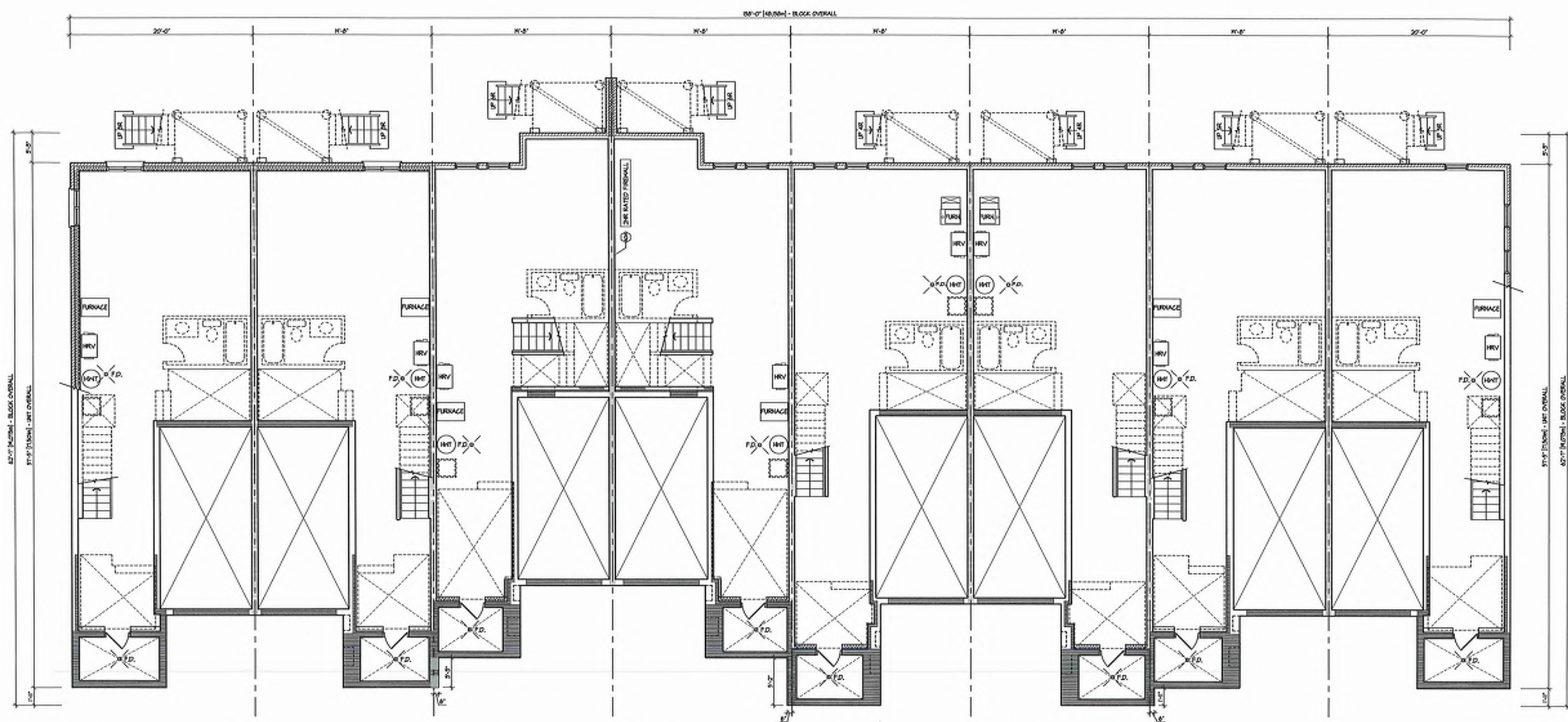




53 2018-END
9 EL. 'B'

54 2017
9 EL. 'B' (REV)

55 2015
9 EL. 'B'

56 2015
9 EL. 'B' (REV)

57 2016
9 EL. 'B'

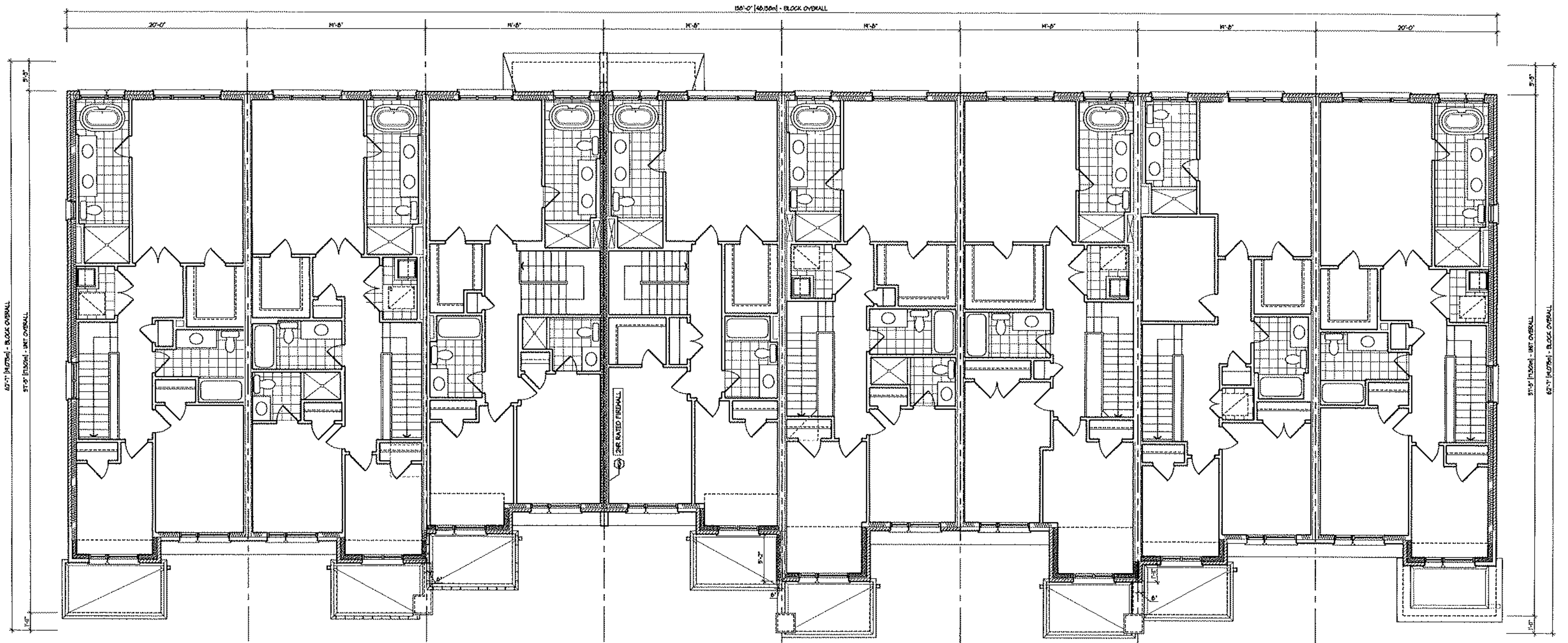
58 2016
9 EL. 'B' (REV)

59 2017
9 EL. 'B'

60 2018-END
9 EL. 'B' (REV)

BASEMENT PLAN

Block 9



53 2018-END
9 EL. 'B'

54 2017
9 EL. 'B' (REV) (OPT. 3 BORM. / 3 BATH)

55 2015
9 EL. 'B' (OPT. 3 BORM. / 3 BATH)

56 2015
9 EL. 'B' (REV)

57 2016
9 EL. 'B' (OPT. 3 BORM. / 3 BATH)

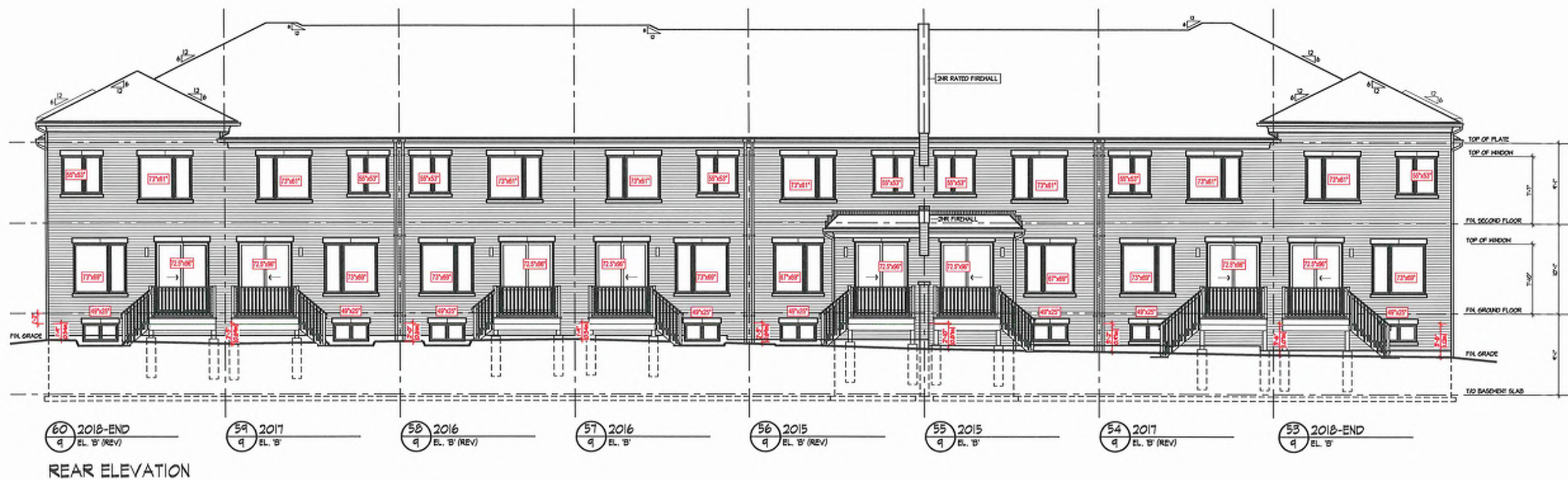
58 2016
9 EL. 'B' (REV)

59 2017
9 EL. 'B' (OPT. SECOND FLR.)

60 2018-END
9 EL. 'B' (REV)

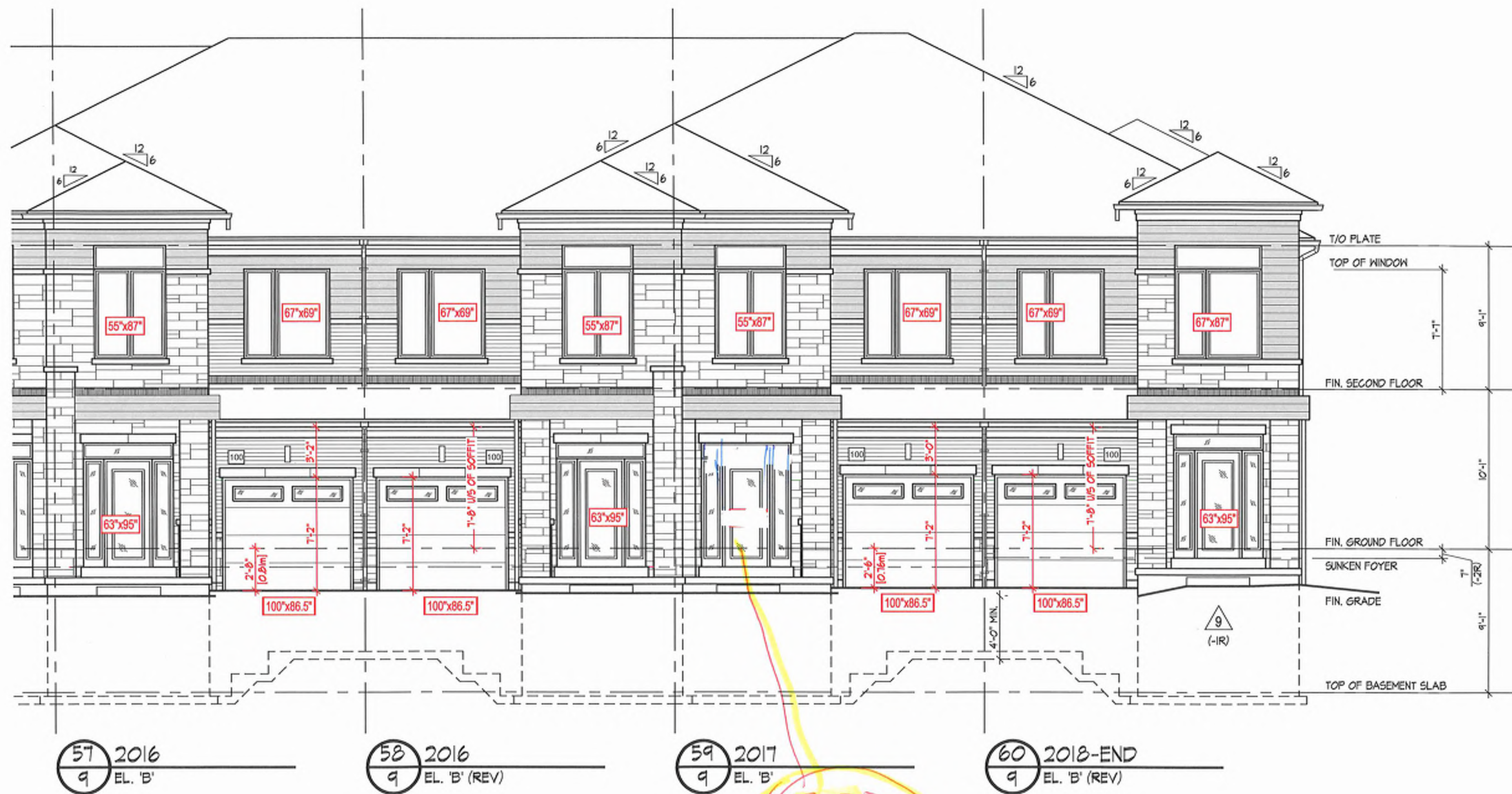
SECOND FLOOR PLAN







FRONT ELEVATION





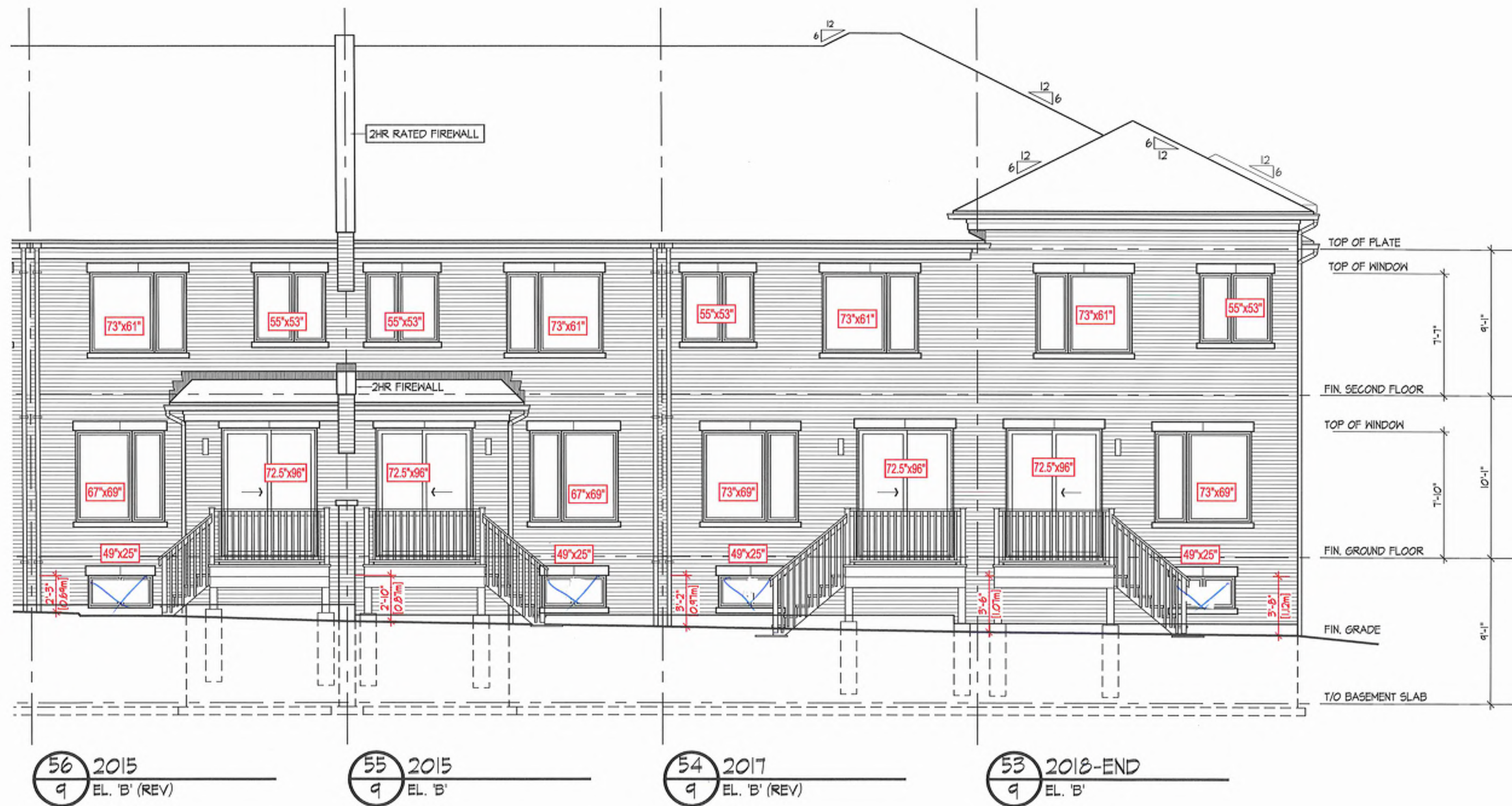
60 2018-END
9 EL. 'B' (REV)

59 2017
9 EL. 'B'

58 2016
9 EL. 'B' (REV)

57 2016
9 EL. 'B'

REAR ELEVATION





60 2018-END
9 EL. 'B' (REV)

RIGHT SIDE ELEVATION



53 2018-END
9 EL. 'B'

LEFT SIDE ELEVATION

ASPHALT SHINGLES
12" FINISH O.H.
R.T.M.C.
2X6 EXTERIOR WALLS
2X6 FASCIA BOARD

HARDWARE:
HGS26-2 (XX)
LJS26DS (V)
LUS24 (O)
H2.5T (J)

DENOTE:

FR- FLAT ROOF

H- 27" HIGHER PLATE

H1- 20" HIGHER PLATE

HF-22" HIGHER
FASCIA ONLY

All conventional framing to conform with
Part 9 of O.B.C. 2024. Roof rafters that
cross over or meet trusses to be min. 2x4
SPF #2 @ 24" o/c with a vertical post to the
truss at each cross point. Vertical posts
longer than 6' to have lateral bracing so that
the distance between the post end points
and lateral bracing does not exceed 6'.

DESIGN CONFORMS WITH OBC 2024
OCCUPANCY: RESIDENTIAL | PART-9
Ss = 31.3 psf | Sr = 8.4 psf

DESIGN LOADS:
TCSL = 25.6 psf
TCDL = 6.0 psf
BCLL = 0.0 psf
BCDL = 7.4 psf

DENOTES
CONVENTIONAL
FRAMING

6/12 PITCHES (TYP.)
UNLESS NOTED

UNIT2018 - END
EL:B- LOT53
441629

UNIT2017
EL:B(REV)- LOT54
441630

UNIT2015
EL:B- LOT55
441631

UNIT2015
EL:B(REV)- LOT56
441632

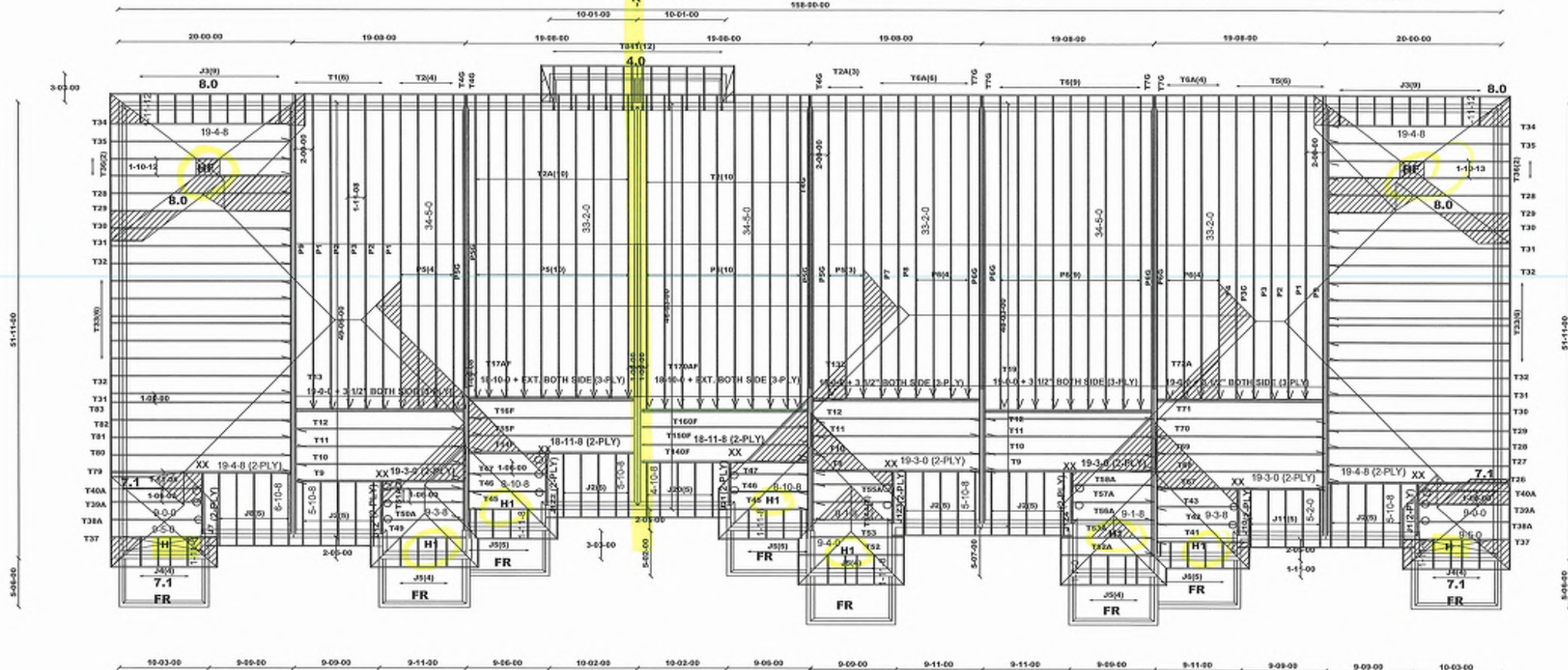
UNIT2016
EL:B- LOT57
441633

UNIT2016
EL:B(REV)- LOT58
441634

UNIT2017
EL:B- LOT59
441635

UNIT2018 - END
EL:B(REV)- LOT60
441636

2-HRS FIREWALL



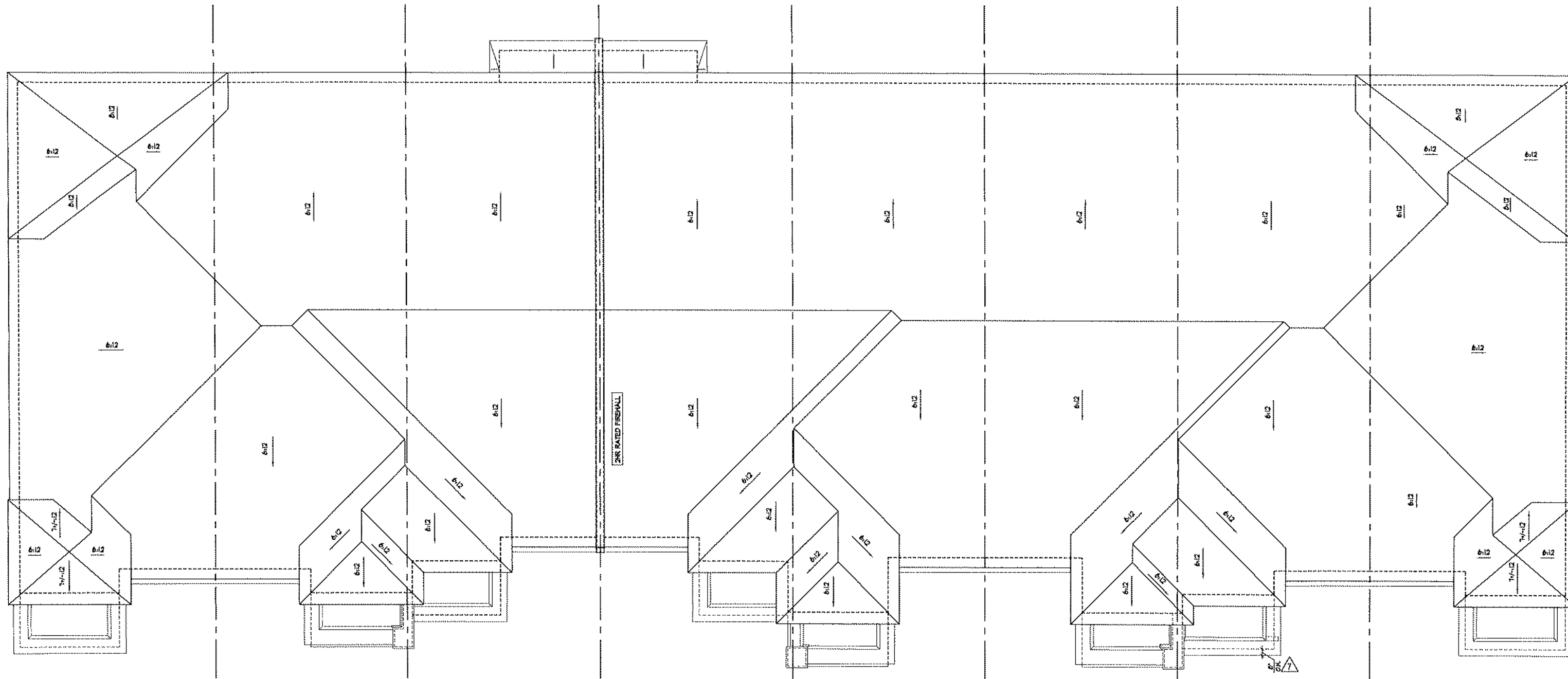
Job Track: 53945
Plan Log: 208796
Layout ID: 441628

Builder / Location:
ROYAL PINE HOMES / RICHMOND HILL
Project: **EARL GLEN**
Date: 6/12/2025 Sales: Rick DiCiano Designer:SV

Model / Elevation:
BLOCK9-UNITS53-60

Max ver 8.8.3.256

THESE DRAWINGS CONSTITUTE THE PROPERTY OF TAMARACK ROOF TRUSSES INC. SHALL NOT BE REPRODUCED, PUBLISHED, OR REDISTRIBUTED IN ANY MANNER OR UTILIZED FOR ANY PURPOSE OTHER THAN THE MANUFACTURE OF TRUSSES BY TAMARACK ROOF TRUSSES INC AND WILL BE RETRACTED BY TAMARACK ROOF TRUSSES INC IF UTILIZED FOR ANY OTHER PURPOSE.



53 2018-END
q EL. 'B'

54 2017
q EL. 'B' (REV)

55 2015
q EL. 'B'

56 2015
q EL. 'B' (REV)

57 2016
q EL. 'B'

58 2016
q EL. 'B' (REV)

59 2017
q EL. 'B'

60 2018-END
q EL. 'B' (REV)

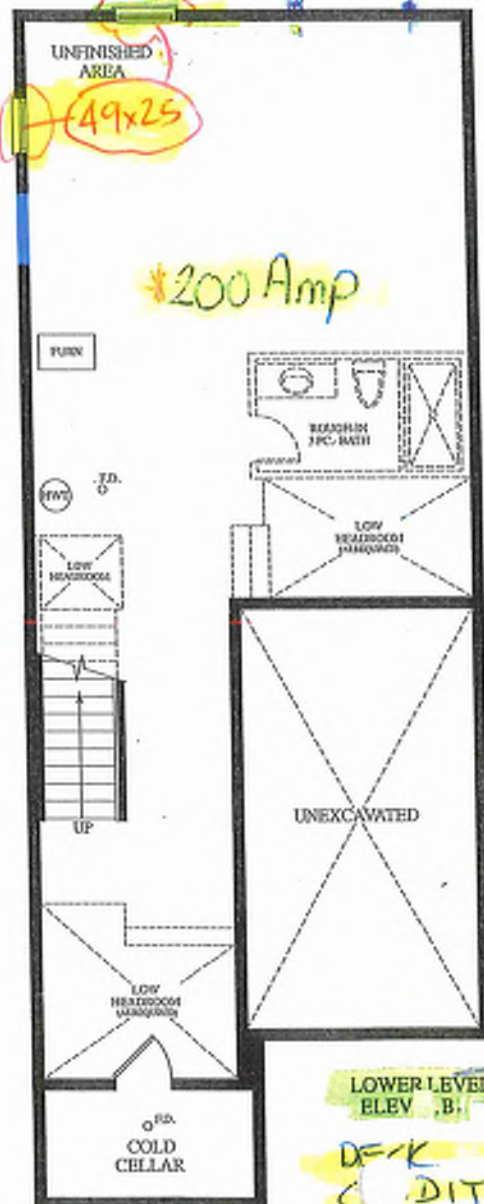
ROOF PLAN



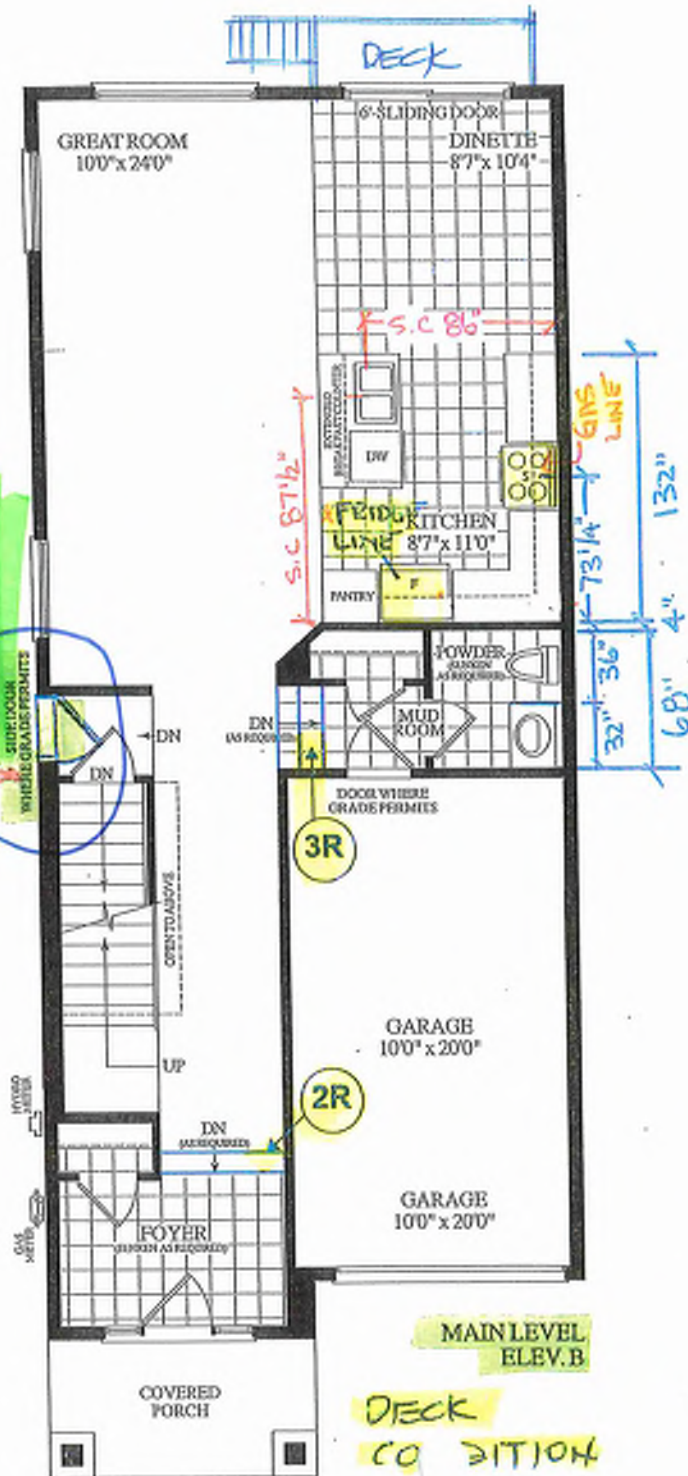
BAYVIEW HEIGHTS RICHMOND HILL



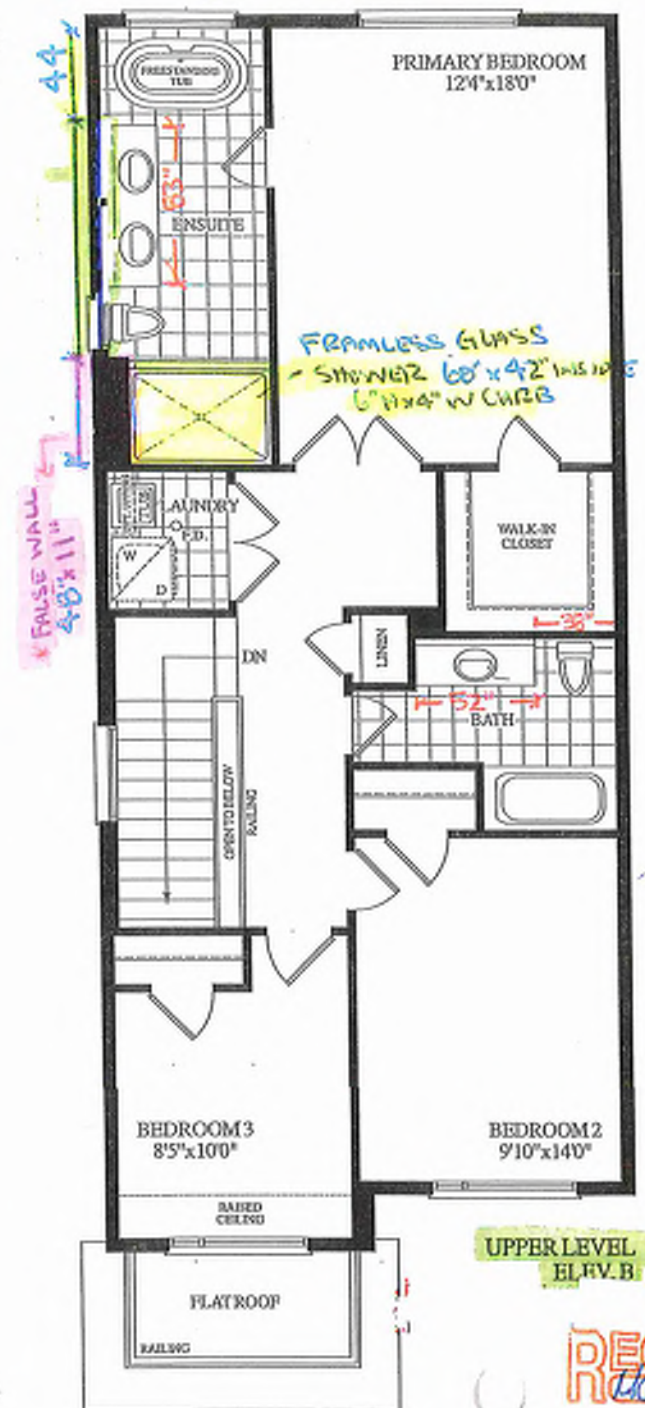
ELEVATION B



NO DOES NOT
WORK



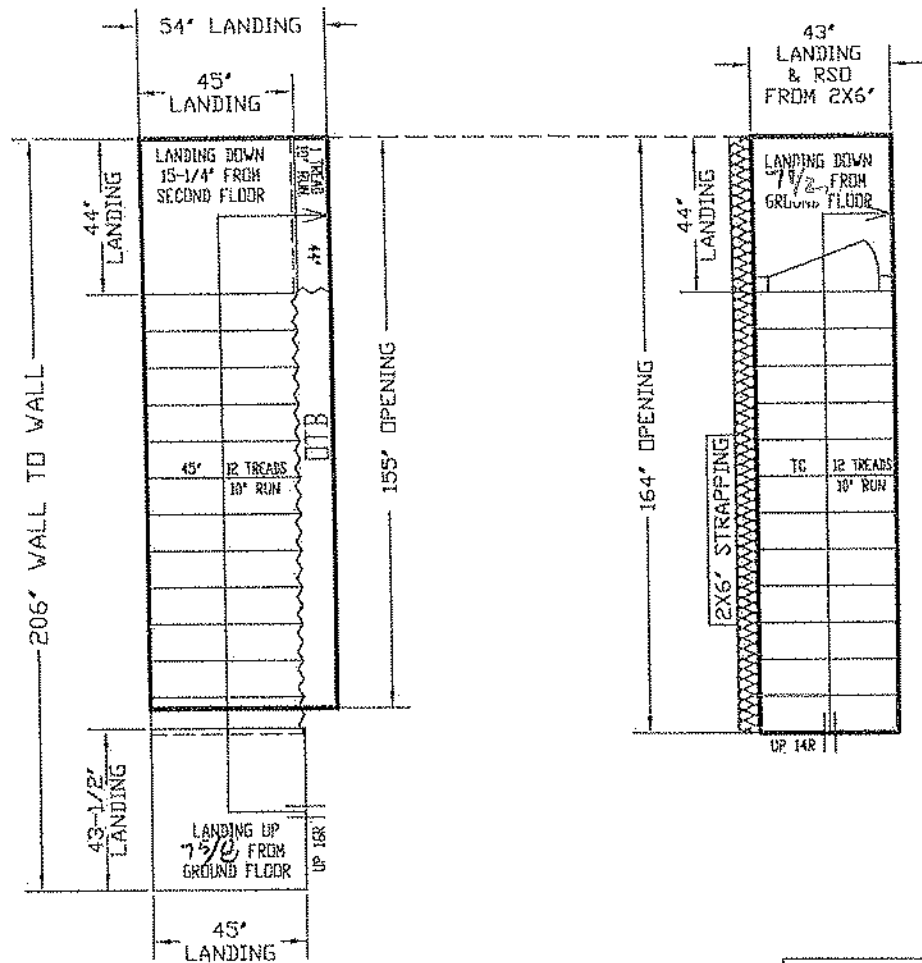
*2ND FLOOR SMOOTH CEILING



BLK.9 TH.53 20-18 THE KATHERINE (END) EL. B 3 BDRM 2 BATH 1815 SQ.FT

GROUND TO SECOND
122' HT 11-7/8' JOIST

BASEMENT TO GROUND
BSMT 11-7/8' JOIST



BK 9-53

ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

STAIRS LINE UP BY
THE EXTERIOR WALL

NO WALLS UNTIL
STAIRS INSTALLED

REVISED
JUNE 4, 2025

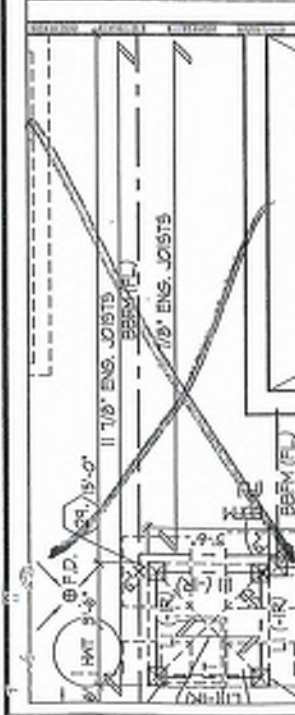
GARAGE RIGHT >



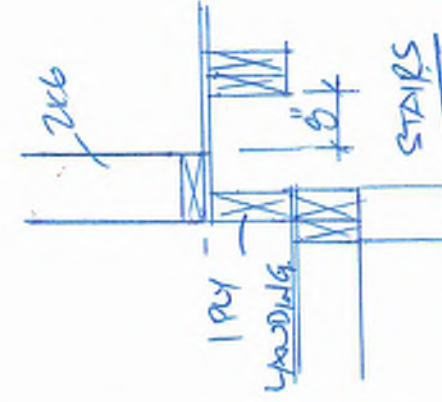
ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE
ANY STRAPPING ALLOWANCES TO BE COMPENSATED BY CARPENTERS
ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPECS AS SUPPLIED TO ALPA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN ON LAYOUTS ARE REQUIRED TO
INSTALL OUR STAIRS. ANY PROBLEM WITH HEADROOM OR STRAPPING ALLOWANCES, ALPA
STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY
CARPENTERS OR SITE SUPERVISORS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING
WITH CONSTRUCTION.
ALPA STAIRS AND RAILINGS INC.
3770 NASHUA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4Y 1H6
TEL: (905) 694-9556 | www.alpostairs.com

SITE
BAYVIEW
HEIGHTS
LOT #
Model
UNIT 2018
END

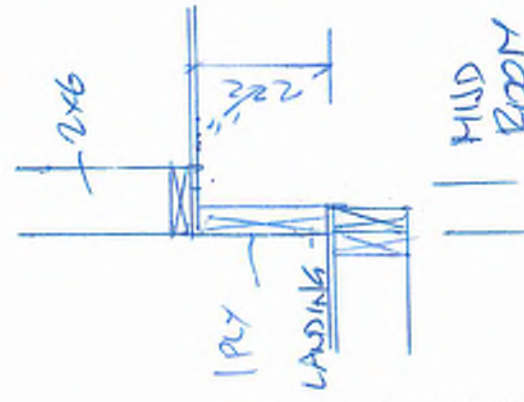
DRAWN BY
NAME
PARAMJEET
DATE
MAY 23, 2025
CLIENT
ROYAL PINE HOMES
LAYOUT #
SCALE 1/32



**PART. BASEMENT
PLAN FOR NOT
SUNKEN MUDROOM
COND.**



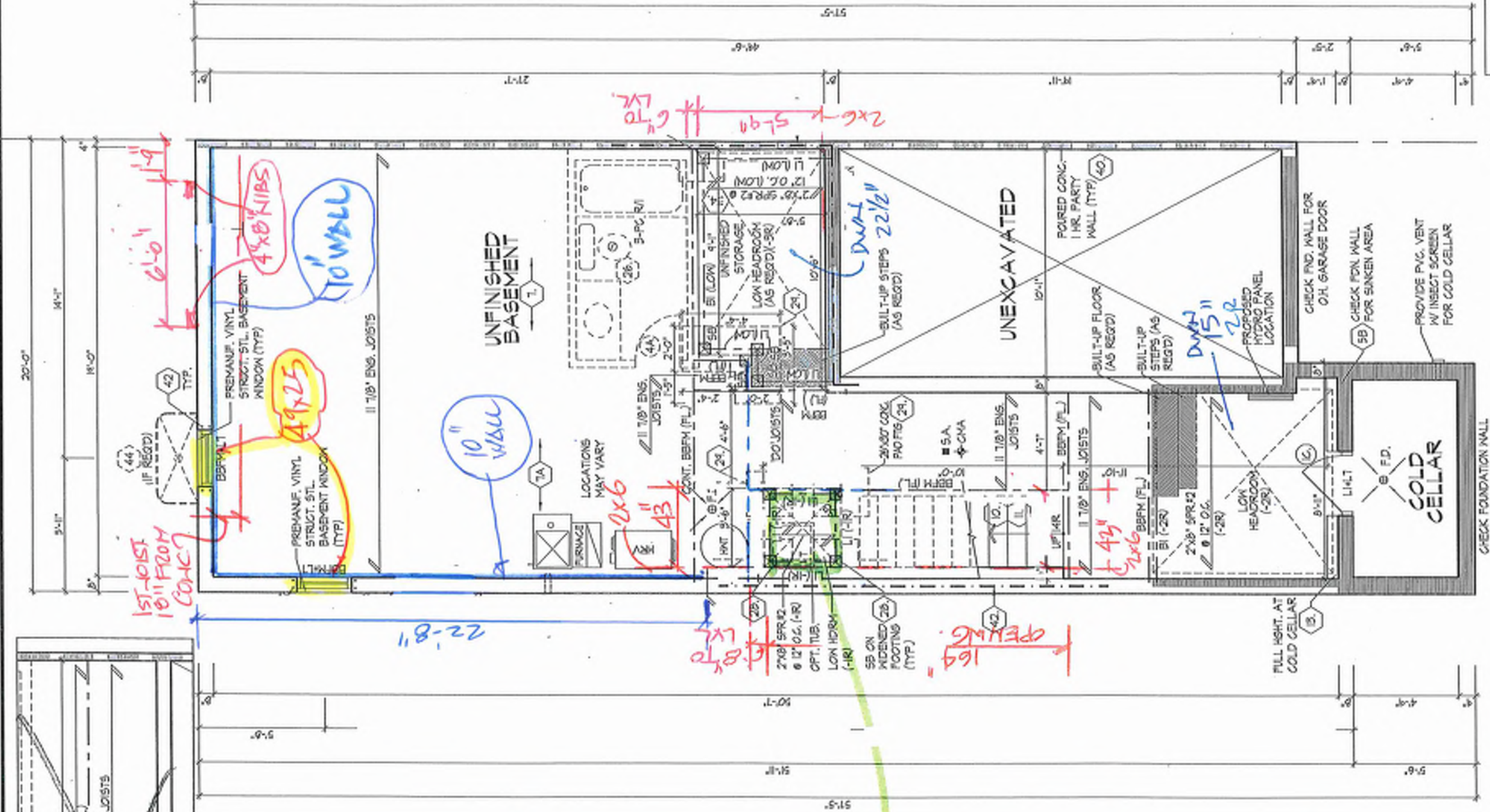
LANDING
43"
DOWN 7 1/2"



**MUD
ROOM**

Preliminary
NOT FINAL April 22 2025

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	APPROX. LOCATION OF FURNACE AND HOT WATER TANK
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the applicable Ordinance. The City of Richmond Hill is not responsible for any errors or omissions in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

BASEMENT PLAN, EL. 'A', 'B' & 'C'

PLC 9-53

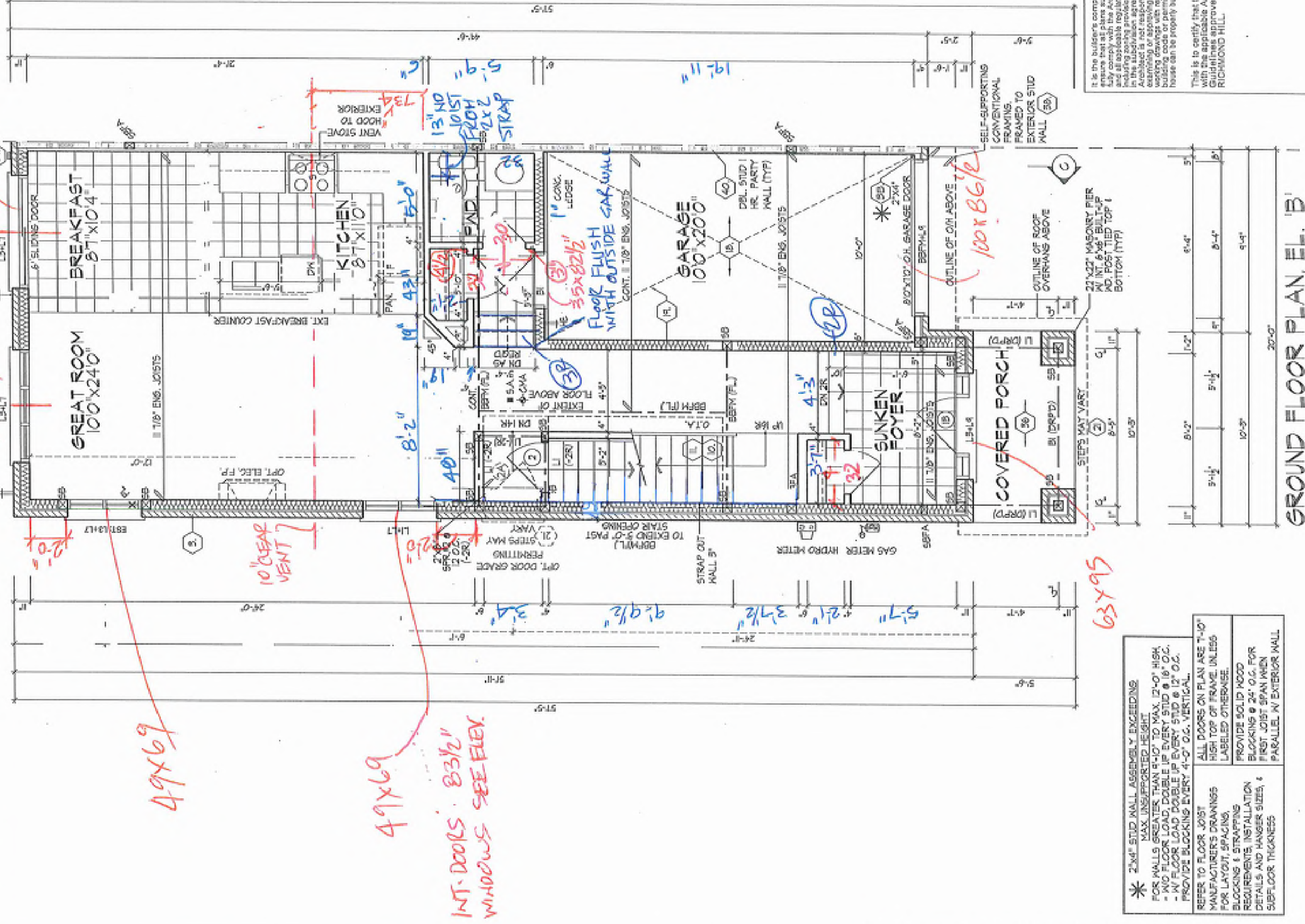
ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT DESIGN ASSOCIATES INC.
www.hunt-design.ca

BASEMENT PLAN, EL. 'A', 'B' & 'C'
UNIT 2018-END
REV. 2025.03.27

Preliminary

NOT FINAL April 22 2025



* 2"x4" STUD WALL ASSEMBLY EXCEEDING MAX UNSUPPORTED HEIGHT FOR WALLS GREATER THAN 4'-10" TO MAX. 12'-0" HIGH. - W/ FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C. - W/ FLOOR LOAD, DOUBLE UP EVERY STUD @ 12" O.C. PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS, AND HANGER SIZES, & SUBFLOOR THICKNESS.

ALL DOORS ON PLAN ARE 7'-10" HIGH TOP OF FRAME UNLESS LABELED OTHERWISE.

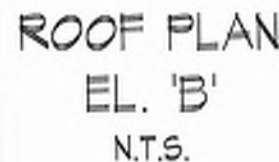
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.



