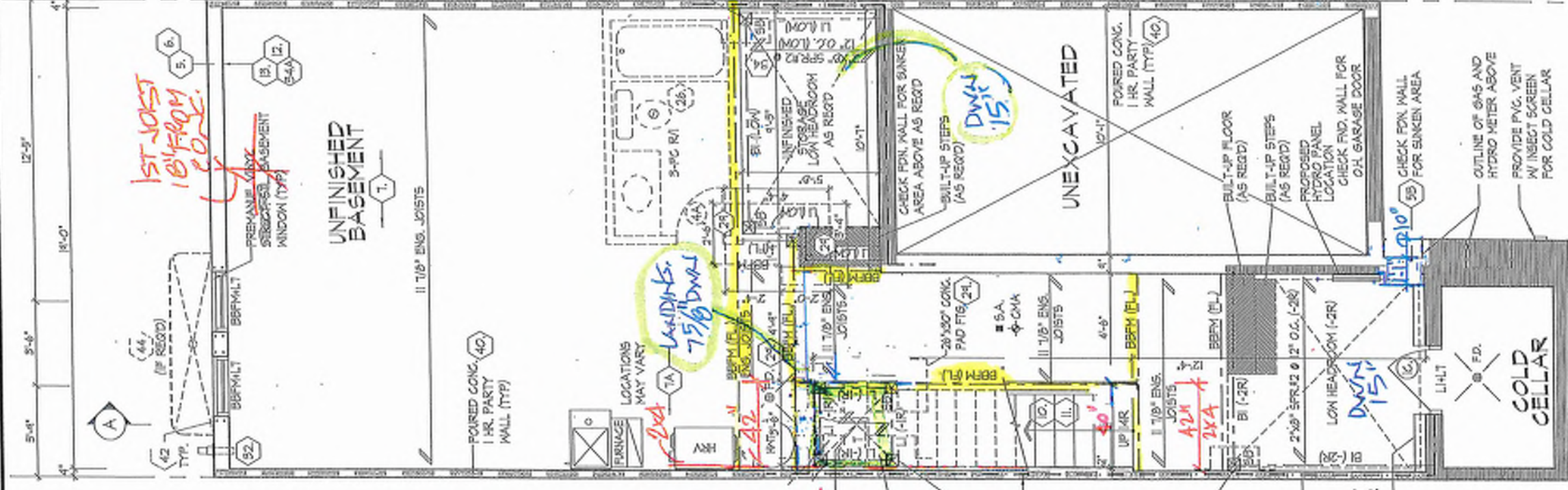
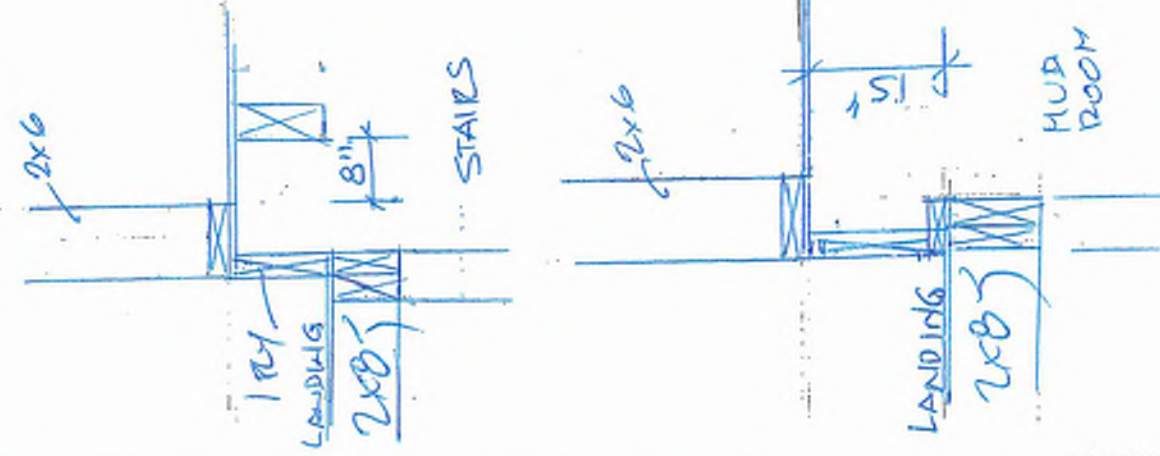
 ALPHA STAIRS AND RAILINGS INC. Quality To Step Up To	ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE ANY STRAPPING ALLOWANCES TO BE COMPENSATED BY CARPENTERS ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS TO SPEC'S AS SUPPLIED TO ALPHA STAIRS AND RAILINGS INC. ANY MODIFICATIONS MUST BE IN LAYOUTS ARE REQUIRED TO INSTALL OUR STAIRS. ANY PROBLEM WITH LEAKAGE OR STRAPPING ALLOWANCES, ALPHA STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY CARPENTERS OR SITE SUPERS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.		LOT # Model		NAME DATE
	3770 NASHUA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1W6 TEL: (905) 694-9556 www.alpastairs.com		SITE BAYVIEW HEIGHTS		DRAWN BY PARAMJEET
	UNIT 2017		CLIENT ROYAL PINE HOMES		LAYOUT #
					SCALE: 1/32

BK 19-120



PART. BASEMENT PLAN
FOR NOT SUNKEN
MUDROOM COND.

Preliminary
NOT FINAL April 22 2025



REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	APPROX. LOCATION OF FURNACE AND HOT WATER TANK
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to the building or building materials, or for any building or building materials that are not shown or specified on these plans or that any building or building materials are located on this lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

BASEMENT PLAN,
EL. 'A', 'B' & 'C'

BUC 19-120

BASEMENT PLAN, ELEV. 'A', 'B' & 'C'
UNIT 2017
REV. 2025.03.26



DESIGN ASSOCIATES INC.
WWW.HUNTDESIGN.COM

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

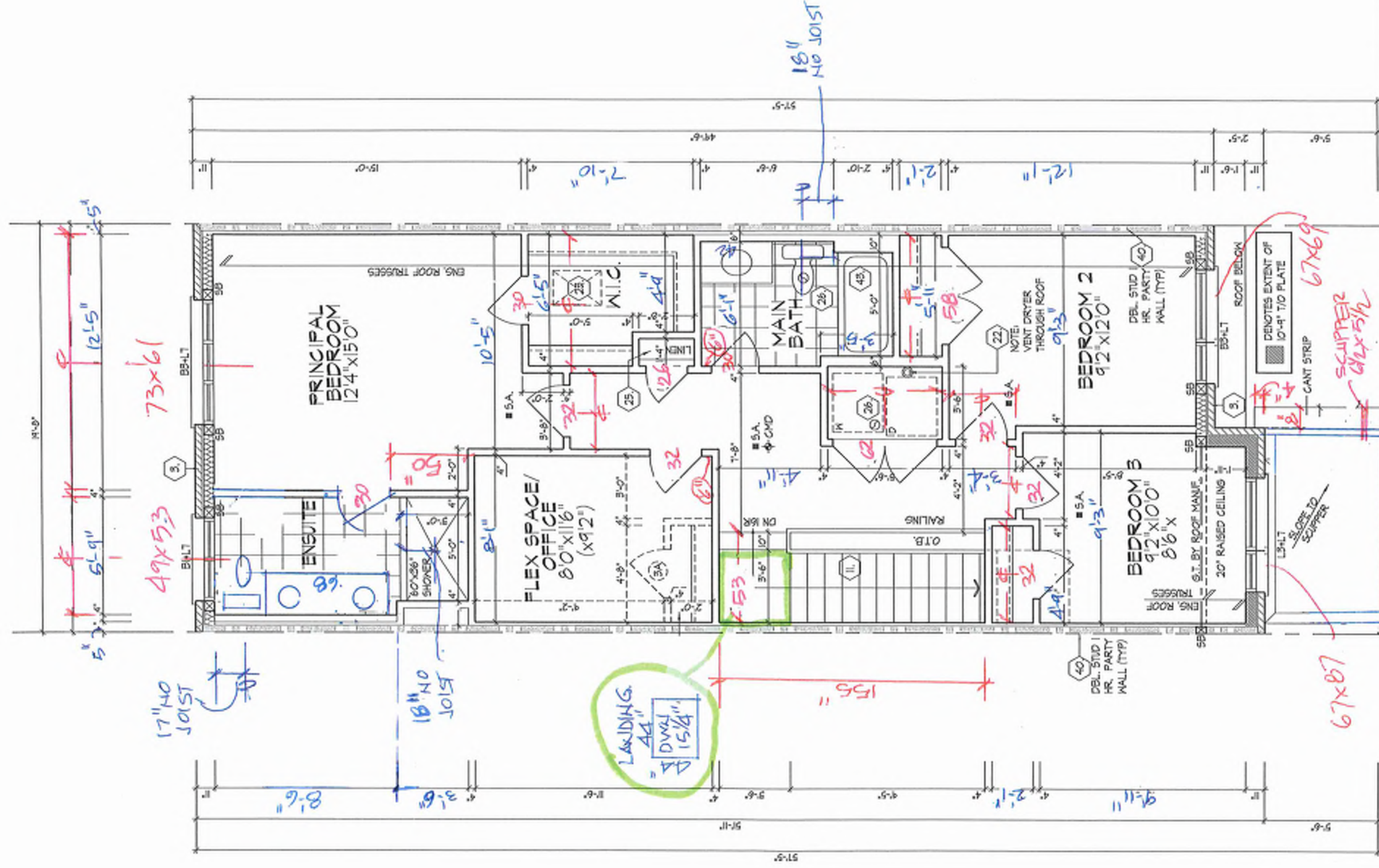
218094WT2017
2 OF 27

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
NAME: Dominic Medillo
SIGNATURE: [Signature]
PROFESSIONAL INFORMATION
HUNT DESIGN ASSOCIATES INC.
19955
21274
604
19955
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NOT FINAL April 22 2025

it is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and all other applicable laws. The City of Richmond is not responsible in any way for any errors or omissions on the plans. The Architect is not responsible for any zoning or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.



REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the City of Richmond Hill. The architect is not responsible in any way for any errors or omissions in any way for any drawings or specifications or for any building code or permit matter or that any house can be properly built or located on its lot.

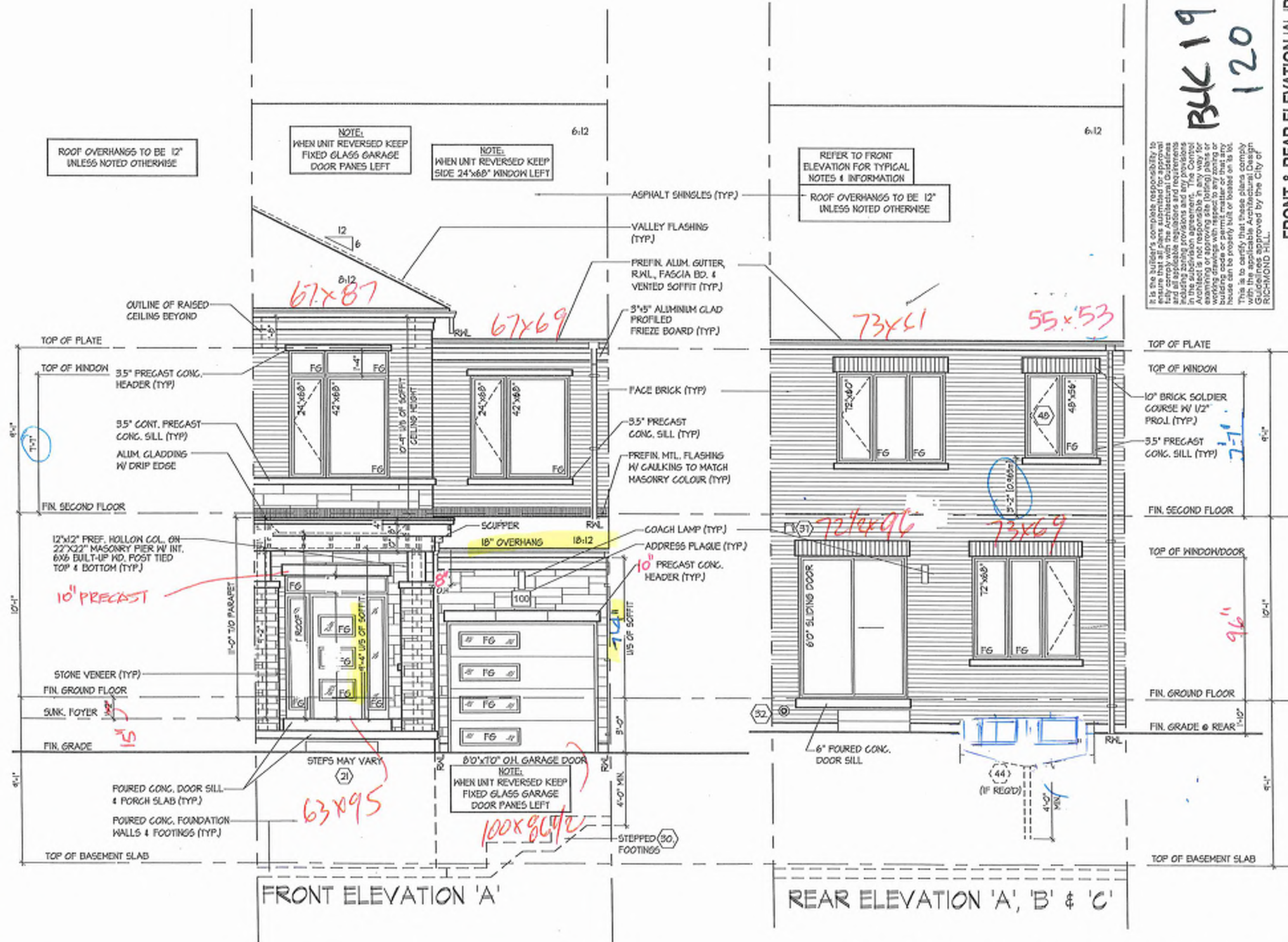
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

OPT. SECOND FLOOR PLAN,
EL. 'A' W/ FLEX SPACE
(EL. 'B' & 'C' SIMILAR)

Pk 19-120

ROOF PLAN
EL. 'A'
N.T.S.

Preliminary
NOT FINAL April 22 2025



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable codes and regulations. The City of San Jose does not warrant or assume any liability for the accuracy, completeness or appropriateness of the information provided on this website. The City of San Jose is not responsible in any way for examining or approving site (plotted) plans or working drawings with respect to any zoning or building code or permit matter or that any structure can be properly built or located on its lot. This is to clarify that these plans comply with the applicable Architectural Design Guidelines approved by the City of San Jose.

FRONT & REAR ELEVATION 'A', 'B' & 'C'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.



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DESIGN ASSOCIATES INC.
www.hunt-design.ca

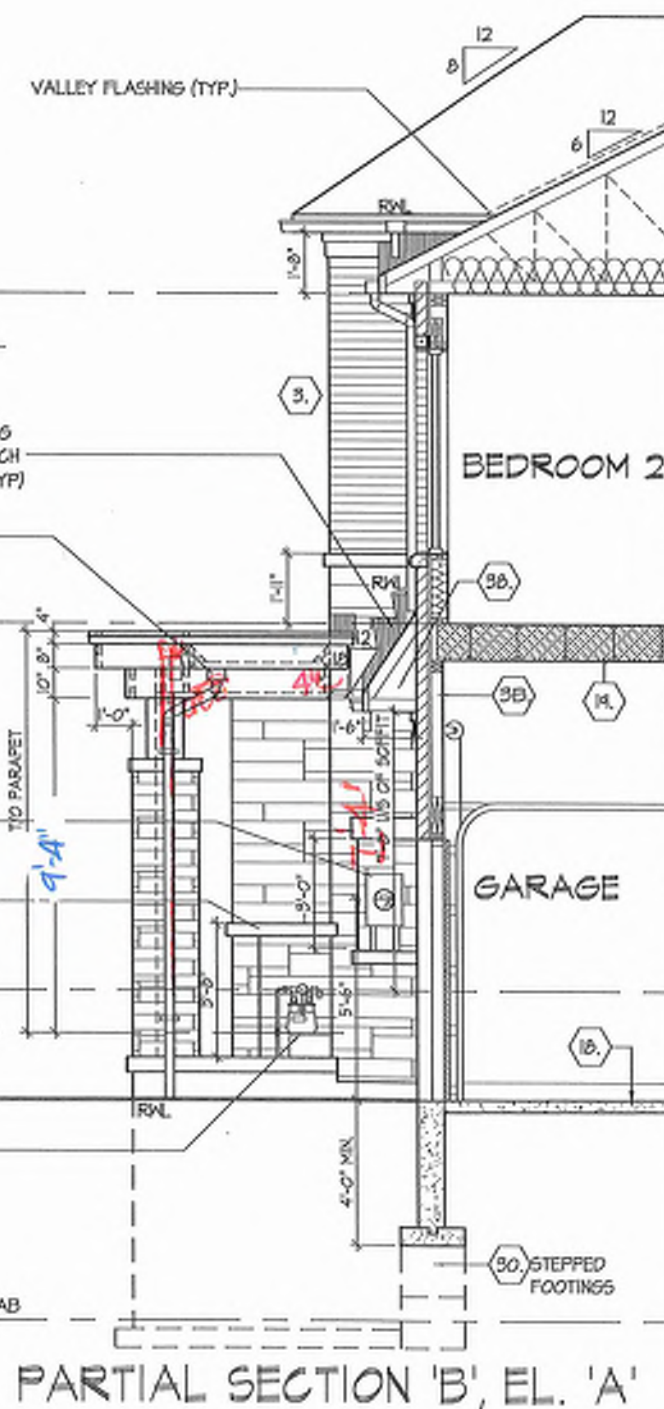
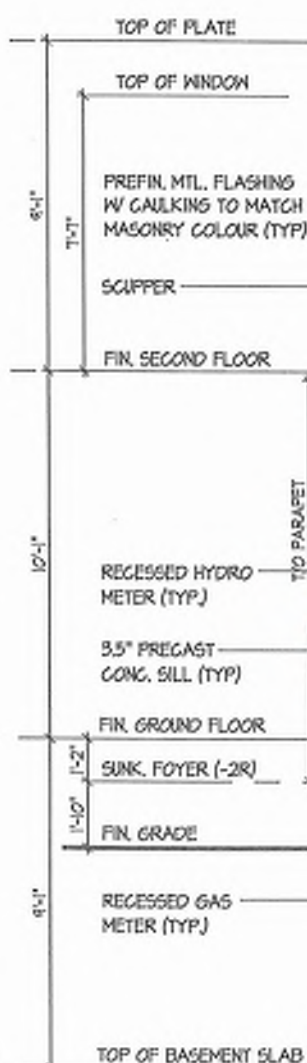
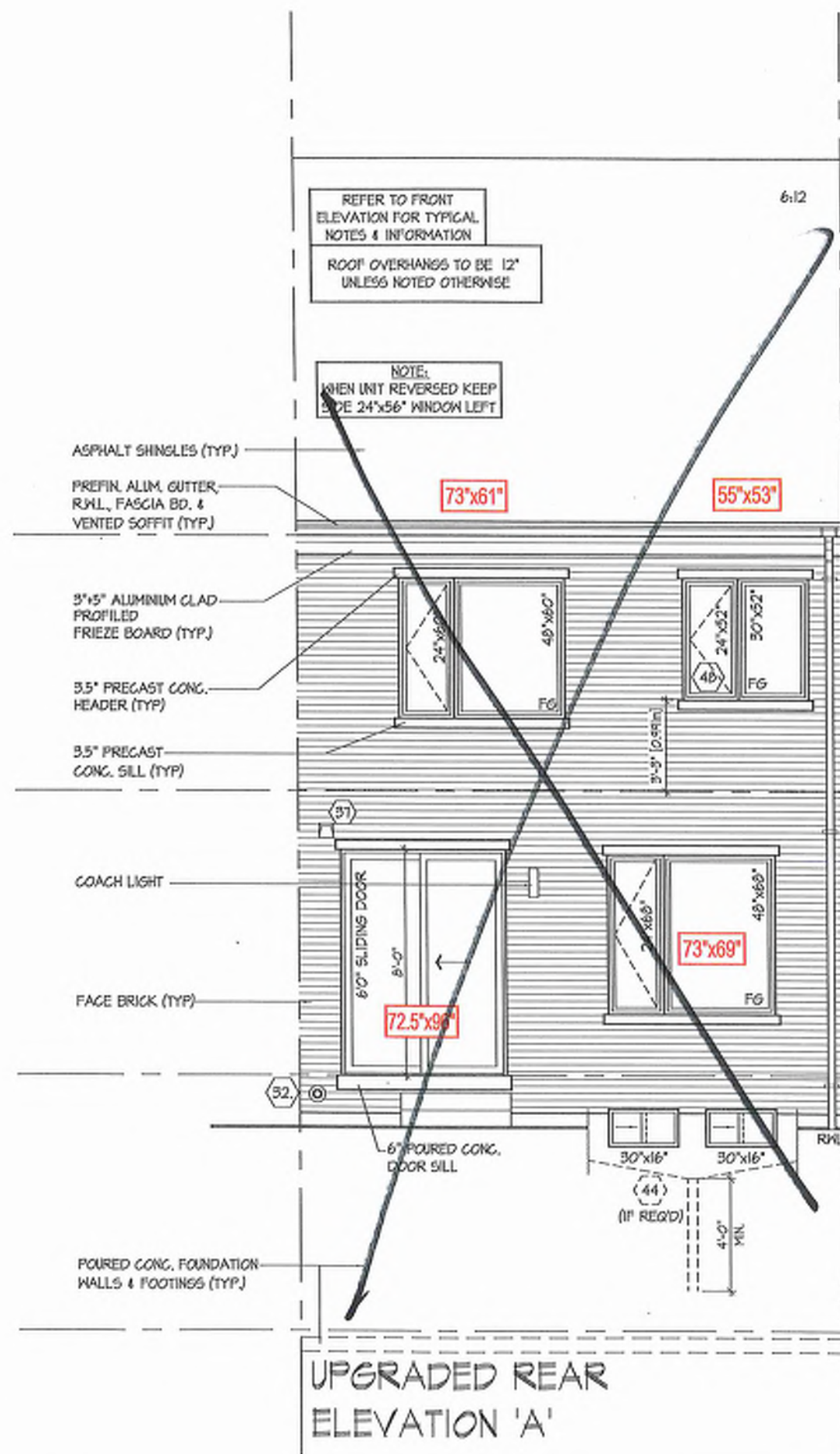
NAME	SIGNATURE	DATE
PLANT DESIGN ASSOCIATES INC.		1969
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE CAPACITIES AND MEETS THE PROFESSIONAL'S SET OUT IN THE COMPACT INFORMATION CODE TO BE A DESIGNER.		
QUALIFICATION INFORMATION		21/27
Domestic Mobile		

UNIT 2017
REV. 2025.03.26

File Number: 218094WT2017 Page Number: 14 of 27
805.737.7326

Checked By: **DSMM** Scale: **3/16"=1'-0"** File Number: **218094WT2017**
 Markham, ON L3R 0J7 T 905.737.5133 F 905.737.5326

Page Number
14 of 27



It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines set forth by the City of San Jose, including all applicable regulations and requirements pertaining to zoning provisions and any provisions that may be in effect or applicable in any way for the project. The applicant is responsible for examining and approving all lotting, plan or working drawings with respect to any zoning or building code or permit matter or that any building code or permit is located on his lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of San Jose.

BUC 19-120

UPGRADED REAR ELEVATION 'A' & PART. SECTION B, EL. 'A'

ROYAL PINE HOMES - 218094

REV: 2025.03.26

ROYAL PINE HOMES - 218094

3921 BAYVIEW, RICHMOND HILL, ON.



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2427

NCCM

19535

Dominio Mobilio

NAME	SIGNATURE
REGISTRATION INFORMATION	

HUNT DESIGN ASSOCIATES INC.

Dominic Moblio

NAME
REGISTRATION INFORMATIONHUNT DESIGN ASSOCIATES
REGISTRATION INFORMATION

Dominic Mobilia

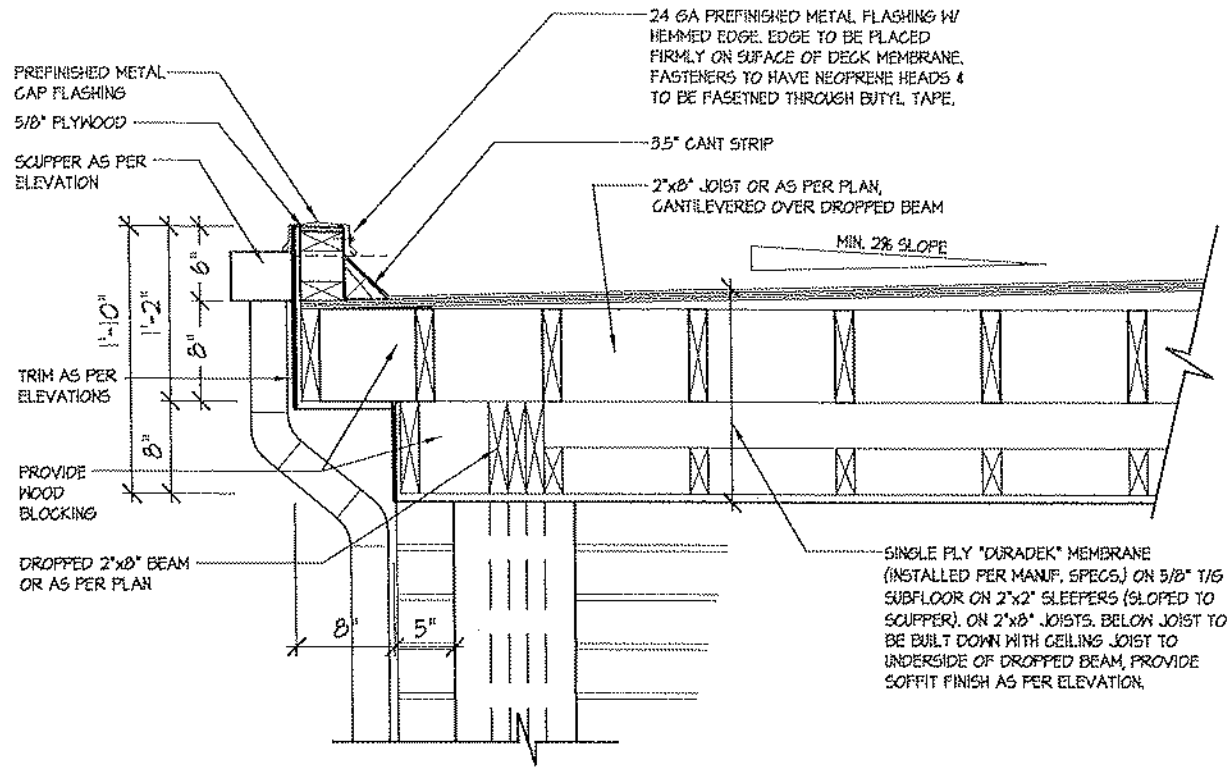
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REGISTRATION NO.

HUNT DESIGN

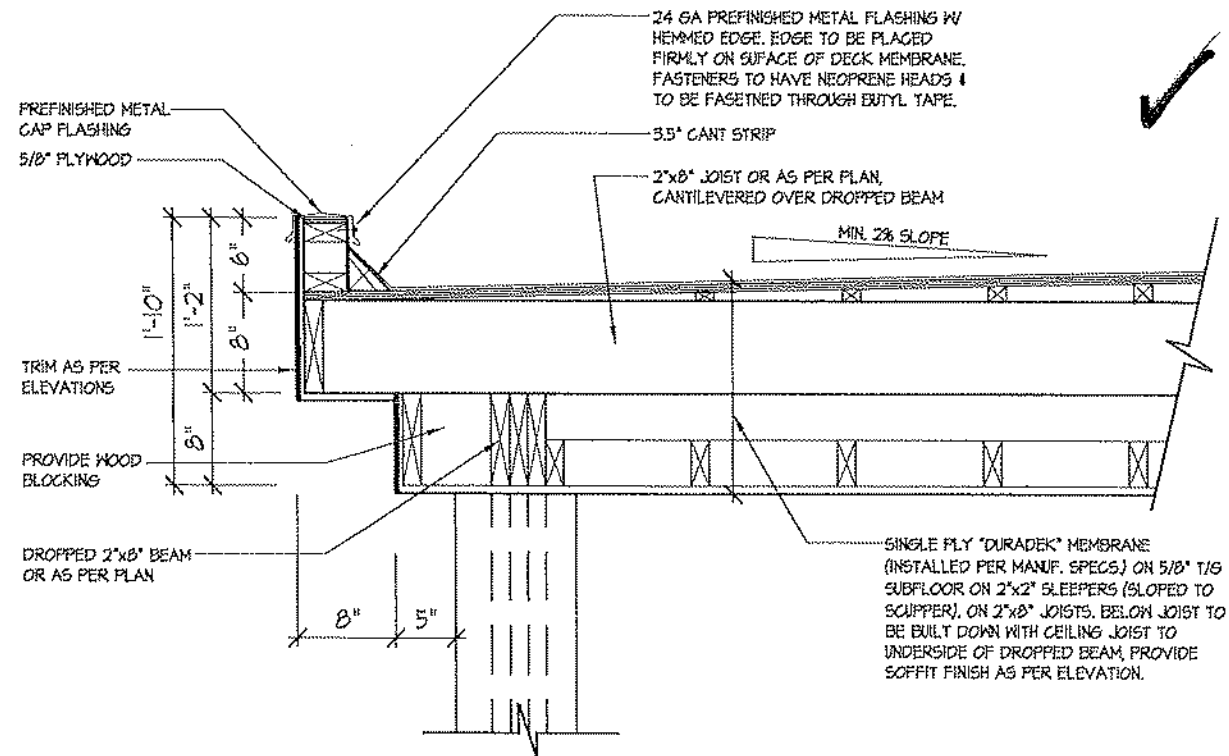
Domini

Variable	Definition
Age	Age in years
Gender	Male = 1, Female = 2
Marital status	Married = 1, Single = 2, Divorced = 3, Widowed = 4
Education	High school or less = 1, Some college = 2, Bachelor's degree = 3, Master's degree = 4, Doctorate = 5
Income	Less than \$10,000 = 1, \$10,000-\$14,999 = 2, \$15,000-\$24,999 = 3, \$25,000-\$34,999 = 4, \$35,000-\$49,999 = 5, \$50,000-\$74,999 = 6, \$75,000-\$99,999 = 7, \$100,000 or more = 8
Health status	Excellent = 1, Very good = 2, Good = 3, Fair = 4, Poor = 5
Exercise	Never = 1, Sometimes = 2, Always = 3
Stress	Low = 1, Moderate = 2, High = 3
Smoking	Never = 1, Sometimes = 2, Always = 3
Alcohol	Never = 1, Sometimes = 2, Always = 3
Depression	Never = 1, Sometimes = 2, Always = 3
Loneliness	Never = 1, Sometimes = 2, Always = 3
Life satisfaction	Very dissatisfied = 1, Dissatisfied = 2, Satisfied = 3, Very satisfied = 4
Life expectancy	Less than 70 years = 1, 70-74 years = 2, 75-79 years = 3, 80 years or more = 4

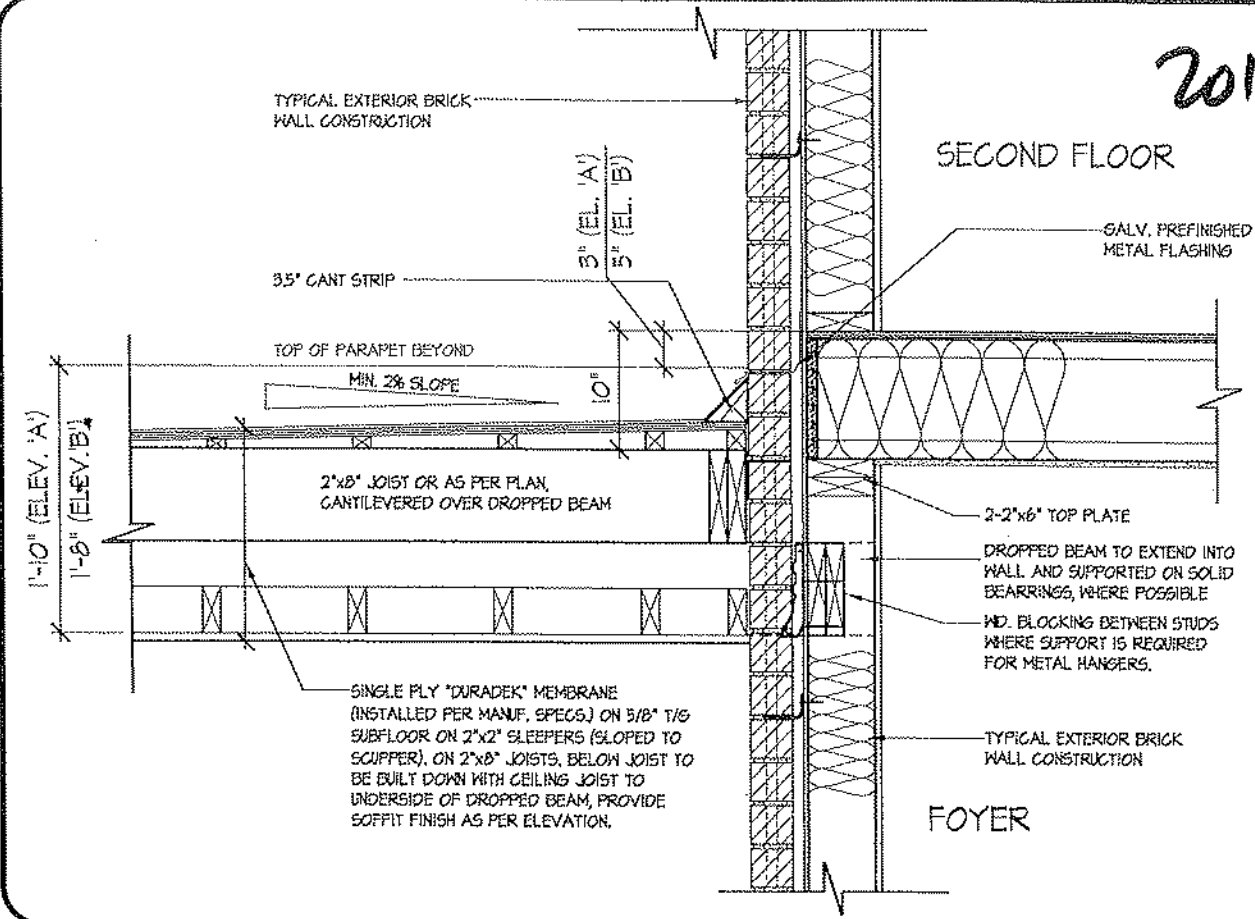
LUNCH



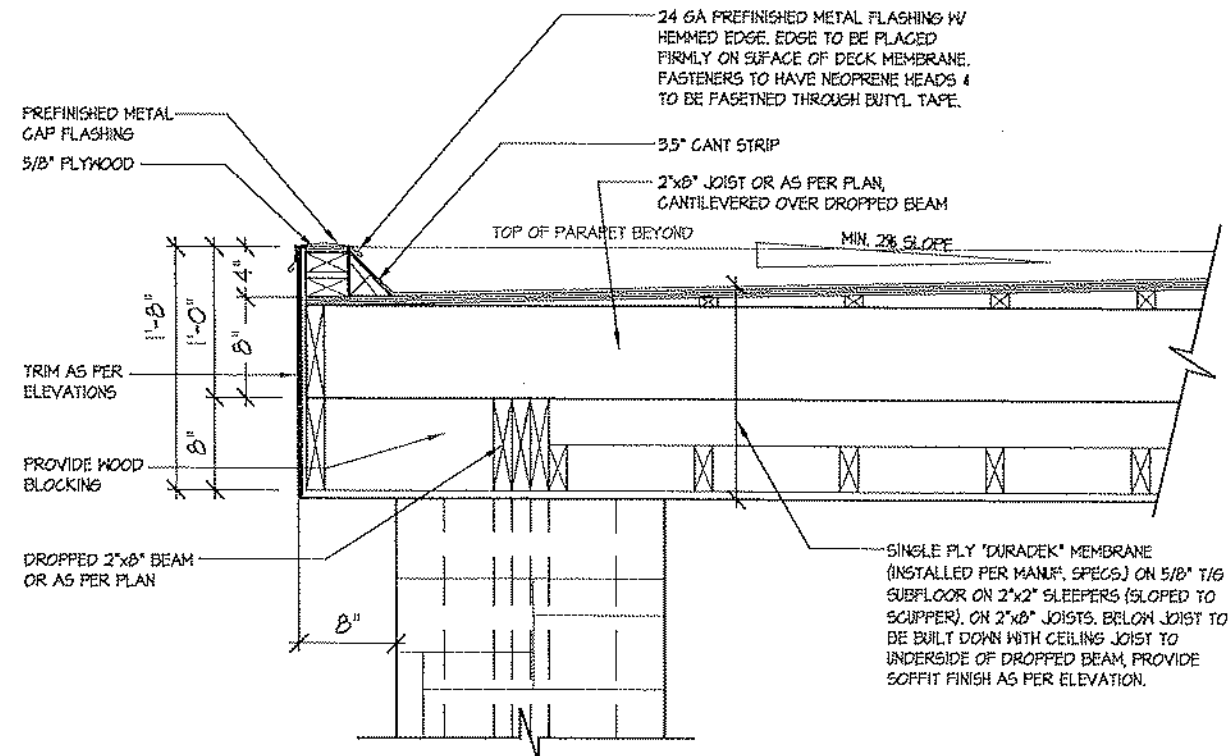
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)
3/4"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4"=1'-0"



3 FLAT ROOF DETAIL @ EXTERIOR WALL
3/4"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/4"=1'-0"

BUC 19-120

2017

FLAT ROOF DETAILS OVER COVERED PORCH
UNIT 2015
REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
NAME: Dominic Molloy
REGISTRATION NUMBER: 21274
SIGNATURE: [Signature]
HUNT DESIGN ASSOCIATES INC.
19895

Scale: 3/16"=1'-0"
Drawn By: KM/MM
Checked By: DS/MM
File Number: 218094WT2015
Page Number: 27 of 29
T 905.737.5133 F 905.737.7826
8966 Woodbine Ave., Markham, ON L3R 0J7
I assume no responsibility or liability for this document unless it bears the appropriate BCN number and original signature.

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1, 3.1.2,, 3.1.3. OF THE O.B.C..

- [illegible]

ROYAL PINE HOMES - 218094

2X8 (3-39x184) CONT. HEADER AT GROUND FLOOR
& GLUED AT TOP, BOTTOM PLATES & HEADERS.

S - 218094

Scribble

21274	50N
21274	50N
19586	50N

cont. SECTION 1.0. CONSTRUCTION NOTES

- 40 1 HR. PARTY WALL (CONC. BLOCK) [5B-3] WALL TYPE 5B-3 81b) 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (50x38) VERTICAL WD. STRAPPING @ 24" (600) O.C. ON 1/2" (12.7) CONC. BLOCK FULL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR PURCHED WITH 2"x2" (50x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.
- 40 1 HR. PARTY WALL (DOUBLE STUD) [5B-3] WALL TYPE 5B-3 81c) 5/8" (15.9) TYPE "X" GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (50x38) STUDS @ 16" (400) O.C. MIN. 1" (25) APART ON SEPARATE 2"x4" (50x38) SILL PLATES. 2"x6" (50x40) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

- 40A 1 HR. FIREWALL [5B-3] WALL TYPE 5B-3 81b) 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (50x38) VERTICAL WD. STRAPPING @ 24" (600) O.C. ON 8" (200) CONC. BLOCK 75% SOLID. FULL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS AT UNFINISHED AREAS. EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK (REFER TO DETAILS).

- 41 STUCCO WALL CONSTRUCTION [2"x6"] [9-28] STUCCO FINISH CONFORMING TO O.B.C. SECTION [9-28] AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.L.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. [9-23.10.1] & SECTION 1.1. 1/2" (12.7) GYPSUM SHEATHING ON 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

- 41A STUCCO WALL CONSTRUCTION [2"x6"] W/ CONTIN. INSUL. STUCCO FINISH CONFORMING TO O.B.C. SECTION [9-28] AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.L.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B.C. [9-27.3] ON EXTERIOR TYPE R20 INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" SECTION 1.1. INSULATION APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED).

- 41B STUCCO WALL @ GARAGE CONST. [9-28] STUCCO FINISH CONFORMING TO O.B.C. SECTION [9-28] AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.L.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. [9-23.10.1] & SECTION 1.1. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

- 42 UNSUPPORTED FOUNDATION WALLS [9-15.4.2] REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 3-20M BARS IN TOP PORTION OF WALL UP TO 8'3" OPENING 3-20M BARS IN TOP PORTION OF WALL 8'3" TO 10'4" OPENING 4-20M BARS IN TOP PORTION OF WALL 10'4" TO 15'4" OPENING

- 42 REINFORCING AT BASEMENT WINDOWS 2-15M BARS REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 1" (25) CONC. COVER - BARS TO EXTEND 2'-0" (600) BEYOND BOTH SIDES OF OPENING

- 43 STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. [9-5.2.4.1]) (REFER TO DETAILS)

- 44 WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 2'1" (508) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SATELLITE LOCATION WITH A 4" (100) WEeping TILE OR A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. [9-10.1.1] (9-14.6.3)

- 45 SLOPED CEILING CONSTRUCTION [5B-12] [9-1.1.8] [9-23.4.2] 2X12" (50x38) ROOF JOISTS @ 16" (400) O.C. MAX. UNLESS OTHERWISE NOTED) W/ 2"x2" (50x38) PURLINS @ 16" (400) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SHRAP FOAM). W/ INSULATION BETWEEN JOIST, 6 MIL POLYETHYLENE VAPOUR BARRIER 1/2" (12.7) GYPSUM WALLBOARD INT. ROOF OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.2 RESI).

- 45 FLAT ROOF/BALCONY CONSTRUCTION WATERPROOFING MEMBRANE [9-28.15] [9-28.16] FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLWOOD SHEATHING ON 2"x2" (50x38) PURLINS ANGLED TOWARDS SLOPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x4" (50x38) FLOOR JOISTS @ 16" (400) O.C. UNLESS OTHERWISE NOTED). BUILT UP CLRB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 1" TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SLOPPER DRAIN TO BE LOCATED 24" (600) MIN. AWAY FROM HOUSE. PRESFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SLOPPER [9-23.2.3]. REMOVE CURB WHERE REQ.

- 46 BALCONY CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE INCLUDE 2"x4" (50x38) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (50x38) PT. SLEEPERS @ 12" (300) O.C. LAID FLAT PERPENDICULAR TO JOISTS

- 47 BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (50x38) SPACERS LAID FLAT ON 2"x10" (50x253) SPPR. #2 ROOF JOIST NAILED TO BUILT UP 3-3/4" (91.4) PLWOOD HEADER PROFILED FOR BARREL SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

- 48 EGRESS WINDOW ABOVE GRADE [9-9.10.1] [9-8.8.1.1] (9) EVERY FLOOR WITH A BEDROOM, EXCEPT WHERE A DOOR IS PROVIDED W/ DIRECT ACCESS TO THE EXTERIOR, SHALL HAVE A MINIMUM OF ONE WINDOW WITH A MIN. SILL HEIGHT OF 9" (229) TO A MAX. 34" (860) FROM FINISHED FLOOR. THIS WINDOW SHALL HAVE AN UNOBSTRUCTED OPEN PORTION OF 3.77 SQ. FT. (0.35m2) WITH NO DIMENSION LESS THAN 1'-3" (380) AND BE FREE OF ANY LIMITING HARDWARE AND USED AS MEANS OF EGRESS. SEE SECTION 2.0 GENERAL NOTES, 2.1 WINDOWS

SECTION 1.1. WALL STUDS

REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO STRING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS: (O.B.C. REFERENCE - TABLE 9.23.10.1.1) SUPPORTED LOADS (EXTERIOR)	
MIN. STUD SIZE, in (mm)	ROOF W/ OR W/O ATTIC & 1 FLOOR ATTIC & 2 FLOOR ATTIC O.C.
2"x4" (50x38)	MAX. UNSUPPORTED HGT. Ft (m)
2"x6" (50x40)	18" (457)
2"x8" (50x48)	12" (305)
2"x10" (50x253)	9" (229)
2"x12" (50x305)	6" (152)
2"x14" (50x357)	4" (102)
2"x16" (50x406)	3" (76)
2"x18" (50x457)	2" (51)

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO [9-9.10] 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOWER THAN 3'-0" (914) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). [9-8.8.1] 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (660) IS 9" (229) FOR ALL OTHER BUILDINGS SHALL BE PROTECTED BY GLAZES IN ACCORDANCE WITH NOTE #2 ABOVE). OF THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN [4.1.5.15] OR [9-8.8.2]

- 2.2. CEILING HEIGHTS THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 8'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 8'-11" OVER ALL OF THE REQUIRED FLOOR AREA
BASEMENT	8'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5"
BATHROOM, LAUNDRY AREA ABOVE GRADE MENTIONED ABOVE	8'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
MEZZANINES	8'-11" ABOVE & BELOW FLOOR ASSEMBLY [9-5.3.2]
STORAGE GARAGE	6'-7" [9-5.3.3]

- 2.3. MECHANICAL / PLUMBING [9-28] 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 1 AIR CHANGE PER HOUR REFER TO MECHANICAL DRAWINGS.

- 2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO O.B.C. [9-31.8] 3) REFER TO TILE PASE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MANUFACTURER EFFICIENCIES.

- 4) DRAIN WATER HEAT RECOVERY UNITS) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF [9-912] - [9-1.1.12] OF THE O.B.C.

- 2.4. LUMBER 1) ALL LUMBER SHALL BE SPRUCE No. 2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

- 2) STUDS SHALL BE STUD GRADE SPLICE, UNLESS NOTED OTHERWISE.

- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

- 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

- 5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 MIL POLYETHYLENE FLAM. No.50 (486) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

- 2.5. STEEL [9-23.4.3] 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

- 2.6. FLAT ARCHES 1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 8'-10" (2303) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 9'-10" (2840) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2603) A.F.F.

- 2.7. ROOF OVERHANGS 1) ALL ROOF OVERHANGS SHALL BE 1'-0" (300), UNLESS NOTED OTHERWISE.

