



FRONT ELEVATION 'A'

FRONT ELEVATION 'B'

FRONT ELEVATION 'C'

# 38-07 Aspen

## Drawing List:

- A0 TITLE SHEET
- A1 BASEMENT FLOOR ELEV 'A'  
PARTIAL BASEMENT FLOOR ELEV 'B' & 'C'
- A2 GROUND FLOOR ELEV 'A'
- A3 SECOND FLOOR ELEV 'A'  
OPT. LAUNDRY
- A4 OPT. SECOND FLOOR ELEV 'A'  
OPT. LAUNDRY
- A5 GROUND FLOOR ELEV 'B'
- A6 SECOND FLOOR ELEV 'B'
- A7 OPT. SECOND FLOOR ELEV 'B'  
OPT. LAUNDRY
- A8 GROUND FLOOR ELEV 'C'
- A9 SECOND FLOOR ELEV 'C'  
OPT. LAUNDRY
- A10 OPT. SECOND FLOOR ELEV 'C'  
OPT. LAUNDRY
- A11 FRONT ELEVATION 'A'  
ROOF PLAN ELEV 'A'
- A12 RIGHT SIDE ELEVATION 'A'
- A13 REAR ELEVATION 'A', 'B' & 'C'
- A14 LEFT SIDE ELEVATION 'A'
- A15 FRONT ELEVATION 'B'  
ROOF PLAN ELEV 'B'
- A16 RIGHT SIDE ELEVATION 'B'
- A17 LEFT SIDE ELEVATION 'B'
- A18 FRONT ELEVATION 'C'  
ROOF PLAN ELEV 'C'
- A19 RIGHT SIDE ELEVATION 'C'
- A20 LEFT SIDE ELEVATION 'C'
- A21 OPT FINISHED BASEMENT FLOOR ELEV. 'A', 'B' & 'C'  
W/ OPT. WALK UP BASEMENT CONDITION
- A22 PARTIAL GROUND FLOOR ELEV 'A', 'B' & 'C'  
W/ OPT. WALK UP BASEMENT CONDITION  
REAR ELEVATION 'A', 'B' & 'C' W/ OPT. WALK UP BASEMENT CONDITION
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

## Areas:

	ELEVATION 'A'		ELEVATION 'A' OPT. FINISHED BASEMENT		ELEVATION 'B'		ELEVATION 'B' OPT. FINISHED BASEMENT		ELEVATION 'C'		ELEVATION 'C' OPT. FINISHED BASEMENT	
	SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF	SM
FIN. BASEMENT	0	0	618.5	57.46	0	0	618.5	57.46	0	0	618.5	57.46
GROUND FLOOR	896.6	83.3	896.6	83.3	896.6	83.3	896.6	83.3	896.6	83.3	896.6	83.3
SECOND FLOOR	1242.4	115.4	1242.4	115.4	1230.2	114.3	1230.2	114.3	1230.2	114.3	1230.2	114.3
SECOND FLOOR OTB	(13.9)	(1.3)	(13.9)	(1.3)	(13.9)	(1.3)	(13.9)	(1.3)	(13.9)	(1.3)	(13.9)	(1.3)
TOTAL AREA	2125.1	197.4	2743.6	254.89	2112.9	196.3	2731.4	253.75	2112.9	196.3	2731.4	253.75
COVERAGE INC PORCH	1338.8	124.4	1338.8	124.4	1338.8	124.4	1338.8	124.4	1338.8	124.4	1338.8	124.4
COVERAGE NOT INC PORCH	1293.4	120.2	1293.4	120.2	1293.4	120.2	1293.4	120.2	1293.4	120.2	1293.4	120.2

W Architect Inc.

DESIGN CONTROL REVIEW

JUN. 10, 2021

FINAL

BY: MMI

This stamp is only for the purposes of design control and carries no other professional obligations.

Royal Pine Homes Ltd.

Centrefield, Ph. 2



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QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: JUNE 3, 2021

SIGNATURE:

client  
Royal Pine Homes Ltd.

location  
Richmond Hill

project  
Centrefield, Ph. 2

marketing name

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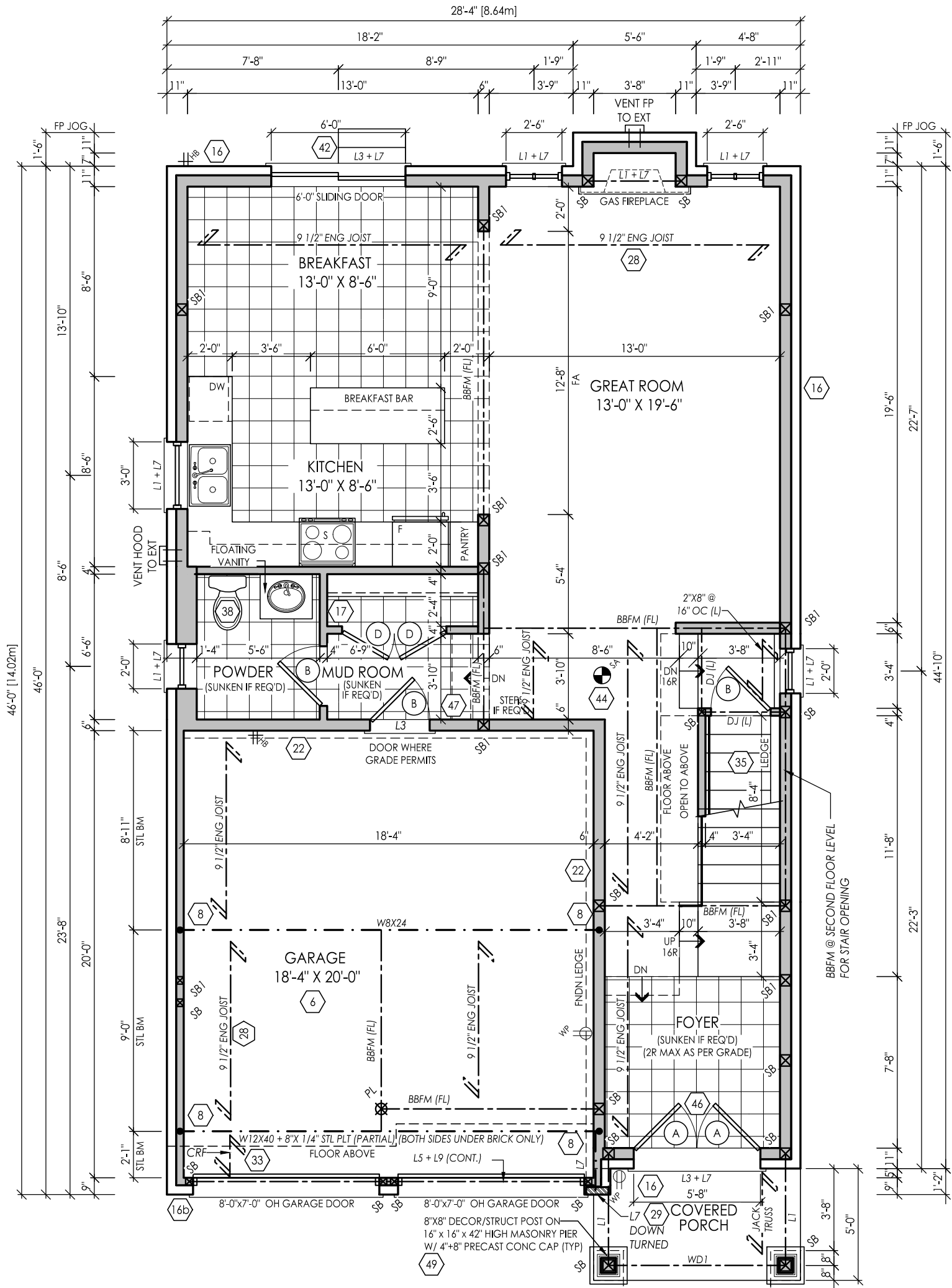
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scale  
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project #  
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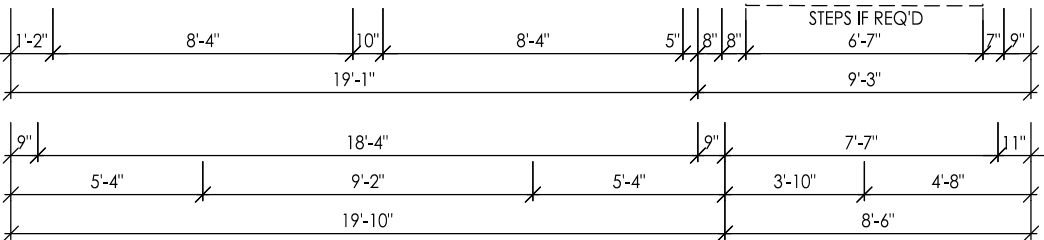
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- NOTE: ELECTRICAL, GAS AND VENT LOCATIONS ARE SCHEMATIC ONLY. TO BE COORDINATED WITH ELECTRICAL AND MECHANICAL DRAWINGS BY THE CONTRACTOR
- NOTE: REFER TO FLOOR JOIST DRAWINGS FOR APPROVED FLOOR JOIST LAYOUT AND SPACING
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- NOTE: STEEL BEAM SUPPORTING FLOOR ABOVE TO BE DROPPED UNLESS NOTED OTHERWISE



GROUND FLOOR ELEV 'A'