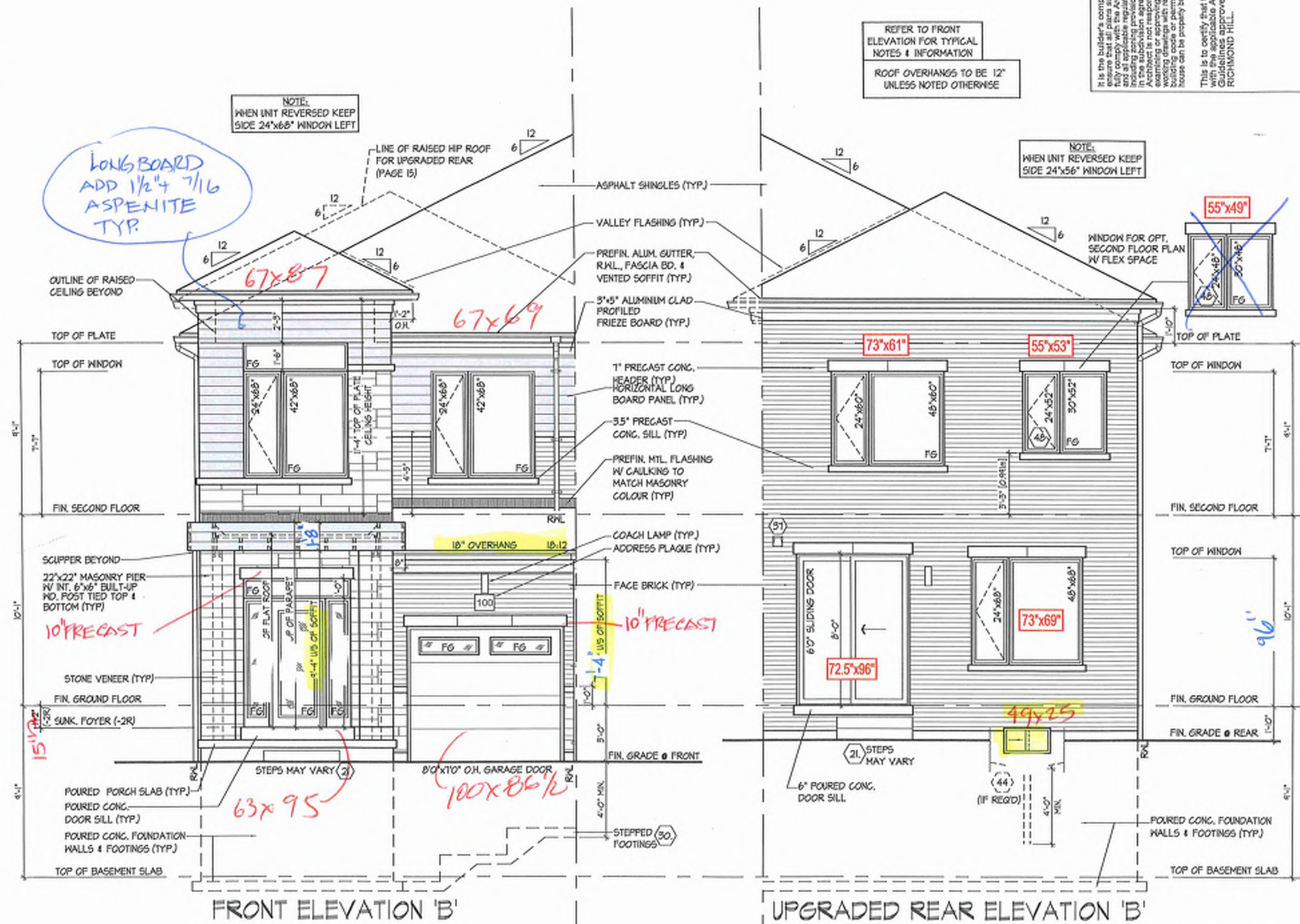
ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

DESIGN ASSOCIATES INC.
www.huntassociates.com

GROUND FLOOR PLAN, EL. 'B'
UNIT 2018-END
REV. 2025.03.27



ROOF PLAN
EL. 'B'
N.T.S.



REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION	
ROOF OVERHANGS TO BE 12 UNLESS NOTED OTHERWISE	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and rules. The Architect is not responsible in any way for examining or approving all (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

Buk 9-53

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.



HUNT
DESIGN ASSOCIATES INC.

Page Number
18 of 31

File Number
218094WT2018-END
J F 005.737.7526

0° T 905.737.5130

3/16"=1'-0" Scale
 1/4"=1'-0" Scale
 1/8"=1'-0" Scale
 1/32"=1'-0" Scale
 1/64"=1'-0" Scale
 1/128"=1'-0" Scale
 1/256"=1'-0" Scale
 1/512"=1'-0" Scale
 1/1024"=1'-0" Scale
 1/2048"=1'-0" Scale
 1/4096"=1'-0" Scale
 1/8192"=1'-0" Scale
 1/16384"=1'-0" Scale
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 1/65536"=1'-0" Scale
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MM/DS
ding Ave, Marham

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8068 Woodfin

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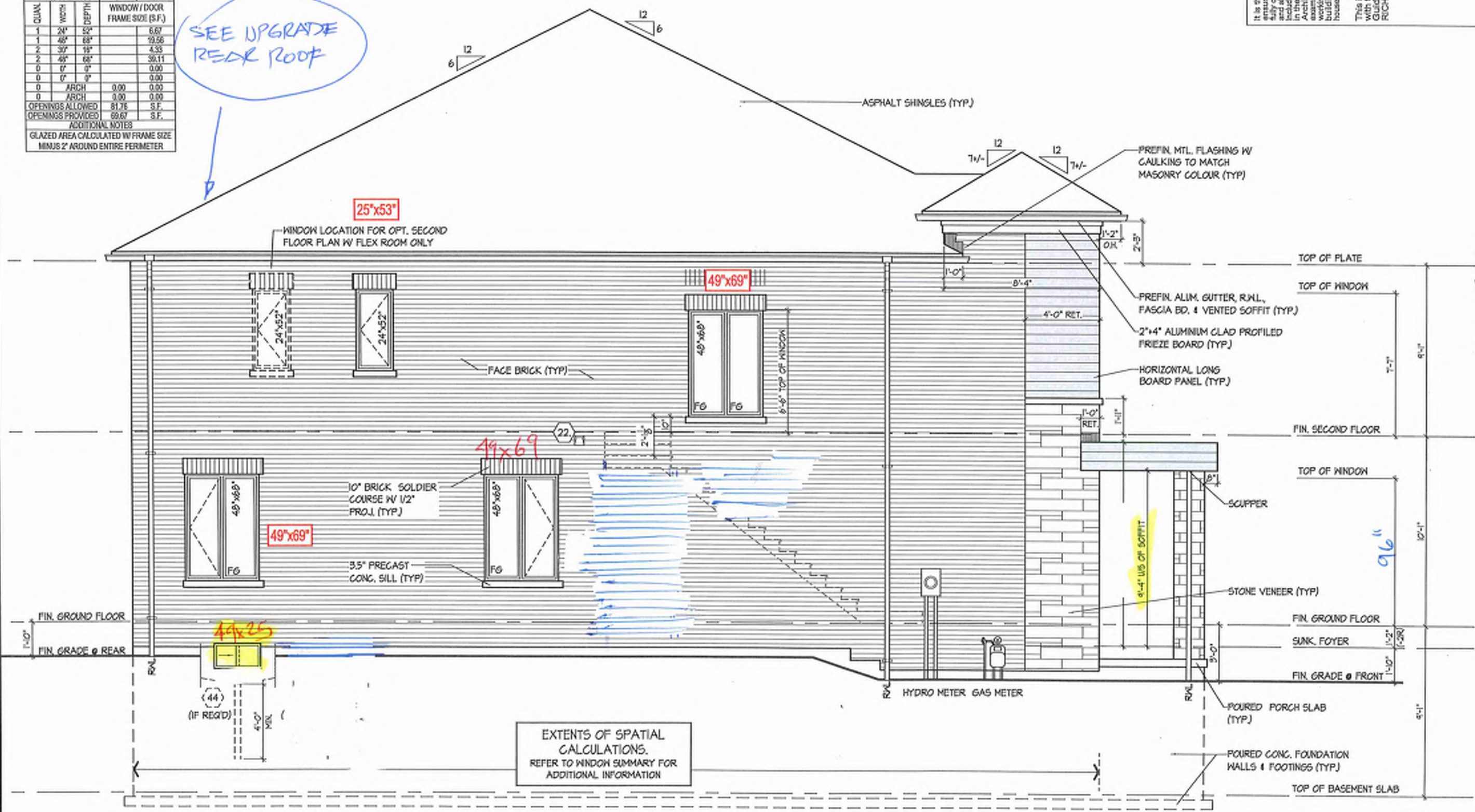
SIGNATURE _____
ES INC.

ic Mobile

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SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B			
EXPOSING BUILDING	1168.00	S.F.	
FACE AREA	108.51	S.M.	
PORTION WALL AREA	198.00	S.F.	
	108.51	S.M.	
LIMITING DISTANCE	12 m		
MAX. % OPENINGS	7	%	
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	68"	6.67
1	48"	68"	19.56
2	30"	19"	4.33
2	48"	68"	39.11
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
OPENINGS ALLOWED	81.78	S.F.	
OPENINGS PROVIDED	69.67	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

SEE UPGRADE REAR ROOF



LEFT SIDE ELEVATION 'B'

UNIT 2018-END
REV. 2025.03.27

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT DESIGN ASSOCIATES INC.
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21274
10695
HUNT DESIGN ASSOCIATES INC.

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BK 9-53

21274

10695

HUNT DESIGN ASSOCIATES INC.

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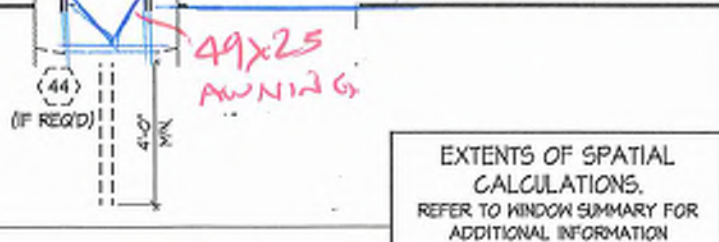
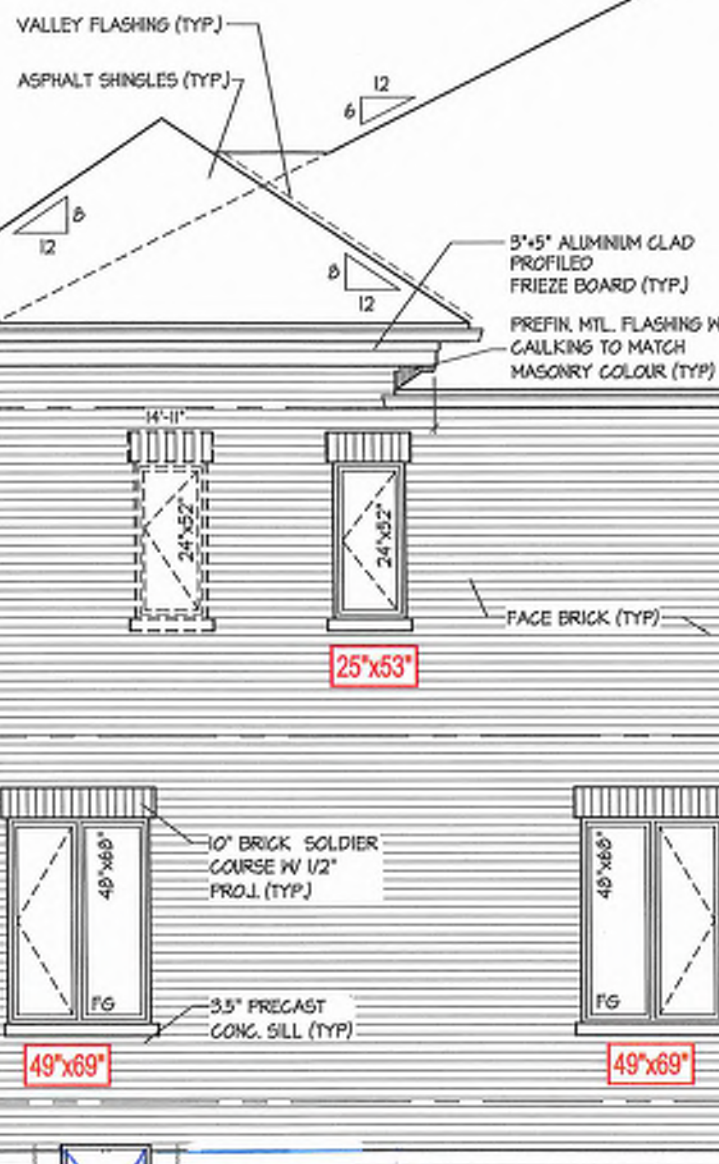
21274

10695

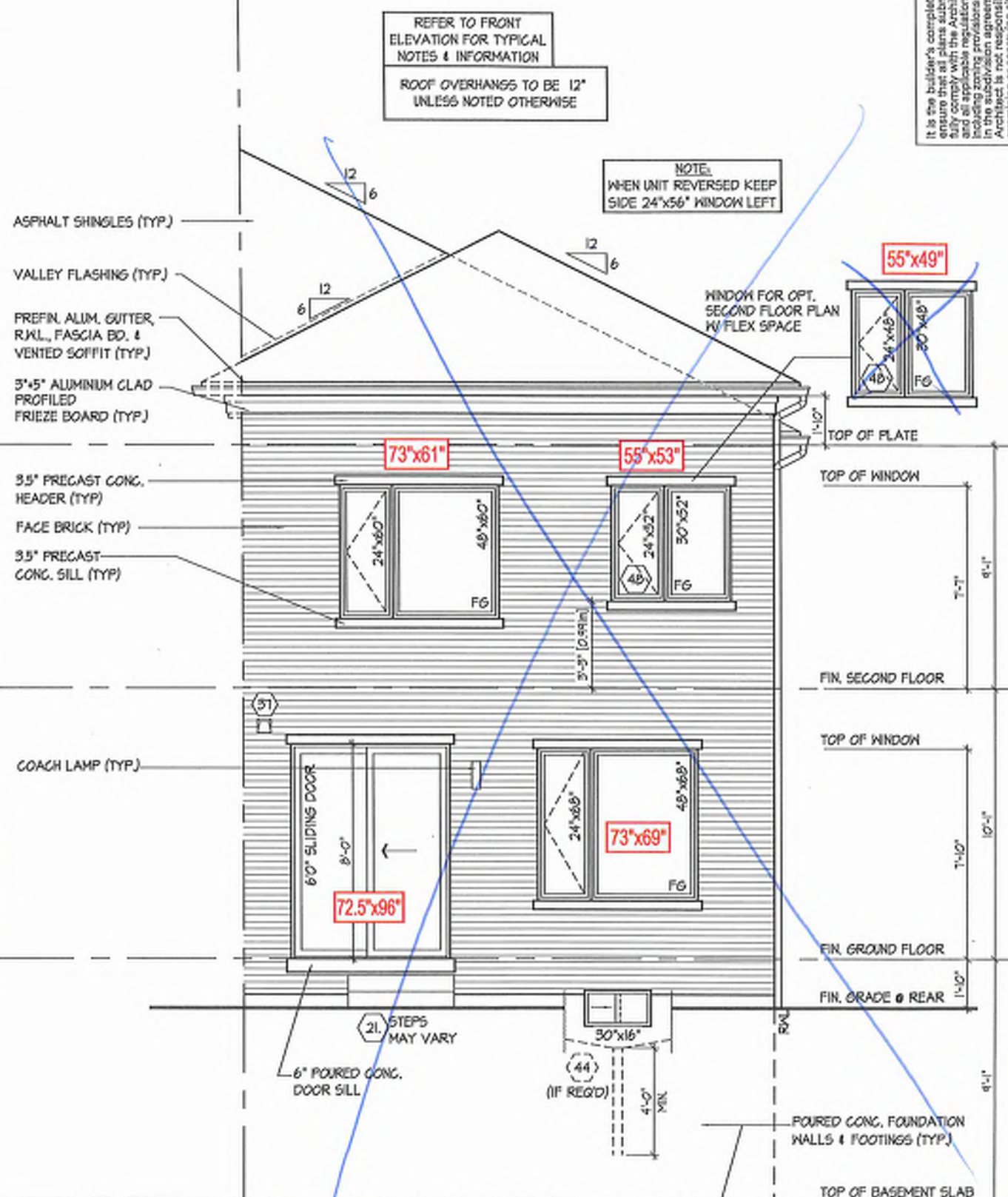
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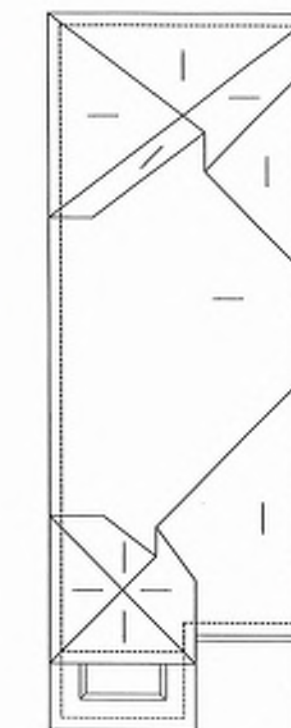
SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION A - FOR UPGRADED REAR			
EXISTING BUILDING FACE AREA	1188.00	S.F.	
PORTION WALL AREA	108.32	S.F.	
PORTION WALL AREA	1188.00	S.F.	
PORTION WALL AREA	108.32	S.F.	
LIMITING DISTANCE MAX. % OPENINGS	7	%	
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	52"	8.87
1	48"	68"	19.56
2	30"	18"	4.53
2	48"	68"	39.11
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
OPENINGS ALLOWED	81.82	S.F.	
OPENINGS PROVIDED	88.87	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



PART. LEFT SIDE EL. 'A' - UPGRADED REAR CONDITION

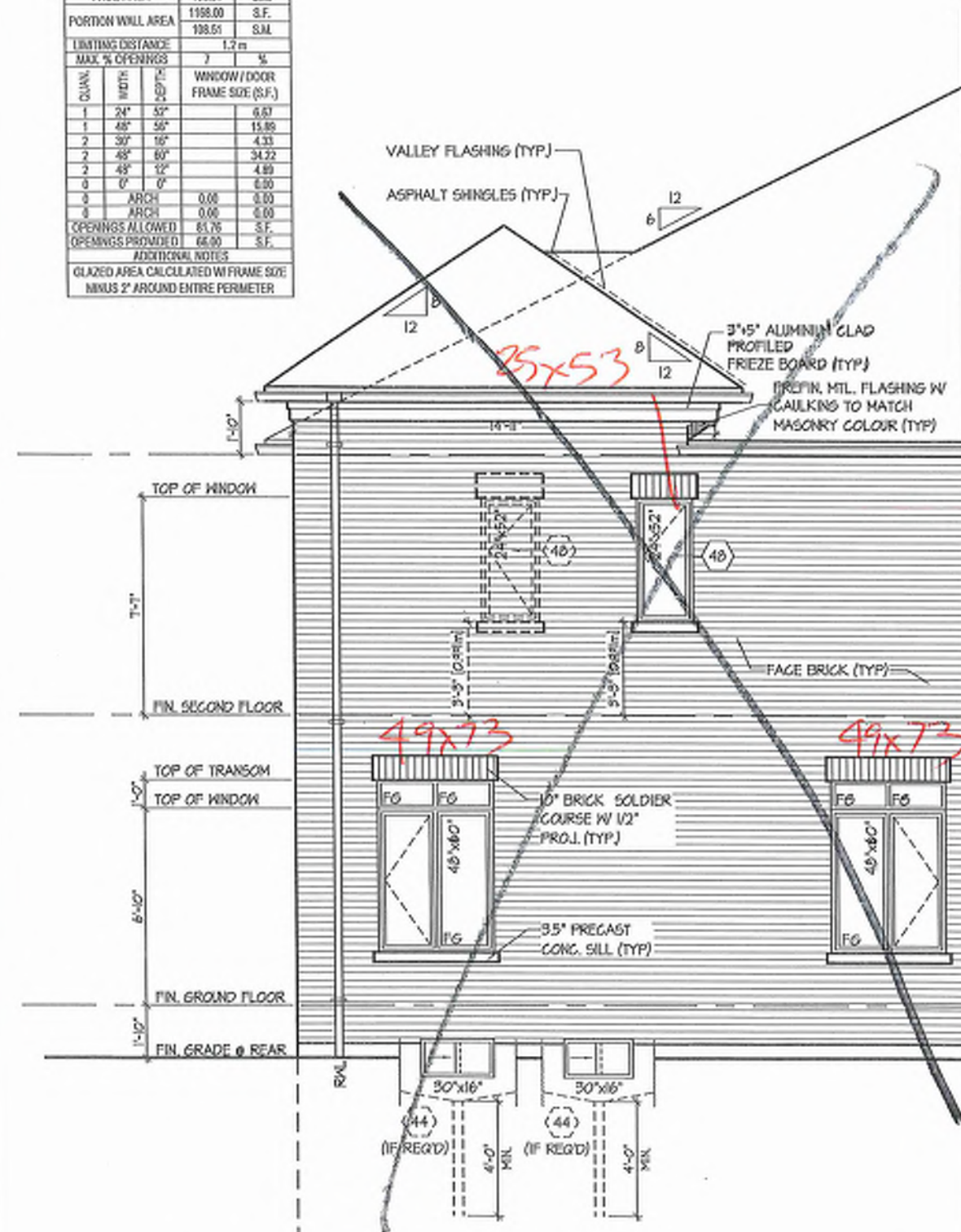


UPGRADED REAR ELEVATION 'A'



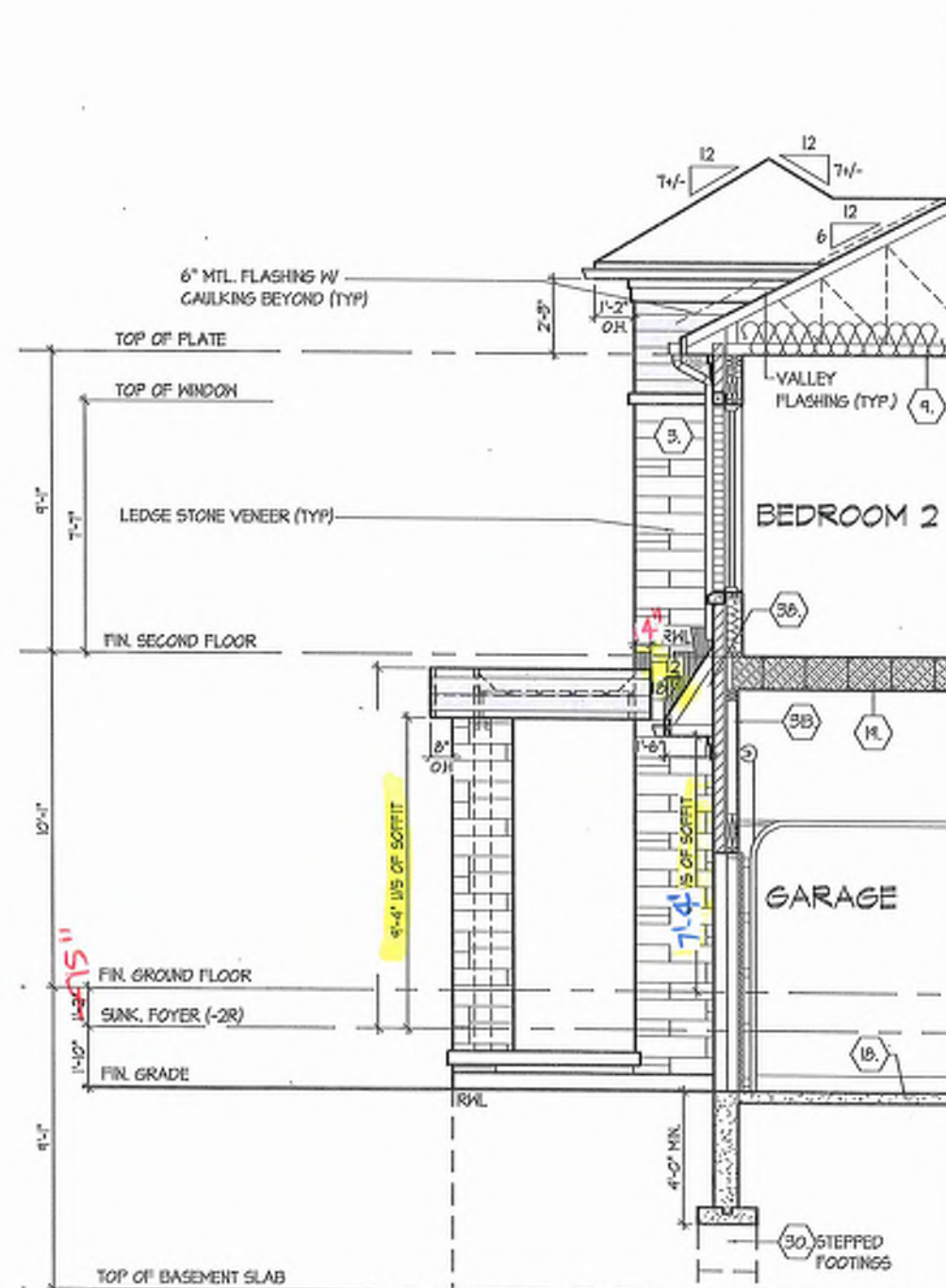
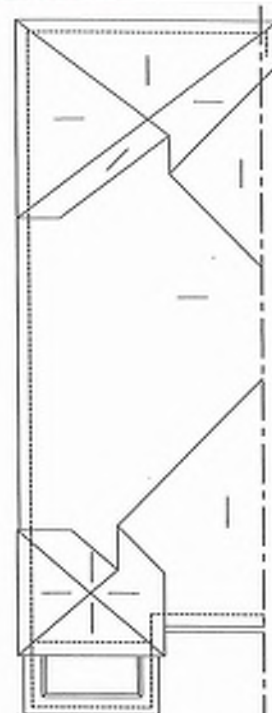
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the relevant agreement. The builder is responsible for obtaining all necessary permits, including zoning or planning or any other permits, and for ensuring that the building is constructed in accordance with the approved plans and all applicable regulations and requirements. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

SPATIAL CALCULATION			
PER O.R.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B - FOR UPGRADED REAR			
EXPOSING BUILDING	1988.00	S.F.	
FACE AREA	908.51	S.M.	
PORTION WALL AREA	1988.00	S.F.	
	908.51	S.M.	
LIMITING DISTANCE	1.2 m		
MAX. % OPENINGS	7	%	
QUAN.	WIDTH	HEIGHT	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	52"	6.67
1	48"	56"	15.89
2	30"	16"	4.33
2	48"	60"	34.22
2	48"	12"	4.80
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
OPENINGS ALLOWED		61.76	S.F.
OPENINGS PROVIDED		68.00	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



PART. LEFT SIDE EL. 'B' - UPGRADED REAR CONDITION

ROOF PLAN UPGRADED REAR EL. 'B' N.T.S.



PARTIAL SECTION 'C', EL. 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the applicable Building Code. The Architect is not responsible in any way for examining or approving the (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the applicable Building Code. The Architect is not responsible in any way for examining or approving the (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

BLK 9-53

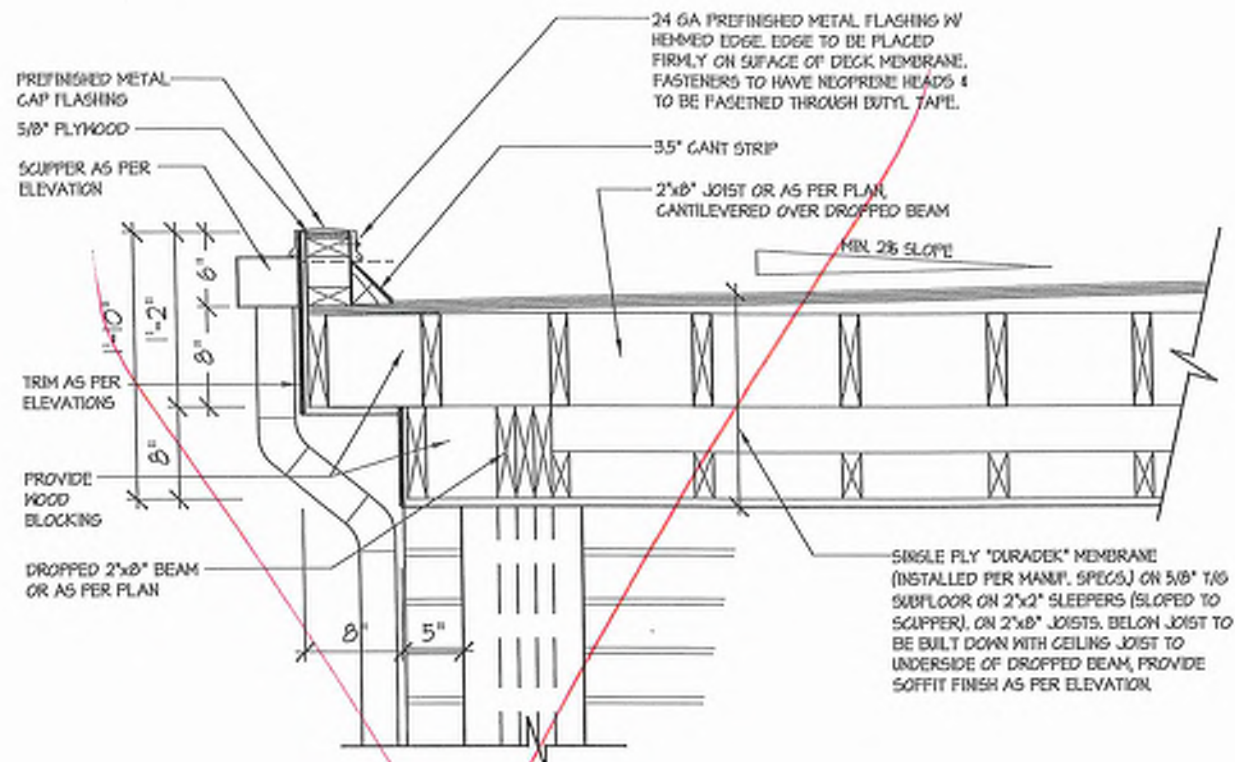
PARTIAL UPGRADED SIDE ELEVATION 'B' & PART. SECTION 'C', EL. 'B' UNIT 2018-2019
ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.
REV. 2025.03.27

HUNT DESIGN ASSOCIATES INC.

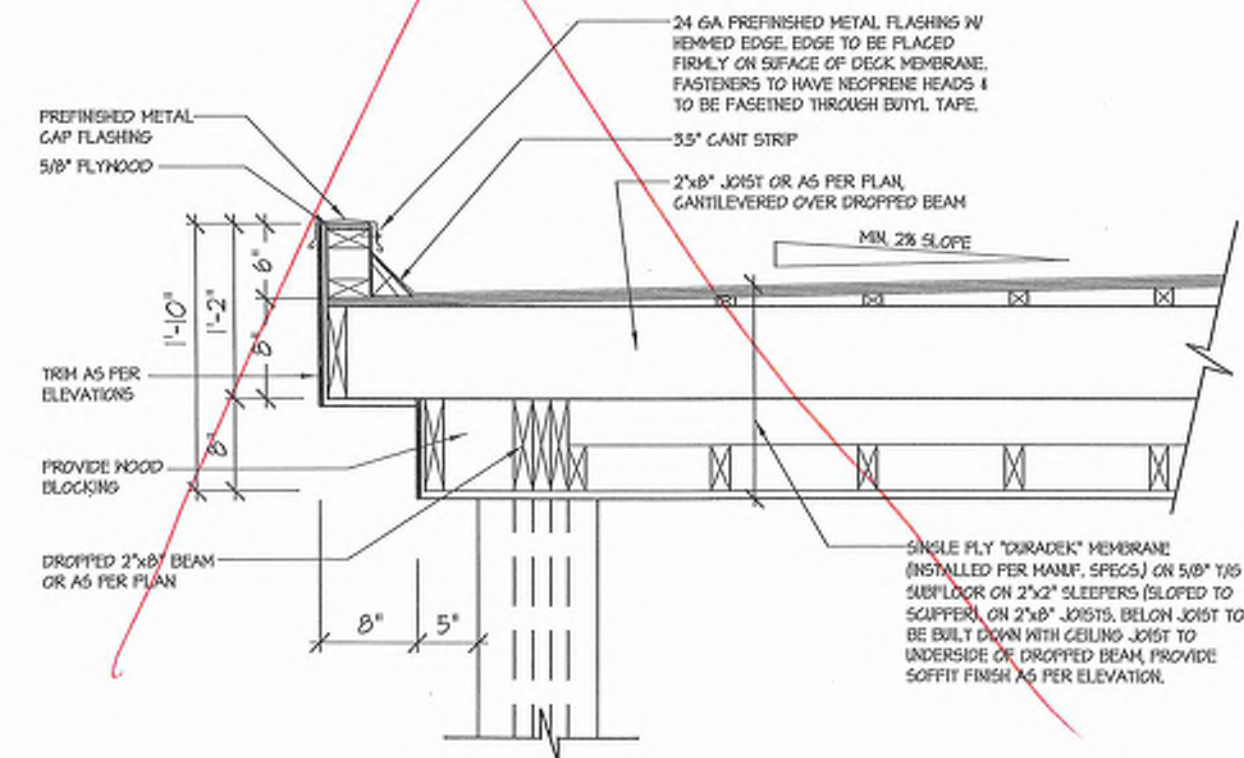
21274
18695

Drawn by: KMTT
Checked by: MMDS
Scale: 3/16" = 1'-0"
File Number: 218094/WT2018-2019
Page Number: 20 of 31

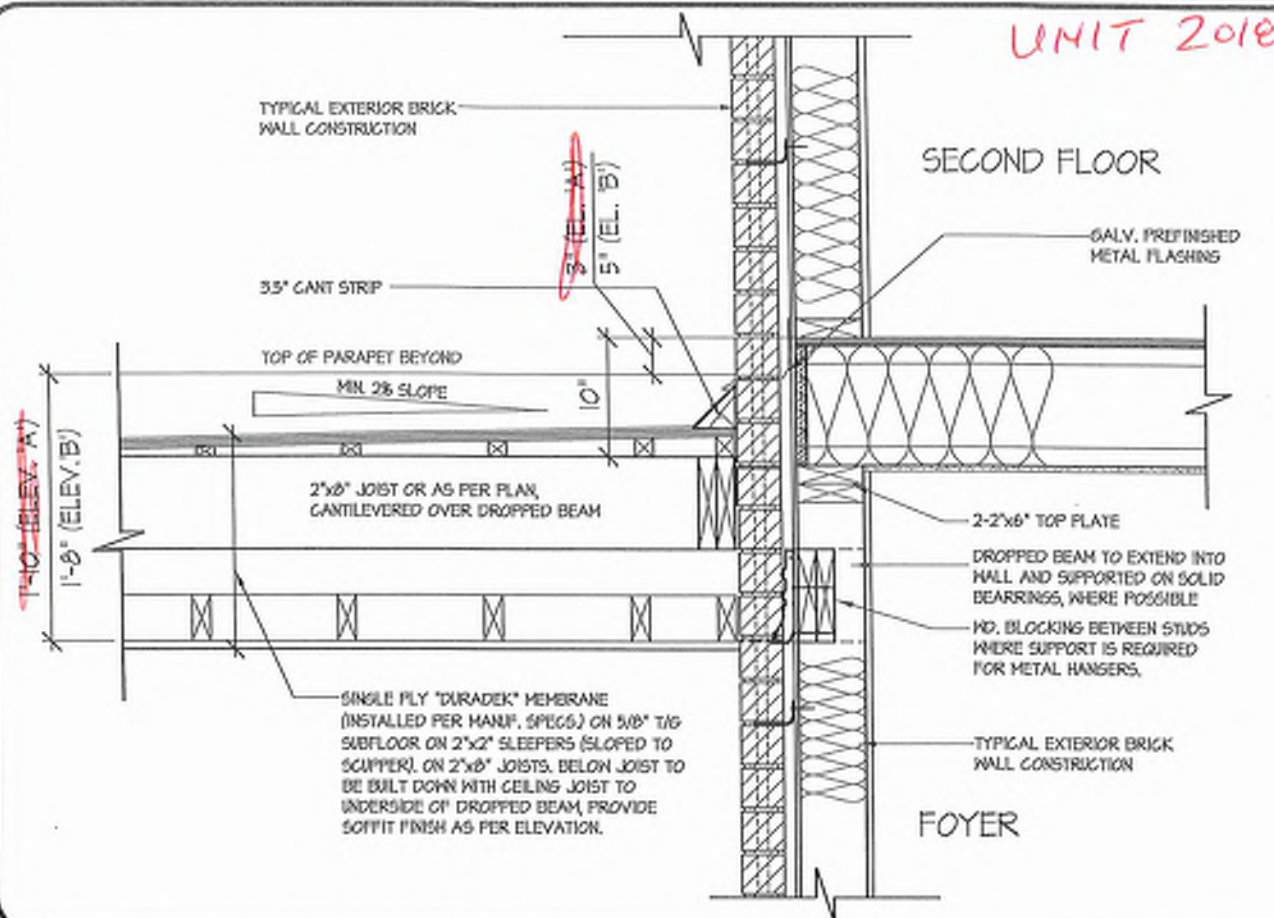
8566 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7926
www.huntdesign.ca
The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
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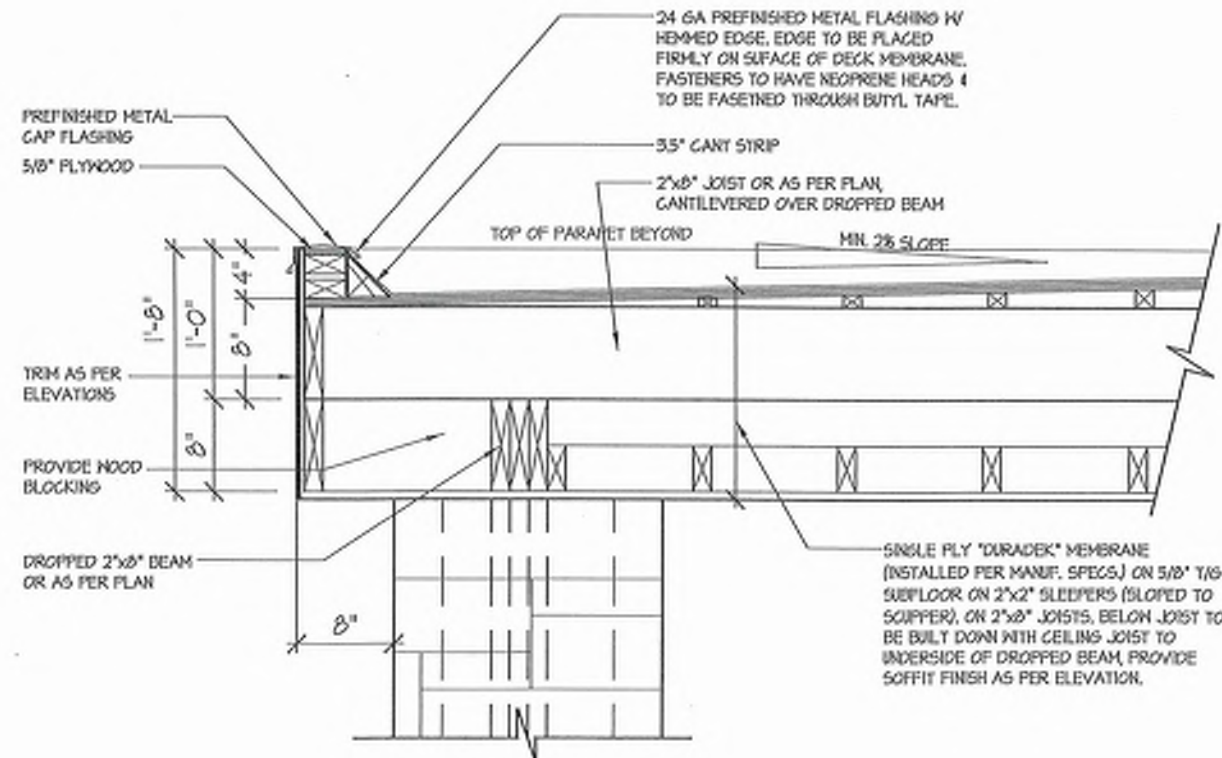
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)
3/4"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4"=1'-0"



3 FLAT ROOF DETAIL @ EXTERIOR WALL
3/4"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/4"=1'-0"

UNIT 2010

SECOND FLOOR

FOYER

FLAT ROOF DETAILS OVER COVERED PORCH

UNIT 2010

REV. 2025.03.25

27 of 25

ROYAL PINE HOMES - 218094

921 BAYVIEW, RICHMOND HILL, ON.

Drawn By: KMM/MS DS/MM 3/16"=1'-0"

8800 Woodbine Ave., Markham, ON L3R 0U7 T 905.737.5158 F 905.737.7326

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

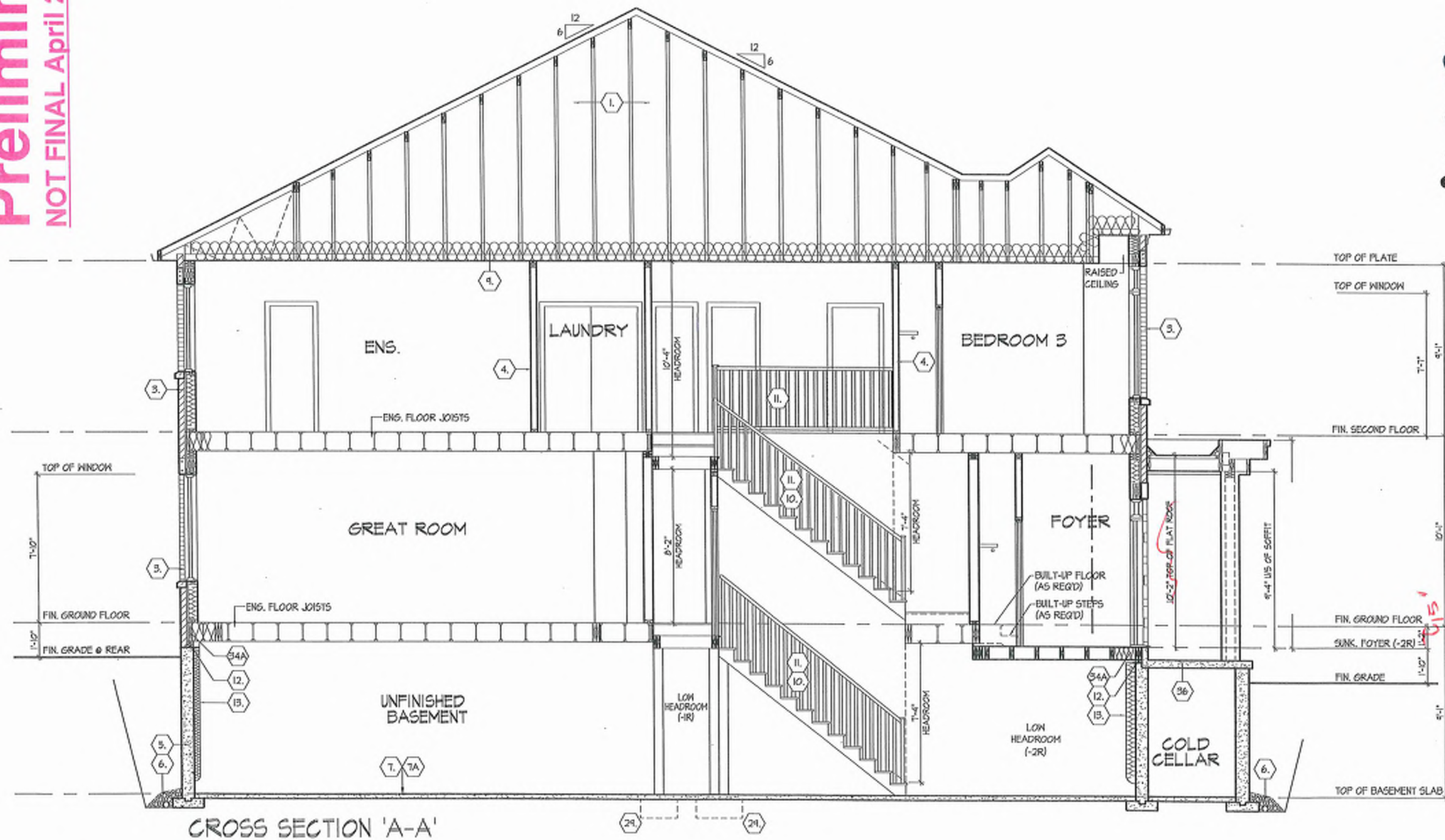
QUALIFICATION INFORMATION
Certified Mobile

21274

19995

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Preliminary
NOT FINAL April 22 2025



2469-53 CROSS SECTION 'A-A'

ROYAL PINE HOMES - 218094
UNIT 2018-END
REV.2025.03.27



HUNT
DESIGN ASSOCIATES INC.

Case By	Created By	Scale	File Number	Page Number
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HUNT
DESIGN ASSOCIATES INC.

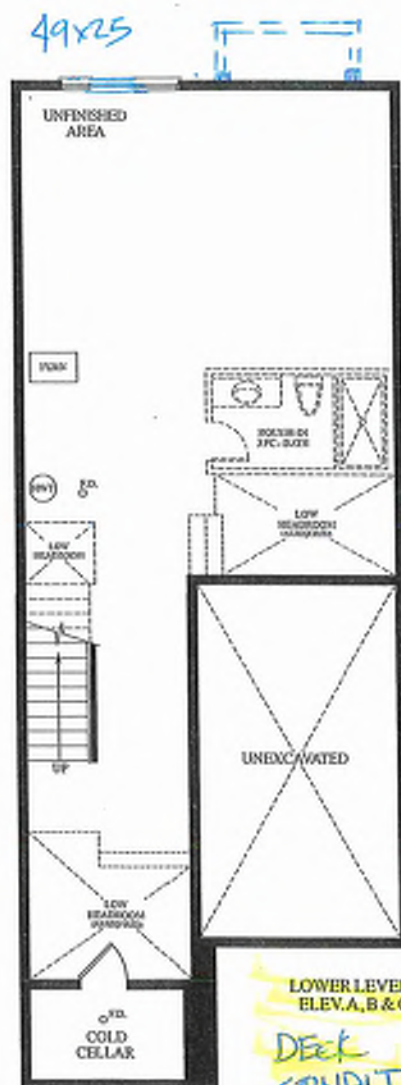
COMMUNICATIONS Dominic Mobilo 21276	IDENTITY INFORMATION NAME: DOMINIC MOBILE DATE OF BIRTH: 11/11/1988 SEX: M RACE: AFRICAN AMERICAN HEIGHT: 5'10" WEIGHT: 170 LBS HAIR COLOR: BLACK EYE COLOR: BROWN SCAR(S): NONE TATTOO(S): NONE ALIASES: NONE VOICE: DEEP, BASSY BUILD: SLIM DISCIPLINE: NONE EDUCATION: HIGH SCHOOL GRADUATE EMPLOYMENT: NONE DRUGS: NONE WEAPONS: NONE OTHER: NONE 21276
--	---

[illegible]



BAYVIEW HEIGHTS

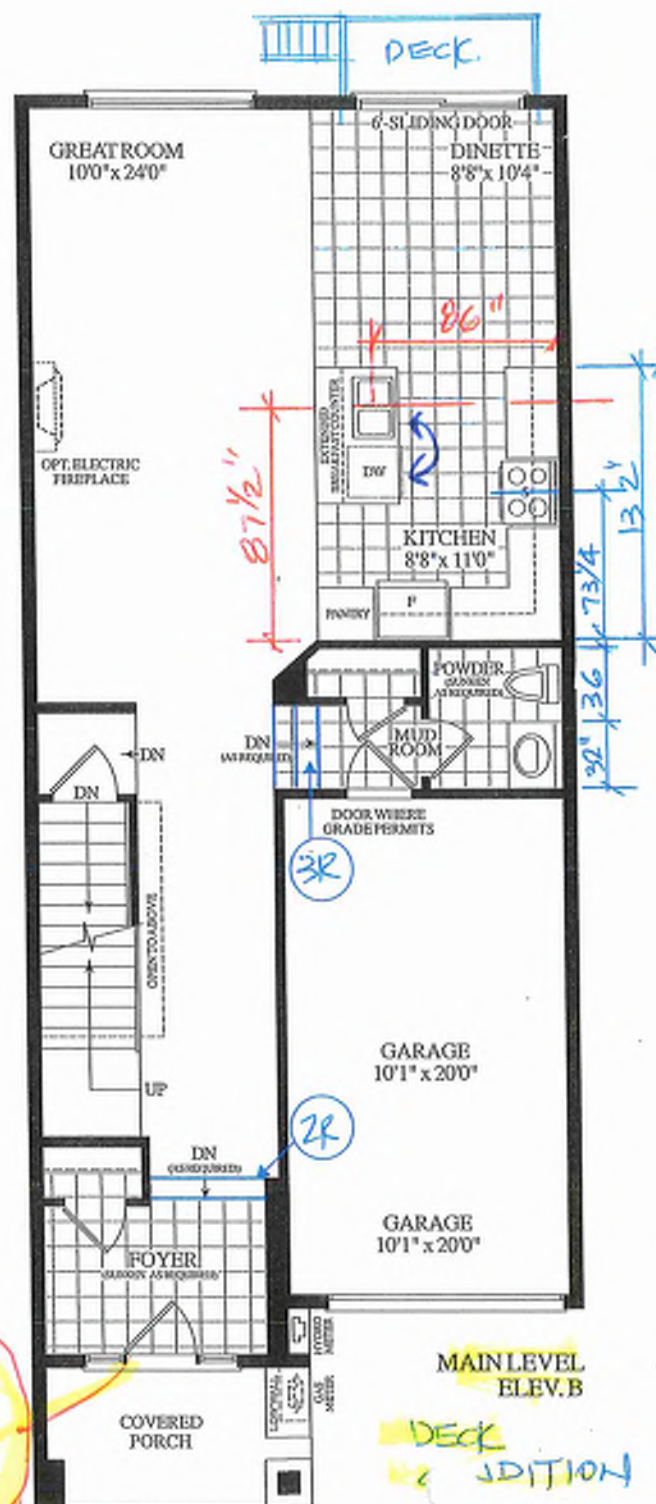
RICHMOND HILL DECC



LOWER LEVEL
ELEV. A, B & C

Deck Condition

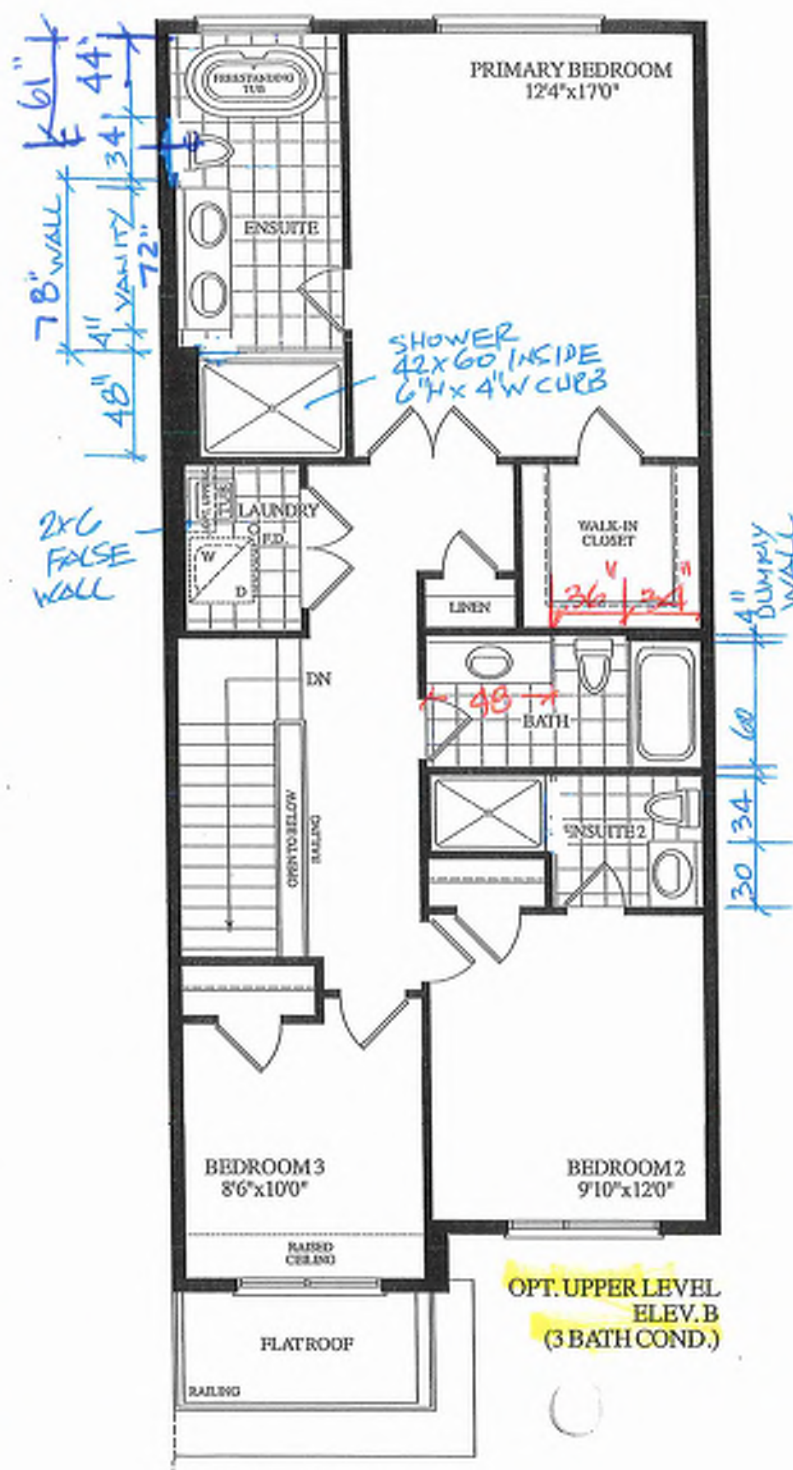
EXTENDED
HEIGHT
FRONT
DOOR
66x98



MAIN LEVEL
ELEV. B

DECK EDITION

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E.&O.E.