- 2.8. FLASHING [9-20.13] [9-28.4] [9-27.3] 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

- 2.9. GRADING 1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO [9-14.6]

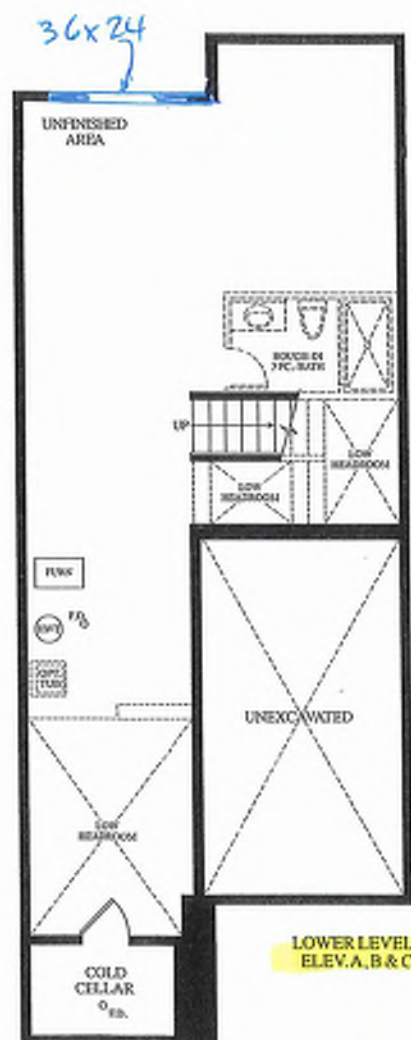
- 2.10. ULC SPECIFIED ASSEMBLIES ALL EQUIPPED ADJACENT COMPONENTS THAT FORM PART OF ANY ULC LISTED ASSEMBLY, SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING; THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY ULC LISTED ASSEMBLY IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9, TABLES 9.23.4.2 (A)-(L))	
FORMING PART OF SENTENCE: [9-23.4.2 (3)] [9-23.4.2 (4)] [9-23.12.3 (1)] (3), [9-23.14.2 (2)] [9-28.3.1.1]	
2"x8" SPRUCE #2	2"x10" SPRUCE #2
L1 2"x8" (50x38) 184	L3 2"x12" (50x305) 235
B1 3"x8" (50x38) 184	B3 3"x12" (50x305) 235
B2 4"x8" (50x38) 184	B4 4"x12" (50x305) 235
B7 5"x8" (50x38) 184	B8 5"x12" (50x305) 235
	B9 5"x12" (50x305) 235

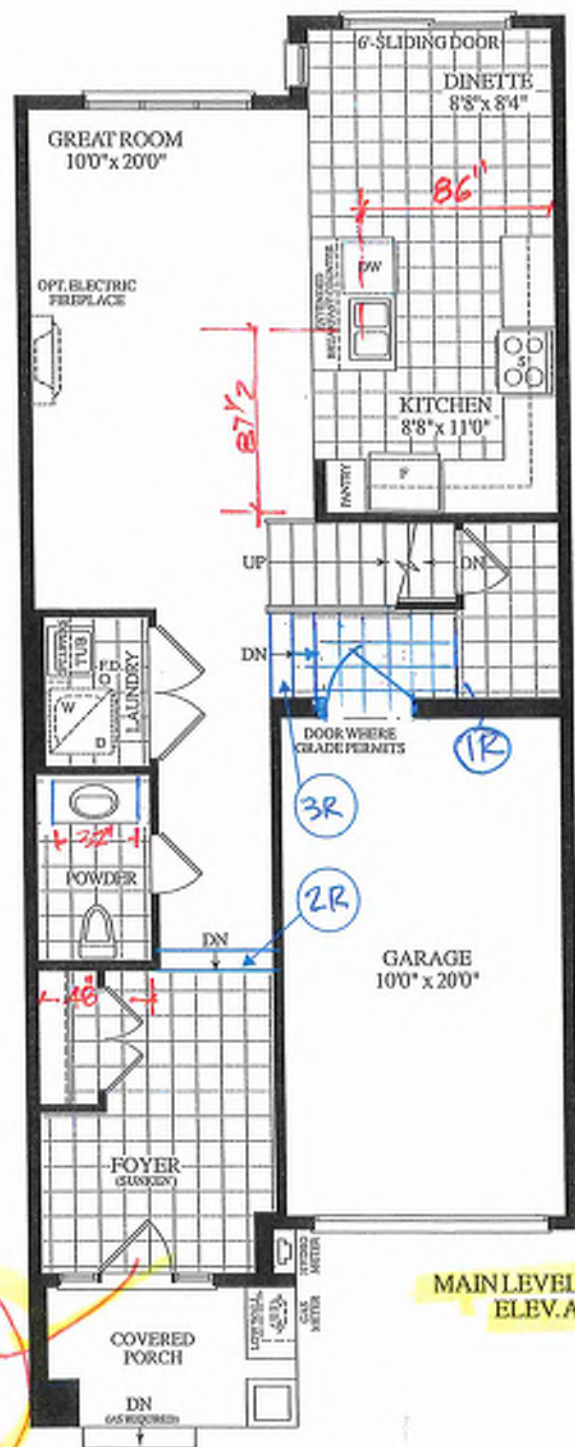
ENGINEERED LUMBER SCHEDULE	
1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL
L2 1 3/4" x 9 1/2" LVL	L3 1 3/4" x 11 7/8" LVL
L4 2 3/4" x 9 1/2" LVL	L5 2 3/4" x 11 7/8" LVL
L6 3 3/4" x 9 1/2" LVL	L7 3 3/4" x 11 7/8" LVL
L8 4 3/4" x 9 1/2" LVL	L9 4 3/4" x 11 7/8" LVL
L10 5 3/4" x 9 1/2" LVL	L11 5 3/4" x 11 7/8" LVL
L12 6 3/4" x 9 1/2" LVL	L13 6 3/4" x 11 7/8" LVL
L14 7 3/4" x 9 1/2" LVL	L15 7 3/4" x 11 7/8" LVL
L16 8 3/4" x 9 1/2" LVL	L17 8 3/4" x 11 7/8" LVL
L18 9 3/4" x 9 1/2" LVL	L19 9 3/4" x 11 7/8" LVL
L20 10 3/4" x 9 1/2" LVL	L21 10 3/4" x 11 7/8" LVL
L22 11 3/4" x 9 1/2" LVL	L23 11 3/4" x 11 7/8" LVL
L24 12 3/4" x 9 1/2" LVL	L25 12 3/4" x 11 7/8" LVL
L26 13 3/4" x 9 1/2" LVL	L27 13 3/4" x 11 7/8" LVL
L28 14 3/4" x 9 1/2" LVL	L29 14 3/4" x 11 7/8" LVL
L30 15 3/4" x 9 1/2" LVL	L31 15 3/4" x 11 7/8" LVL
L32 16 3/4" x 9 1/2" LVL	L33 16 3/4" x 11 7/8" LVL
L34 17 3/4" x 9 1/2" LVL	L35 17 3/4" x 11 7/8" LVL
L36 18 3/4" x 9 1/2" LVL	L37 18 3/4" x 11 7/8" LVL
L38 19 3/4" x 9 1/2" LVL	L39 19 3/4" x 11 7/8" LVL
L40 20 3/4" x 9 1/2" LVL	L41 20 3/4" x 11 7/8" LVL
L42 21 3/4" x 9 1/2" LVL	L43 21 3/4" x 11 7/8" LVL
L44 22 3/4" x 9 1/2" LVL	L45 22 3/4" x 11 7/8" LVL
L46 23 3/4" x 9 1/2" LVL	L47 23 3/4" x 11 7/8" LVL
L48 24 3/4" x 9 1/2" LVL	L49 24 3/4" x 11 7/8" LVL
L50 25 3/4" x 9 1/2" LVL	L51 25 3/4" x 11 7/8" LVL
L52 26 3/4" x 9 1/2" LVL	L53 26 3/4" x 11 7/8" LVL
L54 27 3/4" x 9 1/2" LVL	L55 27 3/4" x 11 7/8" LVL
L56 28 3/4" x 9 1/2" LVL	L57 28 3/4" x 11 7/8" LVL
L58 29 3/4" x 9 1/2" LVL	L59 29 3/4" x 11 7/8" LVL
L60 30 3/4" x 9 1/2" LVL	L61 30 3/4" x 11 7/8" LVL
L62 31 3/4" x 9 1/2" LVL	L63 31 3/4" x 11 7/8" LVL
L64 32 3/4" x 9 1/2" LVL	L65 32 3/4" x 11 7/8" LVL
L66 33 3/4" x 9 1/2" LVL	L67 33 3/4" x 11 7/8" LVL
L68 34 3/4" x 9 1/2" LVL	L69 34 3/4" x 11 7/8" LVL
L70 35 3/4" x 9 1/2" LVL	L71 35 3/4" x 11 7/8" LVL
L72 36 3/4" x 9 1/2" LVL	L73 36 3/4" x 11 7/8" LVL
L74 37 3/4" x 9 1/2" LVL	L75 37 3/4" x 11 7/8" LVL
L76 38 3/4" x 9 1/2" LVL	L77 38 3/4" x 11 7/8" LVL
L78 39 3/4" x 9 1/2" LVL	L79 39 3/4" x 11 7/8" LVL
L80 40 3/4" x 9 1/2" LVL	L81 40 3/4" x 11 7/8" LVL
L82 41 3/4" x 9 1/2" LVL	L83 41 3/4" x 11 7/8" LVL
L84 42 3/4" x 9 1/2" LVL	L85 42 3/4" x 11 7/8" LVL
L86 43 3/4" x 9 1/2" LVL	L87 43 3/4" x 11 7/8" LVL
L88 44 3/4" x 9 1/2" LVL	L89 44 3/4" x 11 7/8" LVL
L90 45 3/4" x 9 1/2" LVL	L91 45 3/4" x 11 7/8" LVL
L92 46 3/4" x 9 1/2" LVL	L93 46 3/4" x 11 7/8" LVL
L94 47 3/4" x 9 1/2" LVL	L95 47 3/4" x 11 7/8" LVL
L96 48 3/4" x 9 1/2" LVL	L97 48 3/4" x 11 7/8" LVL
L98 49 3/4" x 9 1/2" LVL	L99 49 3/4" x 11 7/8" LVL
L100 50 3/4" x 9 1/2" LVL	L101 50 3/4" x 11 7/8" LVL
L102 51 3/4" x 9 1/2" LVL	L103 51 3/4" x 11 7/8" LVL
L104 52 3/4" x 9 1/2" LVL	L105 52 3/4" x 11 7/8" LVL
L106 53 3/4" x 9 1/2" LVL	L107 53 3/4" x 11 7/8" LVL
L108 54 3/4" x 9 1/2" LVL	L109 54 3/4" x 11 7/8" LVL
L110 55 3/4" x 9 1/2" LVL	L111 55 3/4" x 11 7/8" LVL
L112 56 3/4" x 9 1/2" LVL	L113 56 3/4" x 11 7/8" LVL
L114 57 3/4" x 9 1/2" LVL	L115 57 3/4" x 11 7/8" LVL
L116 58 3/4" x 9 1/2" LVL	L117 58 3/4" x 11 7/8" LVL
L118 59 3/4" x 9 1/2" LVL	L119 59 3/4" x 11 7/8" LVL
L120 60 3/4" x 9 1/2" LVL	L121 60 3/4" x 11 7/8" LVL
L122 61 3/4" x 9 1/2" LVL	L123 61 3/4" x 11 7/8" LVL
L124 62 3/4" x 9 1/2" LVL	L125 62 3/4" x 11 7/8" LVL
L126 63 3/4" x 9 1/2" LVL	L127 63 3/4" x 11 7/8" LVL
L128 64 3/4" x 9 1/2" LVL	L129 64 3/4" x 11 7/8" LVL
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L132 66 3/4" x 9 1/2" LVL	L133 66 3/4" x 11 7/8" LVL
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L136 68 3/4" x 9 1/2" LVL	L137 68 3/4" x 11 7/8" LVL
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L144 72 3/4" x 9 1/2" LVL	L145 72 3/4" x 11 7/8" LVL
L146 73 3/4" x 9 1/2" LVL	L147 73 3/4" x 11 7/8" LVL
L148 74 3/4" x 9 1/2" LVL	L149 74 3/4" x 11 7/8" LVL
L150 75 3/4" x 9 1/2" LVL	L151 75 3/4" x 11 7/8" LVL
L152 76 3/4" x 9 1/2" LVL	L153 76 3/4" x 11 7/8" LVL
L154 77 3/4" x 9 1/2" LVL	L155 77 3/4" x 11 7/8" LVL
L156 78 3/4" x 9 1/2" LVL	L157 78 3/4" x 11 7/8" LVL
L158 79 3/4" x 9 1/2" LVL	L159 79 3/4" x 11 7/8" LVL
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L166 83 3/4" x 9 1/2" LVL	L167 83 3/4" x 11 7/8" LVL
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L170 85 3/4" x 9 1/2" LVL	L171 85 3/4" x 11 7/8" LVL
L172 86 3/4" x 9 1/2" LVL	L173 86 3/4" x 11 7/8" LVL
L174 87 3/4" x 9 1/2" LVL	L175 87 3/4" x 11 7/8" LVL
L176 88 3/4" x 9 1/2" LVL	L177 88 3/4" x 11 7/8" LVL
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L206 103 3/4" x 9 1/2" LVL	L207 103 3/4" x 11 7/8" LVL
L208 104 3/4" x 9 1/2" LVL	L209 104 3/4" x 11 7/8" LVL
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L212 106 3/4" x 9 1/2" LVL	L213 106 3/4" x 11 7/8" LVL
L214 107 3/4" x 9 1/2" LVL	L215 107 3/4" x 11 7/8" LVL
L216 108 3/4" x 9 1/2" LVL	L217 108 3/4" x 11 7/8" LVL
L218 109 3/4" x 9 1/2" LVL	L21

BAYVIEW HEIGHTS
RICHMOND HILL



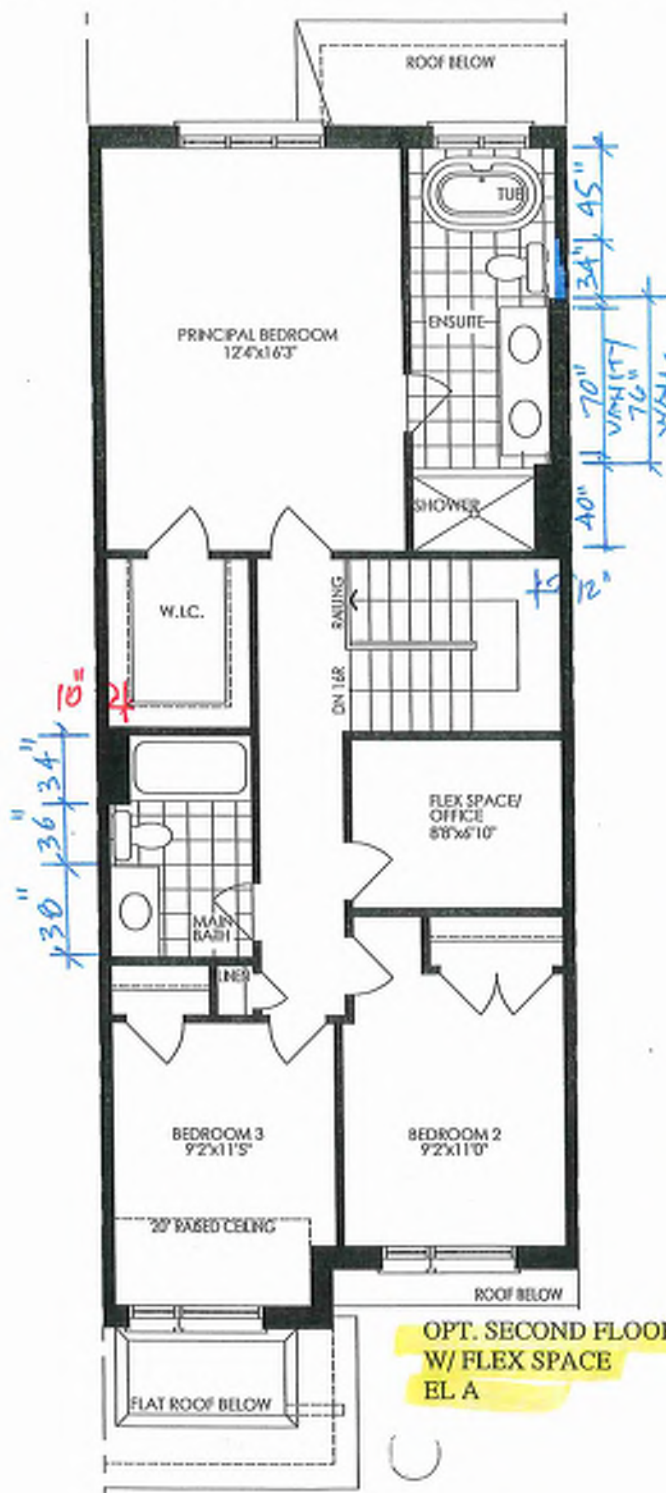
LOWER LEVEL
ELEV. A, B & C

EXTENDED
HEIGHT
FRONT
DOOR
66x90"



MAIN LEVEL
ELEV. A

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E.&O.E.

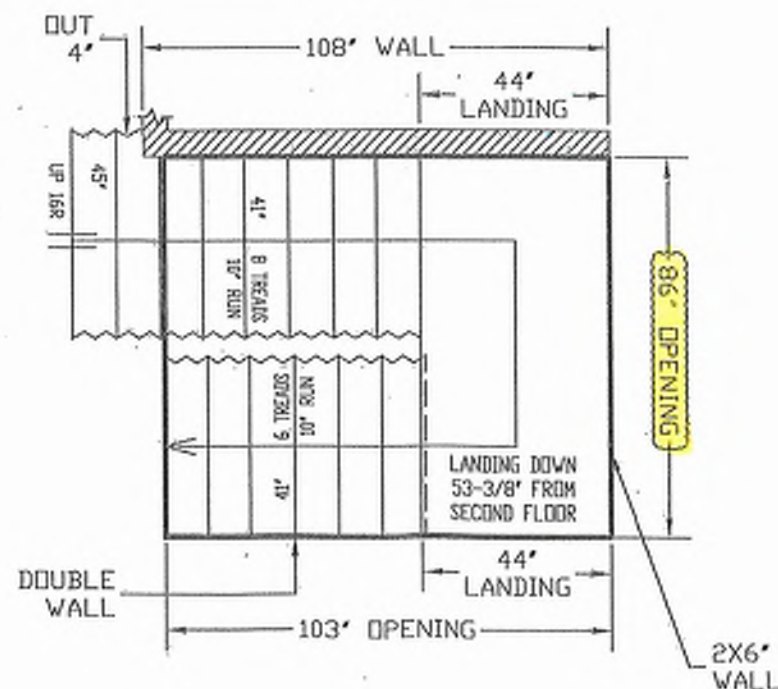


OPT. SECOND FLOOR PLAN
W/ FLEX SPACE
EL. A

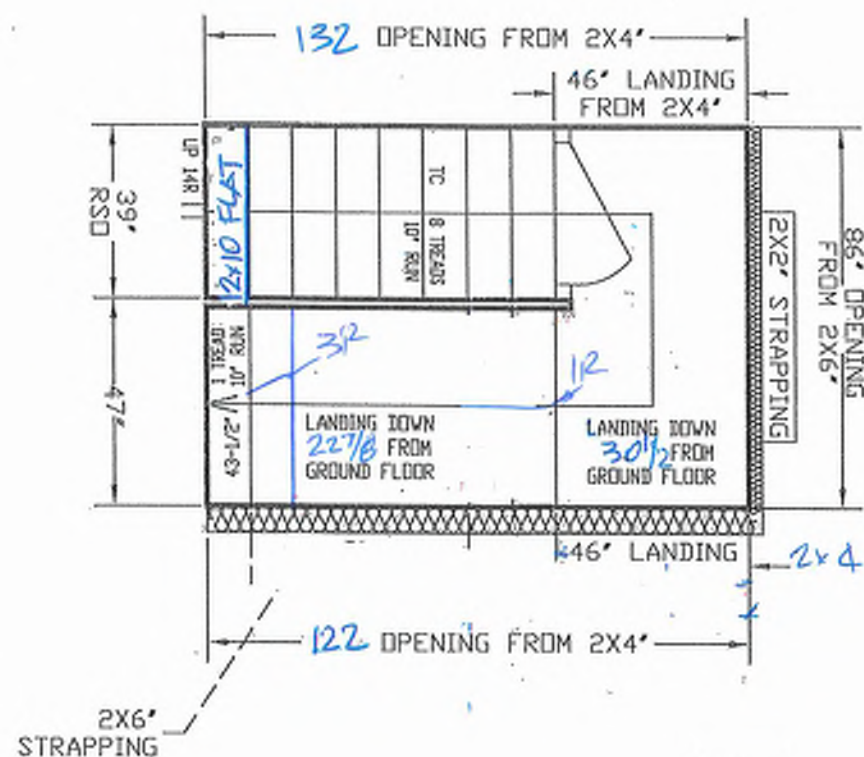
INVENTORY HOUSE

BRICK 10 TH 121	20-15 THE ANNE	EL. A	4 BDRM 2 BATH	1685 SQ.FT.
-----------------	----------------	-------	---------------	-------------

GROUND TO SECOND
122' HT 11-7/8' JOIST



BASEMENT TO GROUND
BSMT 11-7/8' JOIST



REVISED
JUNE 5, 2025

ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL.
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

STAIRS LINE UP BY
PARTY WALL & GARAGE WALL

2" CONC. LEDGE
IN GARAGE

GARAGE RIGHT >



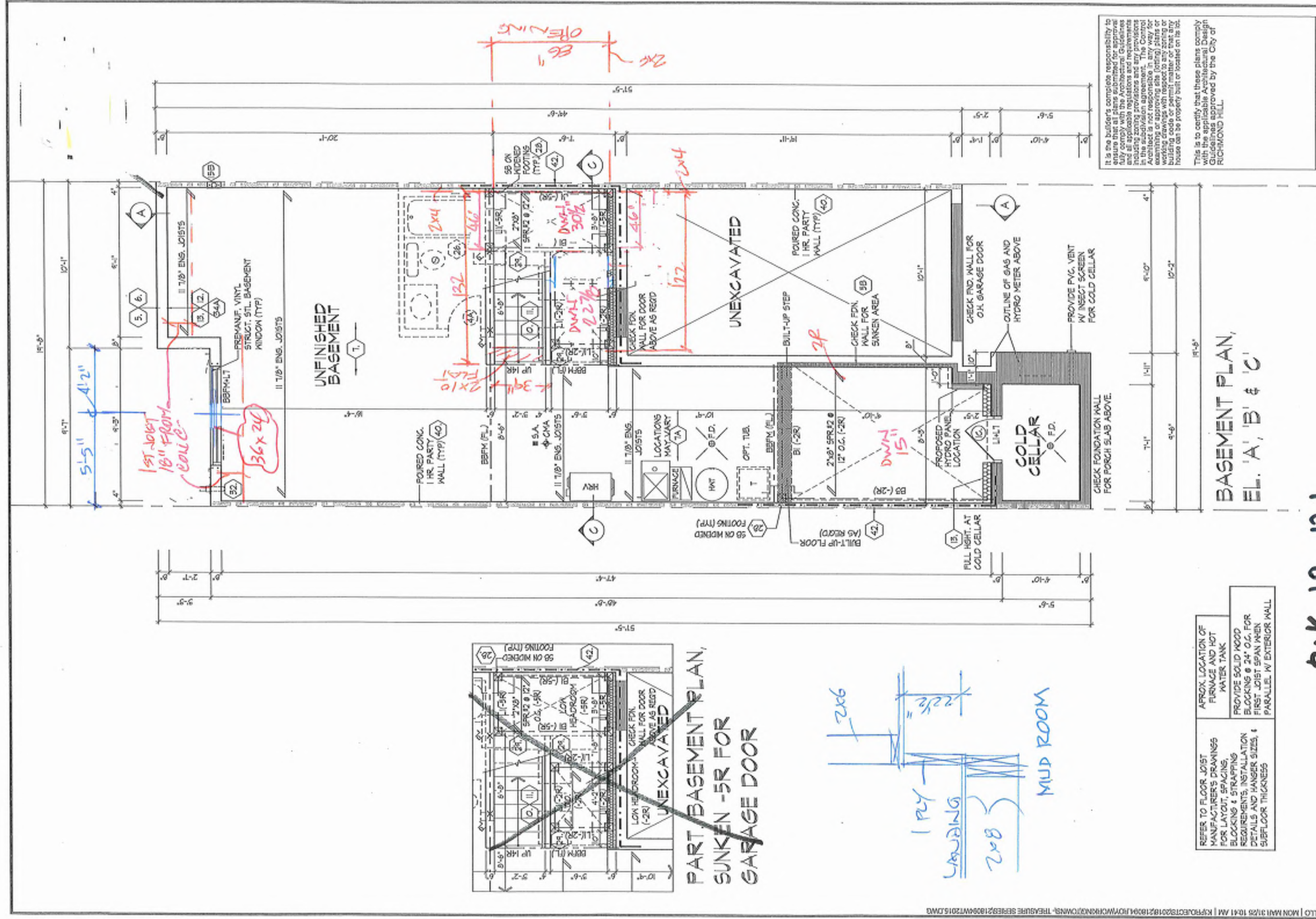
ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE.
ANY STRAPPING ALLOWANCES TO BE COMPENSATED BY CARPENTERS.
ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPECS AS SUPPLIED TO ALPHA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN ON LAYOUTS ARE REQUIRED TO INSTALL OUR STAIRS. ANY PROBLEMS WITH HEIGHT OR STRAPPING ALLOWANCES, ALPHA STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY CARPENTERS OR SITE SUPERVISORS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

ALPHA STAIRS AND RAILINGS INC.
3770 HURON DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1M6
TEL: (905) 694-9556 | www.alpastairs.com



SITE	BAYVIEW HEIGHTS	NAME	DATE
LOT #		DRAWN BY	PARAMJEET
Model	UNIT 2015	CLIENT	ROYAL PINE HOMES
		LAYOUT #	
		SCALE	1/35

PLK 19-121



REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	APPROX. LOCATION OF FURNACE AND HOT WATER TANK
	PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

BASEMENT PLAN, EL. 'A', 'B' & 'C'

Bk 19-121

BASEMENT PLAN, ELEV. 'A', 'B' & 'C'

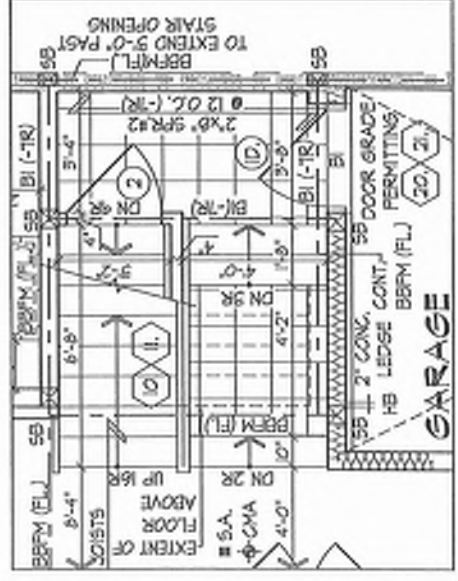
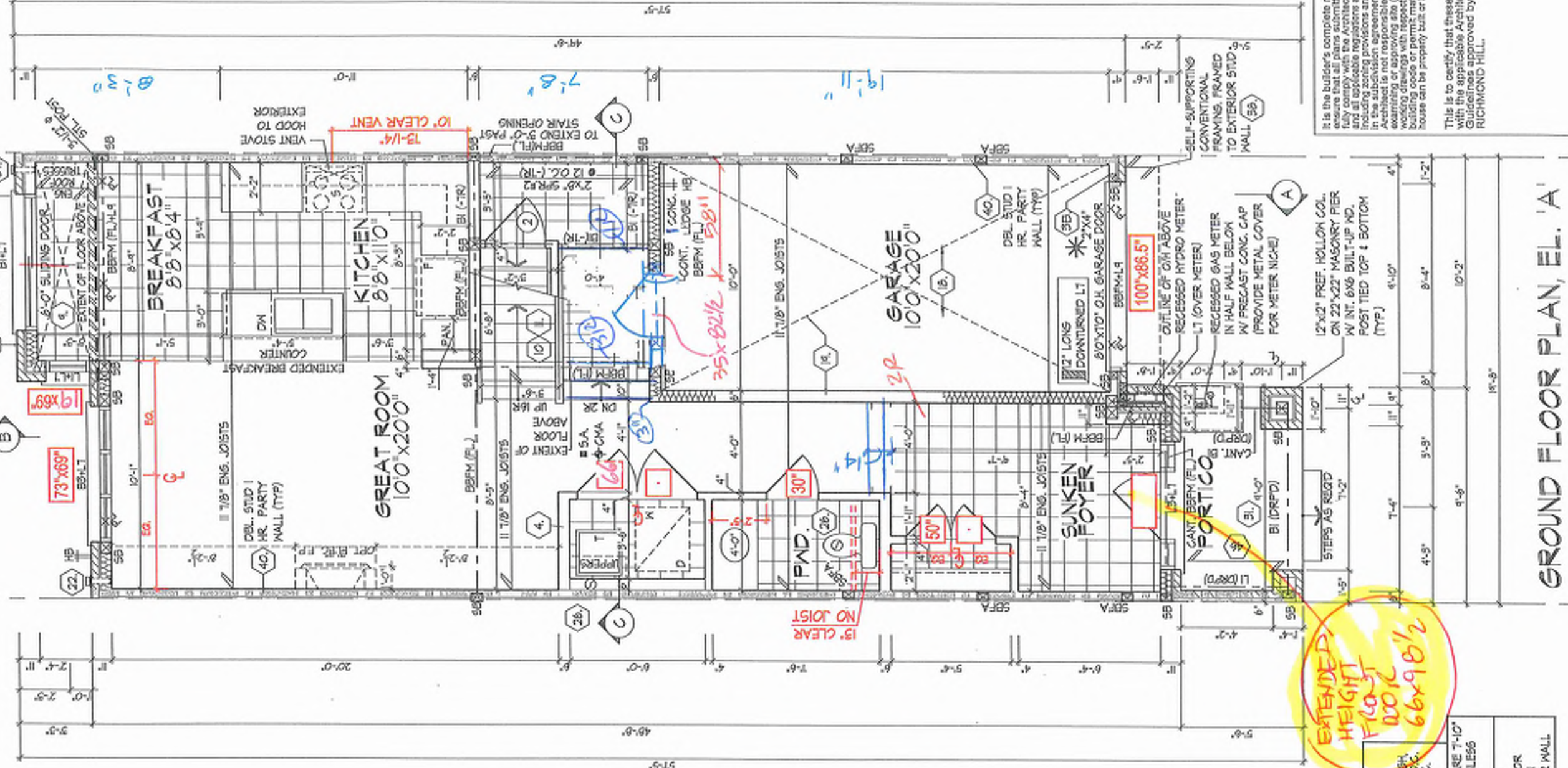
UNIT 2015
REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT
DESIGN ASSOCIATES INC.
www.huntassociates.com

Drawn By: KMM/KMM
Checked By: DSMM
Scale: 3/16"=1'-0"
File Number: 218094WT2015
Page Number: 2 of 25

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PART. GROUND FLOOR
PLAN, SUNKEN -SR FOR
GARAGE DOOR

INT. DOORS 8'3 1/2"
WINDOWS SEE FLEV.

EXTENDED
HEIGHT
FLOOR
DOOR
66x98 1/2

* 2"x4" STUD WALL ASSEMBLY EXCEEDING MAX. UNSUPPORTED HEIGHT FOR WALLS GREATER THAN 9'-10" TO MAX. 12'-0" HIGH - NO FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C. - NO FLOOR LOAD, DOUBLE UP EVERY STUD @ 12" O.C. PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.	REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS
ALL DOORS ON PLAN ARE 7'-10" HIGH TOP OF FRAME, UNLESS LABELED OTHERWISE.	PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Contractor is not responsible for any errors or omissions in the drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

GROUND FLOOR PLAN, EL. 'A'

BK 19-121

GROUND FLOOR PLAN, EL. 'A'

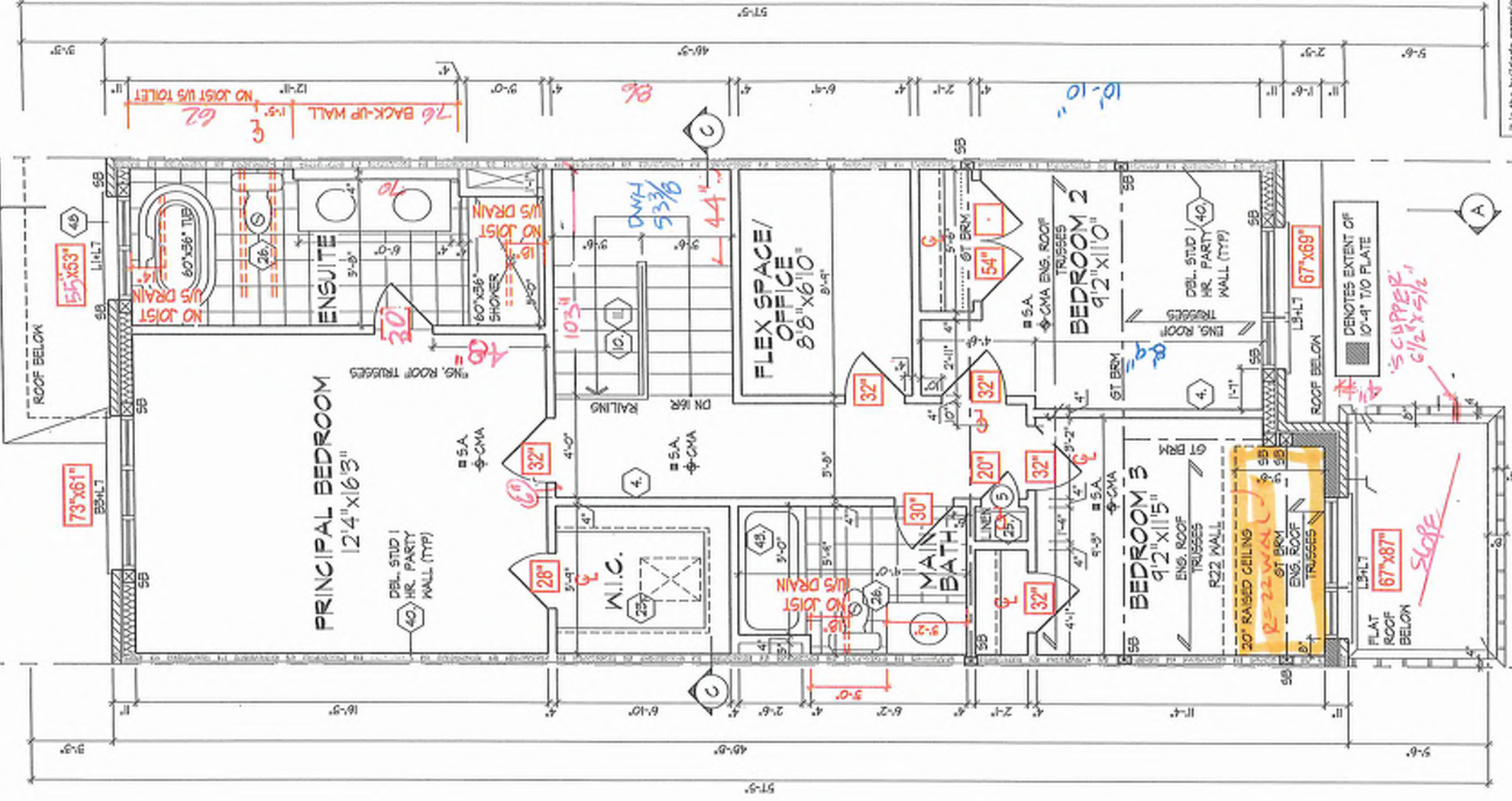
UNIT 2015
REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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Checked by: DSMM
Scale: 3/16"=1'-0"
Project: 218094W/T2015
Page: 3 of 25

21274
19856
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INT. DOORS 8'3 1/2"
WINDOWS SEE ELEV

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.

OPT. SECOND FLOOR PLAN,
EL. 'A' W/ FLEX SPACE
(EL. 'B' & 'C' SIMILAR)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Ordinance and all applicable regulations and any provisions in the building agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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BK 19-121

OPT. SECOND FLOOR PLAN, EL. 'A' W/ FLEX SPACE

UNIT 2015
REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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Corriele Moller
NAME
SIGNATURE
21274
19695

RESUBMISSION INFORMATION
HUNT DESIGN ASSOCIATES INC.

8806 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7328 P 800.737.7328

File Number
218094WT2015

Scale
3/16" = 1'-0"

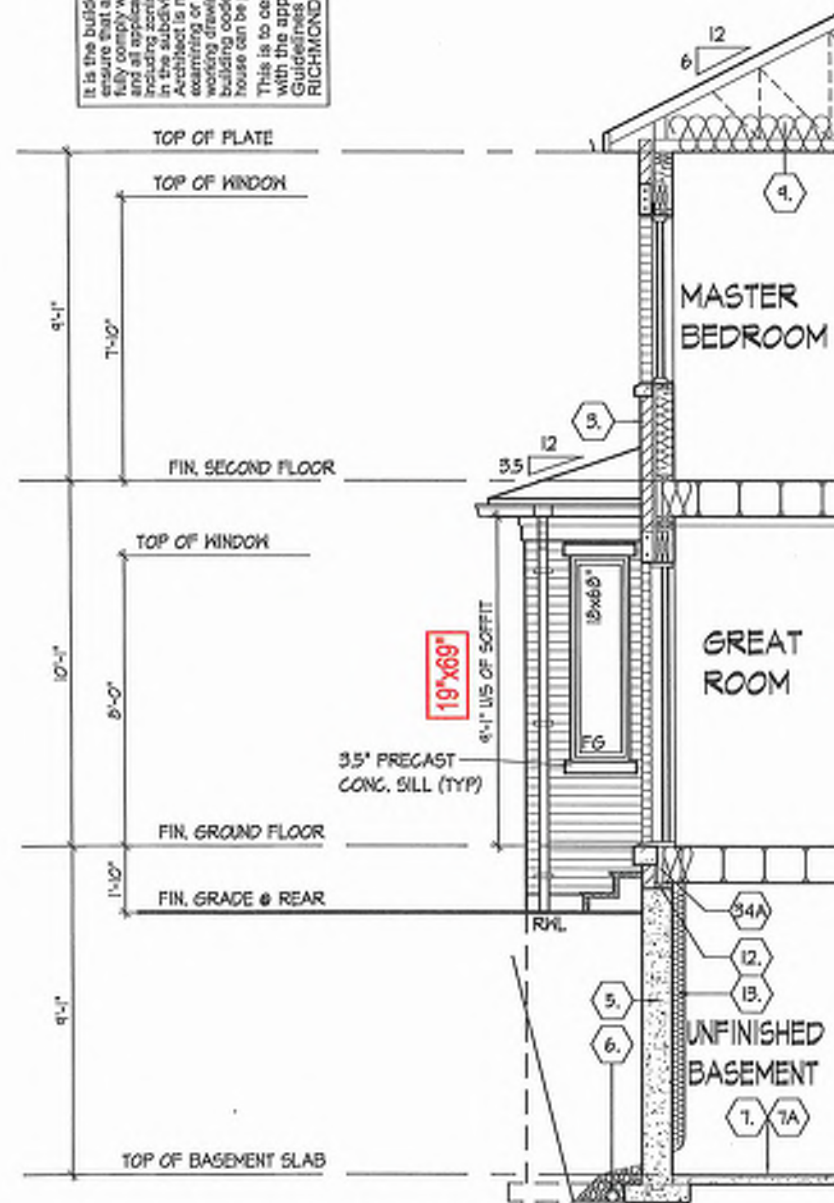
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KMM

Checked by
DSMM

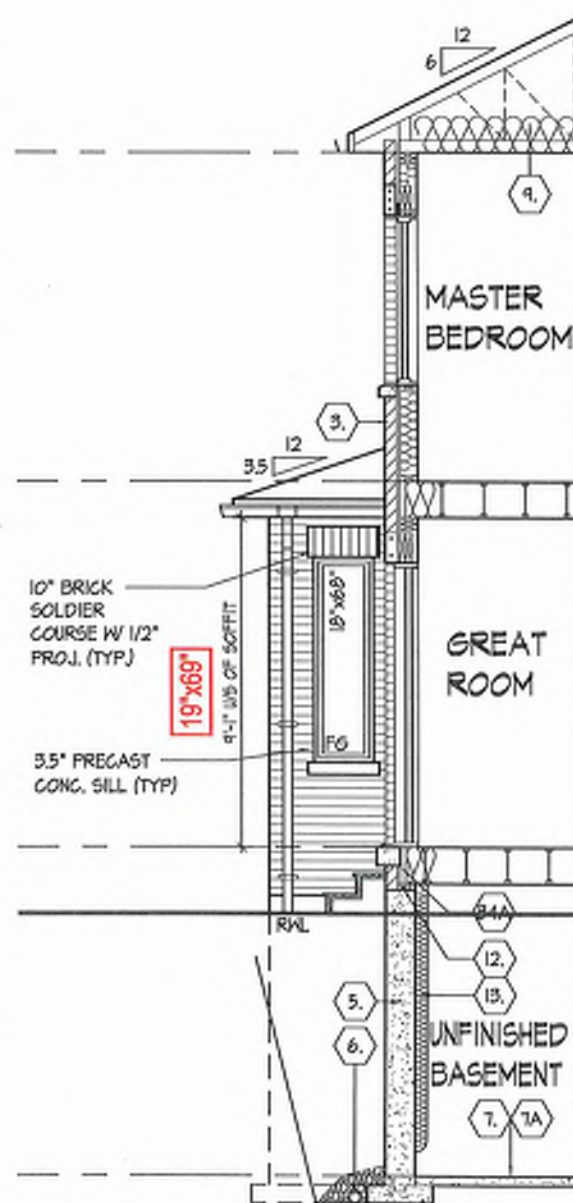
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PART. SECTION 'B'
FOR UPGRADED REAR
FOR ELEV. 'A'



PART.
SECTION 'B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

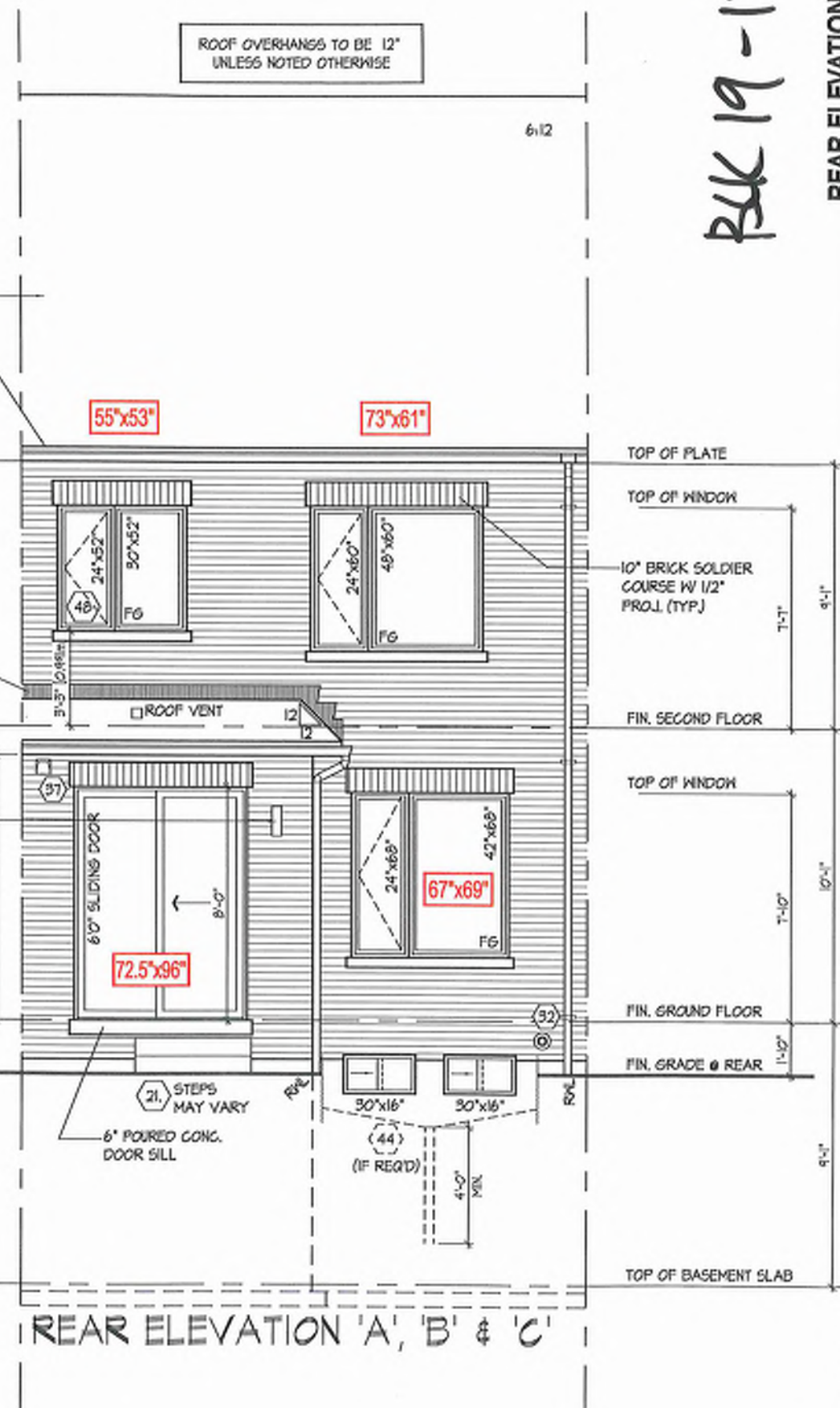
ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. GUTTER,
R.H.L., FASCIA BD. &
VENTED SOFFIT (TYP.)

PREFIN. MTL. FLASHING W/
CAULKING TO MATCH
MASONRY COLOUR (TYP.)

COACH LIGHT



PK 19-121

REAR ELEVATION 'A', 'B' & 'C'

UNIT 2015
REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

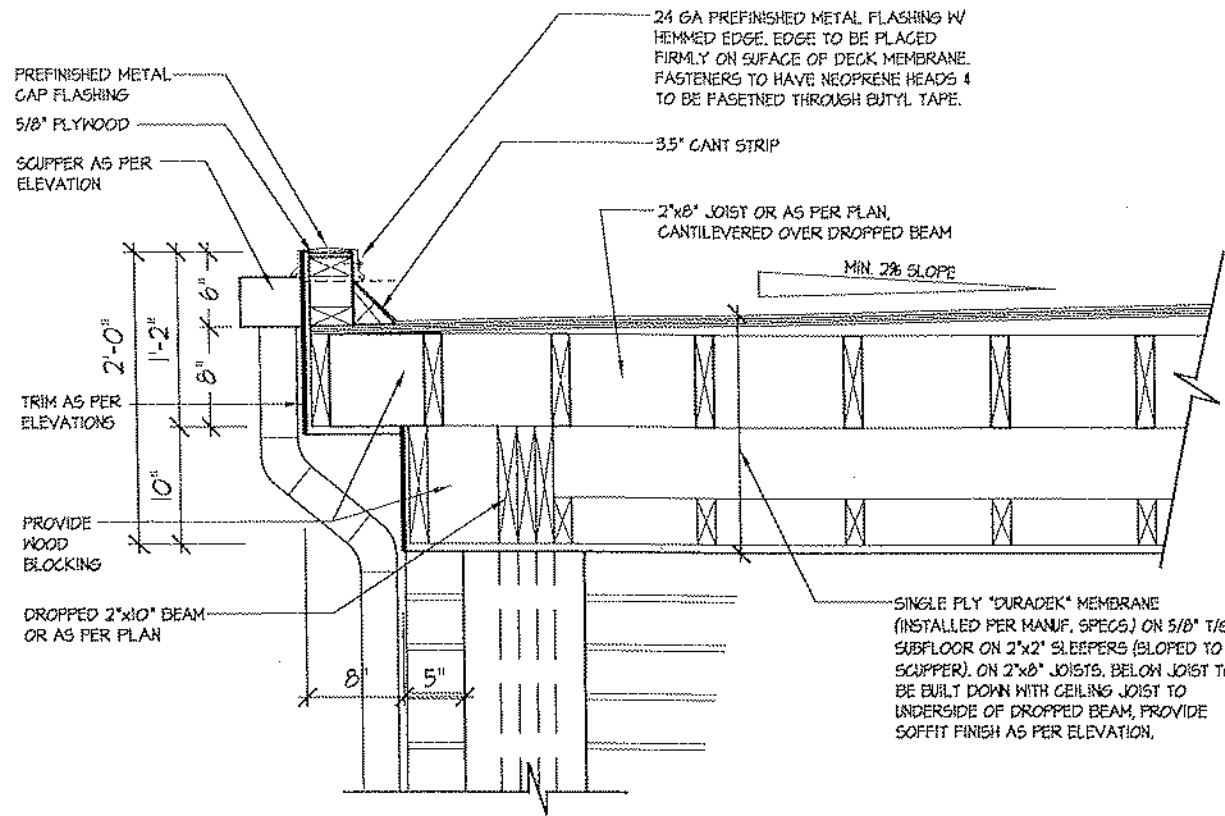
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DESIGN ASSOCIATES INC.

www.hunt-design.ca
8888 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

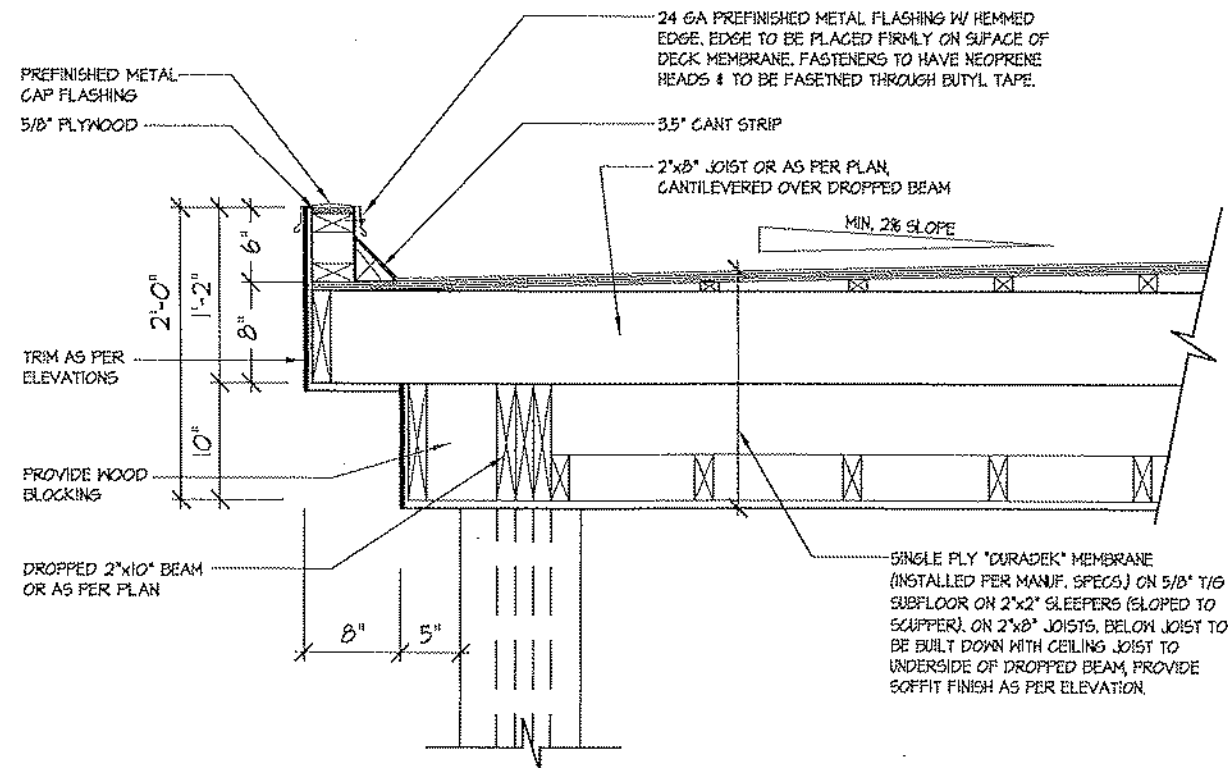
19685

HUNT DESIGN ASSOCIATES INC.

