

38-07 Aspen

Drawing List:

- Α0 TITLE SHEET
- BASEMENT FLOOR ELEV 'A' PARTIAL BASEMENT FLOOR ELEV 'B' & 'C'
- Α2 GROUND FLOOR ELEV 'A'
- SECOND FLOOR ELEV 'A' A3
 - OPT. LAUNDRY
- OPT. SECOND FLOOR ELEV 'A' Α4
- OPT. LAUNDRY
- Α5 GROUND FLOOR ELEV 'B'
- SECOND FLOOR ELEV 'B' Α6
- Α7 OPT. SECOND FLOOR ELEV 'B' OPT. LAUNDRY
- Α8 GROUND FLOOR ELEV 'C'
- Α9 SECOND FLOOR ELEV 'C' OPT. LAUNDRY
- A10 OPT. SECOND FLOOR ELEV 'C' OPT. LAUNDRY
- A11 FRONT ELEVATION 'A' ROOF PLAN ELEV 'A'
- A12 RIGHT SIDE ELEVATION 'A'
- A13 REAR ELEVATION 'A', 'B' & 'C'
- A14 LEFT SIDE ELEVATION 'A'
- A15 FRONT ELEVATION 'B' ROOF PLAN ELEV 'B'
- A16 RIGHT SIDE ELEVATION 'B'
- A17 LEFT SIDE ELEVATION 'B'
- A18 FRONT ELEVATION 'C'
- ROOF PLAN ELEV 'C' RIGHT SIDE ELEVATION 'C' A19
- A20 LEFT SIDE ELEVATION 'C'
- A21 OPT FINISHED BASEMENT FLOOR ELEV. 'A', 'B' & 'C' W/ OPT. WALK UP BASEMENT CONDITION
- A22 PARTIAL GROUND FLOOR ELEV 'A', 'B' & 'C' W/ OPT. WALK UP BASEMENT CONDITION REAR ELEVATION 'A', 'B' & 'C' W/ OPT. WALK UP BASEMENT CONDITION
- D1 CONSTRUCTION NOTES
- D2 CONSTRUCTION NOTES
- D3 CONSTRUCTION NOTES

Areas:

				ELEVATION 'A' OPT. FINISHED BASEMENT		ELEVATION 'B'		ELEVATION 'B' OPT. FINISHED BASEMENT		ELEVATION 'C'		N 'C' OPT. BASEMENT
	SF	SM	SF	SM	SF	SM	SF	SM	SF	SM	SF	SM
FIN. BASEMENT	0	0	618.5	57.46	0	0	618.5	57.46	0	0	618.5	57.46
GROUND FLOOR	896.6	83.3	896.6	83.3	896.6	83.3	896.6	83.3	896.6	83.3	896.6	83.3
SECOND FLOOR	1242.4	115.4	1242.4	115.4	1230.2	114.3	1230.2	114.3	1230.2	114.3	1230.2	114.3
SECOND FLOOR OTB	(13.9)	(1.3)	(13.9)	(1.3)	(13.9)	(1.3)	(13.9)	(1.3)	(13.9)	(1.3)	(13.9)	(1.3)
TOTAL AREA	2125.1	197.4	2743.6	254.89	2112.9	196.3	2731.4	253.75	2112.9	196.3	2731.4	253.75
COVERAGE INC PORCH	1338.8	124.4	1338.8	124.4	1338.8	124.4	1338.8	124.4	1338.8	124.4	1338.8	124.4
COVERAGE NOT INC PORCH	1293.4	120.2	1293.4	120.2	1293.4	120.2	1293.4	120.2	1293.4	120.2	1293.4	120.2



Royal Pine Homes Ltd.

Centrefield, Ph. 2



FLOOR OR ROOF SYSTEM

I MARTHA SANDOVAL DECLARE THAT LHAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD**, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN:

SIGNATURE:

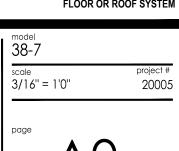
JUNE 3, 2021

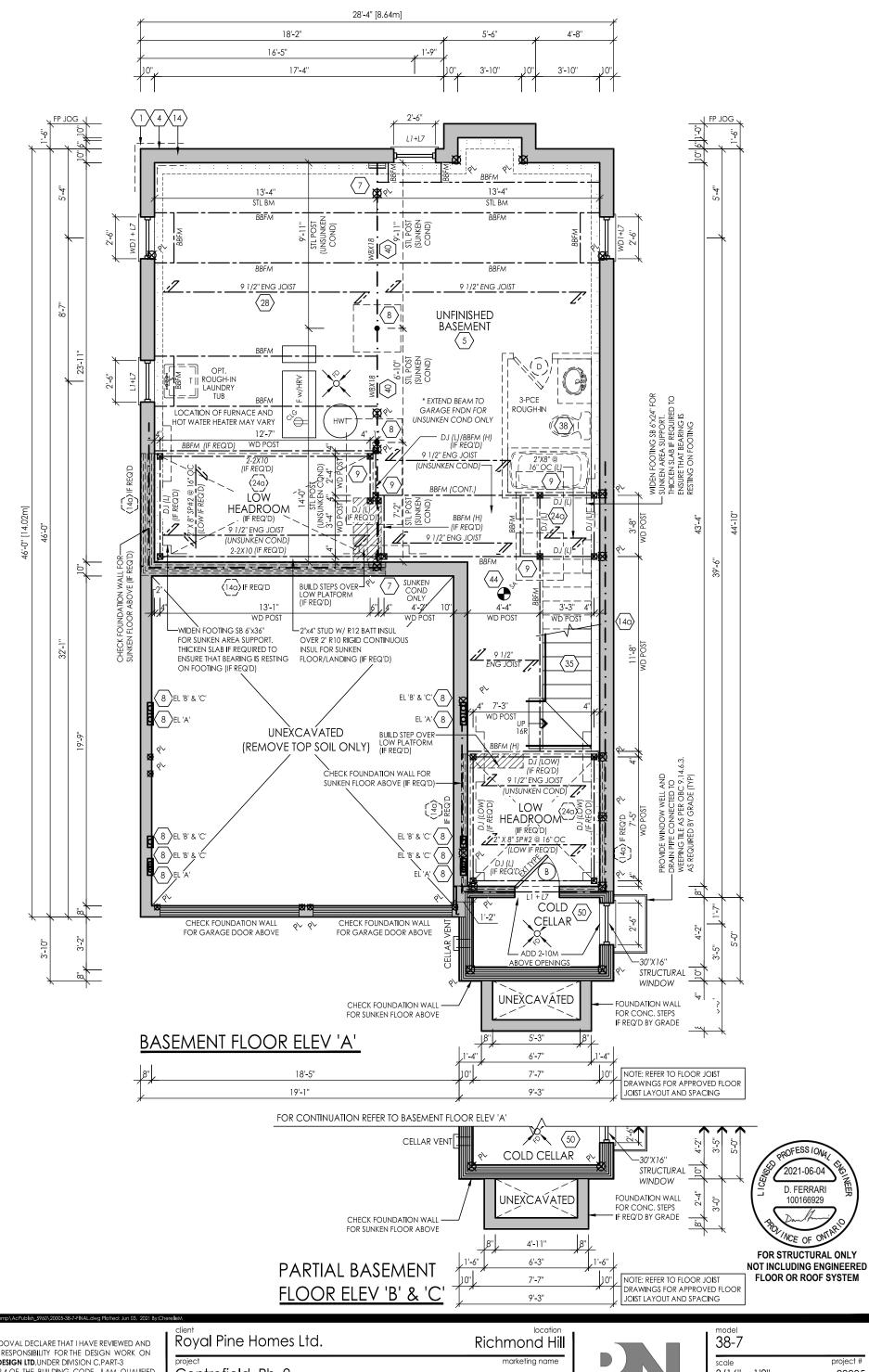
Royal Pine Homes Ltd.	Richmond Hill
project Centrefield, Ph. 2	marketing name