OPT. UPPER LEVEL
ELEV. B
(3 BATH COND.)

INVENTORY HOUSE

BLK.9 TH. 54

20-17 THE DIANA EL. B

3 BDRM. 3 BATH.

1780 SQ.FT.

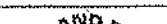
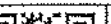
BASEMENT TO GROUND
BSMT 11-7/8' JOIST

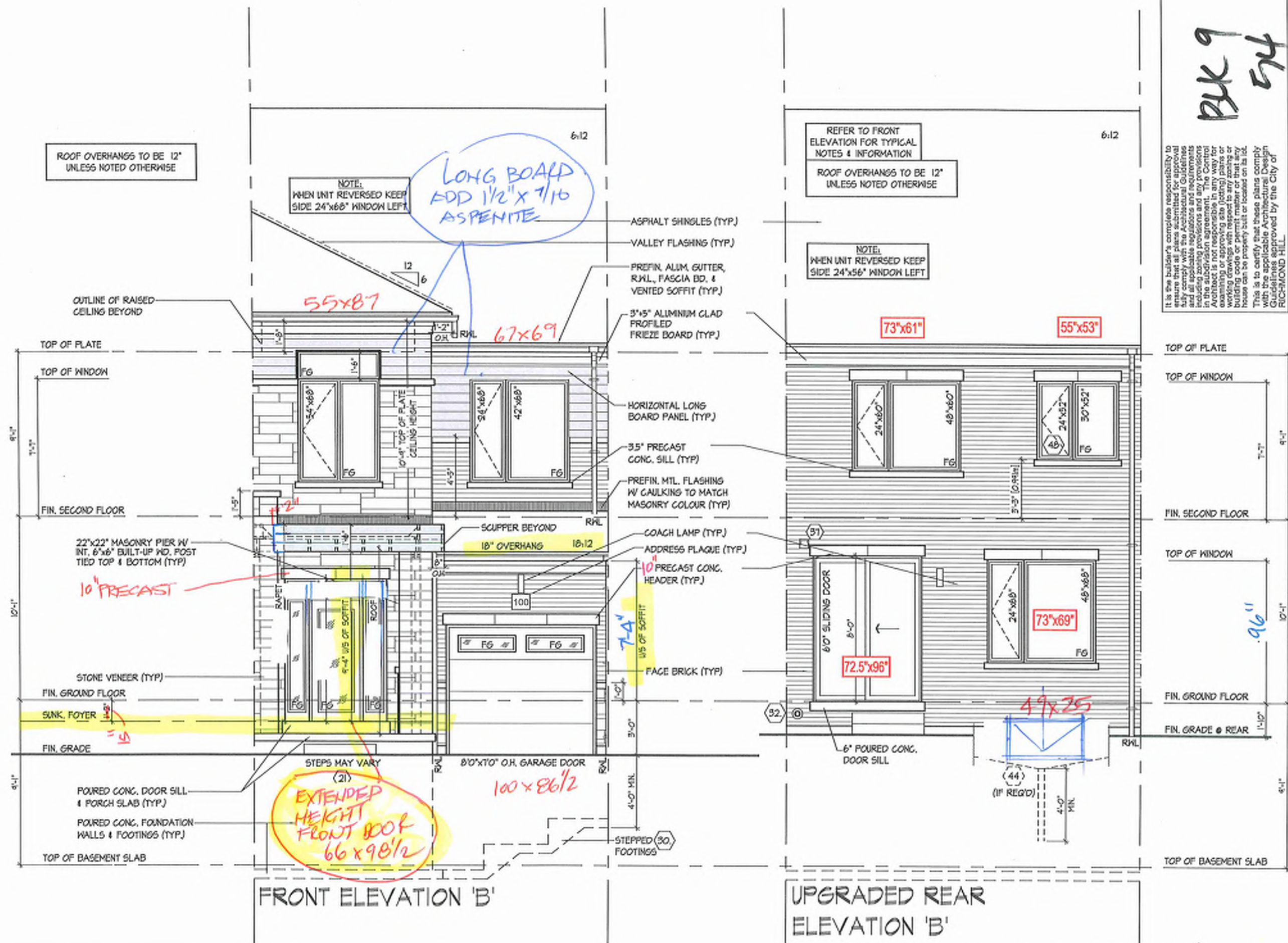
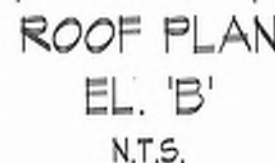


NO WALLS UNTIL
STAIRS INSTALLED

STAIRS LINE UP BY
PARTY WALL

GARAGE RIGHT >

	ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE ANY STRAPPING ALLOWANCES TO BE COMPENSATED BY CARPENTERS. ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS TO SPECIES AS SUPPLIED TO ALPA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN IN LAYOUTS ARE REQUIRED TO INSTALL OUR STAIRS. ANY PRODUCT VARIATION TO STRAPPING ALLOWANCES, ALPA STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE FOR DISCREPANCIES BY CARPENTERS OR SITE SUPERS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.			SITE BAYVIEW HEIGHTS	NAME PARAMJEET	DATE MAY 23, 2025
	ALPA STAIRS AND RAILINGS INC. 3770 NASHUA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1M6 TEL: (905) 694-9556 www.alpastairs.com			LOT # Model	CLIENT ROYAL PINE HOMES	LAYOUT # SCALE: 1/32



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and any conditions of approval. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of

FRONT & UPGRADED REAR ELEVATION 'B'

FRONT & U
ROYAL PINE HOMES - 218094
321 BAYVIEW, RICHMOND HILL, ON.



HUNT
DESIGN ASSOCIATES INC.

1. *Journal of Management Studies*, 1996, 33, 1, 1-14.

File Number
218094WT2017Scale
 $10^{-1} = 10^{-1}$

David W. Brown
KIMMEL

1165 Woodbine Ave., N.

www.huntdesign.ca

19035

1

UNITED INC.

WOODS

DESIGN A

HUNT D

NOT FINAL April 22 2025

45 BK 9

UNIT 2017

THE UNDERSTANDING HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE NATIONAL STANDARDS TO BE A DESIGNER.

QUALITANT INFORMATION	21274
Donipho Mobile	829
SIGNATURE	
REGISTRATION INFORMATION	19038
HINT DESIGN ASSOCIATES INC.	

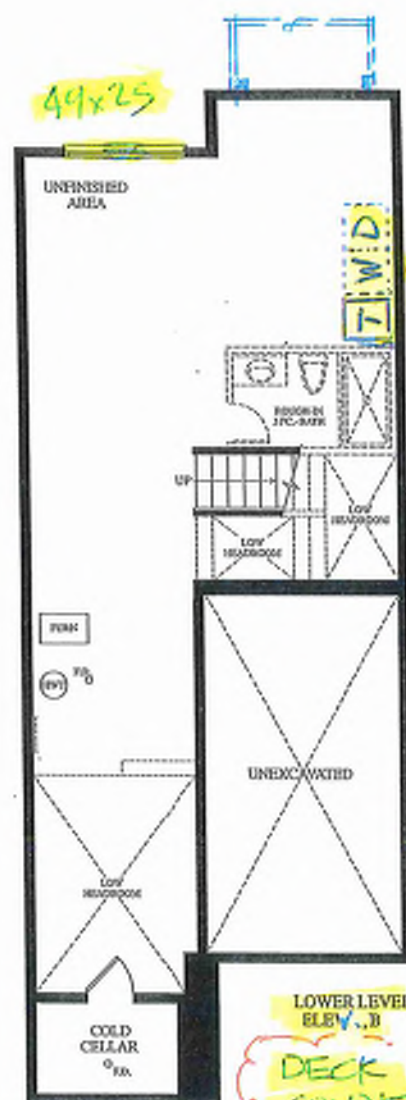
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BAYVIEW HEIGHTS RICHMOND HILL



June 23, 2025

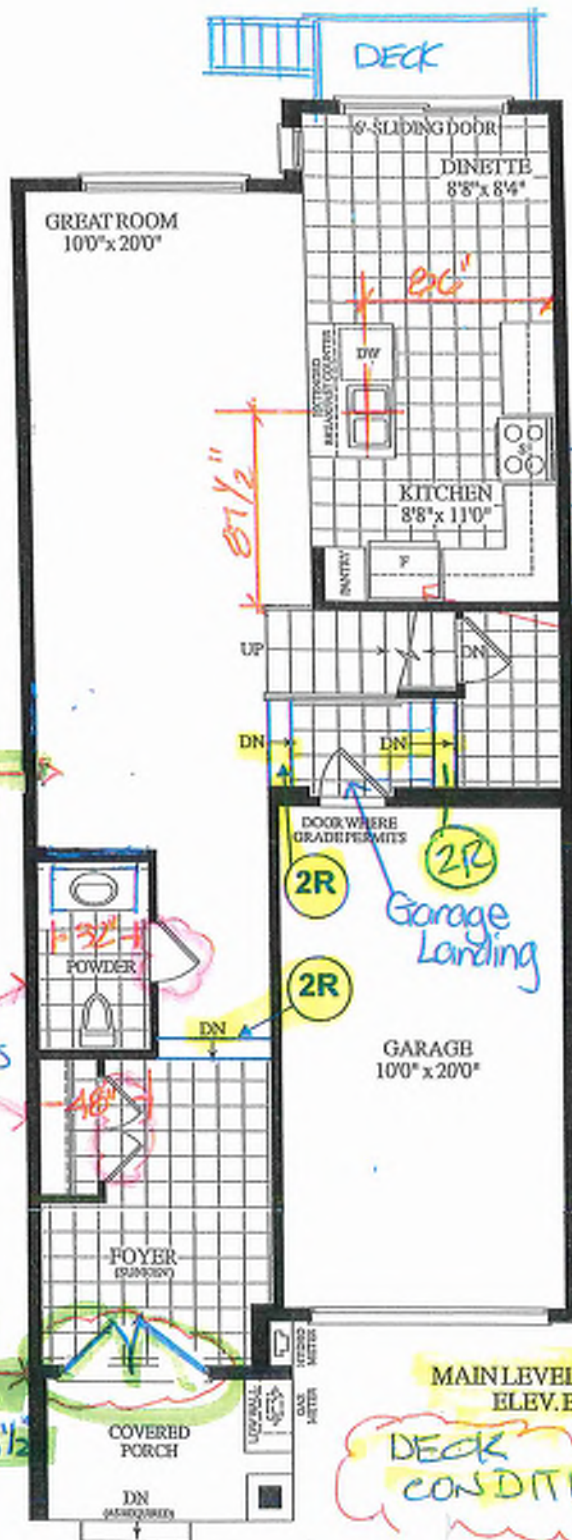


Laundry Rough-Ins

Delete Laundry Room

Extended Height Interior Doors (x3)
R.O. = 98 1/2" H

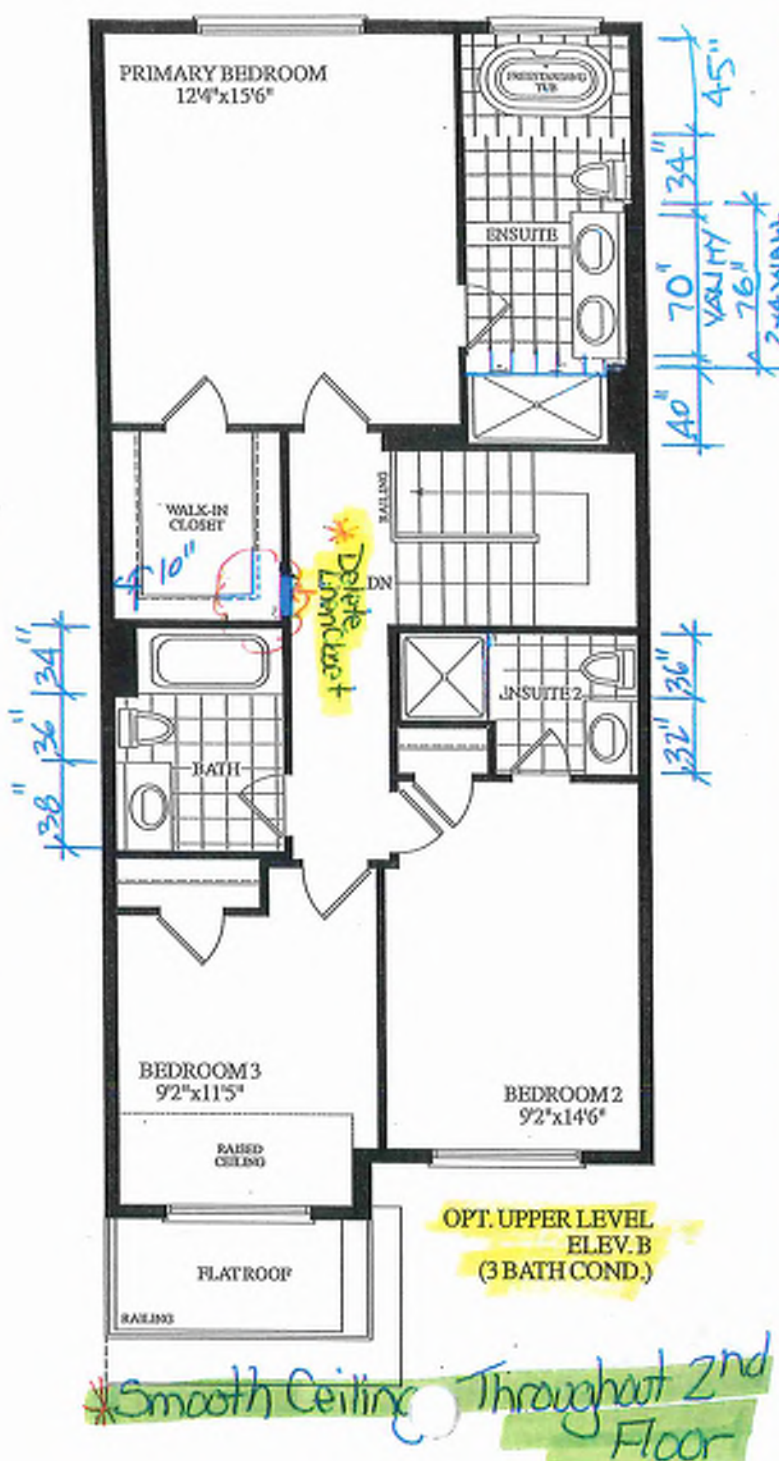
* Extended Height Dbl Doors
R.S.O. 69" x 98 1/2"



WaterLine Rough-In

DECK CONDITION

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E.&O.E.



BLK. 9 TH. 55

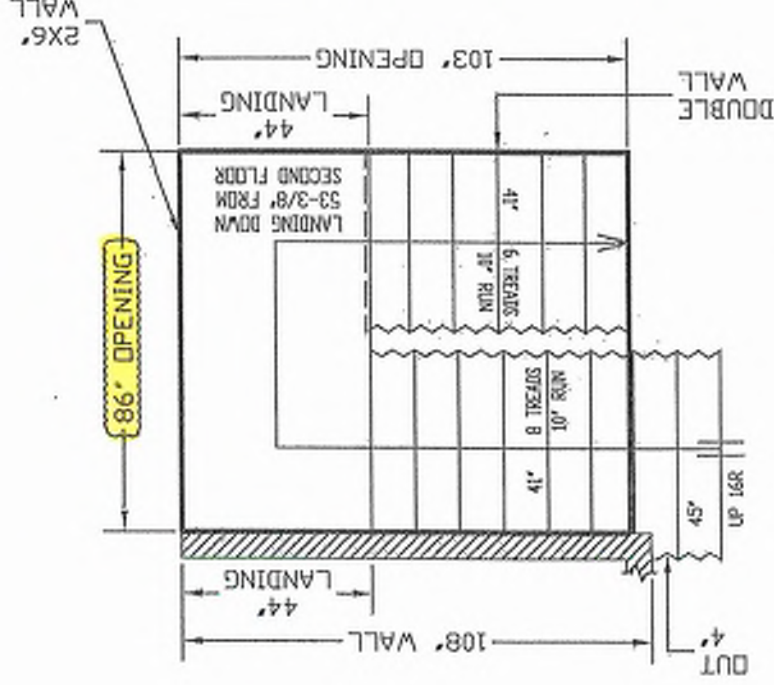
20-15 THE ANNE EL. B

3 BDRM. 3 BATH.

1685 SQ.FT.

SS-6-RK

GROUND TO SECOND
122' HT 11-7/8" JOIST



ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

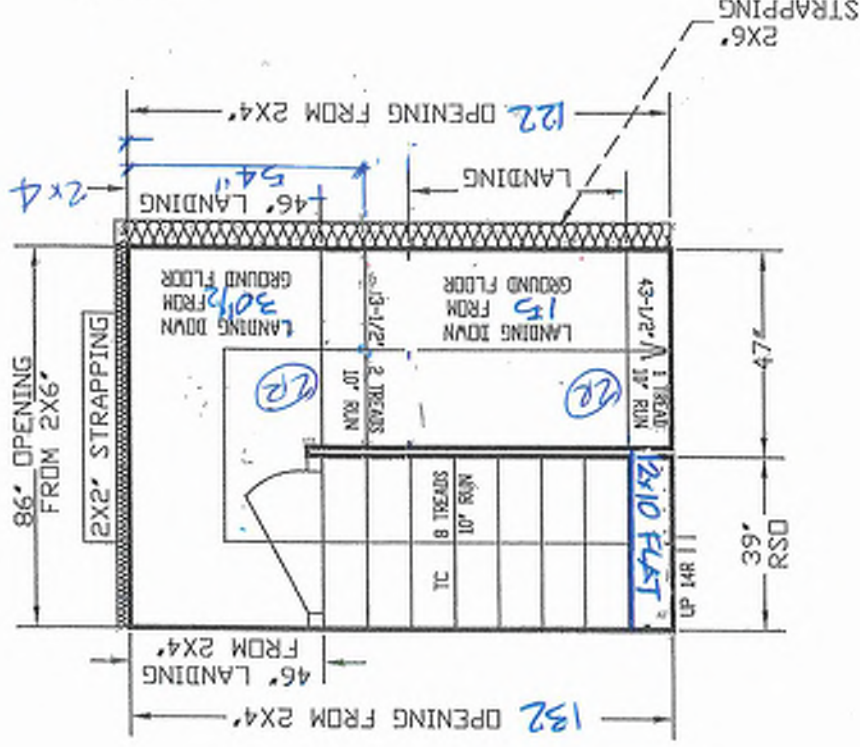
STAIRS LINE UP BY
PARTY WALL & GARAGE WALL

2" CONC. LEDGE
IN GARAGE



REVISED
JUNE 5, 2025

BASEMENT TO GROUND
BSMT 11-7/8" JOIST



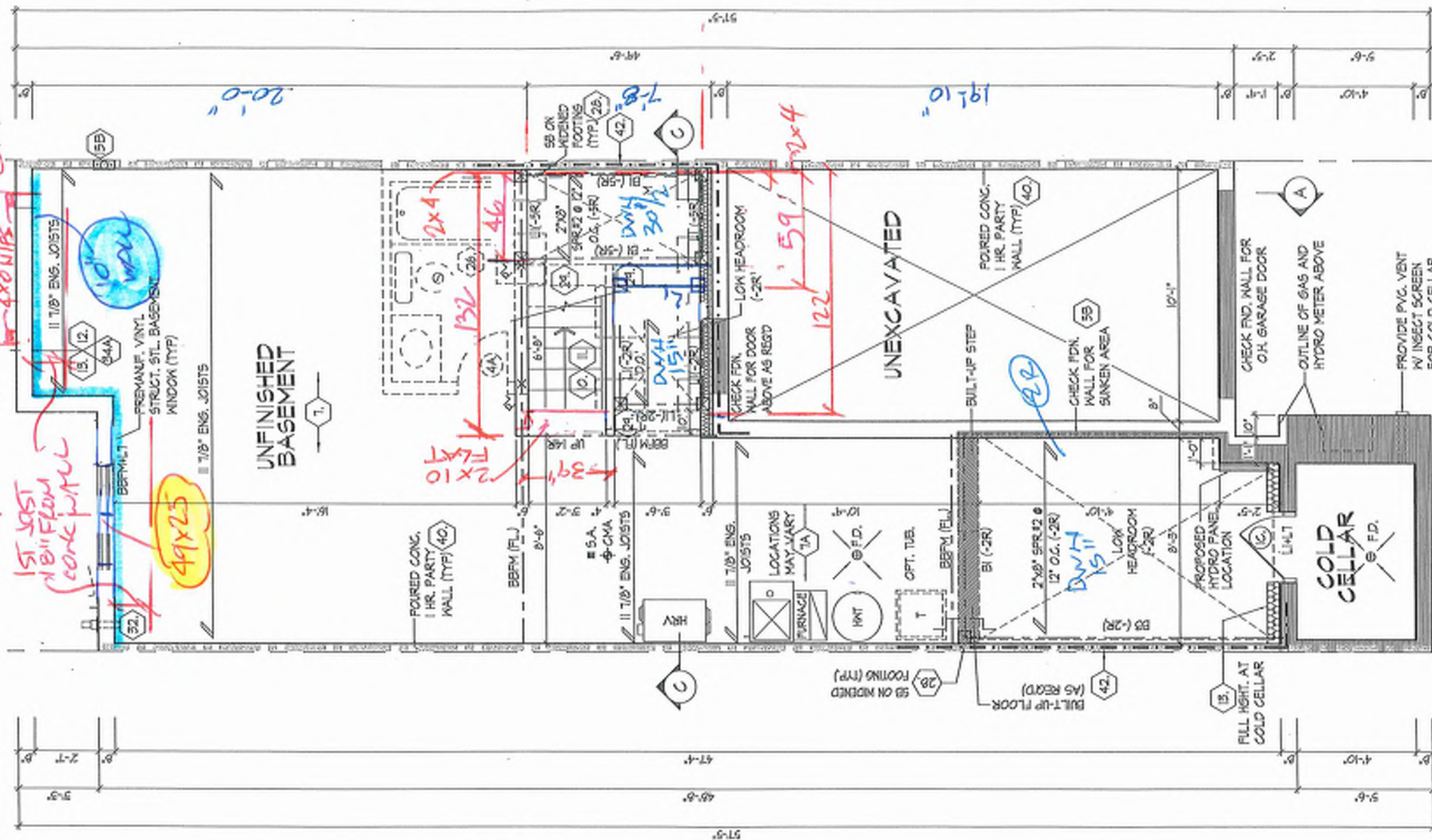
ALL STAIRS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE
ANY STAIRING ALLOWED TO BE COMPLETED BY CARPENTERS
TO ALPHA STAIRS AND RAILINGS INC. MEASUREMENTS SHOULD BE TAKEN IN LAYERS AND SPECIFIED TO
INSTALL OUR STAIRS. ANY WORK WITH HEADROOM OR STAIRING ALLOWED TO
STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYERS SHOULD BE CHECKED BY
CARPENTERS OR SITE SUPERVISORS TO HAVE SURE THERE ARE NO MISMEASUREMENTS BEFORE PROCEEDING
WITH CONSTRUCTION
ALPHA STAIRS AND RAILINGS INC.
3770 WASHUA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1M6
TEL: (905) 694-9556 | www.alphastairs.com



UNIT 2015
BAYVIEW HEIGHTS

ROYAL PINE HOMES
PARAPHASEL MAY 23, 2025
DATE

SCALED 1/32



**PART BASEMENT PLAN,
SUNKEN -5R FOR
GARAGE DOOR**

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
BLOCKING & STRAPPING
REQUIREMENTS, INSTALLATION
DETAILS AND HANGER SIZES, &
SUBFLOOR THICKNESS

APPROX. LOCATION OF
FURNACE AND HOT
WATER TANK

PROVIDE SOLID WOOD
BLOCKING @ 24" O.C. FOR
FIRST JOIST SPAN WHEN
PARALLEL W/ EXTERIOR WALL

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible for any errors or omissions in the drawings or for any violations of building codes or permit matters or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

**BASEMENT PLAN,
EL. 'A', 'B' & 'C'**

BK 9-59

BASEMENT PLAN, ELEV. 'A', 'B' & 'C'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT
DESIGN ASSOCIATES INC.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Drawn by: KMMMM DSMM 3/16"=1'-0" Scale: 21274 SIGN: 15655
www.hunt-design.ca 8966 Woodbine Ave, Markham, ON L3R 0J7 T: 905.757.5133 F: 905.757.7828
Page Number: 218094WT2015 Page Number: 2 of 25
UNIT 2015 REV. 2025.03.25

This is a detailed architectural floor plan of a residential building, featuring several rooms and extensive handwritten annotations in red, blue, and black ink. The plan includes the following elements:

- Principal Bedroom:** Located on the left side, measuring 12'4" x 15'6". It features a large window labeled "73"x61" and a door labeled "55"x53".
- Ensuite:** Adjacent to the Principal Bedroom, containing a shower labeled "60"x36" and a toilet labeled "30".
- Main Bath:** Centrally located, containing a bathtub labeled "45" and a toilet labeled "28".
- Bedroom 2:** Located in the upper right, measuring 9'2" x 14'3". It includes a window labeled "55"x53" and a door labeled "32".
- Bedroom 3:** Located in the lower right, measuring 9'2" x 11'5". It includes a window labeled "55"x87" and a door labeled "32".
- Handwritten Annotations:**
 - Red ink highlights various dimensions and room labels, such as "76" BACK-UP WALL", "NO JOIST W/5 DRAIN", and "20' RAISED CEILING".
 - Blue ink includes notes like "DUAL 50/50" and "4-11".
 - Black ink contains structural notes like "ENG. ROOF TRUSSES" and "DEL. STUD | HR. PARTY WALL (TYP)".
- Other Features:** The plan shows various doors, windows, and structural elements like "RAILING", "STRAP-OUT WALL FLUSH", and "SCAFFER 6'2"x5'1/2".

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER 612F65.

OPT. SECOND FLOOR
PLAN, EL. 'B' W/ 3 BATHS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. This Contract Architect is not responsible in any way for examining or approving site (offsite) plans or working drawings with respect to any zoning or building code or permit matter or that any building can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

Buk 9-5

55 **APT. SECOND FL**
ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.



HUNT
DESIGN ASSOCIATES, INC.

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
16695

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Page Number
10 of 29

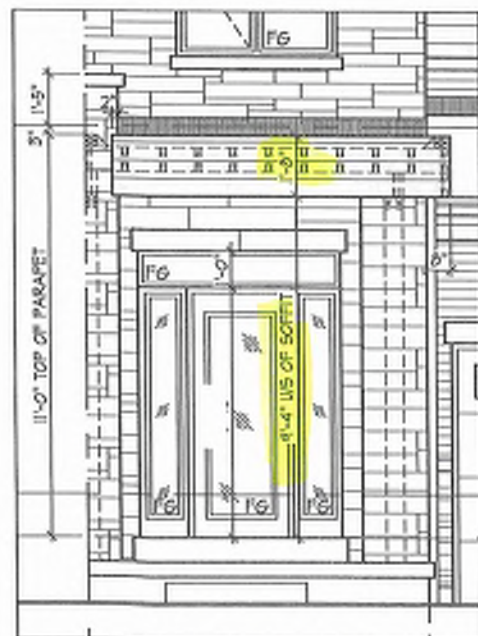
218094WT2015

Checked by: **MSMM**
 3/16/14
 Date:

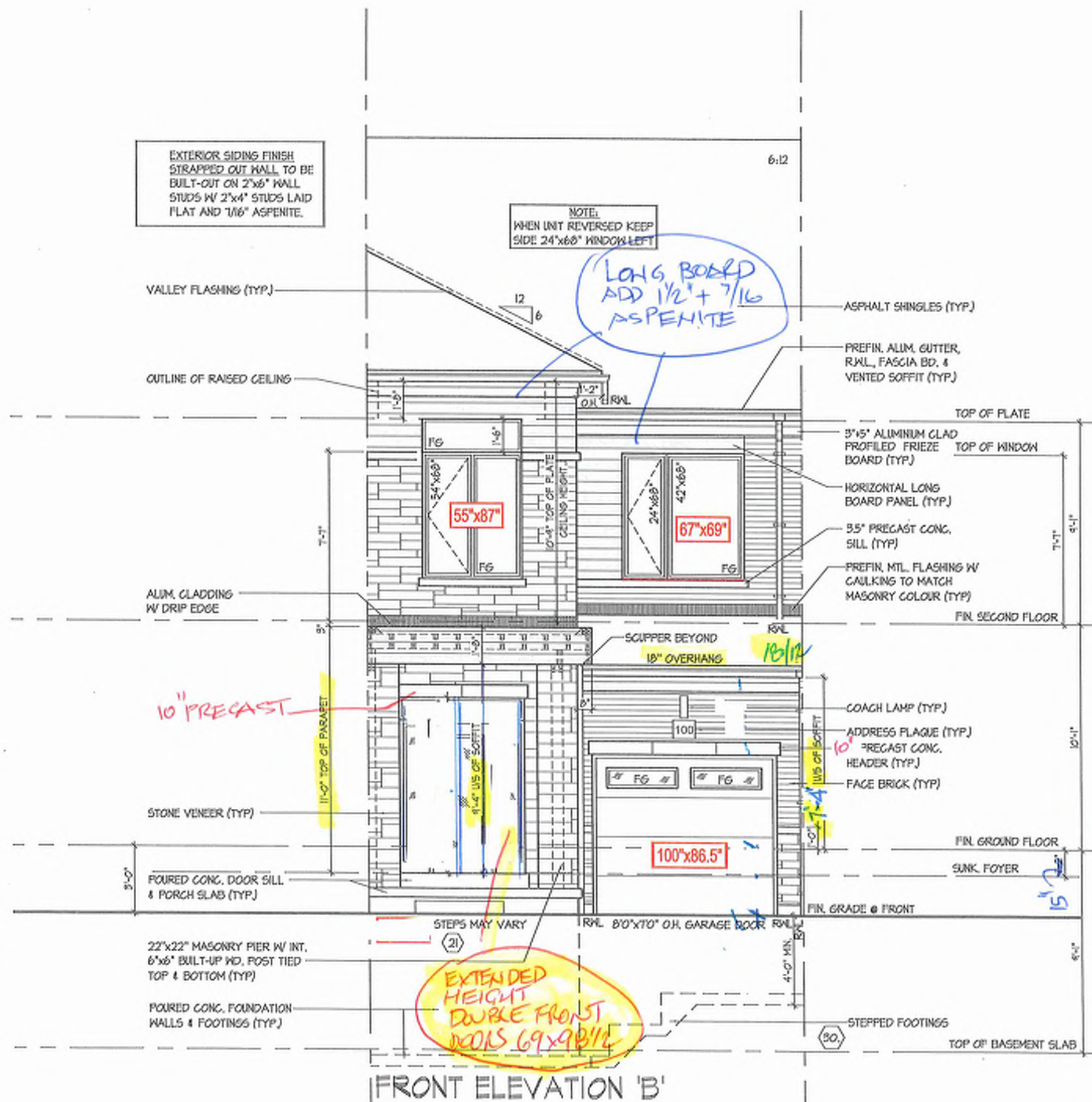
Drawn By
KMN

FLORIAN
DESIGN ASSOCIATES INC.

REGISTRATION INFORMATION
JUNDT DESIGN ASSOCIATES INC.
16805
www.huntdesign.ca
8956 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326



PARTIAL FRONT ELEVATION, EL. 'B'
PORCH PAIRING FLUSH W/
NEIGHBOURING UNIT



ROOF PLAN
EL. 'B'
N.T.S.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any building code can properly be located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Gloucester.

55.5

FRONT ELEVATION 'B'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

UNIT 2015
REV.2025.03.25Page Number
17 of 25

File Number
218094WT2015
F 905.737.7325

Drawn By	Checked By	Scale
KMM	DSMM	3/16"=1'-0"

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.com

NAME	SIGNATURE	SSN
Domènec Molló		21274
INT DESIGN ASSOCIATES INC		16035

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ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

NOTE:
WHEN UNIT REVERSED KEEP
SIDE 24"x56" WINDOW LEFT

PREFIN. ALUM. GUTTER,
RNL, FASCIA BD. &
VENTED SOFFIT (TYP.)

3"x5" ALUMINUM CLAD
PROFIED FRIEZE
BOARD (TYP.)

PREFIN, MTL, FLASHING &
CAULKING TO MATCH
MASONRY COLOUR (TYP)

COACH LIGHT

6" POURED CONC.
DOOR SILL

FOURED CONC. FOUNDATION
WALLS & FOOTINGS (TYP.)

UPGRADED REAR
ELEVATION 'B'

PARTIAL SECTION 'D',
ELEV. 'B' W/ PORCH
PAIRING FLUSH W/
NEIGHBOURING UNIT

PART.
SECTION 'B'

PARTIAL SECTION 'D', EL. 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including provisions and any amendments to the City of Richmond Hill Zoning By-law. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND, HI.

UPGRADED REAR ELEVATION 'B' & PART. CROSS SECTION 'D', EL. 'B'

ROYAL PINE HOMES - 218094
 921 BAYVIEW, RICHMOND HILL, ON.

UNIT 2015
 REV. 2025.03.25



HUNT
DESIGN ASSOCIATES INC.

9.55

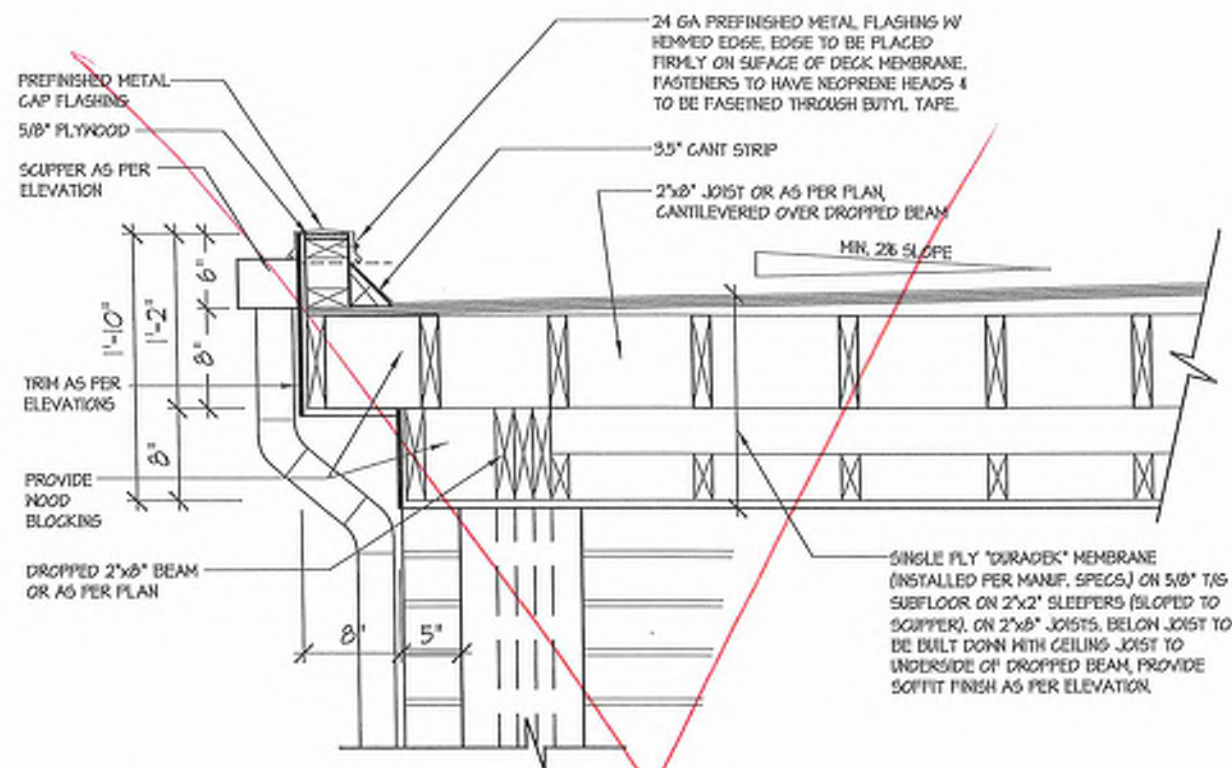
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET FORTH IN THIS CONTRACT. IT IS HIS/HER DUTY TO BE A PROFESSIONAL.

OWN IN THE ON-PREMISES BUILDING CODES TO BE A LICENSED
QUALIFICATION INFORMATION

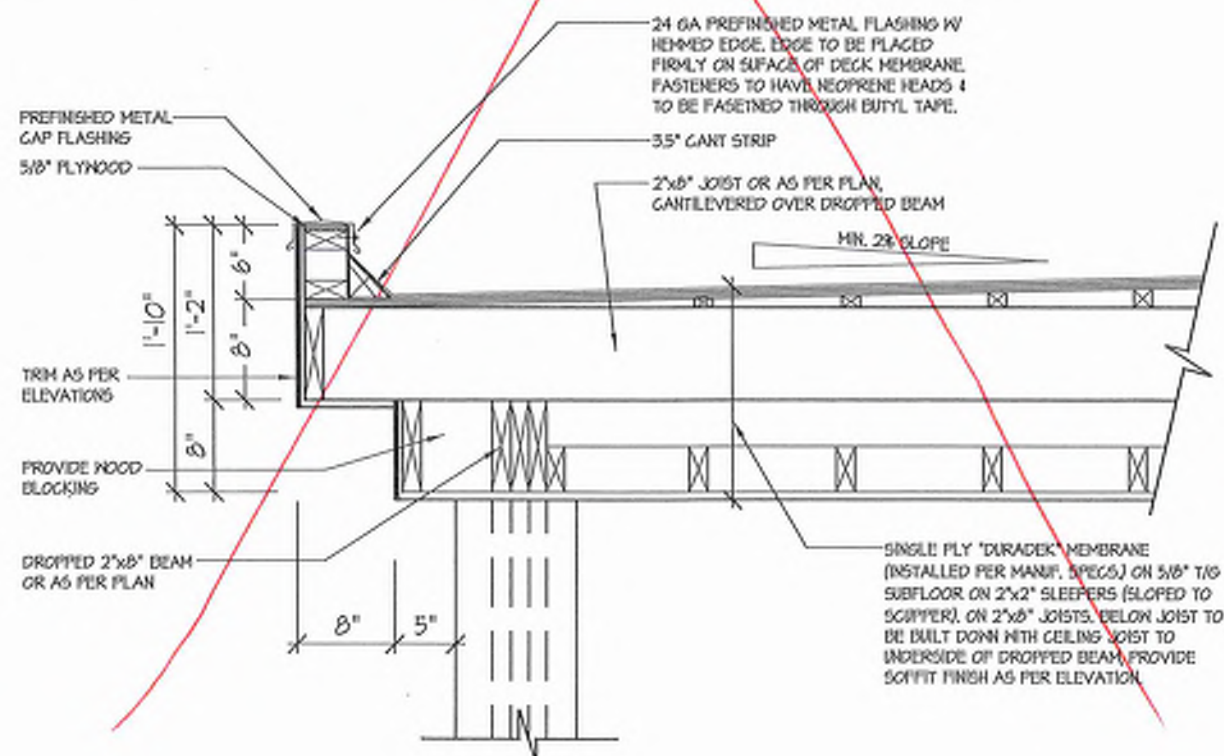
LOGGING M0000		21279
NAME	SIGNATURE	DATE

REGISTRATION INFORMATION
JUNITE DESIGN ASSOCIATES INC.

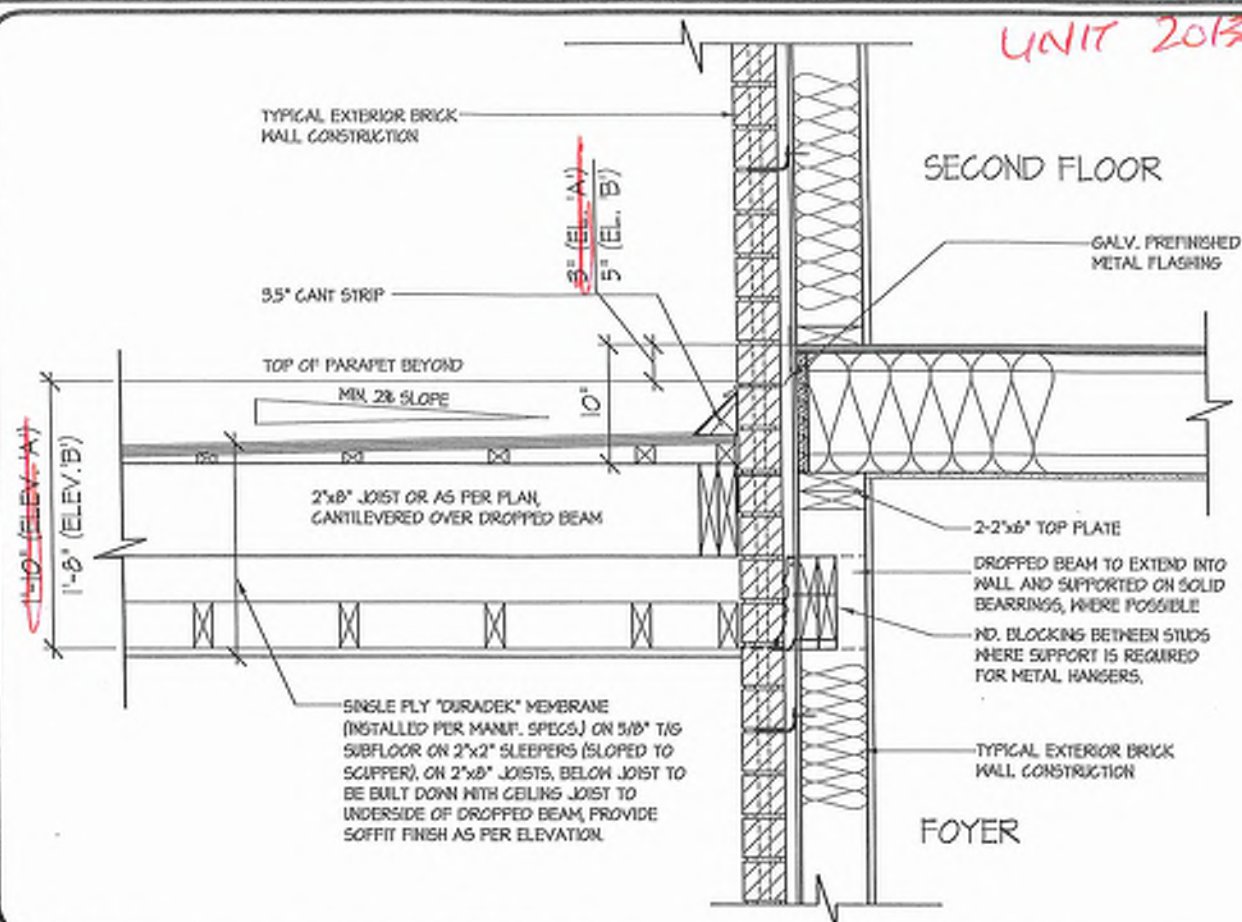
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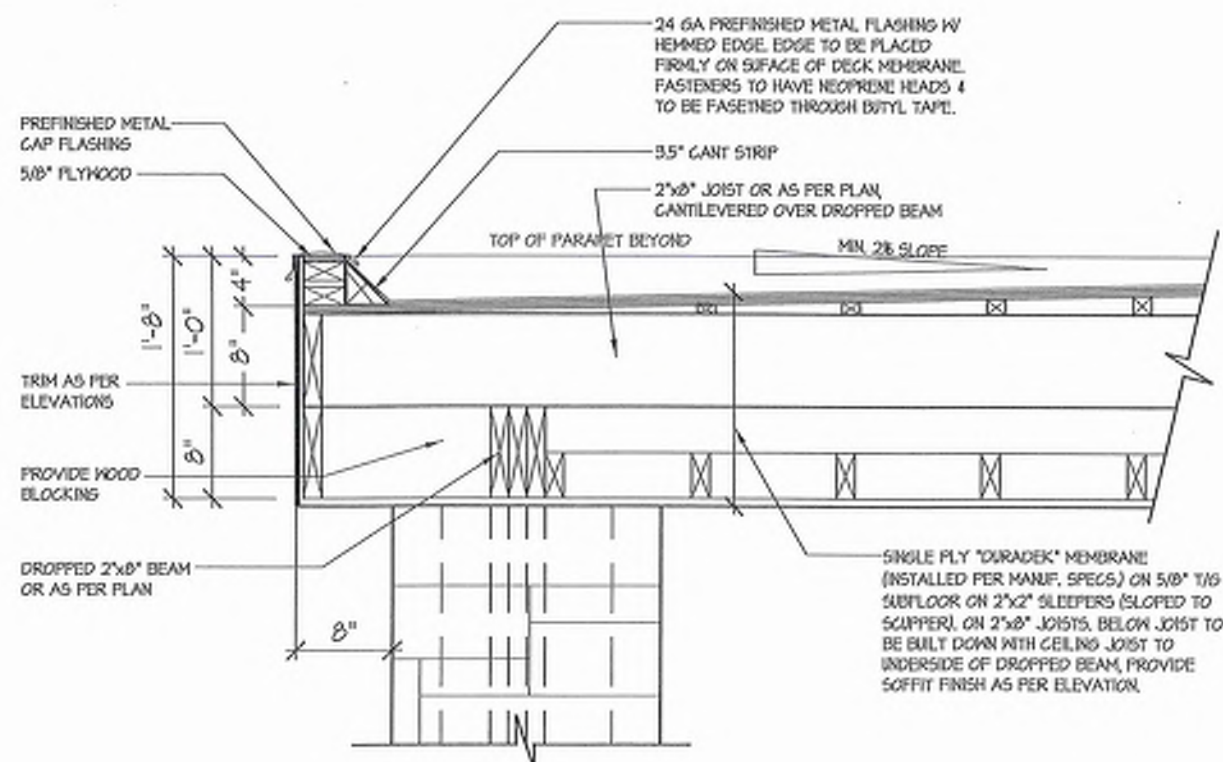
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)
3/4"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4"=1'-0"



3 **FLAT ROOF DETAIL @ EXTERIOR WALL**
3/4"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/4"=1'-0"

BK 9-55

FLAT ROOF DETAILS OVER COVERED PORCH

UNIT 2015

REV. 2025.03.25

Country Name

27 of 25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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KS/MM	DS/MM	3/16°=1'-0"	218094WT2015	27 of 28
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21274

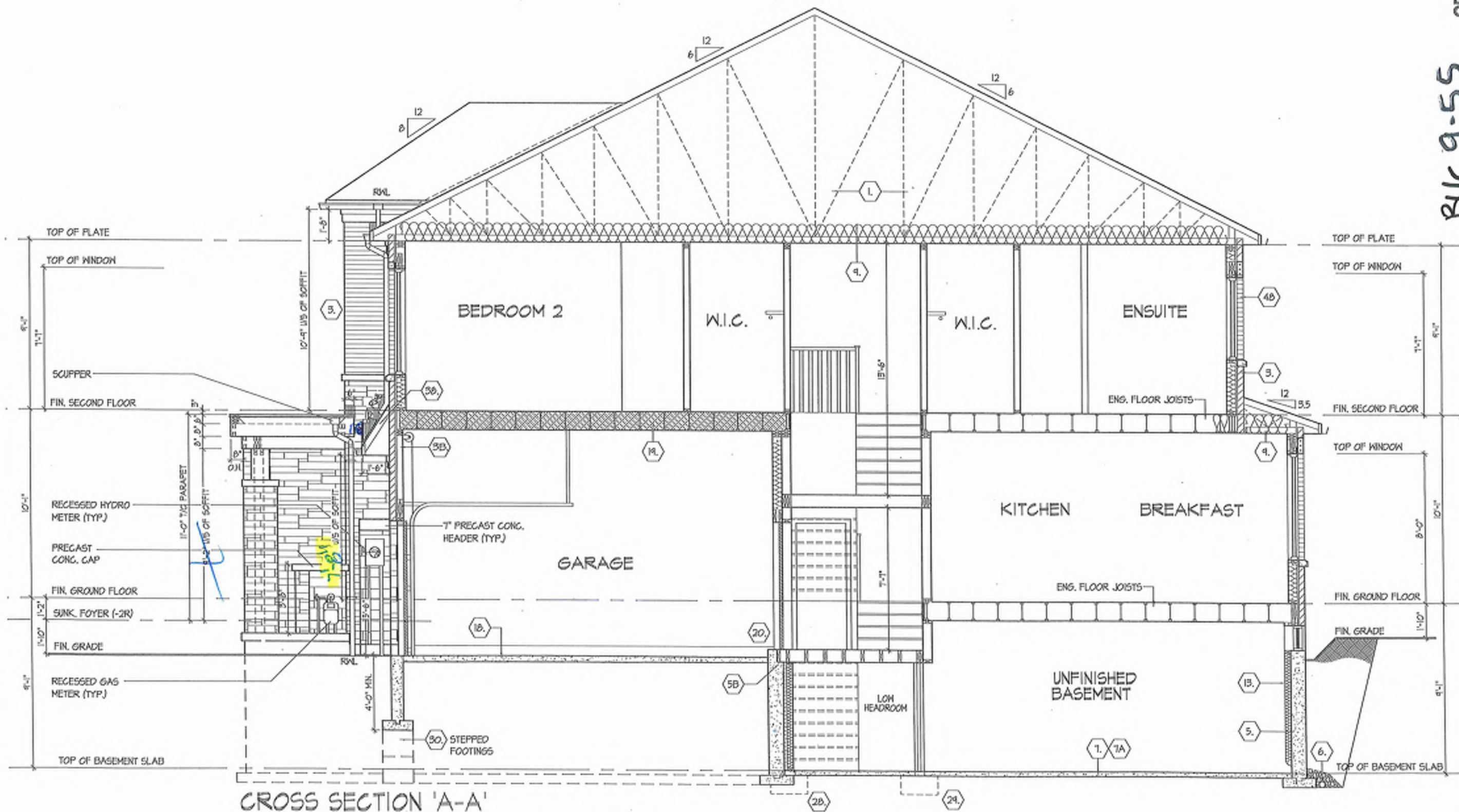
BCM

THE UNDERGROUND HAS REVENUED AND TAKES RESPONSIBILITY FOR THE
 DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS FOR