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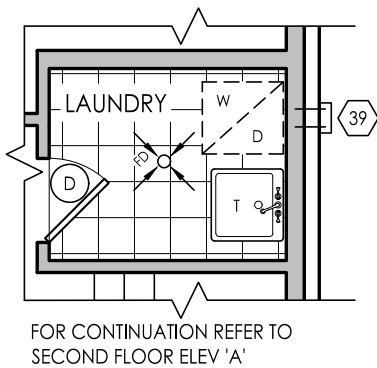
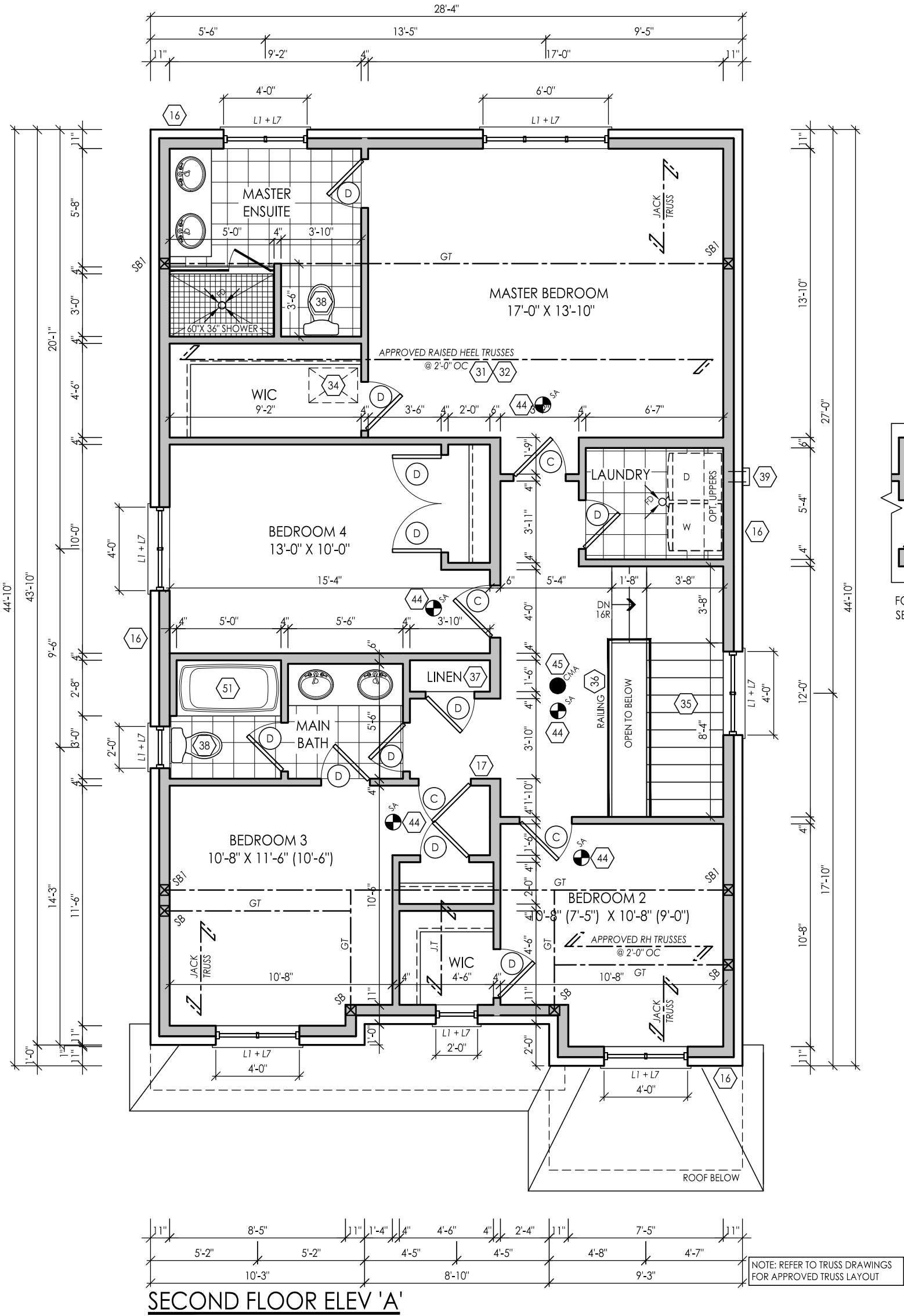
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OPT. LAUNDRY



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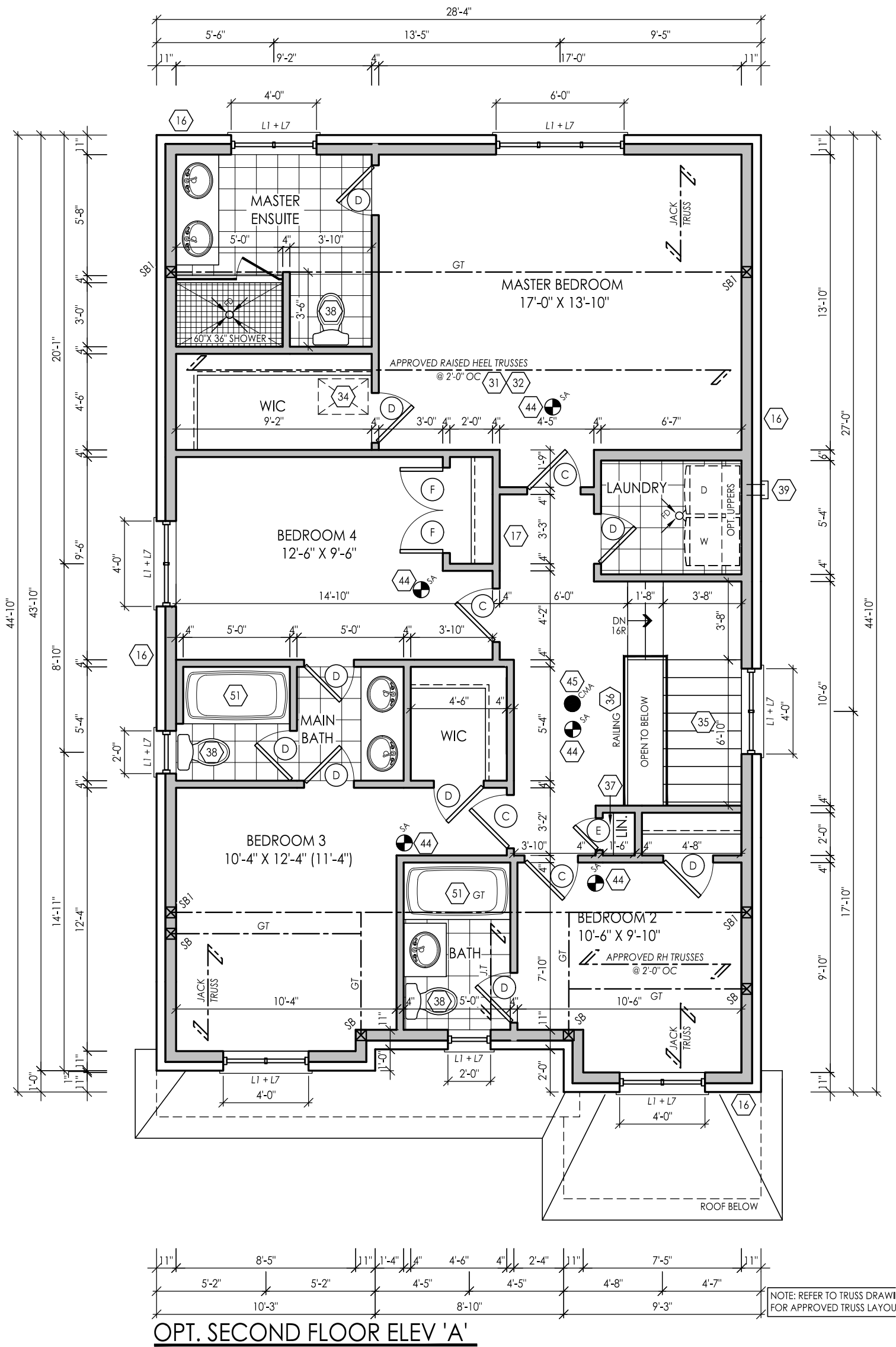
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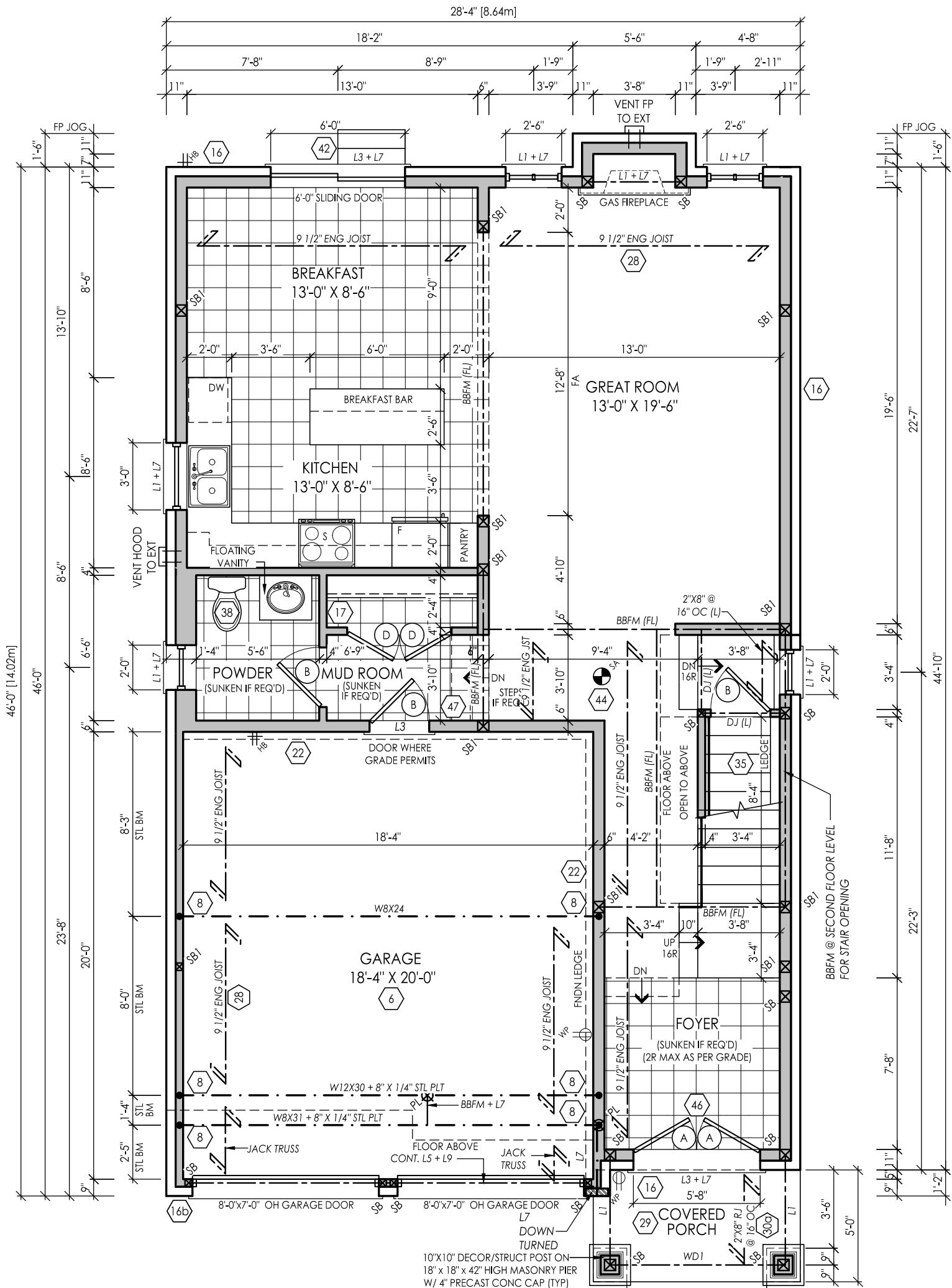
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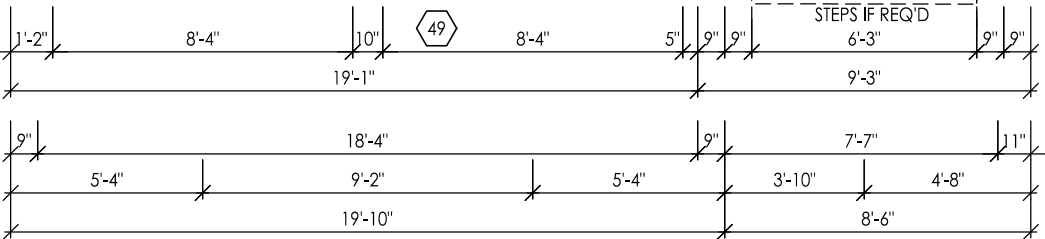
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GROUND FLOOR ELEV 'B'