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#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	20-Aug-20	SL	MSA	5	ISSUED FOR CLIENT REVIEW	14-May-21	MD	СМ
2	REVISED PER CLIENT COMMENTS	17-MAR-21	MD	СМ	6	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	3-Jun-21	MD	СМ
3	REVISED PER ENGINEER COMMENTS	28-Apr-21	MD	СМ					
4	REVISED PER FLOOR/TRUSS COORD	6-May-21	MD	СМ					



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I, Martha Sandoval declare that I have reviewed and taken design responsibility for the design work on BEHALF OF **RN DESIGN LTD**, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN:

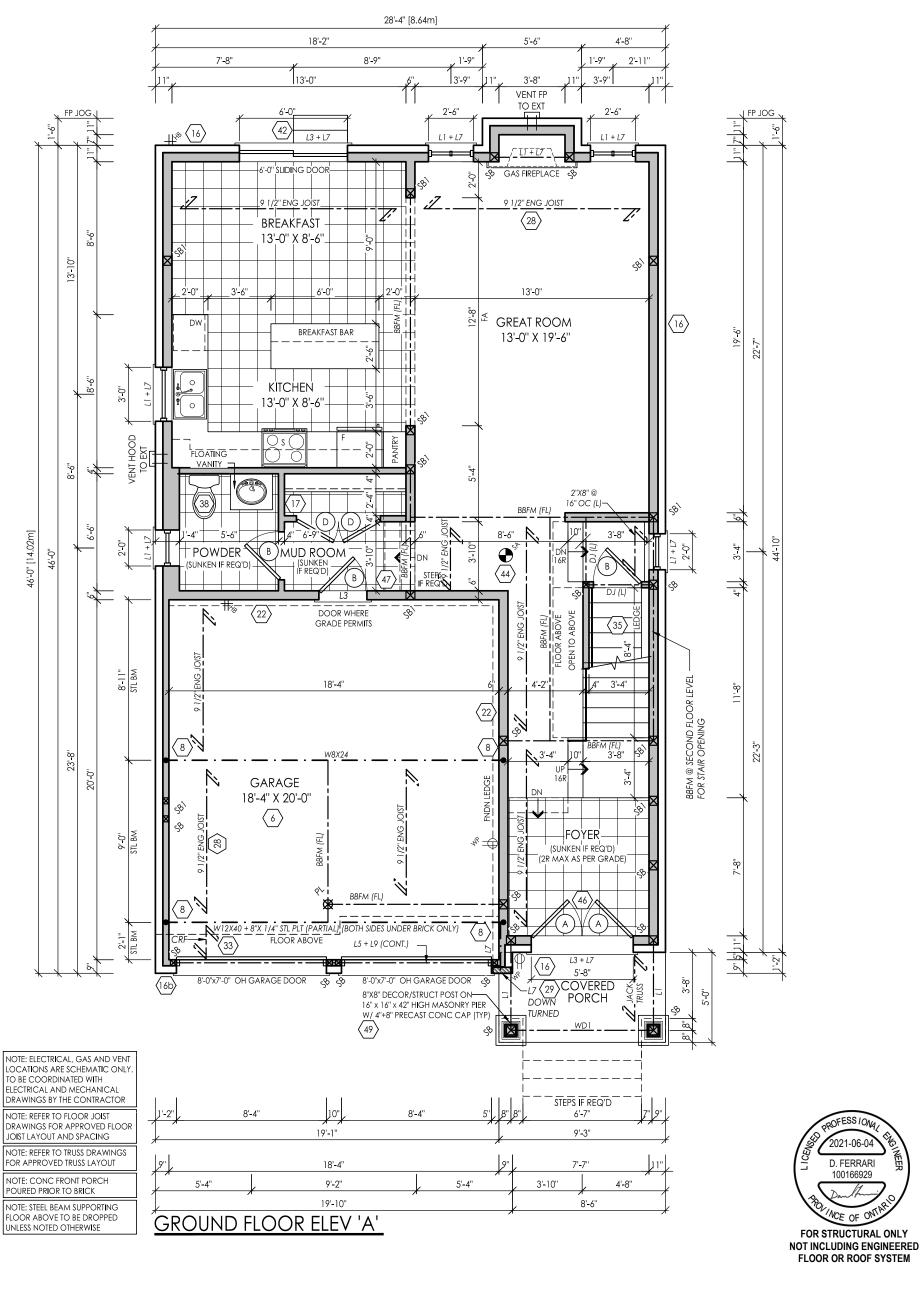
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JUNE 3, 2021

Centrefield. Ph. 2

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1	ISSUED FOR CLIENT REVIEW	20-Aug-20	SL	MSA	5	ISSUED FOR CLIENT REVIEW	14-May-21	MD	СМ
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4	REVISED PER FLOOR/TRUSS COORD	6-May-21	MD	СМ					

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I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C,PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 103017

QUALIFIED DESIGN FIRM BCIN: DATE:

SIGNATURE:

26995 JUNE 3, 2021 client
Royal Pine Homes Ltd.

project

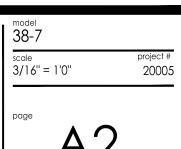
Centrefield, Ph. 2

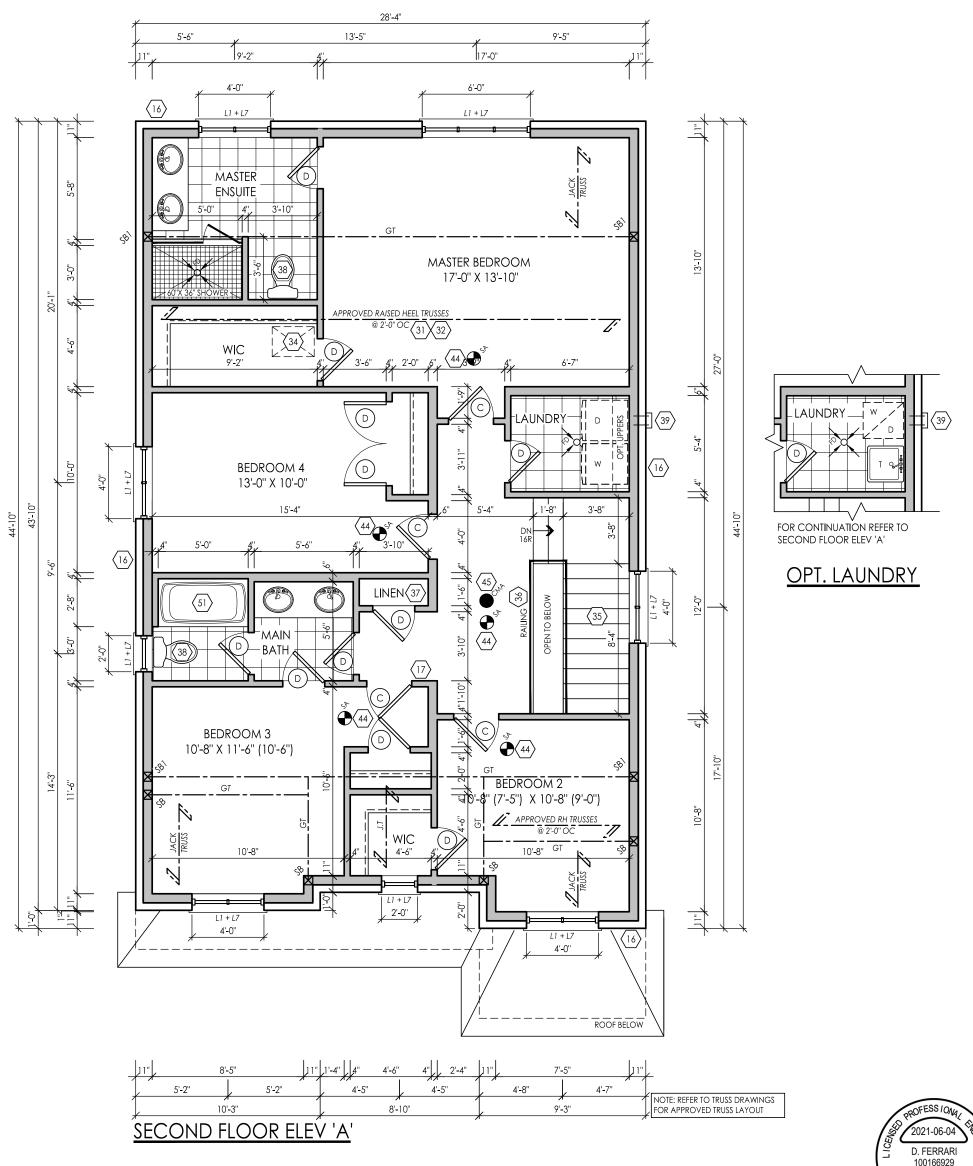
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I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD**, UNDER DIVISION C, PART-3 SUBSECTION-3,2,4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 103017