VALIDATION INFORMATION

Vermilio Moblio	2127
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AGE	EDUCATION INFORMATION	SIGNATURE	NO.
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CROSS SECTION 'A-A'

BYC 9-55

CROSS SECTION 'A-A'

UNIT 2015
REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

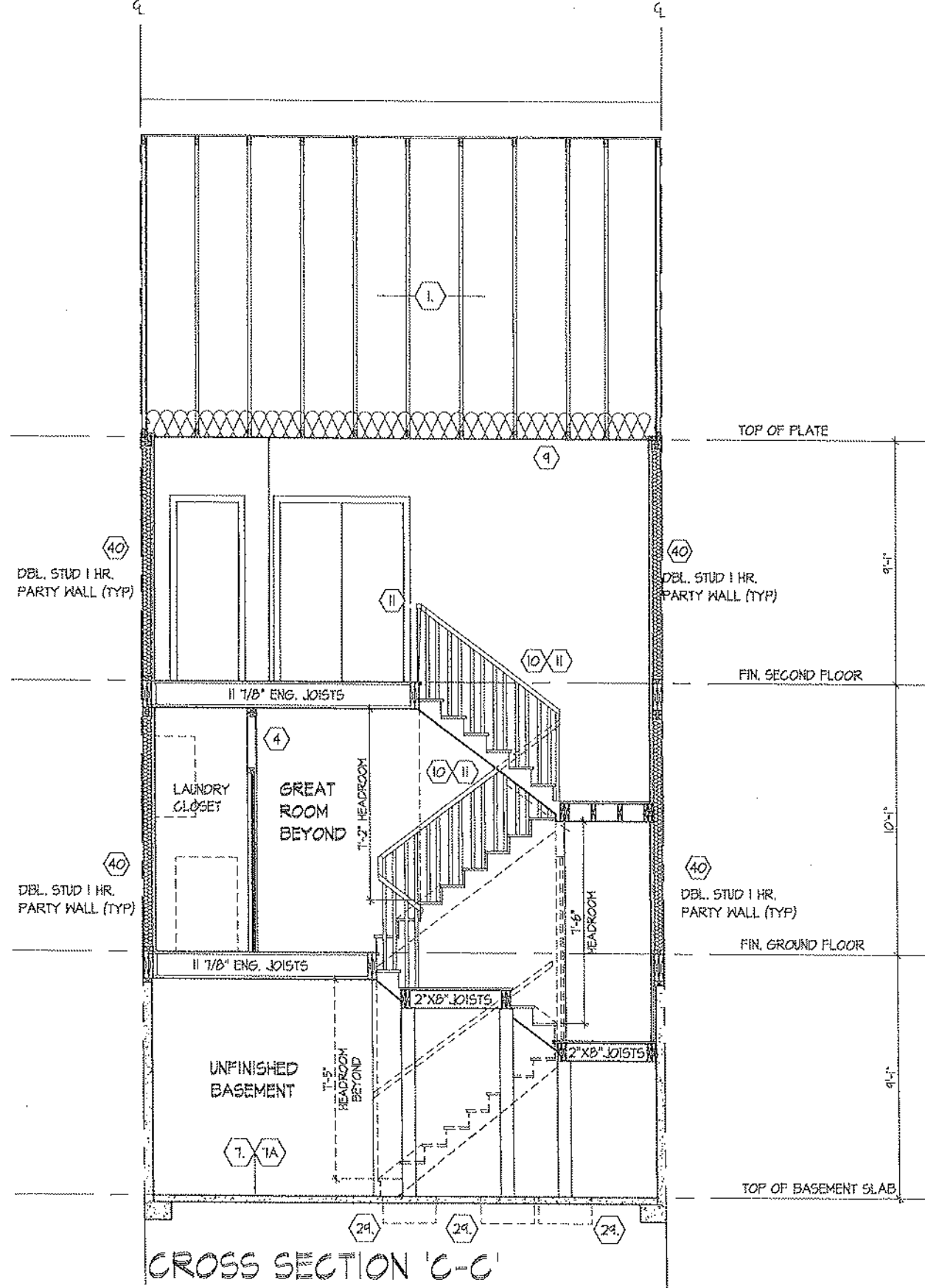
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21/2/24
19865



Bk 9-55

PART CROSS SECTION 'B' & CROSS SECTION 'C-C'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Ontario Mobile 21274

NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 15995

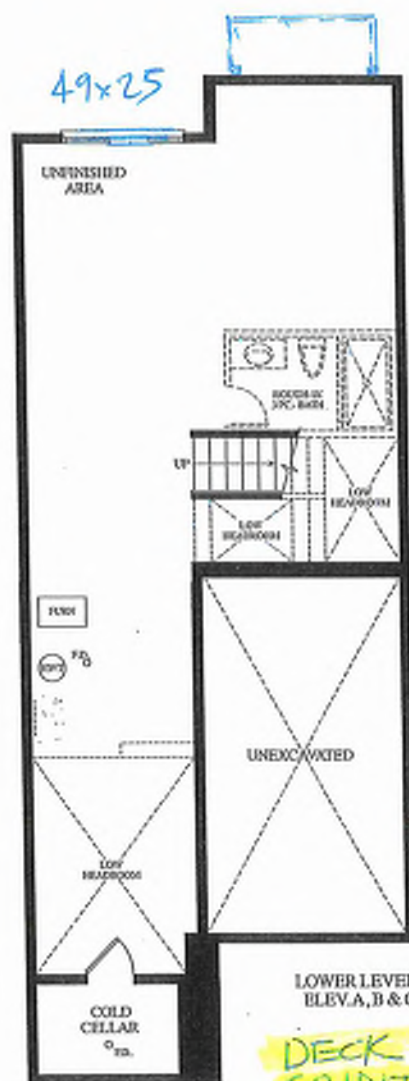
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File Number: 218094WT2015
Page Number: 26 of 25

UNIT 2015
REV. 2025.03.25

BAYVIEW HEIGHTS
RICHMOND HILL

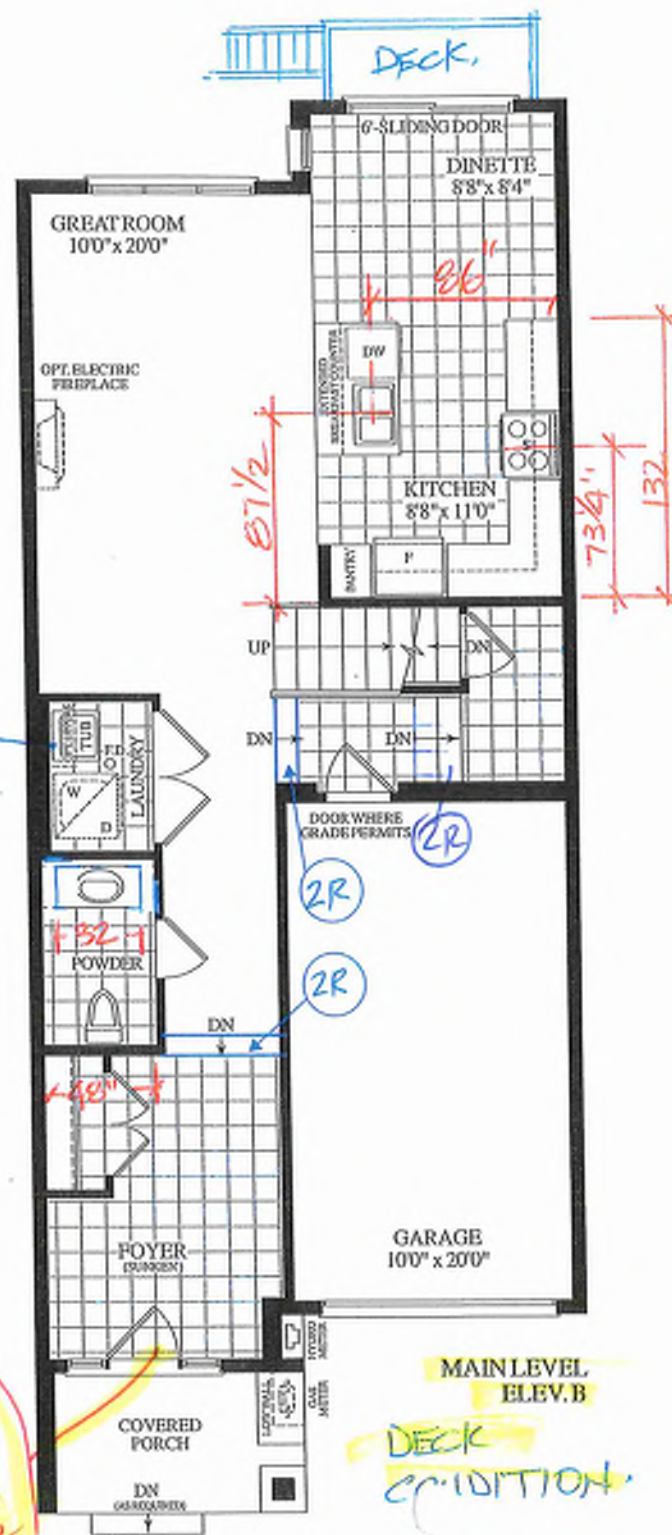


LOWER LEVEL
ELEV. A, B & C

DECK
CONDITION

EXTENDED
HEIGHT
FRONT
DOOR
66x98 1/2

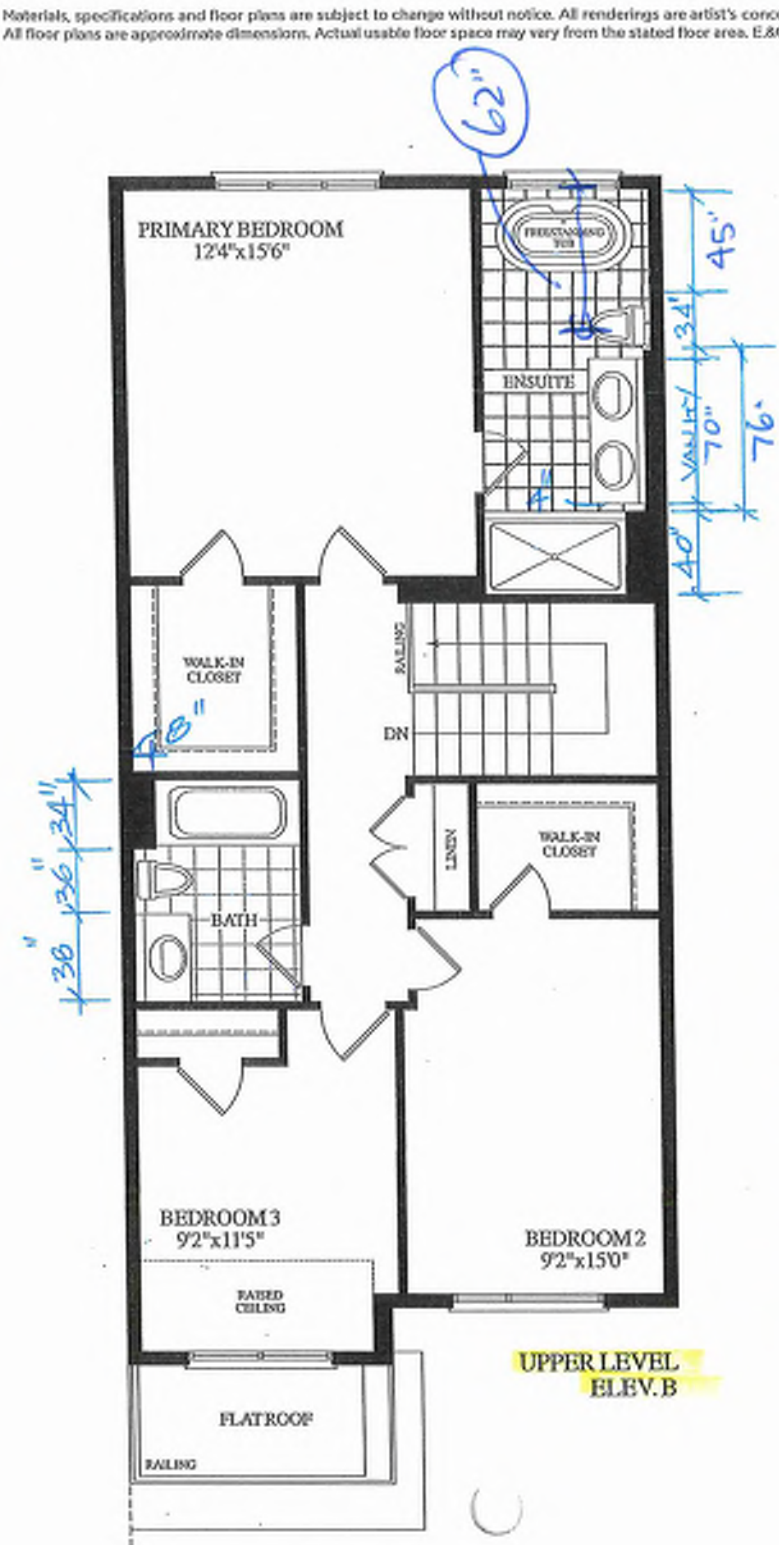
2x6
FALSE
WALL



MAIN LEVEL
ELEV. B

DECK
CONDITION

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E&O.E.



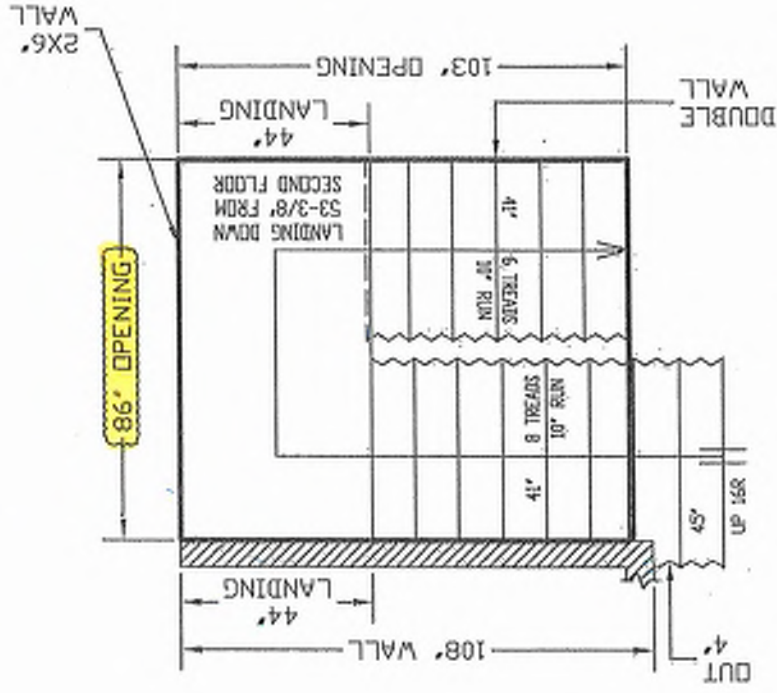
UPPER LEVEL
ELEV. B

INVENTORY HOUSE

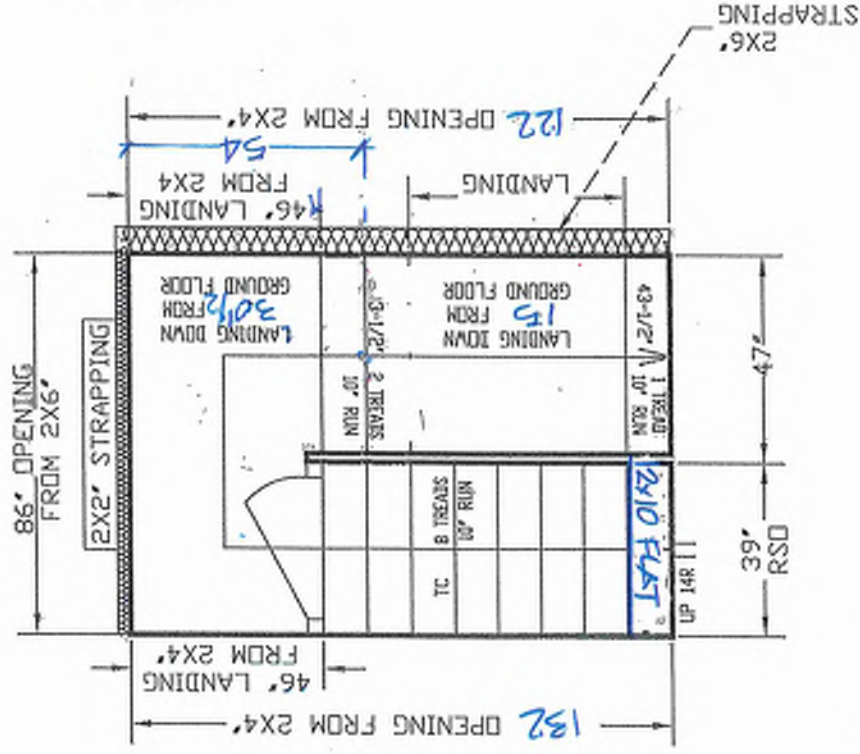
BLK. 9 TH. 56 20-15 THE ANNE EL. B 3 BDRM 2 BATH 1685 SQ. FT.

93-6 JKL

GROUND TO SECOND
122' HT 11-7/8" JOIST



BASEMENT TO GROUND
BSMT 11-7/8" JOIST



ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

STAIRS LINE UP BY
PARTY WALL & GARAGE WALL

2" CONC. LEDGE
IN GARAGE

NO WALLS UNTIL
STAIRS INSTALLED

REVISED
JUNE 5, 2025



ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE
ANY STAIRING ALLOWANCES TO BE CORRECTED BY CARPENTERS
TO ALPHA STAIRS AND RAILINGS INC. REVISIONS SHOWN ON LAYOUTS ARE REQUIRED TO
ALL STAIR DIMENSIONS AND BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPECS AS SUPPLIED
TO ALPHA STAIRS AND RAILINGS INC. REVISIONS SHOWN ON LAYOUTS ARE REQUIRED TO
STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE FOR STAIR LAYOUTS SHOULD BE CHECKED BY
CARPENTERS OR SITE SURVEYS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING
WITH CONSTRUCTION
ALPHA STAIRS AND RAILINGS INC.
3770 WASHAW DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1W6
TEL: (905) 694-9556 | www.alphastairs.com



UNIT 2015

SITE
BAYVIEW
HEIGHTS

LOT #

Model

CLIENT

ROYAL PINE HOMES

LAYOUT #

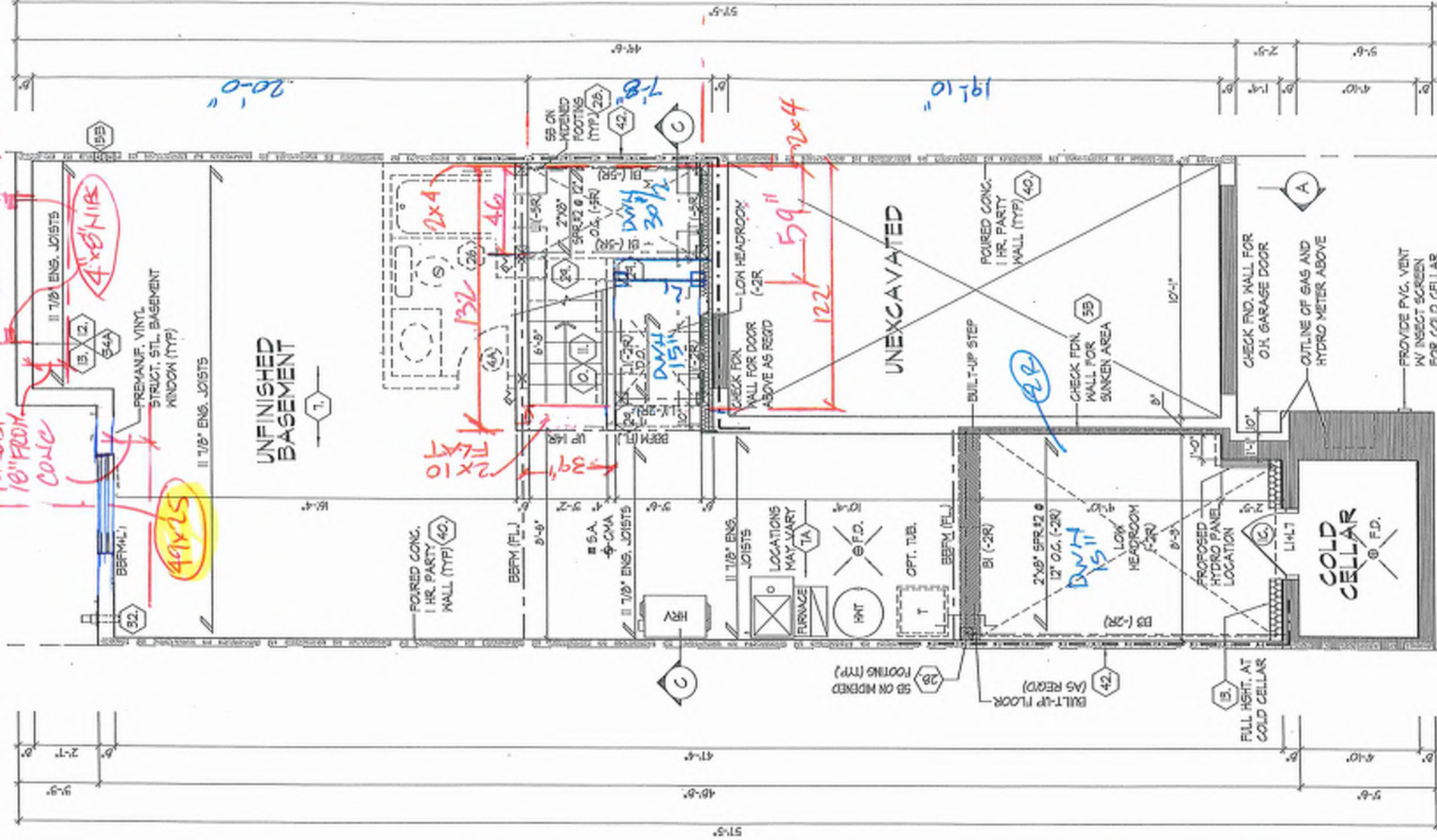
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PARAMEET
MAY 23, 2025

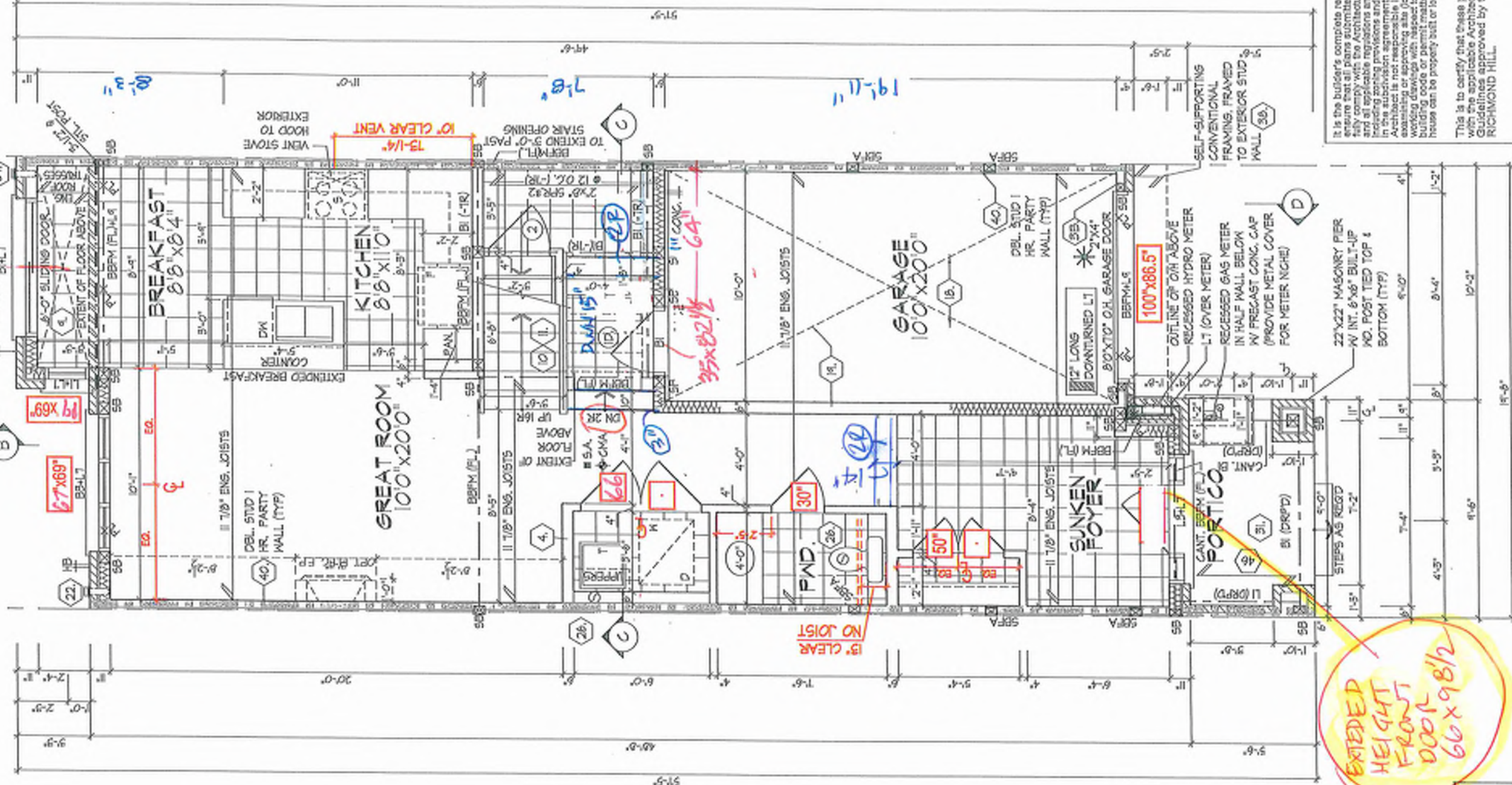
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DATE

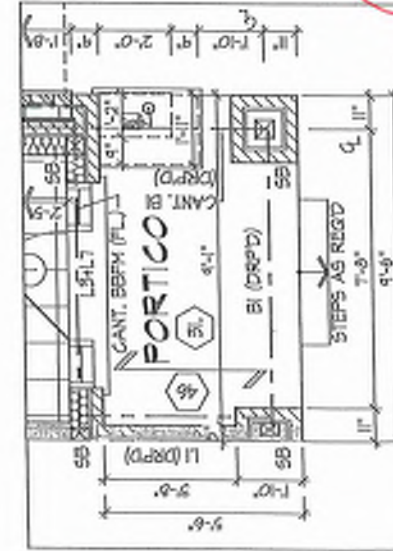
GARAGE RIGHT >



INT. DOORS 8'3 1/2"
WINDOWS SEE F4ED



EXTENDED
HEIGHT
FRONT
DOOR
66' x 98' 1/2"



PART GROUND FLOOR PLAN EL. B' -
PORCH PAIRING FLUSH W/ NEIGHBOURING UNIT

* 2"x4" STUD WALL ASSEMBLY EXCEEDING MAX. UNSUPPORTED HEIGHT FOR WALLS GREATER THAN 9'-0" TO MAX. 12'-0" HIGH. - W/O FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C. - W/ FLOOR LOAD, DOUBLE UP EVERY STUD @ 12" O.C. PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.	REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.
--	--

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the City of Richmond Hill. The Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

GROUND FLOOR PLAN, EL. B'

PLC 9-56

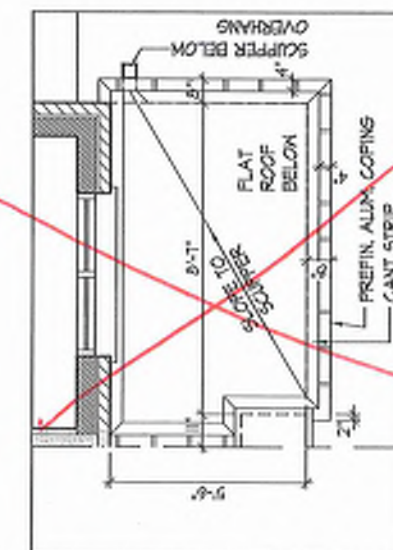
GROUND FLOOR PLAN, EL. B'

UNIT 2015
REV. 2025.03.25

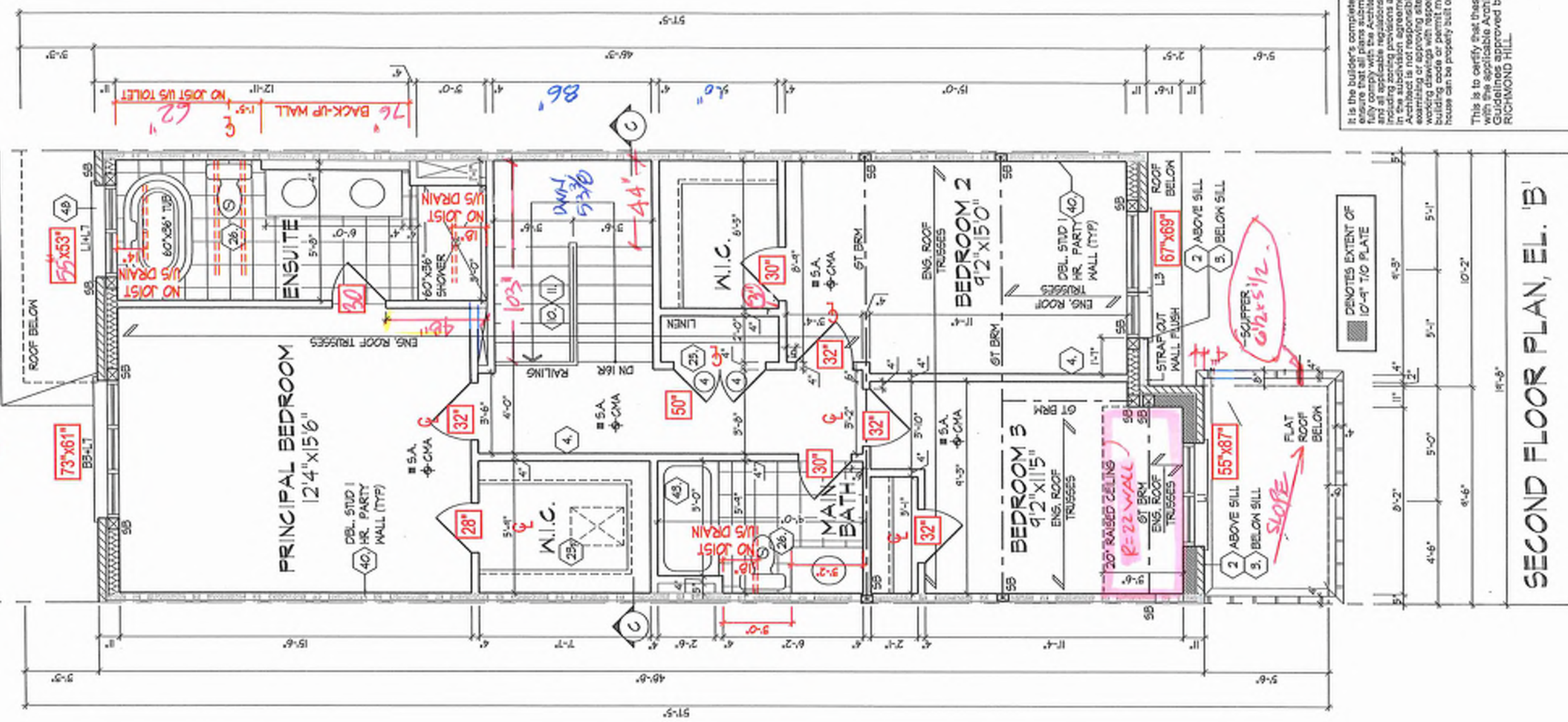
ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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EXTERIOR SIDING FINISH
STRAPPED OUT WALL TO BE
BUILT-OUT ON 2"x6" WALL
STUDS W/ 2"x4" STUDS LAID
FLAT AND 7/8" ASPENITE.

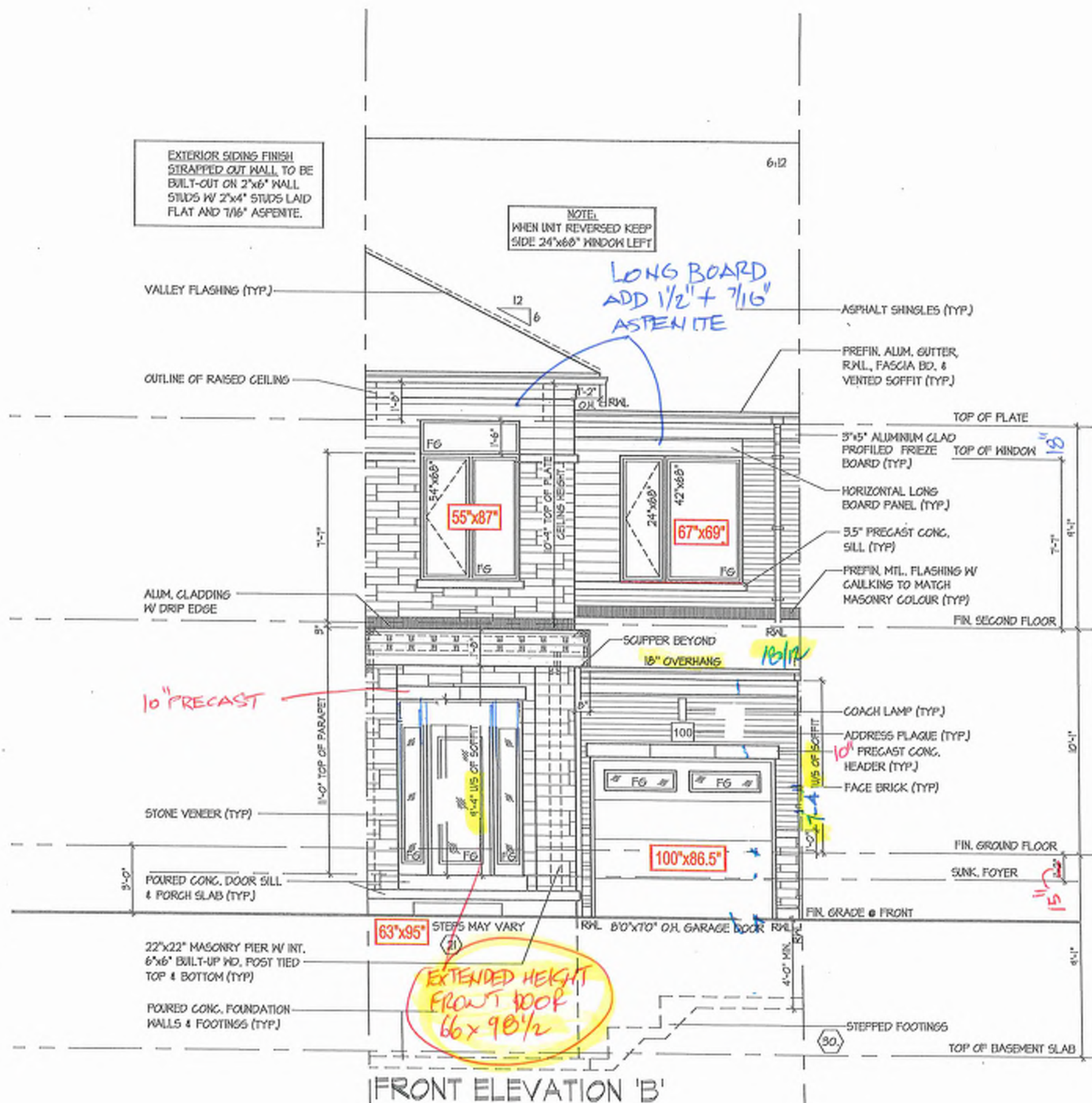
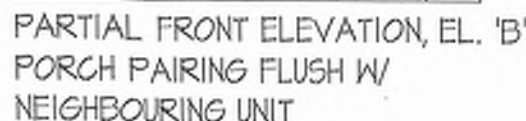


**PART GROUND FLOOR PLAN EL. 'B' -
FORCH PAIRING FLUSH W/ NEIGHBOURING UNIT**



It is the builder's complete responsibility to ensure that all work is permitted for approval full compliance with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of **RICHMOND HILL**.



ROOF PLAN
EL. 'B'
N.T.S.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable zoning provisions, including zoning provisions and any provisions in the subdivision agreement. The Architect is not responsible in any way for commenting or approving a (a) zoning plan or working drawings with respect to any zoning or building code or permit number or that any portion can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of

Buk 9-56

ROYAL PINE HOMES - 218094
321 BAYVIEW, RICHMOND HILL, ON.

FRONT ELEVATION 'B'

UNIT 2015
REV. 2025.03.25

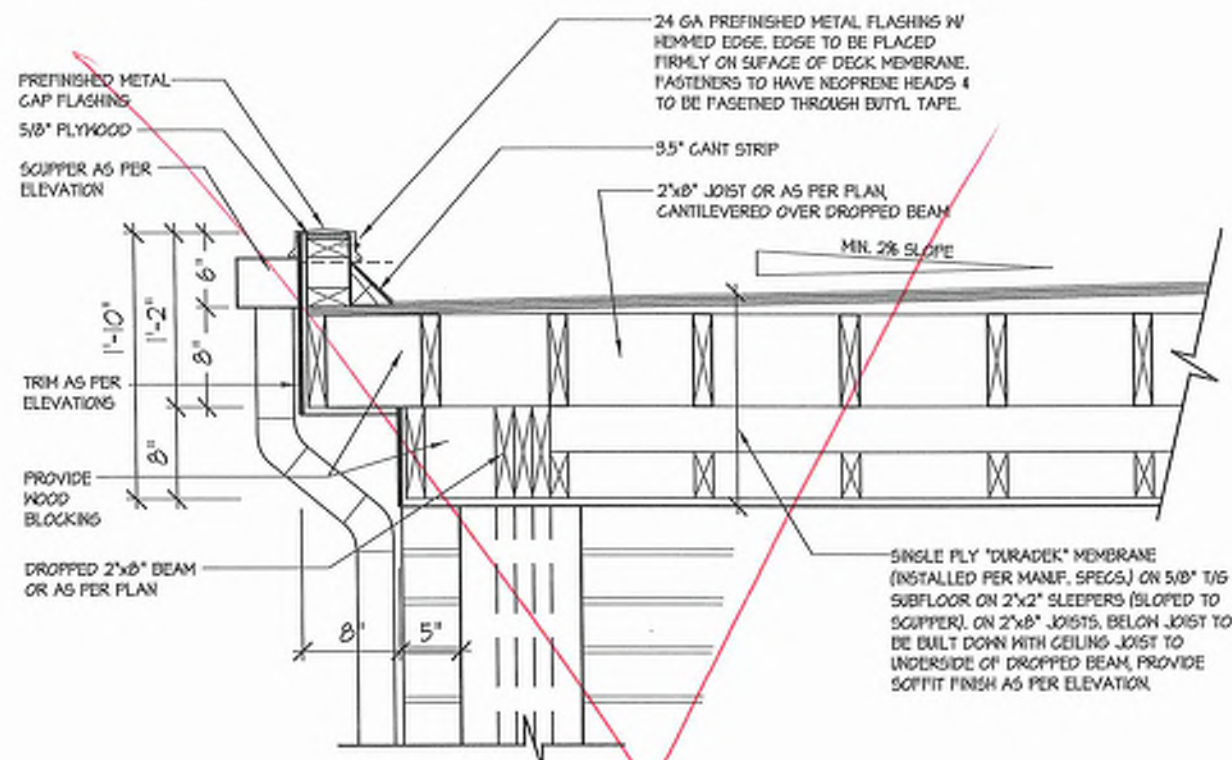
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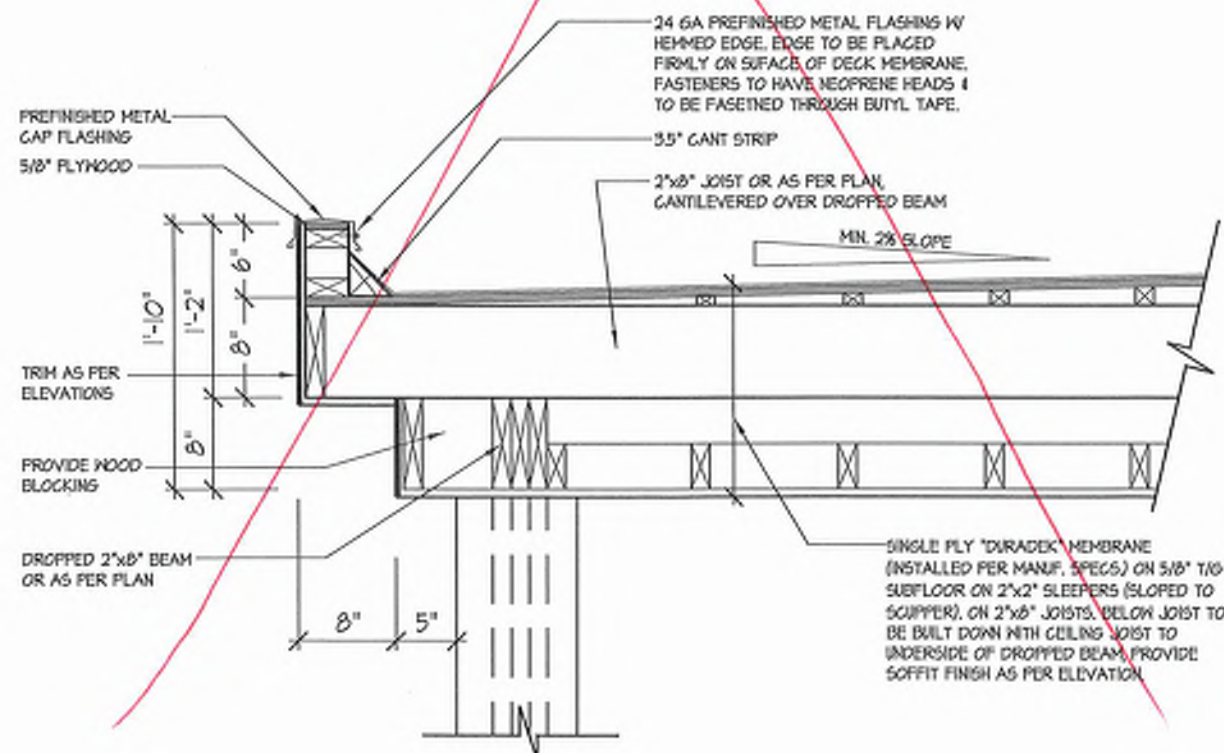
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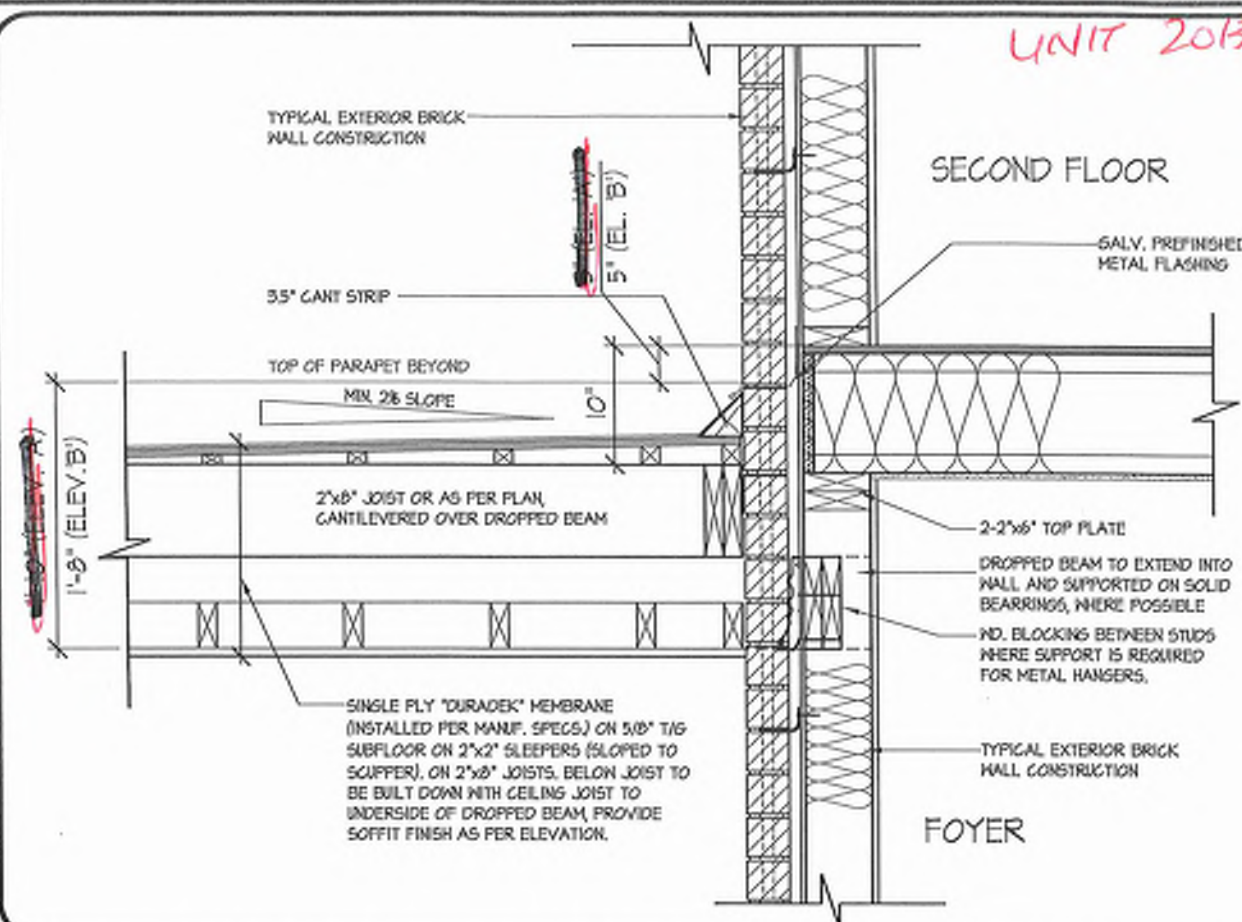
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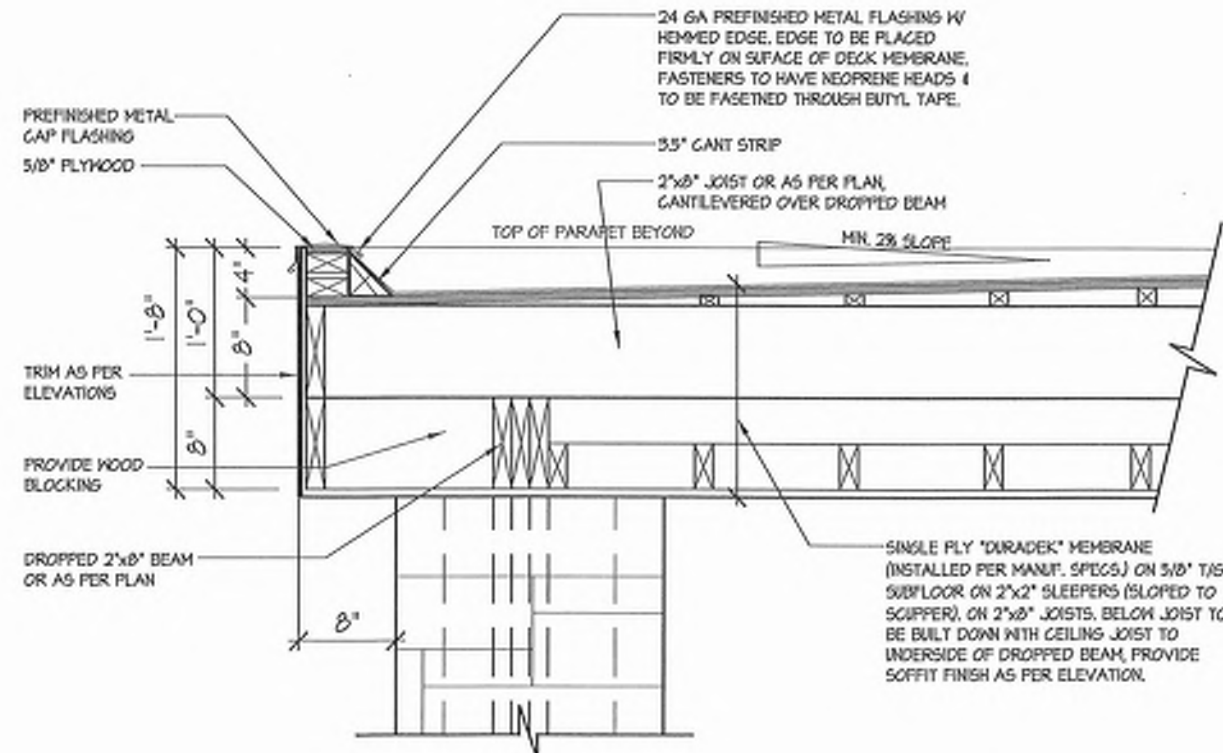
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)
3/4\"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4\"=1'-0"



3 FLAT ROOF DETAIL @ EXTERIOR WALL
3/4\"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/4\"=1'-0"

FLAT ROOF DETAILS OVER COVERED PORCH

UNIT 2015
REV. 2025.03.25

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921 BAYVIEW, RICHMOND HILL, ON.