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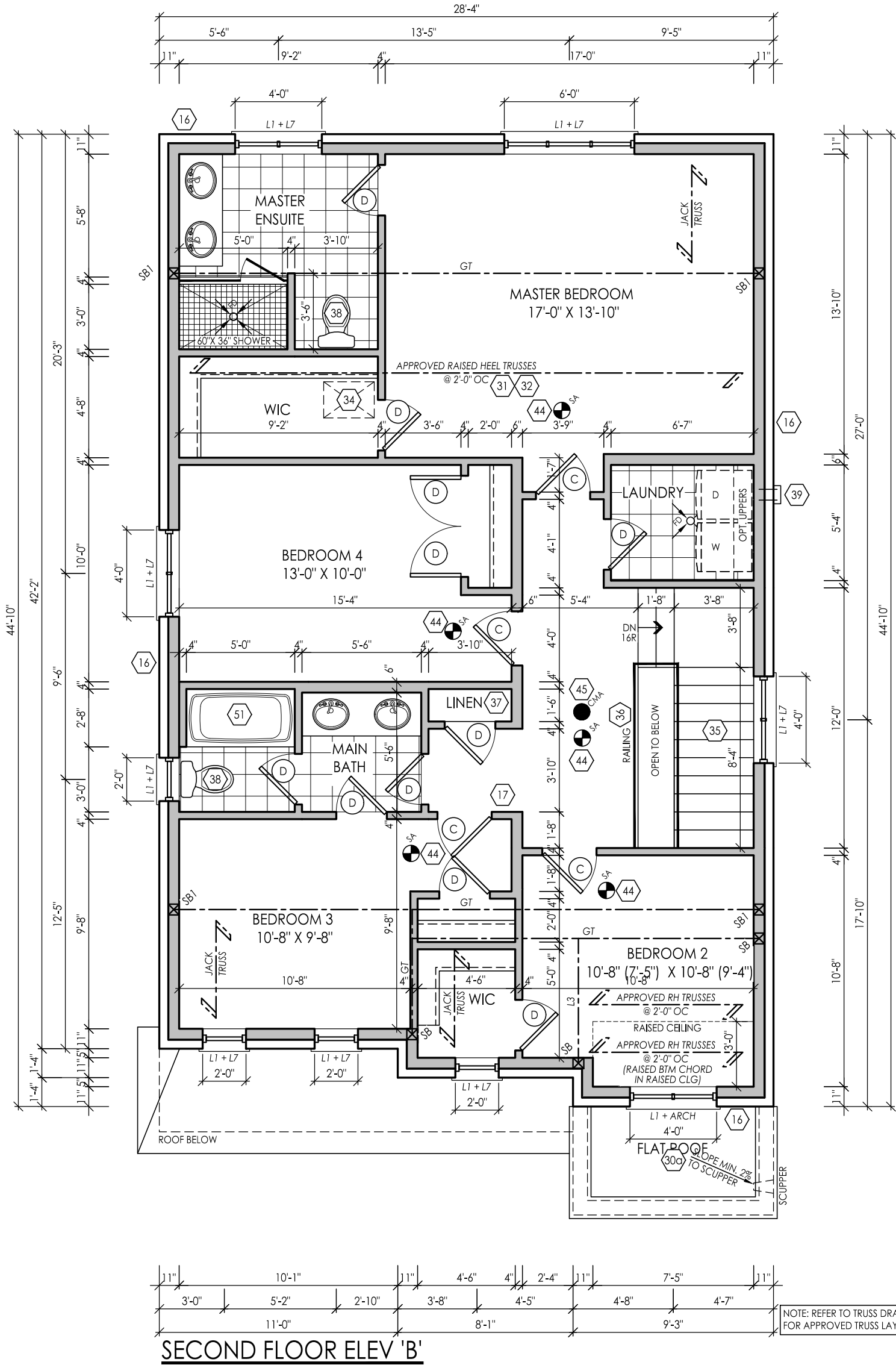
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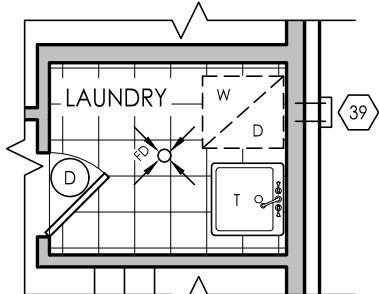
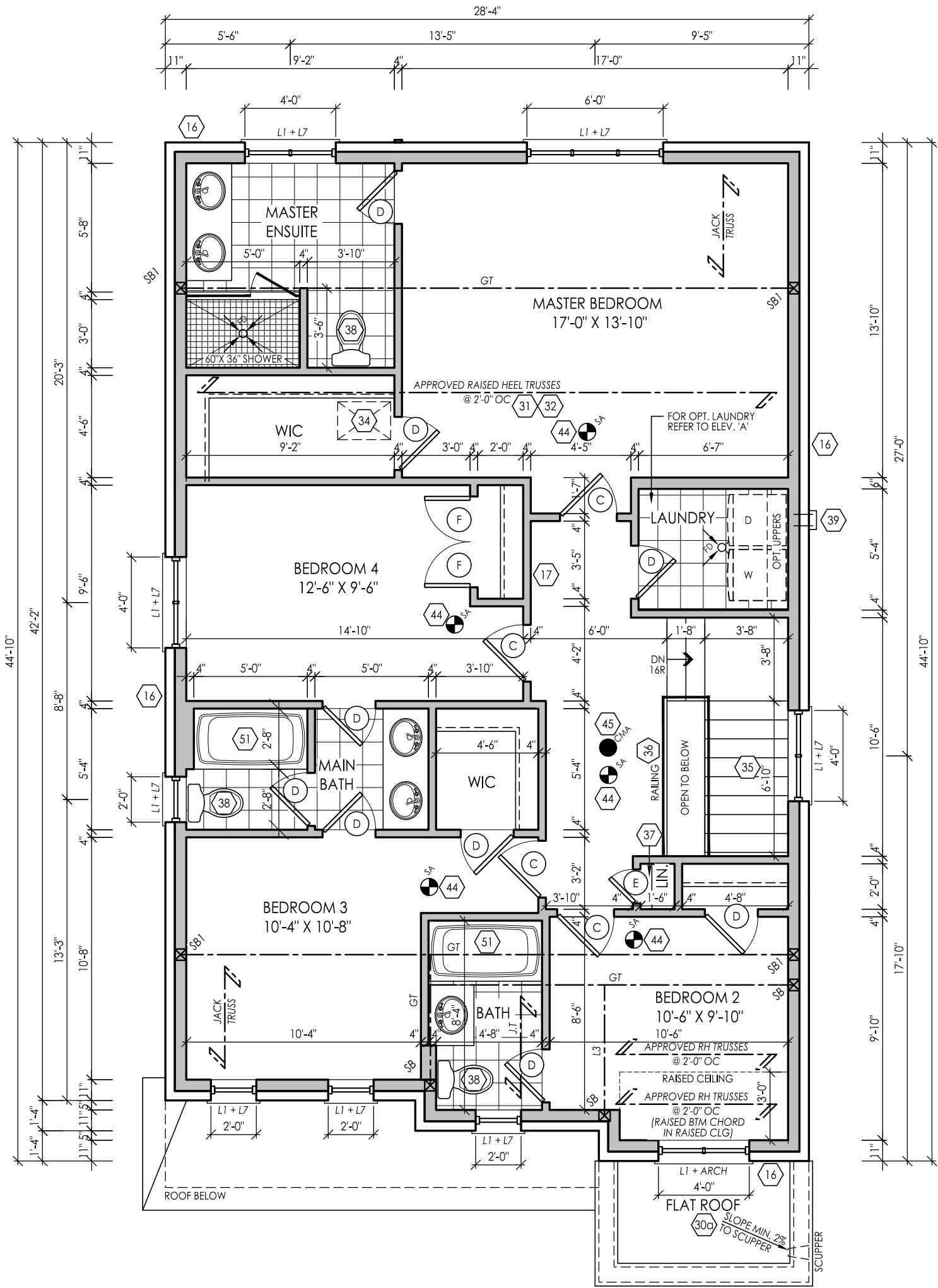
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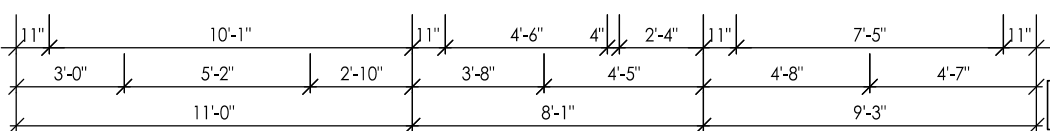
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FOR CONTINUATION REFER TO  
OPT. SECOND FLOOR ELEV 'B'