FIRM BCIN: 26995
DATE: JUNE 3, 2021
SIGNATURE:

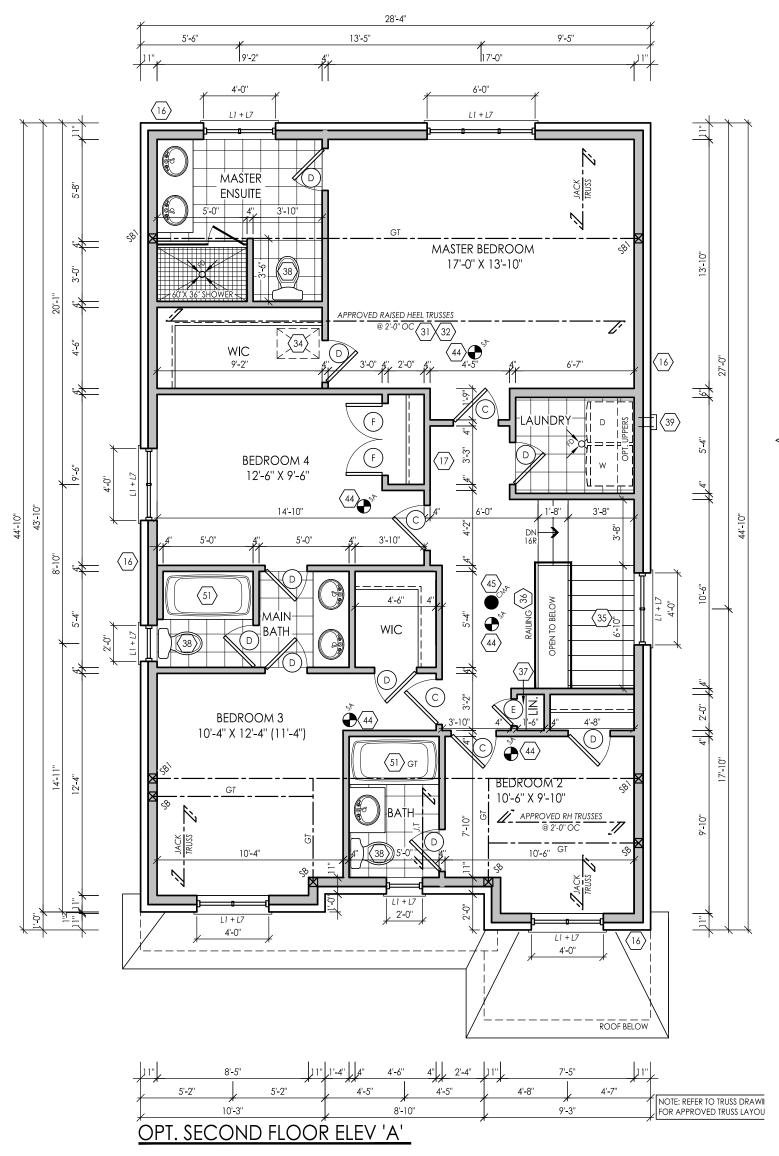
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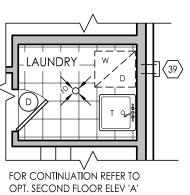
MD CM

REVISED PER FLOOR/TRUSS COORD



38-7	
scale 3/16" = 1'0"	project # 20005
page	
A3	





OPT. LAUNDRY



I, martha sandoval declare that I have reviewed and taken design responsibility for the design work on BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C,PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BCIN:

SIGNATURE:

JUNE 3, 2021

Royal Pine Homes Ltd. Richmond Hill marketing name Centrefield, Ph. 2 revisions date dwn chk # revisions date dwn chk 17-MAR-21 MD CM 6 REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT REVISED PER CLIENT COMMENTS 3-Jun-21 MD CM REVISED PER ENGINEER COMMENTS СМ