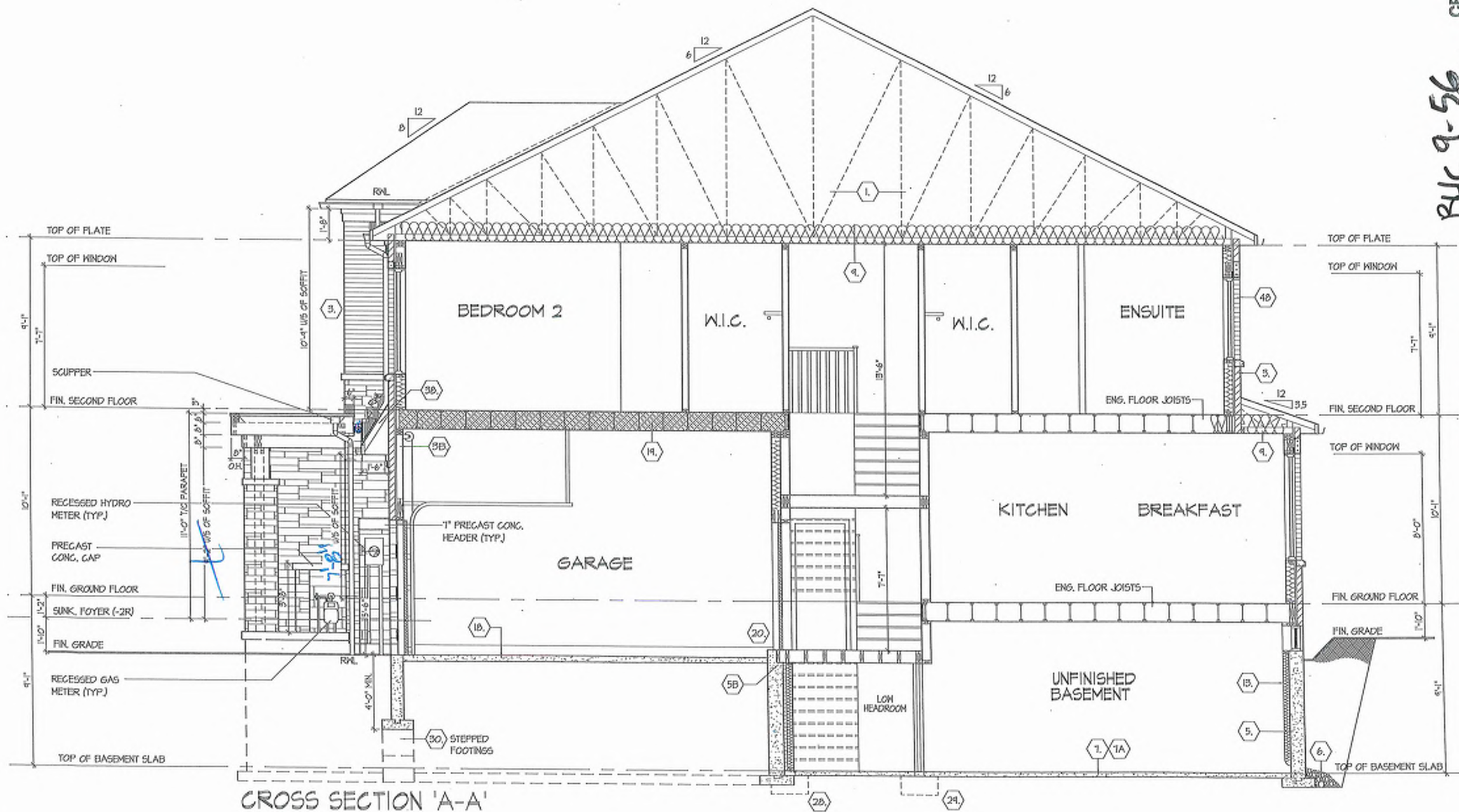
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PLC 9-56

CROSS SECTION 'A-A'

UNIT 2015

REV. 2025.03.25

2000

File Number
218094WT2015

4150

Checked By: NSM Date: 9/16/11

Drawn By
L. J. J. J. J.

2004

HUNT

--

21274

15 SEPTEMBER 2005

INFORMATION INFORMATION

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Qual
Qual

cont SECTION 1.0. CONSTRUCTION NOTES

- 40

1 HR. PARTY WALL (CONC. BLOCK) (SB-3) WALL TYPE 88a & 81b)
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (50x25) VERTICAL WD. STRAPPING @ 24" (600) O.C. ON 2" (50) CONC. BLOCK FILL STRAPPING CARRYING EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL JOINED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOISTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FLURRED WITH 2"x2" (50x25) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.
- 40

1 HR. PARTY WALL (DOUBLE STUD) (SB-3) WALL TYPE 88a & 81b)
5/8" (15.9) TYPE "X" GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (50x25) STUDS @ 16" (400) O.C. MIN. 1" (25) APART ON SEPARATE 2"x4" (50x25) SILL PLATES (2"x6" (50x140) AS REQUIRED) FILL ONE SIDE OF STUD CARRY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.
- 40A

2 HR. FIREWALL (SB-3) WALL TYPE 88a & 81b)
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (50x25) VERTICAL WD. STRAPPING @ 24" (600) O.C. ON 2" (50) CONC. BLOCK 7/8" (20.3) S.O.D. FILL STRAPPING CARRY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)
- 41

STUCCO WALL CONSTRUCTION (2"x6" W/ CONTIN. INSUL.)
STUCCO FINISH CONFORMING TO O.B.C. SECTION (9.2.8) AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.2.3.10.1) & SECTION 1.1, INSULATION APPROVED 8 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
- 41A

STUCCO WALL CONSTRUCTION (2"x6" W/ CONTIN. INSUL.)
STUCCO FINISH CONFORMING TO O.B.C. SECTION (9.2.8) AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. (9.2.3) ON EXTERIOR TYPE RED INSULATION (JOINTS UNTAPED)
MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS ON 7/8" (20.3) TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.2.3.10.1) & SECTION 1.1, INSULATION APPROVED 8 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
- 41B

STUCCO WALL @ GARAGE CONST. (9.2.8)
STUCCO FINISH CONFORMING TO O.B.C. SECTION (9.2.8) AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.2.3.10.1) & SECTION 1.1, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)
*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/8" (20.3) EXTERIOR TYPE SHEATHING OVER FLOORING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.F.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.
- 42

UNSUPPORTED FOUNDATION WALLS (9.15.4.2)
REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
3-20# BARS IN TOP PORTION OF WALL (UP TO 8'0" OPENING)
3-20# BARS IN TOP PORTION OF WALL (8'0" TO 10'0" OPENING)
4-20# BARS IN TOP PORTION OF WALL (10'0" TO 15'0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL
REINFORCING AT BASEMENT WINDOWS
2-15# HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15# VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.
- BARS TO HAVE MIN. 1" (25) CONC. COVER
- BARS TO EXTEND 24" (600) BEYOND BOTH SIDES OF OPENING
- 43

STUD WALL REINFORCEMENT
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.41) (REFER TO DETAILS)
- 44

WINDOW WELLS
WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 24" (600) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) KEEPING TIE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.15.10.1) (9.14.6.3)
- 45

SLOPED CEILING CONSTRUCTION (SB-12) (3.11.2.1) (9.23.4.2)
2X12" (50x25) ROOF JOISTS @ 16" (400) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (50x25) PURLINS @ 16" (400) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SHAPY FLOORING) W/ INSULATION BETWEEN JOIST. 8 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED E.G. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSJ).
- 46

FLAT ROOF/BALCONY CONSTRUCTION
WATERPROOFING MEMBRANE (9.23.11) (9.23.16) (9.23.18) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (50x25) PURLINS ANGLED TOWARDS SLOPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x6" (50x125) FLOOR JOISTS @ 16" (400) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CLRB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 1" TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SLOPPER DRAIN TO BE LOCATED 24" (600) MIN. AWAY FROM HOUSE. PREPARED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.
- 47

BARREL VAULTED CONSTRUCTION
CANTILEVERED 2"x4" (50x25) SPACERS Laid FLAT ON 2"x10" (50x25) SPR. #2 ROOF JOIST NAILED TO BUILT UP 3-3/4" (91) PLYWOOD HEADER PROFILED FOR BARREL SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)
- 48

EGRESS WINDOW ABOVE GRADE (9.2.10.1.1) (9.2.8.1.6)
EVERY FLOOR WITH A BEDROOM, EXCEPT WHERE A DOOR IS PROVIDED W/ DIRECT ACCESS TO THE EXTERIOR, SHALL HAVE A MINIMUM OF ONE WINDOW WITH A MIN. SILL HEIGHT OF 9" (225) TO A MAX. 3'-4" (1000) FROM FINISHED FLOOR. THIS WINDOW SHALL HAVE AN UNOBSTRUCTED OPEN PORTION OF 3/7" SQ. FT. (0.039sq) WITH NO DIMENSION LESS THAN 1'3" (380) AND BE FREE OF ANY LIMITING HARDWARE AND USED AS MEANS OF EGRESS. SEE SECTION 2.0 GENERAL NOTES, 2.1 WINDOWS

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m² UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'3" (380). CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT. CONFORMING TO (9.9.10) 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4' (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 3'-0" (900) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.6.1) 3) WINDOWS IN EXIT STAIRWAYS THAT EXTENDED TO LESS THAN 2'11" (600) (3'-5" (1070) FOR ALL OTHER BUILDINGS) SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 ABOVE. OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN (4.1.5.15) OR (9.8.2.2)
- 2.2. CEILING HEIGHTS
4) REFER TO TITLE PAGE FOR MAX. UNVALUED REQUIREMENTS
5) THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM, AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 8'-11" OVER ALL OF THE REQUIRED FLOOR AREA
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5"
BATHROOM, LAUNDRY AREA ABOVE GRADE, FINISHED ROOM NOT MENTIONED ABOVE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2)
STORAGE GARAGE	6'-7" (9.5.3.3)

- 2.3. MECHANICAL / PLUMBING (9.23)
1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 1 AIR CHANGE PER HOUR REFER TO MECHANICAL DRAWINGS
2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO O.B.C. (9.31.6) 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF (9.812) - (9.1.1.12) OF THE O.B.C.
- 2.4. LUMBER
1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM, No.50 (4538) ROLL ROOFING OR OTHER DRAINPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

- 2.5. STEEL (9.23.4.3)
1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W HOLLOW SHUT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.
2.6. FLAT ARCHES
1) FOR 8'0" (2400) CEILINGS, FLAT ARCHES SHALL BE 8'-0" (2400) A.F.F.
2) FOR 9'-0" (2700) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
3) FOR 10'-0" (3000) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.
2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'0" (300), UNLESS NOTED OTHERWISE.
2.8. FLASHING (9.20.13) (9.20.4) (9.20.47) (9.23.12.3) (9.1) (9.23.14.6) (9.1)
1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.
- 2.9. GRADING
1) THE BUILDING SHALL BE LOCATED ON THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO (9.14.6)
- 2.10. ULC SPECIFIED ASSEMBLIES
4) ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY ULC LISTED ASSEMBLY, SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OF SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY ULC LISTED ASSEMBLY IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

- 3.1. WOOD LITELS AND BUILT-UP WOOD
DIVISION B PART 9, TABLES 9.23.4.2 (A)-(L)
FORMING PART OF SENTENCE (9.23.4.2.1) (9.23.4.2.4) (9.23.12.3) (9.1) (9.23.14.6) (9.1)
9.23.4.2.1 (9.1)
2x8" SPRUCE #2
2x10" SPRUCE #2
2x12" SPRUCE #2
L1 2x8"x8" (238x194) L2 2x10"x10" (253x253) L5 2x12"x12" (289x289)
B1 3x8"x8" (93x194) B3 3x10"x10" (93x253) B5 3x12"x12" (93x289)
B2 4x8"x8" (93x194) B4 4x10"x10" (93x253) B6 4x12"x12" (93x289)
B7 5x8"x8" (93x194) B8 5x10"x10" (93x253) B9 5x12"x12" (93x289)
ENGINEERED LUMBER SCHEDULE
1 3/4"x3 1/2" LVL 1 3/4"x3 1/2" LVL 1 3/4"x3 1/2" LVL
LVL2 1-1 3/4"x8 1/2" LVL3 1-1 3/4"x11 7/8" LVL10 1-1 3/4"x14"
LVL4 2-1 3/4"x8 1/2" LVL6 2-1 3/4"x11 7/8" LVL11 2-1 3/4"x14"
LVL6 3-1 3/4"x8 1/2" LVL7 3-1 3/4"x11 7/8" LVL12 3-1 3/4"x14"
LVL8 4-1 3/4"x8 1/2" LVL9 4-1 3/4"x11 7/8" LVL13 4-1 3/4"x14"
(DIVISION B PART 9, TABLE 9.20.5.2.2.2)
FORMING PART OF SENTENCE 9.20.5.2.2 (9.20.5.2.6)
- 3.2. STEEL LITELS SUPPORTING MASONRY VENEER
FORMING PART OF SENTENCE 9.20.5.2.2 (9.20.5.2.6)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE O.B.C.

3.4. ACRONYMS	
ABV	ABOVE
ABF	ABOVE FINISHED FLOOR
BBFM	BEAM BY FLOOR MANUFACTURER
BBRM	BEAM BY ROOF MANUFACTURER
BG	FIXED GLASS W/ BLACK BACKING
BLW	BELOW
BM	BEAM
CH	CONVENTIONAL ROOF FRAMING
CW	COMPLETE WITH
DWFL	DOUBLE JOIST TRIPLE JOIST
DO	DO OVER
DOP	DROPPED
ENG	ENGINEERED
ERV	ENERGY RECOVERY VENTILATION UNIT (SB-1) SS FROM ABOVE
EST	ESTIMATED
FA	FLAT ARCH
FD	FLOOR DRAIN
FG	FIXED GLASS
FL	FLASH
FLR	FLOOR
GT	GIRDER TRUSS
GRM	GIRDER TRUSS BY ROOF MANUFACTURER
HB	HOSE BB
HDM	HEADROOM
3.5. SYMBOLS	
ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.	
⊙	CLASS B VENT
⊕	DUPLEX OUTLET (12" HIGH)
⊕	HEAVY DUTY OUTLET
⊕	POT LIGHT
⊕	LIGHT FIXTURE (CEILING MOUNTED)
⊕	LIGHT FIXTURE (WALL MOUNTED)
⊕	CABLE T.V. JACK
⊕	CENTRAL VACUUM OUTLET
⊕	ELECTRIC VEHICLE CHARGING STATION ROUGH-IN
⊕	SA SMOKE ALARM (9.10.19)
PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNALS SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALING COMPONENT AS PER THE NATIONAL FIRE ALARM AND SIGNALING CODE 72.	
⊕	CMA CARBON MONOXIDE ALARM (9.10.19) (9.10.19)
CHECK LOCAL BY-LAWS FOR REQUIREMENTS A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CSA-G.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT, ON EACH STOREY AND ADJACENT TO EACH SLEEPING ROOM. A CARBON MONOXIDE ALARM IS REQUIRED IN ANY SLEEPING ROOM THAT CONTAINS OR SHARES A WALL OR FLOOR/CEILING WITH A ROOM THAT CONTAINS A FUEL-BURNING APPLIANCE OR FUEL ALARM(S). SHALL BE REQUIRED IN ANY SLEEPING ROOM ADJACENT OR ABOVE THE GARAGE. CARBON MONOXIDE ALARMS SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED AS WELL AS HAVING VISUAL SIGNALING.	
⊕	SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)
THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (75) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4, 9.23.10.7)	
⊕	TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 38.
⊕	VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD
⊕	EXPOSED BUILDING FACE - O.B.C. 9.10.14, OR 9.10.15
⊕	REFER TO HEX NOTE 40 & DETAILS FOR TYPE AND SPECIFICATIONS.
⊕	1 HR. PARTY WALL
⊕	2 HR. FIREWALL
⊕	REFER TO HEX NOTE 40A

SECTION 4.0. CLIMATIC DATA

REFER TO O.B.C. FOR DESIGN SNOW LOAD (9.4.2.2) & WIND PRESSURE (SB-1, TABLE 2)

STAMP

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. RES. 2024.

CONSTRUCTION NOTE REVISION DATE: NOV. 21, 2024

CONSTRUCTION NOTES 2



ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

UNIT 2015
REV. 2025.03.25

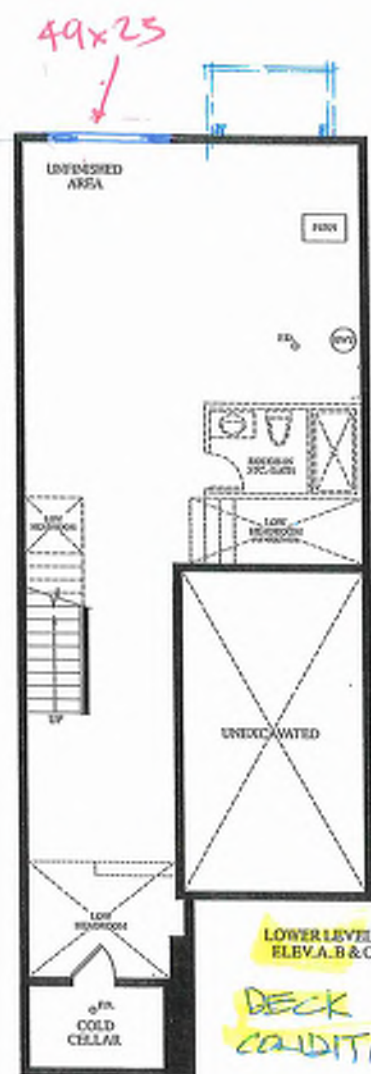
Drawn By: KM/MM Checked By: DS/MM Scale: 3/16"=1'-0" Page Number: 29 of 29
8895 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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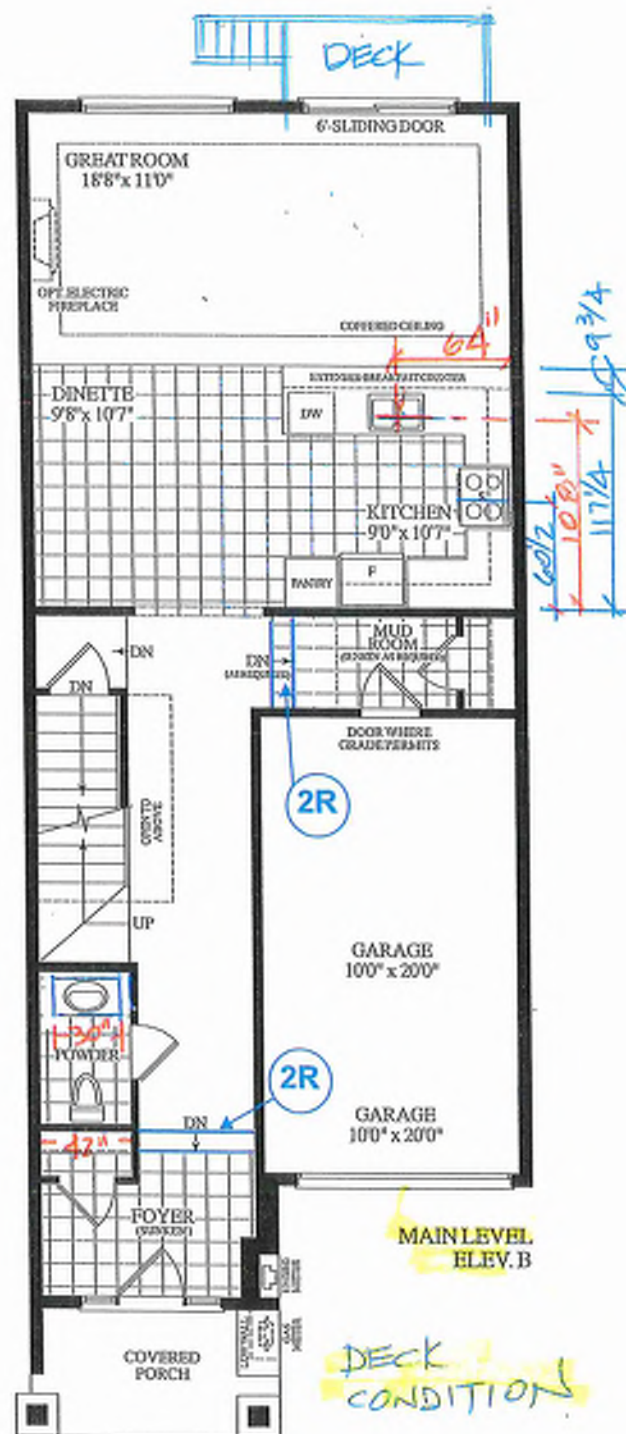
BAYVIEW HEIGHTS

RICHMOND HILL



LOWER LEVEL
ELEV. A, B & C

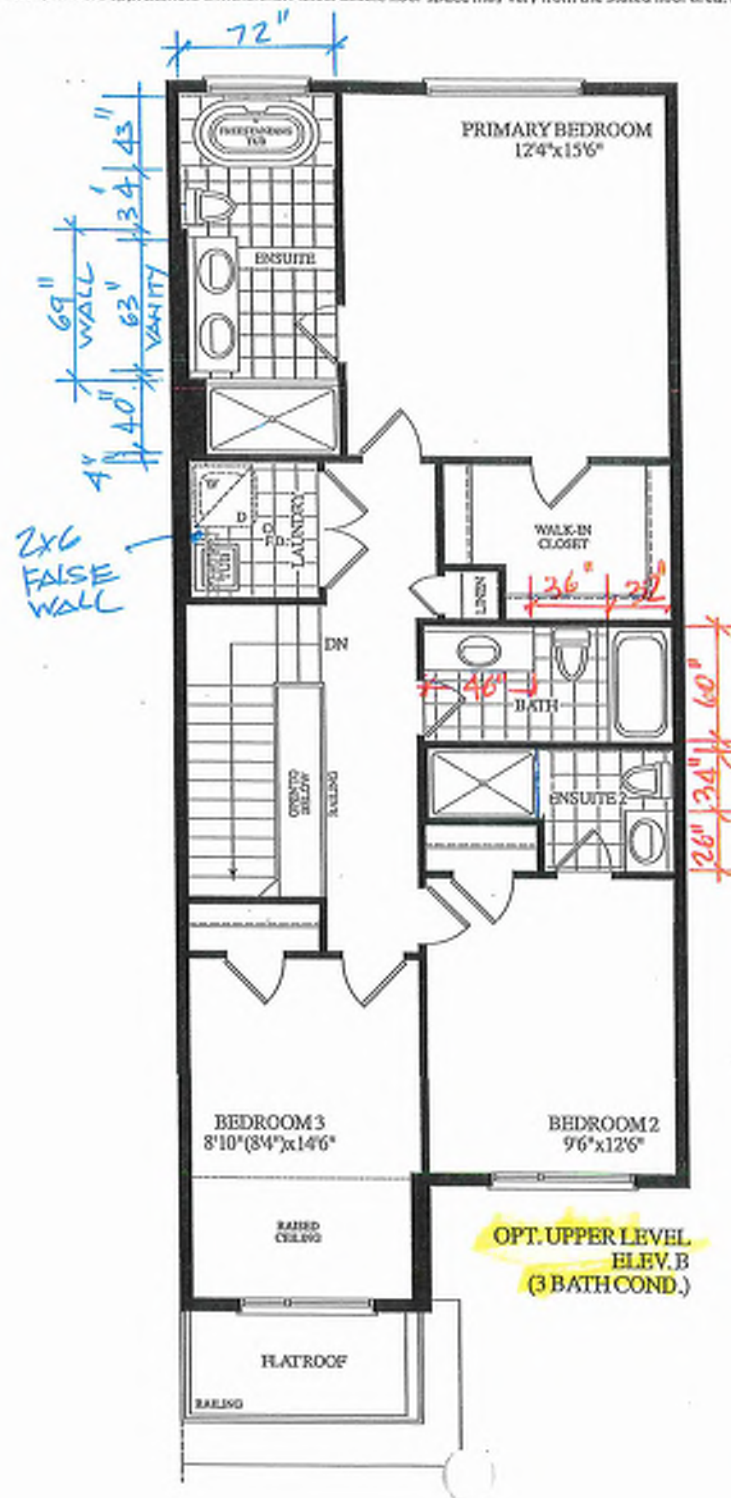
DECK CONDITION



MAIN LEVEL
ELEV. B

DECK CONDITION

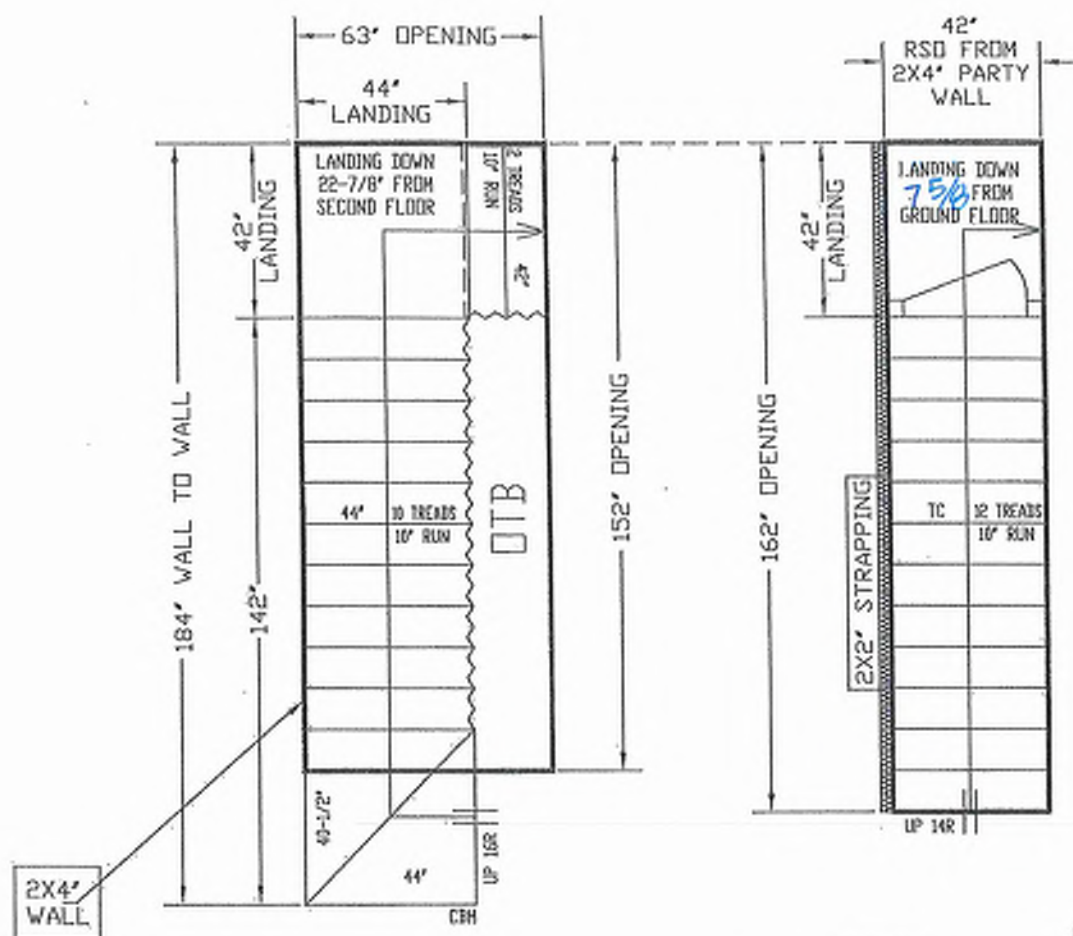
Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E&O.E.



OPT. UPPER LEVEL
ELEV. B
(3 BATH COND.)

BLK. 9 TH. 57	20-16	THE CHARLOTTE EL. B	3 BDRM 3 BATH	1815 SQ.FT.
---------------	-------	---------------------	---------------	-------------

BASEMENT TO GROUND
BSMT 11-7/8" JOIST



BUC 9-57

STAIRS LINE UP BY
PARTY WALL

NO WALLS UNTIL
STAIRS INSTALLED

REVISED
JUNE 4, 2025

GARAGE RIGHT >



ALL STAIRS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE

ANY STAIRING ALLOWANCES TO BE CONSIDERED BY CARPENTERS.

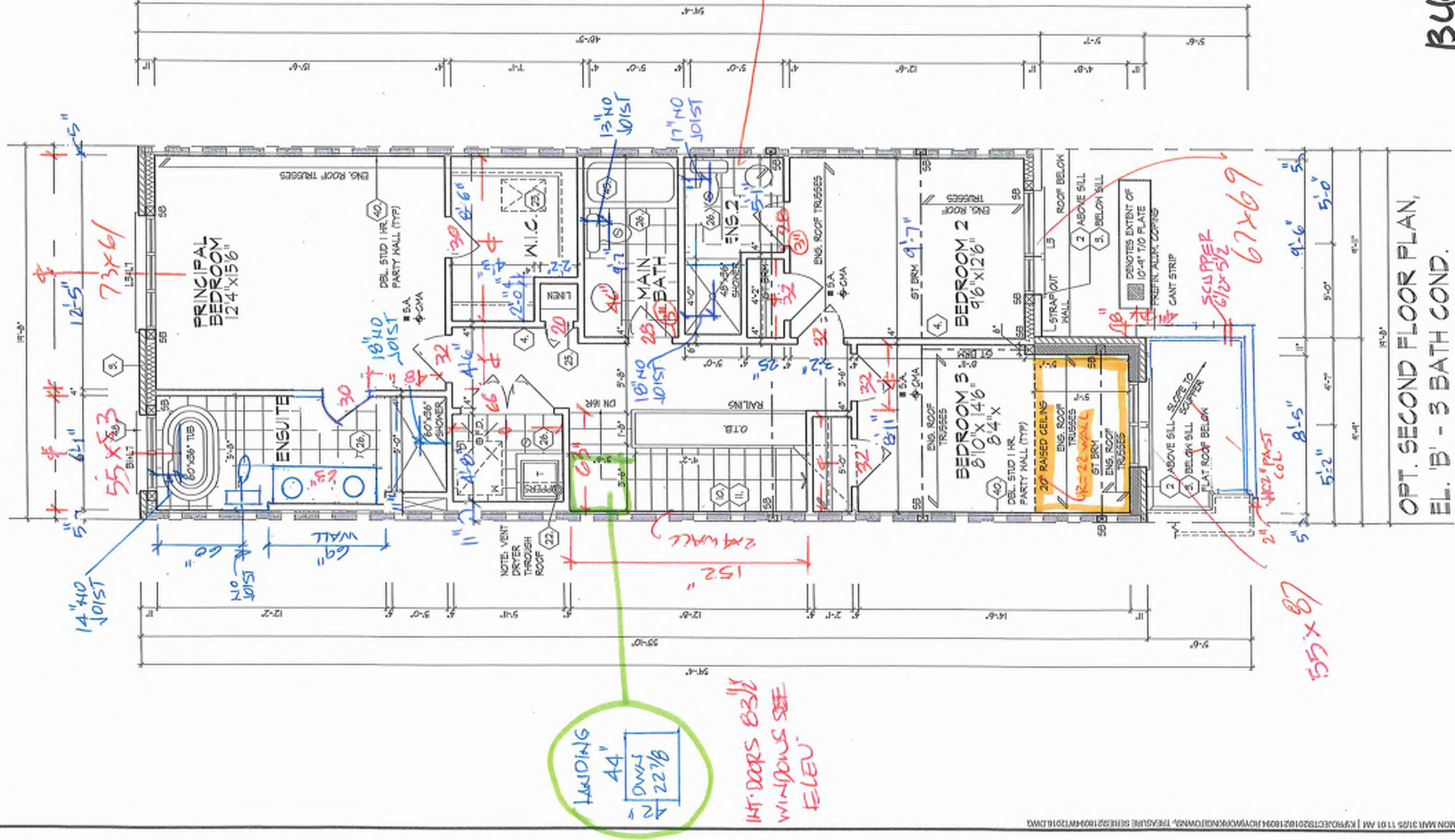
ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPECS AS SUPPLIED TO ALPHA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN ON LAYOUTS ARE REQUIRED TO INSTALL OUR STAIRS. ANY PROBLEM WITH HEADROOM OR STAIRING ALLOWANCES, ALPHA STAIRS AND RAILINGS WILL NOT BE RESPONSIBLE FOR. THERE ARE NO JOBS AT 20' CARPENTERS OR SITE SUPERS TO NAME. THERE ARE NO DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.

ALPA STAIRS AND RAILINGS INC.
3770 NASHUA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1M6
TEL (905) 694-9556 | www.alpastairs.com



SITE	BAYVIEW HEIGHTS	
LDT #		
Model	UNIT 2016	

DRAWN BY	NAME	DATE
	PARAMJEET	MAY 23, 2025
CLIENT		
ROYAL PINE HOMES		
LAYOUT #		
SCALE: 1/8" = 1'-0"		



OPT. SECOND FLOOR PLAN,
EL. 'B' - 3 BATH COND.

BUK 9-57

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGING CLIPS.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving any "cutting" plans or working drawings with respect to any zoning or building code or permit matter or that any building code be amended. It is the builder's responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving any "cutting" plans or working drawings with respect to any zoning or building code or permit matter or that any building code be amended.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Sacramento, CA.

OPT. SECOND FLOOR PLAN. EL. 'B' - 3 BATH COND.

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

UNIT 2016

REV. 2025.03.24

Page Number

218094VT2016

of 29

63-11-01

MM

by
CMT

SONS

1005

DESIGN

1

1

1250

1

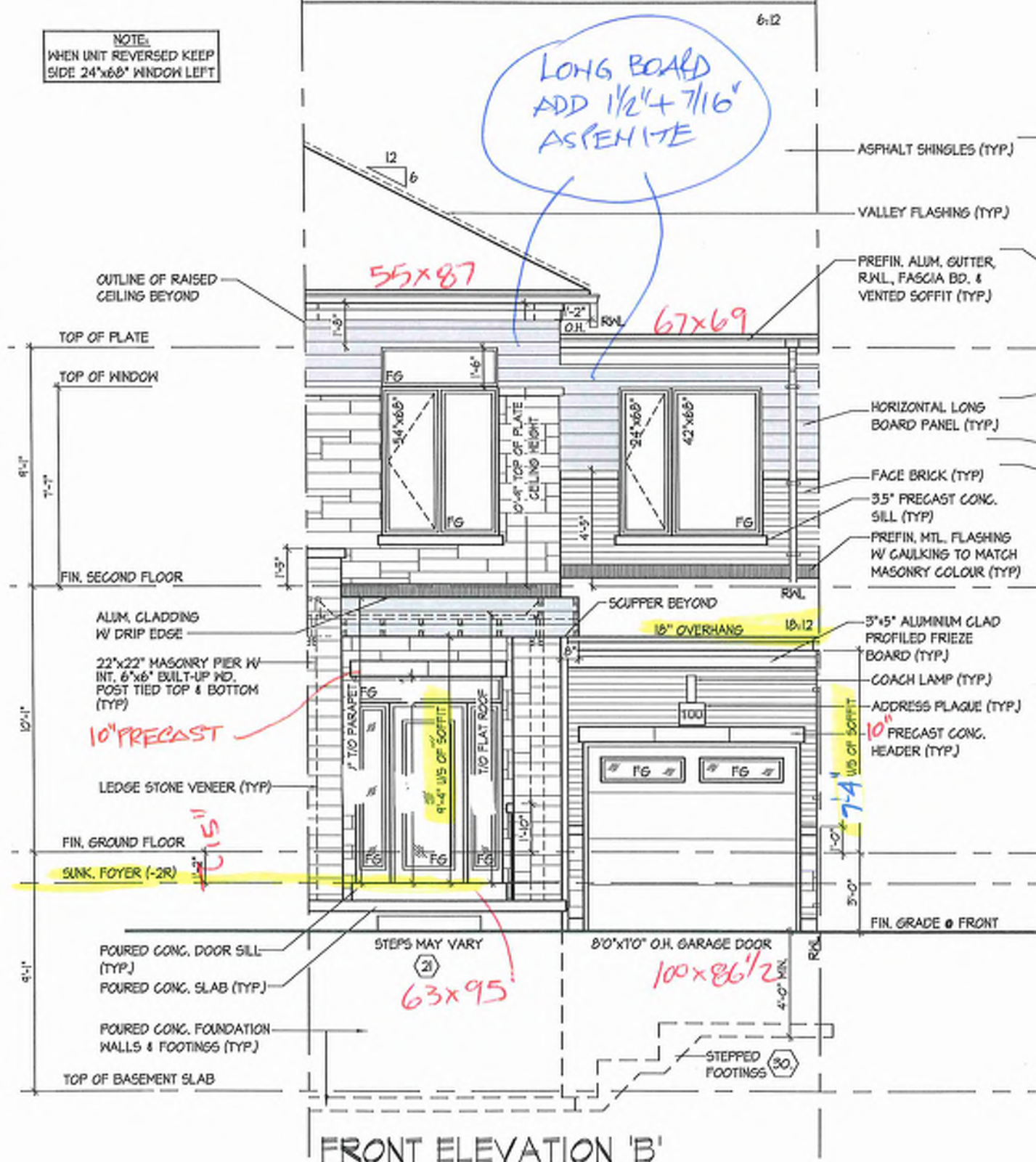
References

075

20

ROOF PLAN EL. 'B' N.T.S.

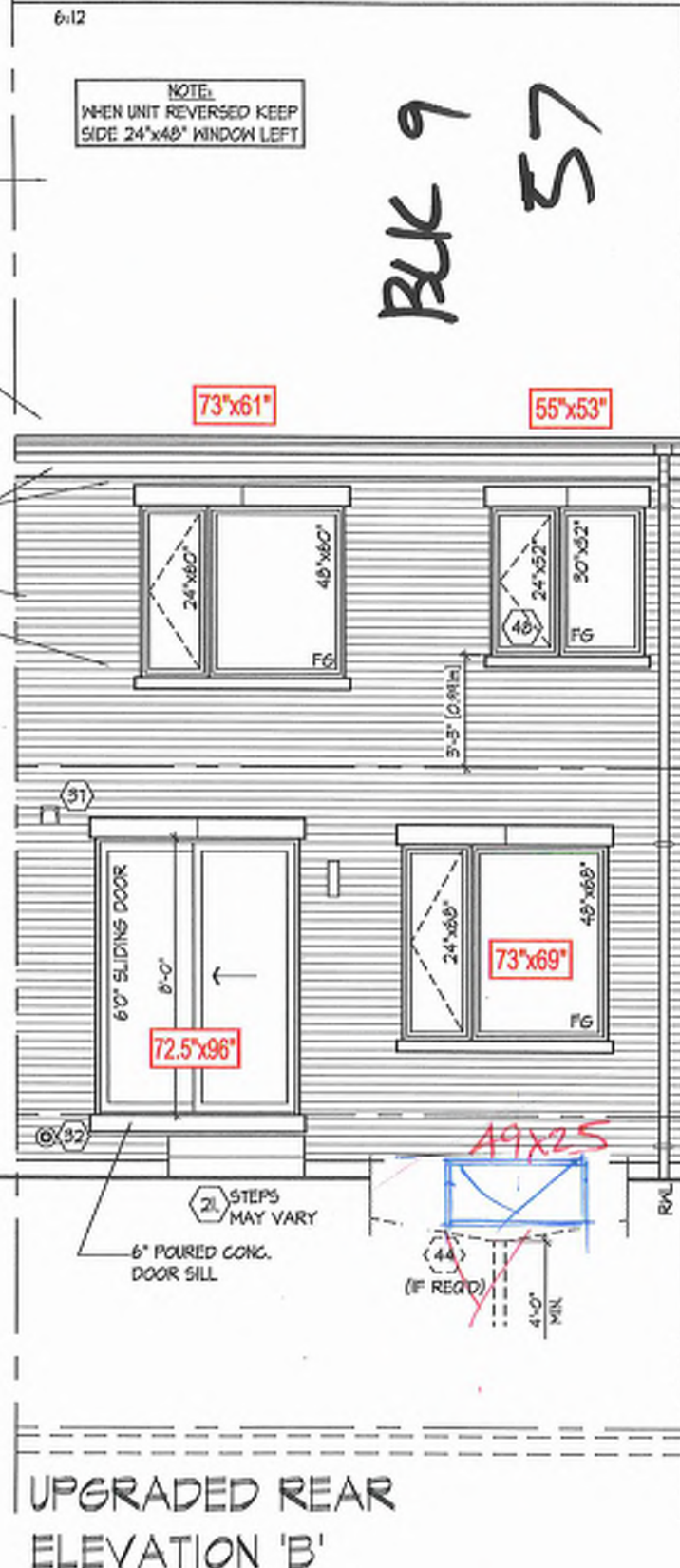
NOTE:
WHEN UNIT REVERSED KEEP
SIDE 24"x68" WINDOW LEFT



FRONT ELEVATION 'B'

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

NOTE:
WHEN UNIT REVERSED KEEP
SIDE 24"x68" WINDOW LEFT

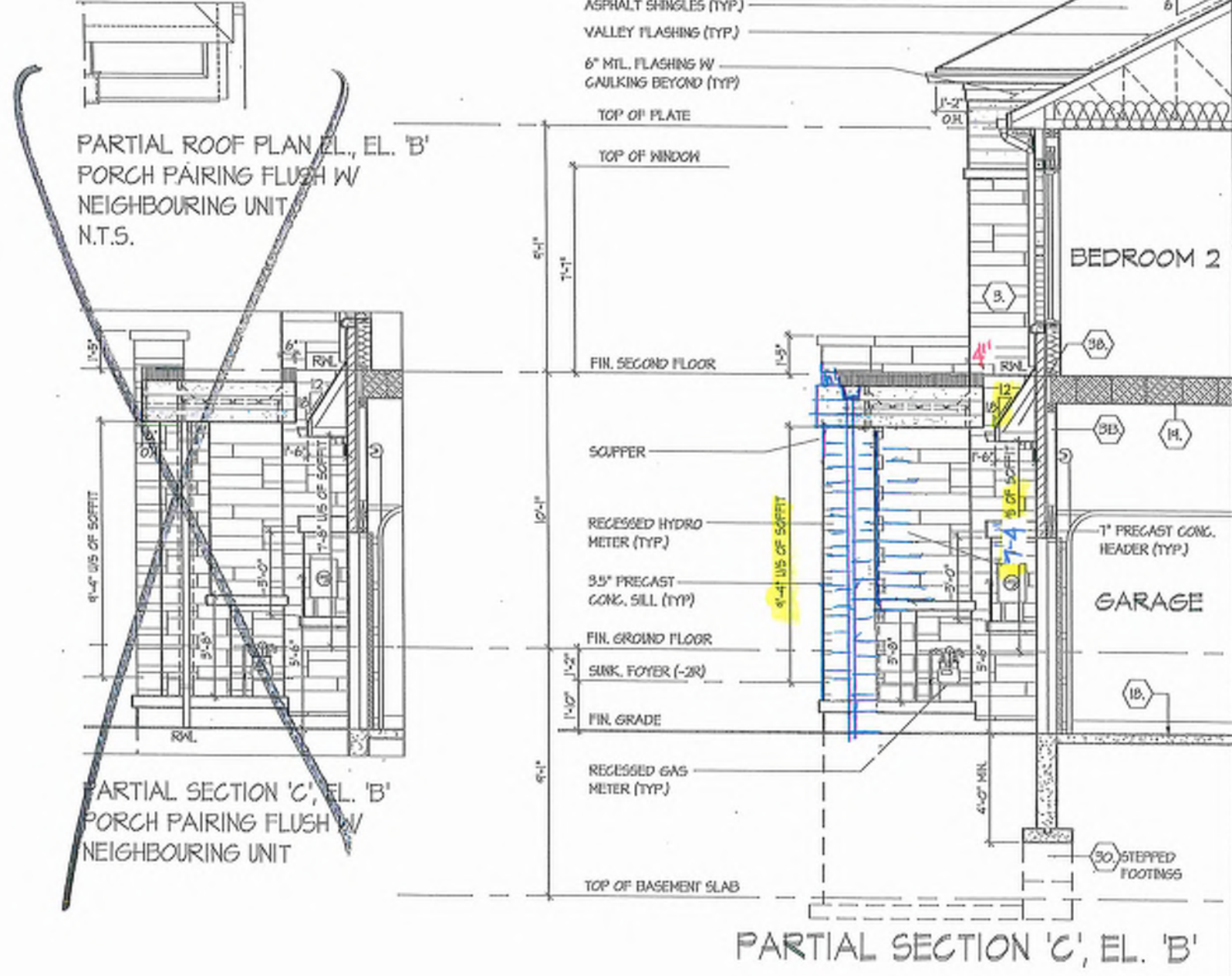


UPGRADED REAR
ELEVATION 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for any errors or omissions appearing in these plans or working drawings with regard to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

Preliminary
NOT FINAL April 22 2025



It is the builder's complete responsibility to ensure that all plans submitted to the City of Richmond and the Department of Planning and Community Development are in accordance with all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for examining or approving any building plans or for issuing a building permit. Plans for any house must be signed or permit number of any house must be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND, VIRGINIA.

9-57

PART. SECTION C. EL. 'B'

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.



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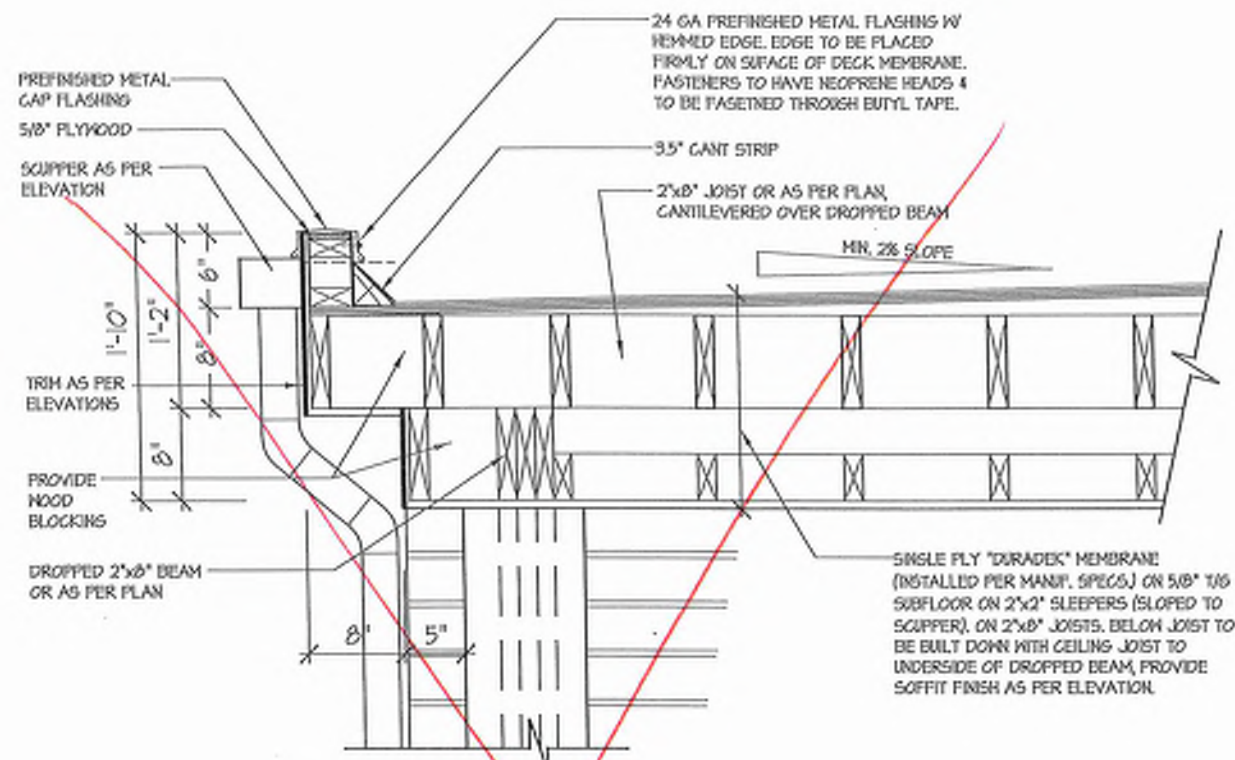
QUALIFICATION INFORMATION
THE UNDERSIGNED HAS ASSUMED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

Drawn By: KWIT Checked By: DSMM Sub: 3H6=1-0* Pk Number: 218094WT2017 Page Number: 17 of 27

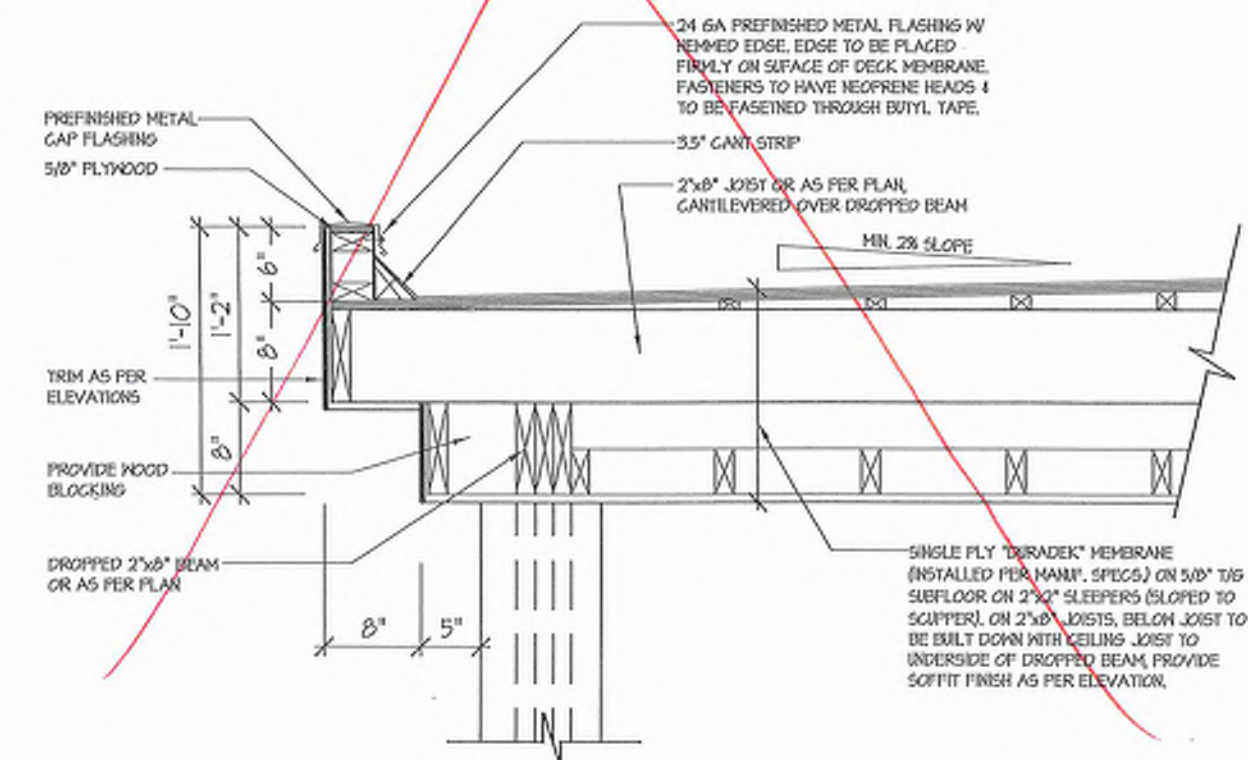
8888 Mendocino Ave, Ukiah, CA 95568 F 855.737.7328

Derrin Moblio	21274
NAME	SIGNATURE
REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES, INC.	