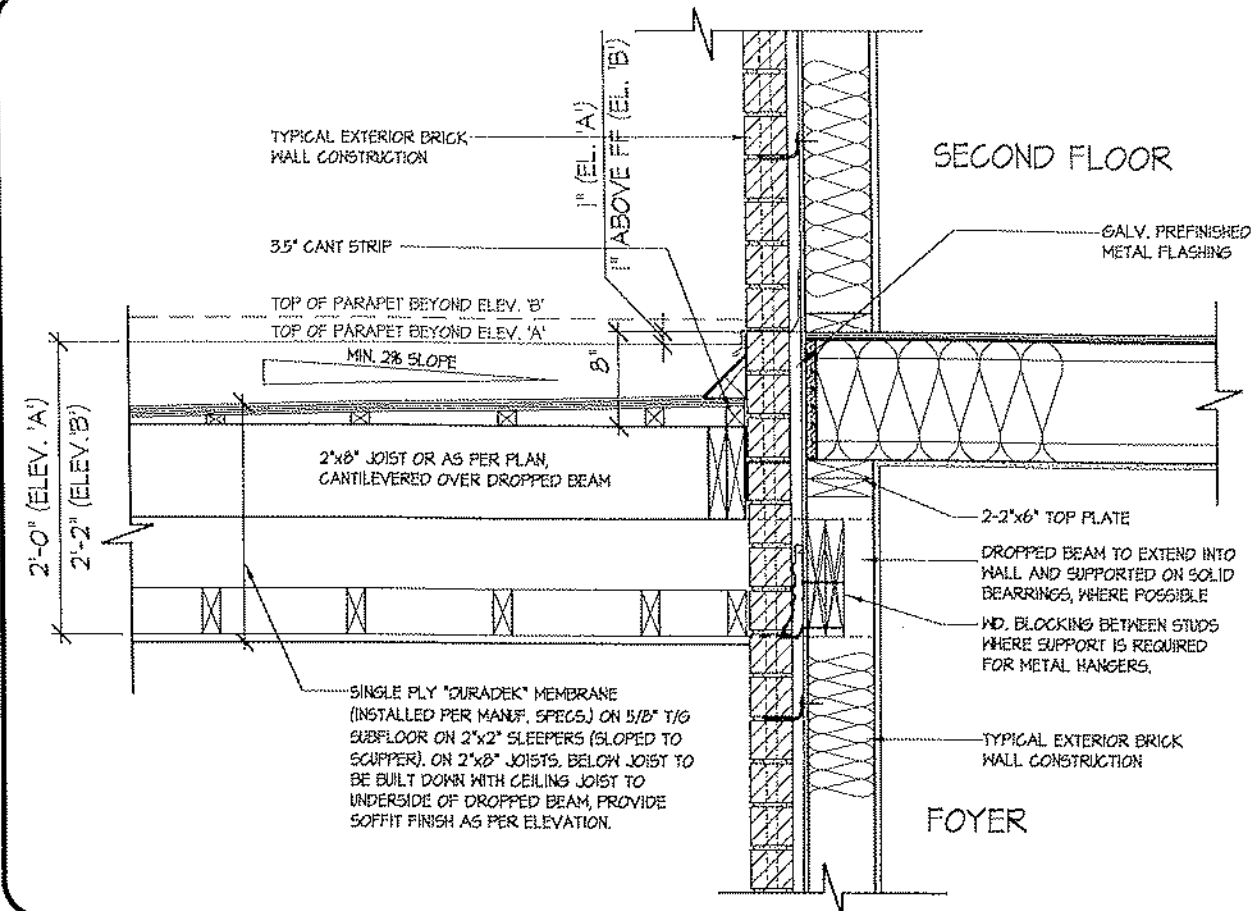
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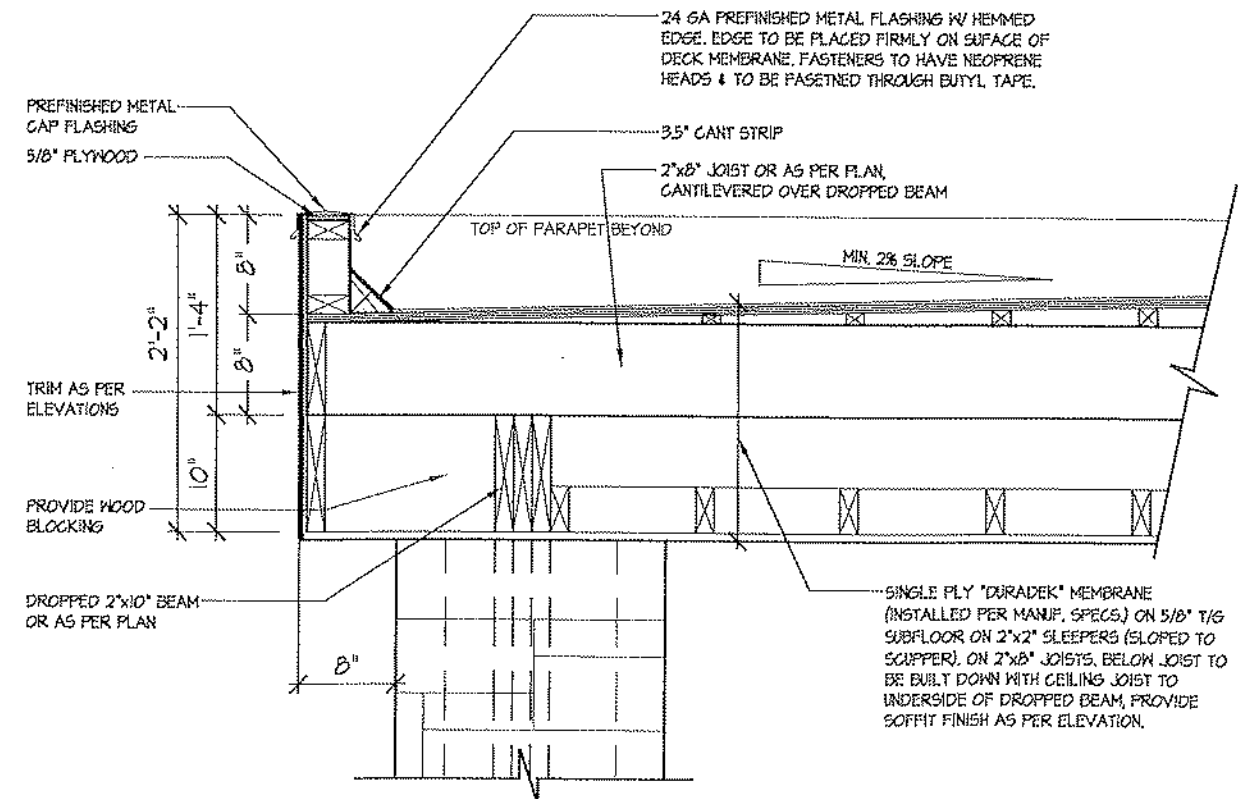
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)
3/4\"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4\"=1'-0"



3 FLAT ROOF DETAIL @ EXTERIOR WALL
3/4\"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/4\"=1'-0"

BK 19-121

FLAT ROOF DETAILS OVER COVERED PORCH UNIT

REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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21274
SIGNATURE
HUNT DESIGN ASSOCIATES INC.
19895

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File Number: 218094WT2015
Page Number: 27 of 29
F 905.737.5133 T 905.737.7826

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BUC 19-121

CROSS SECTION 'A-A'

ROYAL PINE HOMES - 218094
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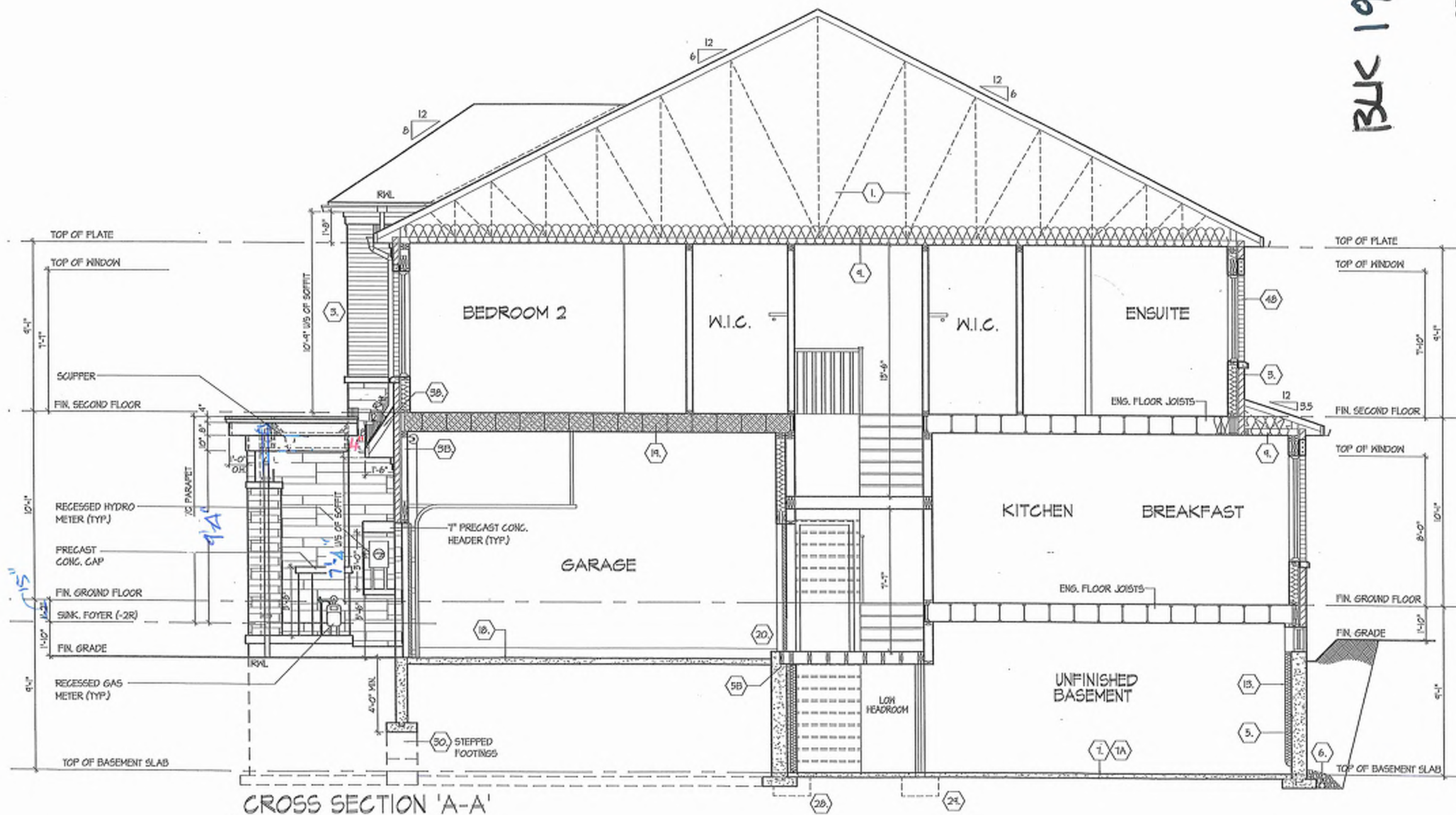
UNIT 2015
REV.2025.03.25

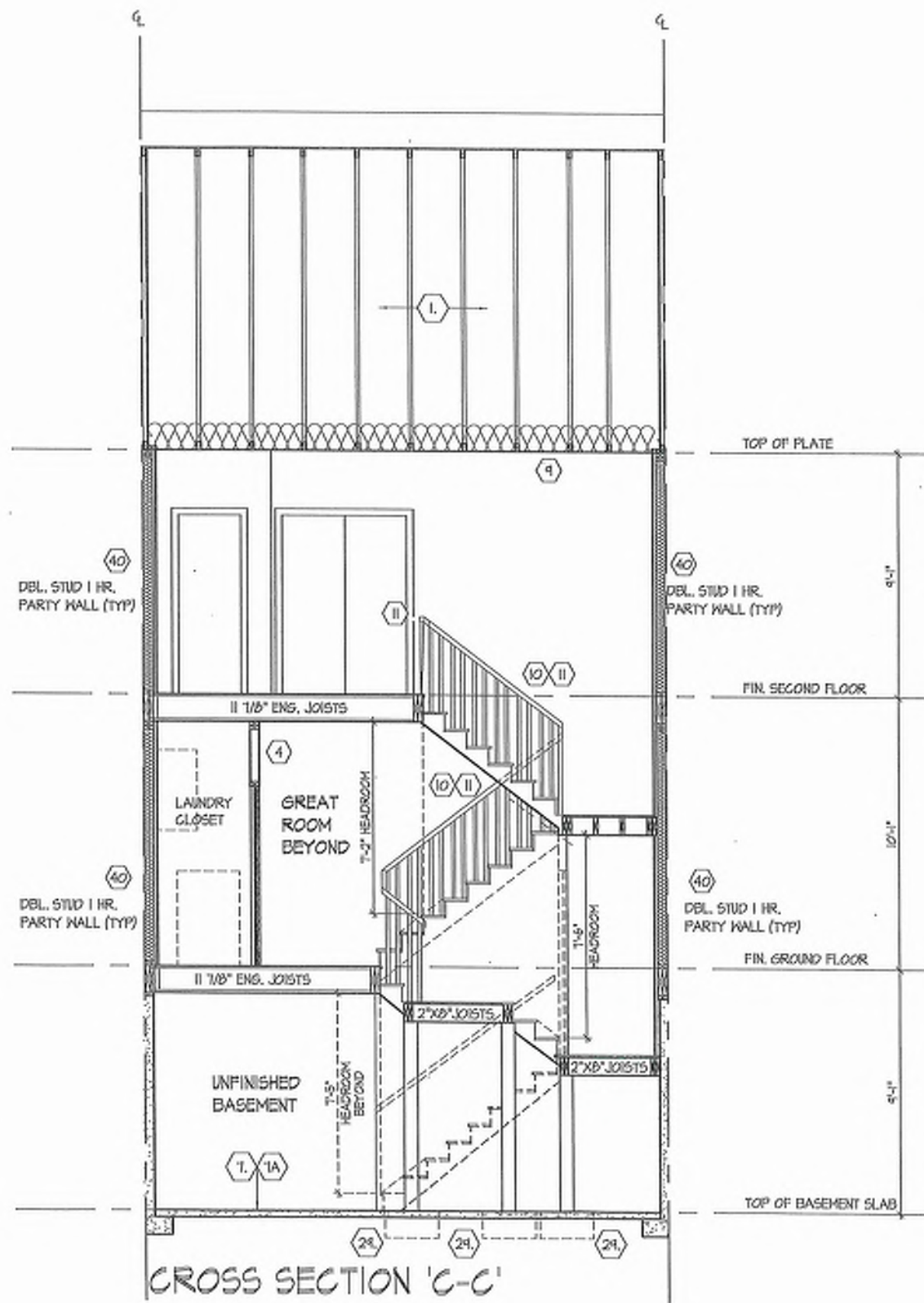
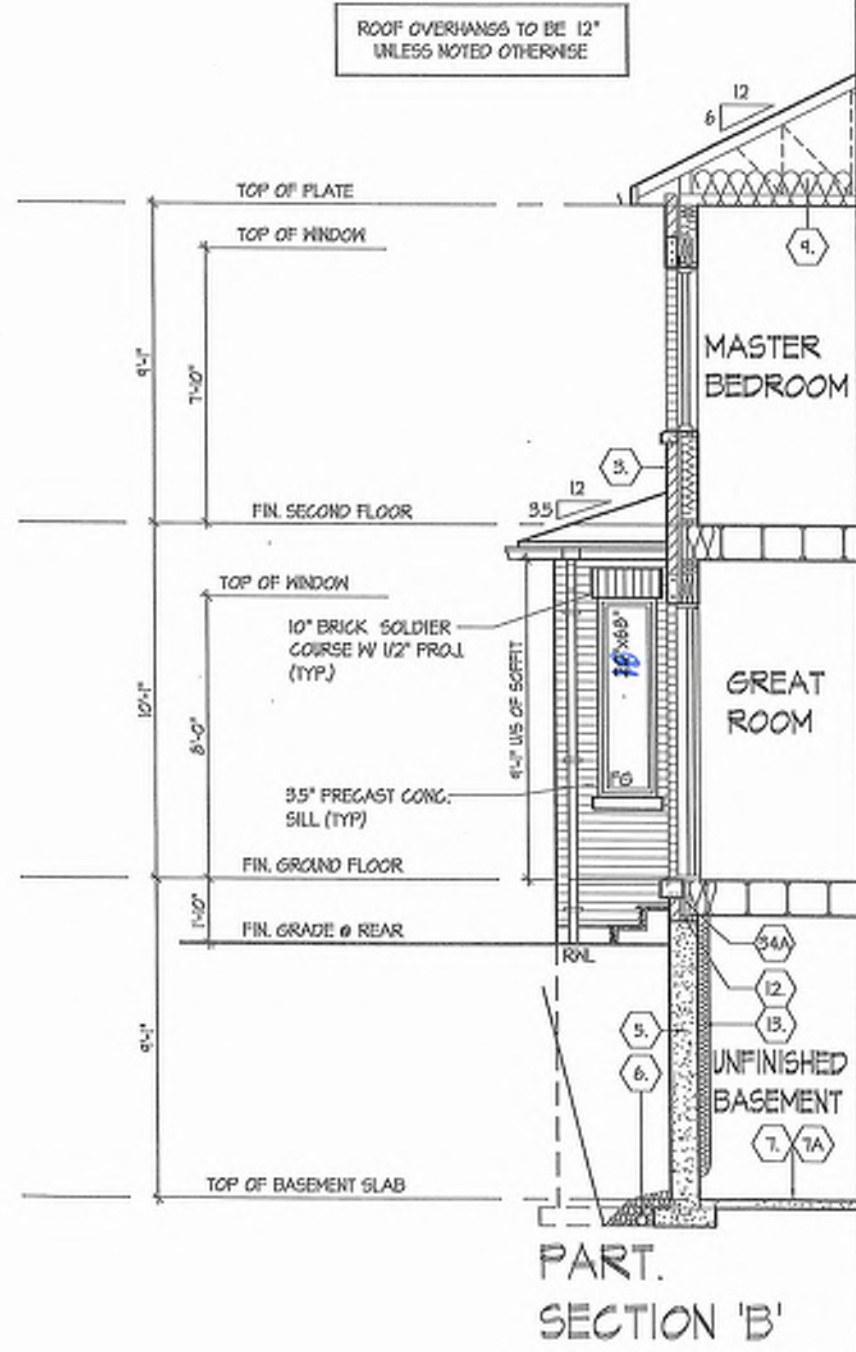
HUNT
DESIGN ASSOCIATES INC.

File Number: 218094WT2015 Page Number: 25 of 29

Drawn By: XXXXXXXXXX Checked By: DSJMM Scale: 3/16"=1'-0"

Domestic Mobile	21274
NAME	SCOTT
REGISTRATION INFORMATION	
DATE REGISTRATION EXPIRES	4/2002





BLK 19-121

PART CROSS SECTION 'B' & CROSS SECTION 'C-C'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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QUALIFICATION INFORMATION

NAME

REGISTRATION INFORMATION

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Drawn By

Checked By

Scale

218094WT2015

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REV. 2025.03.25

UNIT 2015

REV. 2025.03.25

cont. SECTION 1.0. CONSTRUCTION NOTES

40 1 HR. PARTY WALL (CONC. BLOCK) [SB-3] WALL TYPE 88a & 81b] 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x4" (2x48) VERTICAL WD. STRAPPING @ 24" (600) O.C. ON 8" (203) CONC. BLOCK FULL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2x2" (50x50) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40 1 HR. PARTY WALL (DOUBLE STUD) [SB-3] WALL TYPE W13c] 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2x4" (50x60) STUDS @ 16" (400) O.C., MIN. 1" (25) APART ON SEPARATE 2x4" (50x60) SILL PLATES. [2x6" (50x140) AS REQUIRED] FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A 2 HR. FIREWALL [SB-3] WALL TYPE 88a & 81b] 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (50x38) VERTICAL WOOD STRAPPING @ 24" (600) O.C. ON 8" (203) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION (2'x8") [9.28] STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28] AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. (9.27.3) ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS. ON 7/8" EXTERIOR TYPE SHEATHING USING CONTIN' INSULATION CONSTRUCTION PROVIDE APPROVED DRAINAGE MAT ON 7/8" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSE GLASS GOLD GYPSUM BRD.

41A STUCCO WALL CONSTRUCTION (2'x8") [9.28] CONTIN. INSUL. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28] AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. (9.27.3) ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS. ON 7/8" EXTERIOR TYPE SHEATHING USING CONTIN' INSULATION CONSTRUCTION PROVIDE APPROVED DRAINAGE MAT ON 7/8" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSE GLASS GOLD GYPSUM BRD.

41B STUCCO WALL @ GARAGE CONST. [9.28] STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28] AND APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER 1 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSE GLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. [9.23.10.1] & SECTION 1.1, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

42 UNSUPPORTED FOUNDATION WALLS [9.15.4.2] REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING) - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL

43 STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. [9.5.2.4.11] (REFER TO DETAILS) WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE OR A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. [9.5.10.1.13]. [9.14.8.3] SLOPED CEILING CONSTRUCTION [9.5.12] [9.1.16]. [9.23.4.2] 2x12" (50x280) ROOF JOISTS @ 16" (400) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2x2" (50x38) PLURINS @ 16" (400) O.C. PERPENDICULAR TO ROOF JOIST PLURINS NOT REQ. W/ SPRAY FOAM) W/ INSULATION BETWEEN JOIST PLURINS NOT REQ. VAPOR BARRIER 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (9.32 RS).

44 WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE OR A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. [9.5.10.1.13]. [9.14.8.3] SLOPED CEILING CONSTRUCTION [9.5.12] [9.1.16]. [9.23.4.2] 2x12" (50x280) ROOF JOISTS @ 16" (400) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2x2" (50x38) PLURINS @ 16" (400) O.C. PERPENDICULAR TO ROOF JOIST PLURINS NOT REQ. W/ SPRAY FOAM) W/ INSULATION BETWEEN JOIST PLURINS NOT REQ. VAPOR BARRIER 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (9.32 RS).

45 FLAT ROOF/BALCONY CONSTRUCTION WATERPROOFING MEMBRANE [9.28.11]. [9.26.16]. [9.26.18] FULLY ADHERED TO 5/8" (15.9) 1/8" EXTERIOR GRADE PLYWOOD SHEATHING ON 2x2" (50x38) PLURINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAD PERPENDICULAR TO 2x8" (50x140) FLOOR JOISTS @ 16" (400) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 1" THICK DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (600) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT [9.23.2.3]. REMOVE CURB WHERE REQ.

46 BALCONY CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2x4" (50x60) PT. DECKING W/ 1/4" (6.4) GAPE LAD FLAT PARALLEL TO JOISTS ON 2x4" (50x60) PT. SLEEPERS @ 12" (300) O.C. LAD FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47 BARREL VAULT CONSTRUCTION CANTILEVERED 2x4" (50x60) SPACERS LAD FLAT ON 2x10" (50x235) SPR. #2 ROOF JOIST NAIL TO BUILT-UP 5x4" (19) PLYWOOD HEADER PROFILED FOR BARREL SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

48 EGRESS WINDOW ABOVE GRADE [9.5.10.1.1]. [9.5.8.1.15] EVERY FLOOR WITH A BEDROOM, EXCEPT WHERE A DOOR IS PROVIDED W/ DIRECT ACCESS TO THE EXTERIOR, SHALL HAVE A MINIMUM OF ONE WINDOW WITH A MIN SILL HEIGHT OF 3'-0" (900) TO A MAX 3'-4" (1000) FROM FINISHED FLOOR. THIS WINDOW SHALL HAVE AN UNOBSTRUCTED OPEN PORTION OF 3.77 SQ. FT. @ 35% (2) WITH NO DIMENSION LESS THAN 1'-3" (38) AND BE FREE OF ANY LIMITING HARDWARE AND USED AS MEANS OF EGRESS. SEE SECTION 2.0 GENERAL NOTES. 2.1 WINDOWS

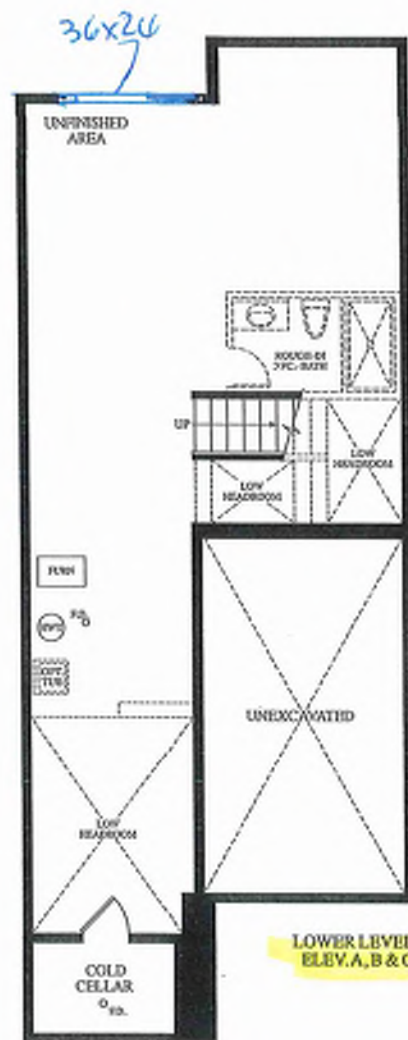
SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFORMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

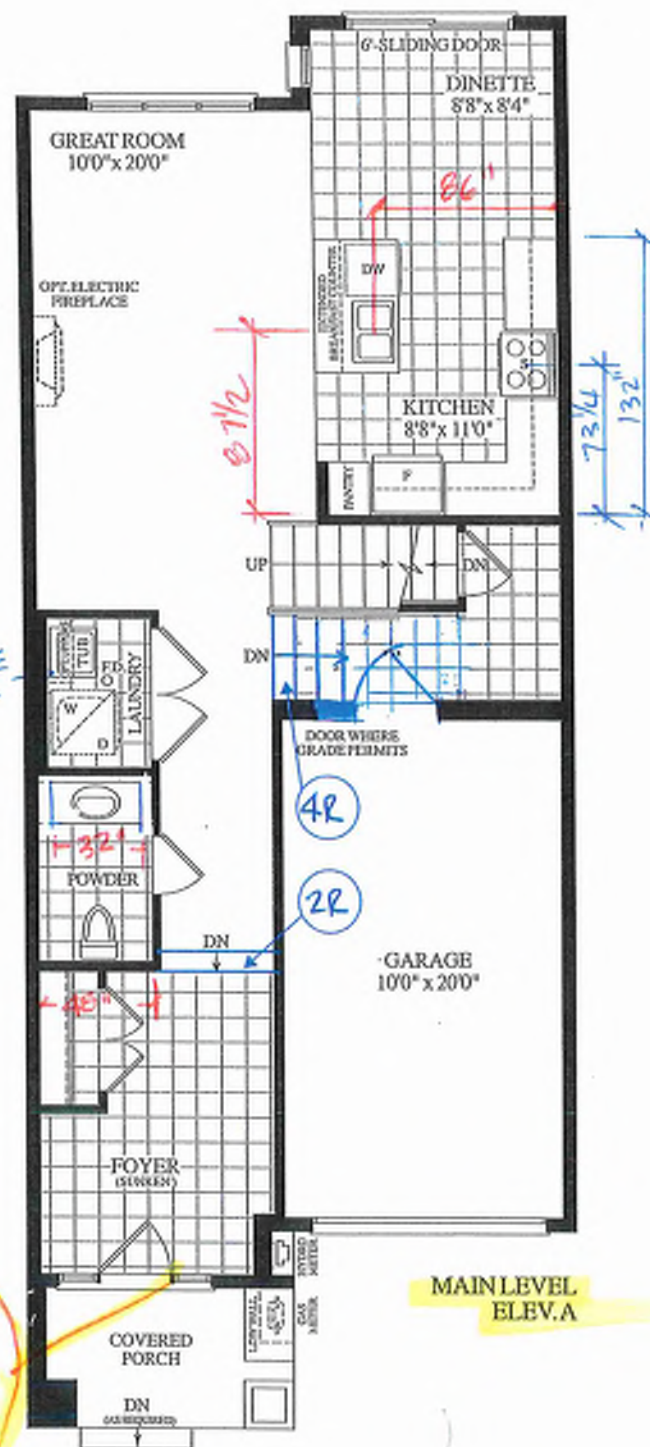
SIZE & SPACING OF STUDS: (O.B.C. REFERENCE - TABLE 9.23.10.1)	
MIN. STUD SIZE, s (mm)	SUPPORTED LOADS (EXTERIOR)
2x4"	ROOF W/ OR W/6 ATTIC
2x6"	ROOF W/ OR W/6 ATTIC & 1 FLOOR ATTIC & 2 FLOOR ATTIC & 3 FLOOR
2x8"	MAX. STUD SPACING, s (mm) O.C.
2x10"	MAX. UNSUPPORTED HGT., h (m)
2x12"	N/A
2x14"	12" (300)
2x16"	16" (400)
2x18"	20" (500)
2x20"	24" (600)
2x22"	28" (700)
2x24"	32" (800)
2x26"	36" (900)
2x28"	40" (1000)
2x30"	44" (1100)
2x32"	48" (1200)
2x34"	52" (1300)
2x36"	56" (1400)
2x38"	60" (1500)
2x40"	64" (1600)
2x42"	68" (1700)
2x44"	72" (1800)
2x46"	76" (1900)
2x48"	80" (2000)
2x50"	84" (2100)
2x52"	88" (2200)
2x54"	92" (2300)
2x56"	96" (2400)
2x58"	100" (2500)
2x60"	104" (2600)
2x62"	108" (2700)
2x64"	112" (2800)
2x66"	116" (2900)
2x68"	120" (3000)
2x70"	124" (3100)
2x72"	128" (3200)
2x74"	132" (3300)
2x76"	136" (3400)
2x78"	140" (3500)
2x80"	144" (3600)
2x82"	148" (3700)
2x84"	152" (3800)
2x86"	156" (3900)
2x88"	160" (4000)
2x90"	164" (4100)
2x92"	168" (4200)
2x94"	172" (4300)
2x96"	176" (4400)
2x98"	180" (4500)
2x100"	184" (4600)
2x102"	188" (4700)
2x104"	192" (4800)
2x106"	196" (4900)
2x108"	200" (5000)
2x110"	204" (5100)
2x112"	208" (5200)
2x114"	212" (5300)
2x116"	216" (5400)
2x118"	220" (5500)
2x120"	224" (5600)
2x122"	228" (5700)
2x124"	232" (5800)
2x126"	236" (5900)
2x128"	240" (6000)
2x130"	244" (6100)
2x132"	248" (6200)
2x134"	252" (6300)
2x136"	256" (6400)
2x138"	260" (6500)
2x140"	264" (6600)
2x142"	268" (6700)
2x144"	272" (6800)
2x146"	276" (6900)
2x148"	280" (7000)
2x150"	284" (7100)
2x152"	288" (7200)
2x154"	292" (7300)
2x156"	296" (7400)
2x158"	300" (7500)
2x160"	304" (7600)
2x162"	308" (7700)
2x164"	312" (7800)
2x166"	316" (7900)
2x168"	320" (8000)
2x170"	324" (8100)
2x172"	328" (8200)
2x174"	332" (8300)
2x176"	336" (8400)
2x178"	340" (8500)
2x180"	344" (8600)
2x182"	348" (8700)
2x184"	352" (8800)
2x186"	356" (8900)
2x188"	360" (9000)
2x190"	364" (9100)
2x192"	368" (9200)
2x194"	372" (9300)
2x196"	376" (9400)
2x198"	380" (9500)
2x200"	384" (9600)
2x202"	388" (9700)
2x204"	392" (9800)
2x206"	396" (9900)
2x208"	400" (10000)
2x210"	404" (10100)
2x212"	408" (10200)
2x214"	412" (10300)
2x216"	416" (10400)
2x218"	420" (10500)
2x220"	424" (10600)
2x222"	428" (10700)
2x224"	432" (10800)
2x226"	436" (10900)
2x228"	440" (11000)
2x230"	444" (11100)
2x232"	448" (11200)
2x234"	452" (11300)
2x236"	456" (11400)
2x238"	460" (11500)
2x240"	464" (11600)
2x242"	468" (11700)
2x244"	472" (11800)
2x246"	476" (11900)
2x248"	480" (12000)
2x250"	484" (12100)
2x252"	488" (12200)
2x254"	492" (12300)
2x256"	496" (12400)
2x258"	500" (12500)
2x260"	504" (12600)
2x262"	508" (12700)
2x264"	512" (12800)
2x266"	516" (12900)
2x268"	520" (13000)
2x270"	524" (13100)
2x272"	528" (13200)
2x274"	532" (13300)
2x276"	536" (13400)
2x278"	540" (13500)
2x280"	544" (13600)
2x282"	548" (13700)
2x284"	552" (13800)
2x286"	556" (13900)
2x288"	560" (14000)
2x290"	564" (14100)
2x292"	568" (14200)
2x294"	572" (14300)
2x296"	576" (14400)
2x298"	580" (14500)
2x300"	584" (14600)
2x302"	588" (14700)
2x304"	592" (14800)
2x306"	596" (14900)
2x308"	600" (15000)
2x310"	604" (15100)
2x312"	608" (15200)
2x314"	612" (15300)
2x316"	616" (15400)
2x318"	620" (15500)
2x320"	624" (15600)
2x322"	628" (15700)
2x324"	632" (15800)
2x326"	636" (15900)
2x328"	640" (16000)
2x330"	644" (16100)
2x332"	648" (16200)
2x334"	652" (16300)
2x336"	656" (16400)
2x338"	660" (16500)
2x340"	664" (16600)
2x342"	668" (16700)
2x344"	672" (16800)
2x346"	676" (16900)
2x348"	680" (17000)
2x350"	684" (17100)
2x352"	688" (17200)
2x354"	692" (17300)
2x356"	696" (17400)
2x358"	700" (17500)
2x360"	704" (17600)
2x362"	708" (17700)
2x364"	712" (17800)
2x366"	716" (17900)
2x368"	720" (18000)
2x370"	724" (18100)
2x372"	728" (18200)
2x374"	732" (18300)
2x376"	736" (18400)
2x378"	740" (18500)
2x380"	744" (18600)
2x382"	748" (18700)
2x384"	752" (18800)
2x386"	756" (18900)
2x388"	760" (19000)
2x390"	764" (19100)
2x392"	768" (19200)
2x394"	772" (19300)
2x396"	776" (19400)
2x398"	780" (19500)
2x400"	784" (19600)
2x402"	788" (19700)
2x404"	792" (19800)
2x406"	796" (19900)
2x408"	800" (20000)
2x410"	804" (20100)
2x412"	808" (20200)
2x414"	812" (20300)
2x416"	816" (20400)
2x418"	820" (20500)
2x420"	824" (20600)
2x422"	828" (20700)
2x424"	832" (20800)
2x426"	836" (20900)
2x428"	840" (21000)
2x430"	844" (21100)
2x432"	848" (21200)
2x434"	852" (21300)
2x436"	856" (21400)
2x438"	860" (21500)
2x440"	864" (21600)
2x442"	868" (21700)
2x444"	872" (21800)
2x446"	876" (21900)
2x448"	880" (22000)
2x450"	884" (22100)
2x452"	888" (22200)
2x454"	892" (22300)
2x456"	896" (22400)
2x458"	900" (22500)
2x460"	904" (22600)
2x462"	908" (22700)
2x464"	912" (22800)
2x466"	916" (22900)
2x468"	920" (23000)
2x470"	924" (23100)
2x472"	928" (23200)
2x474"	932" (23300)
2x476"	936" (23400)
2x478"	940" (23500)
2x480"	944" (23600)
2x482"	948" (23700)
2x484"	952" (23800)
2x486"	956" (23900)
2x488"	960" (24000)
2x490"	964" (24100)
2x492"	968" (24200)
2x494"	972" (24300)
2x496"	976" (24400)
2x498"	980" (24500)
2x500"	984" (24600)
2x502"	988" (24700)
2x504"	992" (24800)
2x506"	996" (24900)
2x508"	1000" (25000)
2x510"	1004" (25100)
2x512"	1008" (25200)
2x514"	1012" (25300)
2x516"	1016" (25400)
2x518"	1020" (25500)
2x520"	1024" (25600)
2x522"	1028" (25700)
2x524"	1032" (25800)
2x526"	1036" (25900)
2x528"	1040" (26000)
2x530"	1044" (26100)
2x532"	1048" (26200)
2x534"	1052" (26300)
2x536"	1056" (26400)
2x538"	1060" (26500)
2x540"	1064" (26600)
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2x552"	1088" (27200)
2x554"	1092" (27300)
2x556"	1096" (27400)
2x558"	1100" (27500)
2x560"	1104" (27600)
2x562"	1108" (27700)
2x564"	1112" (27800)
2x566"	1116" (27900)
2x568"	1120" (28000)
2x570"	1124" (28100)
2x572"	1128" (28200)
2x574"	1132" (28300)
2x576"	1136" (28400)
2x578"	1140" (28500)
2x580"	1144" (28600)
2x582"	1148" (28700)
2x584"	1152" (28800)
2x586"	1156" (28900)
2x588"	1160" (29000)
2x590"	1164" (29100)
2x592"	1168" (29200)
2x594"	1172" (29300)
2x596"	1176" (29400)
2x598"	1180" (29500)
2x600"	1184" (29600)
2x602"	1188" (29700)
2x604"	1192" (29800)
2x606"	1196" (29900)
2x608"	1200" (30000)
2x610"	1204" (30100)
2x612"	1208" (30200)
2x614"	1212" (30300)
2x616"	1216" (30400)
2x618"	1220" (30500)
2x620"	1224

BAYVIEW HEIGHTS
RICHMOND HILL

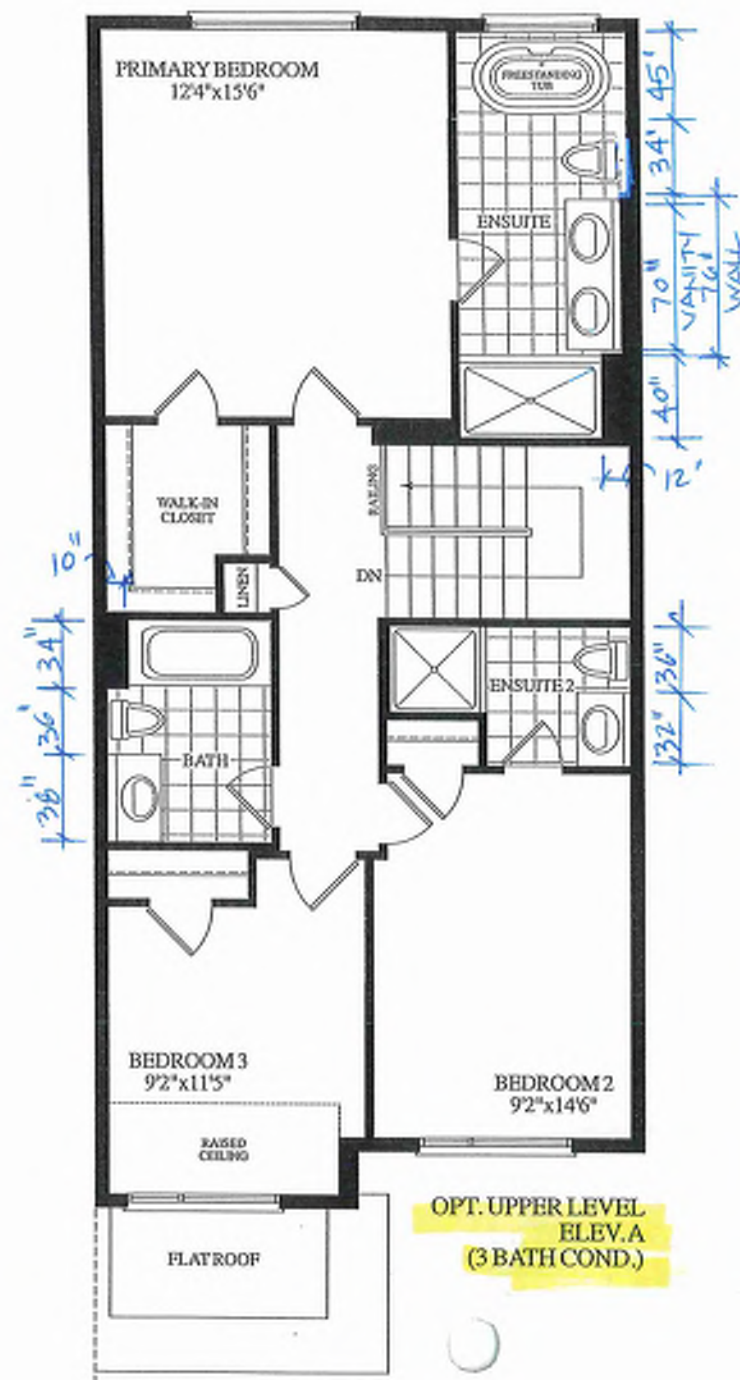


LOWER LEVEL
ELEV. A, B & C

EXTENDED
HEIGHT.
FRONT
DOOR
66x98 1/2



MAIN LEVEL
ELEV. A

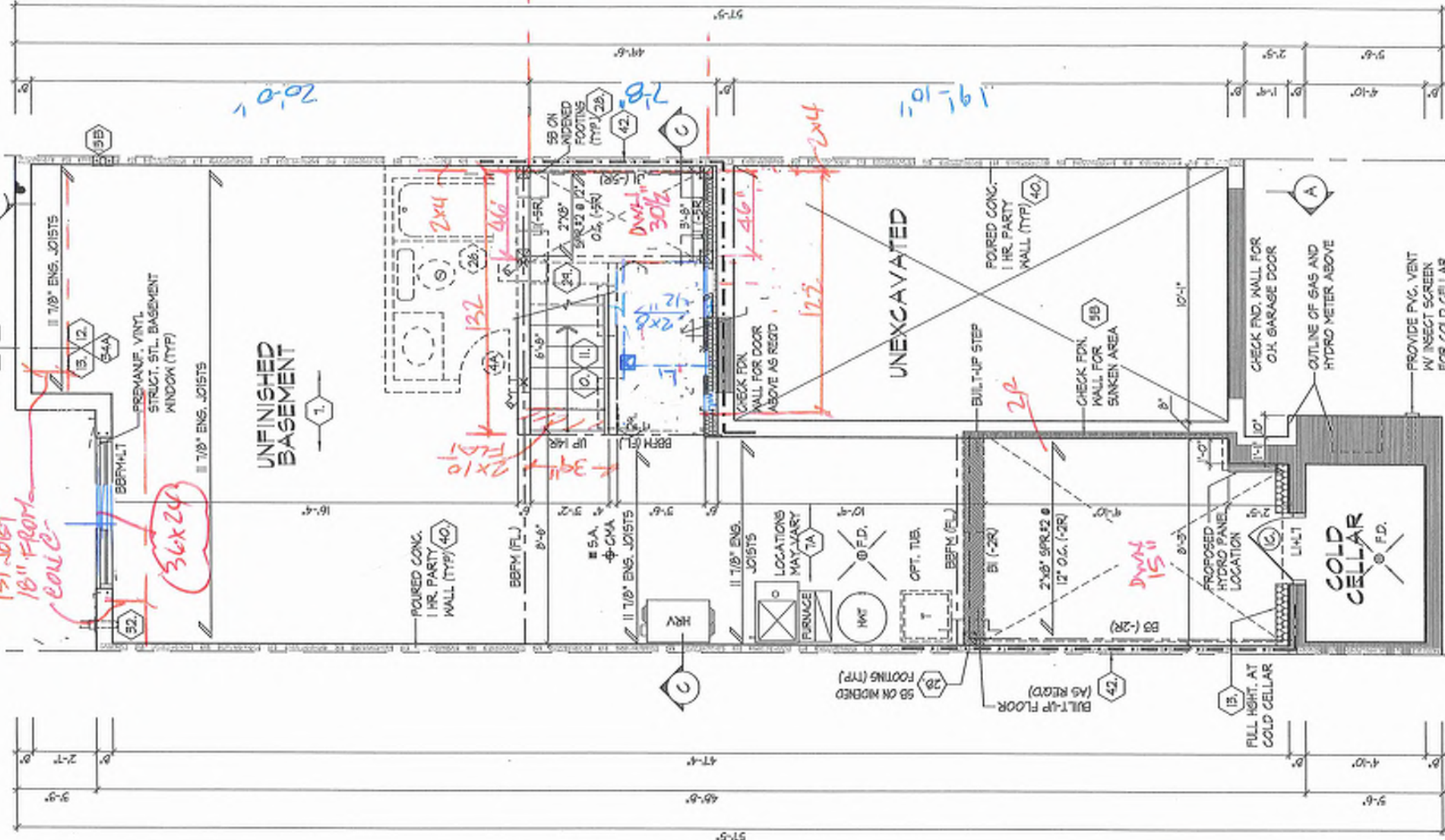


OPT. UPPER LEVEL
ELEV. A
(3 BATH COND.)

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E.O.E.

INVENTORY HOUSE

BLK. 19 TH. 122	20-15 THE ANNE	EL. A	3 BDRM 3 BATH	1685 SQ.FT.
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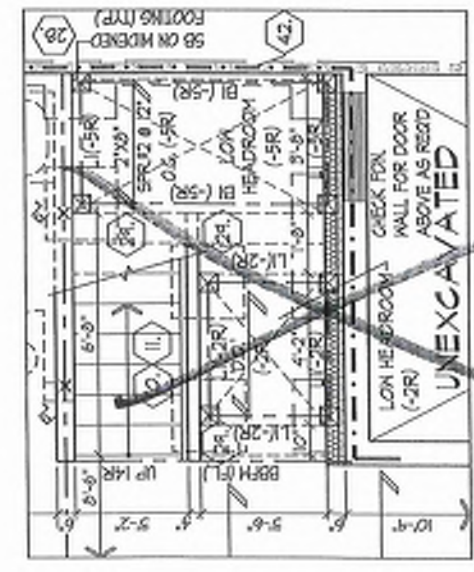


It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving data (setback) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly sited or located on its lot.

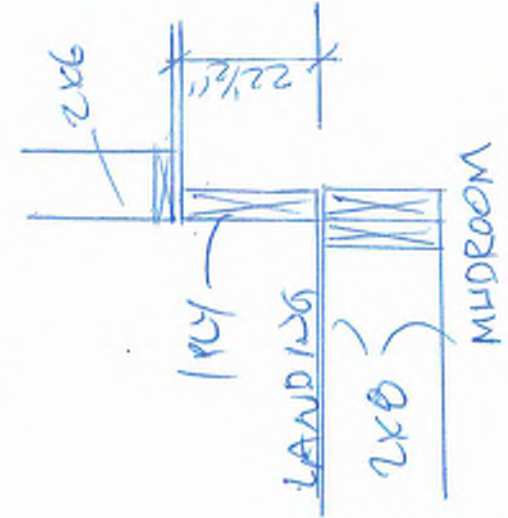
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

BASEMENT PLAN, EL. 'A', 'B' & 'C'

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	APPROX. LOCATION OF FURNACE AND HOT WATER TANK
	PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL



PART. BASEMENT PLAN, SUNKEN -5R FOR GARAGE DOOR



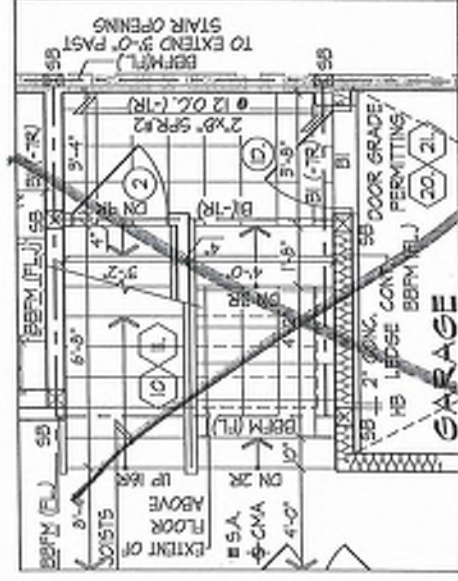
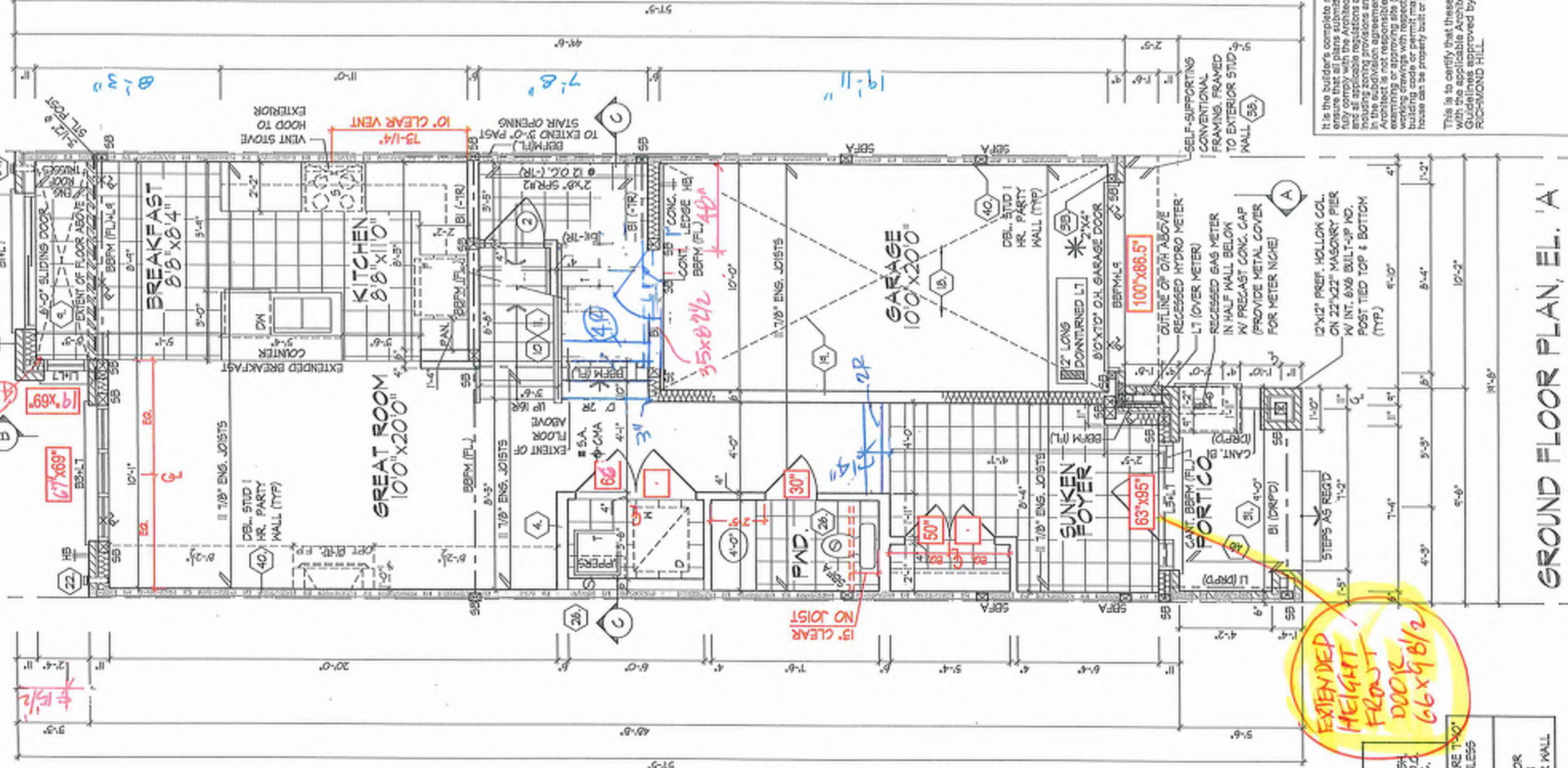
BLK 19-122

BASEMENT PLAN, ELEV. 'A', 'B' & 'C'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT
DESIGN ASSOCIATES INC.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.



PART. GROUND FLOOR -5R FOR
PLAN SUNKEN -5R FOR
GARAGE DOOR

INT. DOORS 8 3/4"
WINDOWS SEE ELEV.

* 2"x4" STUD WALL ASSEMBLY EXCEEDING MAX. UNSUPPORTED HEIGHT FOR WALLS GREATER THAN 9'-0" TO MAX. 12'-0" HIGH - W/ FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C. - W/ FLOOR LOAD DOUBLE UP EVERY STUD @ 12" O.C. PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.	REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS
ALL DOORS ON PLAN ARE 1'-0" HIGH TOP OF FRAME UNLESS LABELED OTHERWISE.	PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

EXTENDED
HEIGHT
DOOR
66 x 9 8/12

GROUND FLOOR PLAN, EL. 'A'

BLK 19-122

GROUND FLOOR PLAN, EL. 'A'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT
DESIGN ASSOCIATES INC.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

UNIT 2015
REV. 2025.03.25

Page Number
3 of 25

Drawn By
KMM

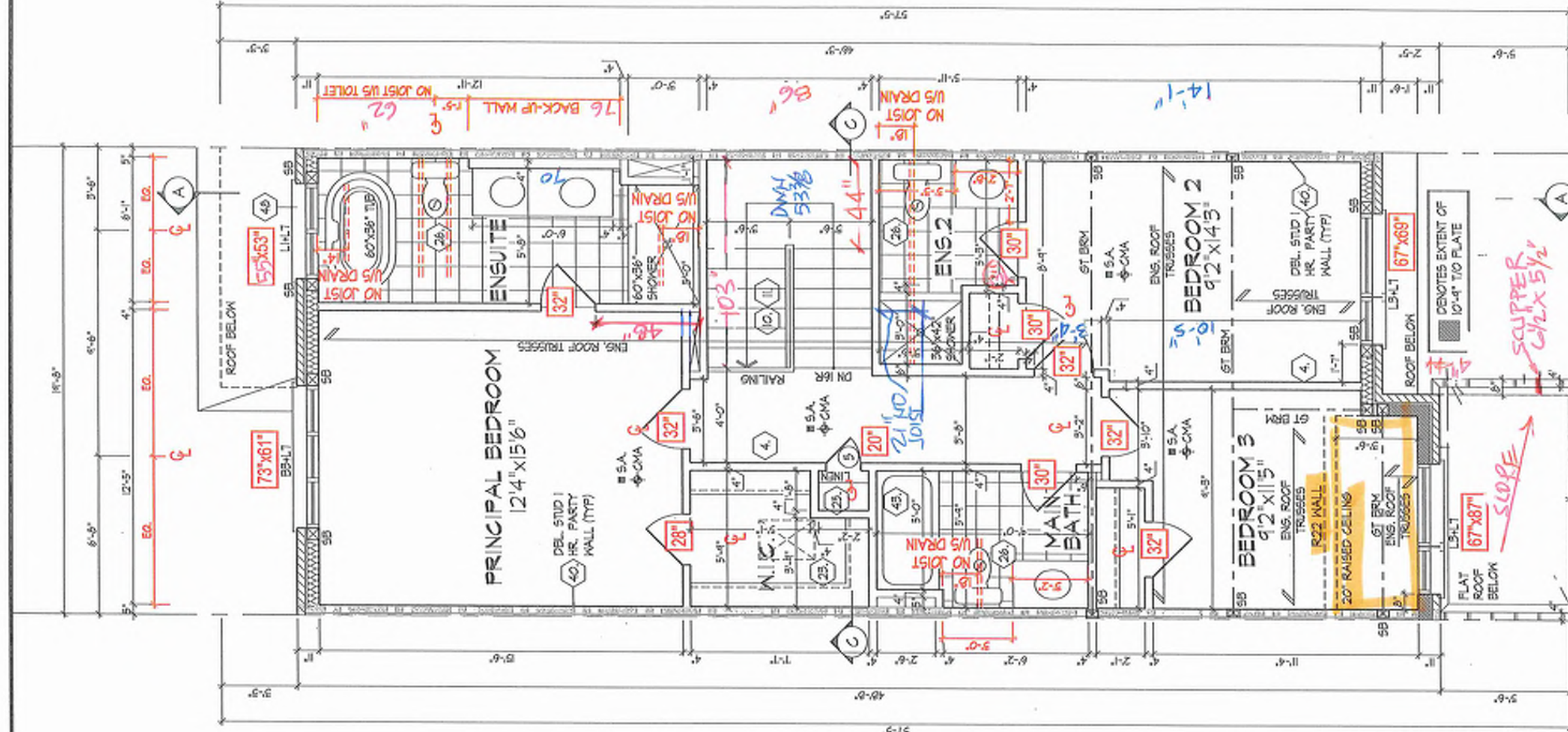
Checked By
DSMM

Scale
3/16"=1'-0"

21274
SIGNATURE
DOMINIC MCELROY

REGISTRATION INFORMATION
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19605

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

OPT. SECOND FLOOR PLAN, EL. 'A' W/ 3 BATHS

BLK 19-122

OPT. SECOND FLOOR PLAN, EL. 'A' W/ 3 BATHS

UNIT 2015
REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

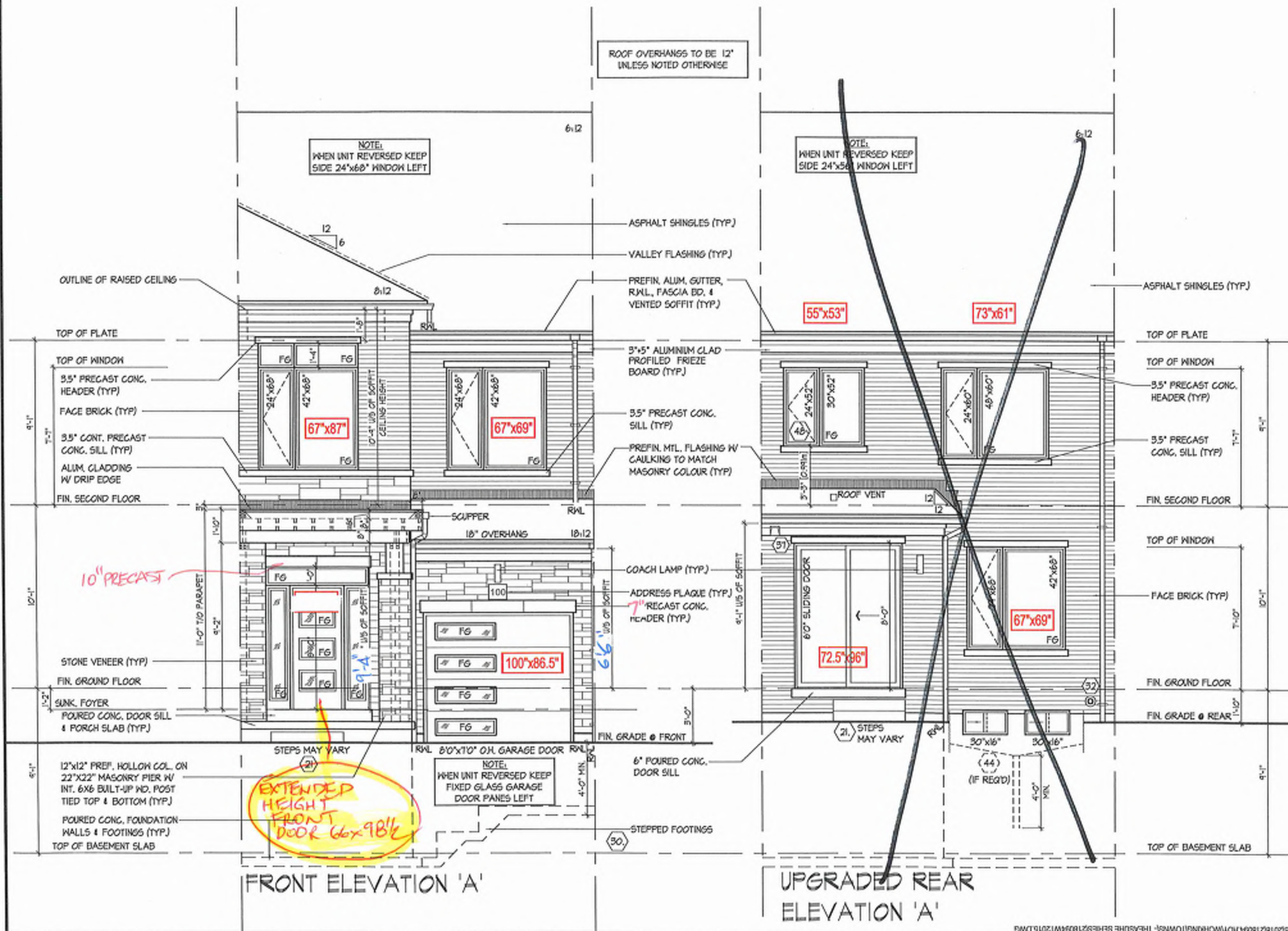
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Qualification Information
Domestic Mobile
21274
SIGNATURE
15695
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218094WT2015
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Drawn By
KMMMM
Checked By
DSMM
Date
3/16/25

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ROOF PLAN
EL. 'A'
N.T.S.