OPT. LAUNDRY



OPT. SECOND FLOOR ELEV 'B'

NOTE: REFER TO TRUSS DRAWINGS  
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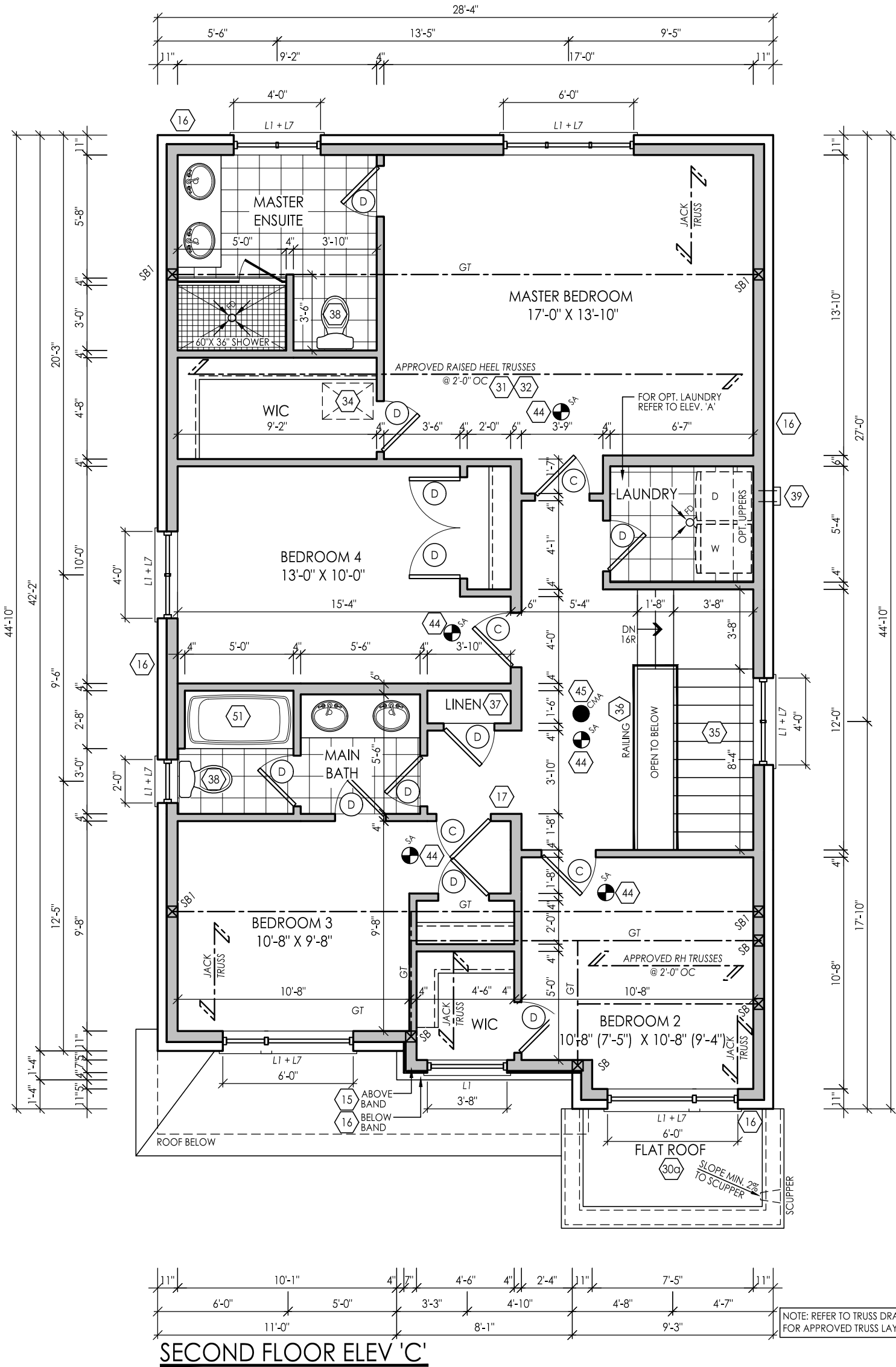
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SECOND FLOOR ELEV 'C'



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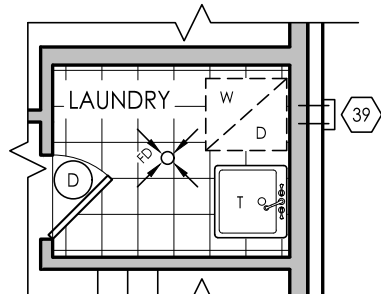
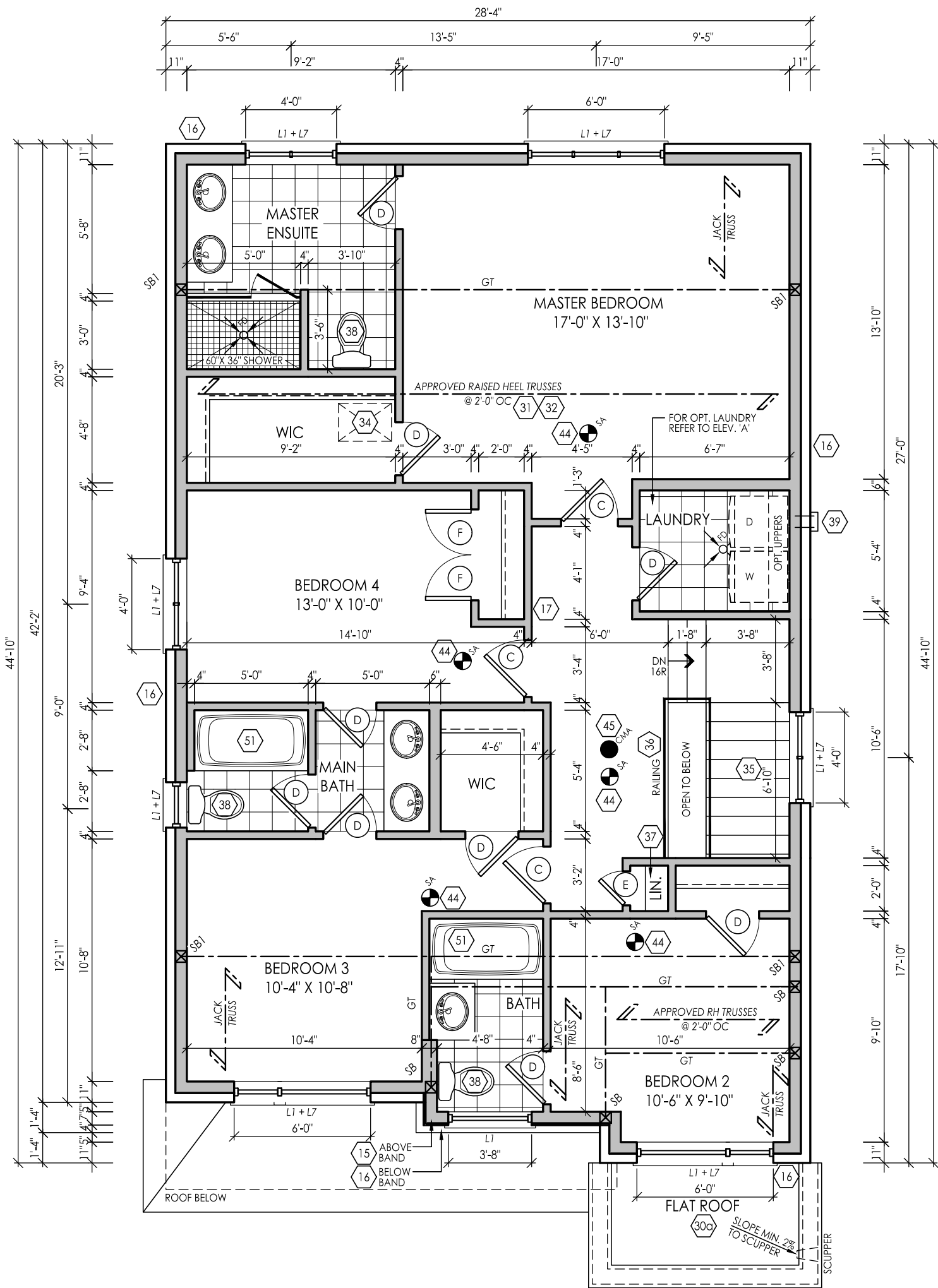
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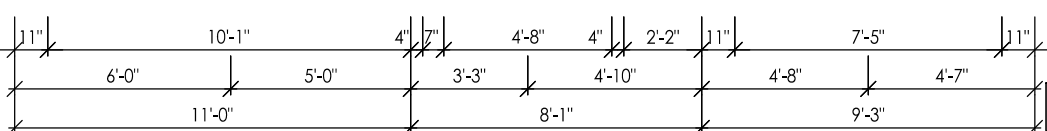
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OPT. SECOND FLOOR ELEV 'C'