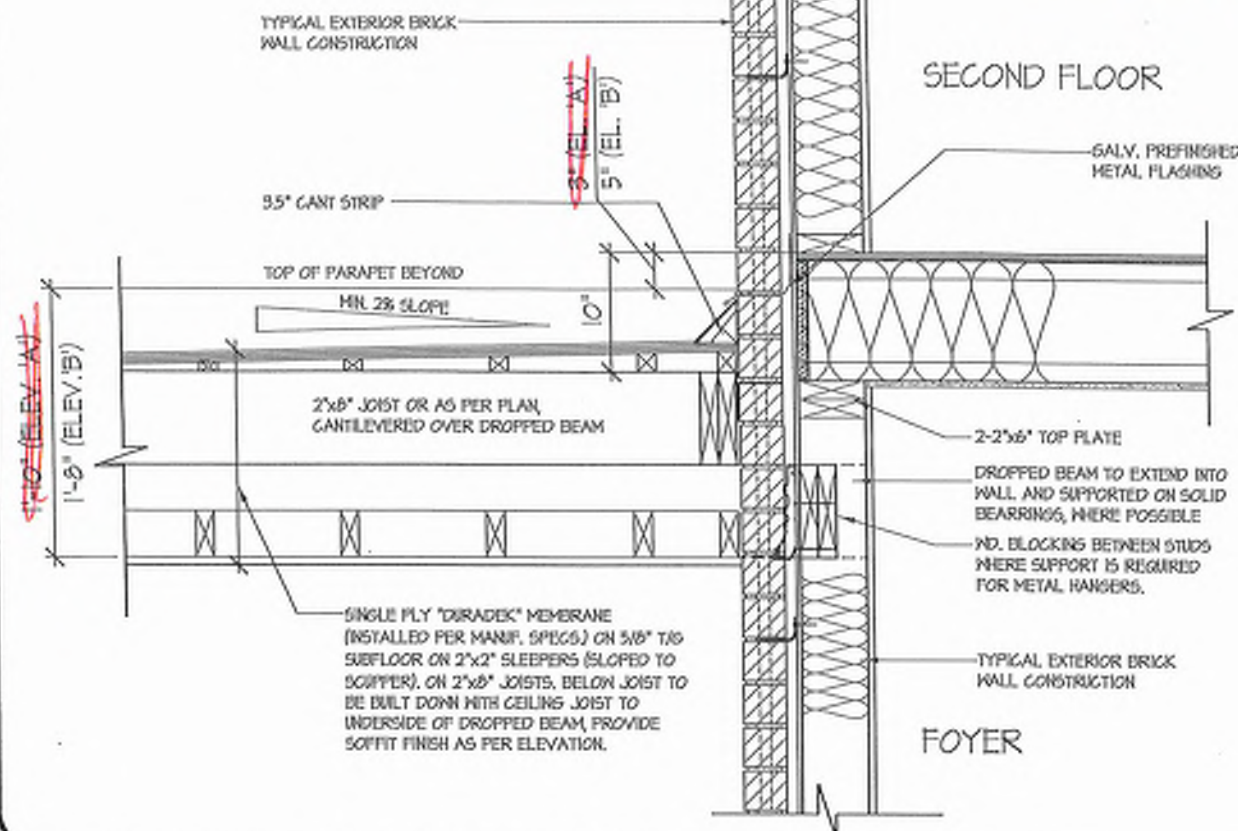
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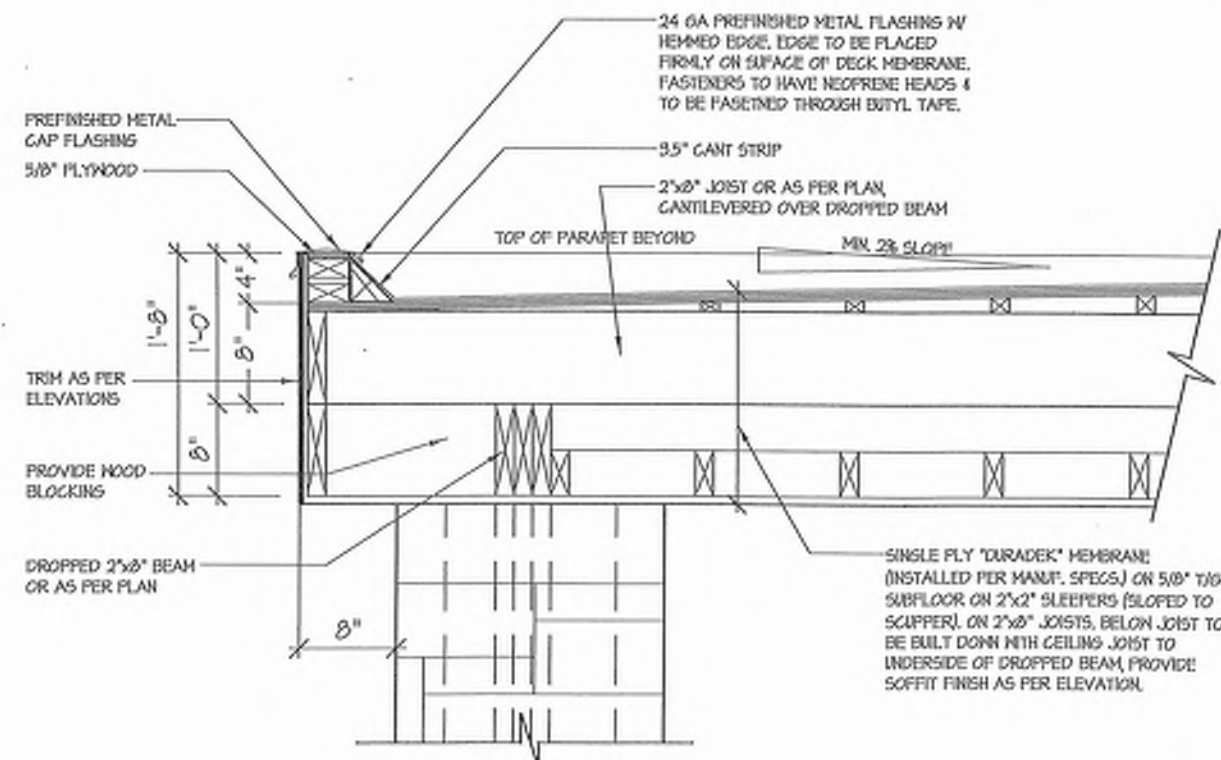
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'



3 FLAT ROOF DETAIL @ EXTERIOR WALL



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'

UNIT 2016

BLK 9-57

FLAT ROOF DETAILS OVER COVERED PORCH

UNIT 2015

REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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21274

15693

27 of 25

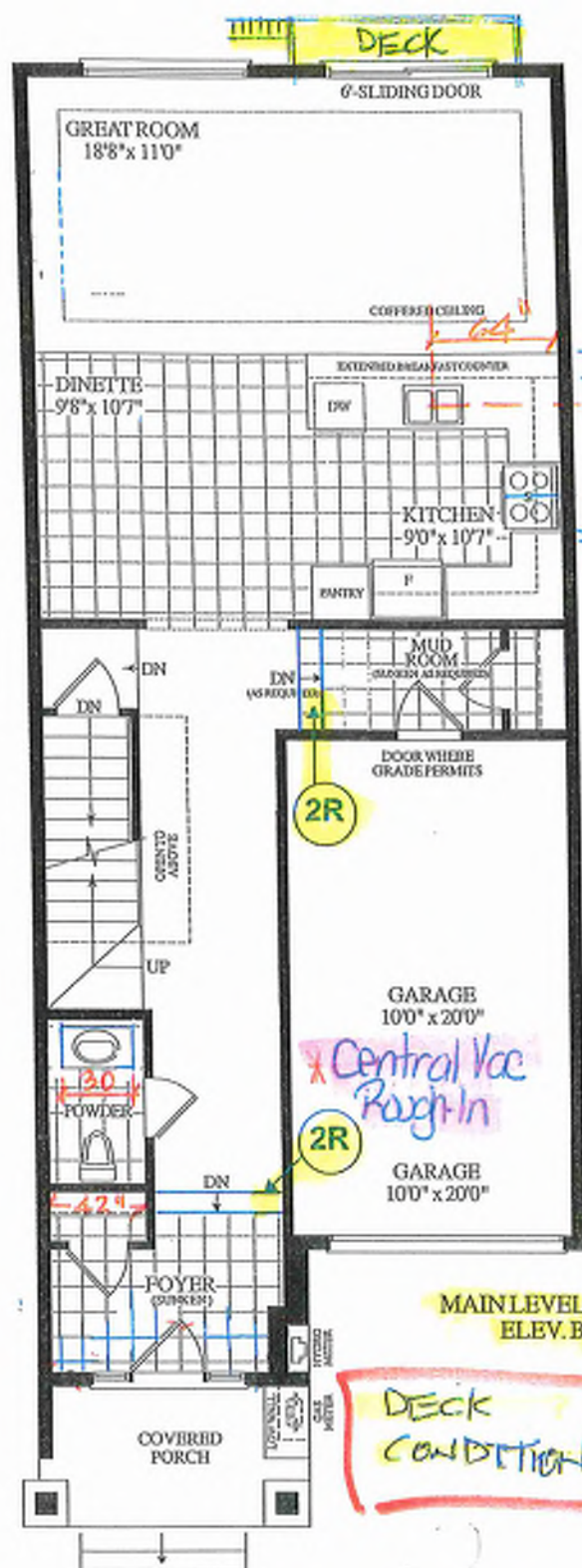
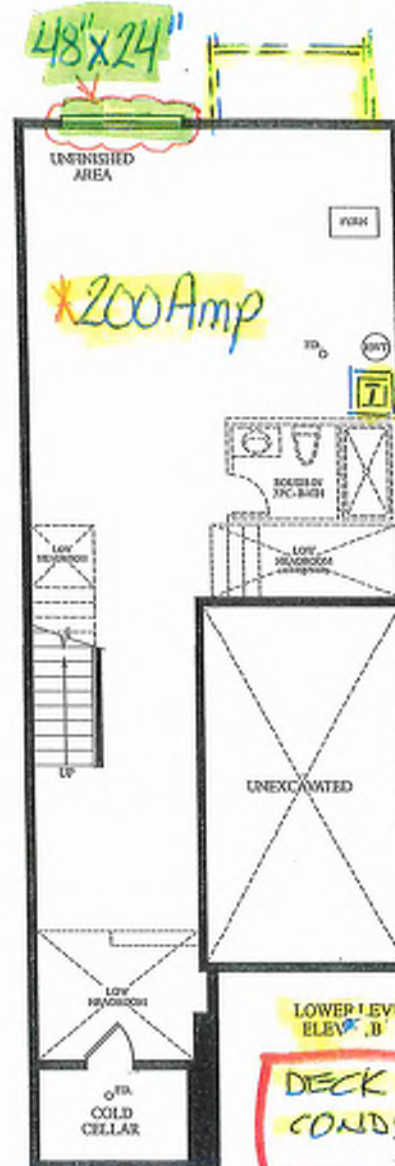


BAYVIEW HEIGHTS

RICHMOND HILL



June 24, 2025

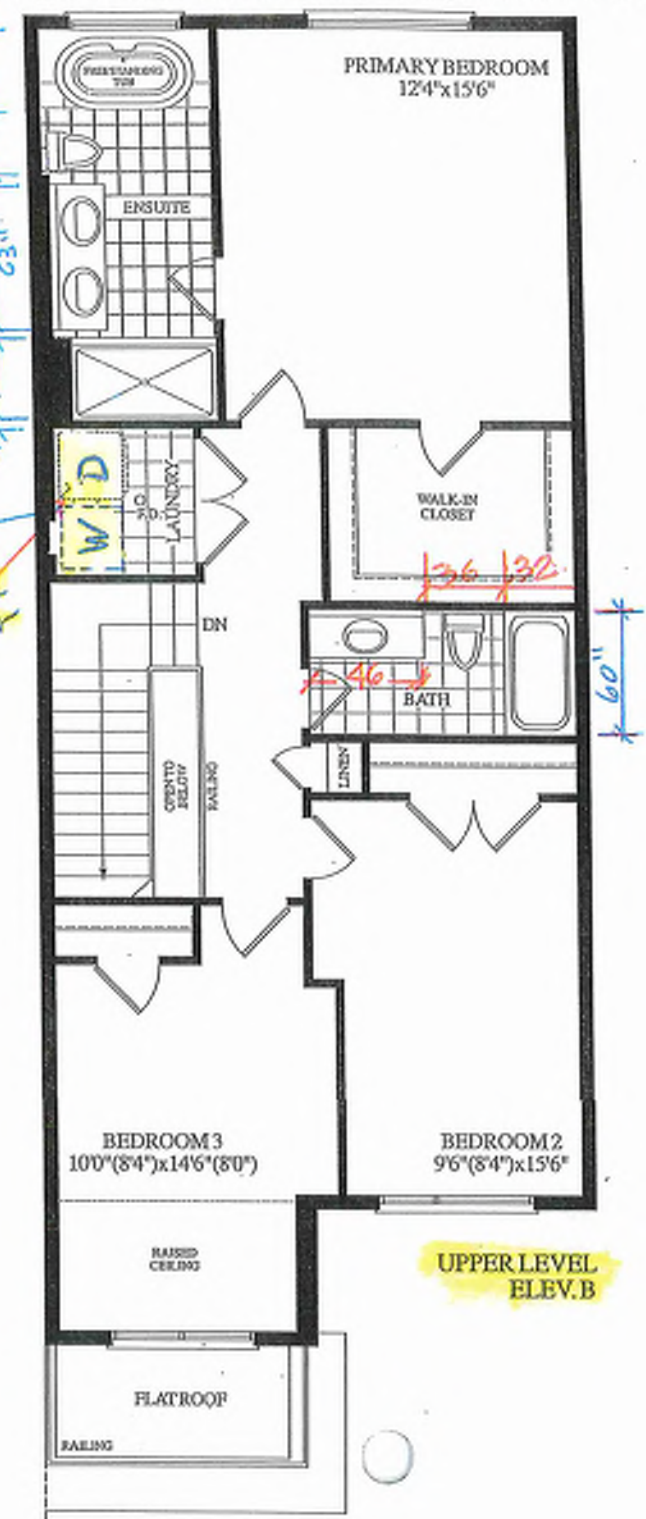


60 1/2" 10 1/2" 117 1/4" 9 3/4"

2x6 FALSE WALL

Side by Side Washer & Dryer

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E.&O.E.



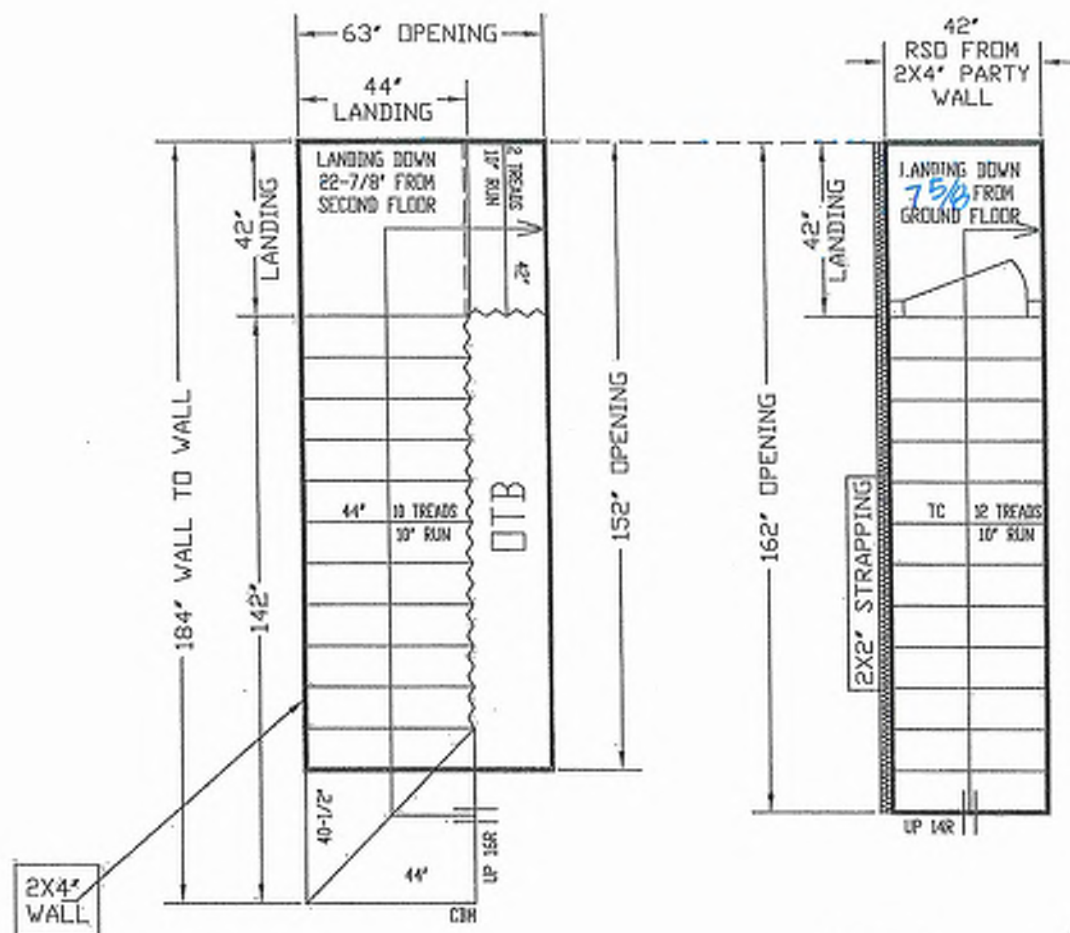
BLK. 9 TH. 58

20-16 THE CHARLOTTE EL. B 3 BDRM. 2 BATH.

1795 SQ.FT.

GROUND TO SECOND
122' HT 11-7/8" JOIST

BASEMENT TO GROUND
BSMT 11-7/8" JOIST



BKC 9-50

ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

STAIRS LINE UP BY
PARTY WALL

NO WALLS UNTIL
STAIRS INSTALLED

REVISED
JUNE 4, 2025

GARAGE RIGHT >



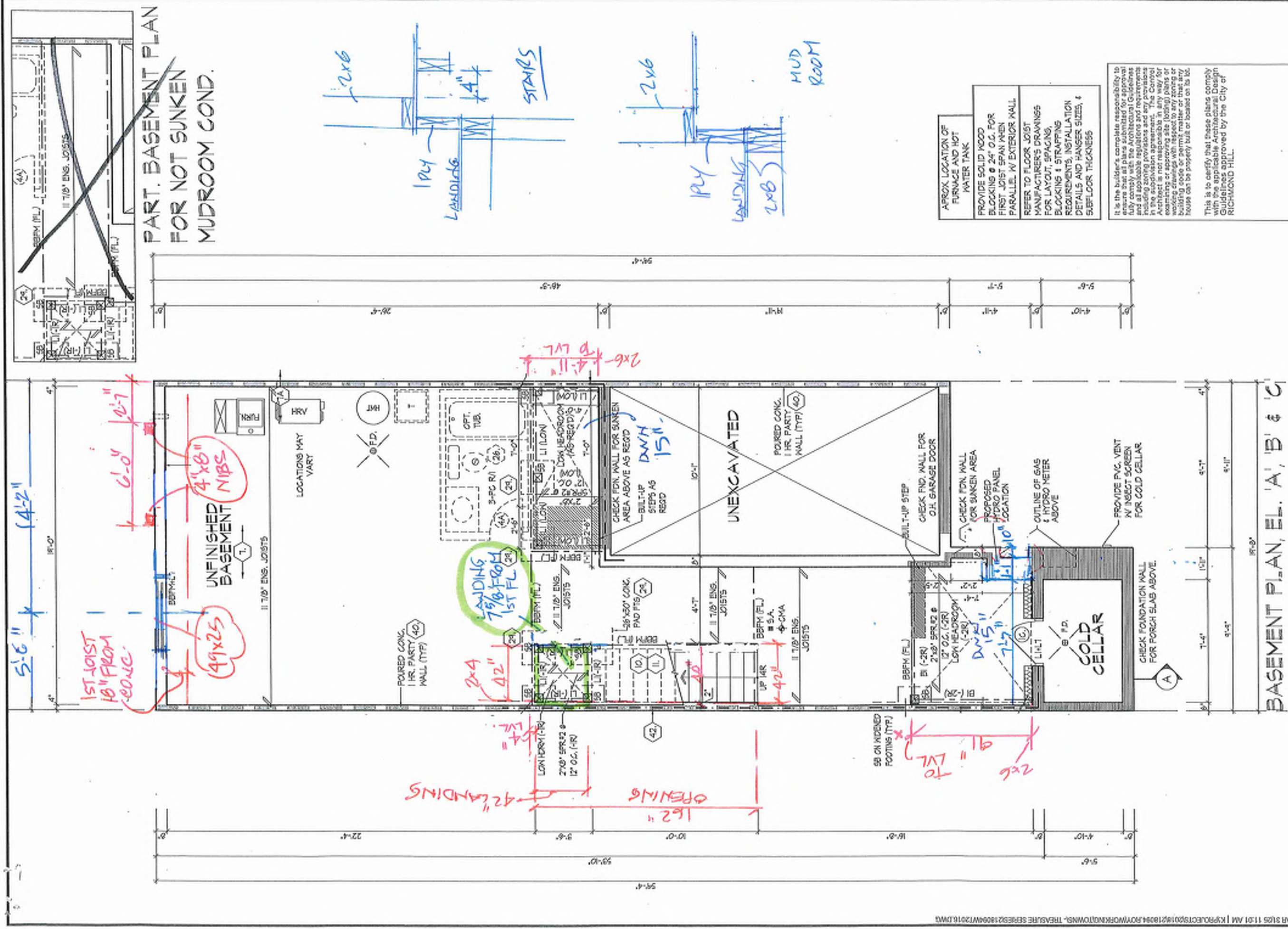
ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE
ANY STRAPPING ALLOWANCES TO BE COMPENSATED BY CARPENTERS
ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS OR SPECS AS SUPPLIED
TO ALPHA STAIRS AND RAILINGS INC. MEASUREMENTS SHOWN ON LAYOUTS ARE REQUIRED TO
INSTALL OUR STAIRS. ANY PROBLEM WITH HEADROOM OR STRAPPING ALLOWANCES, ALPHA
STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY
CARPENTERS OR SITE SUPERVISOR TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING
WITH CONSTRUCTION

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SITE
BAYVIEW
HEIGHTS
LOT #
Model
UNIT 2016

NAME	DATE
PARAMJEET	MAY 23, 2025
CLIENT ROYAL PINE HOMES	
LAYOUT #	
SCALE: 1/8" = 1'-0"	



Buk 9-58

BASEMENT PLAN, EL. 'A', 'B' & 'C'

ROYAL PINE HOMES - 218094
 921 BAYVIEW, RICHMOND HILL, ON.

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UNIT 2016
 REV. 2025.03.24

2 of 29

3/16"=1'-0"

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APPROX LOCATION OF FURNACE AND HOT WATER TANK

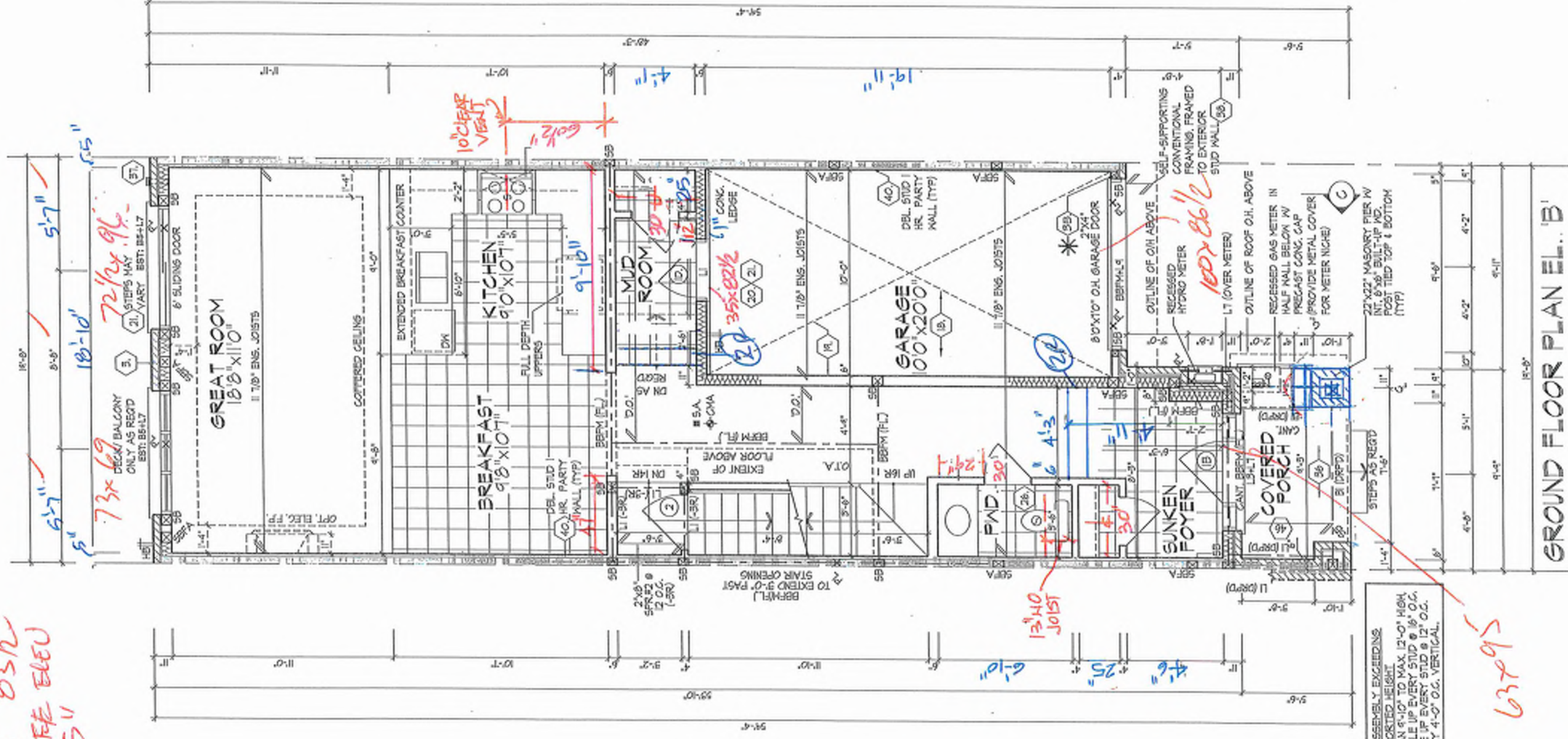
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any other applicable laws. The Council of the City of Richmond Hill is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

INT. DOORS 8'3 1/2"
WINDOWS STEE ELEV
ARCH 9'5"



ALL DOORS ON PLAN ARE T-10" HIGH TOP OF FRAME UNLESS LABELED OTHERWISE.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.

It is the builder's complete responsibility to verify that all construction complies with the applicable building codes and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving any (existing) plans or drawings without first verifying that they are the correct and latest version of the plans for the house to be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

PK 9-58

GROUND FLOOR PLAN, EL. 'B'

UNIT 2016
REV. 2025.03.24

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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DESIGN ASSOCIATES INC.
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File Number
218094/WT2016
9 of 29

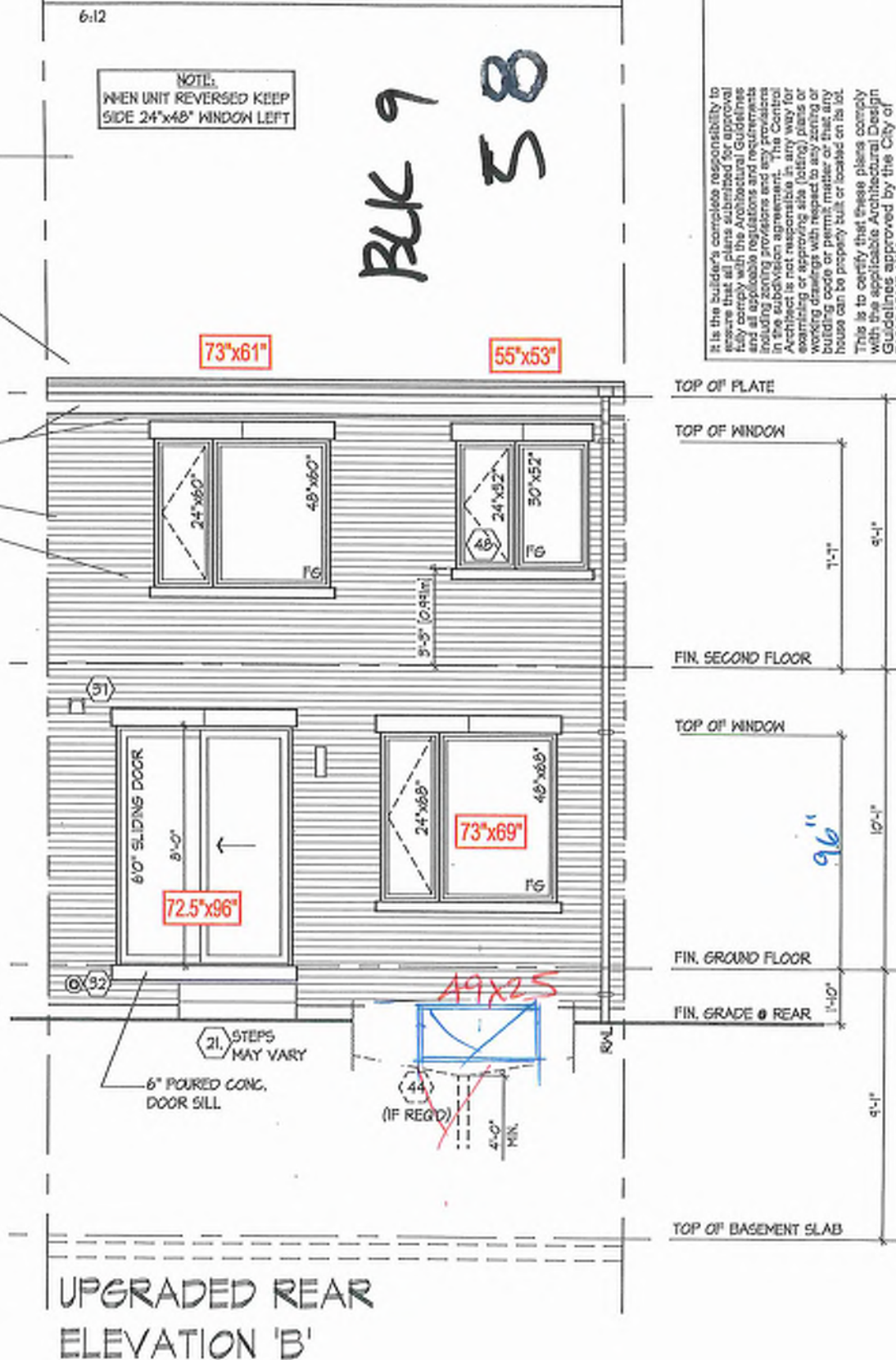
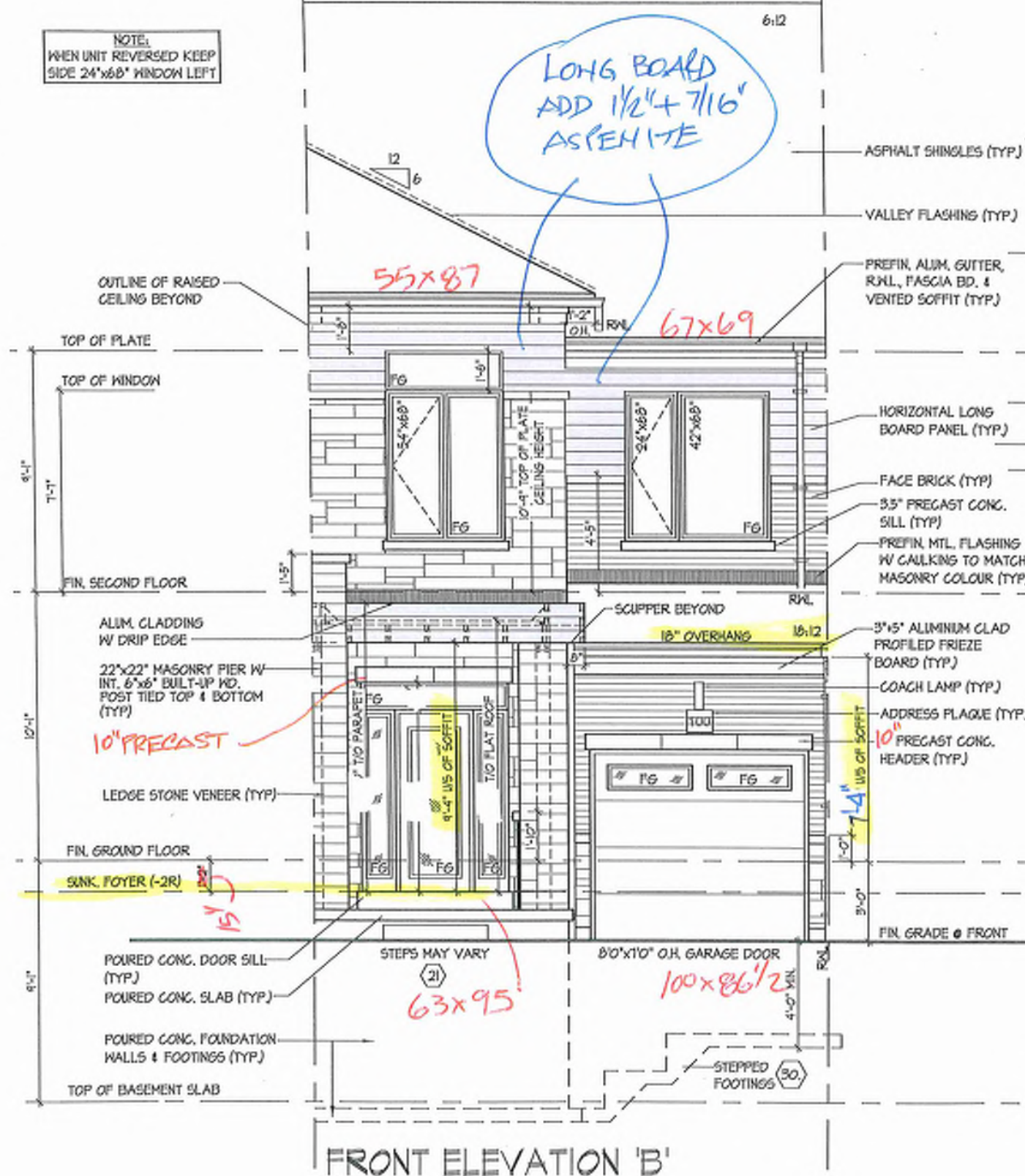
Drawn By
KMTT
Checked By
MM
Scale
3/16" = 1'-0"

DATE
21274
REVISIONS
10035
HUNT DESIGN ASSOCIATES INC.
Domestic Mobile

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE CANADIAN BUILDING CODE TO BE A DESIGNER.

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ROOF PLAN
EL. 'B'
N.T.S.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Center for Architecture is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of

FRONT & UPGRADED REAR ELEVATION 'B'
 65 - 218094
 UNIT 2016
 REV. 2025.03.24
 MID HILL, ON.

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

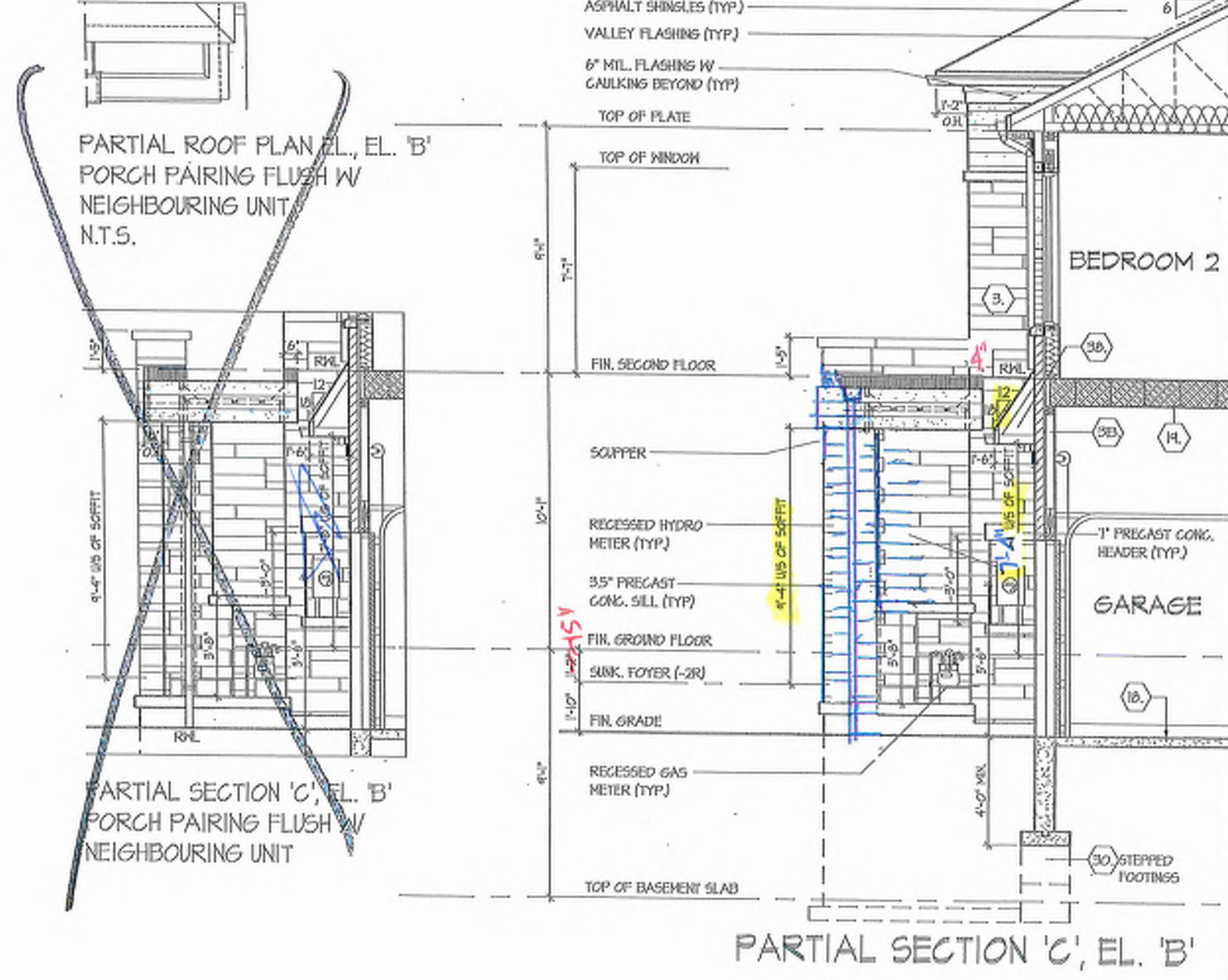


HUNT
DESIGN ASSOCIATES INC.

HUNT DESIGN ASSOCIATES INC.
1888
www.huntdesign.ca
8968 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7826

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET FORTH IN THE CHANDLER BUILDING CODE TO BE A DESIGNER.		2/17/21
Dominika Mielke Dominika Mobile	SIGNATURE	DATE
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES, INC. 		

Preliminary
NOT FINAL April 22 2025



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any other applicable laws. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

BK 9-58

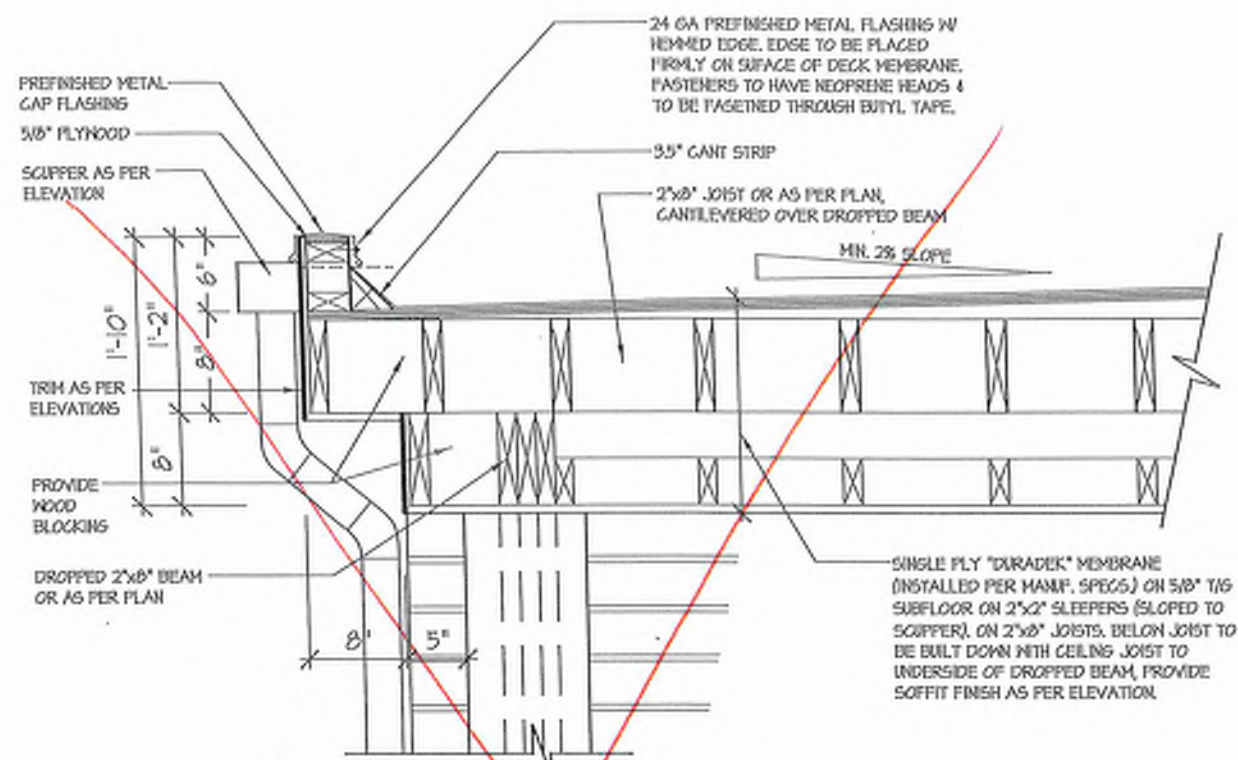
PART. SECTION C, EL. 'B'
UNIT 2017
REV. 2025.03.26
Page Number
218034WT2017
17 of 27

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

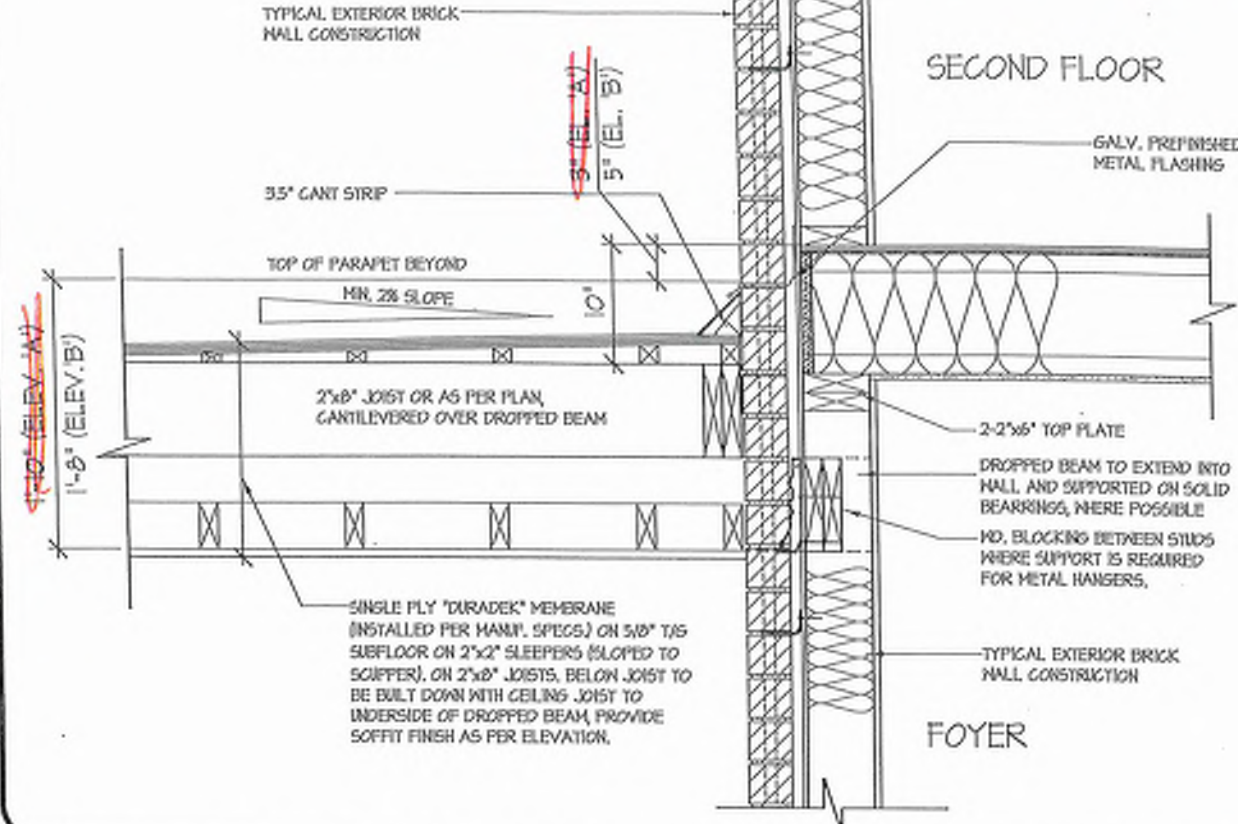
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DESIGN ASSOCIATES INC.
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QUALIFICATION INFORMATION
Dominic Melillo
21274
19885

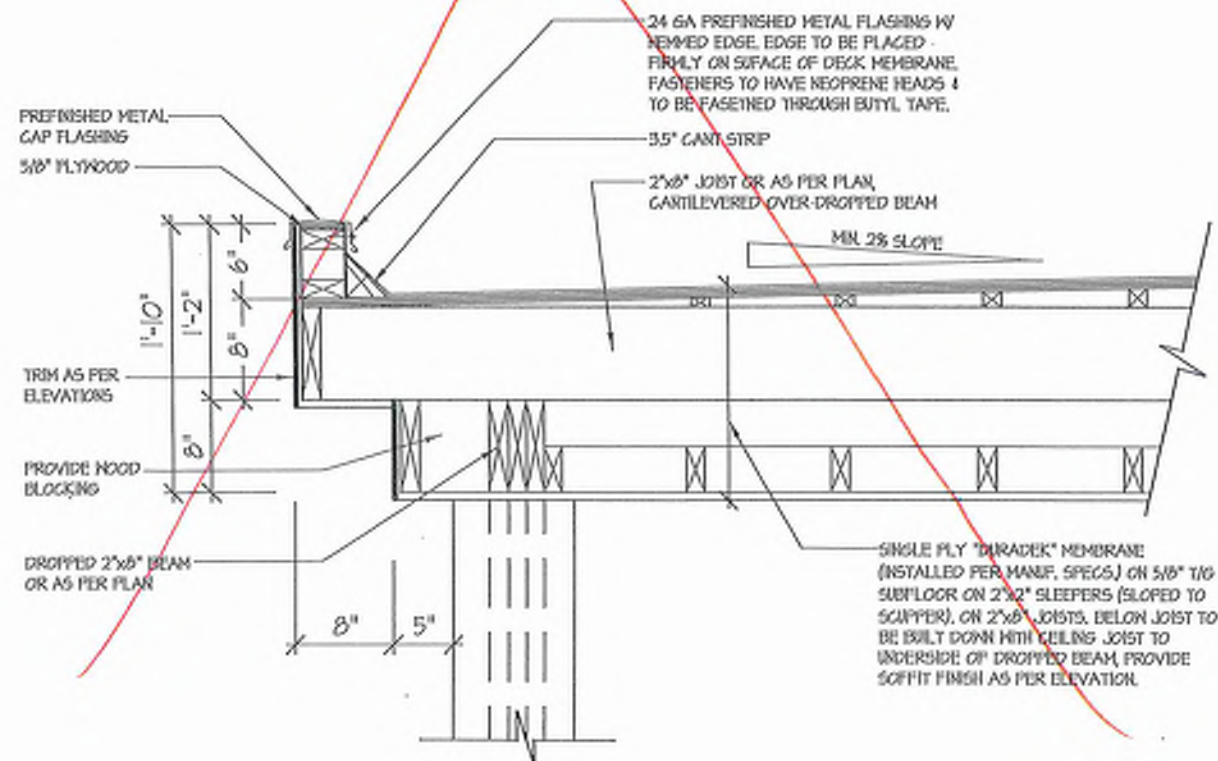
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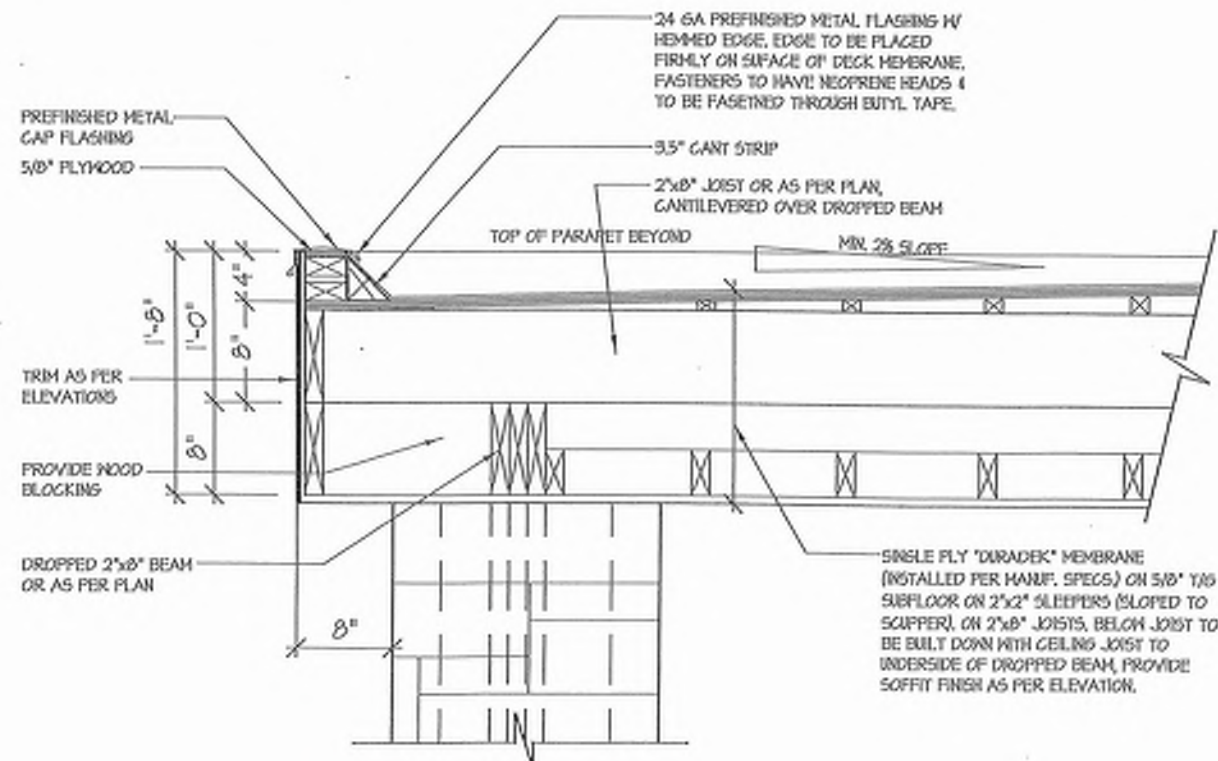
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3/4\"=1'-0"



3 FLAT ROOF DETAIL @ EXTERIOR WALL
3/4\"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4\"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/4\"=1'-0"