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FRONT ELEV. 'A' & REAR UPG. ELEV. 'A'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.



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QUALIFICATION INFORMATION

Dominic Mobilia 212

Q	Topic/Answer	Page
1	Topic/Answer	Page

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218094WT2015File Number
218094WT2015

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Contract ID# **KMM**

Contract ID# **KMM**

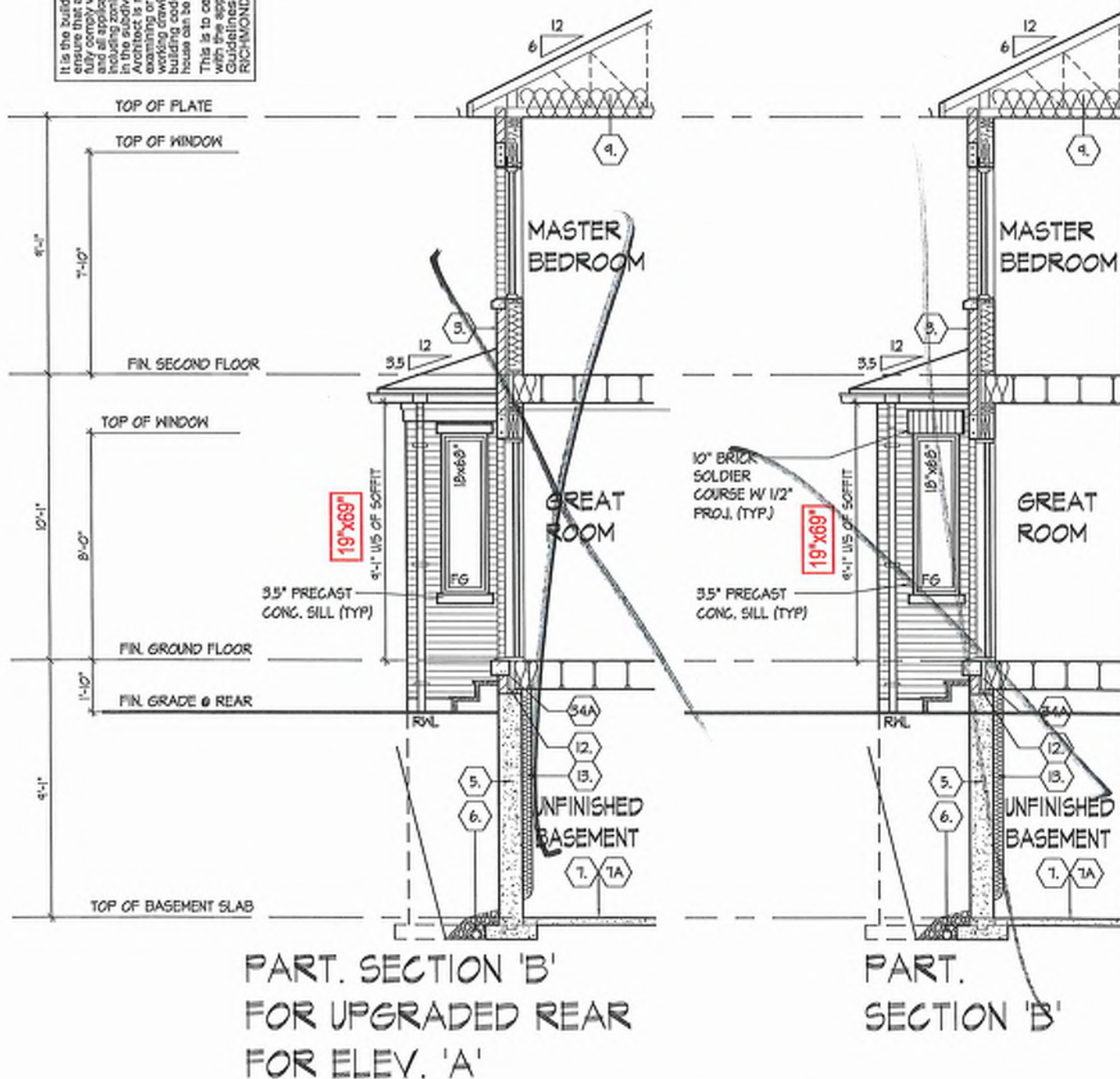
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NAME	SECTOR	2012
Dominic Mobilia	CONSTRUCTION INFORMATION	0

NAME	SECTOR	2012
Dominic Mobilia	CONSTRUCTION INFORMATION	0

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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 12\"/>

ASPHALT SHINGLES (TYP.)

PREFIN. ALUM. GUTTER, R.H.L., FASCIA BD. & VENTED SOFFIT (TYP.)

PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY COLOUR (TYP.)

COACH LIGHT

REAR ELEVATION 'A', 'B' & 'C'

REAR ELEVATION 'A', 'B' & 'C'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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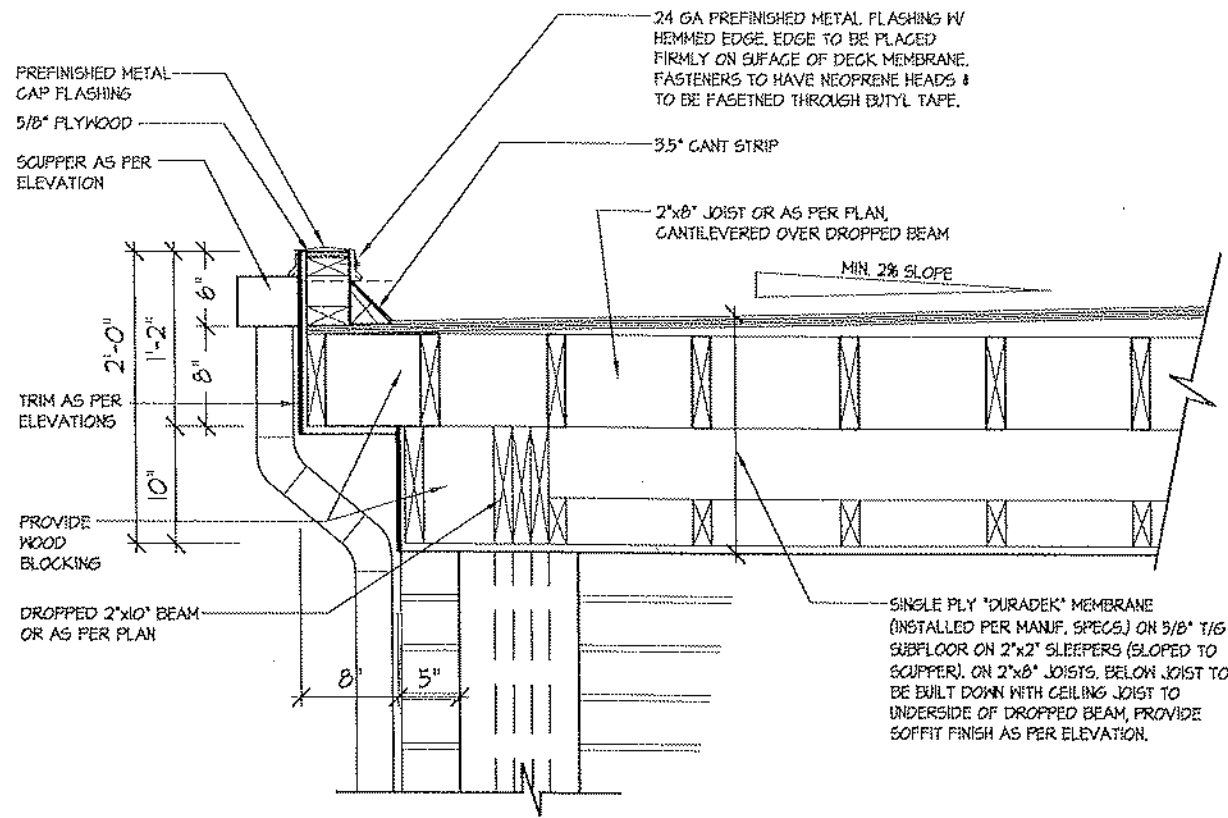
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UNIT 2015

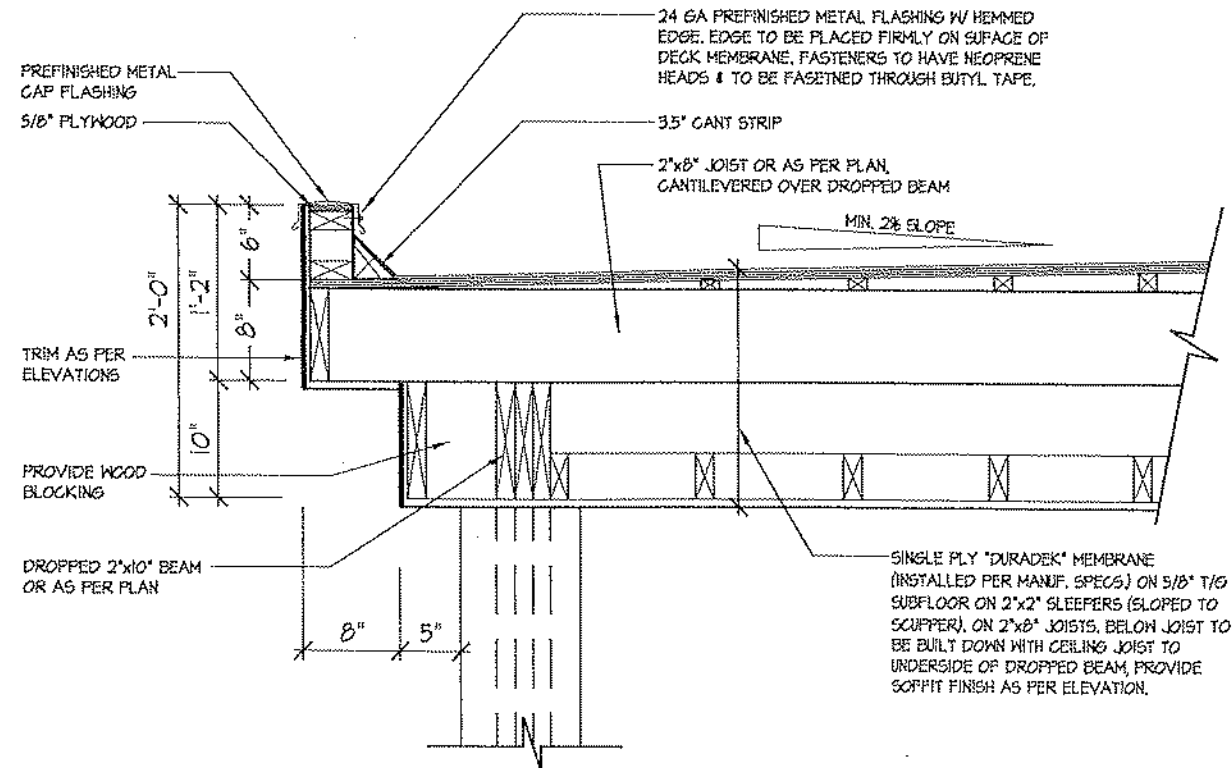
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Drawn By: KMM
Checked By: DSMM
Date: 2025.03.25
16 of 25

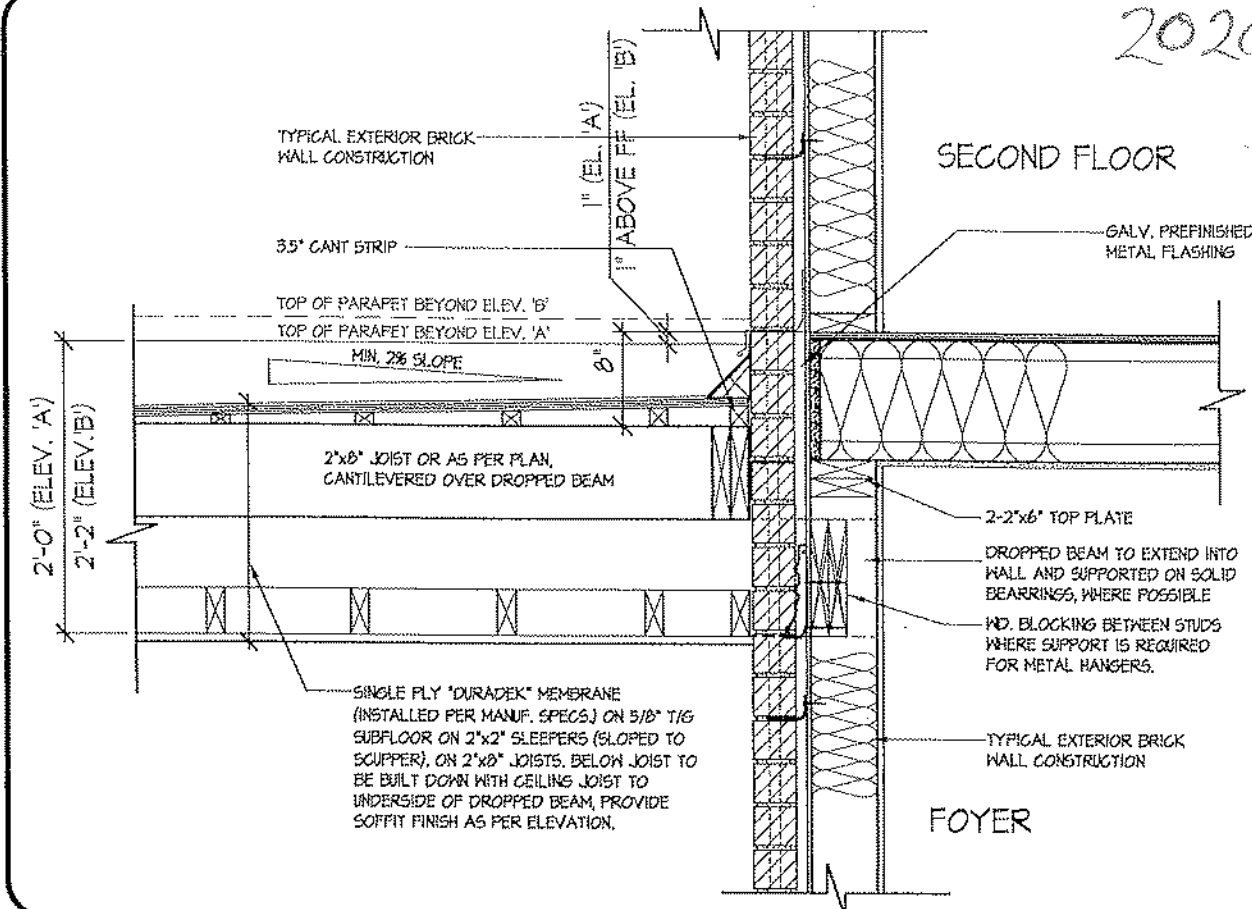
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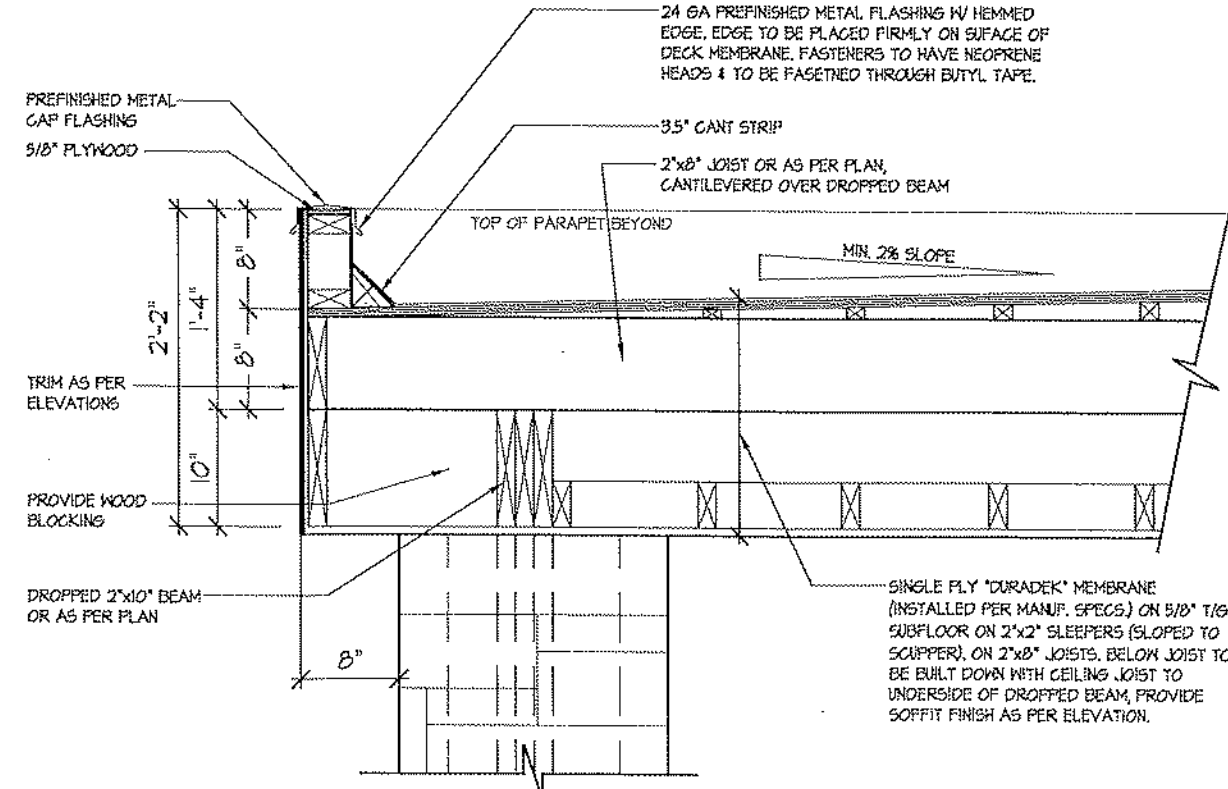
18 **FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)**
3/4\"=1'-0"



1 **FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'**
3/4\"=1'-0"



3 **FLAT ROOF DETAIL @ EXTERIOR WALL**
3/4\"=1'-0"



2 **FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'**
3/4\"=1'-0"

Pack 19-122

FLAT ROOF DETAILS OVER COVERED PORCH

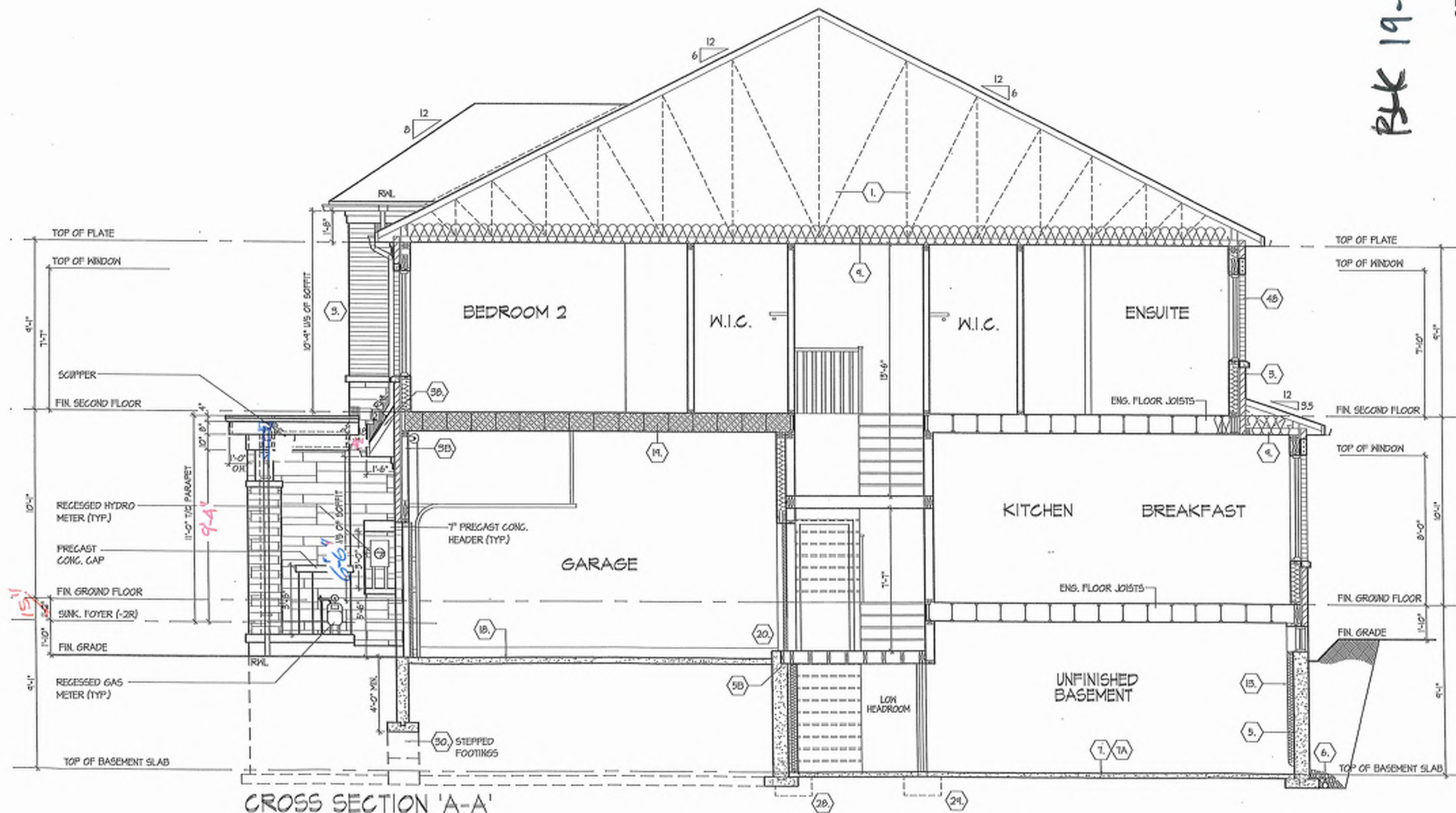
UNIT 2020
REV. 2025.03.25

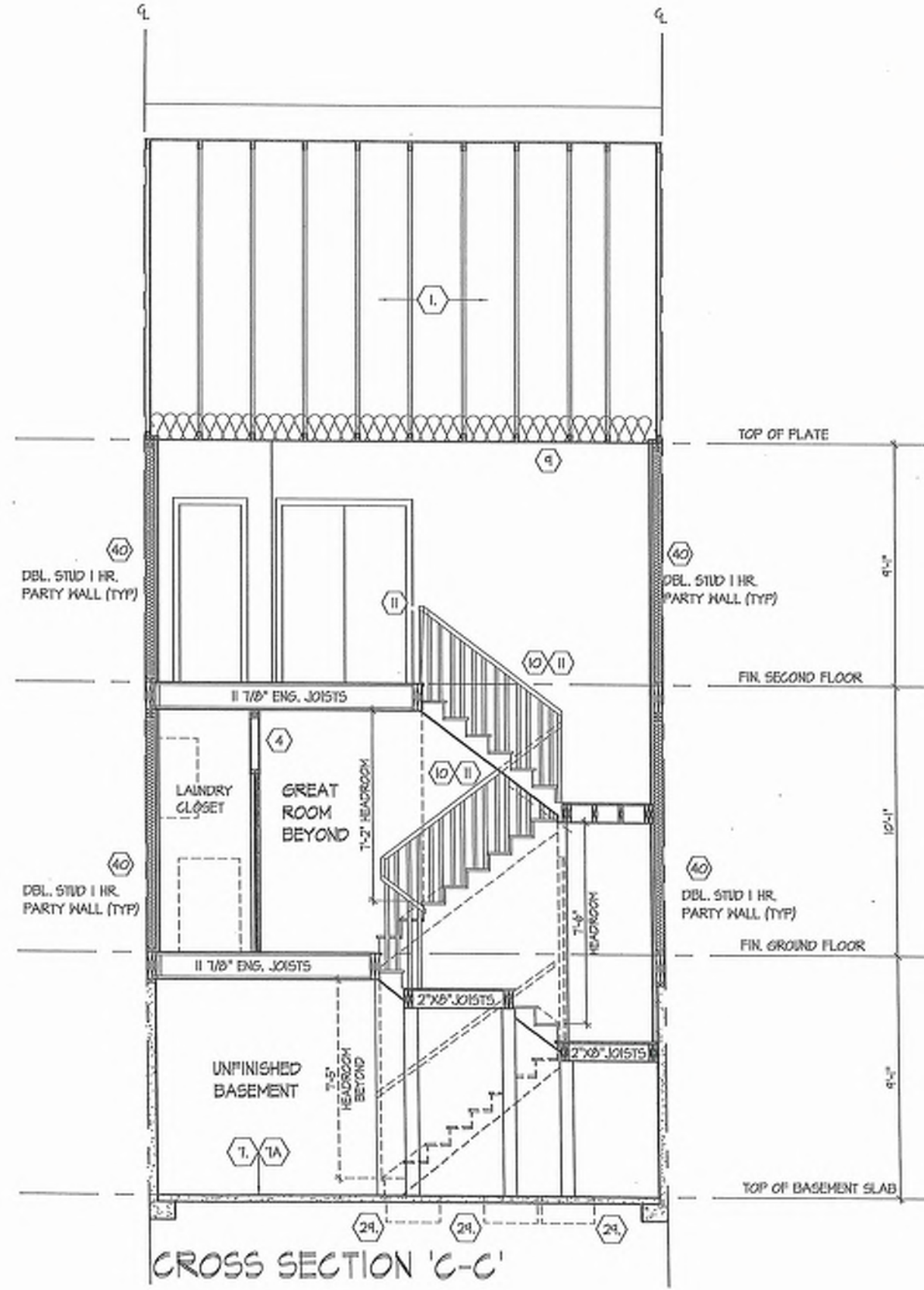
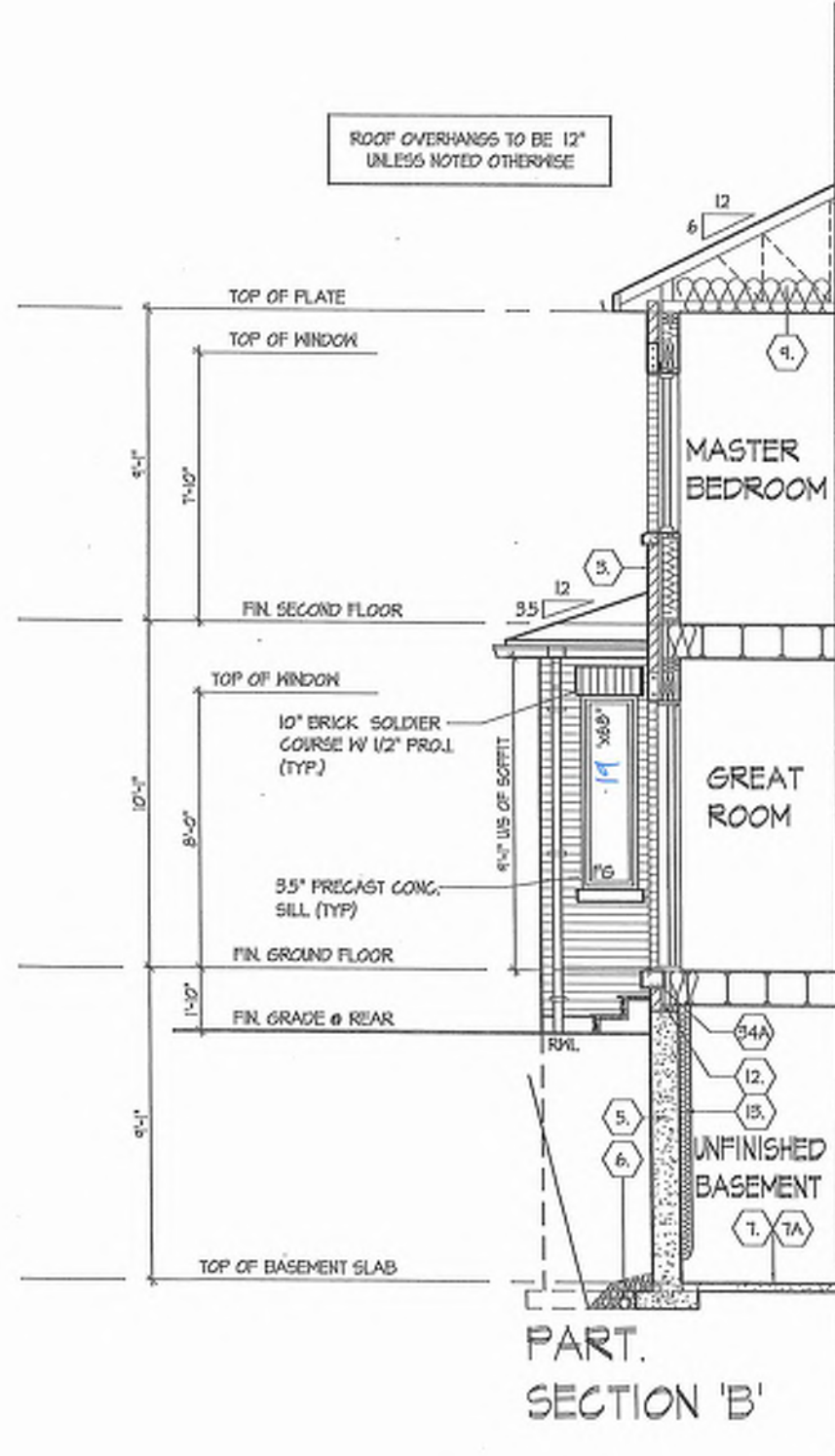
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DESIGN ASSOCIATES INC.
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NAME: **REGISTRATION INFORMATION**
SIGNATURE: **19685**
21274 BGN

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.
Drawn By: **KM/MM** DSM/MM 3/16\"=1'-0\"
Scale: **DSM/MM** 218094WT2015
Page Number: **27** of **25**
F 905.737.7326

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21219-122

PART CROSS SECTION 'B' & CROSS SECTION 'C-C'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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DATE: 21/2/14
BY: [Signature]
CHECKED: [Signature]
DESIGNED: [Signature]
DRAWN: [Signature]
PROJECT: 218094
SHEET: 1 OF 1

UNIT 2015
REV. 2025.03.25

218094WT2015
26 OF 29

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SECTION 1.0. CONSTRUCTION NOTES

- 1

ROOF CONSTRUCTION [9.15, 9.23.14, 9.23.15]
NO. 2/10 (1025 KG/M2) ASPHALT SHINGLES 3/8" (9.5) PLYWOOD SHEATHING WITH 1" CLIPS. APPROVED WOOD TRUSSES @ 24" (600) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2'-11" (660) FROM EDGE OF ROOF AND MIN. 12" (300) BEYOND INNER FACE OF EXTERIOR WALL. 2"x4" (38x89) TRUSS BRACING @ 6'-0" (1800) O.C. AT BOTTOM CHORD. PREFIN. ALUM. EVAESTROUGH, FASCIA, RAIL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OF REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EVAESTROUGH TO BE 4" MIN. WITH RAIL DISCHARGING ONTO CONCRETE SPASH PADS OR PER MUNICIPAL REQUIREMENTS. TOWNHOUSES TO HAVE 5" MIN. EVAESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EVAESTROUGH AND DOWN RAIL.
- 1A

ICE AND WATER SHIELD
PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3.12" (80) AND END LAPS A MINIMUM 8" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).
- 1B

PROFILED ROOF TRUSSES
ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.
- 2

SIDING WALL CONSTRUCTION [2'x6"] [9.23.17.30.1]
SOLING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. INSULATION APPROVED 5 MIL POLYETHYLENE AIR/VAPOUR BARRIER. ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING [9.23.17.30.1]) (REFER TO 35 NOTE AS REQ.)
- 2A

SIDING WALL CONSTRUCTION [2'x6"] W/ CONTIN. INSULATION
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIRWATER BARRIER AS PER O.B.C. [9.27.3]. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. INSULATION APPROVED 5 MIL POLYETHYLENE AIR/VAPOUR BARRIER. ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING [9.23.17.30.1]) (REFER TO 35 NOTE AS REQ.)
- 2B

SIDING WALL @ GARAGE CONSTRUCTION [9.23.17.30.1]
SOLING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBER BOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING [9.23.17.30.1]) (REFER TO 35 NOTE AS REQ.)
- 3

BRICK VENEER WALL CONSTRUCTION [2'x6"]
3.1/2" (90) BRICK VENEER 1" (25) AIR SPACE. 7/8"x7/8" (22x18x40.75) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH [9.23.9.1] ON APPROVED SHEATHING PAPER. 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. INSULATION PER MANUFACTURERS SPECIFICATIONS. ON 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. INSULATION AND 5 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. [9.23.13.8] BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND SHEATHING PAPER [9.20.13.6.] (REFER TO 35 NOTE AS REQUIRED)
- 3A

BRICK VENEER WALL CONSTRUCTION [2'x6"] W/ CONTIN. INSULATION
3.1/2" (90) BRICK VENEER 1" (25) AIR SPACE. 7/8"x7/8" (22x18x40.75) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH [9.23.9.1] ON APPROVED AIRWATER BARRIER AS PER O.B.C. [9.27.3]. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS. ON 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. INSULATION AND 5 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. [9.20.13.8] BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND RIGID INSULATION [9.20.13.6.] (REFER TO 35 NOTE AS REQUIRED)
- 3B

BRICK VENEER WALL @ GARAGE CONSTRUCTION
3.1/2" (90) BRICK VENEER. MIN. 1" (25) AIR SPACE. 7/8"x7/8" (22x18x40.75) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH [9.23.9.1] ON APPROVED SHEATHING PAPER. 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. INSULATION AND 5 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. [9.20.13.8] BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND RIGID INSULATION [9.20.13.6.] (REFER TO 35 NOTE AS REQUIRED)
- 4

INTERIOR STUD PARTITIONS [9.23, 9.23.9.8.] [9.23.10]
BEARING PARTITIONS SHALL BE A MINIMUM 2'x4" (38x89) @ 16" (400) O.C. FOR 2 STOREY AND 1/2" (300) O.C. FOR 3 STOREY. NON-BEARING PARTITIONS 2'x4" (38x89) @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH [9.23.9.1] ON APPROVED SHEATHING PAPER. 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. INSULATION AND 5 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH.
- 4A

EXT. LOFT WALL CONSTRUCTION [2'x6"] - NO CLADDING [9.23]
3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. INSULATION AND 5 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH.
- 4B

NO CLADDING W/ CONTINUOUS INSULATION
APPROVED AIRWATER BARRIER AS PER O.B.C. [9.27.3] ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS. ON 3/8" (9.5) EXTERIOR TYPE SHEATHING. STUDS CONFORMING TO O.B.C. [9.23.10.1.1] & SECTION 1.1. INSULATION AND 5 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH.
- 5

FOUNDATION WALL/FOOTINGS
POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16" (400) SHALL BE SIZED IN ACCORDANCE WITH [9.15.3.4.1] (160) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZES). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75KPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150KPa. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND [9.15.4]
FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (8.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.1.1]
- 5A

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS [9.15.4.2]
MINIMUM STRIP FOOTING SIZES [9.15.3.4]

STRIP FOOTING	MAX. HEIGHT FROM FIN. SLAB TO GRADE	UNSUPPORTED AT TOP	SUPPORTED AT TOP
8"	3'-11" (1.20m)	22.5m	>2.5m & <2.75m
10"	4'-7" (1.40m)	7'-0" (2.15m)	8'-10" (2.70m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)
14"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
16"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
18"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
20"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
22"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
24"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
26"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
28"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
30"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
32"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
34"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
36"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
38"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
40"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
42"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
44"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
46"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
48"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
50"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
52"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
54"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
56"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
58"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
60"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
62"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
64"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
66"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
68"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
70"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
72"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
74"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
76"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
78"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
80"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
82"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
84"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
86"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
88"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
90"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
92"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
94"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
96"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
98"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)
100"	5'-1" (1.55m)	7'-6" (2.30m)	8'-6" (2.60m)

* 9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION. TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER [9.23.7.2.], [9.23.8.1.], & [9.23.8.1.1] OF THE O.B.C.
- 5B

MINIMUM STRIP FOOTING SIZES [9.15.3.4]

NUMBER FLOORS	SUPPORTING INT. LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR PARTIAL WALL
1	16" WIDE x 6" THICK	16" WIDE x 6" THICK
2	24" WIDE x 6" THICK	24" WIDE x 6" THICK
3	36" WIDE x 14" THICK	36" WIDE x 14" THICK

- 5A

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FINISH, THE REDUCED SECTION SHALL BE NOT LESS THAN 3.12" (80) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7.1/4" (200) VERTICAL AND 2'-11" (600) HORIZONTAL. REINFORCED WITH MORTAR BETWEEN WALL AND BRICK VENEER [9.15.4.7.23.6.1] & [9.23.4.4.3]
- 5B

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13.3/4" (340) HIGH & NOT LESS THAN 3.12" (80) THICK [9.15.4.7.11]
- 6

WEEPING TILE [9.14.3]
4" (100) 2" WEEPING TILE W/ FILTER CLOTH WRAP & 6" (150) CRUSHED STONE COVER
- 7

BASEMENT SLAB OR SLAB ON GRADE [9.16.4.1, 9.13.1, 9.13.1.6.1]
3" (80) MIN. 20MPa (2500psi) CONC. SLAB ON 5 MIL POLYETHYLENE AIR/VAPOUR BARRIER [9.13.4.1] ON 4" (100) CLEAN COARSE GRANULAR FILL. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE WHERE A BASEMENT SLAB IS WITHIN 24" (600) OF THE EXTERIOR GRADE. PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (600) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB (JOINTS TAPPED). [528-12.1, 3.1.1.7.5] & [65]
- 7A

SOIL GAS DEPRESSURIZATION ROUGH-IN [9.13.4.3]
PROVIDE A ROUGH-IN FOR SUBFLOOR DEPRESSURIZATION SYSTEM CONSISTING OF 4" (100) CLEAN COARSE GRANULAR FILL [9.13.2.1.1] (1) AND A 4" (100) DIAMETER PIPE WITH ITS BOTTOM OPEN INTO GRAIN AIR LAYER @ APPROX. CENTER OF SLAB. TOP END ABOVE SLAB WITH AIR TEST CAP TO BE LABELLED RADON AT CAP AND EVERY 1.6m OF PIPE AND CHANGE IN DIRECTION.
- 8

EXPOSED FLOOR TO EXTERIOR [9.10.17.10, 9.10.17.10.1]
PROVIDE SPRAY FOAM INSULATION BETWEEN JOIST. JOIST AND INSTALL OSB CONFORMING TO [9.28.9]. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO US OF EXPOSED CANT. JOIST.
- 9

EXPOSED CEILING TO EXTERIOR w/ ATTIC [9.25.2.4]
INSULATION, 5 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED OSB.
- 9A

EXPOSED CEILING TO EXTERIOR w/o ATTIC [9.19.1.1, 9.10.17.10]
JOIST/TRUSSES AS PER PLAN W/ 2"x4" (38x89) PL RAILS @ 16" (400) O.C. PERPENDICULAR TO JOISTS (FURLING NOT REQ.) W/ SPRAY FOAM OR ROOF TRUSSES. W/ INSULATION BETWEEN JOIST. 5 MIL POLYETHYLENE VAPOUR BARRIER. 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED OSB.
- 10

ALL STAIRS/EXTERIOR STAIRS [9.8.1.2, 9.8.2, 9.8.4]

MAX. RISE	MIN. RISE	MAX. RUN	MIN. RUN	ALL STAIRS
PRIVATE 7' (2100)	5" (125)	14" (355)	10" (255)	MAX. NOSING 1" (25)
PUBLIC 7' (2100)	5" (125)	14" (355)	10" (255)	MAX. NOSING 1" (25)
MIN. STAIR WIDTH	TAPERED TREADS			
PRIVATE 2'-6" (760)	MIN. RUN 5' (150)			
PUBLIC 2'-11" (600)	MIN. AVG. RUN 5' (125)			
	MIN. RUN 5' (125)			
	MIN. AVG. RUN 11" (280)			

AVERAGE RUN OF TAPERED TREAD MEASURED AT A POINT 300mm FROM THE CENTRELINE OF INSIDE HANDRAIL [9.8.4.3].
** HEIGHT OVER STAIRS HEADROOM IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'5" (1960) FOR SINGLE DWELLING UNIT & 6'8.3/4" (2060) FOR EVERYTHING ELSE. [9.8.2.2]
FOR AN EXTERIOR STAIR SERVING A GARAGE, W/ MORE THAN 3 REBERS. GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.
- 11

GUARDS/HANDRAILS [9.8.7, 9.8.8]
GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. [9.8.8.5] & [9.8.8.6] AND BE ABLE TO RESIST LOADS AS PER TABLE [9.8.8.2]
GUARD HEIGHTS - O.B.C. [9.8.8.2]
EXTERIOR GUARDS: 2'-11" (600) MIN.
3'-6" (1070) MIN. (MORE THAN 5'-11" (1600) TO GRADE)
GUARDS FOR EXIT STAIRS: 3'-6" (1070) MIN.
GUARDS FOR LANDINGS & EXIT STAIRS: 3'-6" (1070) MIN.
GUARDS FOR FLOORS & RAMPS IN GARAGES, SERVICE STAIRS, FLOOR OR RAMP W/ EXTERIOR WALLS THAT 16.25.5/8" (600) OR MORE ABOVE ADJACENT SLAB. REQUIRE CONCT. CURB MIN. 5.1/2" (140) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH.
- 12

SILL PLATES
2"x4" (38x89) SILL PLATE WITH 1/2" (12.7) ANCHOR BOLTS 8" (200) LONG. EMBEDDED MIN. 4" (100) INTO CONC. @ 5'-7" (1700) O.C. WITH NO LESS THAN 2 BOLTS PER WALL PANEL AND LOCATED WITHIN 0.5m OF THE END OF THE FOUNDATION [9.23.6.1.1] (9) (9). PROVIDE GASKETING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED [9.23.7]
- 13

BASEMENT INSULATION [9.9-12.3.1.7]
PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 5 MIL POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMP PROOF WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 14

BEARING STUD PARTITION IN BASEMENT [9.15.3.8, 9.23.10.1.1]
2"x4" (38x89) STUD @ 16" (400) O.C. 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMP PROOFING MATERIAL OR 2 MIL POLYETHYLENE FILM. 1/2" (12.7) 2 ANCHOR BOLTS 8" (200) LONG. EMBEDDED 4" (100) MIN. INTO CONC. @ 17'-10" (5400) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO HEX NOTE 5. AND HORIZ. BLOCKING AT MD+HEIGHT 1" WALL IS UNFINISHED.
- 15

ADJUSTABLE STEEL BASEMENT COLUMN [9.15.3.8.1] [9.17.3]
9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3.1/2" (90) SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/C385-7.2M. AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75KPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150KPa AS PER SOILS REPORT.
- 15A

NON-ADJUSTABLE STEEL BASEMENT COLUMN [9.17.3]
3.1/2" (90) (2' x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75KPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150KPa AS PER SOILS REPORT.
- 15B

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL [9.17.4]
SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x16" (1070x1070x400) CONC. FOOTING. SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING.
- 16

STEEL BEAM BEARING AT FOUNDATION WALL [9.23.8.1]
BEAM POCKET OR 8"x8" (203x203) POURED CONC. NIS WALL. MIN. BEARING 3.1/2" (90). CONC. NB WALLS TO HAVE EXTENDED FOOTINGS
- 17

WOOD STRAPPING AT STEEL BEAMS [9.23.4.3.3.1, 9.23.9.8]
1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.
- 18

WOOD STRAPPING AT STEEL BEAMS [9.23.4.3.3.1, 9.23.9.8]
1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

- 18

GARAGE SLAB [9.16, 9.32]
4" (100) 32MPa (4600psi) CONC. SLAB WITH 5-6% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.
- 19

GARAGE TO HOUSE WALLS/CEILING [9.10.8.18]
1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. [9.10.17.10, CANULC-S705.2]
- 19A

GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION
1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. [9.10.9.18], [9.10.17.10], [CANULC-S705.2]
- 20

GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
- 21

EXTERIOR AND GARAGE STEPS
PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7.7/8" (200). MIN. TREAD 10" (255). FOR THE REQUIRED NUMBER OF STEPS REFER TO SIZING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 REBERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE [9.8.9.2] OR SHALL BE CANTILEVERED AS PER SUBSECTION [9.8.15]
- 22

DRYER EXHAUST [9.32]
CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO O.B.C. [9.32] & PART 8
- 23

ATTIC ACCESS [9.10.2.1.1]
ATTIC ACCESS HATCH WITH MIN. AREA OF 0.3m² AND NO DIM. LESS THAN 20" (500) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 [R513.52] (528-9.2, 3.1.4.1.1)
- 24

FIREPLACE CHIMNEYS [9.22]
TOP OF FIREPLACE CHIMNEY SHALL BE 3'-0" (900) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (600) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3000) FROM THE CHIMNEY.
- 25

LINEN CLOSET
PROVIDE 4 SHELVES MIN. 14" (350) DEEP.
- 26

MECHANICAL VENTILATION [9.32]
MECHANICAL EXHAUST FAN VENTED TO EXTERIOR. TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.8.
- 27

PARTY WALL BEARING [9.23.8]
12"x12"x5/8" (300x300x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (300x300x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89) ON CONC. BLOCK PARTY WALL. ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING SECTION 3.3 FOR WD. STUD PARTY WALL.
- 28

WOOD FRAMING IN CONTACT WITH CONCRETE
WOOD BEARING WALLS. THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 MIL POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 5" (125) BELOW THE BEARING WALL AND/OR WOOD POST. [9.17.4.3]
- 29

BUILT-UP WOOD POST AND FOOTING [9.17.4.1, 9.15.3.7]
3-2"x6" (38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) 2 BOLT. 2x12"x12" (600x300x300) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28
- 30

STEP FOOTINGS [9.15.3.8]
MIN. HORIZ. STEP = 23.5/8" (600). MAX. VERT. STEP = 23.5/8" (600).
- 31

CONC. PORCH SLAB [9.16.4]
MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL. REINFORCED WITH 6x6x2.5/8"x2.5/8" MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4600psi) WITH 5-6% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.
- 32

FURNACE VENTING [9.32]
FURNACE VENTING PROVIDED PER SECTION [9.32] AND ALL APPLICABLE UTILITIES AND REGULATIONS. REFER TO GAS UTILIZATION CODE.
- 33

FIREPLACE VENTING [9.32]
FIREPLACE VENTING AS PER MANUFACTURER SPECIFICATIONS. REFER TO GAS UTILIZATION CODE.
- 34

FLOOR FRAMING [9.23.9.5, 9.23.9.4.] [9.23.14]
TAG SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. [9.20.6] ALL JOISTS WHERE REQUIRED, TO BE BRIDGED WITH 2"x2" (38x88) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2100) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6'-11" (2100) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.
- 34A

HEADER CONSTRUCTION
PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 8" (150) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 8" (150) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.
- 35

EXPPOSED BUILDING FACE W/ LIMITING DISTANCE <= 3'-11" (1.20m)
WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAN/ULC-S702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M² OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23.38" (590mm) OR LESS. WALL ASSEMBLY REQUIRES HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. [9.10.14], OR [9.10.15]. REFER TO DETAILS FOR TYPE & SPECIES. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 24.75" (1300mm) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER [9.10.14.3.6]
- 36

COLD CELLAR PORCH SLAB [9.40]
FOR MAX. 8'-2" (250) PORCH DEPTH 8" (127) 32 MPa (4600psi) CONC. SLAB W/ 5-6% AIR ENTRAINMENT. REIN. WITH 10M BARS @ 7.7/8" (200) O.C. EACH DIRECTION. W/ 1.1/4" (28.6) COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF

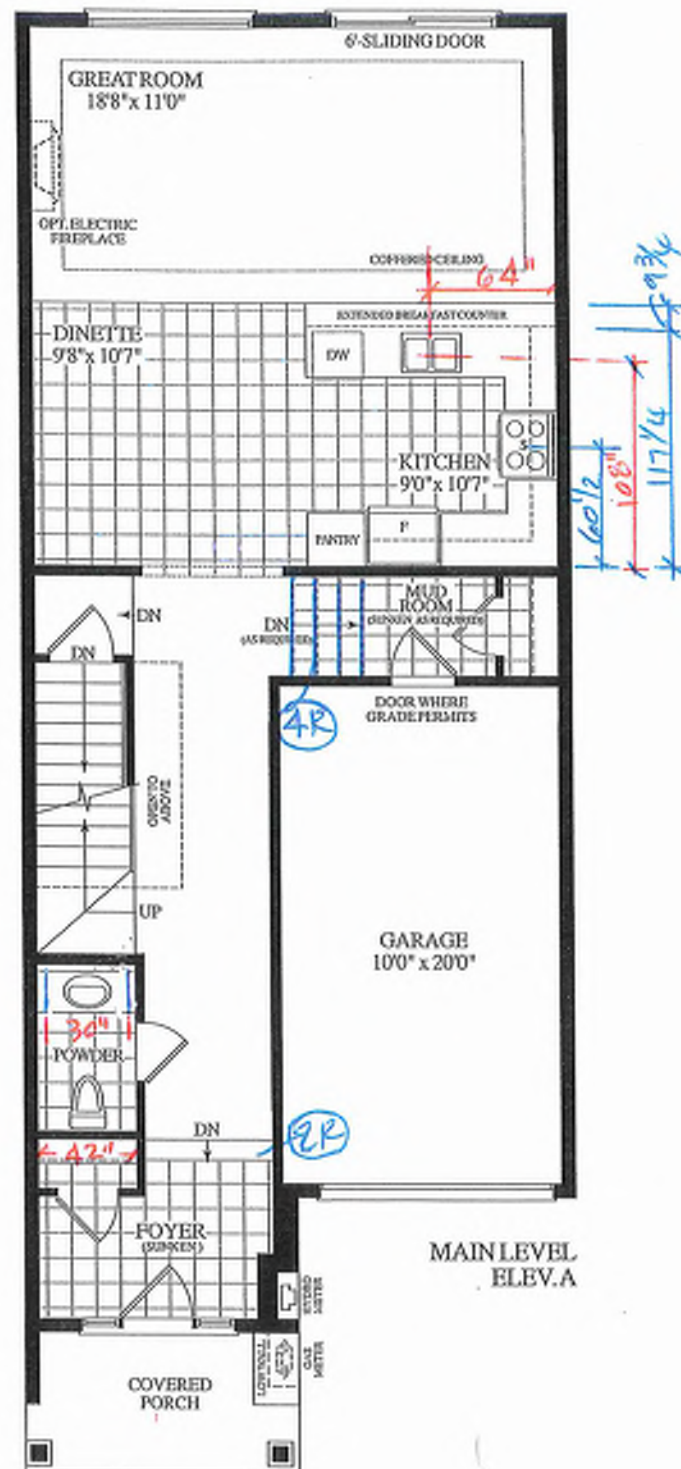
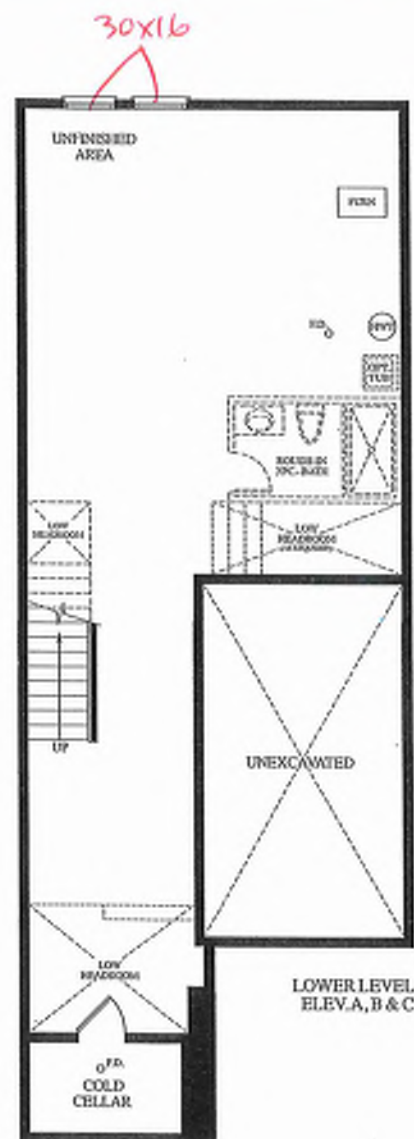


BAYVIEW HEIGHTS

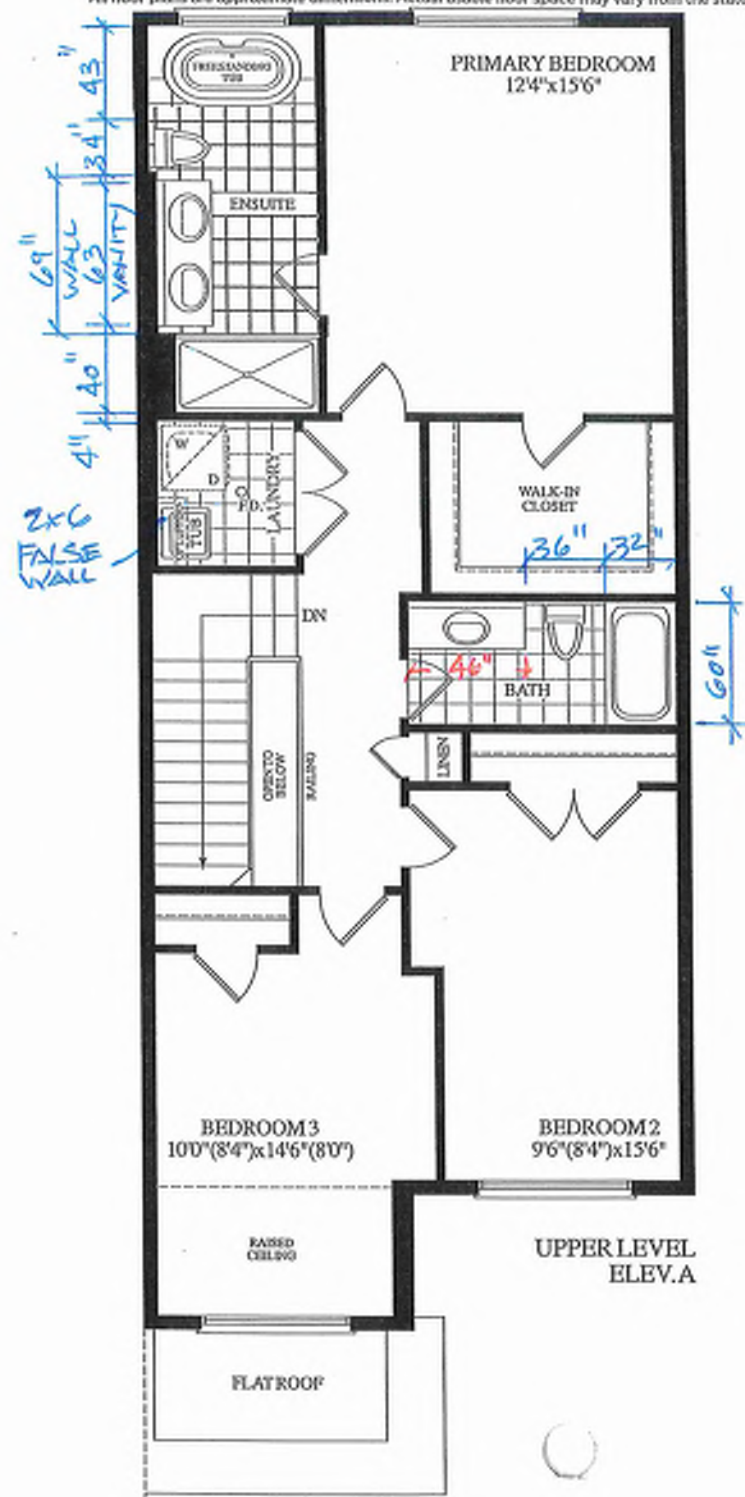
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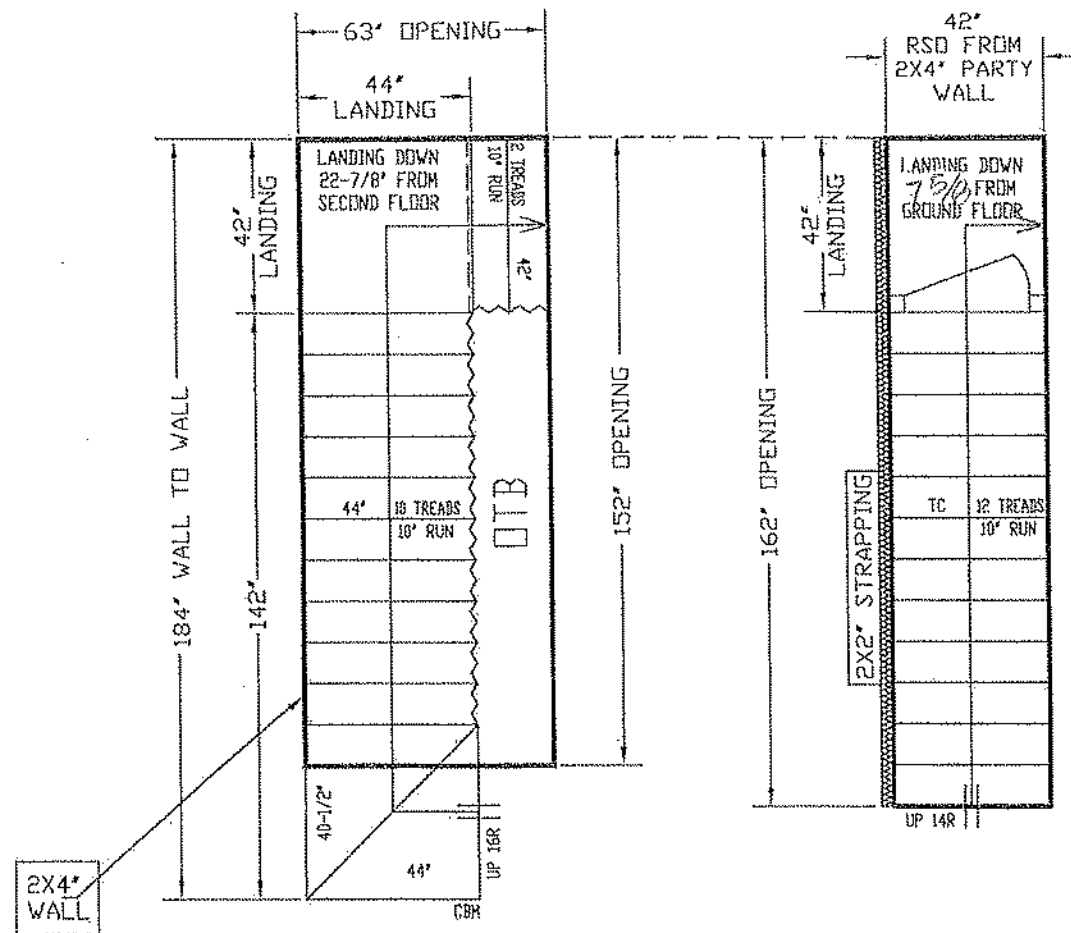
ELEVATION A



Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E.A.O.E.



BASEMENT TO GROUND
BSMT 11-7/8' JOIST



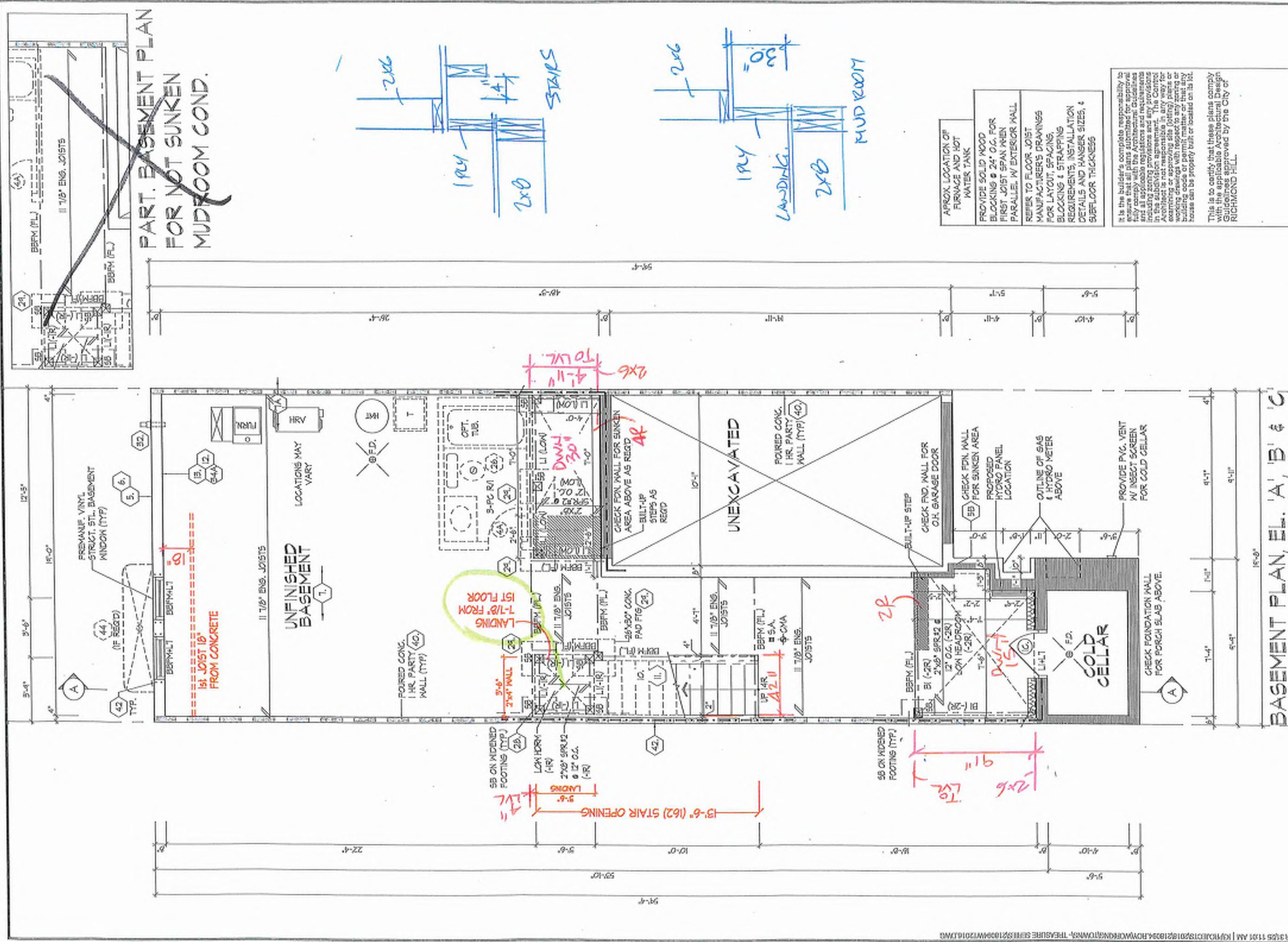
STAIRS LINE UP BY
PARTY WALL

REVISED
JUNE 4, 2025

GARAGE RIGHT >



BU 19-173



**PART. BASEMENT PLAN
FOR NOT SUNKEN
MUDROOM COND.**

APPROX. LOCATION OF FURNACE AND HOT WATER TANK	PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including provisions for accessibility. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

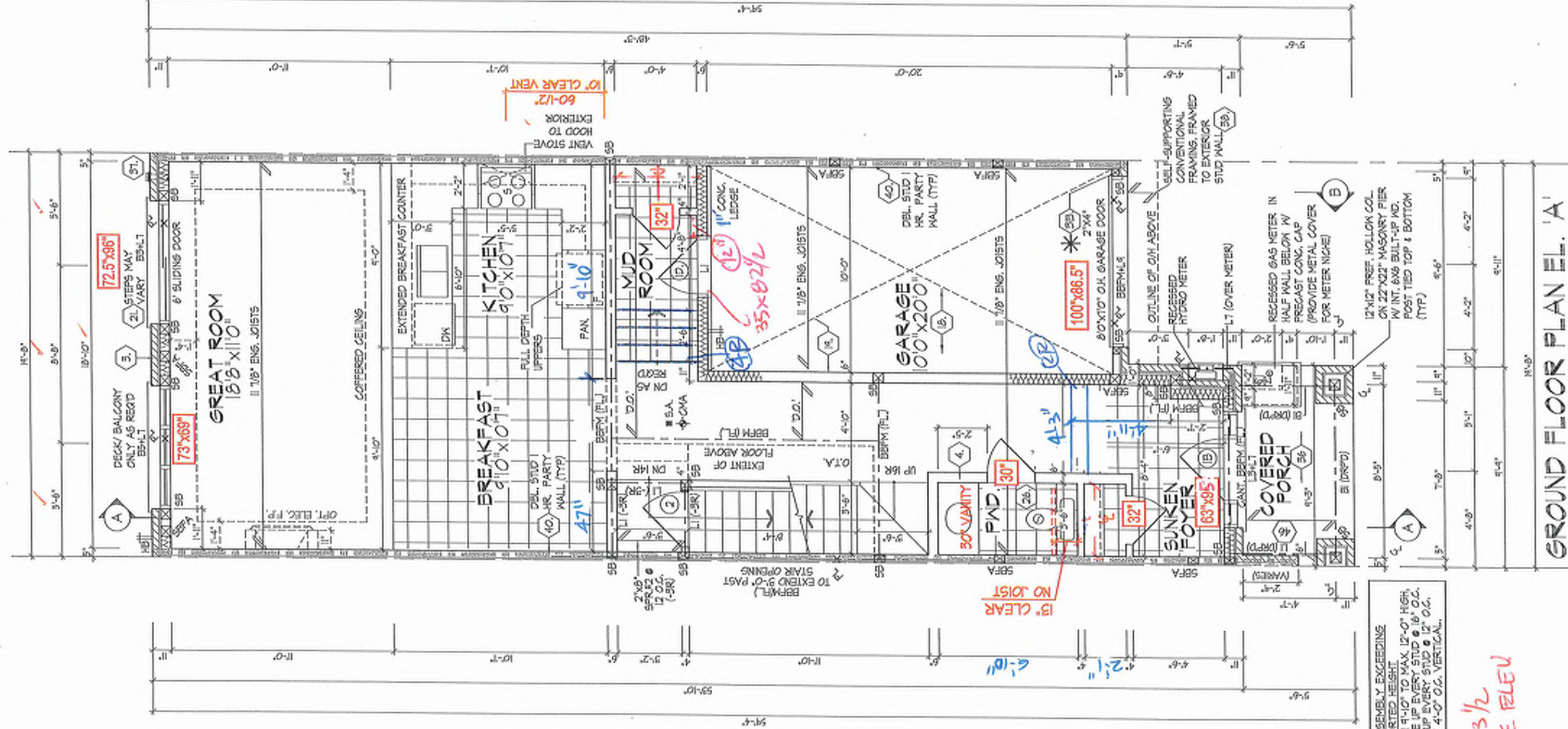
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BASEMENT PLAN, EL. 'A', 'B' & 'C'

UNIT 2016

REV. 2025.03.24

Bulk 19-123



GROUND FLOOR PLAN EL. 'A'

BUC 19
1.23

* 2x4 STUD WALL ASSEMBLY EXCEEDING
MAX. UNSUPPORTED HEIGHT
FOR WALLS GREATER THAN 8'-10" TO MAX. 12'-0" HIGH:
- W/ FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C.
- W/ FLOOR LOAD, DOUBLE UP EVERY STUD @ 12" O.C.
PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.

INT. DOORS 8'3 1/2"
WINDOWS SEE ELEV
ARCH 95"

ALL DOORS ON PLAN ARE 1'-10"
HIGH TOP OF FRAME UNLESS
LABELED OTHERWISE.
PROVIDE SOLID WOOD
BLOCKING @ 24" O.C. FOR
FIRST JOIST SPAN WHEN
PARALLEL W/ EXTERIOR WALL.
REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
BLOCKING & STRAPPING
REQUIREMENTS, INSTALLATION
DETAILS AND HANGER SIZES, &
SUBFLOOR THICKNESS.

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and any provisions
including zoning provisions and any provisions
At the submission agreement, the Contractor
acknowledges that the plans are to be used for
examining or approving site (plans) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
RICHMOND HILL.

GROUND FLOOR PLAN, EL. 'A'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT
DESIGN ASSOCIATES INC.

www.hunt-design.ca

UNIT 2016
REV. 2025.03.24

Rev. Number
218094-WT2016
3 of 25

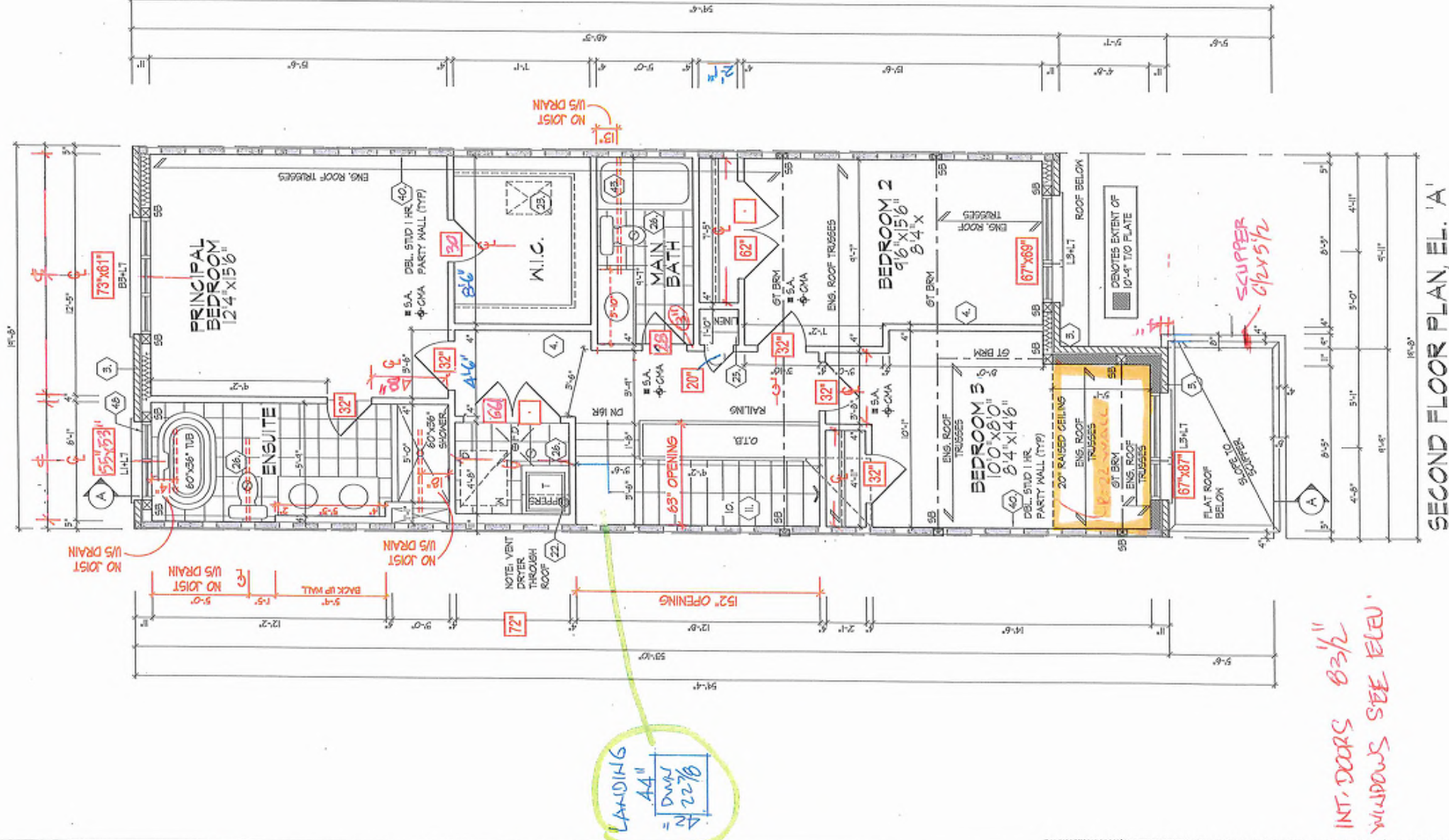
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KM/TT
Checked By
MM
Scale
3/16"=1'-0"

8888 Woodbine Ave., Markham, ON L3R 0J7
T 905.757.5153
F 905.757.7526

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE
DESIGN OF THE ABOVE PROJECT AND CERTIFIES THAT THE PROJECT
COMPLIES WITH THE CANADIAN BUILDING CODE TO BE A RESIDENCE.

QUALIFICATION INFORMATION
Dominic Madio
21274
15695

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REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the applicable agreement. The Contractor is not responsible in any way for examining or not responding to (posting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of SHERMAN, TEXAS.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Sacramento.

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ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

SECOND FLOOR PLAN, EL. 'A'

UNIT 2016
REV. 2025.03.24

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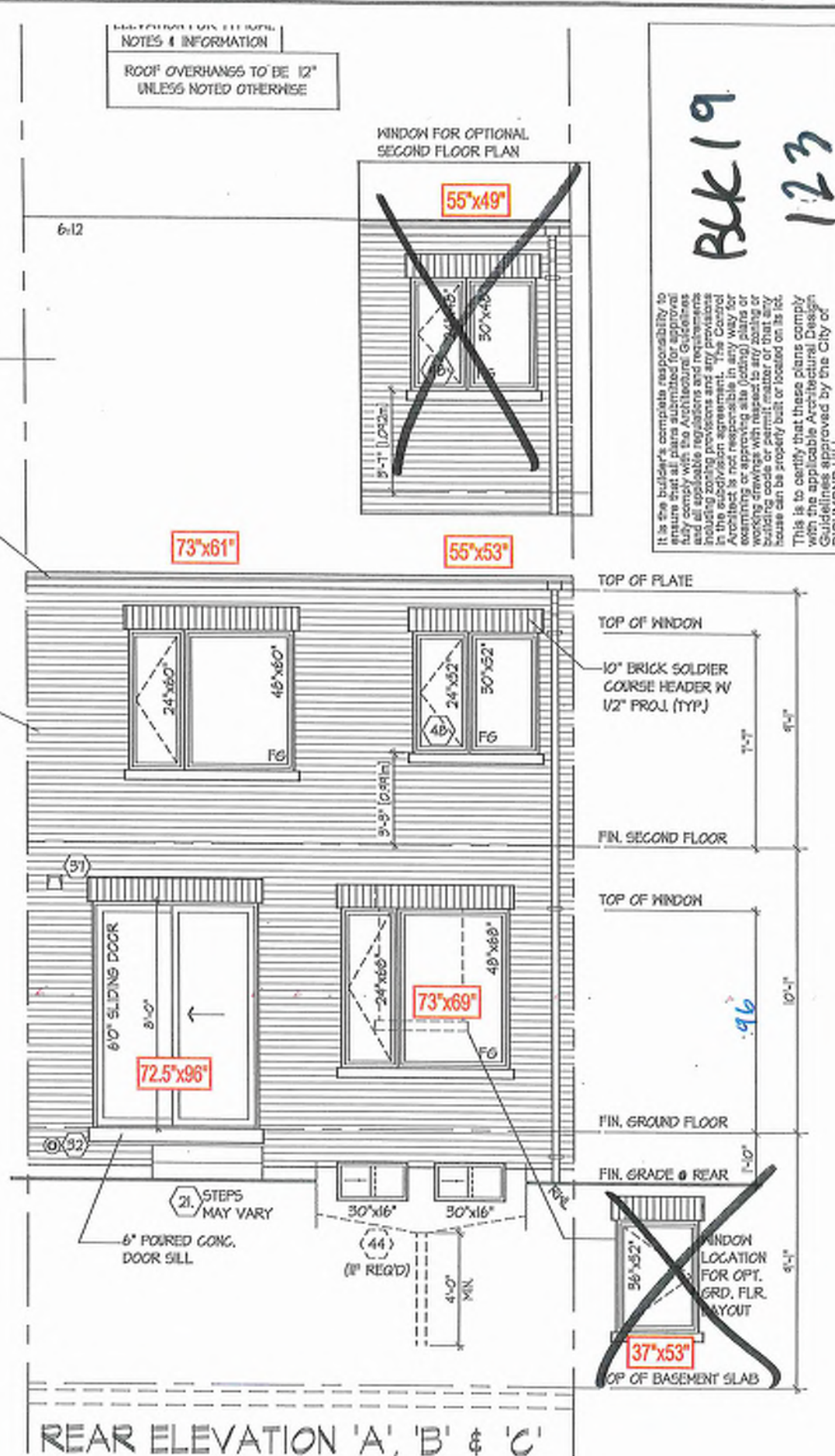
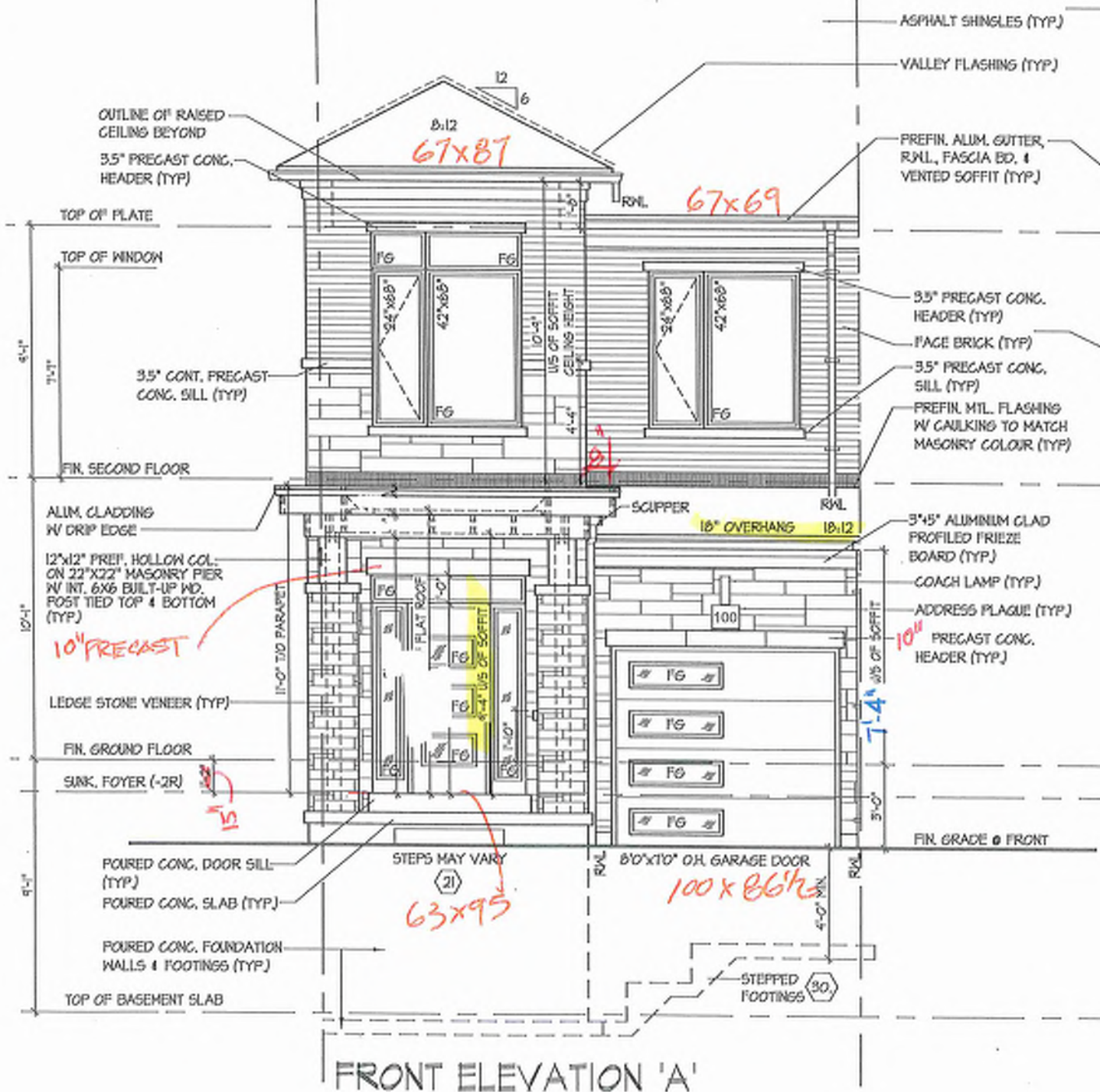
PUBLICATION INFORMATION
 HINT DESIGN ASSOCIATES INC.
 10000 WILLOW CREEK DRIVE
 SUITE 100
 DALLAS, TEXAS 75243-6899
 TEL: 214/343-8800 FAX: 214/343-8801
 WWW.HINTDESIGN.COM

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ROOF PLAN
EL. 'A'
N.T.S.

NOTE:
WHEN UNIT REVERSED KEEP
FIXED GLASS GARAGE
DOOR PANES LEFT

NOTE:
WHEN UNIT REVERSED KEEP
SIDE 24"x60" WINDOW LEFT



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the municipality. The Council Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

BLK 19
123

FRONT & UPGRADED REAR ELEVATION 'A'

UNIT 2016

REV. 2025.03.24

ROYAL PINE HOMES - 218094

921 BAYVIEW, RICHMOND HILL, ON.

HUNT DESIGN ASSOCIATES INC.

www.hunt-design.ca

21274

18995

Drawn by: MM

Checked by: MM

Scale: 3/16"=1'-0"

File Number: 218094-WT2016

Page Number: 15 of 25

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Qualification Information

Domestic Mobility

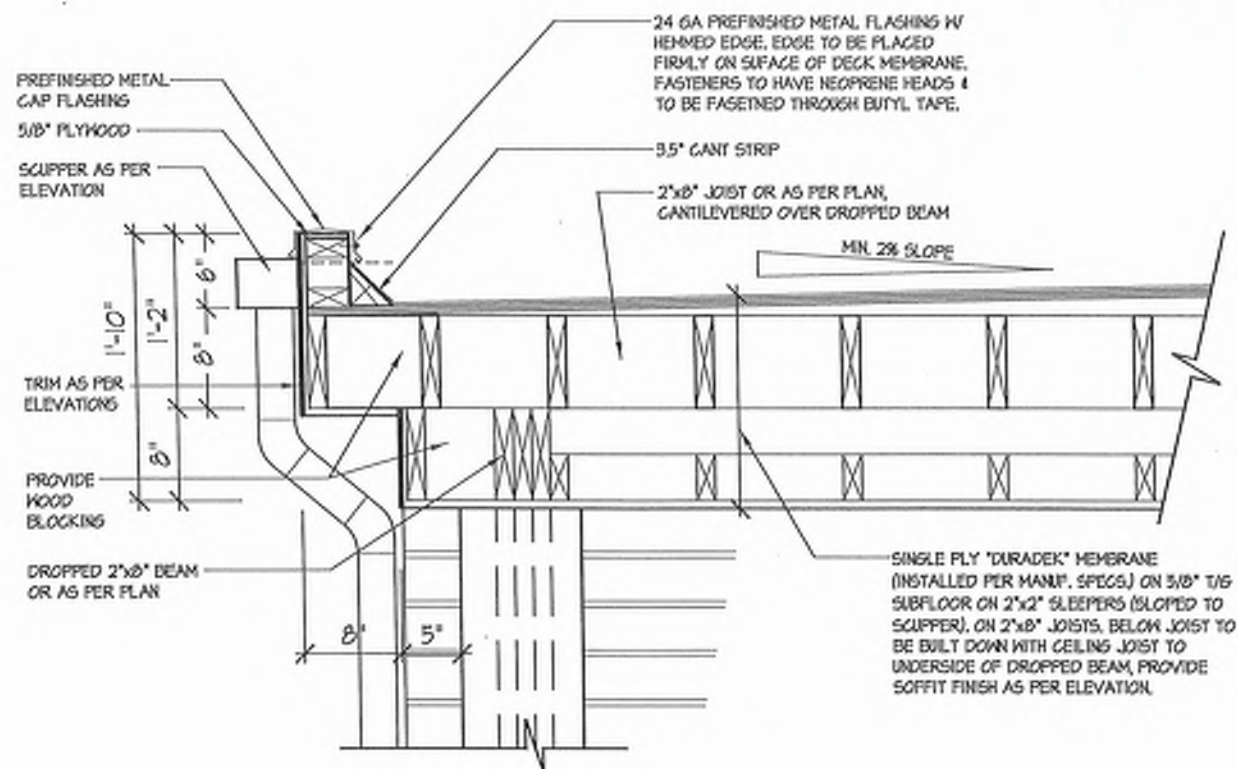
Signature

Stamp

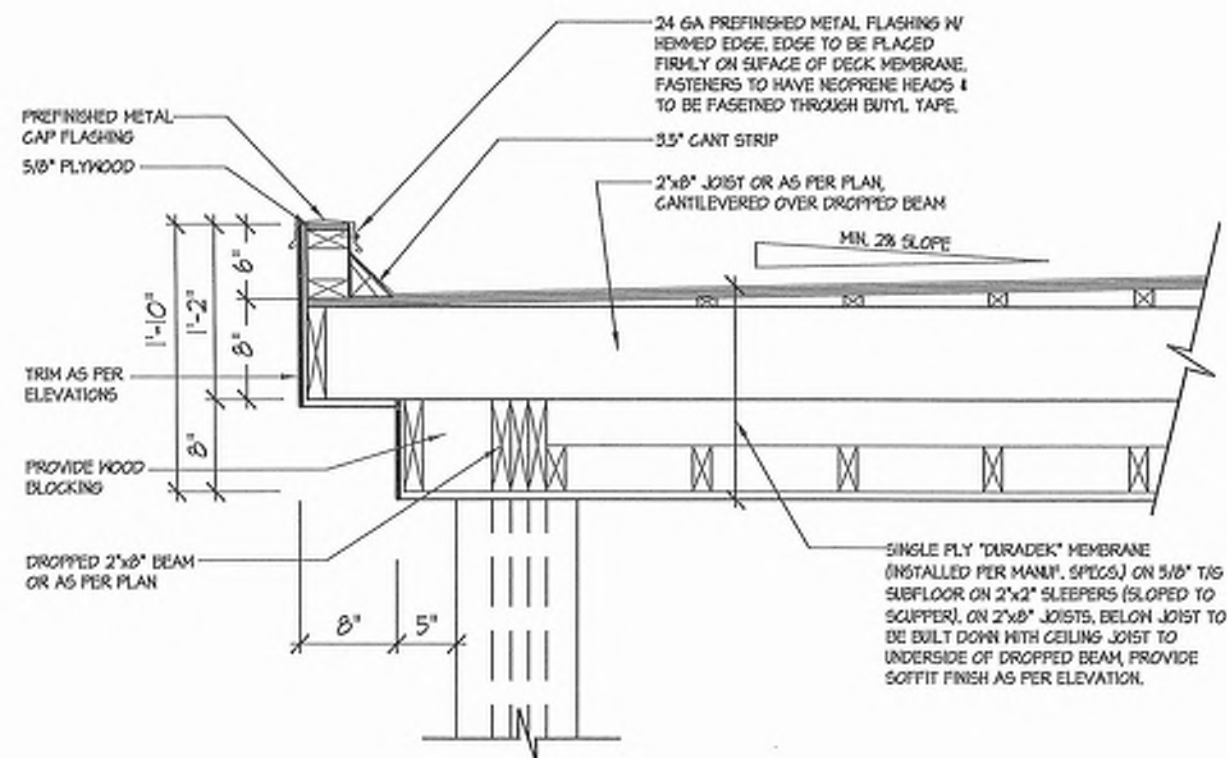
Registration Information

HUNT DESIGN ASSOCIATES INC.

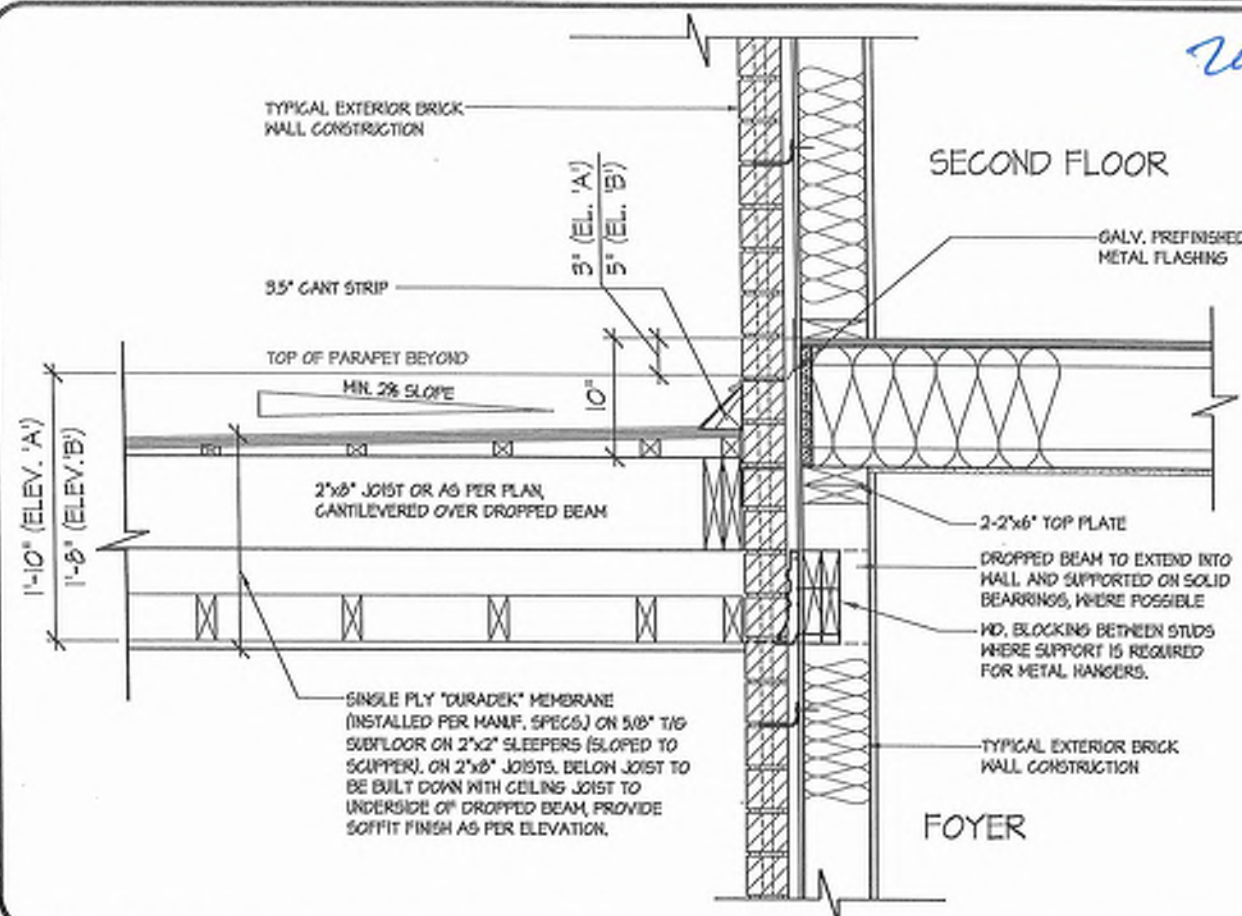
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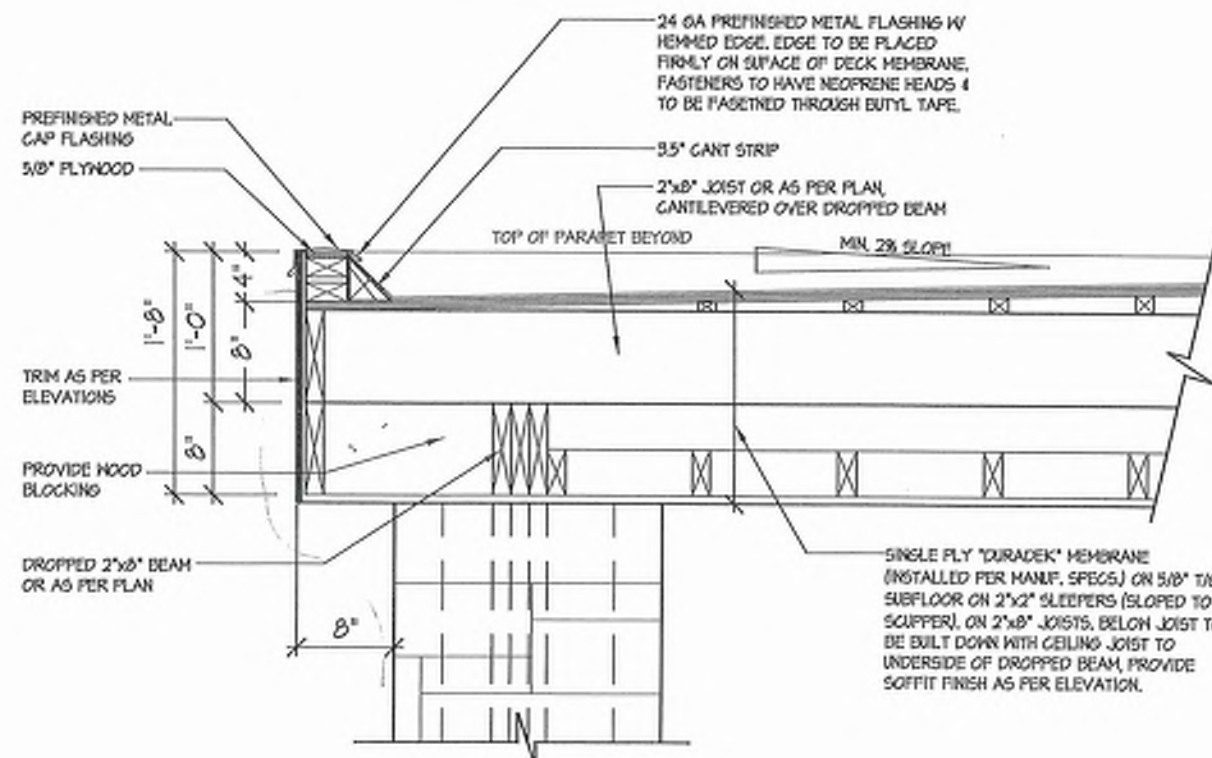
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)
3/4"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4"=1'-0"



3 FLAT ROOF DETAIL @ EXTERIOR WALL
3/4"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/4"=1'-0"

BUC 19 123

FLAT ROOF DETAILS OVER COVERED PORCH

UNIT 2015

ROYAL PINE HOMES - 218094

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REV. 2025.03.25

921 BAYVIEW, RICHMOND HILL, ON.

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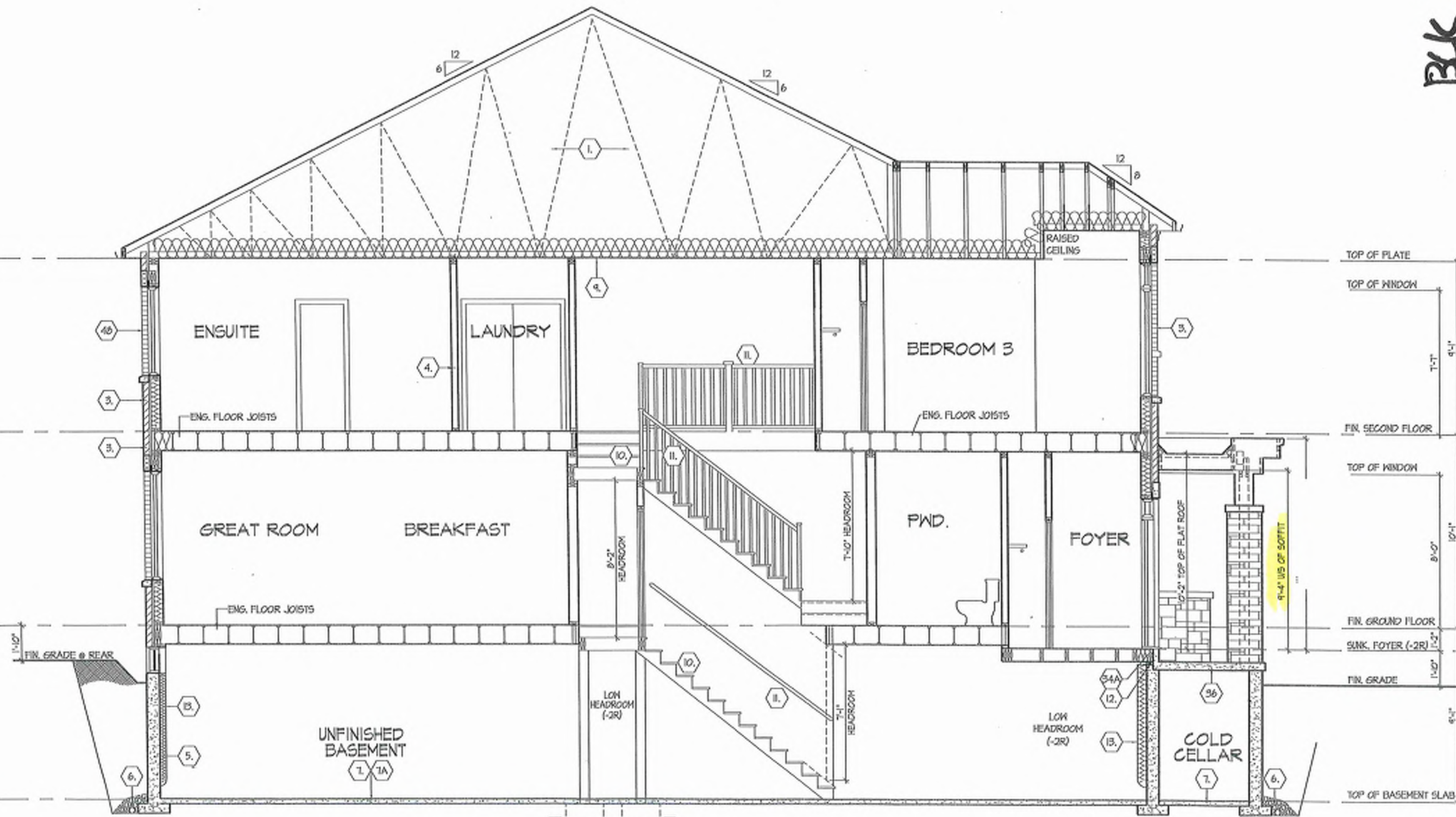
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CROSS SECTION 'A-A'



BK 19
123

CROSS SECTION 'A-A'

UNIT 2016

REV. 2025.03.24

ROYAL PINE HOMES - 218094

921 BAYVIEW, RICHMOND HILL, ON.

HUNT
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218094/WT2016

3/16/16

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cont. SECTION 1.0. CONSTRUCTION NOTES

40 1 HR. PARTY WALL (CONC. BLOCK) (359-4) WALL TYPE 580 & 516)
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (50.8x50.8) VERTICAL WD. STRAPPING @ 24" (600) O.C. ON 8" (203) CONC. BLOCK. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 5% OF ABSORPTIVE MATERIAL. JOINTS EXPLODED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR ROCK SLAG OR GLASS. TAPE FILL & SAND ALL GYPSUM PLASTERED JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR ROCK SLAG ON GLASS. TAPE FILL AND SAND ALL GYPSUM SHEATHING. FURRED WITH 2"x2" (50.8x50.8) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40 1 HR. PARTY WALL (DOUBLE STUD) (359-4) WALL TYPE 516)
5/8" (15.9) TYPE 1" GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (50.8x101.6) STUDS @ 16" (406) O.C. MIN. 1" (25.4) APART ON SEPARATE 2"x4" (50.8x101.6) STUDS @ 16" (406) O.C. AS REQUIRED. FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 6% OF ABSORPTIVE MATERIAL. PROCESSED FROM ROCK SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A 2 HR. FIREWALL (359-4) WALL TYPE 580 & 516)
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x4" (50.8x101.6) VERTICAL WD. STRAPPING @ 24" (600) O.C. ON 8" (203) CONC. BLOCK. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 5% OF ABSORPTIVE MATERIAL. PROCESSED FROM ROCK SLAG OR GLASS. TAPE FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION (2"x8" (51.2x25.4) [3-28])
STUCCO FINISH CONFORMING TO O.B.C. (SECTION 9.28) AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38.1) E.L.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (3-23.10.1.3) SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A STUCCO WALL CONSTRUCTION (2"x8" (51.2x25.4) W/ CONTIN. INSUL.)
STUCCO FINISH CONFORMING TO O.B.C. (SECTION 9.28) AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38.1) E.L.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B.C. (3-27.21) ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" (11.1) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (3-23.10.1.3) SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B STUCCO WALL @ GARAGE CONST. (3-28)
STUCCO FINISH CONFORMING TO O.B.C. (SECTION 9.28) AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38.1) E.L.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (3-23.10.1.3) SECTION 1.1. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)
*** FOR CHIMNELS USE CONCRETE INSULATION CONSTRUCTION
PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11.1) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LEO OF 1/2" (38.1) E.L.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSSGLASS GOLD GYPSUM BRD.