OPT. LAUNDRY



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location  
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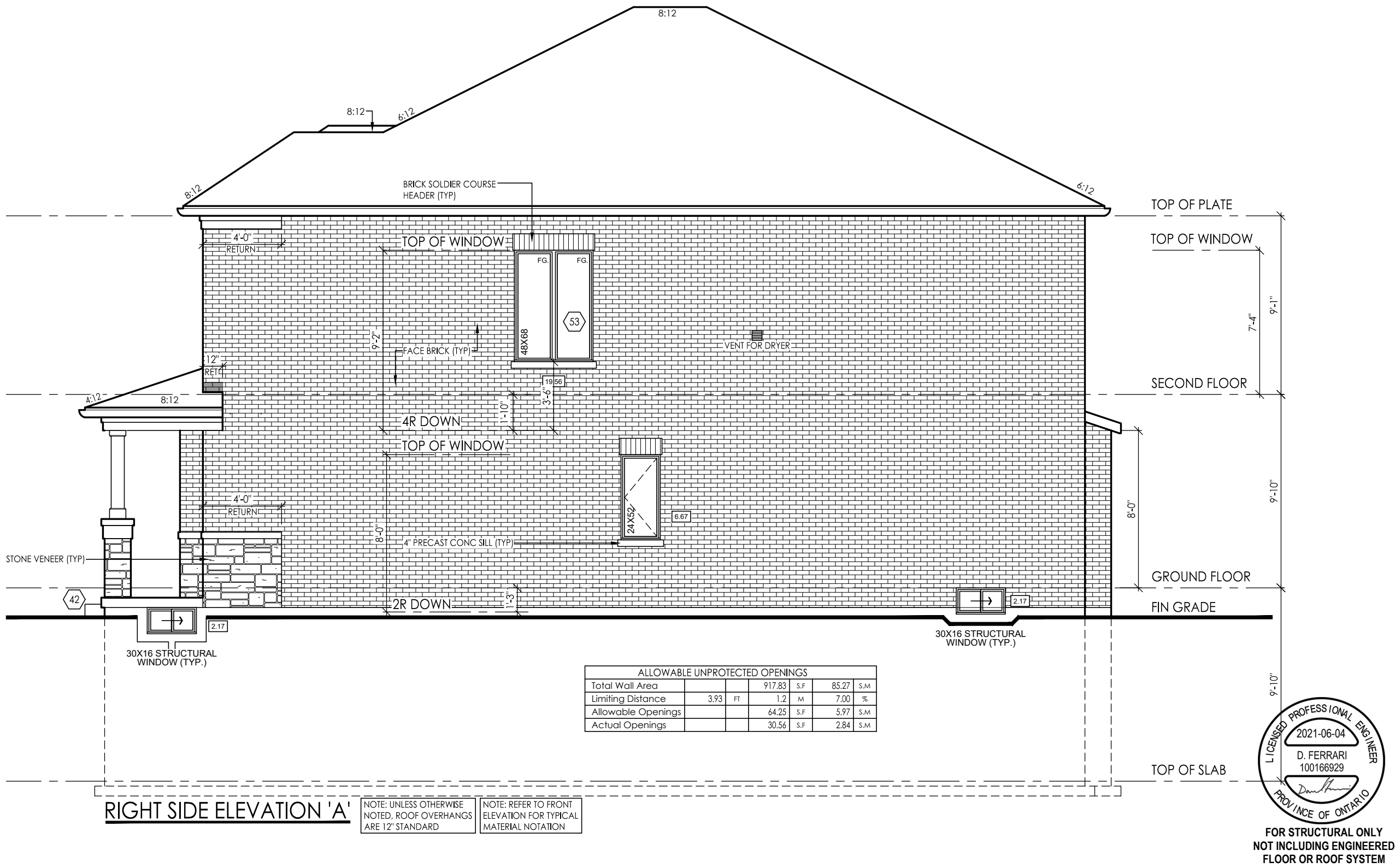
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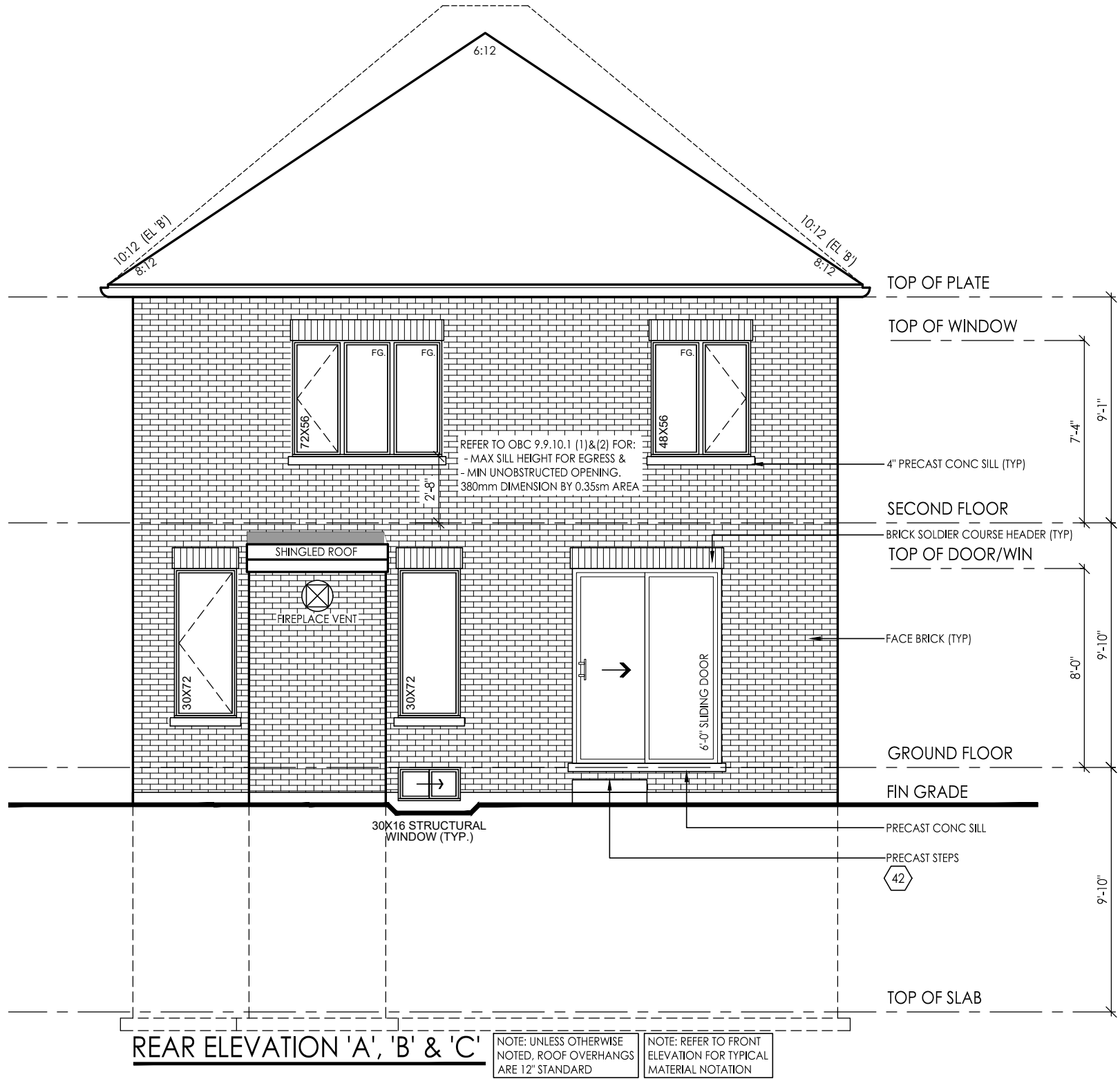
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I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD** UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.  
QUALIFIED DESIGNER BCIN: 103017  
FIRM BCIN: 26995  
DATE: JUNE 3, 2021  
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LEFT SIDE ELEVATION 'A'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

ALLOWABLE UNPROTECTED OPENINGS					
Total Wall Area			916.95	S.F.	85.19
Limiting Distance	3.93	FT	1.2	M	7.00
Allowable Openings			64.19	S.F.	5.96
Actual Openings			42.44	S.F.	3.94



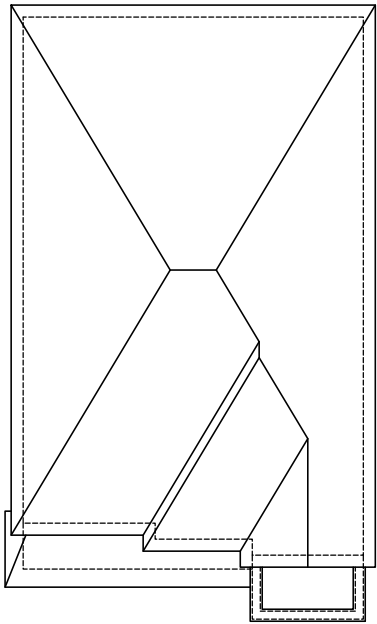
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FLOOR OR ROOF SYSTEM

client		location		project		marking name			
Royal Pine Homes Ltd.		Richmond Hill		Centrefield, Ph. 2					
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DATE: JUNE 3, 2021

SIGNATURE:



ROOF PLAN ELEV 'B'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO STREETSCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

ASPHALT SHINGLES W/ FLASHING AT VALLEYS (TYP)

31

PRE-FINISHED ALUMINUM RWL AND GUTTER ON PRE-FINISHED FASCIA BOARD AND VENTED SOFFIT (TYP)

1"x3" ON 1"x8" PREFIN ALUM FRIEZE BOARD (TYP)

7" PRECAST CONC RETURN (TYP)