UNIT 2016

BLK 9-58

FLAT ROOF DETAILS OVER COVERED PORCH
UNIT 2015
REV. 2025.03.25

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

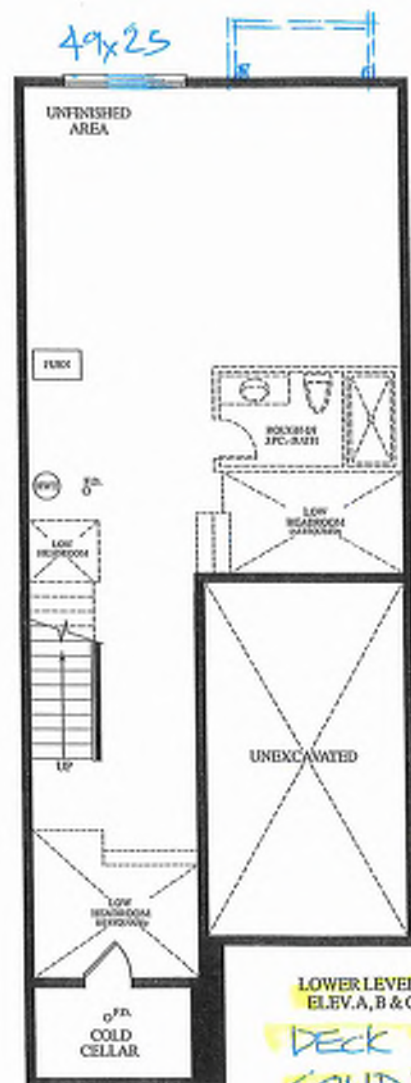
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21274
18860
HUNT ASSOCIATES INC.
218094WT2015
F 905.737.7328

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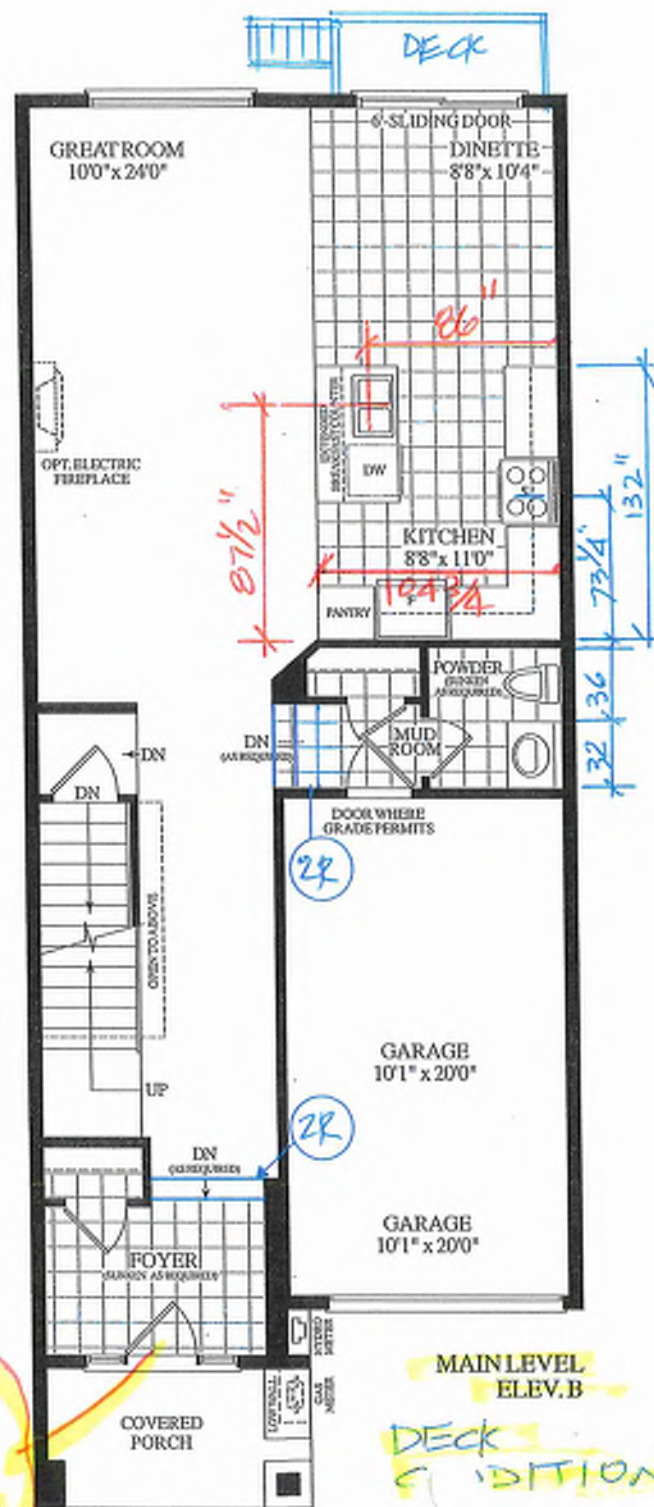
BAYVIEW HEIGHTS
RICHMOND HILL



LOWER LEVEL
ELEV. A, B & C

DECK CONDITION

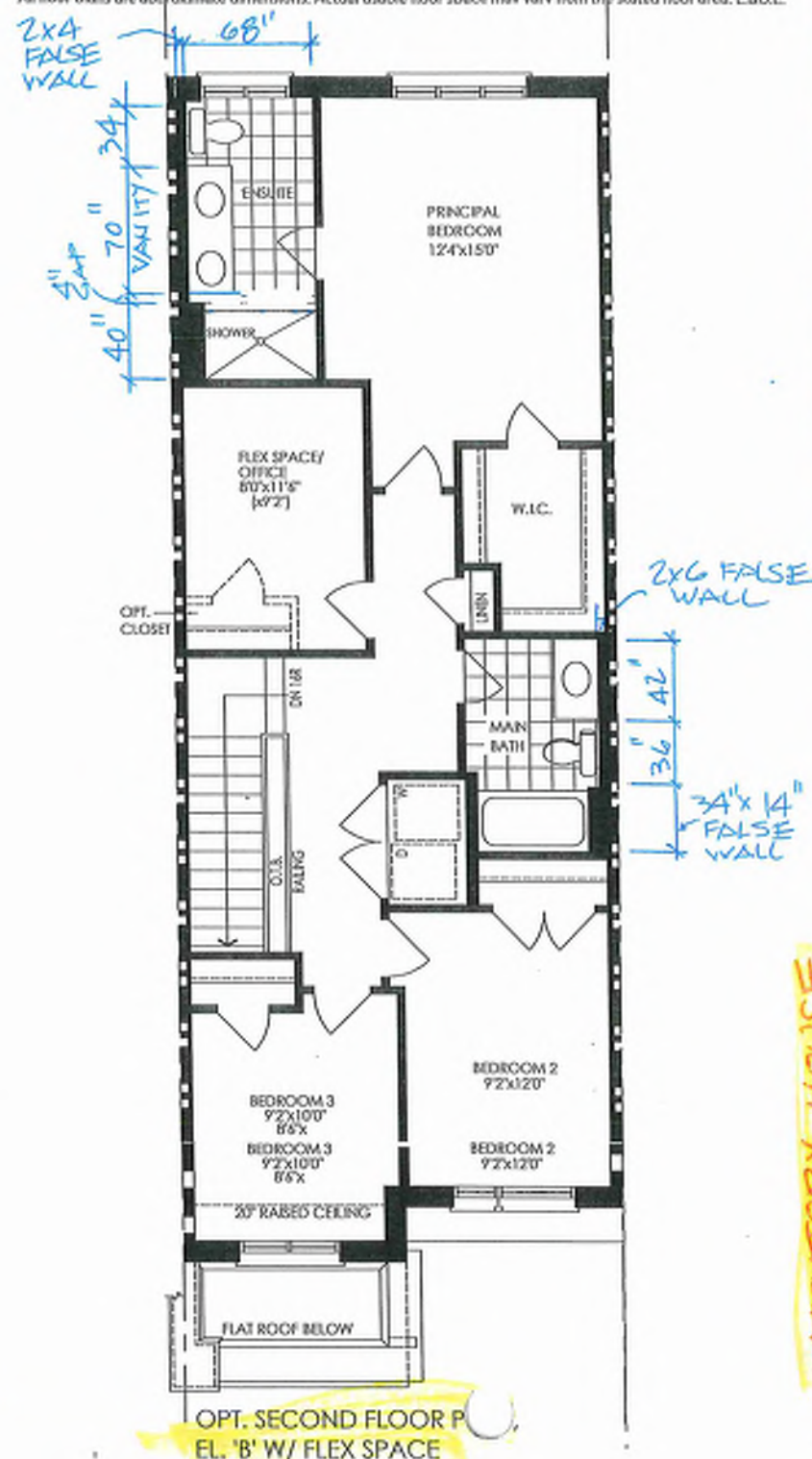
EXTENDED
HEIGHT
FRONT
DOOR
66 x 98 1/2



MAIN LEVEL
ELEV. B

DECK CONDITION

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E.S.O.E.



OPT. SECOND FLOOR F
EL. 'B' W/ FLEX SPACE

INVENTORY HOUSE

BLK.9 TH.59

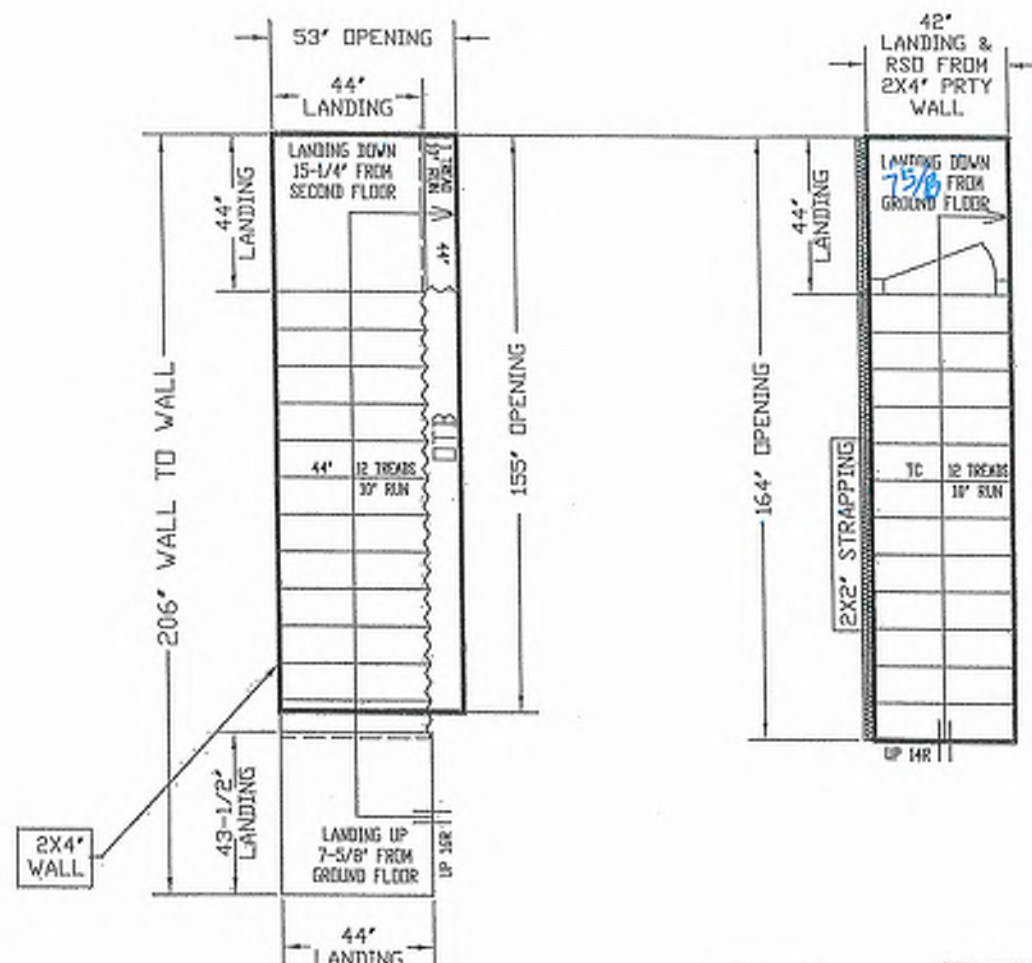
20-17 THE DIANA EL. B

4 BDRM. 2 BATH.

1780 SQ.FT.

GROUND TO SECOND
122' HT 11-7/8" JOIST

BASEMENT TO GROUND
BSMT 11-7/8" JOIST



ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL.
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

STAIRS LINE UP BY
PARTY WALL

NO WALLS UNTIL
STAIRS INSTALLED

REVISED
JUNE 4, 2025

GARAGE RIGHT >



ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE.
ANY STRAPPING ALLOWANCES TO BE CONSIDERED BY CARPENTERS.
ALL STAIR DIMENSIONS MAY BE MODIFIED FROM ORIGINAL BLUE PRINTS TO SUITS AS SUPPLIED
TO ALFA STAIRS AND RAILINGS INC. HEADQUARTERS SHOWN IN LAYOUTS ARE REQUIRED TO
INSTALL OUR STAIRS AND RAILINGS WITH PROPERLY INSTALLED STRAPPING ALLOWANCES. ALFA
STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE STAIR LAYOUTS SHOULD BE CHECKED BY
CARPENTERS OR SITE SUPERVISORS TO MAKE SURE THERE ARE NO DISCREPANCIES BEFORE PROCEEDING
WITH CONSTRUCTION.

ALFA STAIRS AND RAILINGS INC.
3779 MIDLAND DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1H6
TEL: (905) 694-9556 | www.alfastairs.com

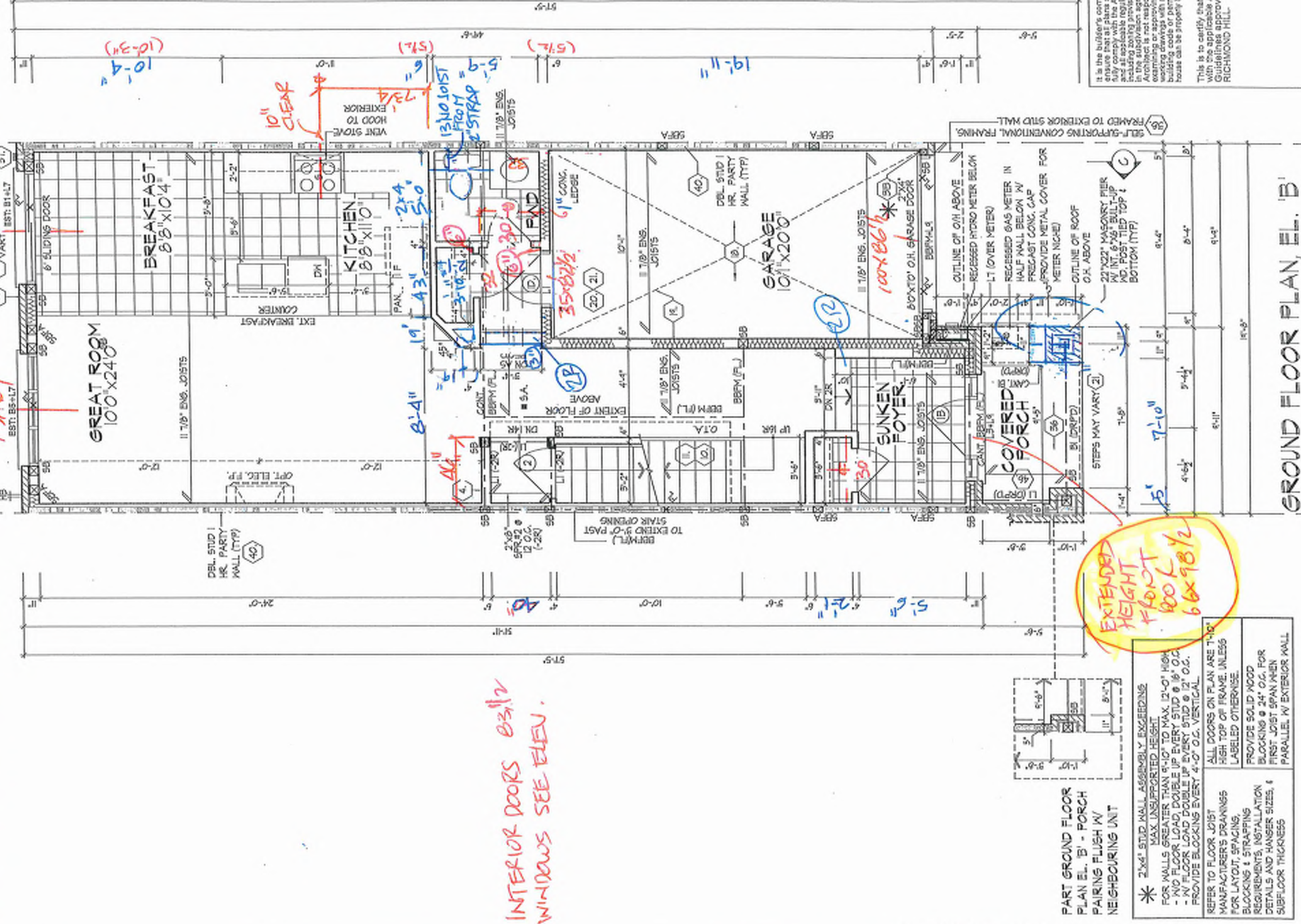


SITE	BAYVIEW HEIGHTS	DRAWN BY	PARAJEET	DATE	MAY 23, 2025
LOT #		CLIENT	ROYAL PINE HOMES		
Model	UNIT 2017	LAYOUT #			
SCALE: 1/8" = 1'-0"					

BK 9-59

Preliminary

NOT FINAL April 22 2025



PART GROUND FLOOR
PLAN EL. 'B' - PORCH
PAIRING FLUSH W/
NEIGHBOURING UNIT

* 2"x4" STUD WALL ASSEMBLY EXCEEDING
MAX UNBRIED HEIGHT
FOR WALLS GREATER THAN 8'-10" TO MAX. 12'-0" HIGH
- NO FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C.
- NO FLOOR LOAD, DOUBLE UP EVERY STUD @ 12" O.C.
PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
BLOCKING & STRAPPING
REQUIREMENTS, INSTALLATION
DETAILS AND HANGER SIZES, &
SUBFLOOR THICKNESS

ALL DOORS ON PLAN ARE 7'-10"
HIGH TOP OF FRAME, UNLESS
LABELED OTHERWISE
PROVIDE SOLID WOOD
BLOCKING @ 24" O.C. FOR
FIRST JOIST SPAN WHEN
PARALLEL W/ EXTERIOR WALL

EXTENDED
HEIGHT
FLOOR
6'0" x 9'8 1/2"

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subsequent agreement and any provisions in the subsequent agreement. In any way for working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

Bk 9-59

GROUND FLOOR PLAN, EL. 'B'

GROUND FLOOR PLAN, EL. 'B'

UNIT 2017
REV. 2025.03.26

ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.

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DESIGN ASSOCIATES INC.
www.hunt-design.ca

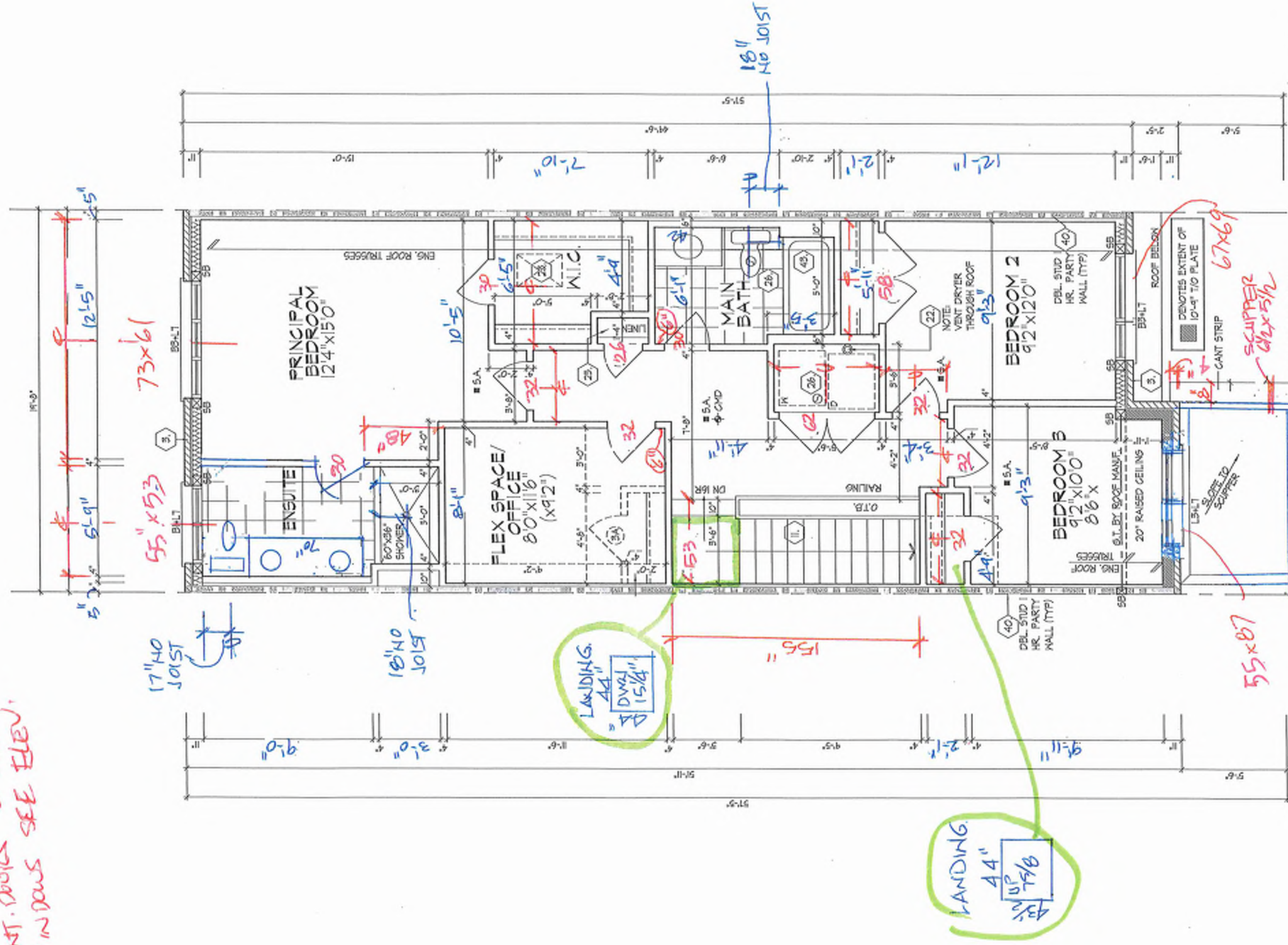
Per Member
218094WT2017
8 of 27

Checked By
DSMM 3/16/25
KMITT

8886 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.6133
F 905.737.7526

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INT. DOORS 8 3/4" SEE ELEV.
WINDOWS



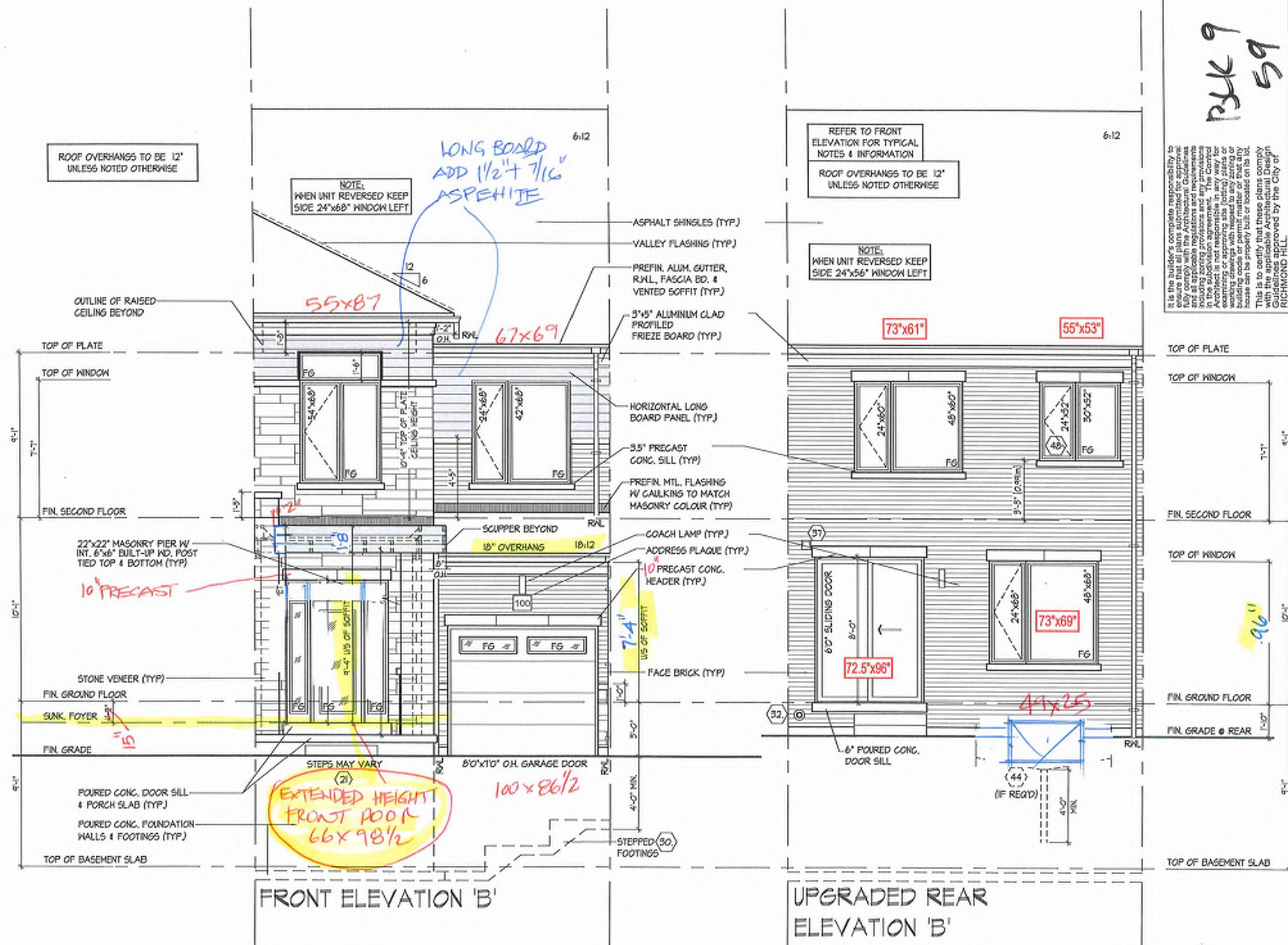
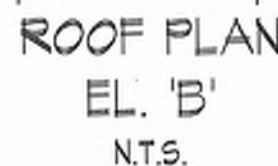
REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS
FOR LAYOUT, SPACING,
INSTALLATION DETAILS AND
HANGER SIZES.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any zoning plans or working drawings with respect to any zoning or building code or permit number or that any house can be properly built or located in that lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND Hill.

OPT. SECOND FLOOR PLAN,
EL. B W/ FLEX SPACE
(EL. B' & C' SIMILAR)

BK 9-59



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the City of Chicago. The Architect is not responsible in any way for examining or approving any (existing) plans or working drawings with respect to any zoning or building code or permit matter or tract any increase can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Chicago.

FRONT & UPGRADED REAR ELEVATION 'B'

UNIT 2017

REV. 2025.03.26

ROYAL PINE HOMES - 218094
2021 BAYVIEW, RICHMOND HILL, ON.

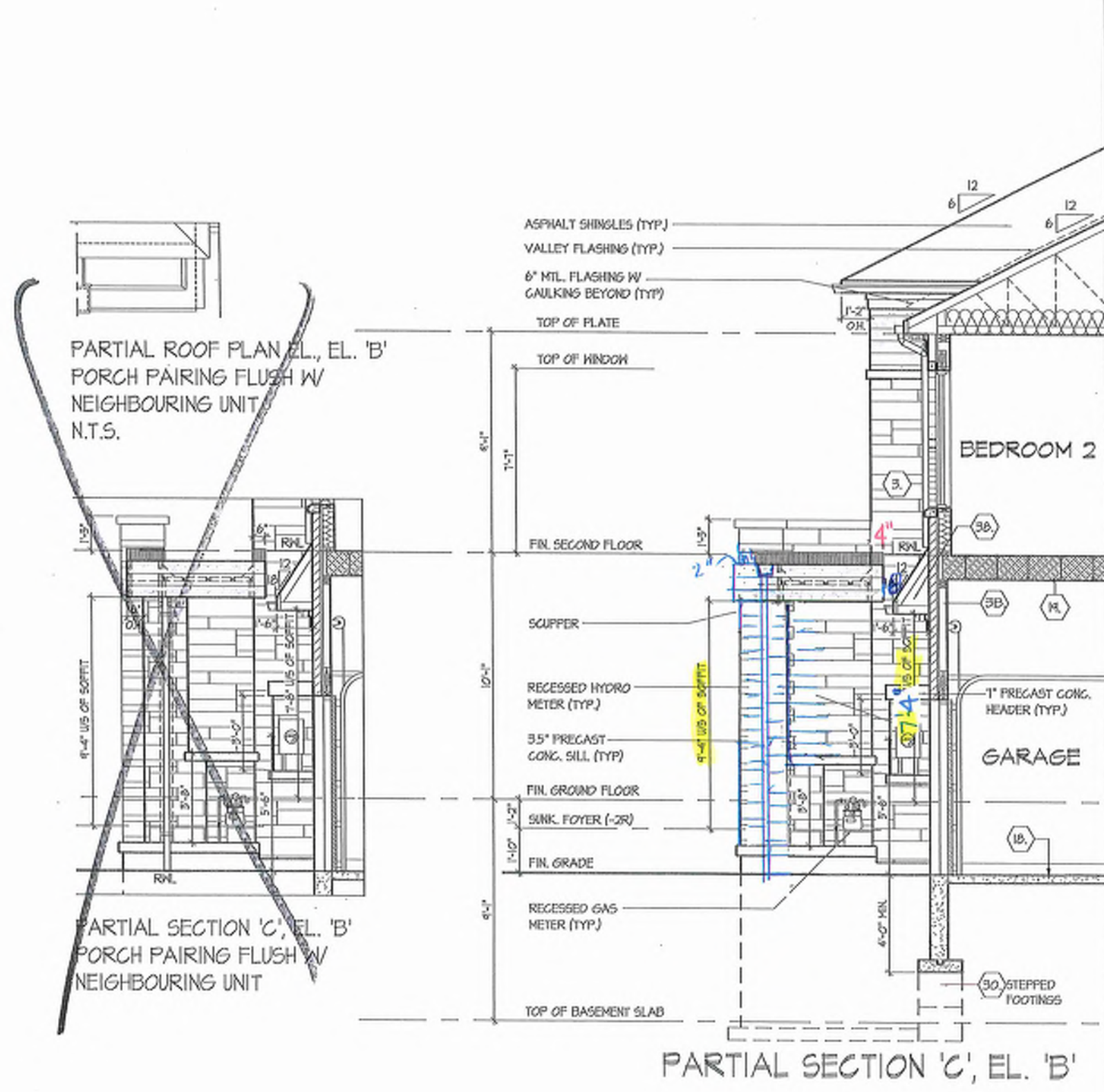
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DS/TT	DS/MM	3/16"=1'-0"	218094\VT2017	16 of 27
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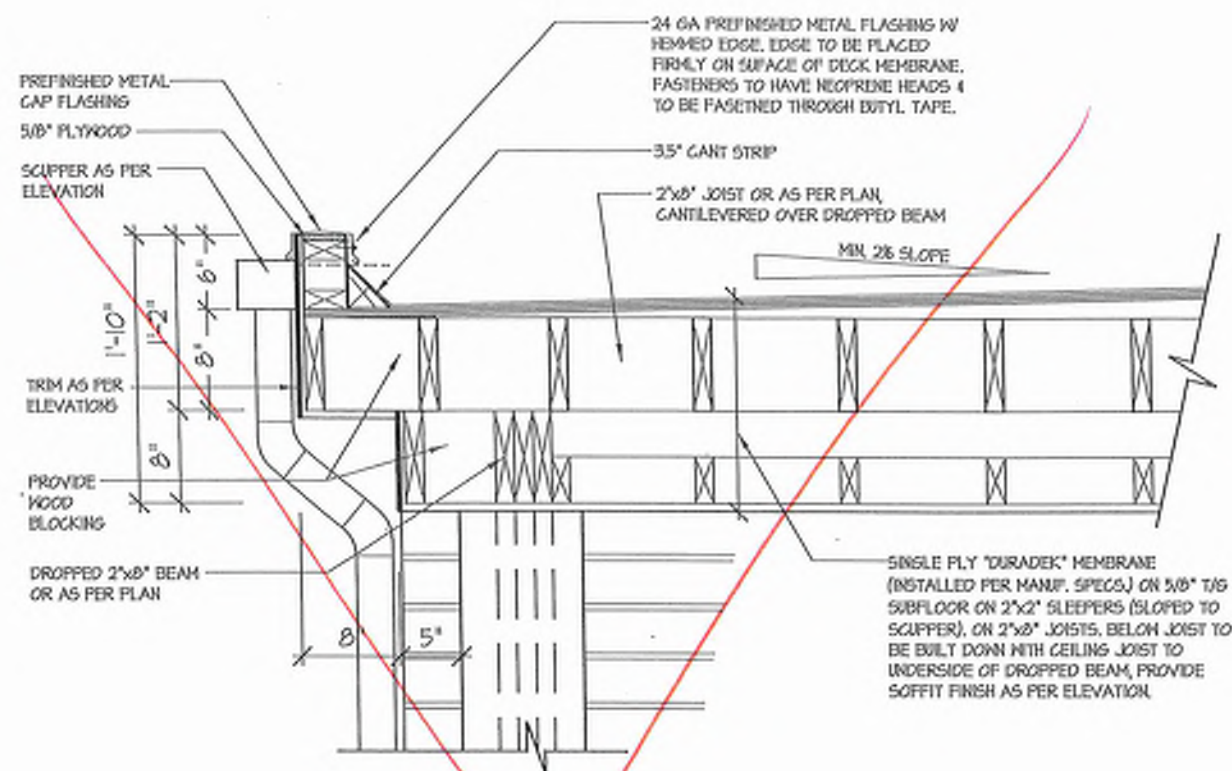
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NOT FINAL April 22 2025



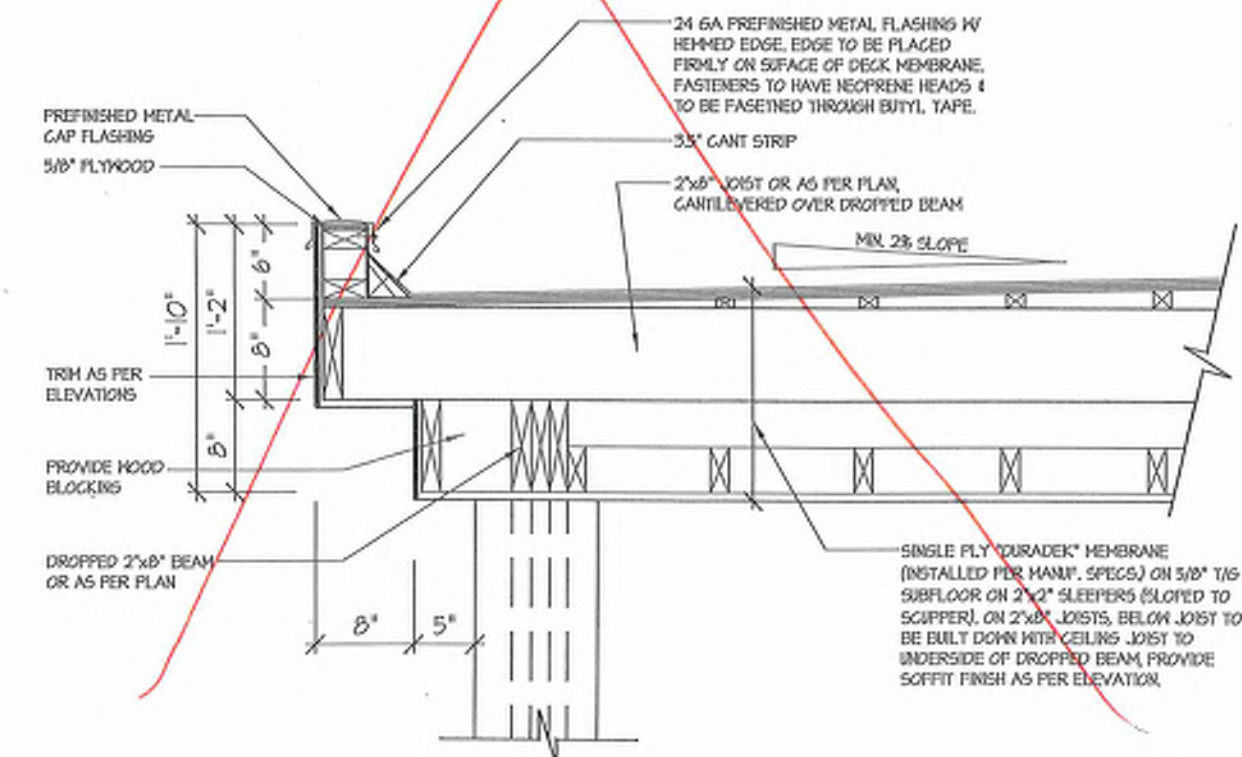
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of RICHMOND HILL.

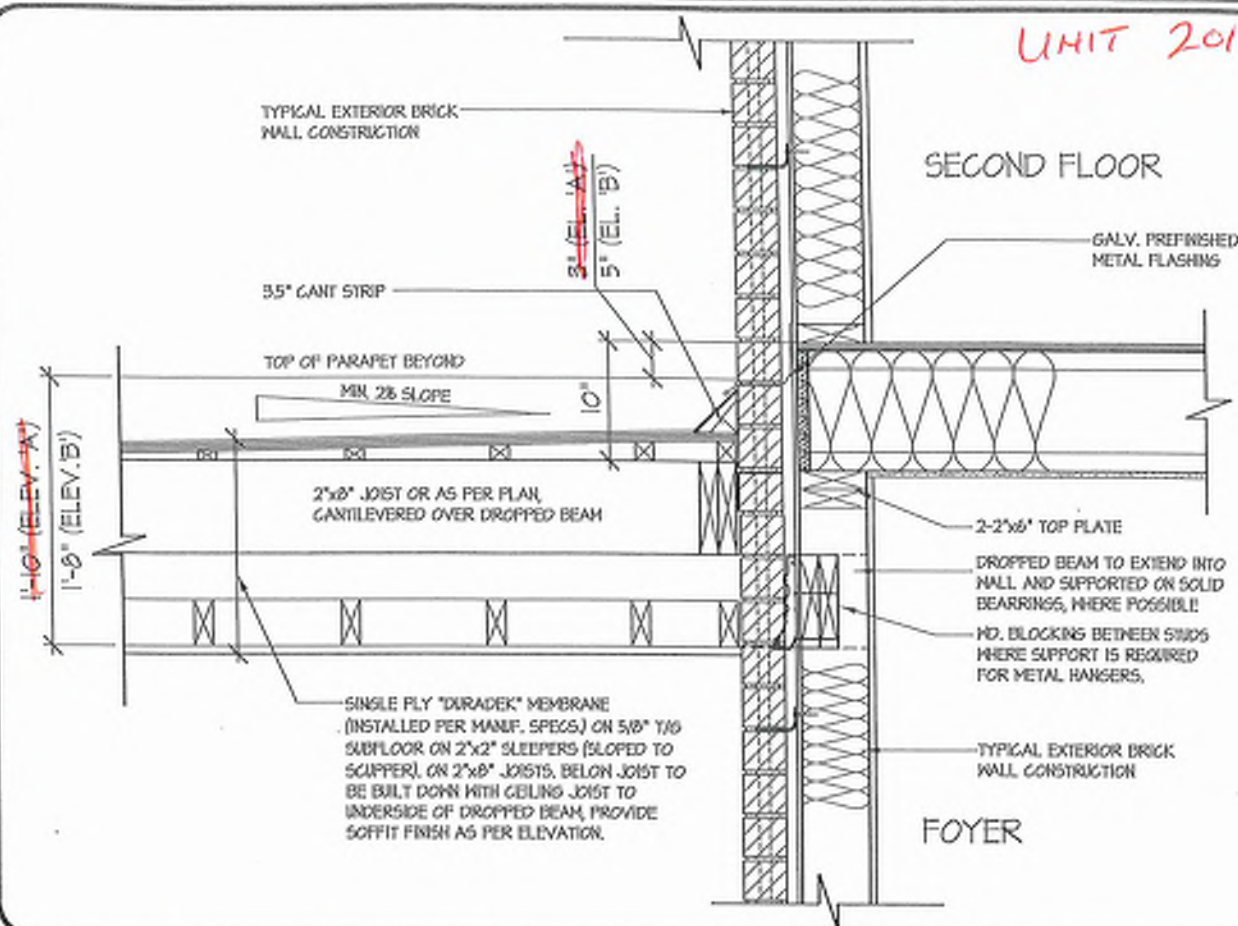
BK 9
59



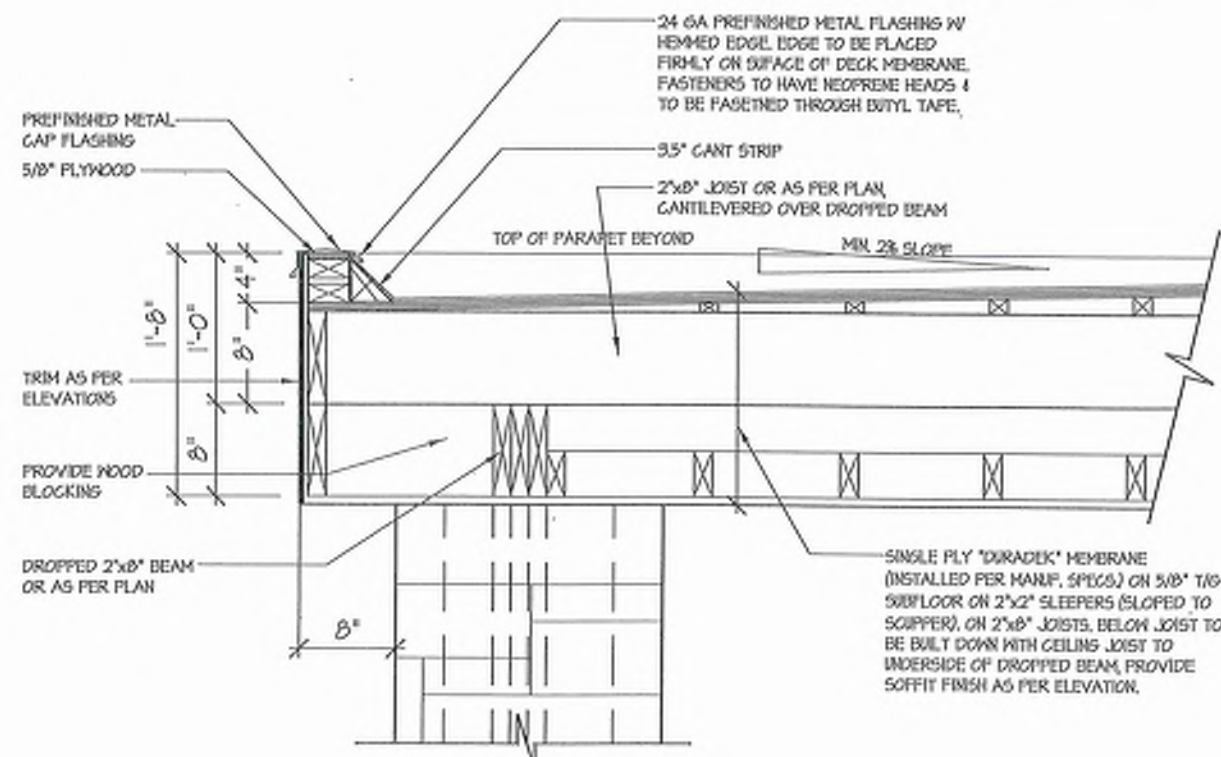
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)
3/4"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4"=1'-0"

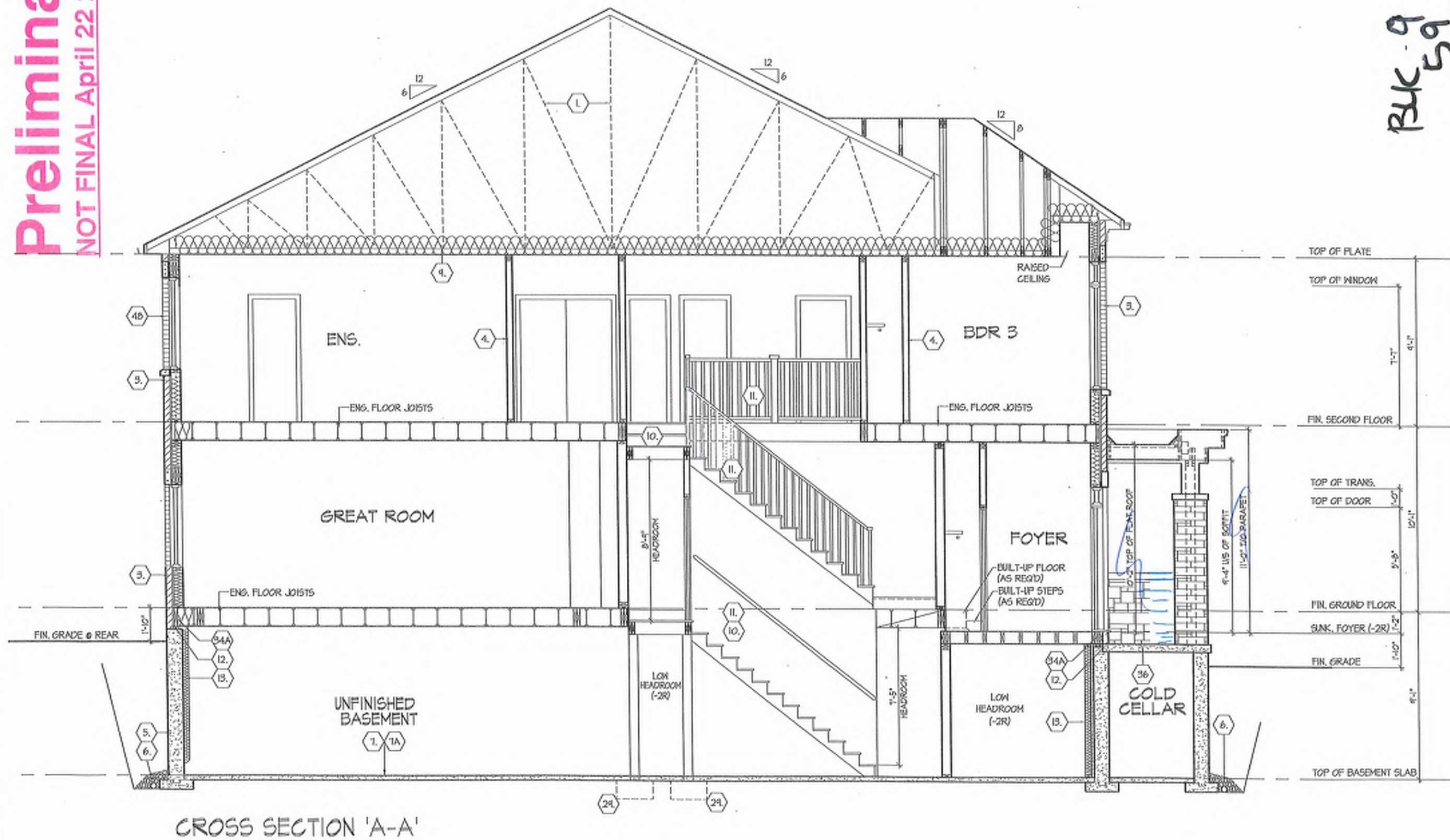


3 FLAT ROOF DETAIL @ EXTERIOR WALL
36"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/8"=1'-0"

Preliminary
NOT FINAL April 22 2025



Buk-9

CROSS SECTION 'A-A'

UNIT 2017

REV.2025.03.26

2000

17 27

1

ROYAL PINE HOMES - 218094
221 BAYVIEW, RICHMOND HILL, ON.