42 UNSUPPORTED FOUNDATION WALLS [9.15.4.2]
REINFORCING AT STAIRS AND SUMMER FLOOR AREAS
2-2MM BARS IN TOP PORTION OF WALL (UP TO 8" (203) OPENING)
3-2MM BARS IN TOP PORTION OF WALL (8" (203) TO 10" (254) OPENING)
4-2MM BARS IN TOP PORTION OF WALL (10" (254) TO 15" (381) OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL
REINFORCING AT BASEMENT WINDOWS
2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WN. SILL. EXTEND BARS 24" (600) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.
- BARS TO HAVE MIN. 1" (25.4) CONC. COVER
- BARS TO EXTEND 24" (600) BEYOND BOTH SIDES OF OPENING

43 STUD WALL REINFORCEMENT
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.52.4.1) (REFER TO DETAILS)

44 WINDOW WELLS
WHERE A WINDOW OPENS INTO A WINDOW WELL, A 1" (25.4) MINIMUM

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35% UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO [9.0.1-0.10] 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 3'0" (900) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 6'11" (1800). [9.0.11] 3) WINDOWS IN EXIST. STAIRWAYS THAT EXTEND TO LESS THAN 9'11" (900) 3'10" (300) FOR ALL OTHER BUILDINGS SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN [4.1.5.15] AND [9.3.8.2] 4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS		
2.2. CEILING HEIGHTS THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.0.3.1.		
ROOM OR SPACE	MINIMUM HEIGHTS	
LIVING ROOM, DINING ROOM AND KITCHEN	7'7" OVER 76% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'11" AT ANY POINT	
BEDROOM	7'7" OVER 50% OF REQUIRED FLOOR AREA OR 6'11" OVER ALL OF THE REQUIRED FLOOR AREA	
BASEMENT	6'11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND JOISTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'6".	
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING	
FINISHED ROOM NOT MENTIONED ABOVE	6'11"	
MEZZANINES	6'9 1/2" ABOVE & BELOW FLOOR ASSEMBLY [9.3.2.2]	
STORAGE GARAGE	6'7" [9.3.2.3]	
2.3. MECHANICAL / PLUMBING [9.32] 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 1 AIR CHANGE PER HOUR REFER TO MECHANICAL DRAWINGS. 2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO O.B.C. [9.31-8] 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HWY AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES. 4) DRAIN WATER HEAT RECOVERY (UNIT) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF (8012) - [8.1.1.12] OF THE O.B.C.		
2.4. LUMBER 1) ALL LUMBER SHALL BE GRADE NO.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDERS, TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER. 5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 MIL POLYETHYLENE FILM, NO. 50 (4500) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.		
2.5. STEEL [9.23.4.3] 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 50W, HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-16M GRADE 400R.		
2.6. FLAT ARCHES 1) FOR 8'0" (2400) CEILINGS, FLAT ARCHES SHALL BE 6'10" (2030) A.F.F. 2) FOR 8'0" (2400) CEILINGS, FLAT ARCHES SHALL BE 6'10" (2030) A.F.F. 3) FOR 10'0" (3000) CEILINGS, FLAT ARCHES SHALL BE 8'6" (2550) A.F.F.		
2.7. ROOF OVERHANGS 1) ALL ROOF OVERHANGS SHALL BE 1'0" (300), UNLESS NOTED OTHERWISE.		
2.8. FLASHING [9.23.13], [9.25.4], [9.27.3] 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.		
2.9. GRADING 1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ACCOUNTANT PROPERTIES. CONFORM TO [9.14.9]		
2.10. ULC SPECIFIED ASSEMBLIES ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY ULC LISTED ASSEMBLY, SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER WATERPROOFING OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY ULC LISTED ASSEMBLY IDENTIFIED IN THESE DRAWINGS.		

SECTION 3.0. LEGEND

SECTION 3.0. LEGEND

[illegible]

ENGINEERED LUMBER SCHEDULE

DE	SIZE	BRICK	STONE
7	3 1/2" x 3 1/2" x 14" (89 x 89 x 6.4)	8 1/2" (2.47m)	7-6" (2.30m)
8	4" x 3 1/2" x 14" (102 x 89 x 6.4)	8 1/2" (2.69m)	8-1" (2.45m)
9	5" x 3 1/2" x 8 1/2" (127 x 89 x 7.8)	10-10" (3.31m)	10-1" (3.03m)
10	5" x 3 1/2" x 7 1/2" (127 x 89 x 5.1)	11 1/2" (3.48m)	10-7" (3.24m)
11	6" x 3 1/2" x 7 1/2" (152 x 89 x 5.1)	12 1/2" (3.82m)	11-7" (3.54m)
12	7" x 4" x 7 1/2" (178 x 102 x 5.1)	14 1/2" (4.30m)	13-1" (3.96m)

3.3. DOOR SCHEDULE

CONFORMING TO SECTIONS [9.5.5], [9.9.6], [9.7.2.1], [9.7.5.6], [9.10.13.5]	
A	2-4" x 6-4" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI0.7)
B	2-4" x 6-4" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI0.7)
C	3-0" x 6-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI0.7)
D	2-4" x 6-4" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI0.7)
E	2-4" x 6-4" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI0.7) (SEE HEX NOTE 40)
F	3-0" x 6-8" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI0.7)
G	2-4" x 6-4" x 1-3/4" (815 x 2440 x 45) INSULATED MIN. R4 (RSI0.7)
H	2-4" x 6-4" x 1-3/4" (815 x 2550 x 45) MIN. FAR DOORFRAME WITH APP. SELF-CLOSING DEVICE.
I	2-4" x 6-4" x 1-3/8" (815 x 2030 x 35)
J	3-0" x 6-8" x 1-3/8" (815 x 2030 x 35)
K	2-4" x 6-4" x 1-3/8" (780 x 2030 x 35)
L	2-4" x 6-4" x 1-3/8" (710 x 2030 x 35)
M	2-4" x 6-4" x 1-3/8" (510 x 2030 x 35)
N	2-4" x 6-4" x 1-3/8" (160 x 2030 x 35)
O	1-1/2" x 6-4" x 1-3/8" (400 x 2030 x 35)

PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIGURATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT*, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS; TO B.C. REFERENCE: TABLE 9.2.2.10.1		SUPPORTED LOADS (TEXTURE)	
MIN. STUD SIZE	ROOM OR W/ ATTIC	ROOM OR W/ ATTIC & FLOOR	ROOM OR W/ ATTIC & FLOOR
in (mm)	in (mm)	in (mm)	in (mm)
2x4*	2x4**	2x4**	2x4**
(50x68)	(50x68)	(50x68)	(50x68)
2x6*	2x6*	2x6*	2x6*
(38x91)	(38x91)	(38x91)	(38x91)

3.4. ACRONYMS	
ABV ABOVE	HRV HEAT RETURN VENTILATION UNIT
AFF ABOVE FINISHED FLOOR	HWT HOT WATER TANK
BBFM BEAM BY FLOOR MANUFACTURER	JST JOIST
BBRM BEAM BY ROOF MANUFACTURER	LN LINEN CLOSET
BG FIXED GLASS W/ BLACK BACKING	LVL LAMINATED VENEER LUMBER
BLW BELOW	OTBA OPEN TO BELOW/ABOVE
BM BEAM	PL POINT LOAD
CRF CONVENTIONAL ROOF FRAMING	PLT PLATE
CW COMPLETE WITH	PT PRESSURE TREATED
DJ/D DOUBLE JOIST/ TRIPLE JOIST	PTD PAINTED
DO DO OVER	PWD POWDER ROOM
DRP DROPPED	RWL RAIN WATER LEADER
ENG ENGINEERED	SB SOLID BEARING WOOD POST
ERV ENERGY RECOVERY VENTILATION UNIT	SBA SB FROM ABOVE
EST ESTIMATED	SJ SINGLE JOIST
FA FLAT ARCH	SPR SPRUCE
FD FLOOR DRAIN	STL STEEL
FG FIXED GLASS	T/O TOP OF
FL FLUSH	TYP TYPICAL
FLR FLOOR	LVS UNDERSIDE
GT GIRDER TRUSS	WD WOOD
GRTRM GIRDER TRUSS BY ROOF MANUFACTURER	WIC WALK IN CLOSET
HB HOSE BIB	WP WEATHER PROOF
HDRM HEADROOM	
3.5. SYMBOLS	
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.4.4.	
	CLASS 9 VENT
	DUPLEX OUTLET (12" HIGH)
	HEAVY DUTY OUTLET
	POT LIGHT
	LIGHT FIXTURE (PULL CHAIN)
	CABLE T.V. JACK
	CENTRAL VACUUM OUTLET
	ELECTRIC VEHICLE CHARGING STATION ROUGH-IN
■ SA SMOKE ALARM (9.10.15) PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRE TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALING COMPONENT AS PER THE NATIONAL FIRE ALARM AND SIGNALING CODE 72*	
⚡ CMA CARBON MONOXIDE ALARM (9.9.3), (9.32.3.3) *CHECK LOCAL BY-LAWS FOR REQUIREMENTS** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-8.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT, ON EACH STOREY AND ADJACENT TO EACH SLEEPING ROOM. A CARBON MONOXIDE ALARM IS REQUIRED IN ANY SLEEPING ROOM THAT CONTAINS OR SHARES A WALL OR FLOOR/CEILING WITH A ROOM THAT CONTAINS A FUEL BURNING APPLIANCE, OR FLUE. ALARM(S) SHALL BE REQUIRED IN ANY SLEEPING ROOM ADJACENT OR ABOVE THE GARAGE. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERFERING DOORS ARE CLOSED AS WELL AS HAVING VISUAL SIGNALING.	
☑ SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER, BUT UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GROUND TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)	

OPERATION / CLIMATE DATA

SECTION 4.0. CLIMATIC DATA
REFER TO O.B.C. FOR DESIGN SNOW LOAD[9.4.2.2]
& WIND PRESSURE (SB-1 TABLE 2)

STAMP

2'-2" x 6'-4" x 1'-0 3/8" (1860 x 2030 x 305)	HUNT DESIGN ASSOCIATES INC. www.hunt-design.ca
1'-5" x 5'-5" x 1'-0 3/8" (450 x 2030 x 305)	

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

NOV. 21, 2024

CONSTRUCTION NOTES 2

UNIT 2018
REV.2025.03.24

File Number
18094WT2016
056.757.7526

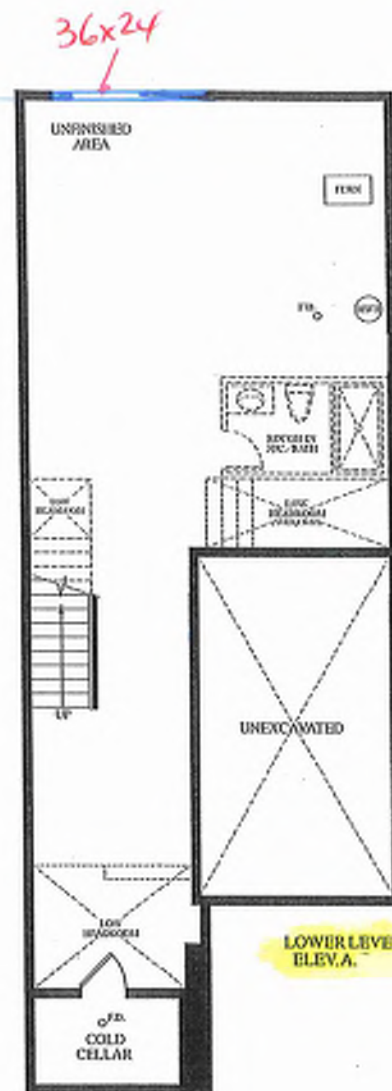
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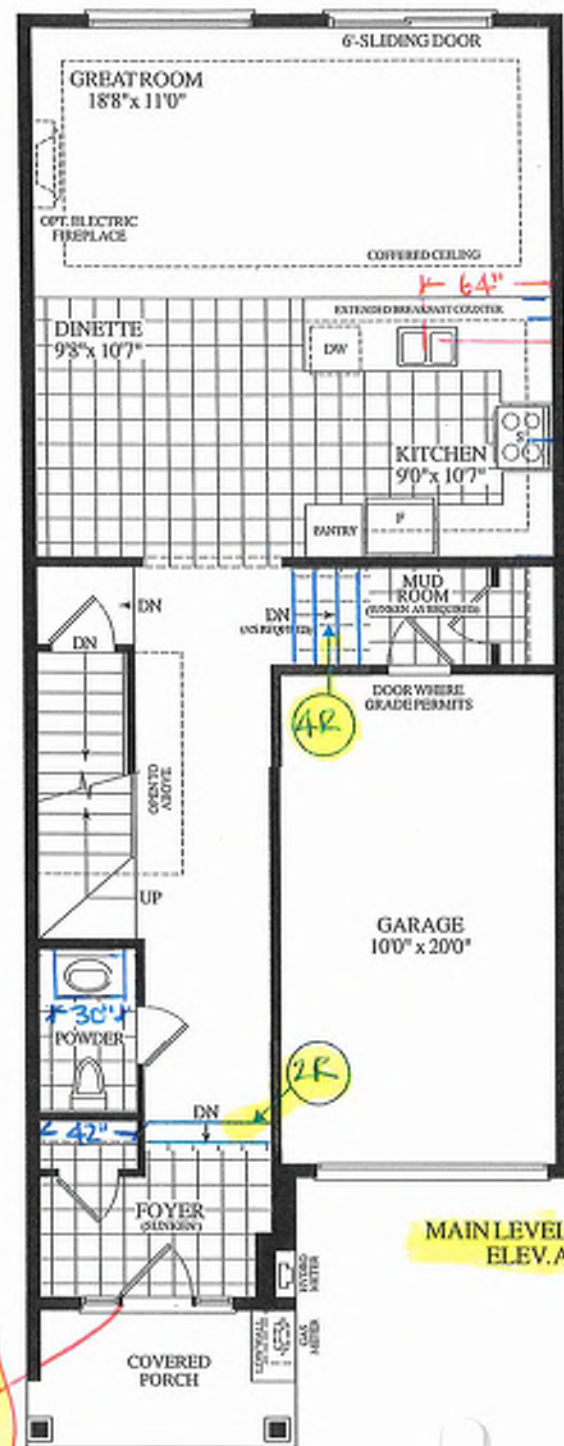
BAYVIEW HEIGHTS
RICHMOND HILL



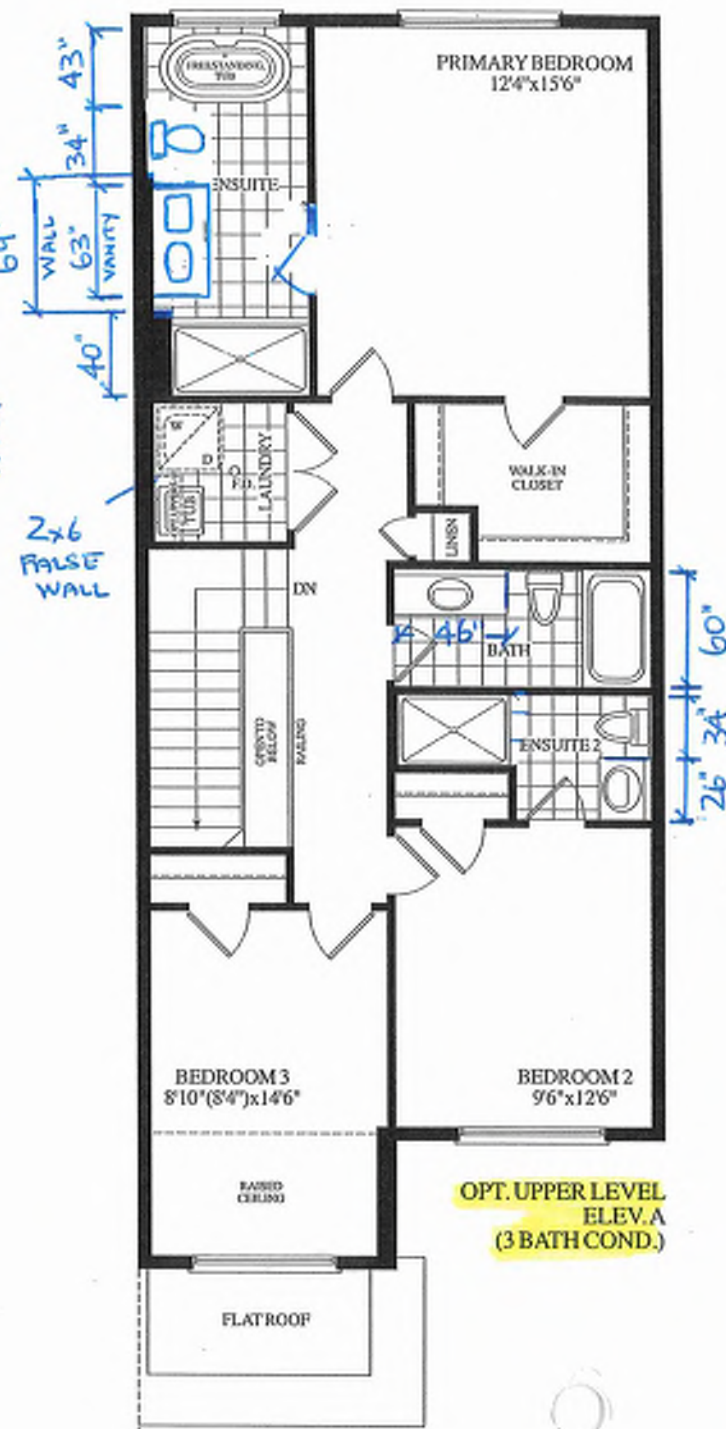
INVENTORY



EXTENDED
HEIGHT
FRONT
DOOR
66x98 1/2



Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are not to scale dimensions. Actual usable floor space may vary from the stated floor area. E&O.E.



INVENTORY T.H

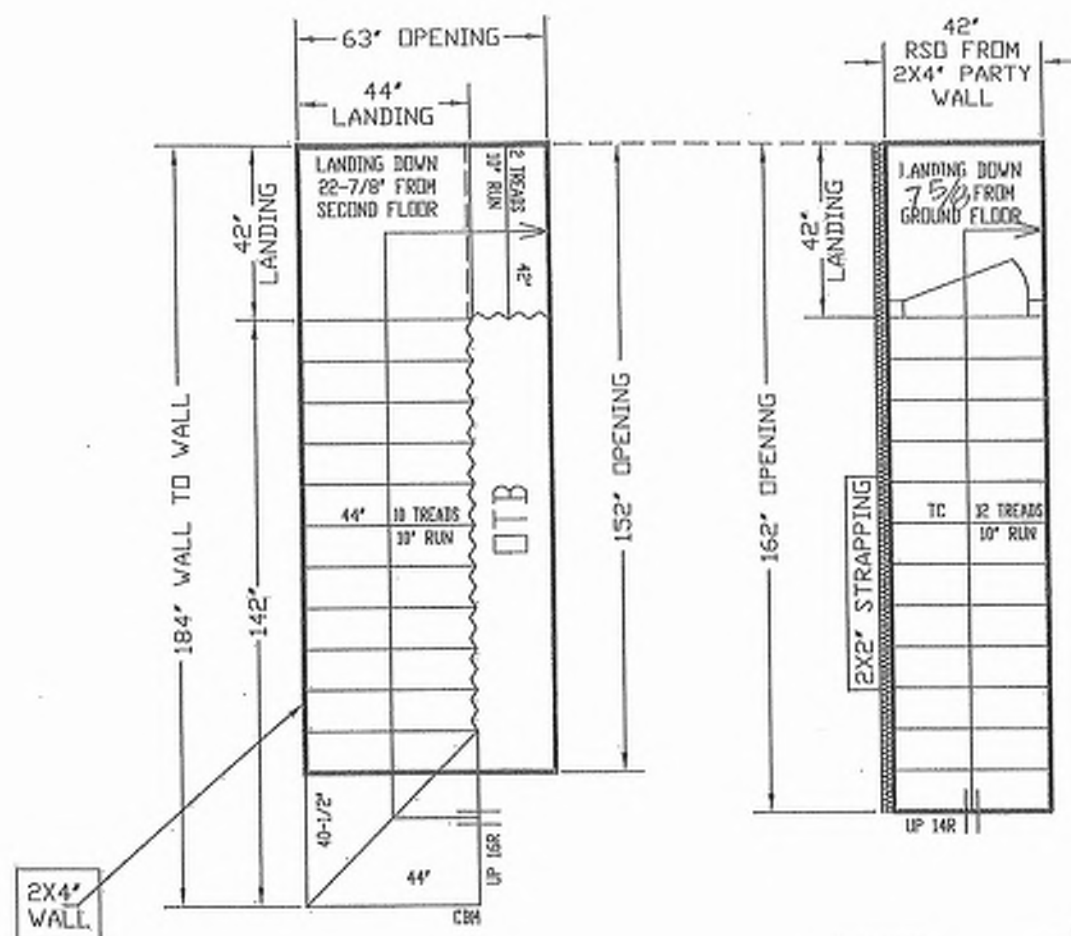
BLK.19 TH.124 20-16 THE CHARLOTTE EL. A

STD. MAIN OPT. UPPER LEVEL 3 BATH.

1795 SQ. FT.

GROUND TO SECOND
122' HT 11-7/8" JOIST

BASEMENT TO GROUND
BSMT 11-7/8" JOIST



ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

STAIRS LINE UP BY
PARTY WALL

NO WALLS UNTIL
STAIRS INSTALLED

REVISED
JUNE 4, 2025

GARAGE RIGHT >



ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE
ANY STRAPPING ALLOWANCES TO BE COMPENSATED BY CARPENTERS
ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPECS AS SUPPLIED
TO ALPA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN ON LAYOUTS ARE REQUIRED TO
INSTALL OUR STAIRS. ANY PROBLEM WITH HANDRAIL OR STRAPPING ALLOWANCES, ALPA
STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY
CARPENTERS OR SITE SUPERVISORS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING
WITH CONSTRUCTION
ALPA STAIRS AND RAILINGS INC.
3770 NASHUA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1M5
TEL: (905) 694-9556 | www.alpastairs.com



SITE: BAYVIEW
HEIGHTS
LOT #
Model: UNIT 2016

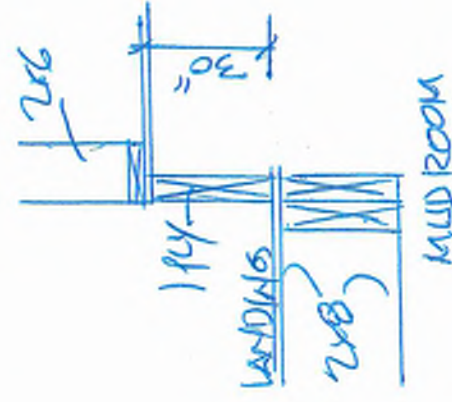
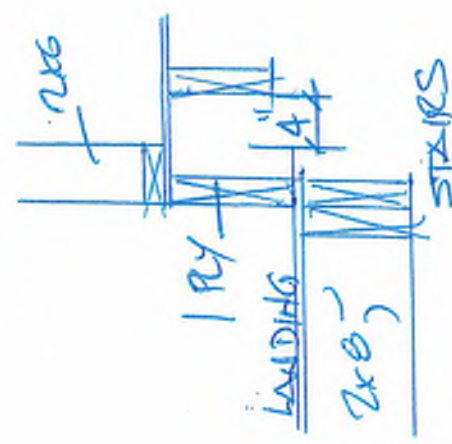
NAME	DATE
PARAMJEET	MAY 23, 2025
DRAWN BY	
ROYAL PINE HOMES	
LAYOUT #	
SCALE: 1/32	

BK 19-124



PART. BASEMENT PLAN
FOR NOT SUNKEN
MUDROOM COND.

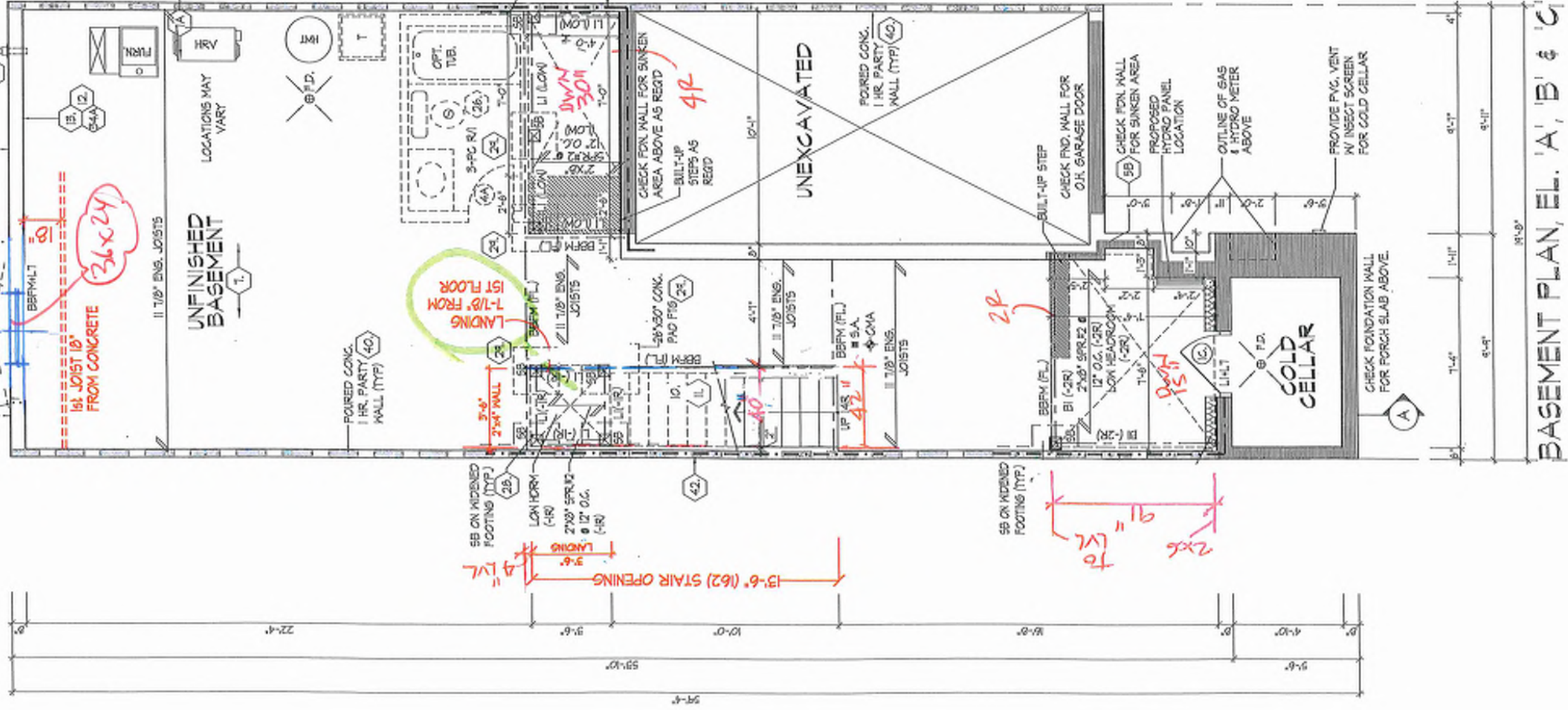
**WALK
OUT**



- APPROX. LOCATION OF
FURNACE AND HOT
WATER TANK
- PROVIDE SOLID WOOD
BLOCKING @ 24\"/>
- FIRST JOIST SPAN WHEN
PARALLEL W/ EXTERIOR WALL
- REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
BLOCKING & STRAPPING
REQUIREMENTS, INSTALLATION
DETAILS AND HANGER SIZES, &
SUBFLOOR THICKNESS

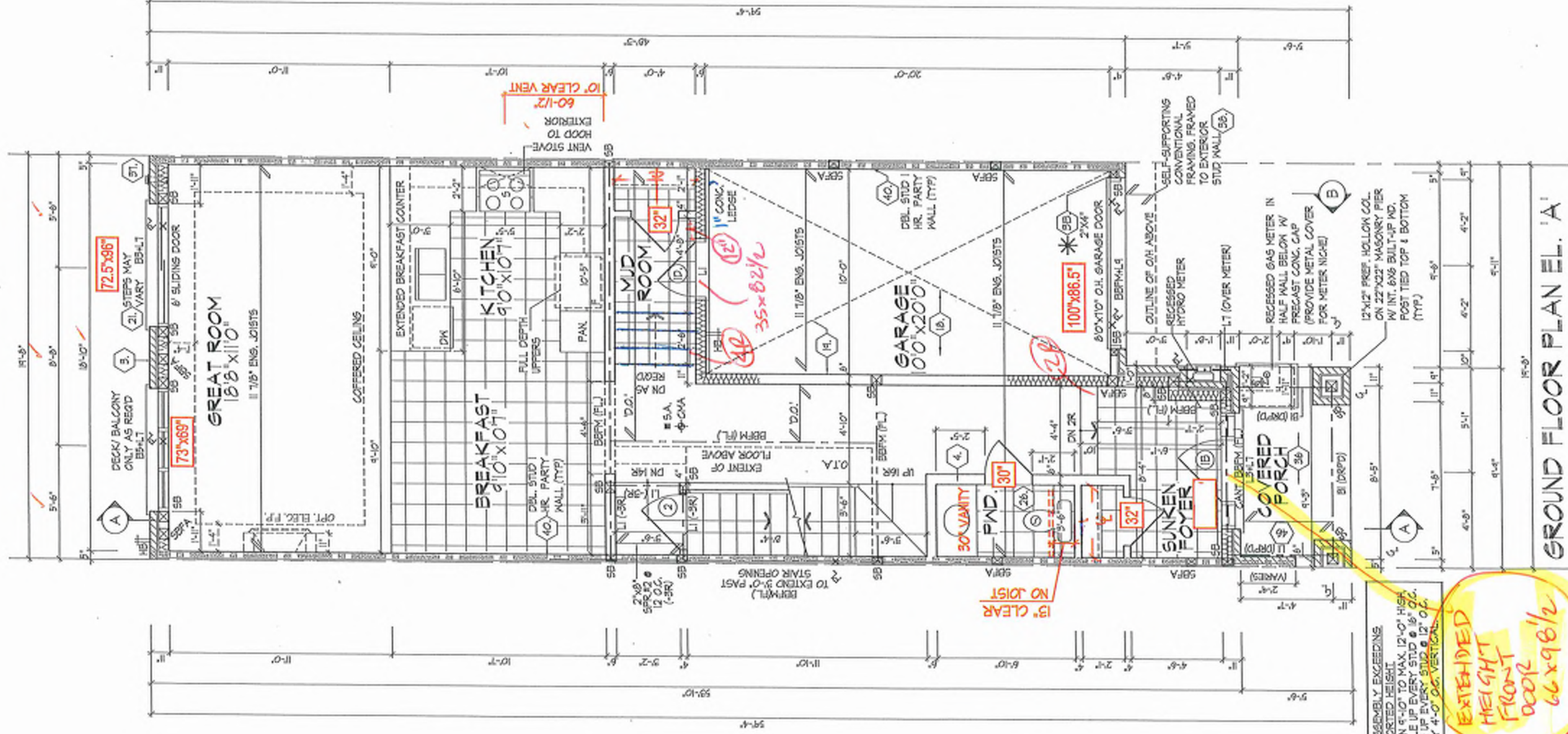
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any existing plans or drawings, or for any errors or omissions in the building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.



BASEMENT PLAN, EL. 'A', 'B' & 'C'

BLK 19-124



ALL DOORS ON PLAN ARE 1'-0" HIGH TOP OF FRAME UNLESS LABELED OTHERWISE.
 PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.
 REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.

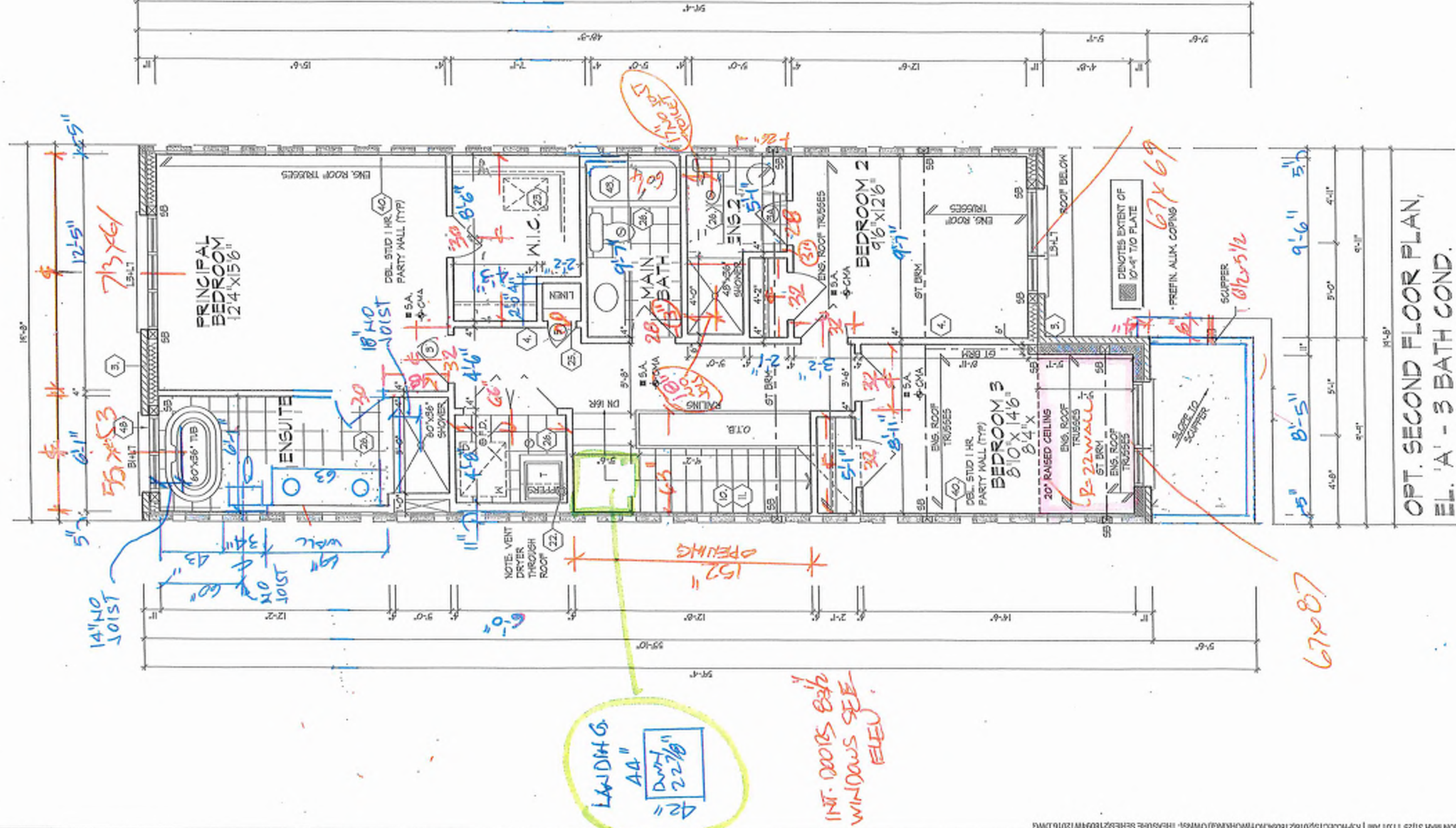
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter, or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

PK 19
124

GROUND FLOOR PLAN, EL. 'A'

GROUND FLOOR PLAN EL. 'A'



REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.

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61 718
124

OPT. SECOND FLOOR PLAN,
EL. 'A' - 3 BATH COND.

OPT. SECOND FLOOR PLAN. EL. 'A' - 3 BATH COND.

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

UNIT 2016

REV. 2025.03.24



HUNT HILL
DESIGN ASSOCIATES INC.

HUNT
DESIGN ASSOCIATES INC.

DESIGN + PROCESS + PEOPLE
www.huntcdesign.ca

Drawn by
 1-20-87

KWYI
KQVZ

3. 2. 2. 2

with

04/03/2011

$$\frac{d}{dt} \left(\frac{1}{2} m v^2 \right) = \frac{1}{2} m \frac{d}{dt} (v^2)$$

File Number
0490041177046

8066-6366-8000
910714460012

Page Number 70

827 10

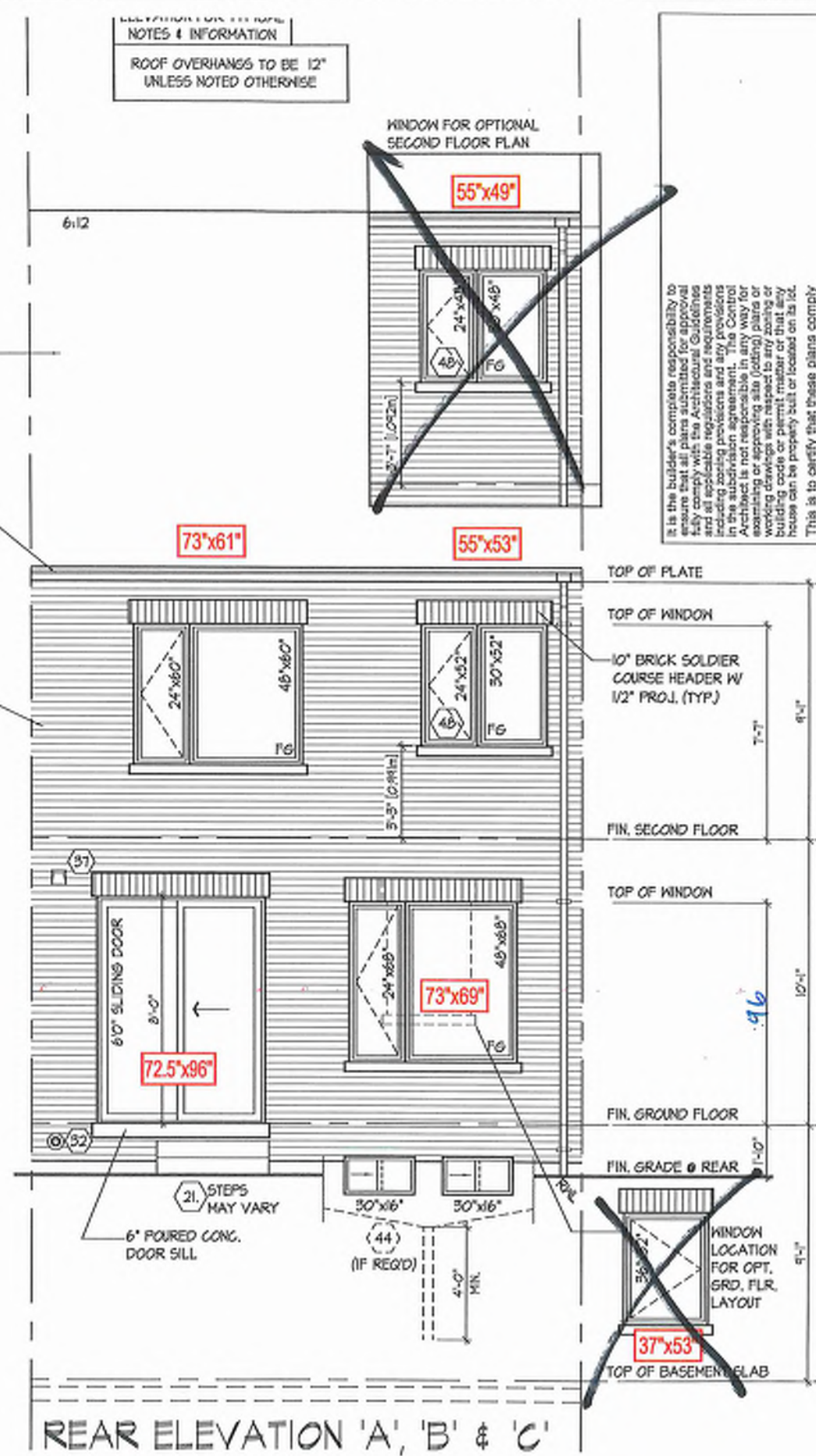
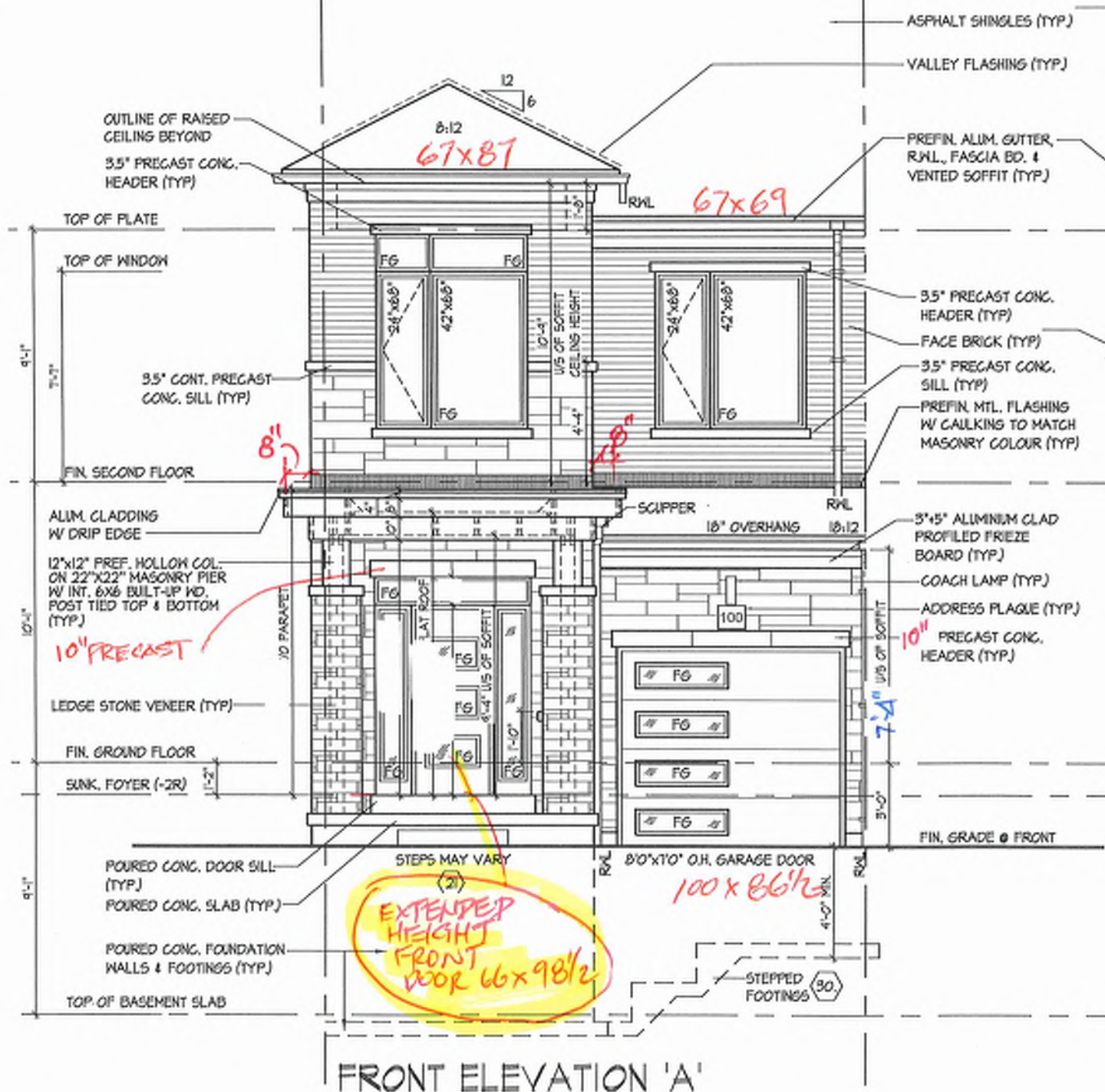
PLANT DESIGN ASSOCIATES INC.
18255
www.hunterdonnj.com
2000 WOODBURY AVENUE, SUITE 100, WOODBURY, NJ 08961
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ROOF PLAN
EL. 'A'
N.T.S.

NOTE:
WHEN UNIT REVERSED KEEP
FIXED GLASS GARAGE
DOOR PANES LEFT

NOTE:
WHEN UNIT REVERSED KEEP
SIDE 24"x68" WINDOW LEFT



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible for any errors or omissions in the plans, specifications or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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FRONT & UPGRADED REAR ELEVATION 'A'
UNIT 2016
REV. 2025.03.24

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT
DESIGN ASSOCIATES INC.

www.huntdesign.ca

8965 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5153 F 905.737.7325

Drawn by: MM 3/16/21-1-07

Checked by: KM/TT

File Number: 218094/WT2016

Page Number: 15 of 25

DATE: 21/2/24

BY: BDN

19955

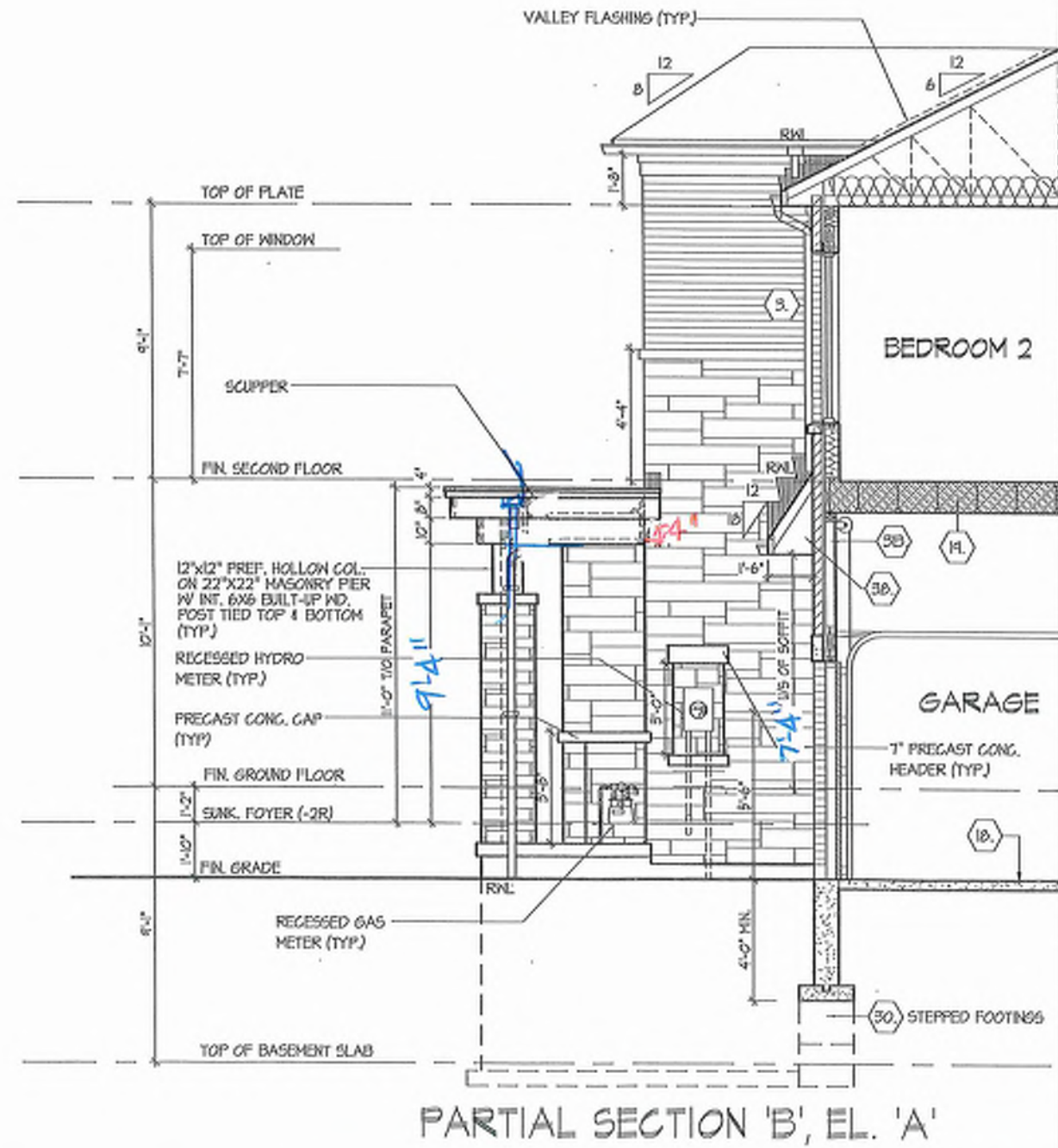
REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

NAME: DOMINIC MABILE

PROFESSIONAL DESIGNER

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Buc 19
124

PARTIAL SECTION B, EL. 'A'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

UNIT 2016

REV. 2025.03.24

Page Number

62 10 11



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DESIGN ASSOCIATES INC.