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28-Apr-21 MD

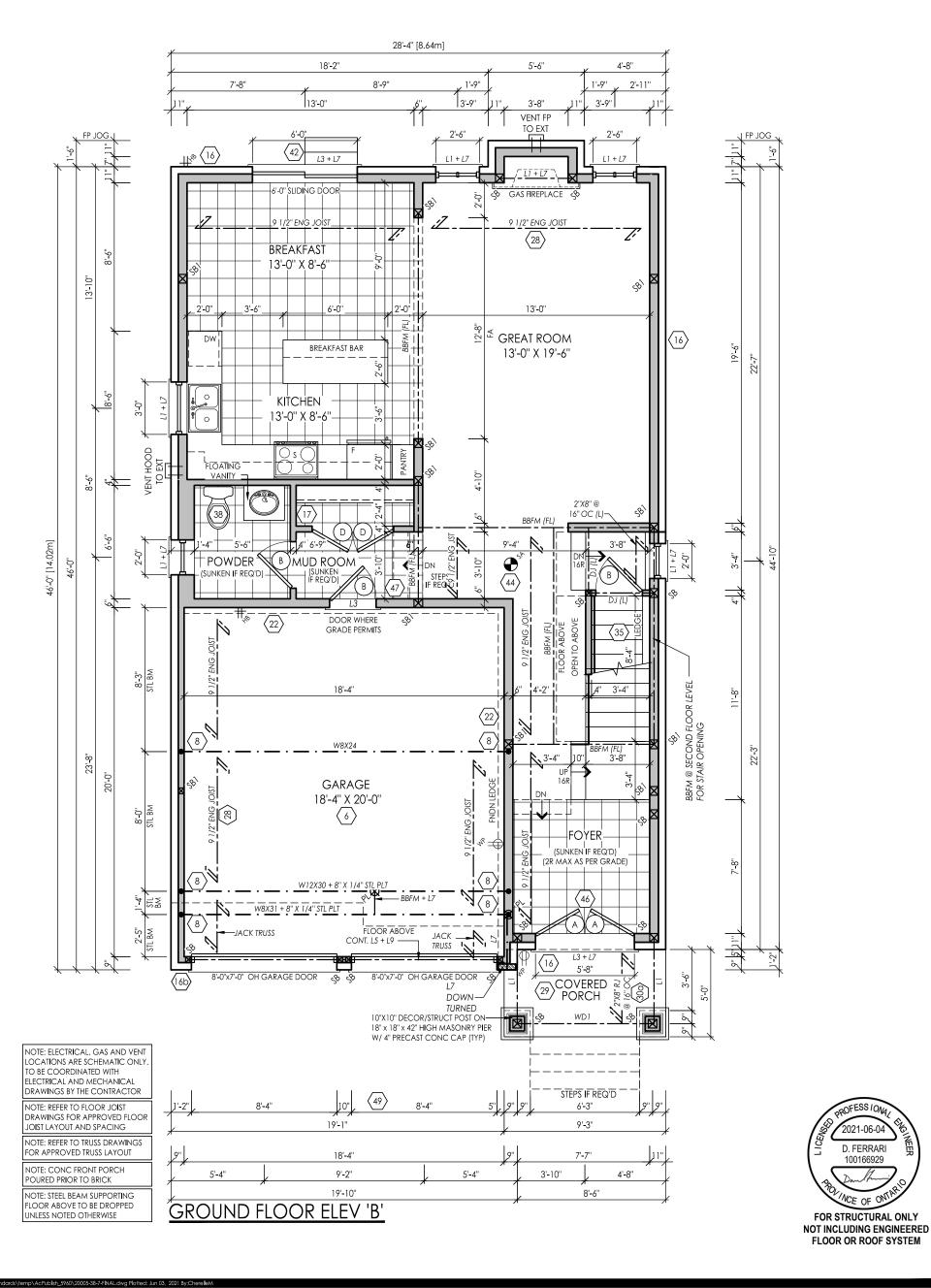
6-May-21

REVISED PER FLOOR/TRUSS COORD

ISSUED FOR CLIENT REVIEW

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model 38-7	
scale 3/16" = 1'0"	project # 20005
page A4	



I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.**, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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JUNE 3, 2021

Royal Pine Homes Ltd.

Project

Centrefield, Ph. 2

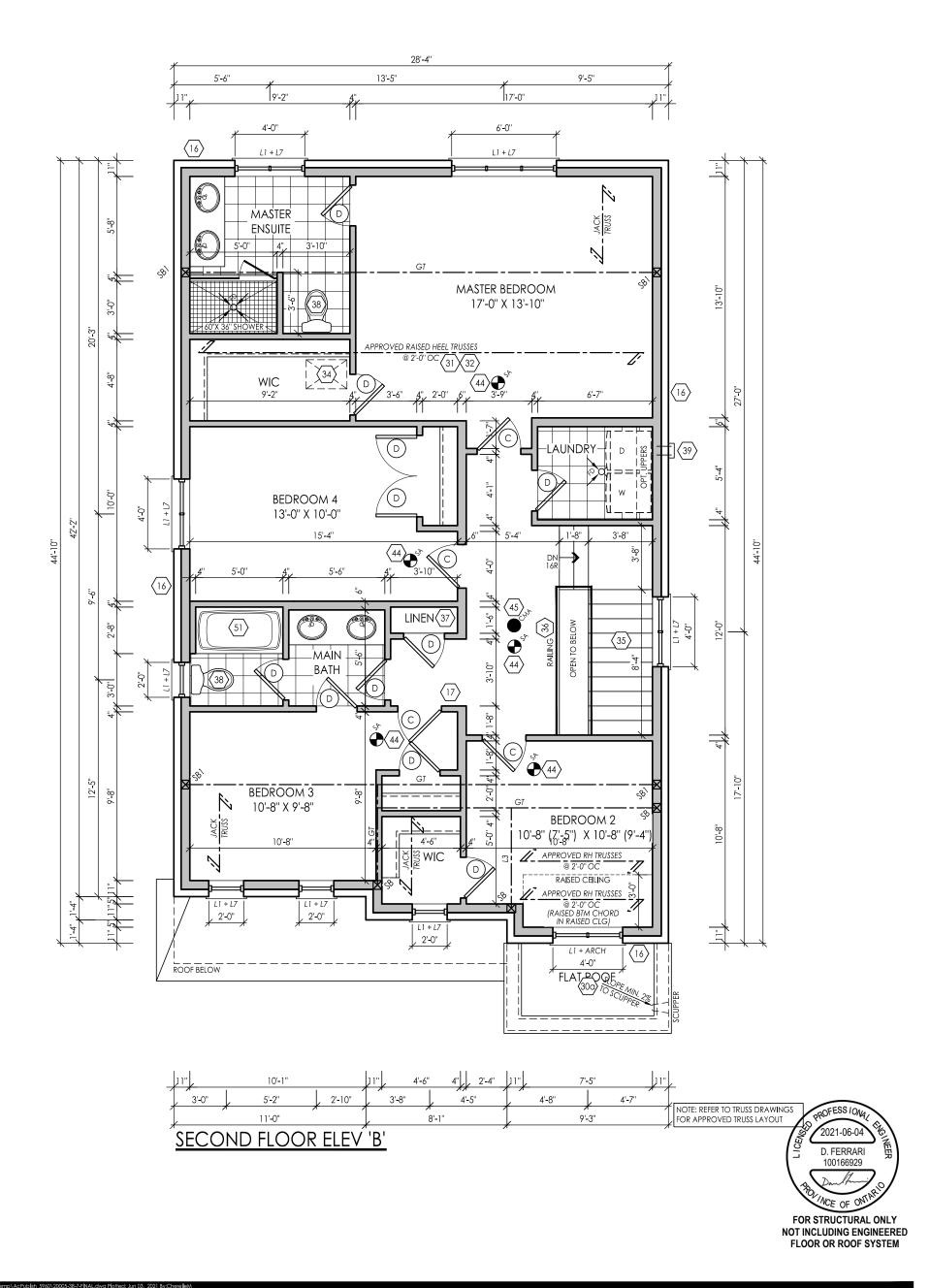
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model 38-7	
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QUALIFIED DESIGNER BCIN: FIRM BCIN: DATE:

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26995 JUNE 3, 2021

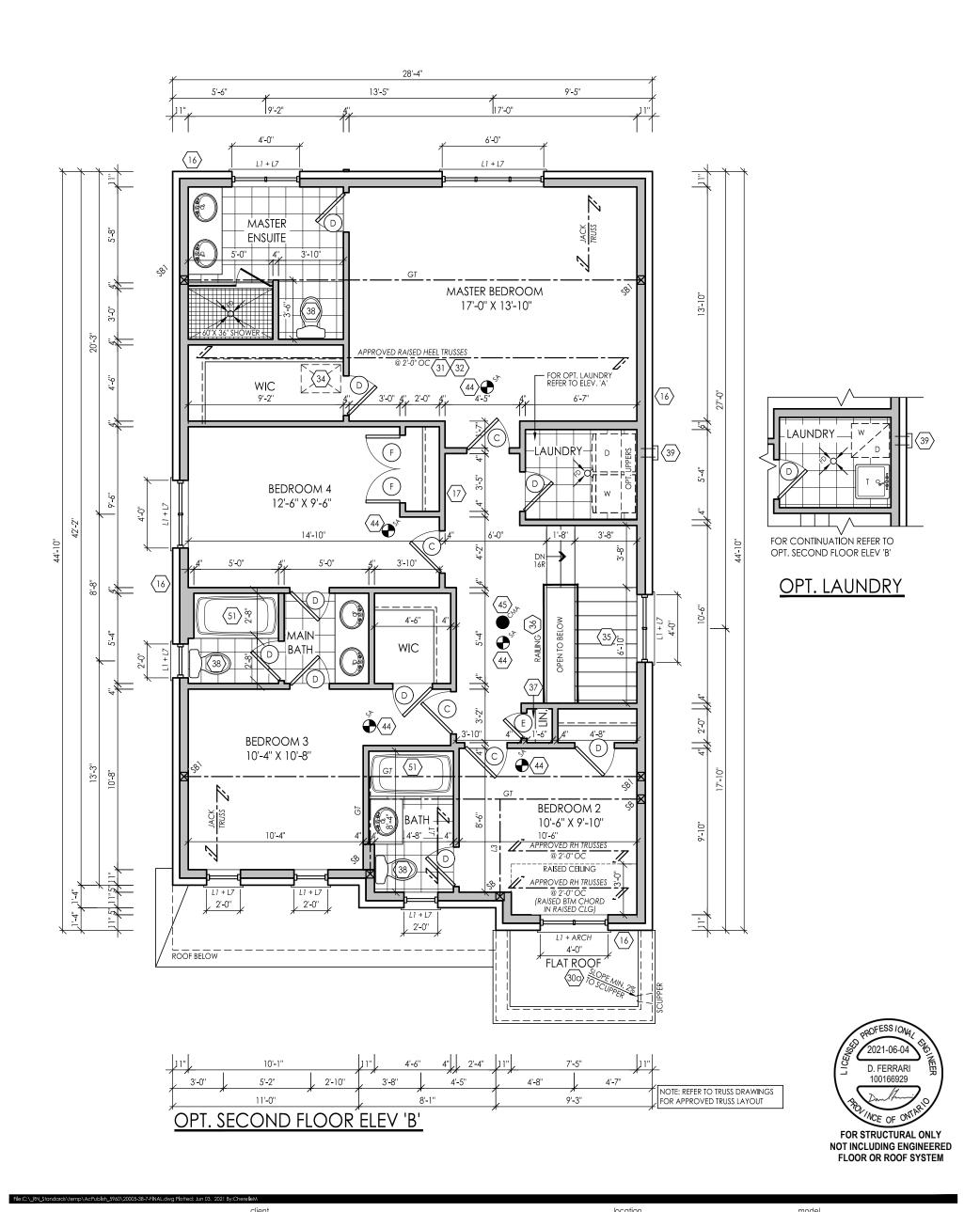
Royal Pine Homes Ltd. Richmond Hill marketing name

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QUALIFIED DESIGNER BCIN:
FIRM BCIN:
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SIGNATURE:

103017 26995 JUNE 3, 2021

ISSUED FOR CLIENT REVIEW

Royal Pine Homes Ltd. Richmond Hill marketing name Centrefield, Ph. 2 revisions date dwn chk # revisions date dwn chk MD CM 6 REVISED PER ENGINEER COMMENTS & REVISED PER CLIENT COMMENTS 3-Jun-21 MD CM 17-MAR-21 ISSUED FOR PERMIT REVISED PER ENGINEER COMMENTS 28-Apr-21 MD СМ REVISED PER FLOOR/TRUSS COORD MD CM 6-May-21

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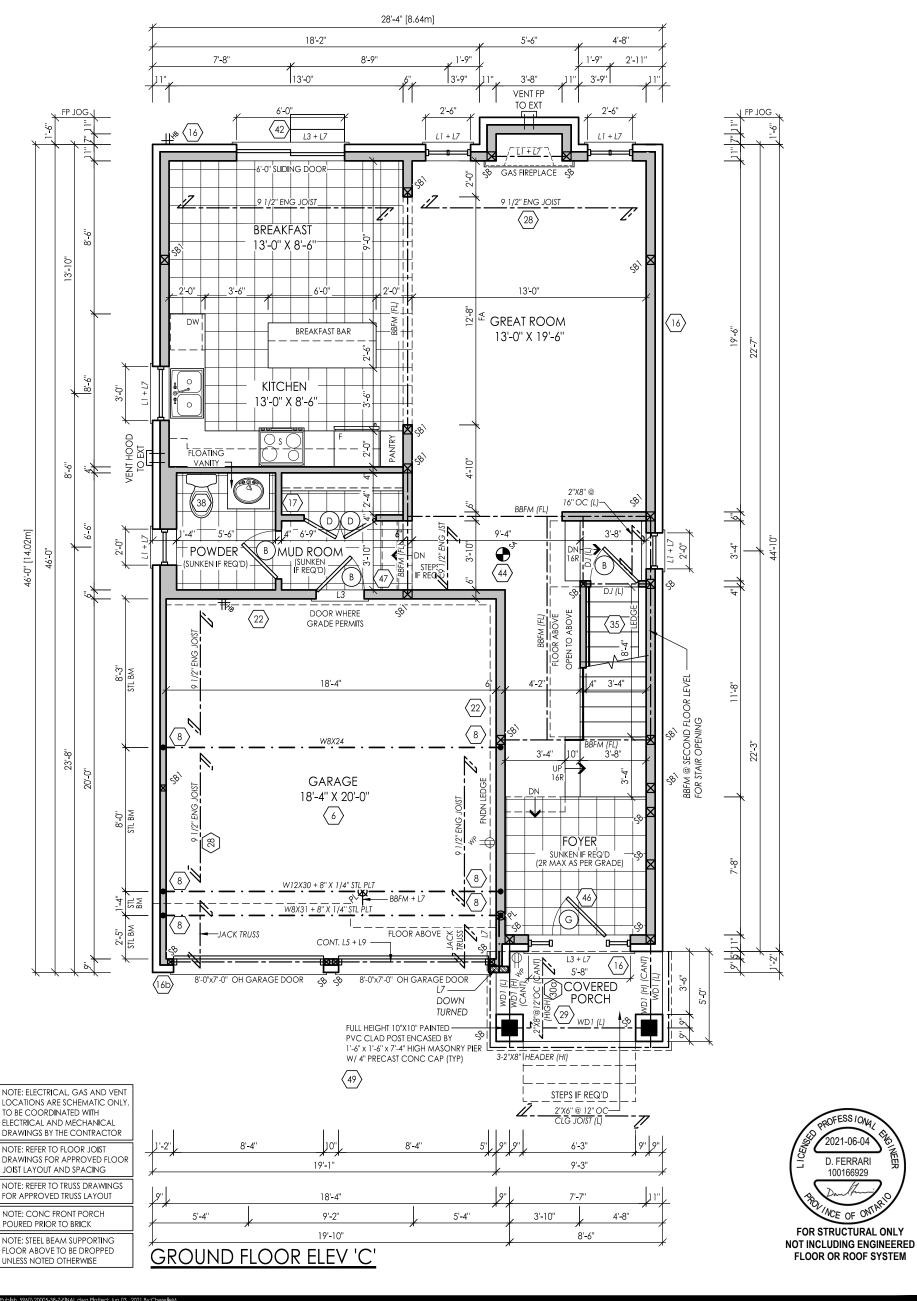
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26995 JUNE 3, 2021 Royal Pine Homes Ltd.