TOP OF BAND

FACE BRICK (TYP)

PAINTED MTL FLASHING W/ CAULKING TO MATCH (TYP)

SECOND FLOOR

TOP OF GARAGE PLATE U/S OF GARAGE SOFFIT

10" PRECAST CONC HEADER (TYP)

STONE VENEER (TYP)

GROUND FLOOR

FIN GRADE

U/S OF FOOTING

STEPPED FOOTING (TYP)

3

FRONT ELEVATION 'B'

GROSS GLAZING AREA-ELEV B-STD

TOTAL PERIPHERAL WALL AREA	2987.72 SF	277.57 m²
FRONT GLAZING AREA	70.44 SF	6.54 m²
LEFT SIDE GLAZING AREA	53.67 SF	4.99 m²
RIGHT SIDE GLAZING AREA	38.00 SF	3.53 m²
REAR GLAZING AREA	127.00 SF	11.80 m²
TOTAL GLAZING AREA	289.11 SF	26.86 m²
TOTAL GLAZING PERCENTAGE	9.68 %	

PEAK HEIGHT OF ROOF (29'-8")

MID POINT OF ROOF (23'-9")

48"x18" EXTENDED SEGMENTAL ARCH TRANSOM W/ 8" SELF-SUPPORTING PRECAST CONC ARCH & SURROUND W/ CENTRE KEYSTONE U/S OF RAISED CEILING

TOP OF PLATE

TOP OF WINDOW

DOUBLE 4" PRECAST CONC SILL (TYP)

HARDIE CORNICE BAND HARDIE OR EQUIV PANEL W/ 1"x3" HARDIE OR EQUIV TRIM

TOP OF PARAPET

SECOND FLOOR TOP OF COLUMN TOP OF TRANSOM

TOP OF DOOR

10"x10" DECOR/STRUCT POST ON 18" x 18" x 42" HIGH MASONRY PIER W/ 4" PRECAST CONC CAP (TYP)

TOP OF PIER

GROUND FLOOR

FIN GRADE

POURED CONC PORCH SLAB

POURED CONC DOOR SILL

POURED CONC FDN WALLS ON CONC STRIP FOOTING (TYP)

TOP OF SLAB

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A15

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project # 20005  
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page







LEFT SIDE ELEVATION 'B'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12\"/>

ALLOWABLE UNPROTECTED OPENINGS					
Total Wall Area		897.95	S.F.	83.42	S.M.
Limiting Distance	3.93	FT	1.2	M	7.00
Allowable Openings		62.86	S.F.	5.84	S.M.
Actual Openings		42.44	S.F.	3.94	S.M.

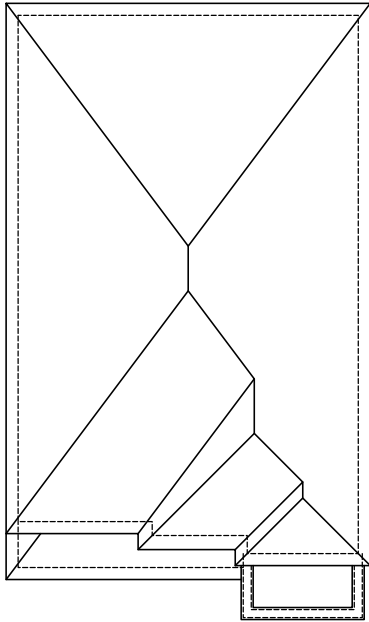


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Royal Pine Homes Ltd.		Richmond Hill							
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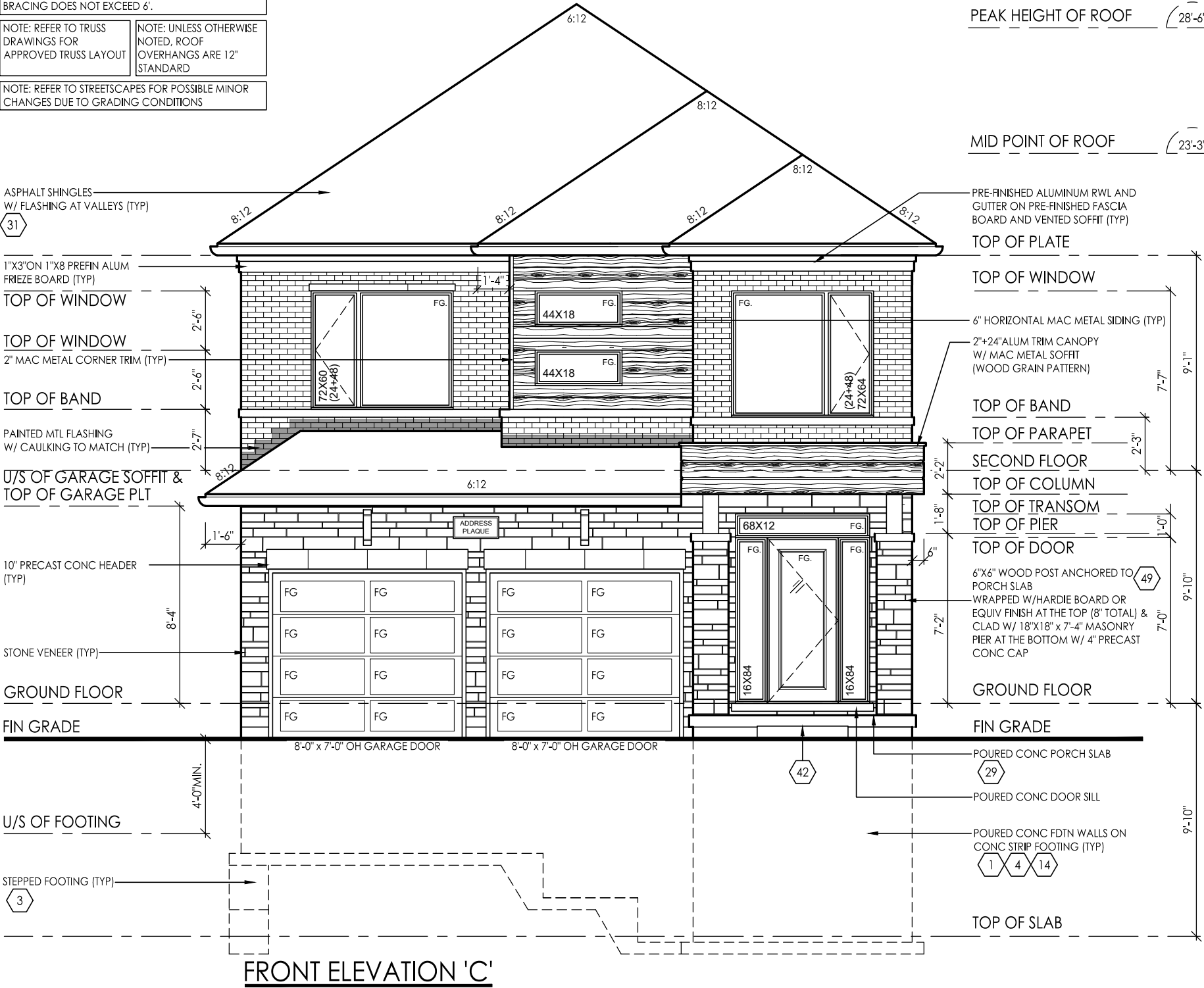
ROOF PLAN ELEV 'C'

NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO STREETSCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS



FRONT ELEVATION 'C'

GROSS GLAZING AREA-ELEV C-STD

TOTAL PERIPHERAL WALL AREA	2987.72 SF	277.57 m²
FRONT GLAZING AREA	118.33 SF	10.99 m²
LEFT SIDE GLAZING AREA	53.67 SF	4.99 m²
RIGHT SIDE GLAZING AREA	38.00 SF	3.53 m²
REAR GLAZING AREA	127.00 SF	11.80 m²
TOTAL GLAZING AREA	337.00 SF	31.31 m²
TOTAL GLAZING PERCENTAGE	11.28 %	