Drawn By _____

11/10/2011

Checked By _____

MM

100

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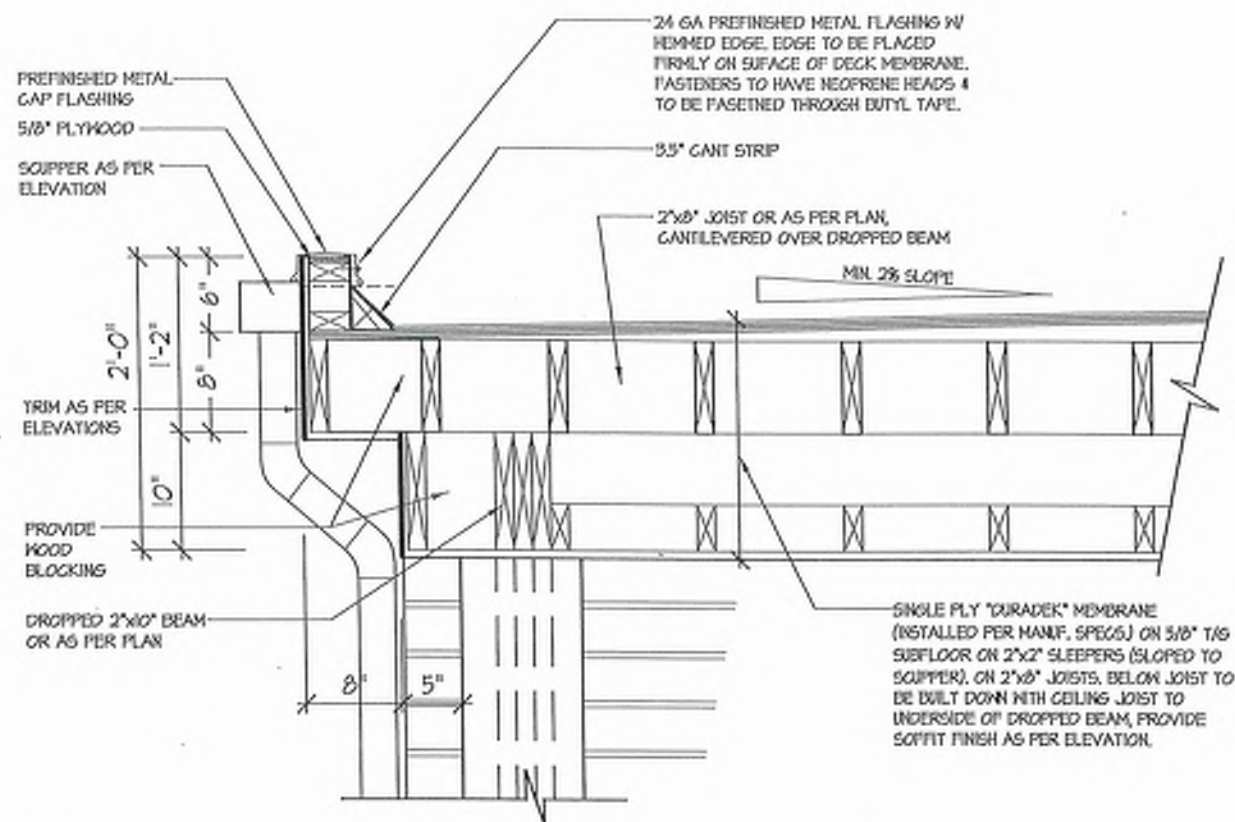
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2016

Page Number: 100

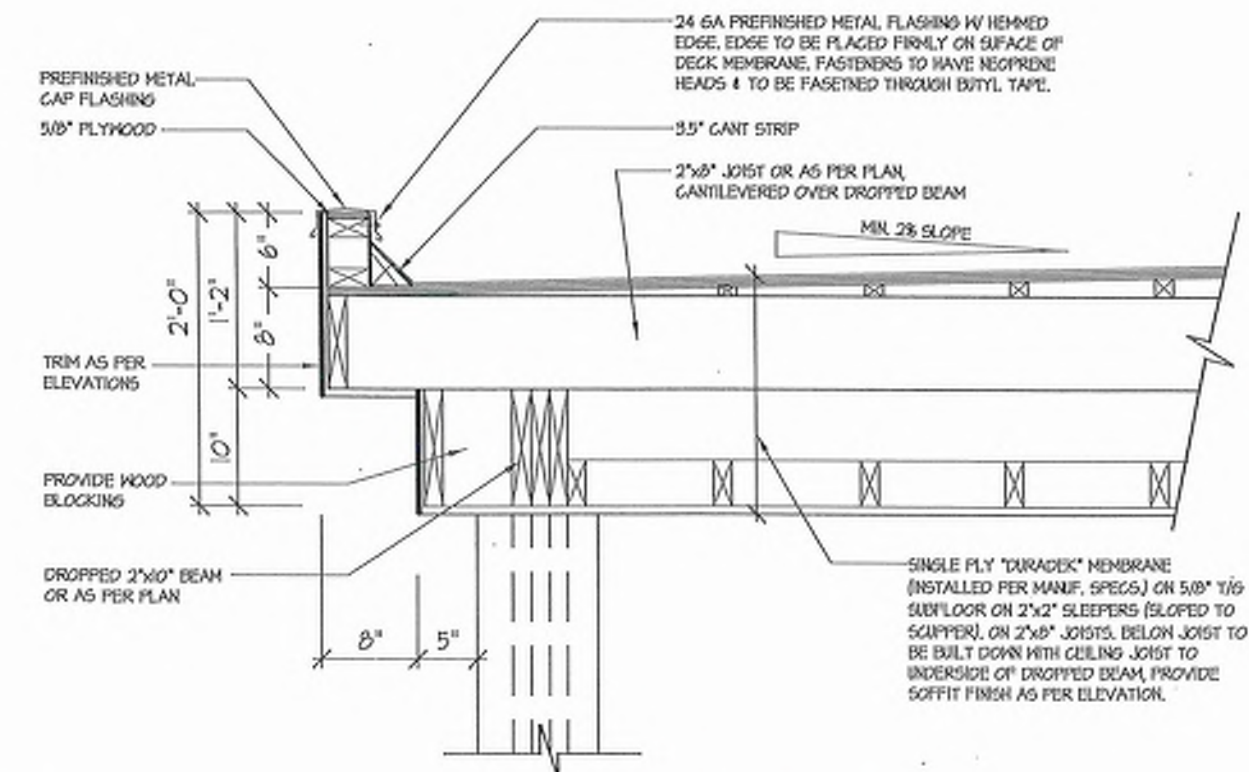
62 10 11

HUNT DESIGN ASSOCIATES INC.
 156695
 8365 Woodbine Ave., Markham, ON L3R 9V7
 www.huntedesign.ca
 T 905.767.3138 F 905.767.3225



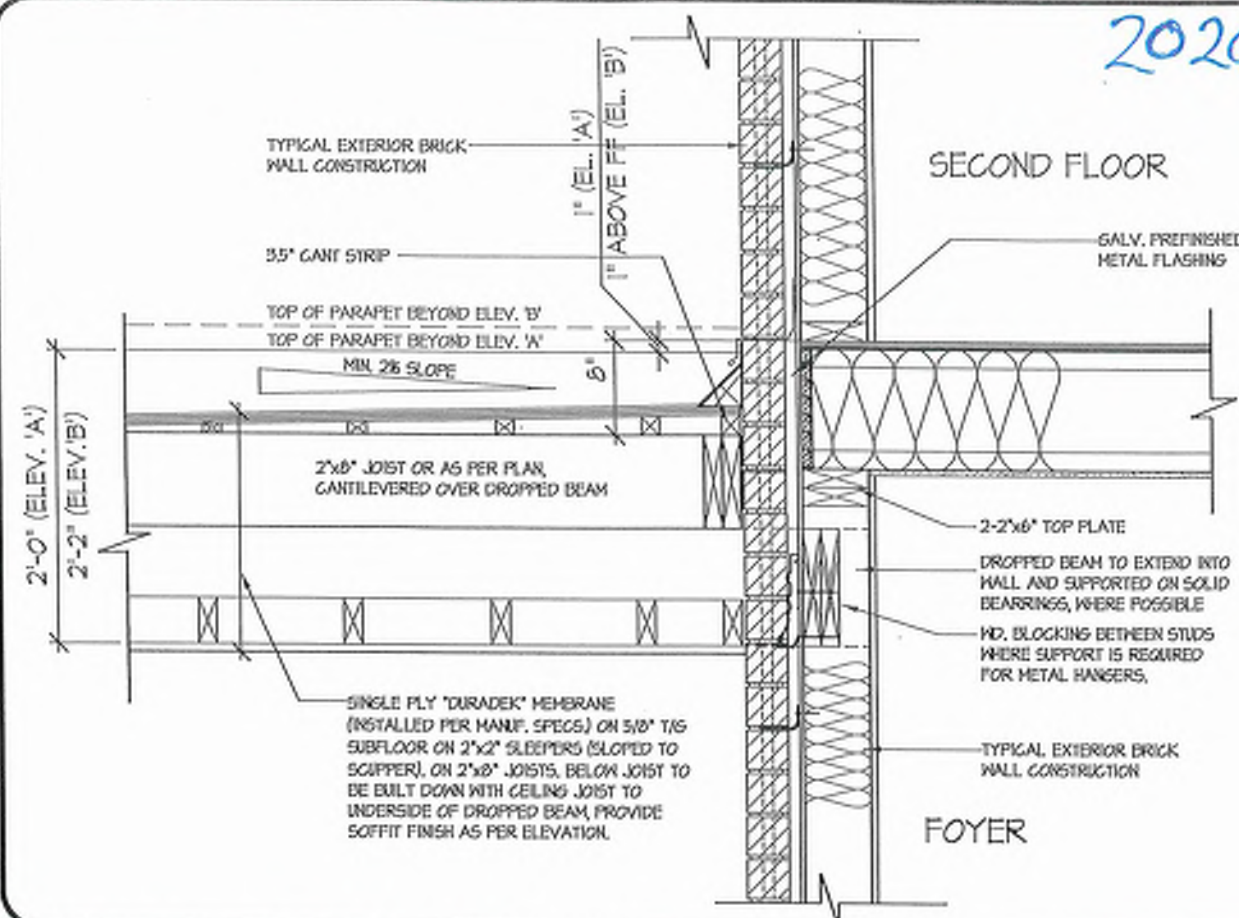
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)

3/4"=1'-0"



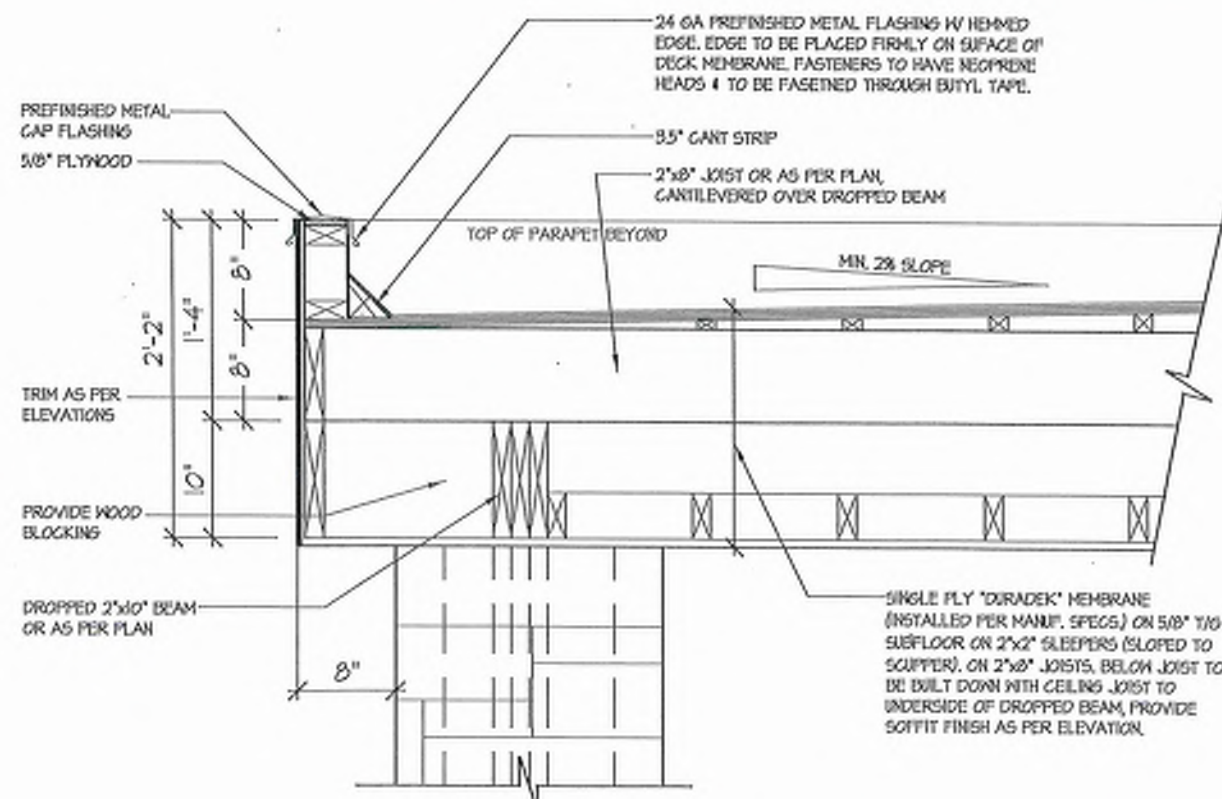
1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'

3/4"=1'-0"



3 FLAT ROOF DETAIL @ EXTERIOR WALL

3/4"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'

3/4"=1'-0"

2020

BK 19-124

FLAT ROOF DETAILS OVER COVERED PORCH

UNIT 2020

ROYAL PINE HOMES - 218094

REV. 2025.03.25

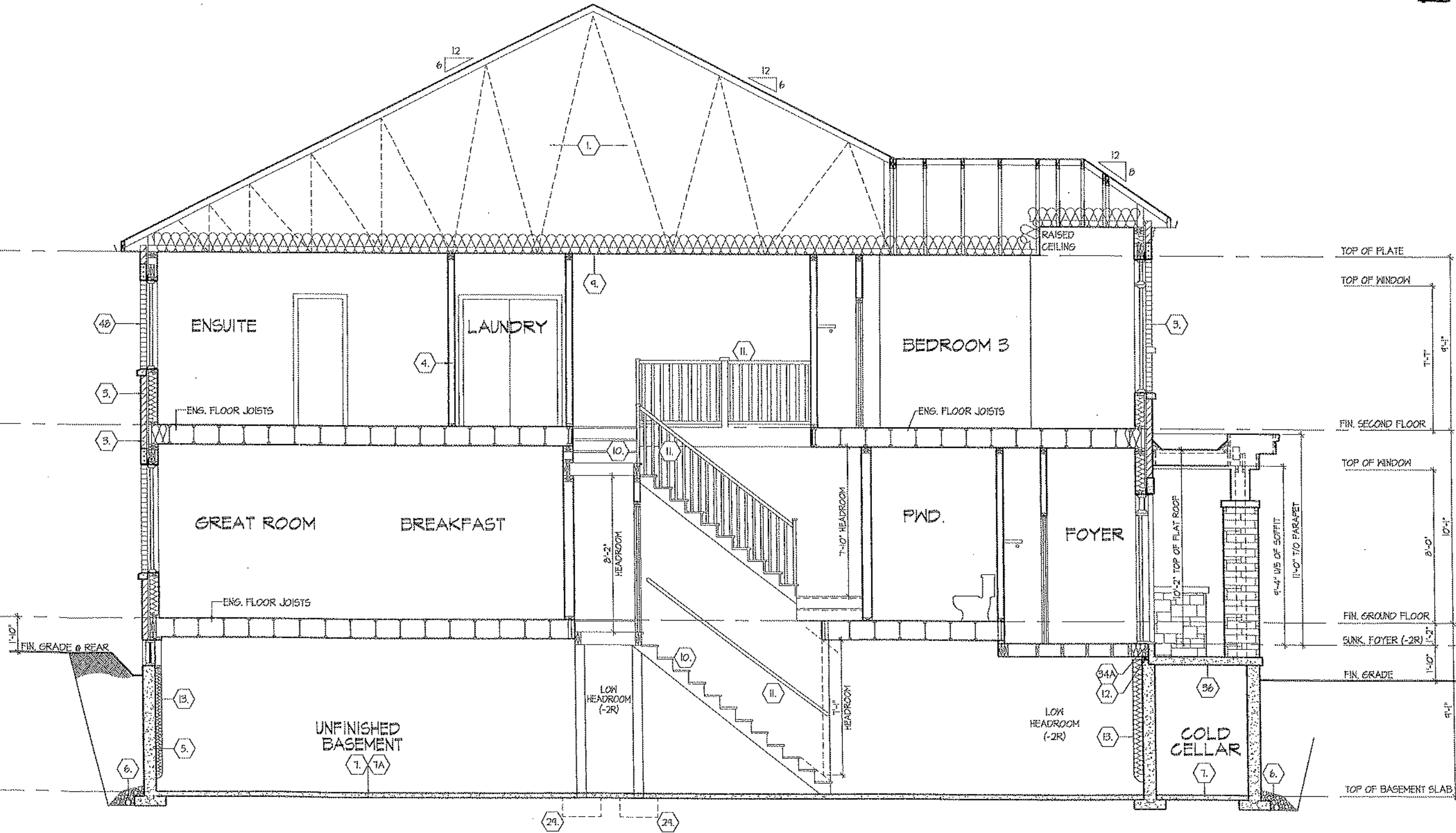
921 BAYVIEW, RICHMOND HILL, ON.

Drawn By: KMMMM DSMM 3/16/11 1'-0" 218094WT2015 27 of 25

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21274 8/20/11 15585 HUNTINGTON DESIGN ASSOCIATES INC. 2008 888 WOODBINE AVE, MARKHAM, ON L3R 0J7 T 905.737.5133 F 905.737.7326

CROSS SECTION 'A-A'



Bk 19
124

CROSS SECTION 'A-A'

UNIT 2016
REV. 2025.03.24

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

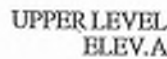
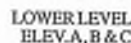
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Checked by: MM
Scale: 3/16"=1'-0"
File Number: 218094WT2016
Page Number: 26 of 29

DATE: 21/2/14
SIGNATURE: BSN
15895
HUNT DESIGN ASSOCIATES INC.

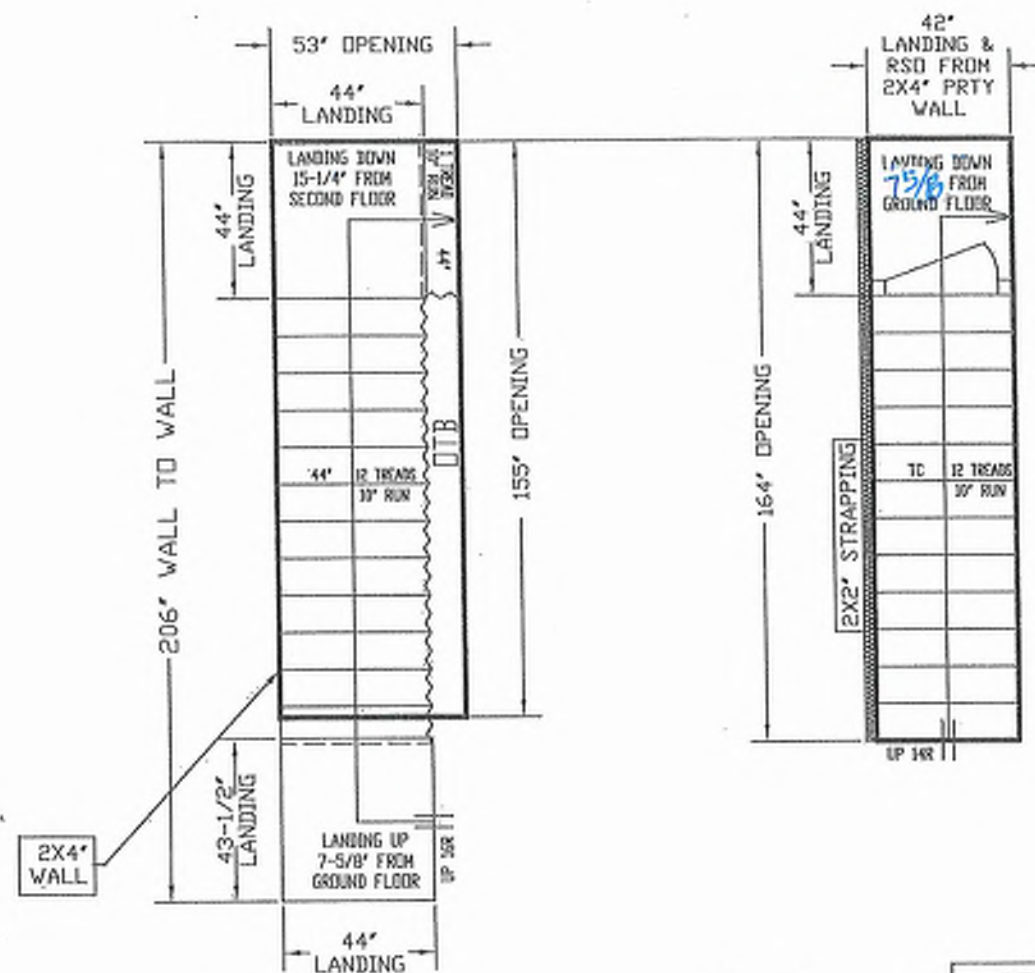


Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E&O.

1795 SQ.FT.

GROUND TO SECOND
122' HT 11-7/8" JOIST

BASEMENT TO GROUND
BSMT 11-7/8" JOIST



ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

STAIRS LINE UP BY
PARTY WALL

NO WALLS UNTIL
STAIRS INSTALLED

REVISED
JUNE 4, 2025

GARAGE RIGHT >

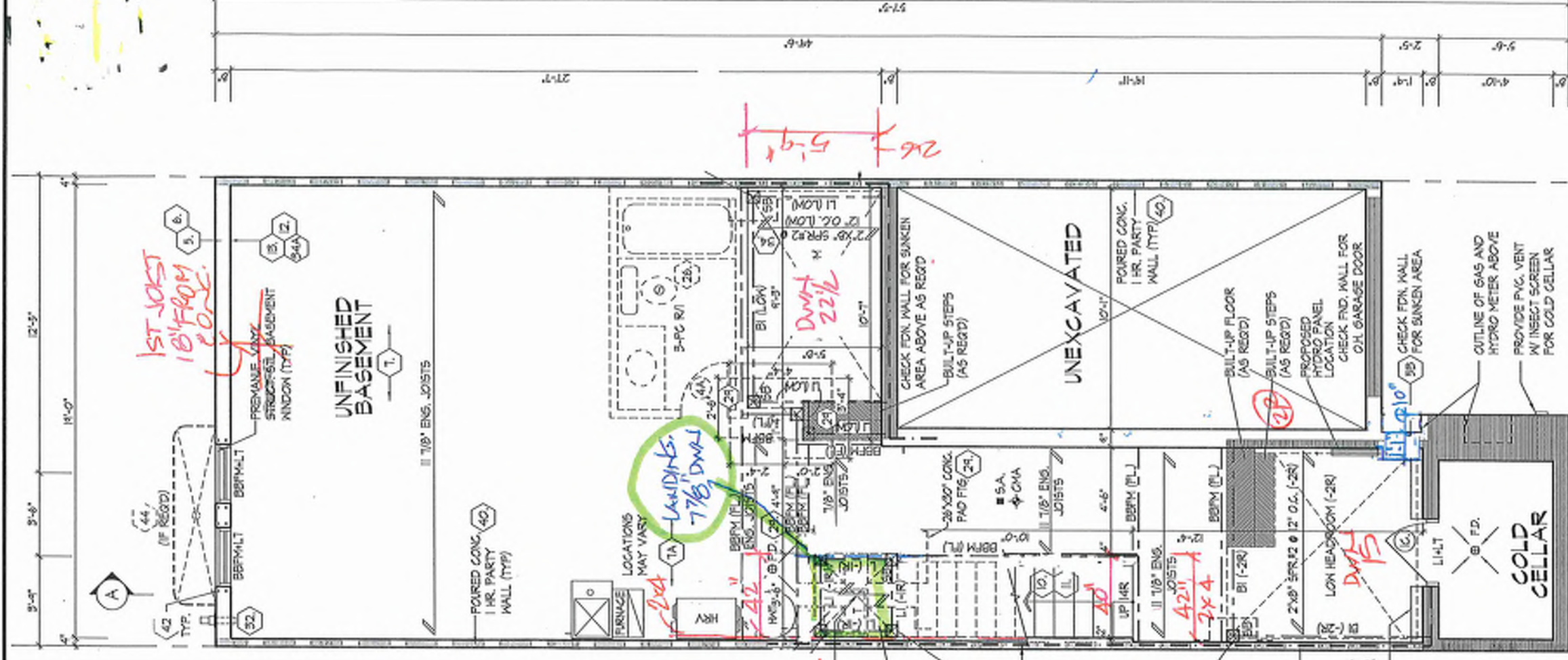
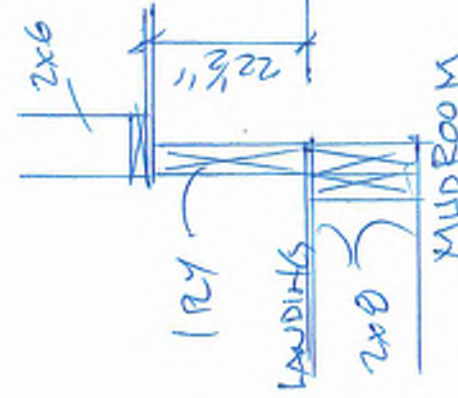
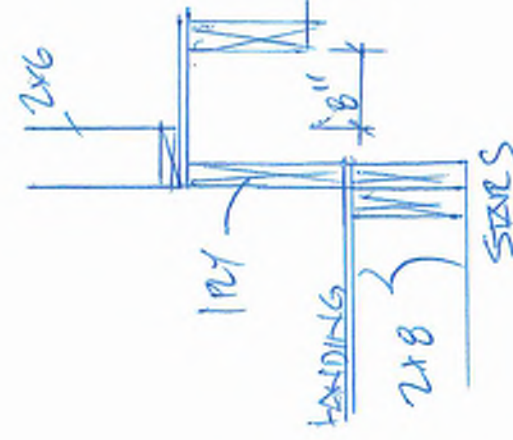
 Alpha Stairs and Railings Inc. Quality To Step Up To	ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE ANY STRAPPING ALLOWANCES TO BE COMPLETED BY CARPENTERS ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPEC'S AS SUPPLIED TO ALPHA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN IN LAYERS ARE DESIGNED TO INSTALL OUR STAIRS. ANY PROBLEMS WITH LANDING OR STRAPPING ALLOWANCES, ALPHA STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY CARPENTERS OR SITE SUPERVISORS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. ALPHA STAIRS AND RAILINGS INC. 3778 WILSHIRE DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1M6 TEL: (905) 694-9336 www.alpastairs.com		SITE: BAYVIEW HEIGHTS LOT # Model: UNIT 2017	DRAWN BY: PARAMJEET DATE: MAY 23, 2025 CLIENT: ROYAL PINE HOMES LAYOUT # SCALE: 1/8" = 1'-0"

BK 19-125



PART. BASEMENT PLAN
FOR NOT SUNKEN
MUDROOM COND.

Preliminary
NOT FINAL April 22 2025



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council is not responsible in any way for providing or not providing for any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

BK 19
125

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	APPROX. LOCATION OF FURNACE AND HOT WATER TANK
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	

BASEMENT PLAN,
EL. 'A', 'B' & 'C'

BASEMENT PLAN, ELEV. 'A', 'B' & 'C'
UNIT 2017
REV. 2025.03.26

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT
DESIGN ASSOCIATES INC.
www.huntassociates.ca

DATE: 2025.03.26
TIME: 11:21 AM
PROJECT: 218094
DRAWING: 218094WT2017
SHEET: 2 OF 27

NOT FINAL April 22 2025



BK 19
125

GROUND FLOOR PLAN. EL. 1'



HUNT
DESIGN ASSOCIATES INC.

UNIT 2017
REV 2025 03 26

Page Number
3 of 27

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SECOND FLOOR PLAN. EL. 'A'

THE UNDERSIGNED HAS PREPARED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET FORTH IN THE NATIONAL BUILT FOR GREEN CODE TO BE A DESIGNER.

UNIT 2017
REV.2025.03.26

HUNT DESIGN ASSOCIATES INC. Drawn By: WMMT Checked By: DMMM Scale: 3/8" = 1'-0" File Number: 218094WT2017 Page Number: 4 of 27

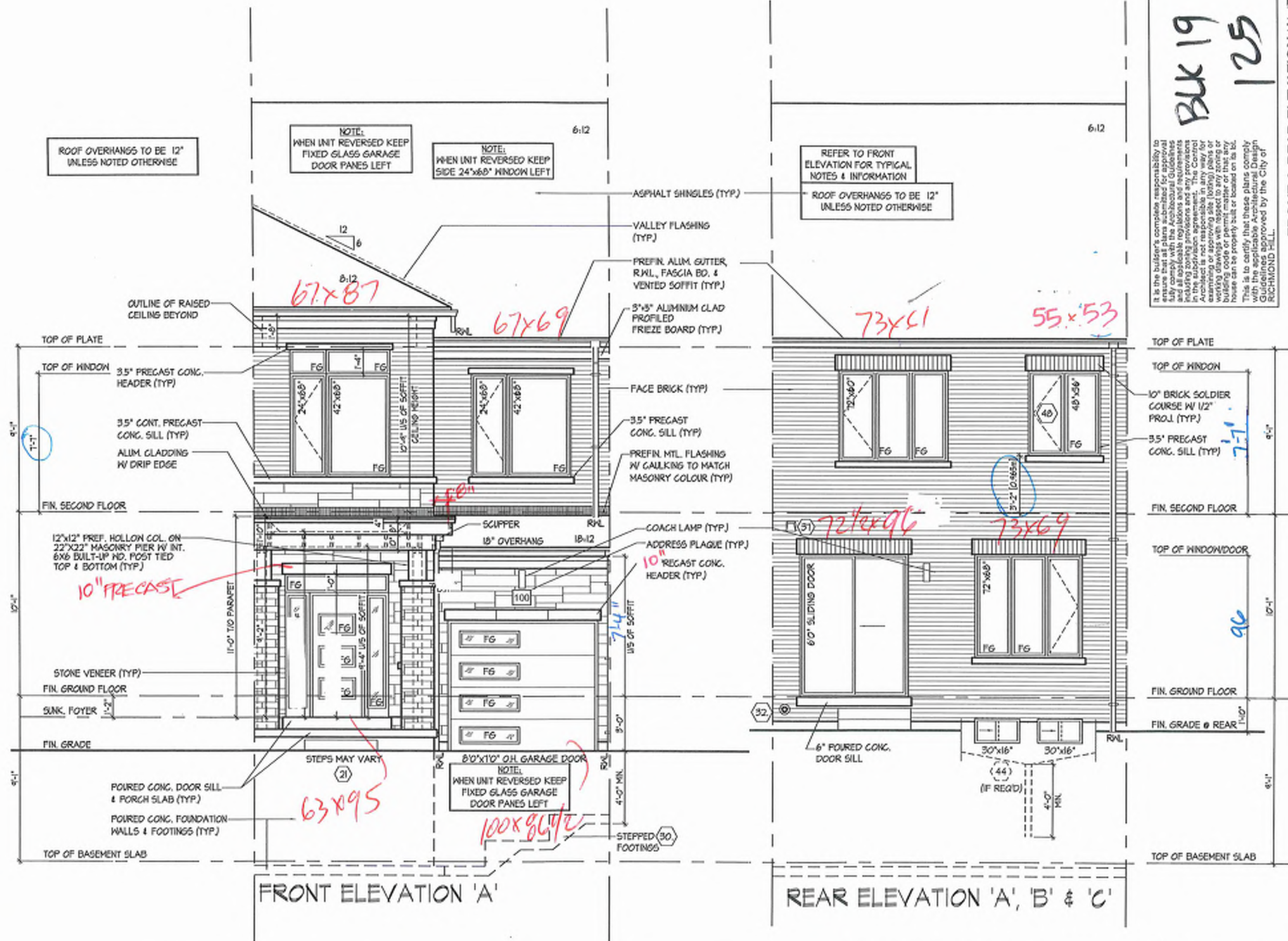
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19885
www.huntedesign.com
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Preliminary

NOT FINAL April 22 2025

ROOF PLAN
EL. 'A'
N.T.S.



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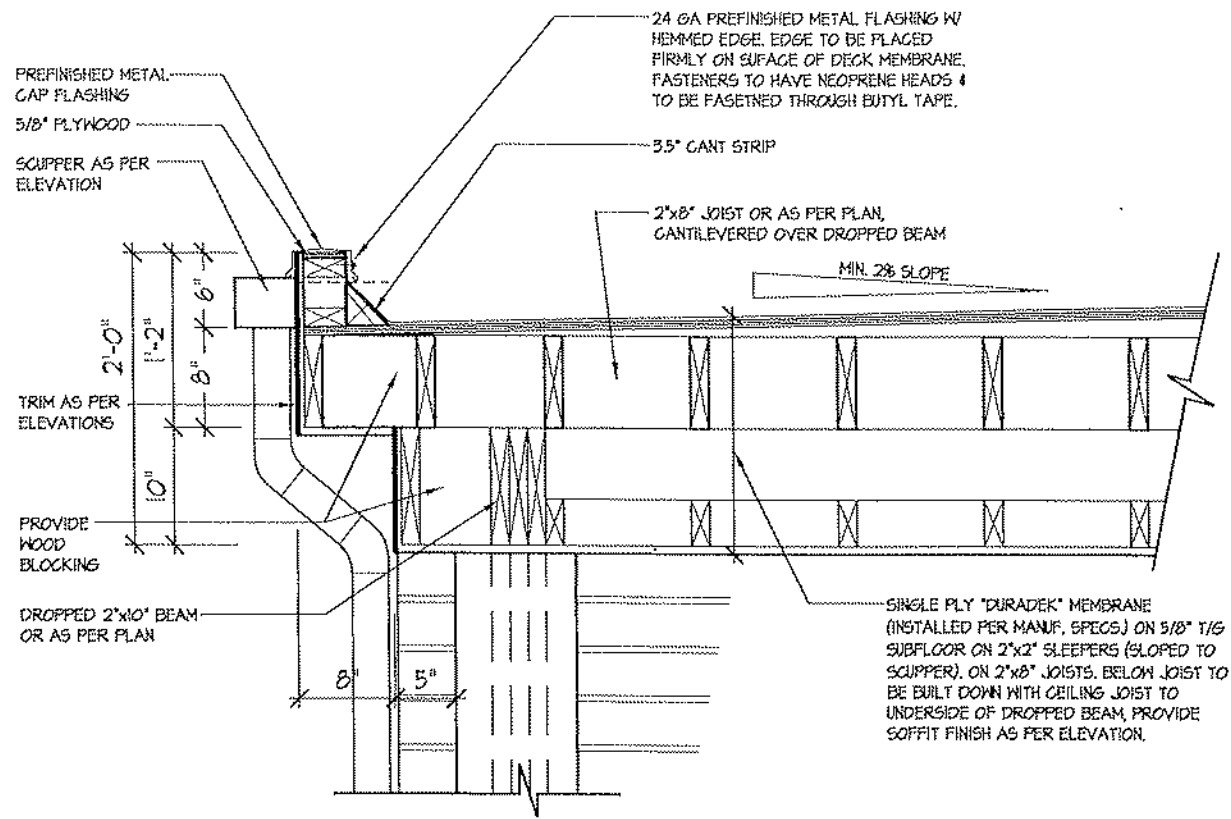
Blk 3
19

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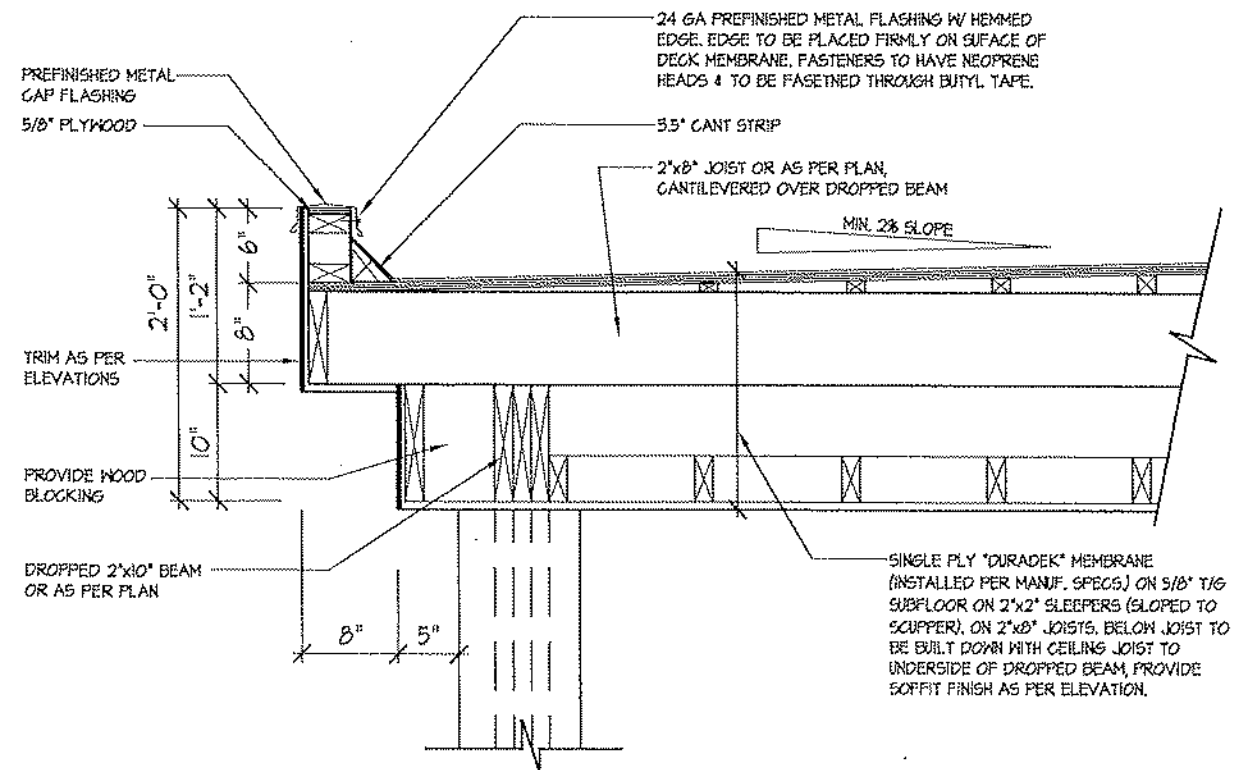
QUALIFICATION INFORMATION

REGISTRATION INFORMATION
 1011 LAMAR AVENUE, SUITE 1000, DENVER, CO 80202
 TEL: 303.733.0100 FAX: 303.733.0101
 WWW.ASCE.ORG

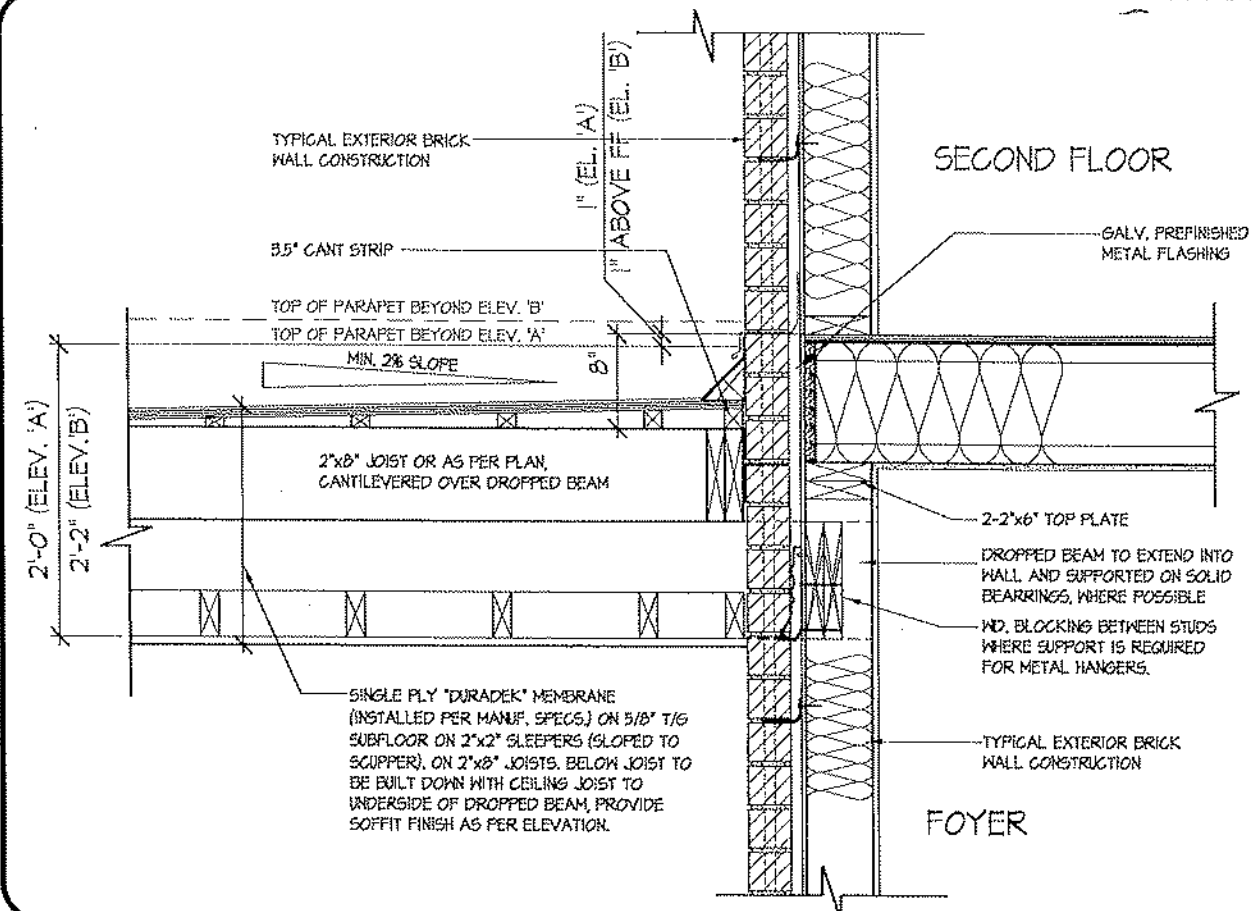
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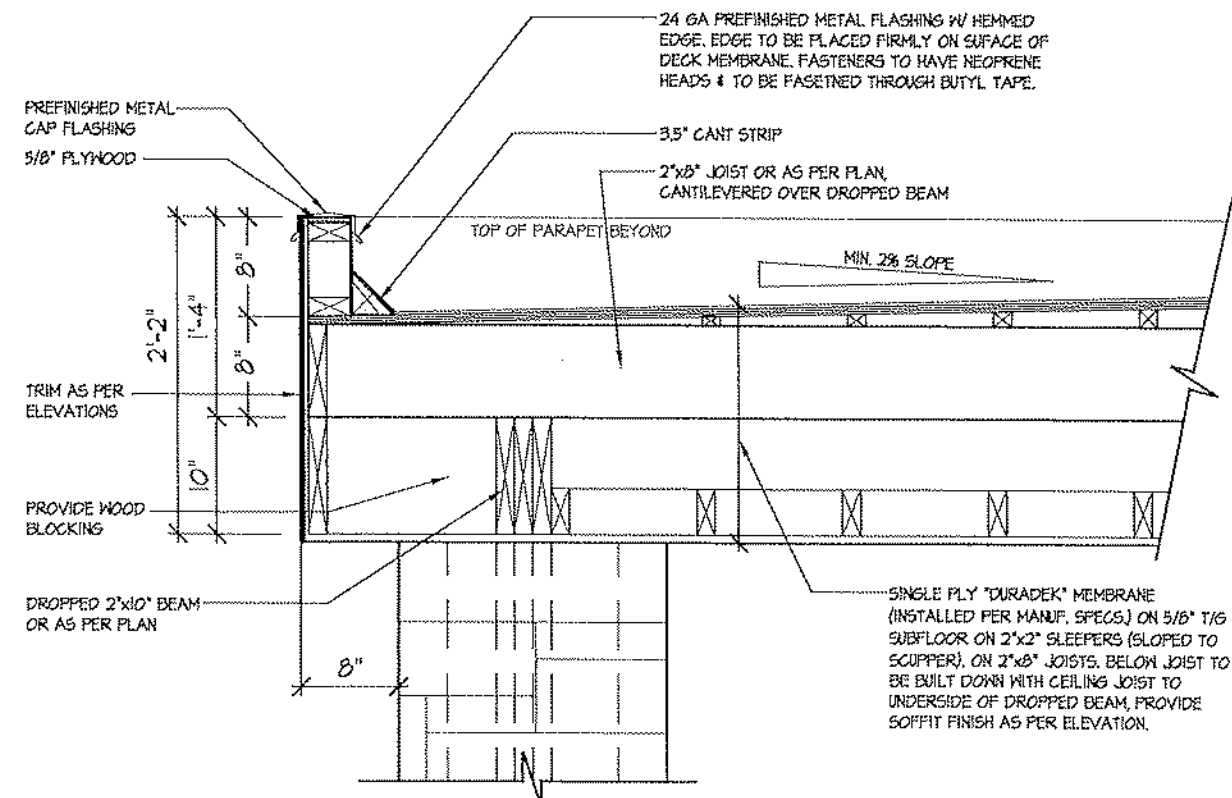
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)
3/4"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4"=1'-0"



3 FLAT ROOF DETAIL @ EXTERIOR WALL
3/4"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/4"=1'-0"

BLOCK 19-125

FLAT ROOF DETAILS OVER COVERED PORCH

UNIT
ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

REV. 2025.03.25

Drawn By: KM/MM Checked By: DSM/MM Scale: 3/16"=1'-0"
218094WT2015
8966 Woodbine Ave., Markham, ON L3R 3J7 T 905.737.5139 F 905.737.7326

Page Number: 27 of 29

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21274
19895
HUNT DESIGN ASSOCIATES INC.
Domicile Mobile
NAME
REGISTRATION INFORMATION
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cont. SECTION 1.0. CONSTRUCTION NOTES

40 1 HR. PARTY WALL (CONC. BLOCK) [S9-3] WALL TYPE 5B* & 51*]
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (50.8) VERTICAL WD. STRAPPING @ 24" (609) O.C. ON 6" (152) CONC. BLOCK FULL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FLURRED WITH 2x2" (50.8) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40 1 HR. PARTY WALL (DOUBLE STUD) [S9-3] WALL TYPE W3*]
5/8" (15.9) TYPE X GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2x4" (50.8) STUDS @ 16" (406) O.C., MIN. 1" (25.4) APART ON SEPARATE 2x4" (50.8) SILL PLATES. 2x6" (50.8) 14G AS REQUIRED. FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40 1 HR. FIREWALL [S9-3] WALL TYPE 5B* & 51*]
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2x2" (50.8) VERTICAL WOOD STRAPPING @ 24" (609) O.C. ON 6" (152) CONC. BLOCK 75% SOLD. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION (2"x6") [9.28]
STUCCO FINISH CONFORMING TO O.B.C. SECTION [9.28] AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. (9.27.3) ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED). EXTERIOR TYPE SHEATHING AS PER MANUFACTURERS SPECIFICATIONS. ON 7/16" SECTION 1.1, INSULATION APPROVED 5 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.
STUCCO FINISH CONFORMING TO O.B.C. SECTION [9.28] AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. (9.27.3) ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED). EXTERIOR TYPE SHEATHING AS PER MANUFACTURERS SPECIFICATIONS. ON 7/16" SECTION 1.1, INSULATION APPROVED 5 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B STUCCO WALL @ GARAGE CONST. [9.28]
STUCCO FINISH CONFORMING TO O.B.C. SECTION [9.28] AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1/2" (38) E.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSEGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. [9.23.10.1] & SECTION 1.1. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)

42 UNSUPPORTED FOUNDATION WALLS [9.15.4.2]
REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
2-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL
- REINFORCING AT BASEMENT WINDOWS
2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.
- BARS TO HAVE MIN. 1'-25" CONC. COVER
- BARS TO EXTEND 2'-0" (600) BEYOND BOTH SIDES OF OPENING

43 STUD WALL REINFORCEMENT
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. [9.5.2.4.1]) (REFER TO DETAILS)

44 WINDOW WALLS
WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21.5" (558) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (103) WEEPING TILE ON A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. [9.3.10.1.3], [9.4.6.3]

45 CLOPED CEILING CONSTRUCTION [9.9-12] [9.11.4], [9.23.4.2]
2x12" (50.8) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2x2" (50.8) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST PURLINS NOT REQ. W/ SPRAY FOAM W/ INSULATION BETWEEN JOIST. 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46 FLAT ROOF/BALCONY CONSTRUCTION
WATERPROOFING MEMBRANE [9.26.11], [9.26.15], [9.26.16] FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2x2" (50.8) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2x8" (50.8) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (103) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINGUOUS 1" TRIM DRP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (600) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT [9.23.2.3]. REMOVE CURB WHERE REQ.

BALCONY CONDITION
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2x4" (50.8) PT. DECKING W/ 1/4" (6.4) GAPS LAD FLAT PARALLEL TO JOISTS ON 2x4" (50.8) PT. SLEEPERS @ 12" (300) O.C. LAD FLAT PERPENDICULAR TO JOISTS
BALCONY OVER HEATED SPACE CONDITION
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47 BARREL VAULT CONSTRUCTION
CANTILEVERED 2x4" (50.8) SPACERS LAD FLAT ON 2x10" (50.8) SPR. #2 ROOF JOISTS NEEDED TO BUILT UP 3'-3/4" (101) PLYWOOD HEADER PROFILED FOR BARREL SPAN. FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. EXTERIOR FIN. (REFER TO DETAILS)

48 EGRESS WINDOW ABOVE GRADE [9.3.10.1.1], [9.3.10.1.5]
EVERY FLOOR WITH A BEDROOM, EXCEPT WHERE A DOOR IS PROVIDED W/ DIRECT ACCESS TO THE EXTERIOR, SHALL HAVE A MINIMUM OF ONE WINDOW WITH A MIN SILL HEIGHT OF 3'-0" (914) TO A MAX 3'-4" (1020) FROM FINISHED FLOOR. THIS WINDOW SHALL HAVE AN UNOBSTRUCTED OPEN PORTION OF 3.37 SQ. FT. (0.31) WITH NO DIMENSIONS LESS THAN 1'-3" (380) AND BE FREE OF ANY LIMITING HARDWARE AND USED AS MEANS OF EGRESS. SEE SECTION 2.0 GENERAL NOTES, 2.1 WINDOWS

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFORMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- F STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT. WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

SIZE & SPACING OF STUDS (O.B.C. REFERENCE: TABLE 9.23.10.1)	
SUPPORTED LOADS (EXTERIOR)	
MIN. STUD SIZE, P (mm)	ROOF W/ OR W/O ROOF W/ OR W/O ROOF W/ OR W/O W/ ATTIC, JATTE & FLOOR/ATTE 2.2 FLOOR/ATTE & 3 FLOOR MAX. STUD SPACING, P (mm) O.C.
2x4" (50.8)	24" (600)
2x6" (50.8)	16" (406)
2x8" (50.8)	12" (300)
2x10" (50.8)	9" (229)
2x12" (50.8)	6" (152)

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.55m² UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT. CONFORMING TO [9.9.10]
2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4'-11" (1500) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 3'-0" (914) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). [9.8.8.1]
3) WINDOWS IN EXT. STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (660) 10'-0" (300) FOR ALL OTHER BUILDINGS SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN [4.5.15] OR [9.8.8.2]
4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

2.2. CEILING HEIGHTS	
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.	
ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 8'-11" AT ANY POIN
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 8'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5"
BATHROOM, LAUNDRY AREA ABOVE GRADE FINISHED ROOM NOT MENTIONED ABOVE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
MEZZANINES	8'-11"
STORAGE GARAGE	6'-7" (9.5.3.3)

2.3. MECHANICAL / PLUMBING [9.27]
1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 1 AIR CHANGE PER HOUR REFER TO MECHANICAL DRAWINGS.
2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO O.B.C. [9.31.6]
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT. CONFORM TO O.B.C. [9.31.6] HOT WATER HEATER MINIMUM EFFICIENCIES.
4) DRAIN WATER HEAT RECOVERY UNITS) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF (S812) - [9.1.1.12] OF THE O.B.C.

2.4. LUMBER
1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil. POLYETHYLENE FILM. No.50 (458) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL [9.23.4.3]
1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 50W HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 50W CLASS 11.
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES
1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 8'-0" (2440) A.F.F.
2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2403) A.F.F.
3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2603) A.F.F.