Project

Centrefield, Ph. 2

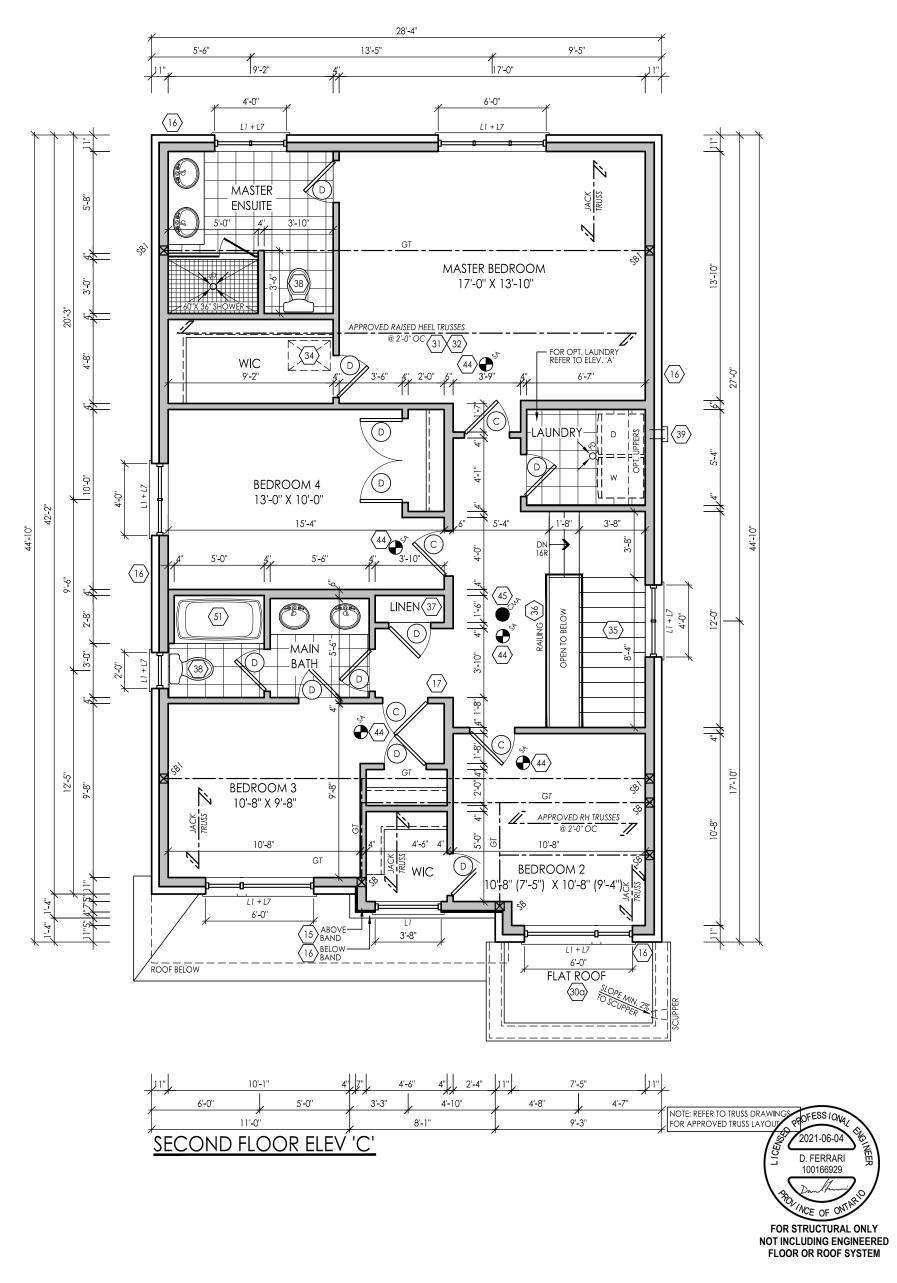
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model 38-7	
scale 3/16" = 1'0"	project # 20005
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I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

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: 103017 26995 JUNE 3, 2021 client
Royal Pine Homes Ltd.

Project
Centrefield, Ph. 2

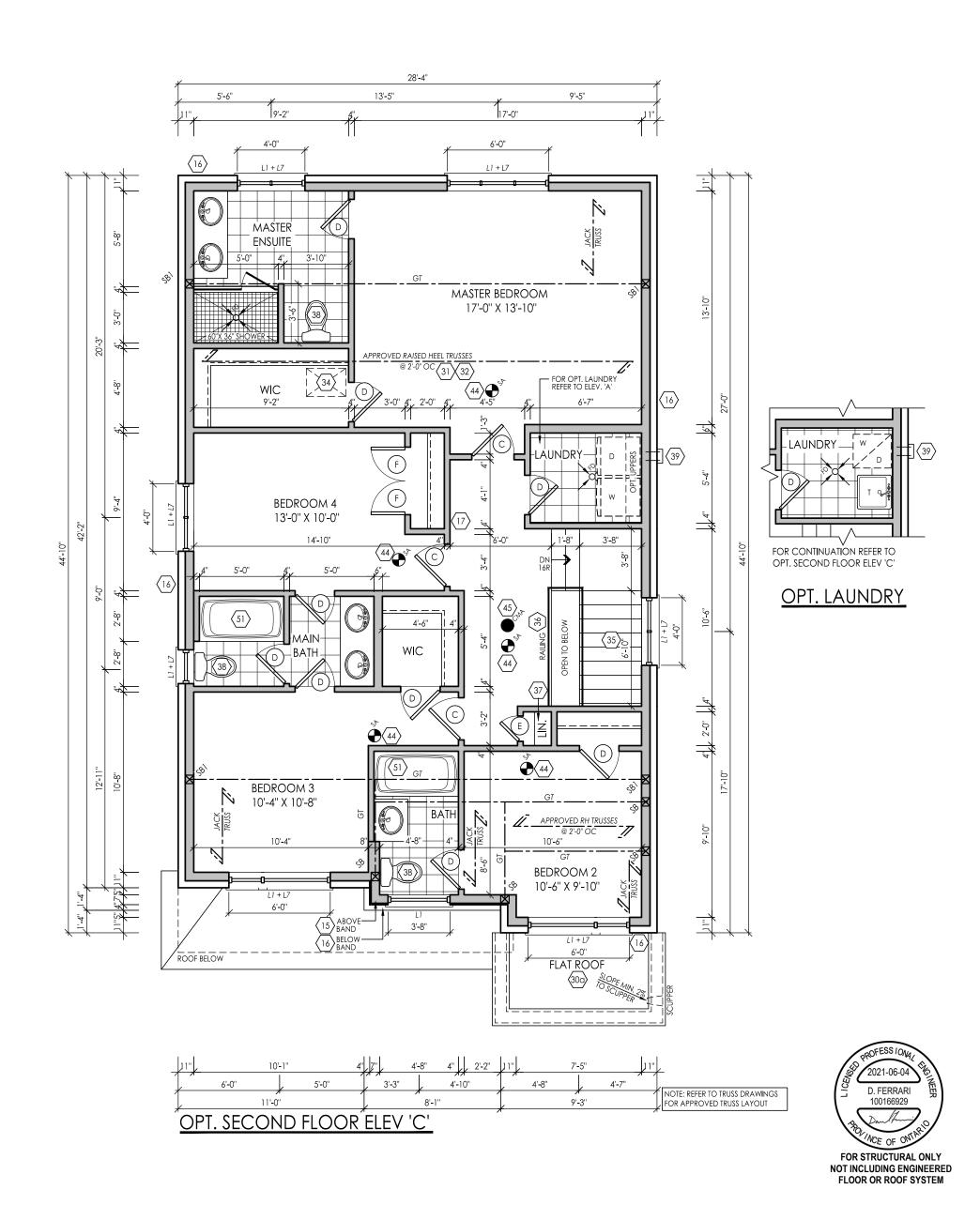
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model 38-7	
scale 3/16" = 1'0"	project # 20005
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I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

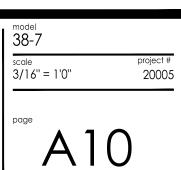
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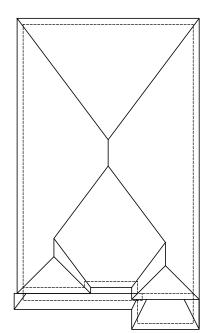
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103017 26995 JUNE 3, 2021