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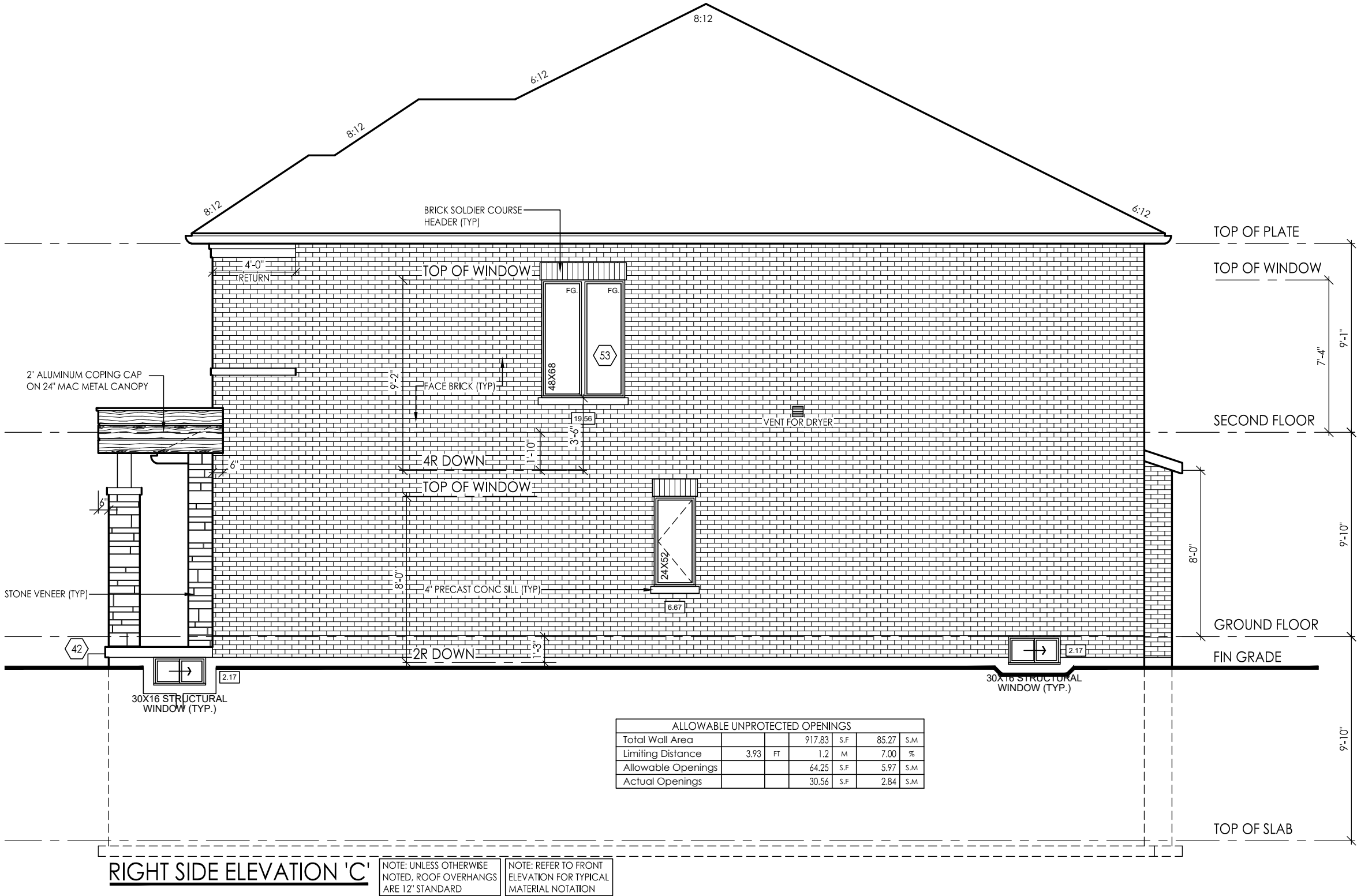
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ALLOWABLE UNPROTECTED OPENINGS					
Total Wall Area			917.83	S.F	85.27
Limiting Distance	3.93	FT	1.2	M	7.00
Allowable Openings			64.25	S.F	5.97
Actual Openings			30.56	S.F	2.84



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LEFT SIDE ELEVATION 'C'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12\"/>

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

ALLOWABLE UNPROTECTED OPENINGS					
Total Wall Area			343.37	S.F.	31.9 S.M.
Limiting Distance	3.93	FT	1.2	M	7.00 %
Allowable Openings			24.04	S.F.	2.23 S.M.
Actual Openings			42.44	S.F.	3.94 S.M.



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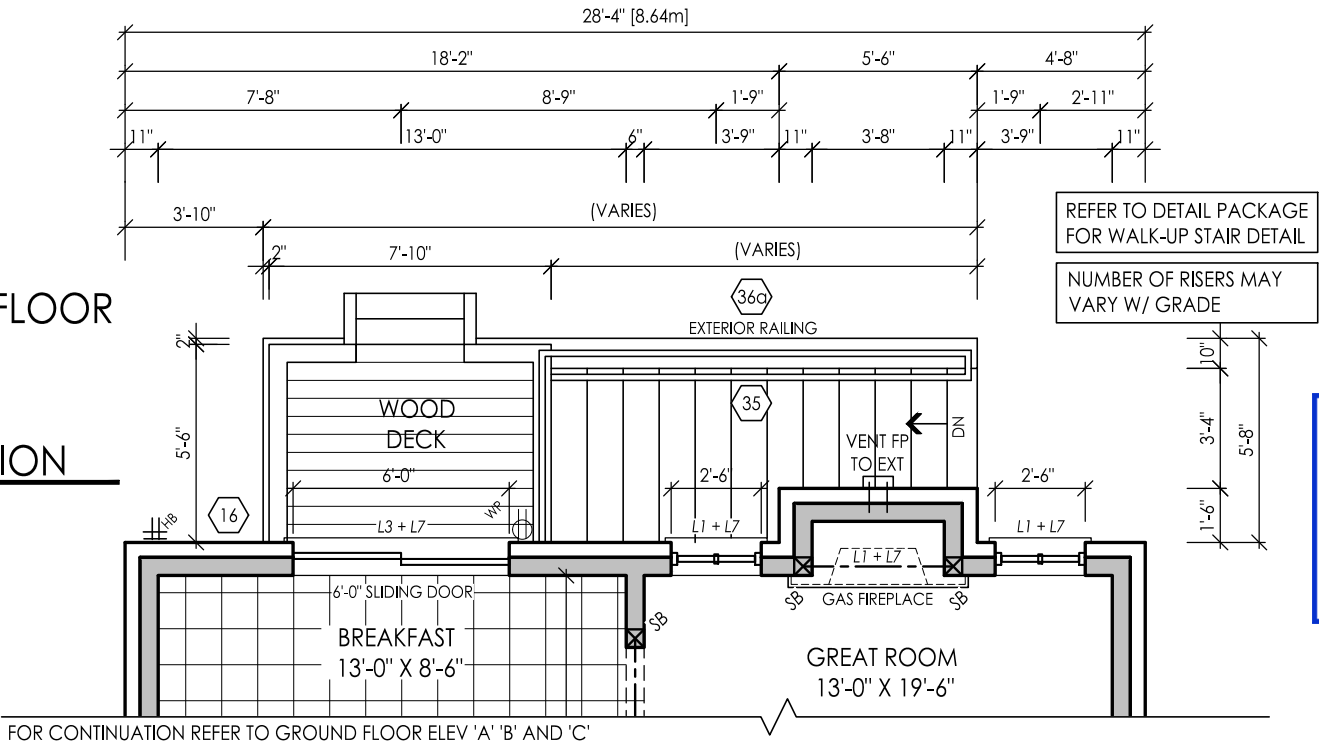
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PARTIAL GROUND FLOOR  
ELEV 'A', 'B' & 'C'  
W/ OPT. WALK UP  
BASEMENT CONDITION



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GROSS GLAZING AREA-ELEV A-OPT

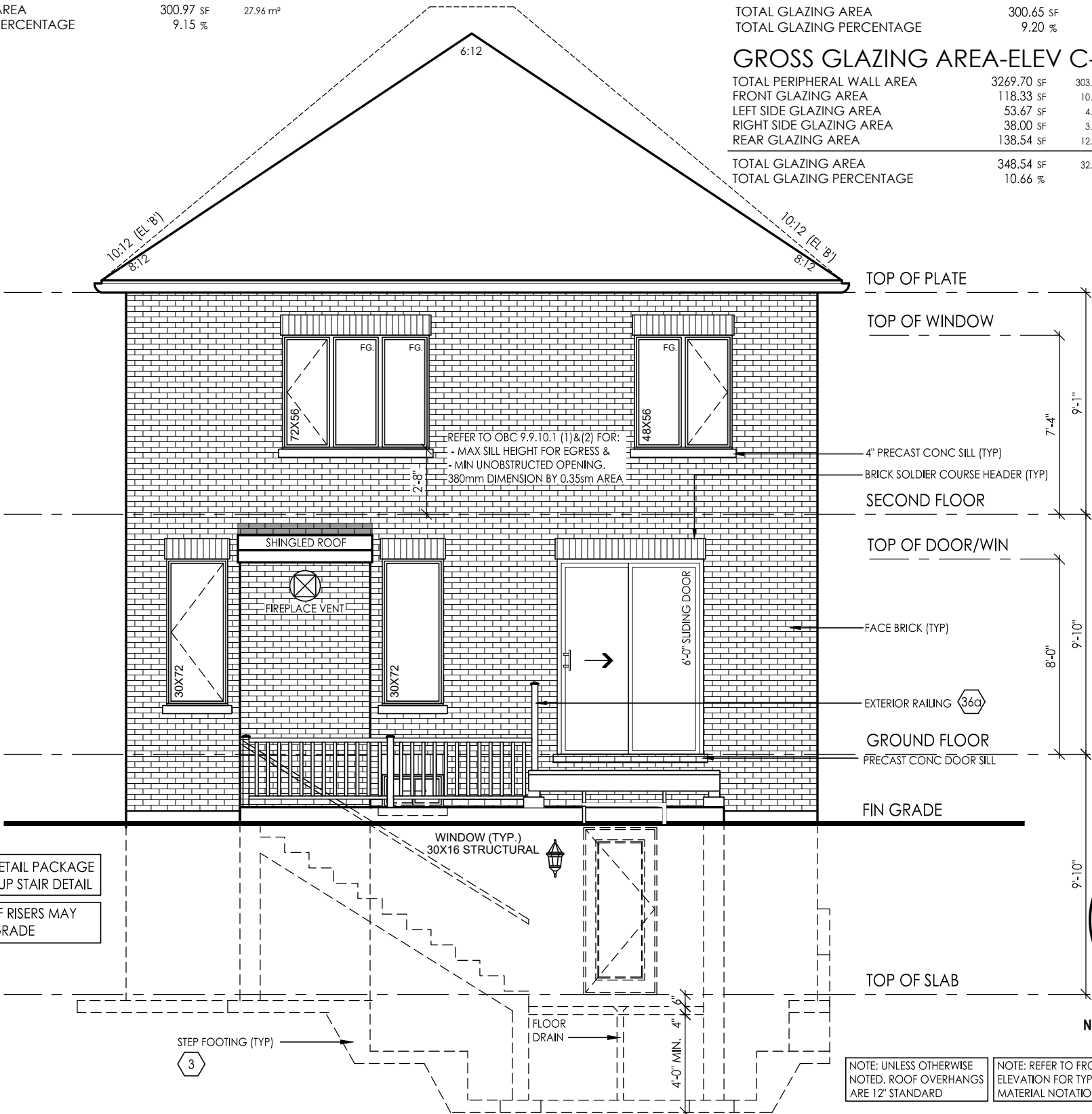
TOTAL PERIPHERAL WALL AREA	3287.87 SF	305.45 m²
FRONT GLAZING AREA	70.76 SF	6.57 m²
LEFT SIDE GLAZING AREA	53.67 SF	4.99 m²
RIGHT SIDE GLAZING AREA	38.00 SF	3.53 m²
REAR GLAZING AREA	138.54 SF	12.87 m²
TOTAL GLAZING AREA	300.97 SF	27.96 m²
TOTAL GLAZING PERCENTAGE	9.15 %	