2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (300), UNLESS NOTED OTHERWISE.
2.8. FLASHING [9.20.13], [9.26.4], [9.27.3]
1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING
1) THE BUILDING SHALL BE LOCATED ON THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO [9.14.6]
2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED MATERIAL COMPONENTS THAT FORM PART OF ANY ULC LISTED ASSEMBLY, SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING; THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY ULC LISTED ASSEMBLY IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD
[DIVISION B PART 9, TABLES 9.23.4.2-A)-(L)]
FORMING PART OF SENTENCE [9.23.4.2-A)], [9.23.4.2-A)], [9.23.14.8 (2)], [9.38.3.1 (1)]

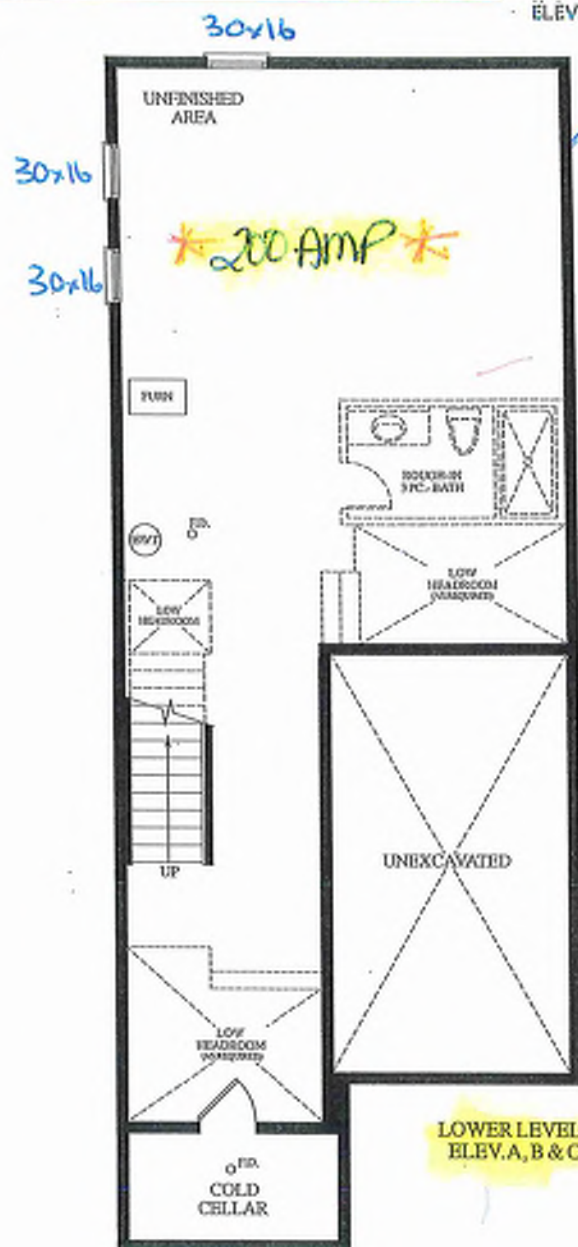
2x8" SPRUCE #2	2x10" SPRUCE #2	2x12" SPRUCE #2	
L1	2x2x8" (238x184)	L5	2x2x12" (238x286)
B1	3x2x8" (338x184)	B5	3x2x12" (338x286)
B2	4x2x8" (438x184)	B6	4x2x12" (438x286)
B7	5x2x8" (538x184)	B9	5x2x12" (538x286)

1	1 3/4" x 9 1/2" LVL	LVL3	1-1 3/4"x11 7/8"	LVL50	1-1 3/4"x14"
2	1 3/4" x 12" LVL	LVL4	2-1 3/4"x9 1/2"	LVL11	2-1 3/4"x14"
3	1 3/4" x 14" LVL	LVL5	3-1 3/4"x9 1/2"	LVL12	3-1 3/4"x14"
4	1 3/4" x 16" LVL	LVL6	4-1 3/4"x11 7/8"	LVL13	4-1 3/4"x14"
5	1 3/4" x 18" LVL	LVL7	5-1 3/4"x11 7/8"	LVL14	5-1 3/4"x14"
6	1 3/4" x 20" LVL	LVL8	6-1 3/4"x11 7/8"	LVL15	6-1 3/4"x14"
7	1 3/4" x 22" LVL	LVL9	7-1 3/4"x11 7/8"	LVL16	7-1 3/4"x14"
8	1 3/4" x 24" LVL	LVL10	8-1 3/4"x11 7/8"	LVL17	8-1 3/4"x14"
9	1 3/4" x 26" LVL	LVL11	9-1 3/4"x11 7/8"	LVL18	9-1 3/4"x14"
10	1 3/4" x 28" LVL	LVL12	10-1 3/4"x11 7/8"	LVL19	10-1 3/4"x14"
11	1 3/4" x 30" LVL	LVL13	11-1 3/4"x11 7/8"	LVL20	11-1 3/4"x14"
12	1 3/4" x 32" LVL	LVL14	12-1 3/4"x11 7/8"	LVL21	12-1 3/4"x14"
13	1 3/4" x 34" LVL	LVL15	13-1 3/4"x11 7/8"	LVL22	13-1 3/4"x14"
14	1 3/4" x 36" LVL	LVL16	14-1 3/4"x11 7/8"	LVL23	14-1 3/4"x14"
15	1 3/4" x 38" LVL	LVL17	15-1 3/4"x11 7/8"	LVL24	15-1 3/4"x14"
16	1 3/4" x 40" LVL	LVL18	16-1 3/4"x11 7/8"	LVL25	16-1 3/4"x14"
17	1 3/4" x 42" LVL	LVL19	17-1 3/4"x11 7/8"	LVL26	17-1 3/4"x14"
18	1 3/4" x 44" LVL	LVL20	18-1 3/4"x11 7/8"	LVL27	18-1 3/4"x14"
19	1 3/4" x 46" LVL	LVL21	19-1 3/4"x11 7/8"	LVL28	19-1 3/4"x14"
20	1 3/4" x 48" LVL	LVL22	20-1 3/4"x11 7/8"	LVL29	20-1 3/4"x14"
21	1 3/4" x 50" LVL	LVL23	21-1 3/4"x11 7/8"	LVL30	21-1 3/4"x14"
22	1 3/4" x 52" LVL	LVL24	22-1 3/4"x11 7/8"	LVL31	22-1 3/4"x14"
23	1 3/4" x 54" LVL	LVL25	23-1 3/4"x11 7/8"	LVL32	23-1 3/4"x14"
24	1 3/4" x 56" LVL	LVL26	24-1 3/4"x11 7/8"	LVL33	24-1 3/4"x14"
25	1 3/4" x 58" LVL	LVL27	25-1 3/4"x11 7/8"	LVL34	25-1 3/4"x14"
26	1 3/4" x 60" LVL	LVL28	26-1 3/4"x11 7/8"	LVL35	26-1 3/4"x14"
27	1 3/4" x 62" LVL	LVL29	27-1 3/4"x11 7/8"	LVL36	27-1 3/4"x14"
28	1 3/4" x 64" LVL	LVL30	28-1 3/4"x11 7/8"	LVL37	28-1 3/4"x14"
29	1 3/4" x 66" LVL	LVL31	29-1 3/4"x11 7/8"	LVL38	29-1 3/4"x14"
30	1 3/4" x 68" LVL	LVL32	30-1 3/4"x11 7/8"	LVL39	30-1 3/4"x14"
31	1 3/4" x 70" LVL	LVL33	31-1 3/4"x11 7/8"	LVL40	31-1 3/4"x14"
32	1 3/4" x 72" LVL	LVL34	32-1 3/4"x11 7/8"	LVL41	32-1 3/4"x14"
33	1 3/4" x 74" LVL	LVL35	33-1 3/4"x11 7/8"	LVL42	33-1 3/4"x14"
34	1 3/4" x 76" LVL	LVL36	34-1 3/4"x11 7/8"	LVL43	34-1 3/4"x14"
35	1 3/4" x 78" LVL	LVL37	35-1 3/4"x11 7/8"	LVL44	35-1 3/4"x14"
36	1 3/4" x 80" LVL	LVL38	36-1 3/4"x11 7/8"	LVL45	36-1 3/4"x14"
37	1 3/4" x 82" LVL	LVL39	37-1 3/4"x11 7/8"	LVL46	37-1 3/4"x14"
38	1 3/4" x 84" LVL	LVL40	38-1 3/4"x11 7/8"	LVL47	38-1 3/4"x14"
39	1 3/4" x 86" LVL	LVL41	39-1 3/4"x11 7/8"	LVL48	39-1 3/4"x14"
40	1 3/4" x 88" LVL	LVL42	40-1 3/4"x11 7/8"	LVL49	40-1 3/4"x14"
41	1 3/4" x 90" LVL	LVL43	41-1 3/4"x11 7/8"	LVL50	41-1 3/4"x14"
42	1 3/4" x 92" LVL	LVL44	42-1 3/4"x11 7/8"	LVL51	42-1 3/4"x14"
43	1 3/4" x 94" LVL	LVL45	43-1 3/4"x11 7/8"	LVL52	43-1 3/4"x14"
44	1 3/4" x 96" LVL	LVL46	44-1 3/4"x11 7/8"	LVL53	44-1 3/4"x14"
45	1 3/4" x 98" LVL	LVL47	45-1 3/4"x11 7/8"	LVL54	45-1 3/4"x14"
46	1 3/4" x 100" LVL	LVL48	46-1 3/4"x11 7/8"	LVL55	46-1 3/4"x14"
47	1 3/4" x 102" LVL	LVL49	47-1 3/4"x11 7/8"	LVL56	47-1 3/4"x14"
48	1 3/4" x 104" LVL	LVL50	48-1 3/4"x11 7/8"	LVL57	48-1 3/4"x14"
49	1 3/4" x 106" LVL	LVL51	49-1 3/4"x11 7/8"	LVL58	49-1 3/4"x14"
50	1 3/4" x 108" LVL	LVL52	50-1 3/4"x11 7/8"	LVL59	50-1 3/4"x14"
51	1 3/4" x 110" LVL	LVL53	51-1 3/4"x11 7/8"	LVL60	51-1 3/4"x14"
52	1 3/4" x 112" LVL	LVL54	52-1 3/4"x11 7/8"	LVL61	52-1 3/4"x14"
53	1 3/4" x 114" LVL	LVL55	53-1 3/4"x11 7/8"	LVL62	53-1 3/4"x14"
54	1 3/4" x 116" LVL	LVL56	54-1 3/4"x11 7/8"	LVL63	54-1 3/4"x14"
55	1 3/4" x 118" LVL	LVL57	55-1 3/4"x11 7/8"	LVL64	55-1 3/4"x14"
56	1 3/4" x 120" LVL	LVL58	56-1 3/4"x11 7/8"	LVL65	56-1 3/4"x14"
57	1 3/4" x 122" LVL	LVL59	57-1 3/4"x11 7/8"	LVL66	57-1 3/4"x14"
58	1 3/4" x 124" LVL	LVL60	58-1 3/4"x11 7/8"	LVL67	58-1 3/4"x14"
59	1 3/4" x 126" LVL	LVL61	59-1 3/4"x11 7/8"	LVL68	59-1 3/4"x14"
60	1 3/4" x 128" LVL	LVL62	60-1 3/4"x11 7/8"	LVL69	60-1 3/4"x14"
61	1 3/4" x 130" LVL	LVL63	61-1 3/4"x11 7/8"	LVL70	61-1 3/4"x14"
62	1 3/4" x 132" LVL	LVL64	62-1 3/4"x11 7/8"	LVL71	62-1 3/4"x14"
63	1 3/4" x 134" LVL	LVL65	63-1 3/4"x11 7/8"	LVL72	63-1 3/4"x14"
64	1 3/4" x 136" LVL	LVL66	64-1 3/4"x11 7/8"	LVL73	64-1 3/4"x14"
65	1 3/4" x 138" LVL	LVL67	65-1 3/4"x11 7/8"	LVL74	65-1 3/4"x14"
66	1 3/4" x 140" LVL	LVL68	66-1 3/4"x11 7/8"	LVL75	66-1 3/4"x14"
67	1 3/4" x 142" LVL	LVL69	67-1 3/4"x11 7/8"	LVL76	67-1 3/4"x14"
68	1 3/4" x 144" LVL	LVL70	68-1 3/4"x11 7/8"	LVL77	68-1 3/4"x14"
69	1 3/4" x 146" LVL	LVL71	69-1 3/4"x11 7/8"	LVL78	69-1 3/4"x14"
70	1 3/4" x 148" LVL	LVL72	70-1 3/4"x11 7/8"	LVL79	70-1 3/4"x14"
71	1 3/4" x 150" LVL	LVL73	71-1 3/4"x11 7/8"	LVL80	71-1 3/4"x14"
72	1 3/4" x 152" LVL	LVL74	72-1 3/4"x11 7/8"	LVL81	72-1 3/4"x14"
73	1 3/4" x 154" LVL	LVL75	73-1 3/4"x11 7/8"	LVL82	73-1 3/4"x14"
74	1 3/4" x 156" LVL	LVL76	74-1 3/4"x11 7/8"	LVL83	74-1 3/4"x14"
75	1 3/4" x 158" LVL	LVL77	75-1 3/4"x11 7/8"	LVL84	75-1 3/4"x14"
76	1 3/4" x 160" LVL	LVL78	76-1 3/4"x11 7/8"	LVL85	76-1 3/4"x14"
77	1 3/4" x 162" LVL	LVL79	77-1 3/4"x11 7/8"	LVL86	77-1 3/4"x14"
78	1 3/4" x 164" LVL	LVL80	78-1 3/4"x11 7/8"	LVL87	78-1 3/4"x14"
79	1 3/4" x 166" LVL	LVL81	79-1 3/4"x11 7/8"	LVL88	79-1 3/4"x14"
80	1 3/4" x 168" LVL	LVL82	80-1 3/4"x11 7/8"	LVL89	80-1 3/4"x14"
81	1 3/4" x 170" LVL	LVL83	81-1 3/4"x11 7/8"	LVL90	81-1 3/4"x14"
82	1 3/4" x 172" LVL	LVL84	82-1 3/4"x11 7/8"	LVL91	82-1 3/4"x14"
83	1 3/4" x 174" LVL	LVL85	83-1 3/4"x11 7/8"	LVL92	83-1 3/4"x14"
84	1 3/4" x 176" LVL	LVL86	84-1 3/4"x11 7/8"	LVL93	84-1 3/4"x14"
85	1 3/4" x 178" LVL	LVL87	85-1 3/4"x11 7/8"	LVL94	85-1 3/4"x14"
86	1 3/4" x 180" LVL	LVL88	86-1 3/4"x11 7/8"	LVL95	86-1 3/4"x14"
87	1 3/4" x 182" LVL	LVL89	87-1 3/4"x11 7/8"	LVL96	87-1 3/4"x14"
88	1 3/4" x 184" LVL	LVL90	88-1 3/4"x11 7/8"	LVL97	88-1 3/4"x14"
89	1 3/4" x 186" LVL	LVL91	89-1 3/4"x11 7/8"	LVL98	89-1 3/4"x14"
90	1 3/4" x 188" LVL	LVL92	90-1 3/4"x11 7/8"	LVL99	90-1 3/4"x14"
91	1 3/4" x 190" LVL	LVL93	91-1 3/4"x11 7/8"	LVL100	91-1 3/4"x14"
92	1 3/4" x 192" LVL	LVL94	92-1 3/4"x11 7/8"	LVL101	92-1 3/4"x14"
93	1 3/4" x 194" LVL	LVL95	93-1 3/4"x11 7/8"	LVL102	93-1 3/4"x14"
94	1 3/4" x 196" LVL	LVL96	94-1 3/4"x11 7/8"	LVL103	94-1 3/4"x14"
95	1 3/4" x 198" LVL	LVL97	95-1 3/4"x11 7/8"	LVL104	95-1 3/4"x14"
96	1 3/4" x 200" LVL	LVL98	96-1 3/4"x11 7/8"	LVL105	96-1 3/4"x14"
97	1 3/4" x 202" LVL	LVL99	97-1 3/4"x11 7/8"	LVL106	97-1 3/4"x14"
98	1 3/4" x 204" LVL	LVL100	98-1 3/4"x11 7/8"	LVL107	98-1 3/4"x14"
99	1 3/4" x 206" LVL	LVL101	99-1 3/4"x11 7/8"	LVL108	99-1 3/4"x14"
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102	1 3/4" x 212" LVL	LVL104	102-1 3/4"x11 7/8"	LVL111	102-1 3/4"x14"
103	1 3/4" x 214" LVL	LVL105	103-1 3/4"x11 7/8"	LVL112	103-1 3/4"x14"
104	1 3/4" x 216" LVL	LVL106	104-1 3/4"x11 7/8"	LVL113	104-1 3/4"x14"
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106	1 3/4" x 220" LVL	LVL108	106-1 3/4"x11 7/8"	LVL115	106-1 3/4"x14"
107	1 3/4" x 222" LVL	LVL109	107-1 3/4"x11 7/8"	LVL116	107-1 3/4"x14"
108	1 3/4" x 224" LVL	LVL110	108-1 3/4"x11 7/8"	LVL117	108-1 3/4"x14"
109	1 3/4" x 226" LVL	LVL111	109-1 3/4"x11 7/8"	LVL118	109-1 3/4"x14"
110	1 3/4" x 228" LVL	LVL112	110-1 3/4"x11 7/8"	LVL119	110-1 3/4"x14"
111	1 3/4" x 230" LVL	LVL113	111-1 3/4"x11 7/8"	LVL120	111-1 3/4"x14"
112	1 3/4" x 232" LVL	LVL114	112-1 3/4"x11 7/8"	LVL121	112-1 3/4"x14"
113	1 3/4" x 234" LVL	LVL115	113-1 3/4"x11 7/8"	LVL122	113-1 3/4"x14"
114	1 3/4" x 236" LVL	LVL116	114-1 3/4"x11 7/8"	LVL123	114-1 3/4"x14"
115	1 3/4" x 238" LVL	LVL117	115-1 3/4"x11 7/8"	LVL124	115-1 3/4"x14"
116	1 3/4" x 240" LVL	LVL118	116-1 3/4"x11 7/8"	LVL125	116-1 3/4"x14"
117	1 3/4" x 242" LVL	LVL119	117-1 3/4"x11 7/8"	LVL126	117-1 3/4"x14"
118	1 3/4" x 244" LVL	LVL120	118-1 3/4"x11 7/8"	LVL127	118-1 3/4"x14"
119	1 3/4" x 246" LVL	LVL121	119-1 3/4"x11 7/8"	LVL128	119-1 3/4"x14"
120	1 3/4" x 248" LVL	LVL122	120-1 3/4"x11 7/8"	LVL129	120-1 3/4"x14"
121	1 3/4" x 250" LVL	LVL123	121-1 3/4"x11 7/8"	LVL130	121-1 3/4"x14"
122	1 3/4" x 252" LVL	LVL124	122-1 3/4"x11 7/8"	LVL131	122-1 3/4"x14"
123	1 3/4" x 254" LVL	LVL125	123-1 3/4"x11 7/8"	LVL132	123-1 3/4"x14"
124	1 3/4" x 256" LVL	LVL126	124-1 3/4"x11 7/8"	LVL133	124-1 3/4"x14"
125	1 3/4" x 258" LVL	LVL127	125-1 3/4"x11 7/8"	LVL134	125-1 3/4"x14"
126	1 3/4" x 260" LVL	LVL128	126-1 3/4"x11 7/8"	LVL135	126-1 3/4"x14"
127	1 3/4" x 262" LVL	LVL129	127-1 3/4"x11 7/8"	LVL136	127-1 3/4"x14"
128	1 3/4" x 264" LVL	LVL130	128-1 3/4"x11 7/8"	LVL137	128-1 3/4"x14"
129	1 3/4" x 266" LVL	LVL131	129-1 3/4"x11 7/8"	LVL138	129-1 3/4"x14"
130	1 3/4" x 268" LVL	LVL132	130-1 3/4"x11 7/8"	LVL139	130-1 3/4"x14"
131	1 3/4" x 270" LVL	LVL133	131-1 3/4"x11 7/8"	LVL140	131-1 3/4"x14"
132	1 3/4" x 272" LVL	LVL134	132-1 3/4"x11 7/8"	LVL141	132-1 3/4"x14"
133	1 3/4" x 274" LVL	LVL135	133-1 3/4"x11 7/8"	LVL142	133-1 3/4"x14"
134	1 3/4" x 276" LVL	LVL136	134-1 3/4"x11 7/8"	LVL143	134-1 3/4"x14"
135	1 3/4" x 278" LVL	LVL137	135-1 3/4"x11 7/8"	LVL144	135-1 3/4"x14"
136	1 3/4" x 280" LVL	LVL138	136-1 3/4"x11 7/8"	LVL145	136-1 3/4"x14"
137	1 3/4" x 282" LVL	LVL139	137-1 3/4"x11 7/8"	LVL146	137-1 3/4"x14"
138	1 3/4" x 284" LVL	LVL140	138-1 3/4"x11 7/8"	LVL147	138-1 3/4"x14"
139	1 3/4" x 286" LVL	LVL141	139-1 3/4"x11 7/8"	LVL148	139-1 3/4"x14"
140	1 3/4" x 288" LVL	LVL142	140-1 3/4"x11 7/8"	LVL149	140-1 3/4"x14"
141	1 3/4" x 290" LVL	LVL143	141-1 3/4"x11 7/8"	LVL150	141-1 3/4"x14"
142	1 3/4" x 292" LVL	LVL144	142-1 3/4"x11 7/8"	LVL151	142-1 3/4"x14"
143	1 3/4" x 294" LVL	LVL145	143-1 3/4"x11 7/8"	LVL152	143-1 3/4"x14"
144	1 3/4" x 296" LVL	LVL146	144-1 3/4"x11 7/8"	LVL153	144-1 3/4"x14"
145	1 3/4" x 298" LVL	LVL147	145-1 3/4"x11 7/8"	LVL154	145-1 3/4"x14"
146	1 3/4" x 300" LVL	LVL148	146-1 3/4"x11 7/8"	LVL155	146-1 3/4"x14"
147	1 3/4" x 302" LVL	LVL149	147-1 3/4"x11 7/8"	LVL156	147-1 3/4"x14"
148	1 3/4" x 304" LVL	LVL150	148-1 3/4"x11 7/8"	LVL157	148-1 3/4"x14"
149	1 3/4" x 306" LVL	LVL151	149-1 3/4"x11 7/8"	LVL158	

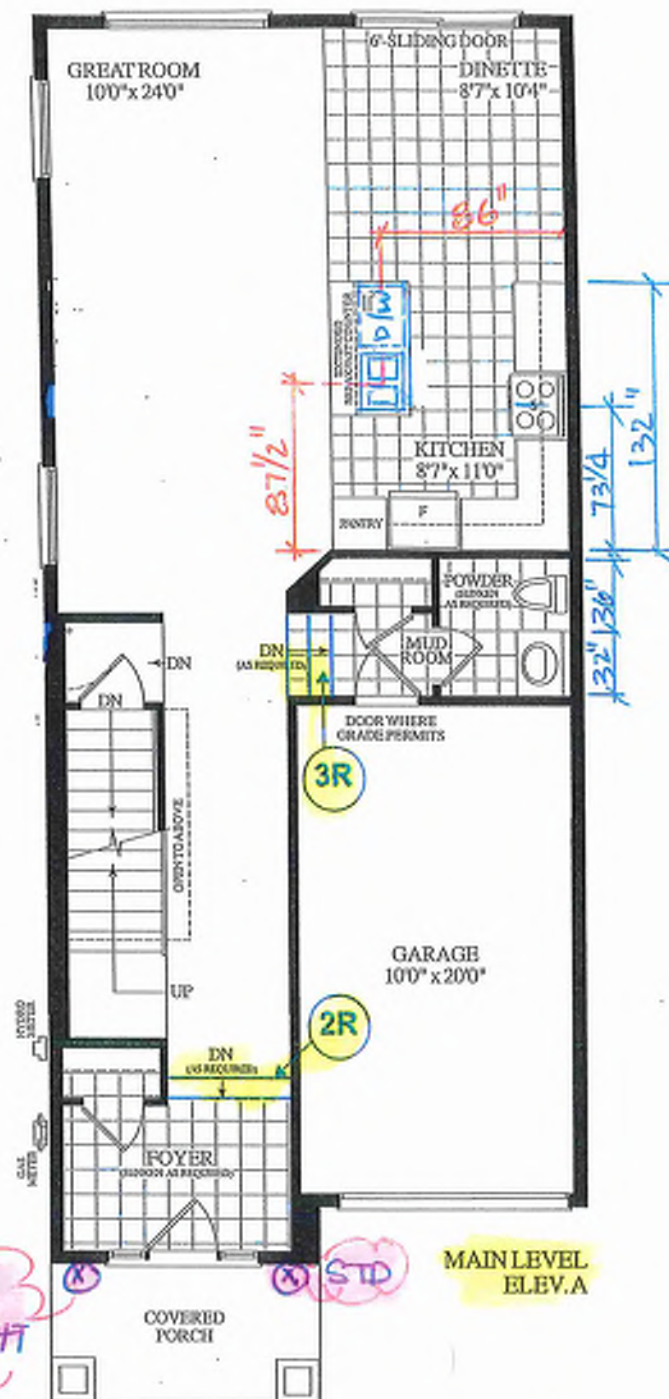
BAYVIEW HEIGHTS
RICHMOND HILL



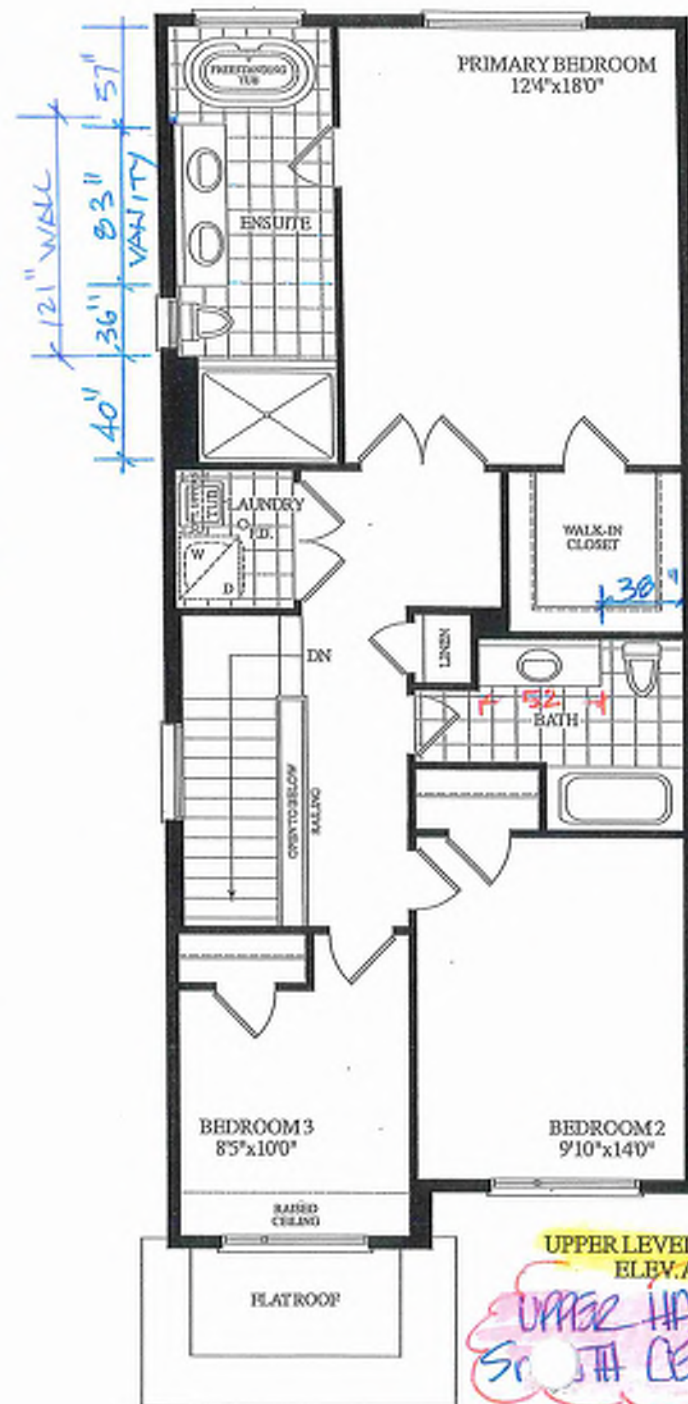
ÉLEVATION A



LOWER LEVEL
ELEV. A, B & C



MAIN LEVEL
ELEV. A

UPPER LEVEL
ELEV. A

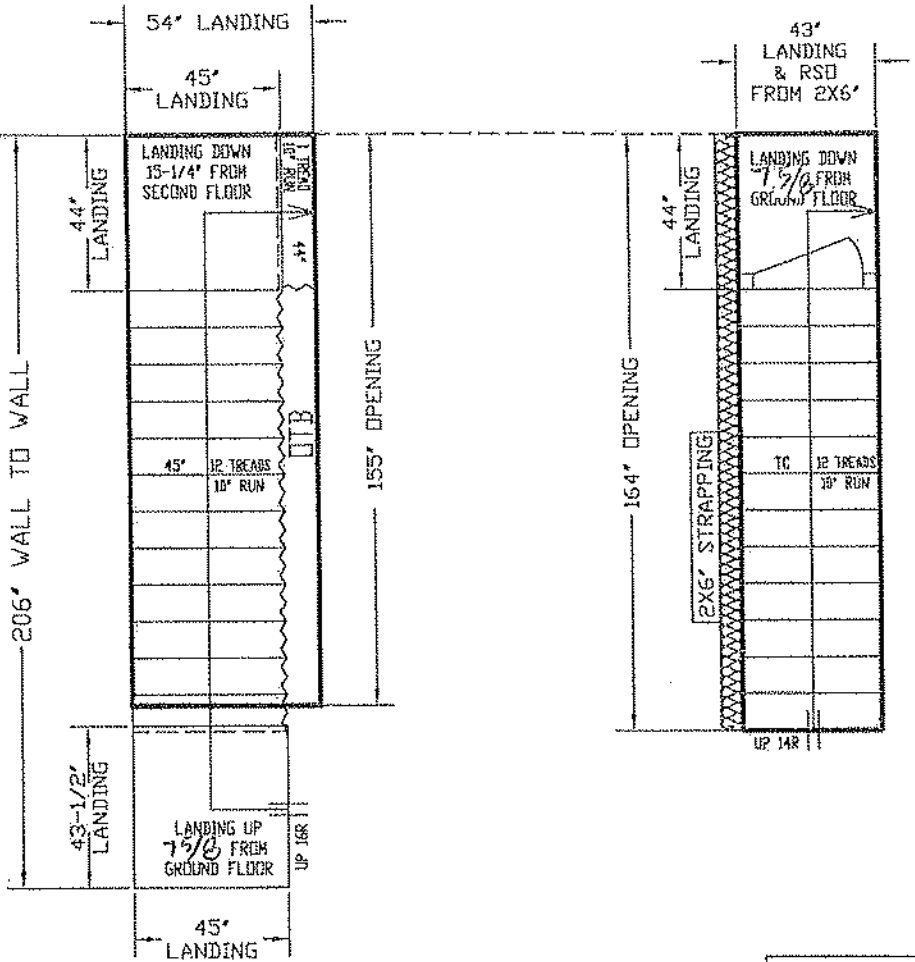
UPPER HALL
SO 5TH CEILING

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E&OE.

BLK. 19 TH. 126 20-18 THE KATHERINE (END) EL. A 3 BDRM 2 BATH 1815 SQ.FT.

GROUND TO SECOND
122' HT 11-7/8" JOIST

BASEMENT TO GROUND
BSMT 11-7/8" JOIST



ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL.
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS.

STAIRS LINE UP BY
THE EXTERIOR WALL

NO WALLS UNTIL
STAIRS INSTALLED

REVISED
JUNE 4, 2025

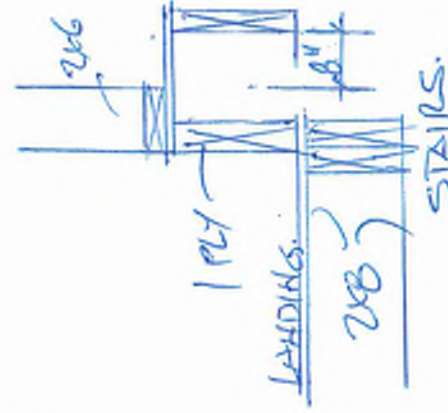
GARAGE RIGHT >

 Quality To Step Up To	ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE. ANY STRAPPING ALLOWANCES TO BE COMPENSATED BY CARPENTERS. ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPECS AS SUPPLIED TO ALPHA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN ON LAYOUTS ARE REQUIRED TO INSTALL OUR STAIRS. ANY PROBLEM WITH HEADROOM OR STRAPPING ALLOWANCES, ALPHA STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY CARPENTERS OR SITE SURVEYS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION. ALPHA STAIRS AND RAILINGS INC. 3779 NASHUA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1H6 TEL: (905) 694-9556 www.alpastairs.com		SITE	BAYVIEW HEIGHTS		NAME	DATE	
			LOT #		DRAWN BY	PARAMJEET	MAY 23, 2025	
			Model	UNIT 2018 END		CLIENT	ROYAL PINE HOMES	
				LAYOUT #		SCALE: 1/32		

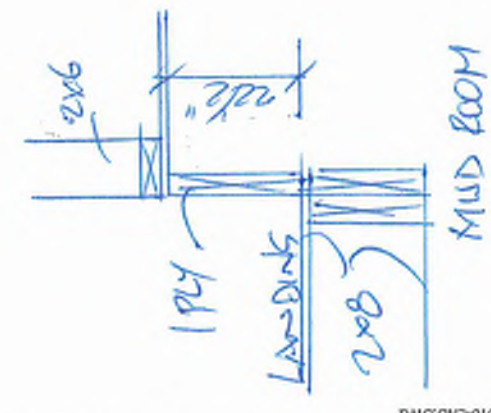
Plk 19-126



**PART. BASEMENT
PLAN FOR NOT
SUNKEN MUDROOM
COND.**



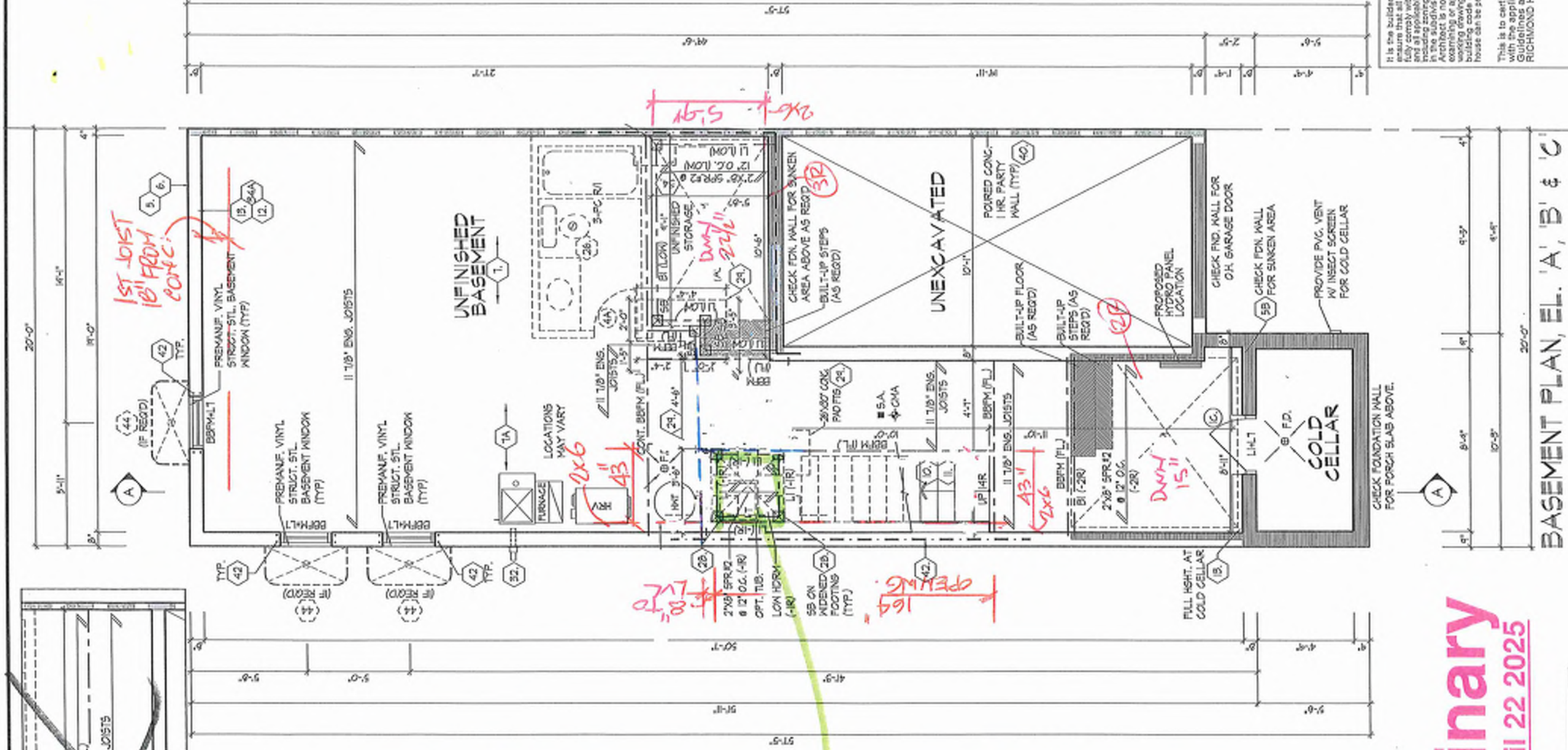
LANDING
43"
= 43" DWN 7/8"



Preliminary
NOT FINAL April 22 2025

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	APPROX. LOCATION OF FURNACE AND HOT WATER TANK
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	

THE ARCHITECT HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Dorothy Mobilo
21274
19845
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BASEMENT PLAN, EL. 'A', 'B' & 'C'

BLK 19-126

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ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

BASEMENT PLAN, EL. 'A', 'B' & 'C'

UNIT 2018-END
REV. 2025.03.27

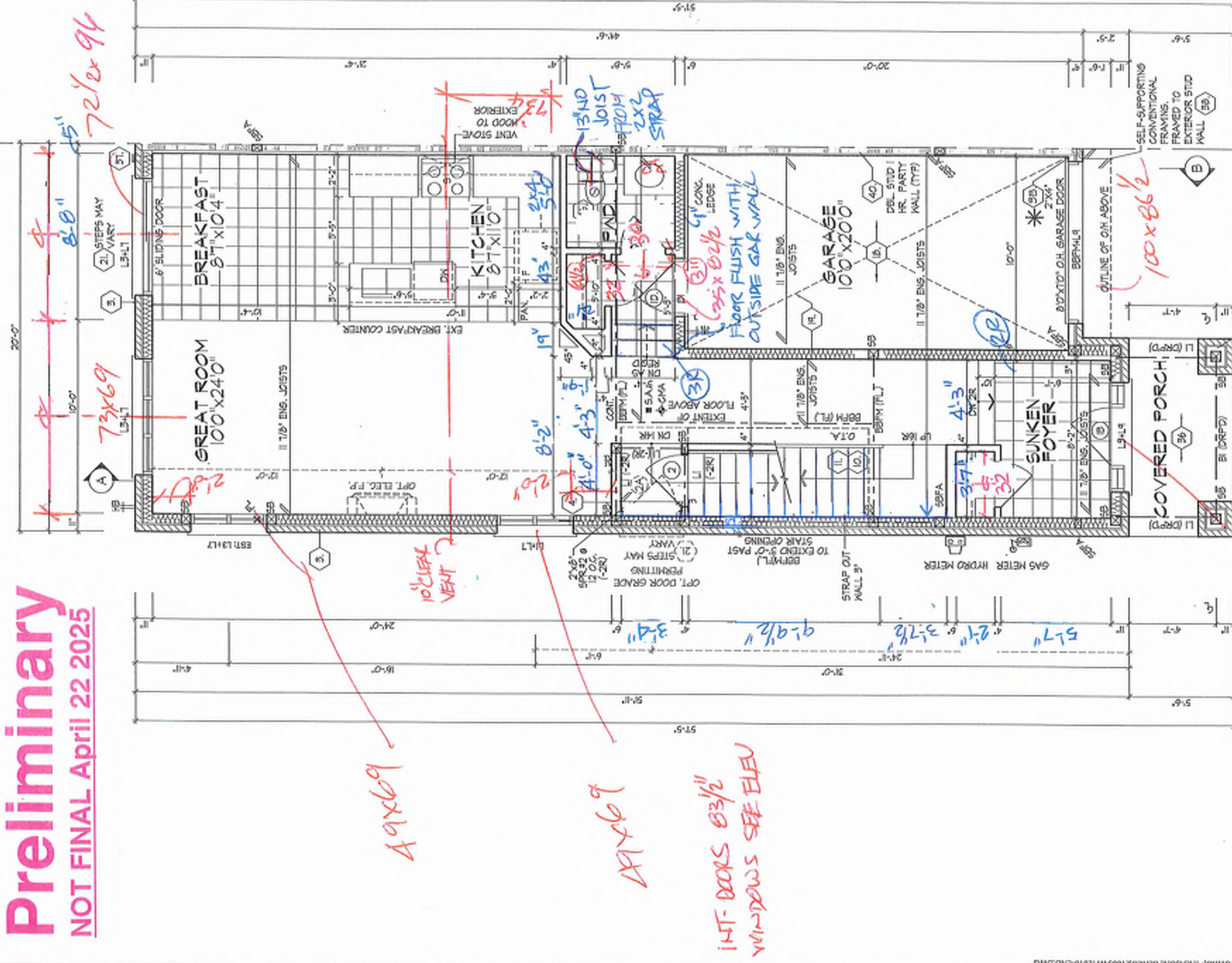
Drawn By: MMDS 3/16/25
Checked By: KMTT
Scale: 3/16" = 1'-0"
File Number: 218094-WT2018-END
Page Number: 2 of 31

It is the builder's complete responsibility to ensure that these plans comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or planning matters for that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

Preliminary
NOT FINAL April 22 2025

NOT FINAL April 22 2025



* **2"x4" STUD WALL ASSEMBLY EXCEEDING
MAX. UNSUPPORTED HEIGHT**

FOR WALLS GREATER THAN 4'-0" TO MAX. 12'-0" HIGH,
- W/ FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C.
- W/ FLOOR LOAD, DOUBLE UP EVERY STUD @ 12" O.C.
- PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS. INSTALLATION DETAILS AND HANGER SIZES, & JOIST THICKNESS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control of the Subdivision Agreement requires the owner to examine or approve all existing plans or working drawings with respect to any zoning or building code or permit matter, or that any house can be properly built or bonded on its lot.

GROUND FLOOR PLAN. EL. 'A'

971-1125

GROUND FLOOR PLAN. EL. 'A'

UNIT 2018-END
REV:2025.03.27

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.



HUNT
DESIGN ASSOCIATES INC.

www.huntedesign.ca 8936 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Use of this property in whole or in part is strictly provided without H.O.A. assumes no responsibility or liability for this property unless it bears the appropriate E.C.N. number and original registration.

NOT FINAL April 22 2025

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable codes and regulations, and all applicable provisions and any provisions of the subdivision agreement. The Control of the Architect is not responsible for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any issue can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Springfield, Missouri.

SECOND FLOOR PLAN, EL. 'A'

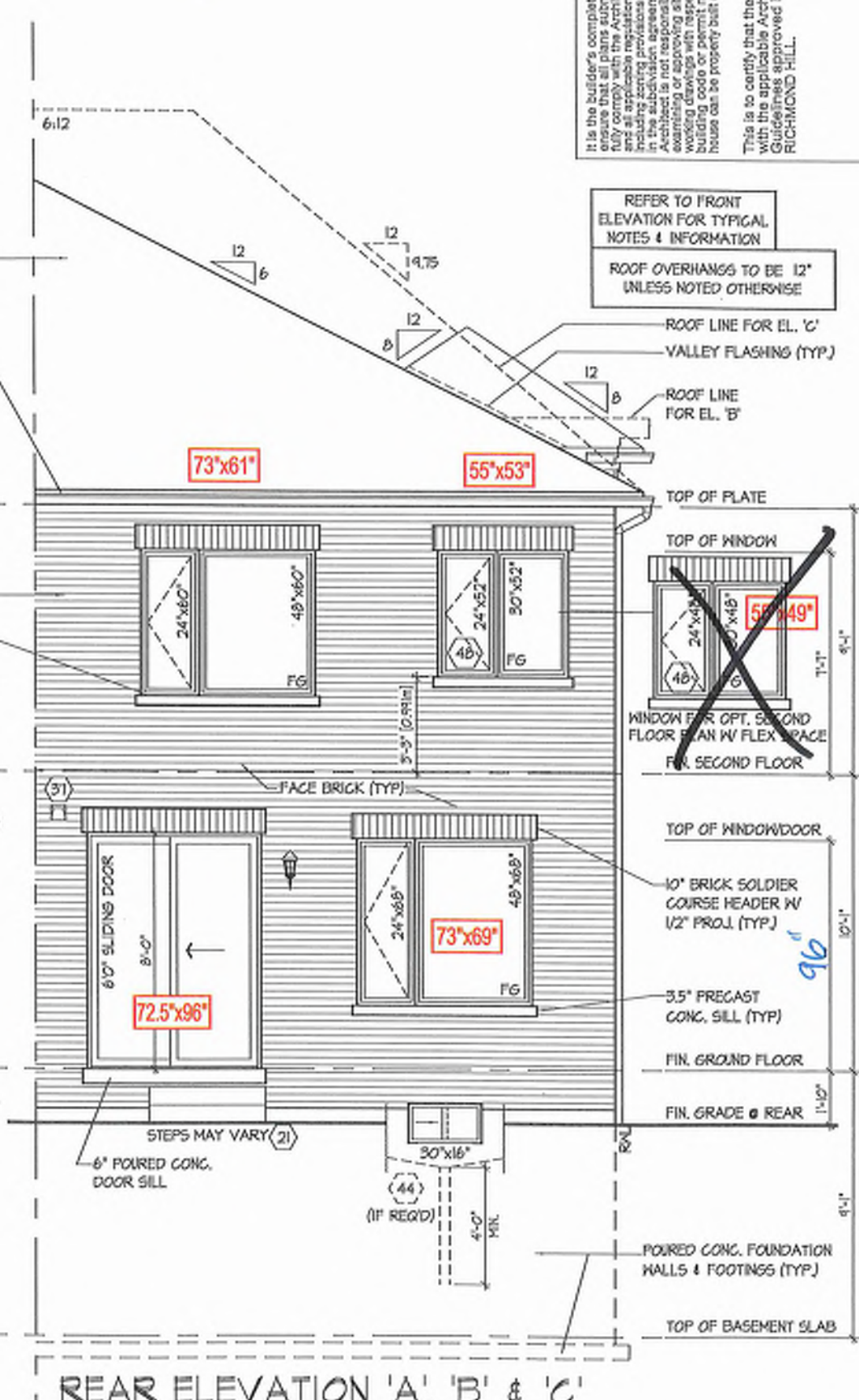
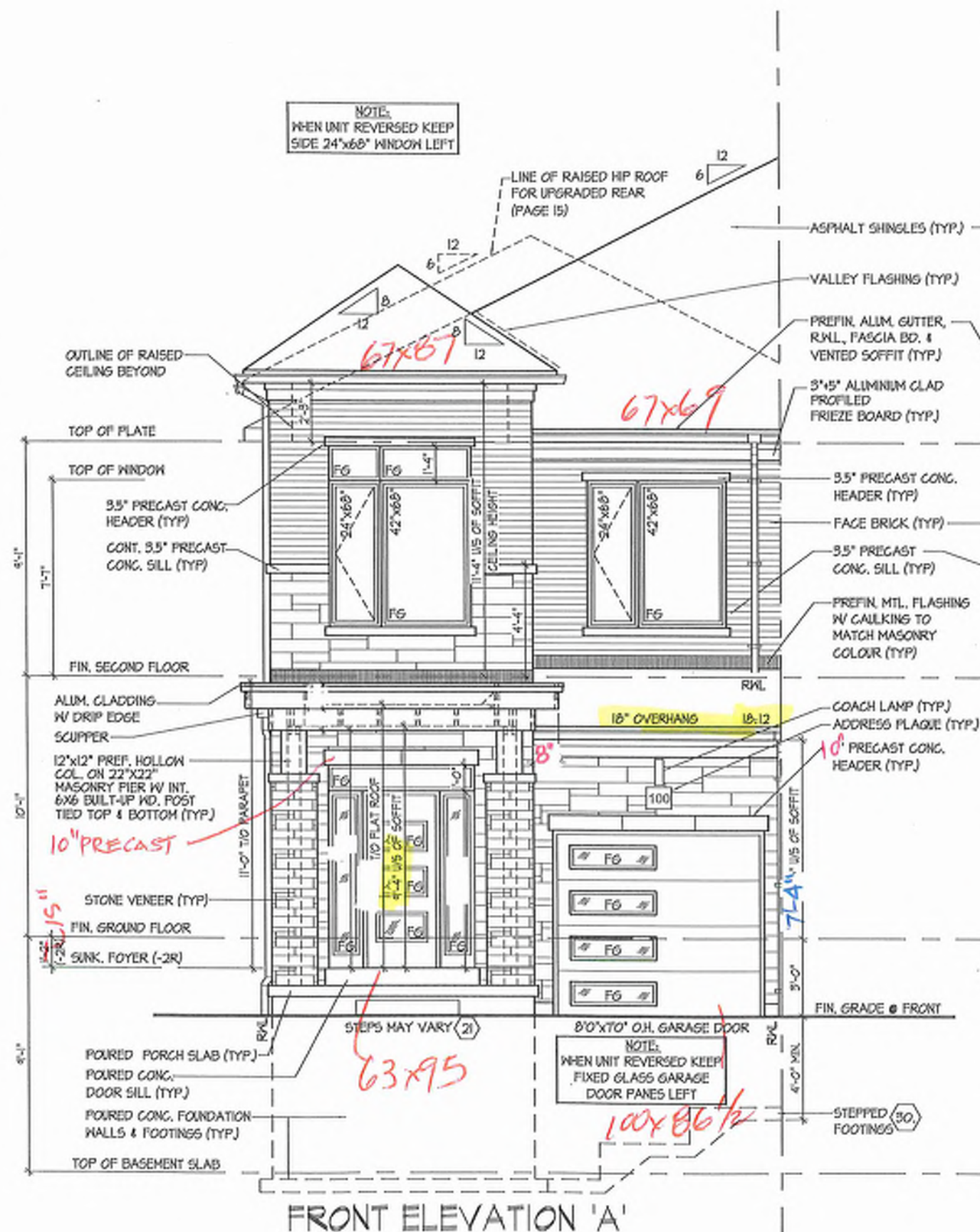
PK19-126

www.hatfield.gov.uk

Without M.D.A.'s written permission M.D.A. assumes no responsibility or liability for

to B2M number and original signature)

ROOF PLAN EL. 'A' N.T.S.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter for this any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

ROOF LINE FOR EL. 'C'
VALLEY FLASHING (TYP.)
ROOF LINE FOR EL. 'B'

TOP OF PLATE
TOP OF WINDOW
10" BRICK SOLDIER COURSE HEADER W/ 1/2" PROJ. (TYP.)
FIN. SECOND FLOOR
FIN. GRADE @ REAR

TOP OF WINDOW/DOOR
10" BRICK SOLDIER COURSE HEADER W/ 1/2" PROJ. (TYP.)
FIN. GROUND FLOOR
FIN. GRADE @ REAR

POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)
TOP OF BASEMENT SLAB

PLK 19-126

FRONT ELEVATION 'A' & REAR ELEVATION 'A', 'B' & 'C'

UNIT 2018-END

ROYAL PINE HOMES - 218094

921 BAYVIEW, RICHMOND HILL, ON.

REV. 2025.03.27

218094WT2018-END

14 of 31

MM/DS 3/16/21-1-0

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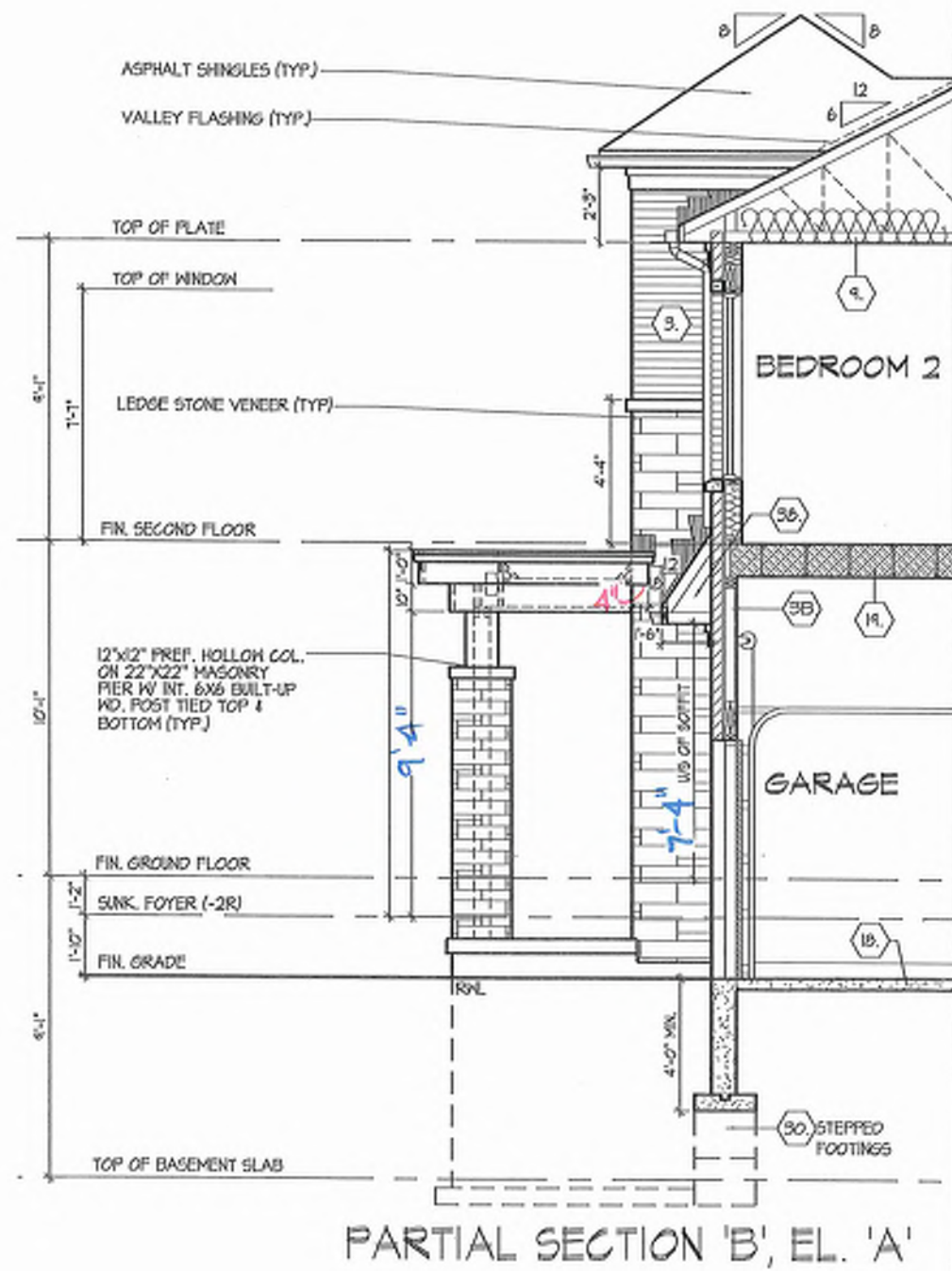
HUNT ASSOCIATES INC.

DESIGN ASSOCIATES INC.

www.huntassociates.ca

21274

16655



PARTIAL SECTION 'B', EL. 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable codes and regulations. The Architect is not responsible in any way for examining or approving any (bidding) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

PLC 19

126

PART. SECTION B ELEVATION 'A'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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DESIGN ASSOCIATES INC.
www.hunt-design.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OCAID BIDDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Dimitrie Mollo
21274
19856

Drawn by: KM/TT
Checked by: MM/DS
Scale: 3/16"=1'-0"
File Number: 218094/WT2018-END
Page Number: 17 of 31

UNIT 2018-END
REV. 2025.03.27
F 905.737.5133 T 905.737.5133 F 905.737.7326