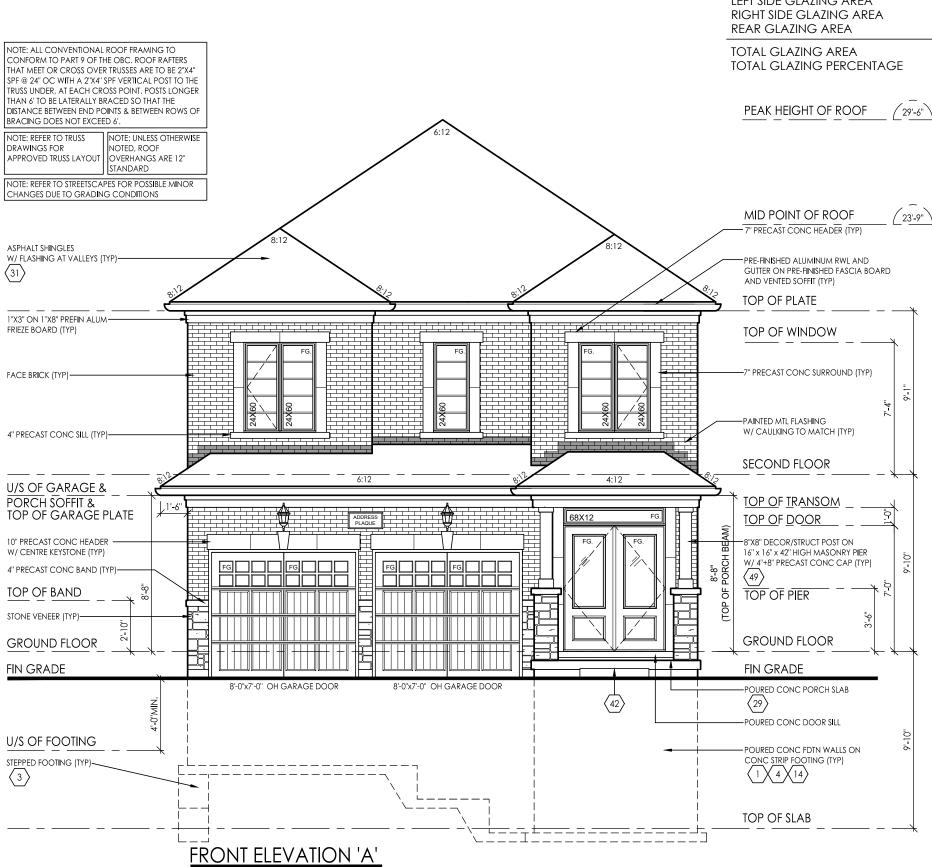
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4	REVISED PER FLOOR/TRUSS COORD	6-May-21	МD	СМ					
5	ISSUED FOR CLIENT REVIEW	14-May-21	МD	СМ					







ROOF PLAN ELEV 'A'





TOTAL PERIPHERAL WALL AREA	3005.88 sf	279.26 m
FRONT GLAZING AREA	70.76 sf	6.57 m
LEFT SIDE GLAZING AREA	53.67 SF	4.99 m
RIGHT SIDE GLAZING AREA	38.00 SF	3.53 m
REAR GLAZING AREA	127.00 sF	11.80 m
TOTAL GLAZING AREA	289.43 SF	26.89 m
	0 /0	

9.63 %

W Architect Inc. **DESIGN CONTROL REVIEW** JUN. 10, 2021

FINAL BY: MMI

This stamp is only for the purposes of design ntrol and carries no other professional obligat

2021-06-04 D. FERRARI

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FOR STRUCTURAL ONLY NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

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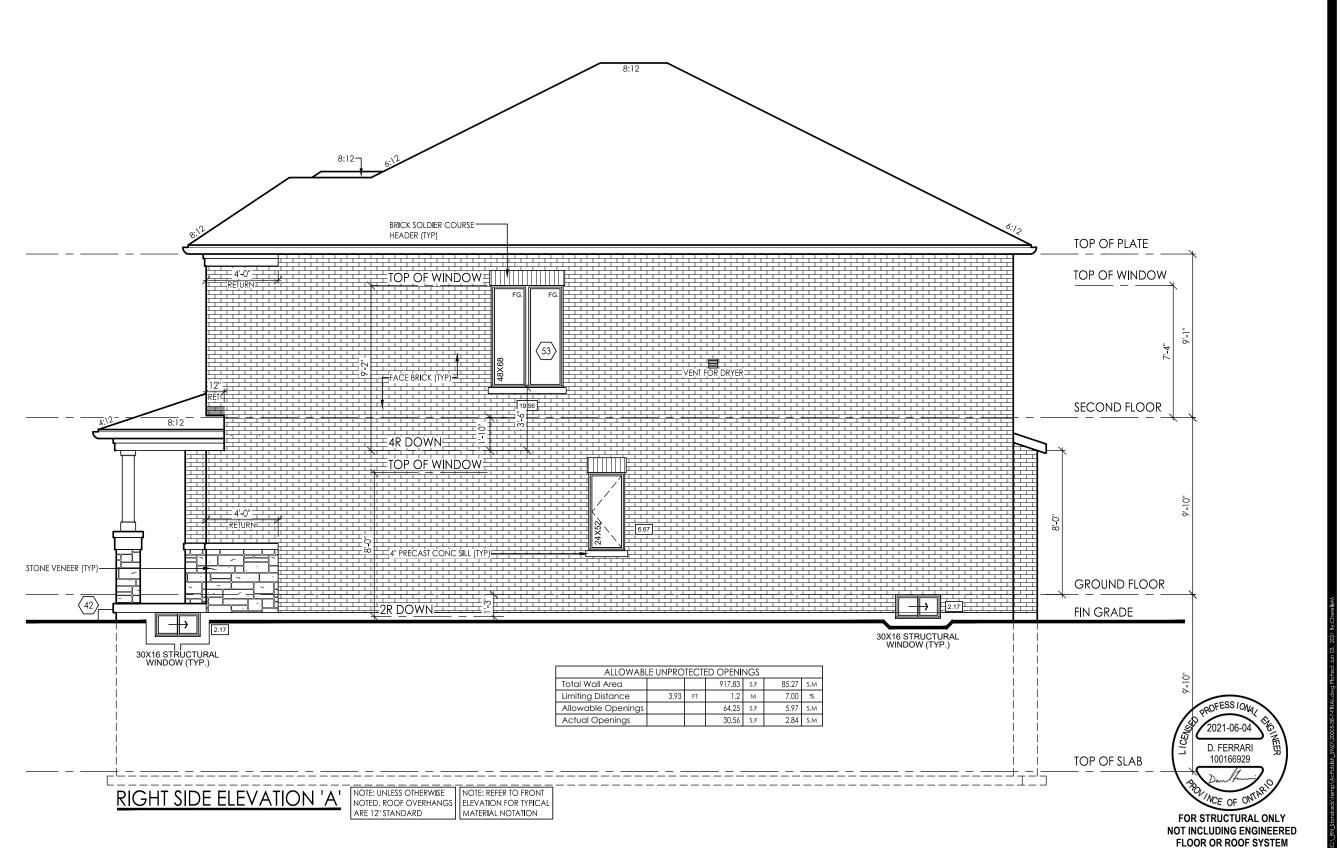


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Royal Pine Homes Ltd.