Drawn By	Checked By	Scout

DSJMM 3/16²=1.0³

1505 Woodbine Ave., Markham, ON L3R 0J7 T 905.337.5111

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21276
QUALIFICATION INFORMATION
 Deming Mobile

NAME	SSN/72912	DATE
REGISTRATION INFORMATION	50472912	11/11/11

MUNT DESIGN ASSOCIATES INC. 19885

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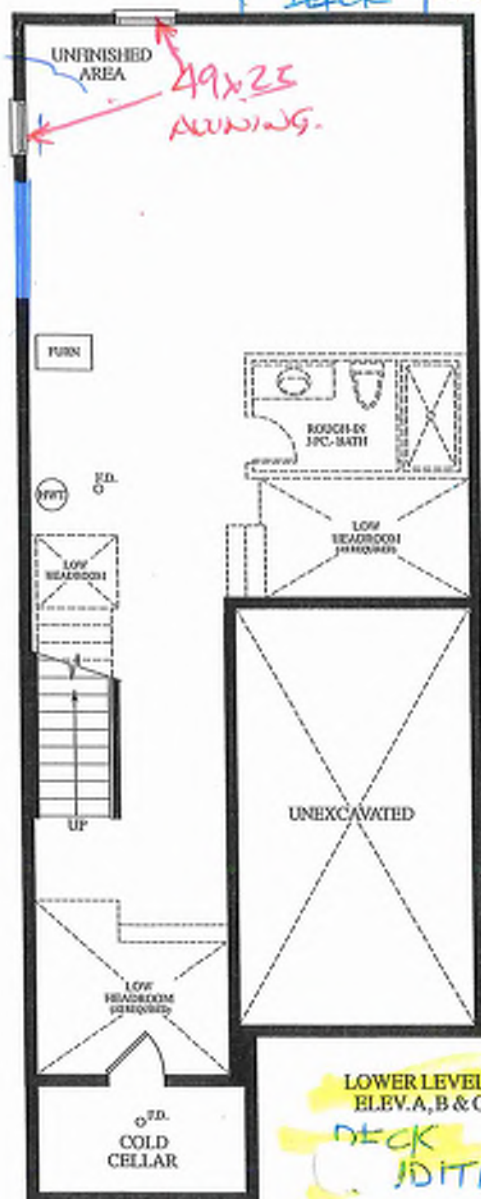


BAYVIEW HEIGHTS

RICHMOND HILL

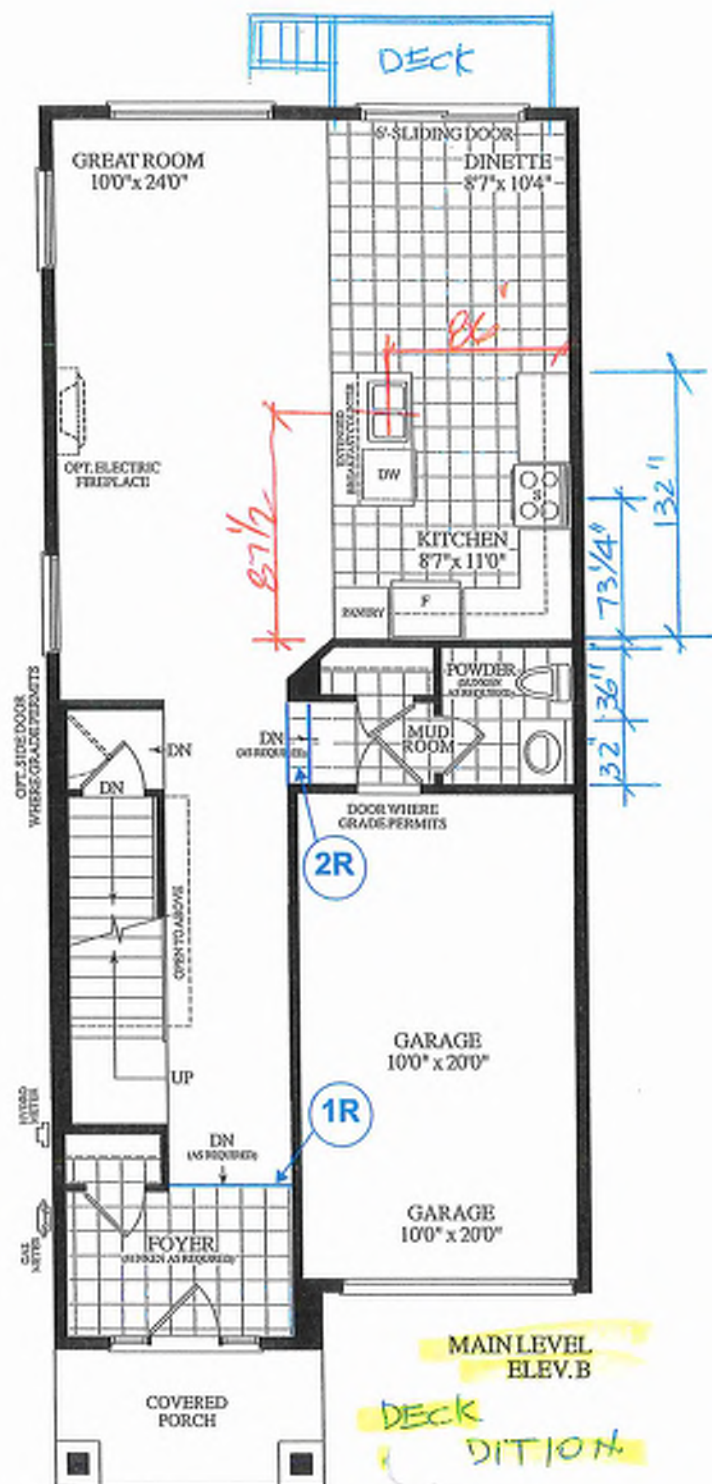


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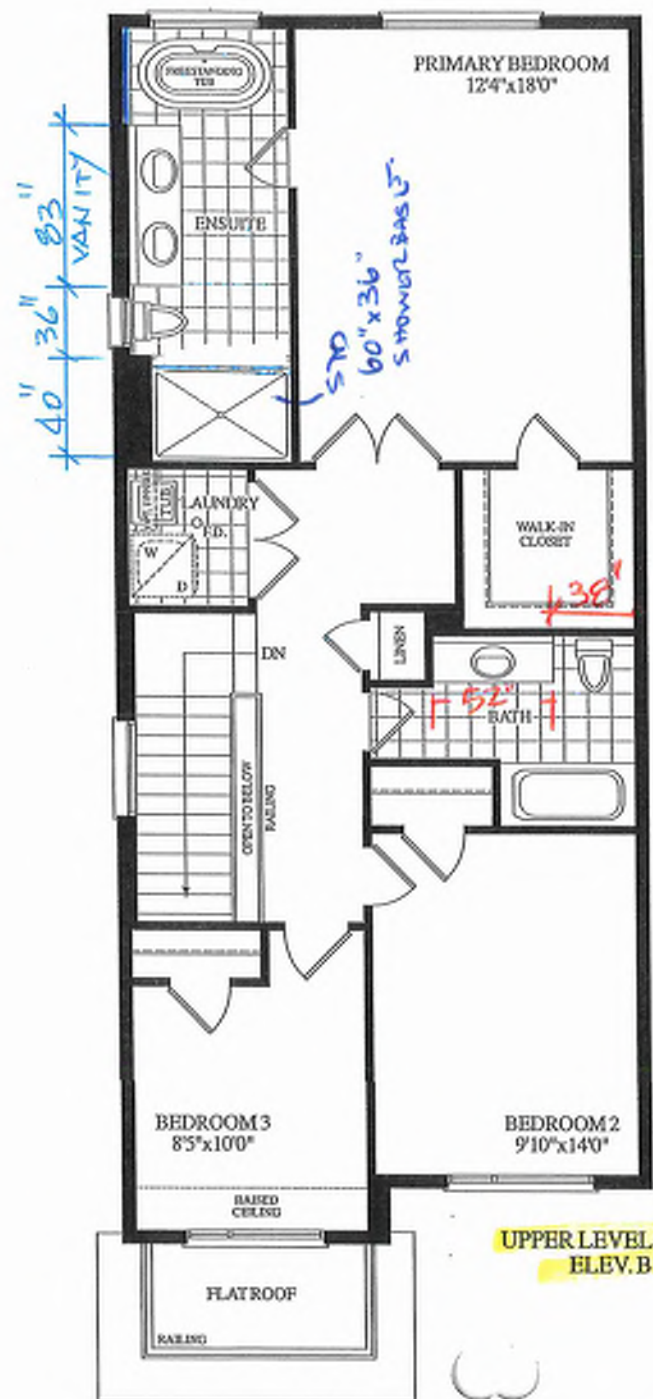
LOWER LEVEL
ELEV. A, B & C

ADDITION



MAIN LEVEL
ELEV. B

DECK

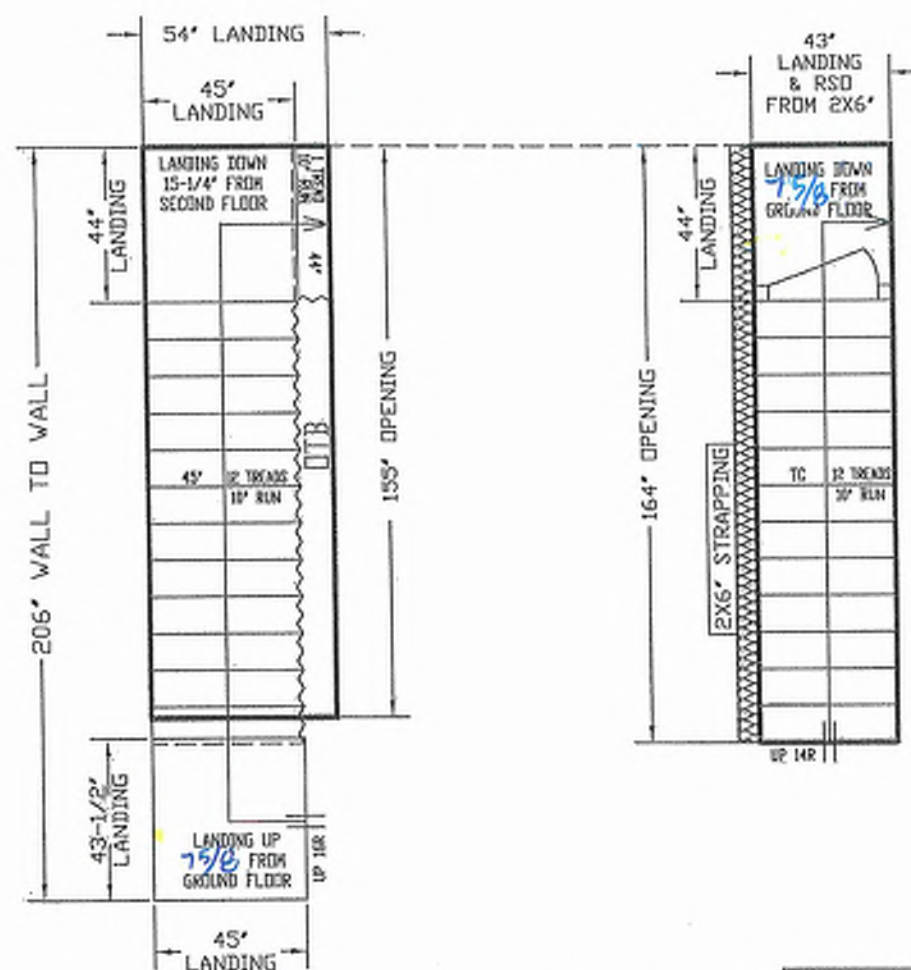
UPPER LEVEL
ELEV. B

Materials, specifications and floor plans are subject to change without notice. All renderings are artist's concept. All floor plans are approximate dimensions. Actual usable floor space may vary from the stated floor area. E&OE

BLK.9 TH. 60 20-18 THE KATHERINE (END) EL. B 3 BDRM 2 BATH 1815 SQ.FT.

GROUND TO SECOND
122" HT 11-7/8" JOIST

BASEMENT TO GROUND
BSMT 11-7/8" JOIST



BK 9-60

ALL OPENINGS ARE ALLOWED FOR 1 LAYER OF DRY WALL
ANY ADDITIONAL LAYERS MUST BE ALLOWED BY CARPENTERS

STAIRS LINE UP BY
THE EXTERIOR WALL

NO WALLS UNTIL
STAIRS INSTALLED

REVISED
JUNE 4, 2025

GARAGE RIGHT >

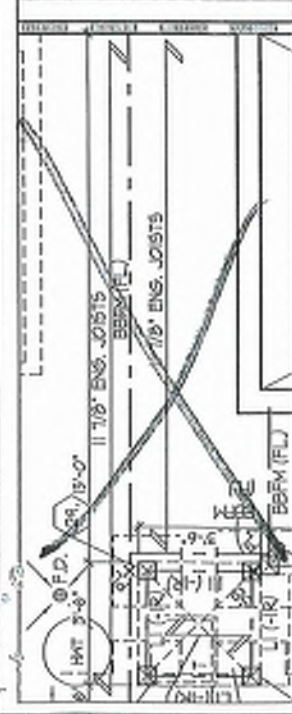


ALL LANDINGS TO BE SUPPLIED AND SUPPORTED BY OTHERS UNLESS SPECIFIED ABOVE
ANY STRAPPING ALLOWANCES TO BE COMPLETED BY CARPENTERS
ALL STAIRS AND RAILINGS TO BE MODIFIED FROM ORIGINAL ALFA STAIRS OR RAILINGS AS SUPPLIED TO ALFA STAIRS AND RAILINGS INC. HEADQUARTERS SHOWN ON LAYOUTS ARE REQUIRED TO INSTALL OUR STAIRS. ANY PROBLEM WITH HEADROOM OR STRAPPING ALLOWANCES, ALFA STAIRS AND RAILINGS INC. WILL NOT BE RESPONSIBLE. STAIR LAYOUTS SHOULD BE CHECKED BY CARPENTERS OR SITE SUPERVISORS TO MAKE SURE THERE ARE NO INTERFERENCE BEFORE PROCEEDING WITH CONSTRUCTION.
ALFA STAIRS AND RAILINGS INC.
3770 WASHA DRIVE, UNIT 3 MISSISSAUGA, ONTARIO L4V 1H6
TEL: (905) 694-9556 | www.alpastairs.com

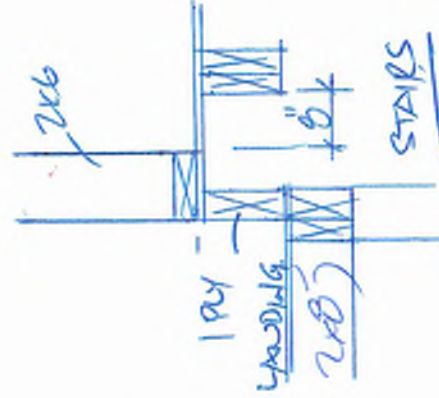


SITE
BAYVIEW
HEIGHTS
LOT #
UNIT 2018
END

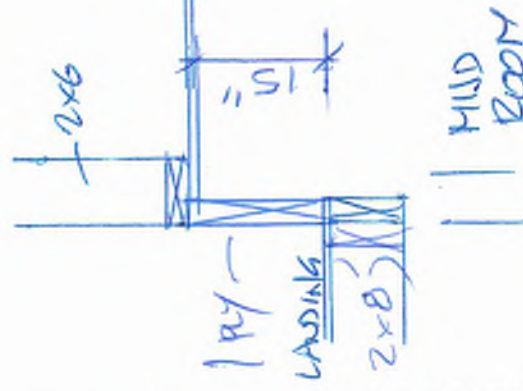
NAME	DATE
PARAMJEET	MAY 23, 2025
CLIENT	ROYAL PINE HOMES
LAYOUT #	
SCALE	1/4" = 1'-0"



**PART. BASEMENT
PLAN FOR NOT
SUNKEN MUDROOM
COND.**



LANDING
43" DWN" 7/12



Preliminary
NOT FINAL April 22 2025

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS	APPROX. LOCATION OF FURNACE AND HOT WATER TANK
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL	

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE GEORGIA BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

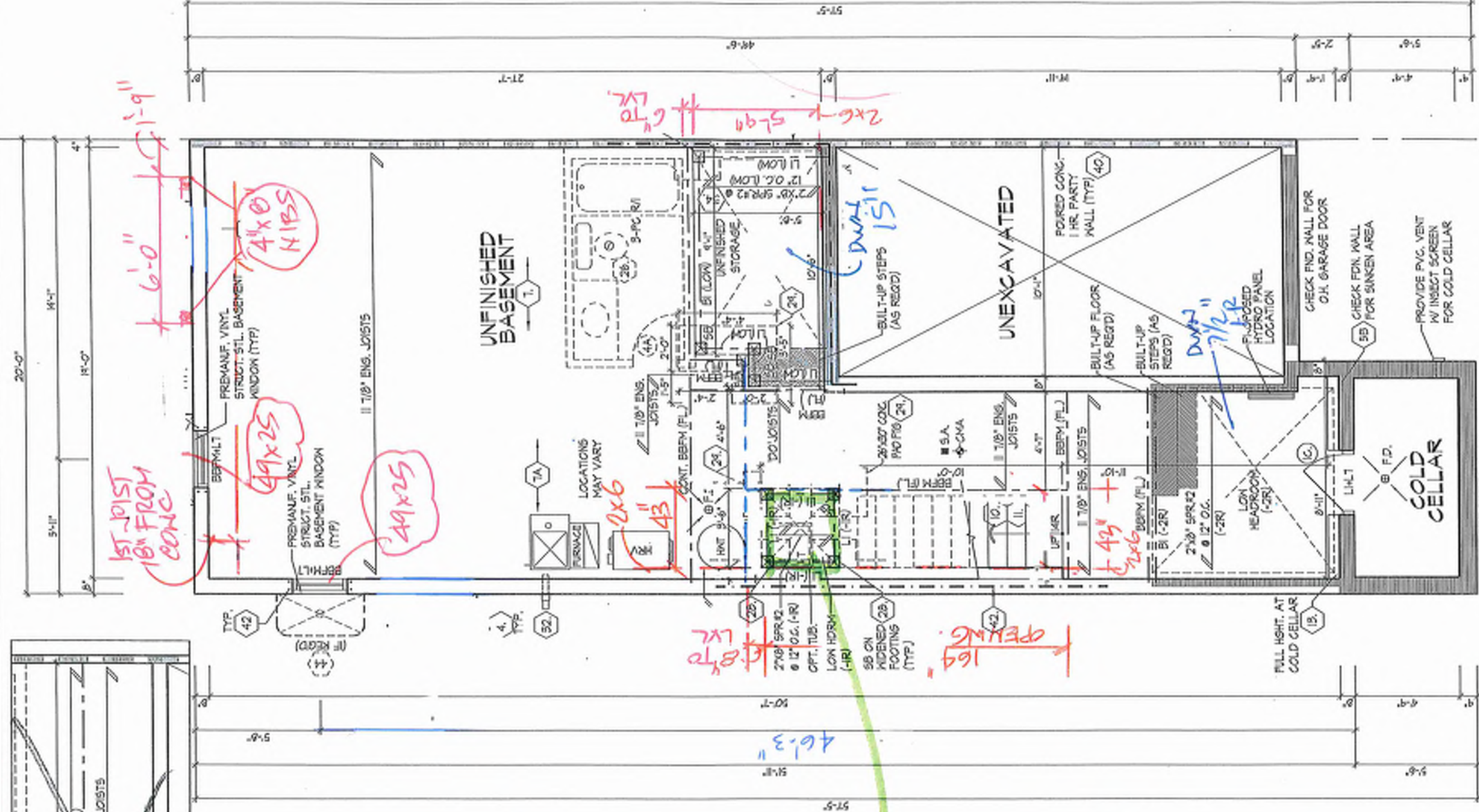
Domestic Mobile

REGISTRATION INFORMATION

21274

19095

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BASEMENT PLAN, EL. 'A', 'B' & 'C'

BK 9-60

BASEMENT PLAN, EL. 'A', 'B' & 'C'

ROYAL PINE HOMES - 218094

921 BAYVIEW, RICHMOND HILL, ON.

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UNIT 2018-END

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Page Number

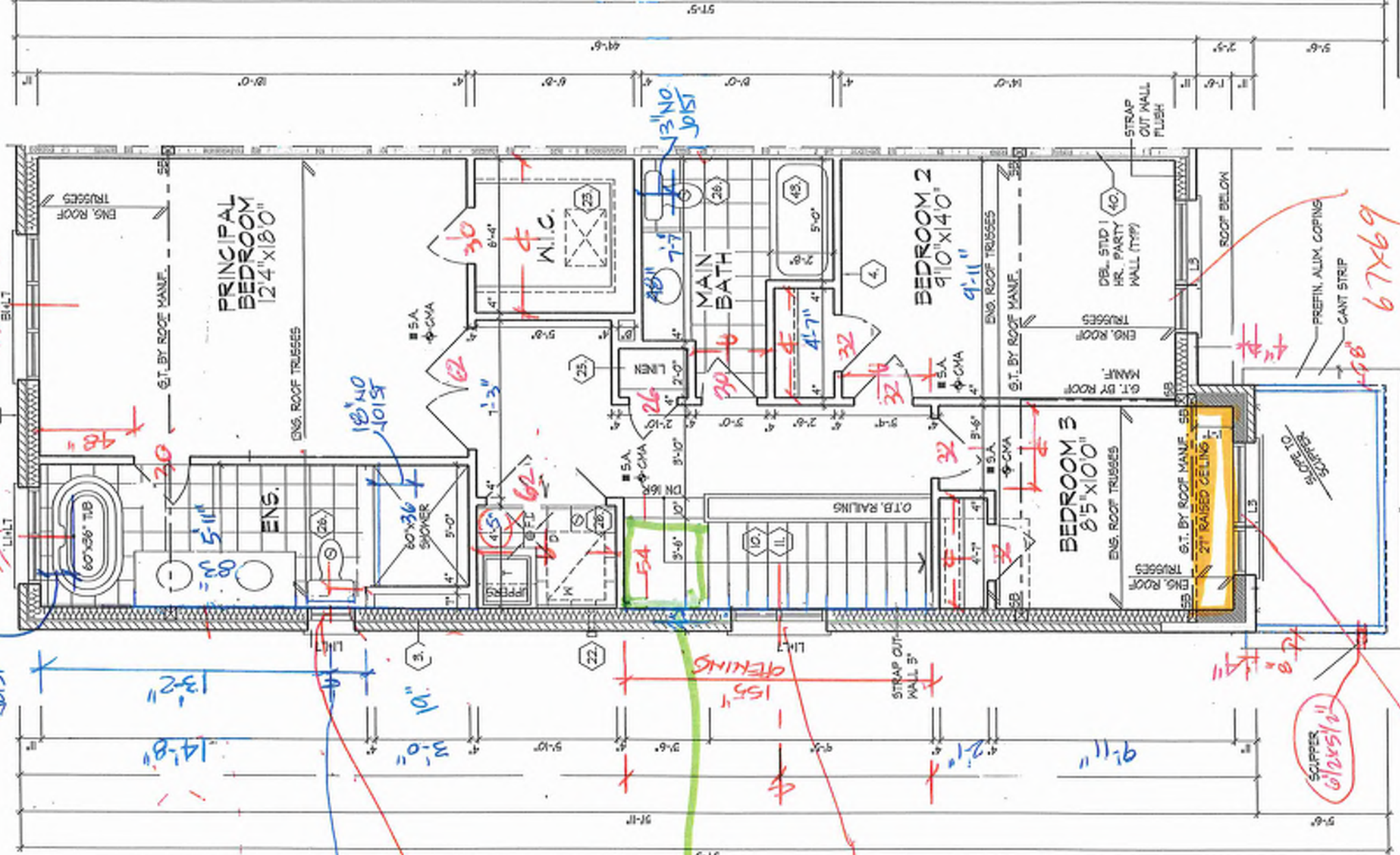
2 of 31

218094WT2018-END

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SECOND FLOOR PLAN, EL. 'B'

BLK 9-60



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SECOND FLOOR PLAN, EL. 'B'

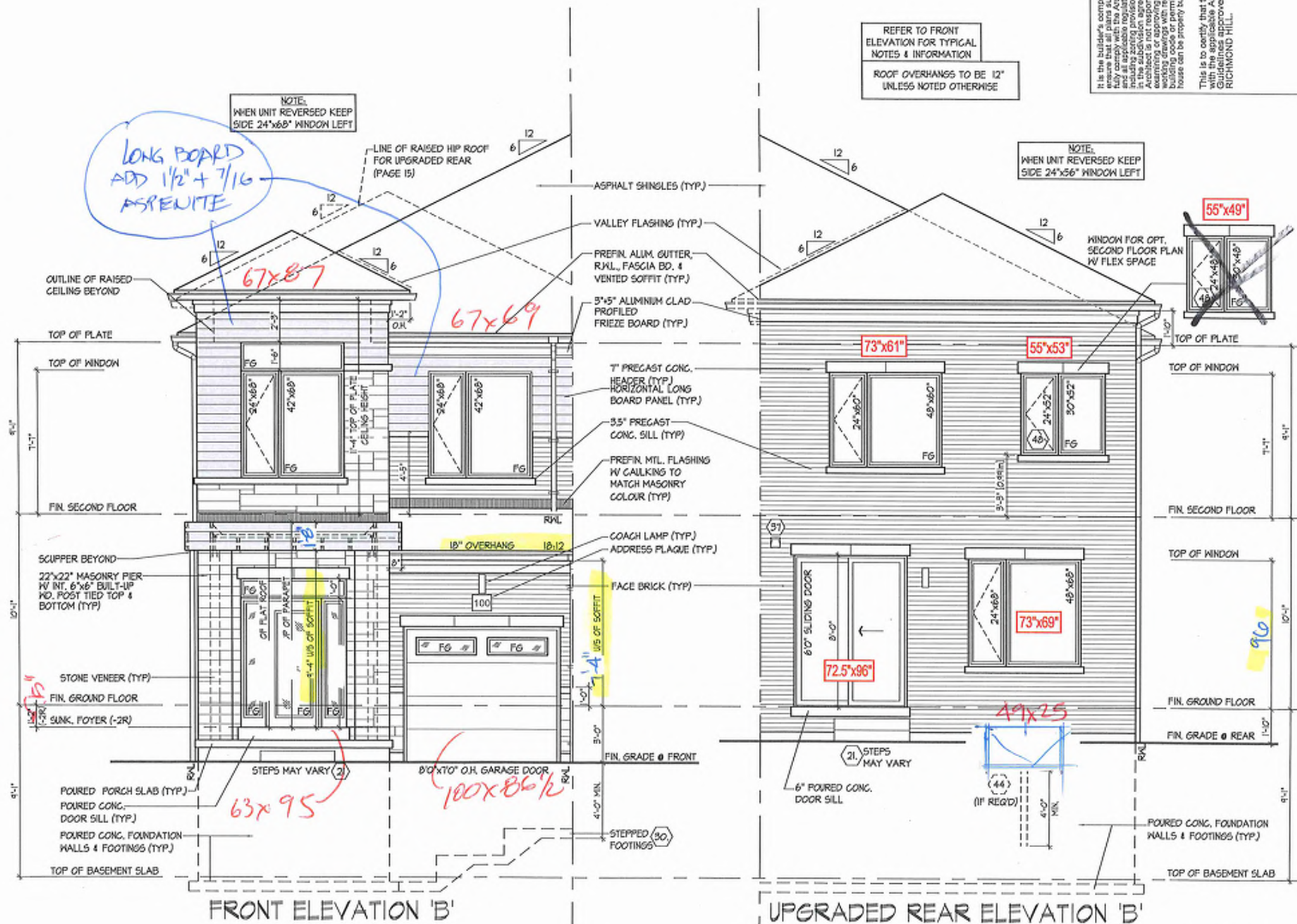
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File Number
218094W/2018-END

Project Number
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ROOF PLAN
EL. 'B'
N.T.S.



Bk 9-60

FRONT & UPGRADED REAR ELEVATION 'B'

UNIT 2018-END
REV. 2025.03.27

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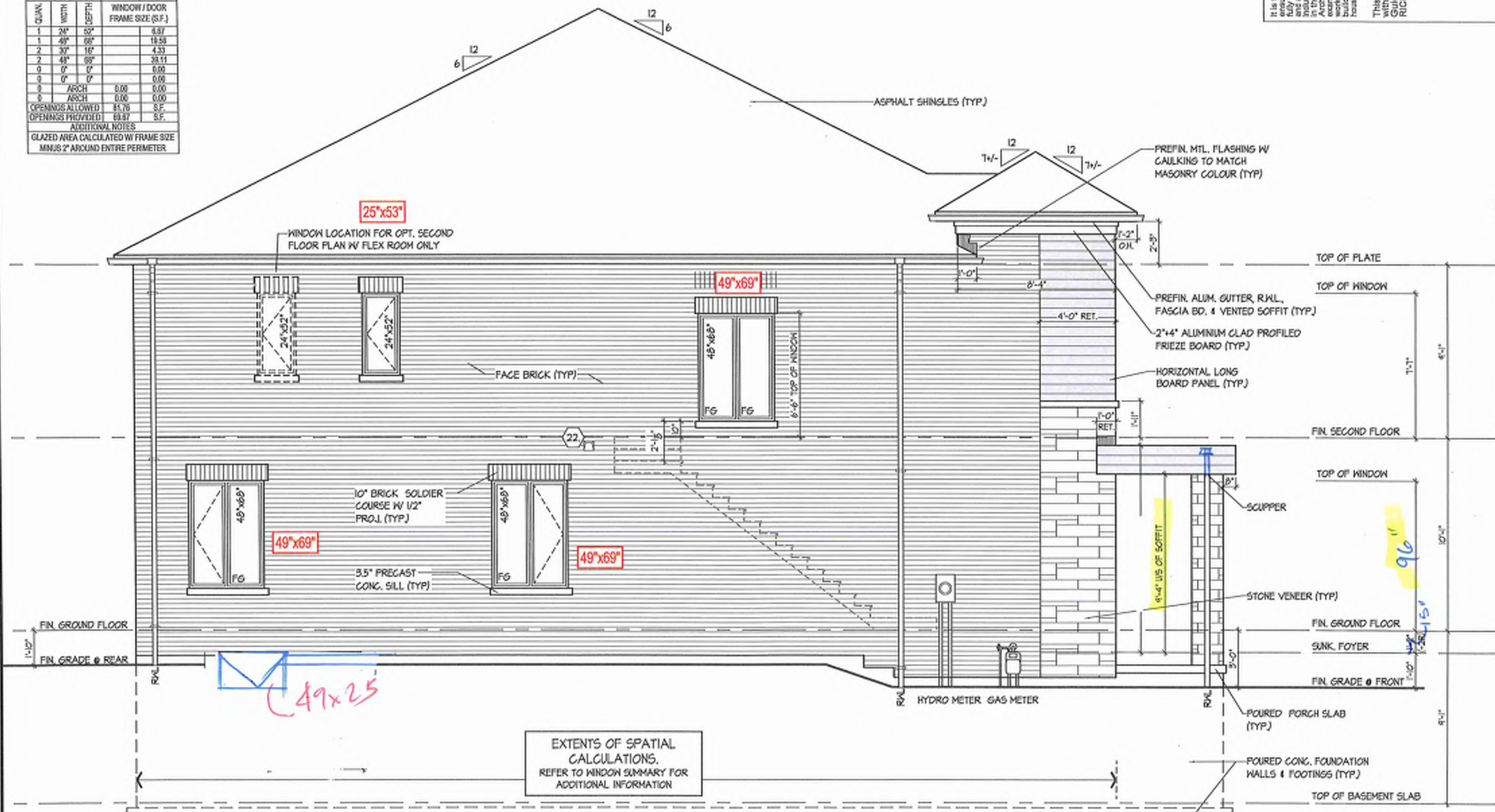
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Drawn By: KMTT
Checked By: MMDS
Scale: 3/16"=1'-0"
File Number: 218094WT2018-END
Page Number: 18 of 31

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SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B			
EXPOSING BUILDING	1188.00	S.F.	
FACE AREA	108.51	S.M.	
PORTION WALL AREA	1188.00	S.F.	
	108.51	S.M.	
LIMITING DISTANCE	1.2 m		
MAX. % OPENINGS	7	%	
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	52"	8.37
1	48"	68"	18.58
2	30"	16"	4.33
2	48"	68"	28.11
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
OPENINGS ALLOWED	81.78	S.F.	
OPENINGS PROVIDED	88.87	S.F.	
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			



LEFT SIDE ELEVATION 'B'

UNIT 2018-END

REV. 2025.03.27

218094

ROYAL PINE HOMES - 218094

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Scale: 3/16" = 1'-0"

Drawn by: MMDS

Checked by: MMDS

218094WT2018-END

19 of 31

Page Number: 1905.737.7326

SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B - FOR UPGRADED REAR			
EXISTING BUILDING	1998.00	S.F.	
FACE AREA	109.51	S.M.	
PORTION WALL AREA	1164.00	S.F.	
	108.51	S.M.	
LIMITING DISTANCE	1.2m		
MAX. % OPENINGS	7	%	
QUAN	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	24"	52"	6.67
1	48"	68"	29.58
2	30"	18"	4.33
2	48"	68"	29.11
0	0"	0"	0.00
0	0"	0"	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
OPENINGS ALLOWED 81.76 S.F.			
OPENINGS PROVIDED 89.87 S.F.			
ADDITIONAL NOTES			
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

VALLEY FLASHING (TYP)

ASPHALT SHINGLES (TYP)

3"x5" ALUMINUM CLAD PROFILED FRIEZE BOARD (TYP)

PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY COLOUR (TYP)

25"x53"

FACE BRICK (TYP)

10" BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP)

3.5" PRECAST CONC. SILL (TYP)

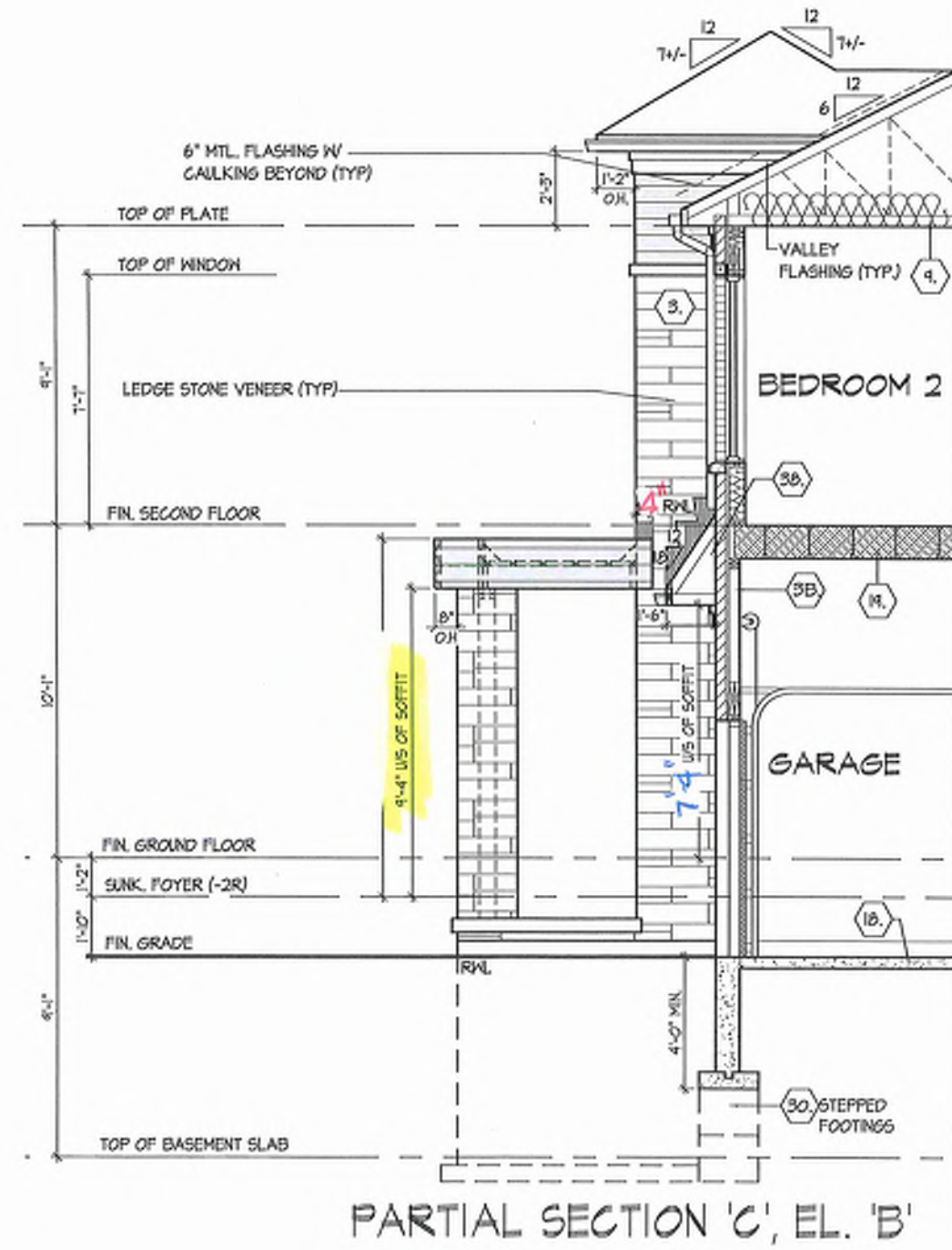
49"x69"

49"x69"

49"x25"

PART. LEFT SIDE EL. 'B' - UPGRADED REAR CONDITION

ROOF PLAN UPGRADED REAR EL. 'B' N.T.S.



PARTIAL SECTION 'C', EL. 'B'

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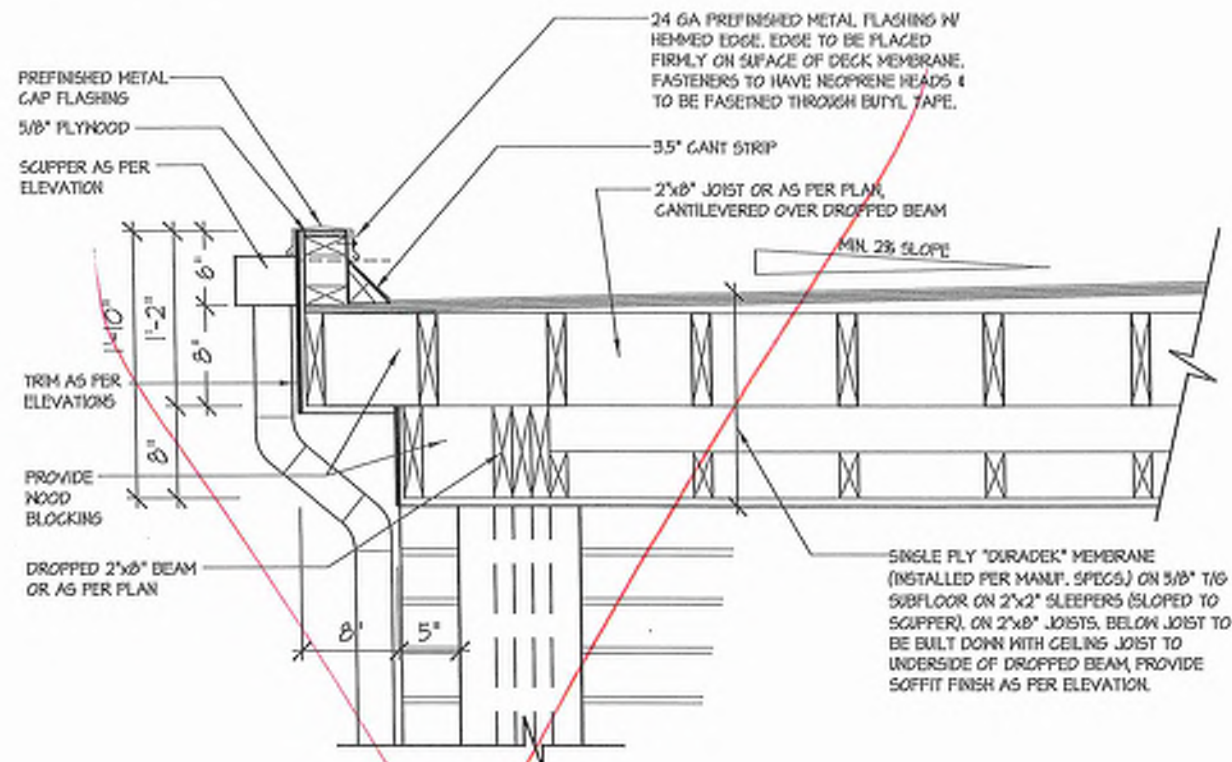
BLK 7
60

PARTIAL UPGRADED SIDE ELEVATION 'B' & PART. SECTION 'C', EL. 'B'
ROYAL PINE HOMES - 218094
921 BAYVIEW, RICHMOND HILL, ON.
UNIT 2018-END
REV. 2025.03.27

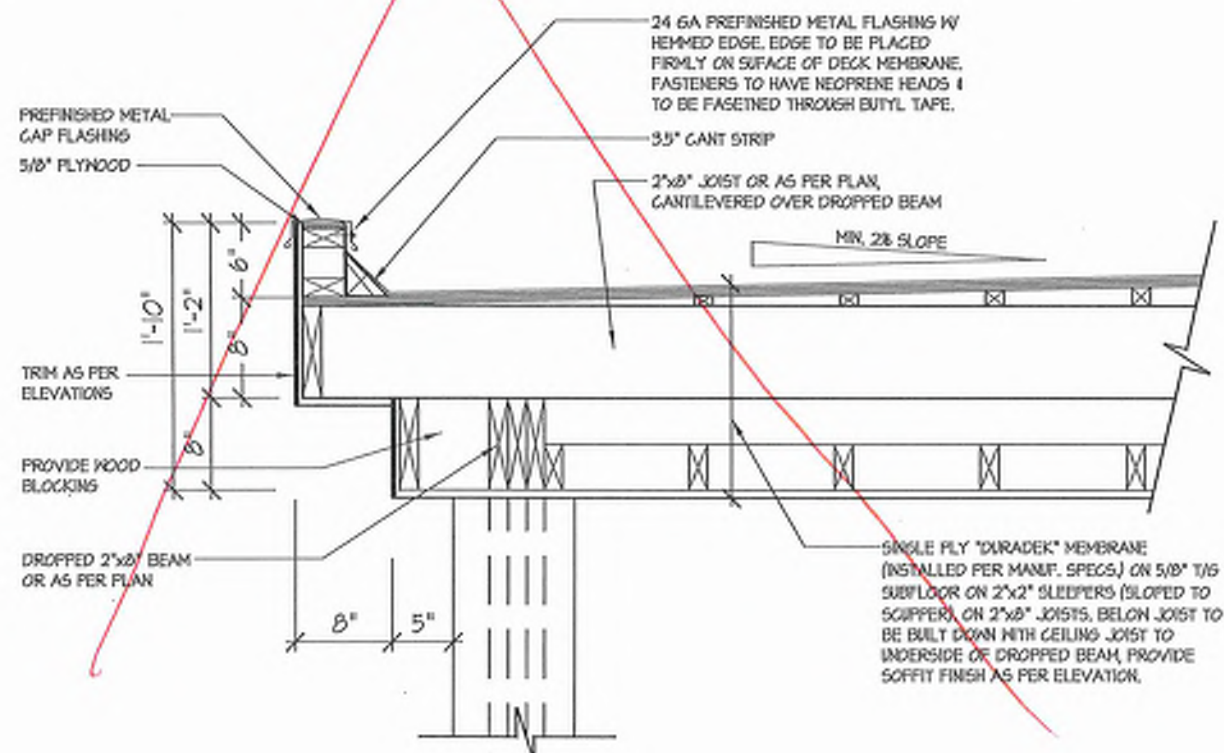
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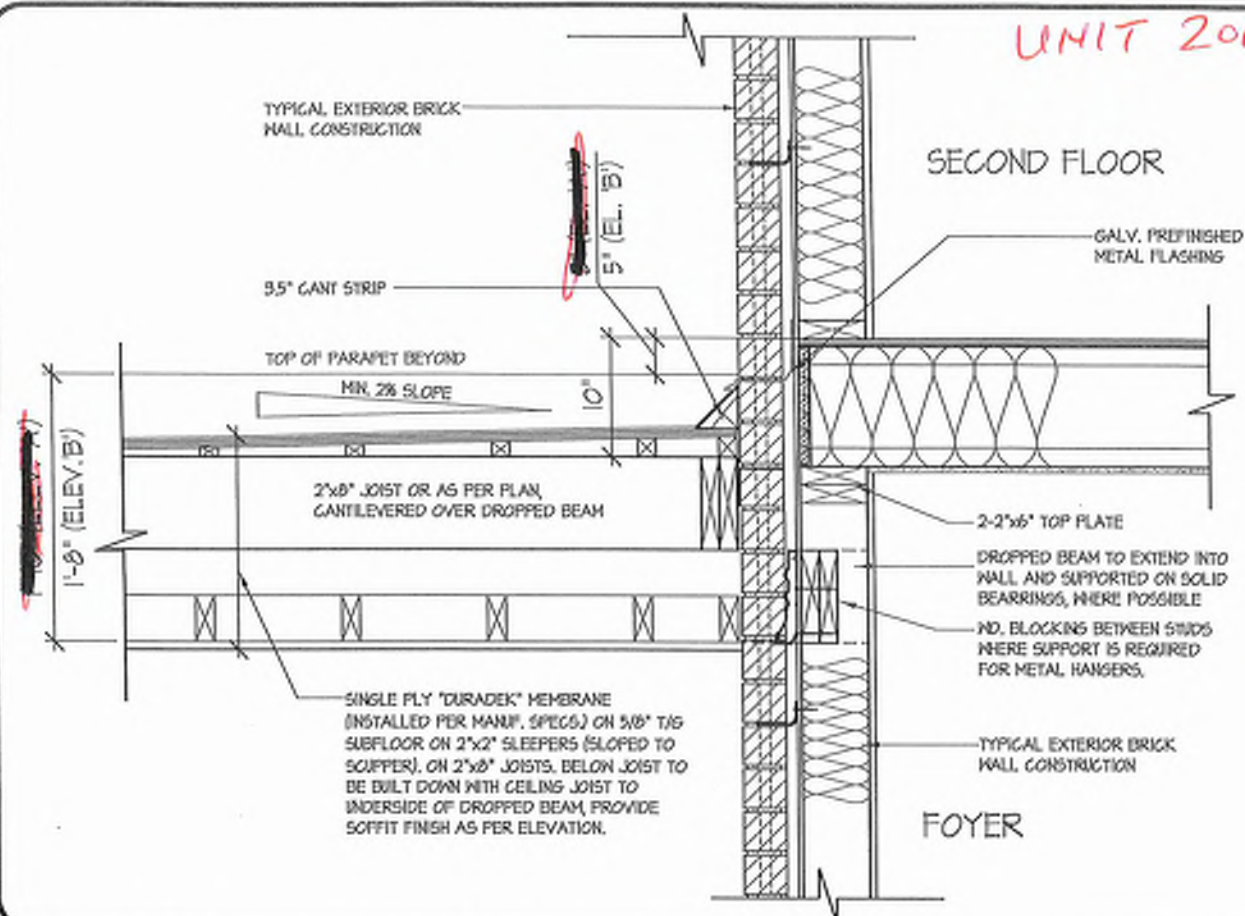
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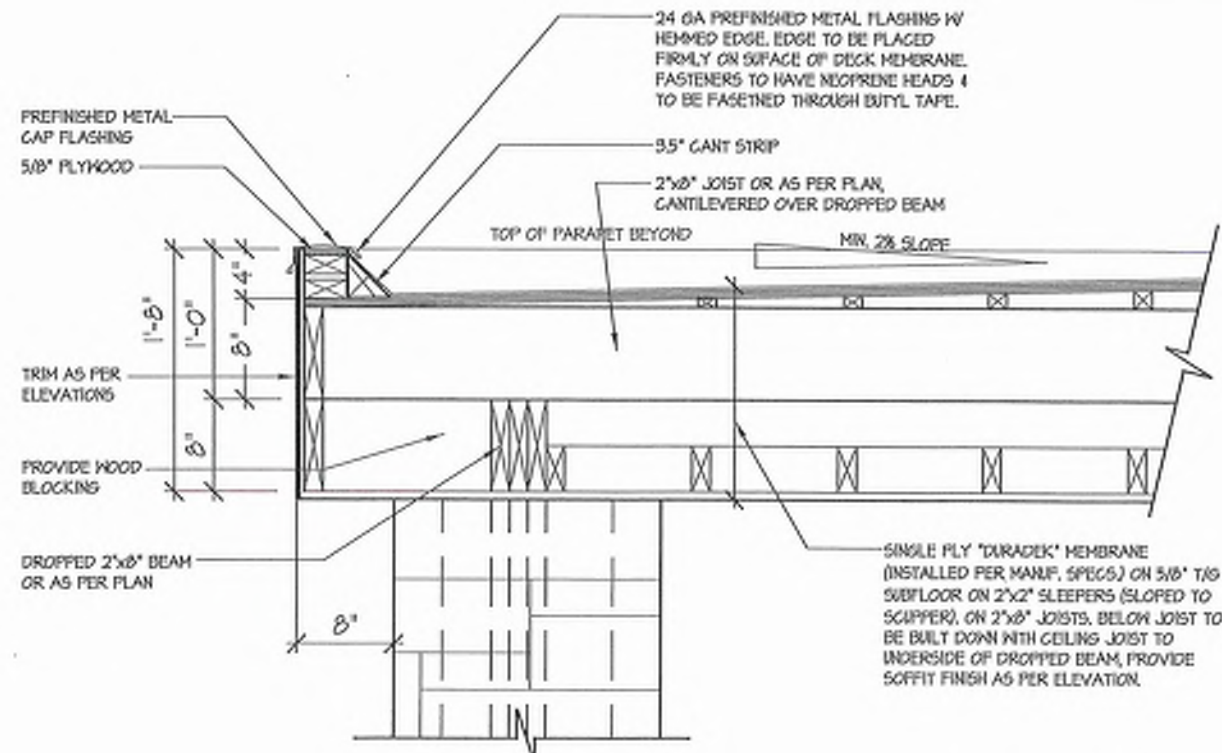
1B FLAT ROOF DETAIL @ SIDE RETURN FOR ELEV. 'A' (ELEV. 'B' SIMILAR)
3/4"=1'-0"



1 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'A'
3/4"=1'-0"



3 FLAT ROOF DETAIL @ EXTERIOR WALL
3/4"=1'-0"



2 FLAT ROOF DETAIL @ COVERED PORCH FOR ELEV. 'B'
3/4"=1'-0"

UNIT 2010

SECOND FLOOR

FOYER

Bk 9-60

FLAT ROOF DETAILS OVER COVERED PORCH

UNIT 2015

REV. 2025.03.25

27 of 29

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921 BAYVIEW, RICHMOND HILL, ON.

Drawn By: KMM
Checked By: DS/MM
Scale: 3/16"=1'-0"

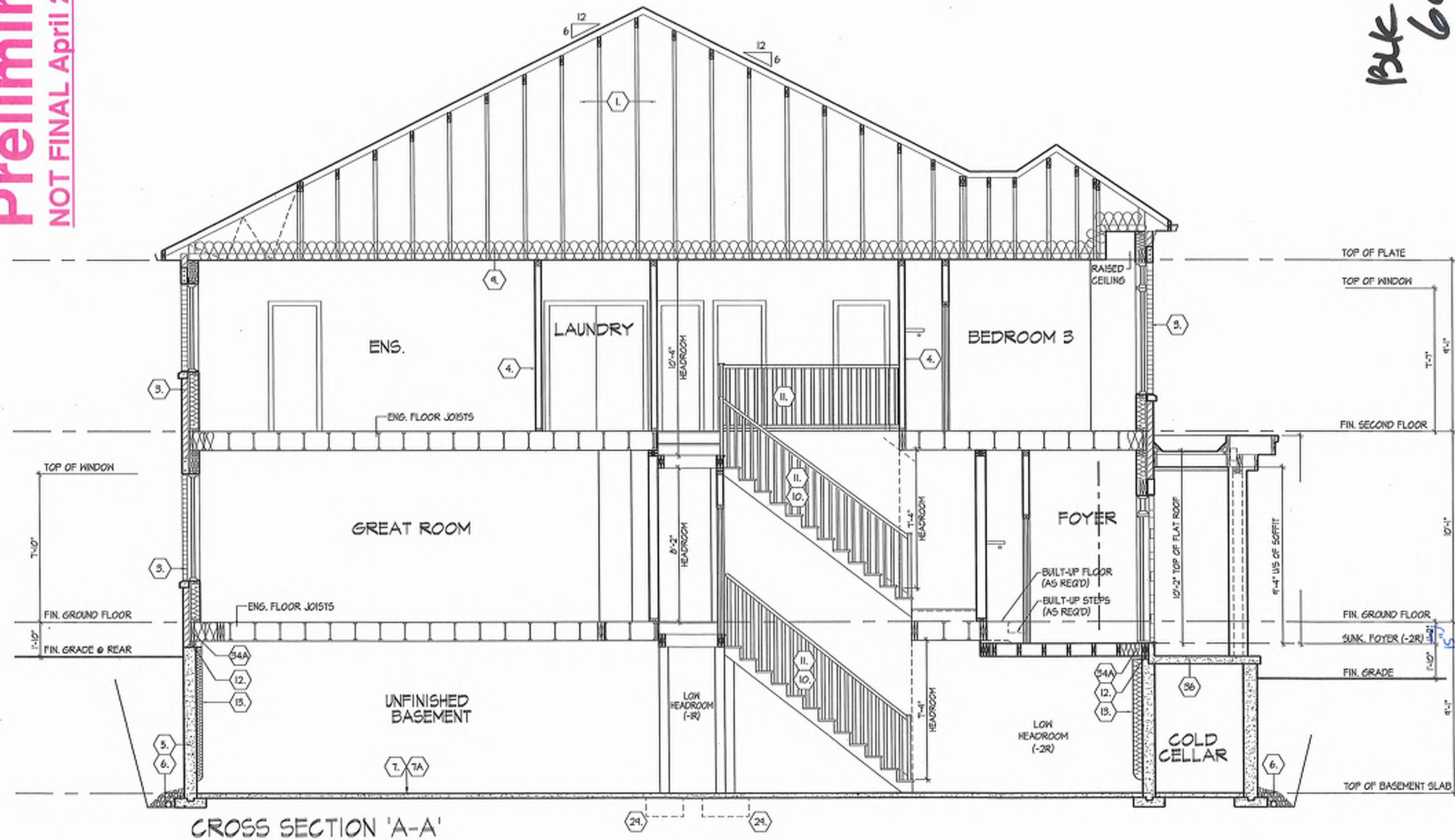
Date: 218094WT2015
F 905.757.7326

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6-2K9



CROSS SECTION 'A-A'

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UNIT 2018-END
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NAME	SIGNATURE	BCN
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