GROSS GLAZING AREA-ELEV B-OPT

TOTAL PERIPHERAL WALL AREA	3269.70 SF	303.77 m²
FRONT GLAZING AREA	70.44 SF	6.54 m²
LEFT SIDE GLAZING AREA	53.67 SF	4.99 m²
RIGHT SIDE GLAZING AREA	38.00 SF	3.53 m²
REAR GLAZING AREA	138.54 SF	12.87 m²
TOTAL GLAZING AREA	300.65 SF	27.93 m²
TOTAL GLAZING PERCENTAGE	9.20 %	

GROSS GLAZING AREA-ELEV C-OPT

TOTAL PERIPHERAL WALL AREA	3269.70 SF	303.77 m²
FRONT GLAZING AREA	118.33 SF	10.99 m²
LEFT SIDE GLAZING AREA	53.67 SF	4.99 m²
RIGHT SIDE GLAZING AREA	38.00 SF	3.53 m²
REAR GLAZING AREA	138.54 SF	12.87 m²
TOTAL GLAZING AREA	348.54 SF	32.38 m²
TOTAL GLAZING PERCENTAGE	10.66 %	



REAR ELEVATION 'A', 'B' & 'C'  
W/ OPT. WALK UP BASEMENT CONDITION

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38-7

scale  
3/16" = 1'0"

project #  
20005

page

A22



CONSTRUCTION NOTES:

PERFORMANCE PACKAGE - OBC 2012 - 2017 ENACTMENT

(UNLESS OTHERWISE NOTED)

-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.

-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC.

-THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.

-BASED ON 16'-1"(4.9m) MAX. SUPPORTED JOIST LENGTH

-MIN. 2200psi (15MPa) CONCRETE AFTER 28 DAYS

-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 10.9psi (75kPa) BEARING CAPACITY

-FTG. TO HAVE CONTINUOUS KEY

-FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

-REFER TO WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE NOTES #1 & #2 FOR FOOTING SIZES

1

TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

O.B.C. 9.15.3.5.

-FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE

BRICK VENEER

-1 STOREY - 13" X 4" (330mm X 100mm)

-2 STOREY - 19" X 6" (485mm X 155mm)

-3 STOREY - 26" X 9" (660mm X 230mm)

SIDING-

-1 STOREY - 10" X 4" (255mm X 100mm)

-2 STOREY - 14" X 4" (360mm X 100mm)

-3 STOREY - 18" X 5" (460mm X 130mm)

2

O.B.C. 9.15.3.6.

-1 STOREY MASONRY	- 16" X 4"	(410mm X 100mm)
-1 STOREY STUD	- 12" X 4"	(305mm X 100mm)
-2 STOREY MASONRY	- 26" X 9"	(650mmX 230mm)
-2 STOREY STUD	- 18" X 5"	(450mm X 130mm)
-3 STOREY MASONRY	- 36" X 14"	(900mm X 360mm)
-3 STOREY STUD	- 24" X 8"	(600mm X 200mm)

3

**STEP FOOTING:**

O.B.C. 9.15.3.9.

-23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL RUN.

4

**DRAINAGE TILE OR PIPE:**

O.B.C. 9.14.3.

-4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.

-COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.

-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

5

**BASEMENT SLAB:**

O.B.C. 9.13. & 9.16.

-3" (75mm) CONCRETE SLAB

-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.

-DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.

-DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS

-4" (100mm) OF COURSE GRANULAR MATERIAL

-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.

-FLOOR DRAIN PER O.B.C.9.31.4.4.

-R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC SB-12 - 3.1.1.7 (5))

- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

5a

**SLAB ON GROUND:**

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3.

-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.

-DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.

-DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS

-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS WITHIN 23-1/2" (600mm) OF GRADE. (OBC SB-12 3.1.1.7.(6))

-4" (100mm) OF COURSE GRANULAR MATERIAL

-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.

-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.

-FLOOR DRAIN PER O.B.C.9.31.4.4.

- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

6

**GARAGE SLAB / EXTERIOR SLAB:**

-4"(100mm) CONCRETE SLAB

-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.

-6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB

-4" (100mm) OF COURSE GRANULAR MATERIAL

-ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

-POURED 12" WIDE X 8" DEEP POURED CON. GRADE BEAM BELOW SLAB

7

**PILASTERS:**

O.B.C. 9.15.5.3.

**PILASTER**

-CONCRETE NIB - 4" X 12" (100mm X 300mm)

-BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2. TOP 7 7/8" (200mm) SOLID.

OR

**BEAM POCKET**

-4" (100mm) INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.

-1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.)

**STRUCTURAL COLUMNS**

-SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa).

8

**STEEL PIPE COLUMN:**

O.B.C. 9.15.3.4. & 9.17.3.

-FIXED COLUMN

◆ -MIN. 3 1/2" (90mm) DIA. W/ 1/4" (6.35mm) WALL THICKNESS

-FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/2" (152mmX 100mmx 6.35mm) STEEL BTM. PLATE

-FOR WOOD BEAMS, MIN. 4"x4"x1/4" (100mmX 100mm X 6.35mm) STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM

-ADJUSTABLE COLUMNS TO CONFORM TO CAN//CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)

◆ -POURED CONC. ON NATURAL UNDISTURBED SOIL WITH MIN. SERVICE BEARING CAPACITY OF 100kPa

COL. SPACING:	FTG SIZE:
2 STOREY	
-MAX. 9'-10" (2997mm)	- 34" X 34" X 16"
	- (860mmX 860mmX 400mm)
-MAX. 16'-0" (4880mm)	- 44" X 44" X 21"
	- (1120mmX 1120mmX 530mm)
3 STOREY	
-MAX. 9'-10" (2997mm)	- 40" X 40" X 19"
	- (1010mmX 1010mmX 480mm)
-MAX. 16'-0" (4880mm)	- 51" X 51" X 24"
	- (1295mmX 1295mmX 610mm)
-WHERE COL. SITS ON FDN. WALL, USE 4" X 8" X 5/8" (100mmX 200mmX 16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS	

◆ **CLIENT SPECIFIC REVISIONS**

ONTARIO REGULATION 332/12 OBC. AMMENDMENT O. REG. 139/1 JAN 1, 2012







- 36b) EXTERIOR GUARDS @ JULIET BALCONY:**
- FOR RAILING SPANNING MAXIMUM OF 6'-0".
  - PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.
  - GUARDS TO BE 3'-6" (1070mm)
  - FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C. 9.8.8.2. OR
  - FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2.
  - VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.
  - PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION.
- 37)** -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP
- 38)** -WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)
- 39)** -CAPPED DRYER VENT
- 40)** -1"X2" (19mmX38mm) BOTH SIDES OF STEEL.
- 41)** -WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.
- 42)** -PRECAST CONC. STEP
- 2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND
- 44)** SMOKE ALARM, O.B.C. - 9.10.19.
- PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
  - PROVIDE 1 IN EACH BEDROOM
  - PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS
  - INSTALLED AT OR NEAR CEILING
  - ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT
  - ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- 45)** CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4.
- WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
  - CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN ACTIVATED.
- 46)** -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY
- PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT.
  - R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED
- 47)** -GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15.
- R4 (RSI 0.70)
- 48)** -TRAVEL FROM A FLOOR LEVEL TO AN EXIT OR EGRESS DOOR SHALL BE LIMITED TO ONE FLOOR EXCEPT:
- 1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY OR
  - 2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

- 49) EXTERIOR COLUMN W/ MASONRY PIER:**
- MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE.
  - TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION DRAWINGS.
  - 14" X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP.
  - REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
  - SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4.
  - 3/4" AIR SPACE AROUND POST.
  - OR
  - MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE.
  - 14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST CONCRETE CAP.
  - REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP.
  - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

- 49a) EXTERIOR COLUMN:**
- MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/ METAL SADDLE
  - NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4.
- 50) COLD CELLARS:**
- FOR COLD CELLARS PROVIDE THE FOLLOWING:
- VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.
  - COVER VENT W/ BUG SCREEN
  - WALL MOUNTED LIGHT FIXTURE
  - L1+L7 FOR DOOR OPENING
  - 2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)
  - INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

- 51) STUD WALL REINFORCEMENT:**
- O.B.C. 9.5.2.3.
- WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) & 3.8.3.13.(4)(c)
  - GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)
- 52) ELECTRICAL VEHICLE CHARGING REQUIREMENTS:**
- REFER TO OBC 9.34.4.1. FOR REQUIRMENTS (EFFECTIVE JANUARY 2018)

- 53) WINDOW GUARDS:**
- @ STAIRS, LANDINGS & RAMPS - OBC 9.8.8.1.(8)
  - WINDOW SILL AT 3'-0" (900mm) OR GREATER DOES NOT REQUIRE GUARDS
  - @ FLOORS - OBC 9.8.8.1.(6)
  - WINDOWS LESS THAN 1'-7" (480mm) ABOVE FLOORS WHERE ADJACENT GRADE IS GREATER THAN 5'-11" (1800mm) REQUIRE A GUARD PER OBC 9.8.8.2.
  - OR -
  - WINDOW TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND LATERAL LOADS PER OBC 9.8.8.1.(8)(b)

- FRAME CONSTRUCTION:**
- ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
  - ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
  - JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
  - BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
  - DOUBLE STUDS @ OPENINGS
  - DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)
  - DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2000mm)
  - DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
  - BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS
  - BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
  - APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
  - FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
  - FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

- WINDOWS:**
- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
  - WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR
  - AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
  - BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
  - SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
  - FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