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Centrefield, Ph. 2

2021-06-04

D. FERRARI 100166929

FOR STRUCTURAL ONLY NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C.PART.3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS RECISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 26895
DATE:

JUNE 3, 2021 103017 26995 JUNE 3, 2021

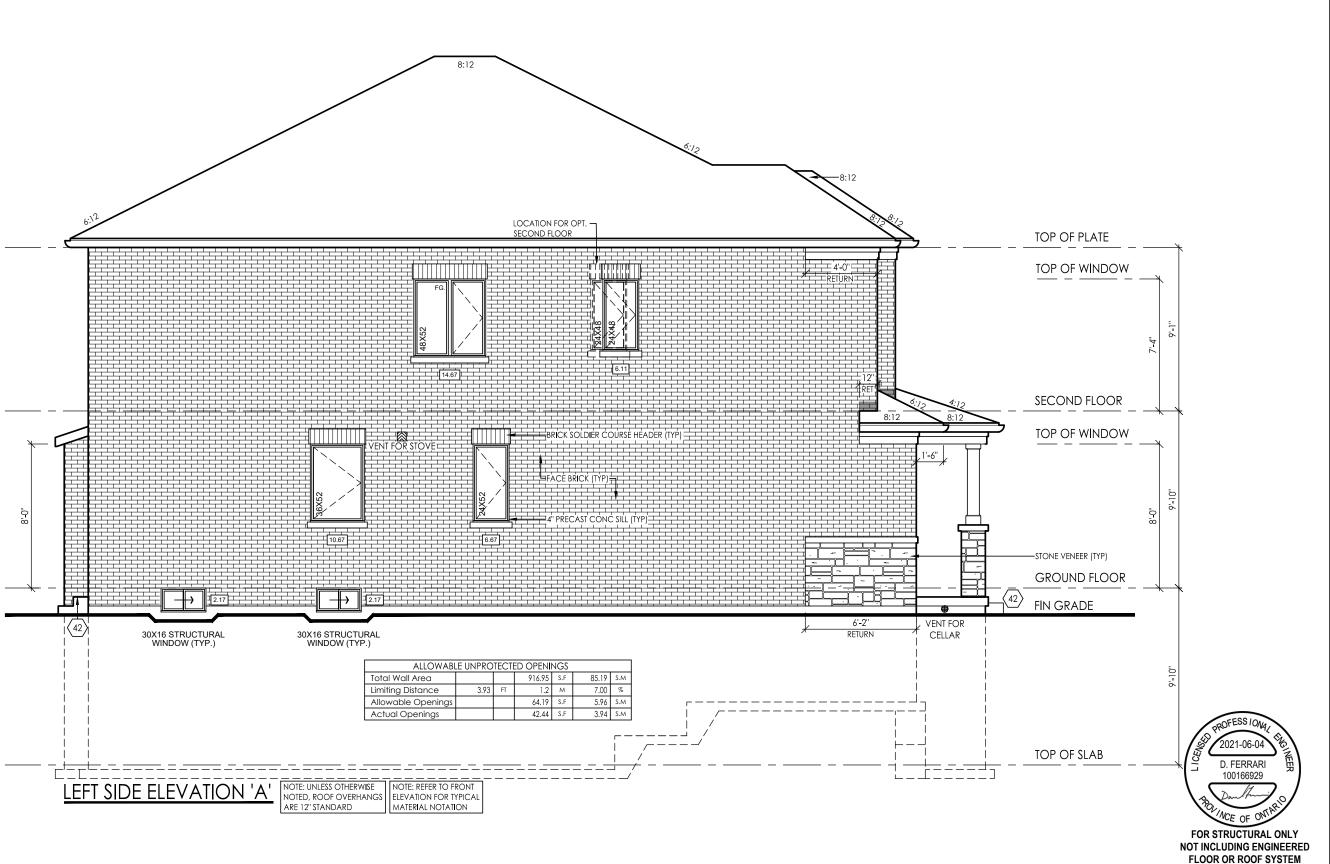
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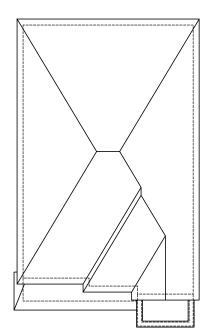
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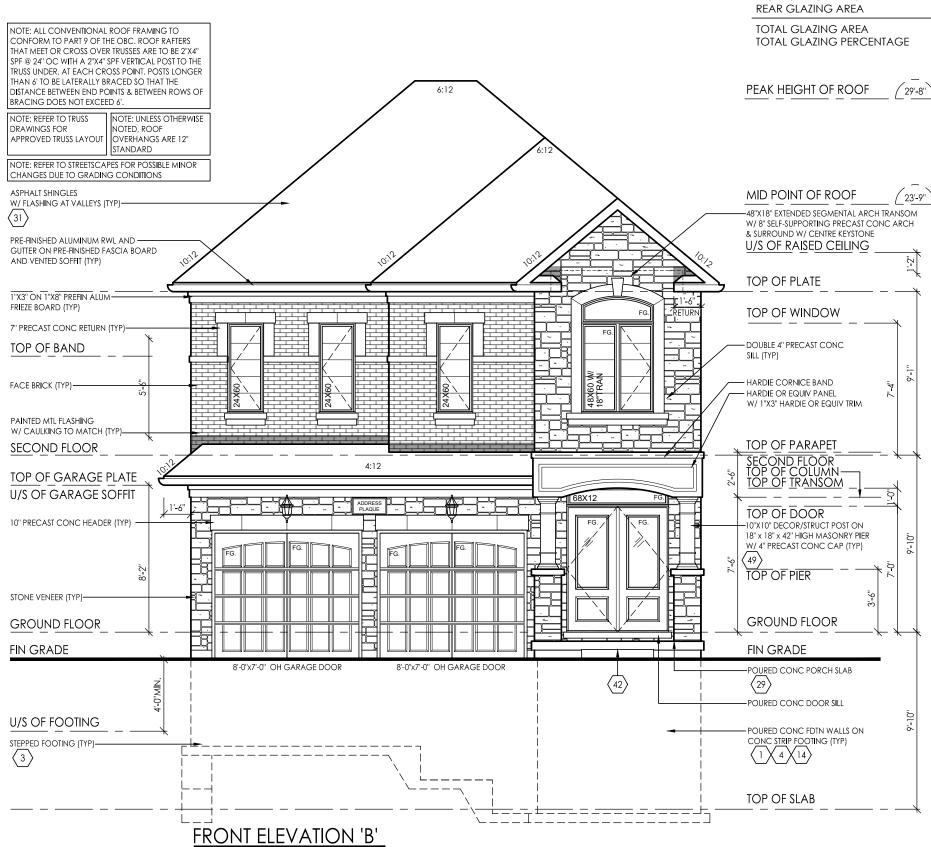
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38-7 scale 3/16" = 1'0"

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ROOF PLAN ELEV 'B'





TOTAL PERIPHERAL WALL AREA	2987.72 SF	277.57 m²
FRONT GLAZING AREA	70.44 SF	6.54 m²
LEFT SIDE GLAZING AREA	53.67 SF	4.99 m²
RIGHT SIDE GLAZING AREA	38.00 SF	3.53 m²
REAR GLAZING AREA	127.00 SF	11.80 m²
TOTAL GLAZING AREA TOTAL GLAZING PERCENTAGE	289.11 sf 9.68 %	26.86 m²

W Architect Inc.

DESIGN CONTROL REVIEW

JUN. 10, 2021

FINAL BY: MMI This stamp is only for the purposes of design

> 2021-06-04 D. FERRARI

100166929

FOR STRUCTURAL ONLY NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

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Richmond

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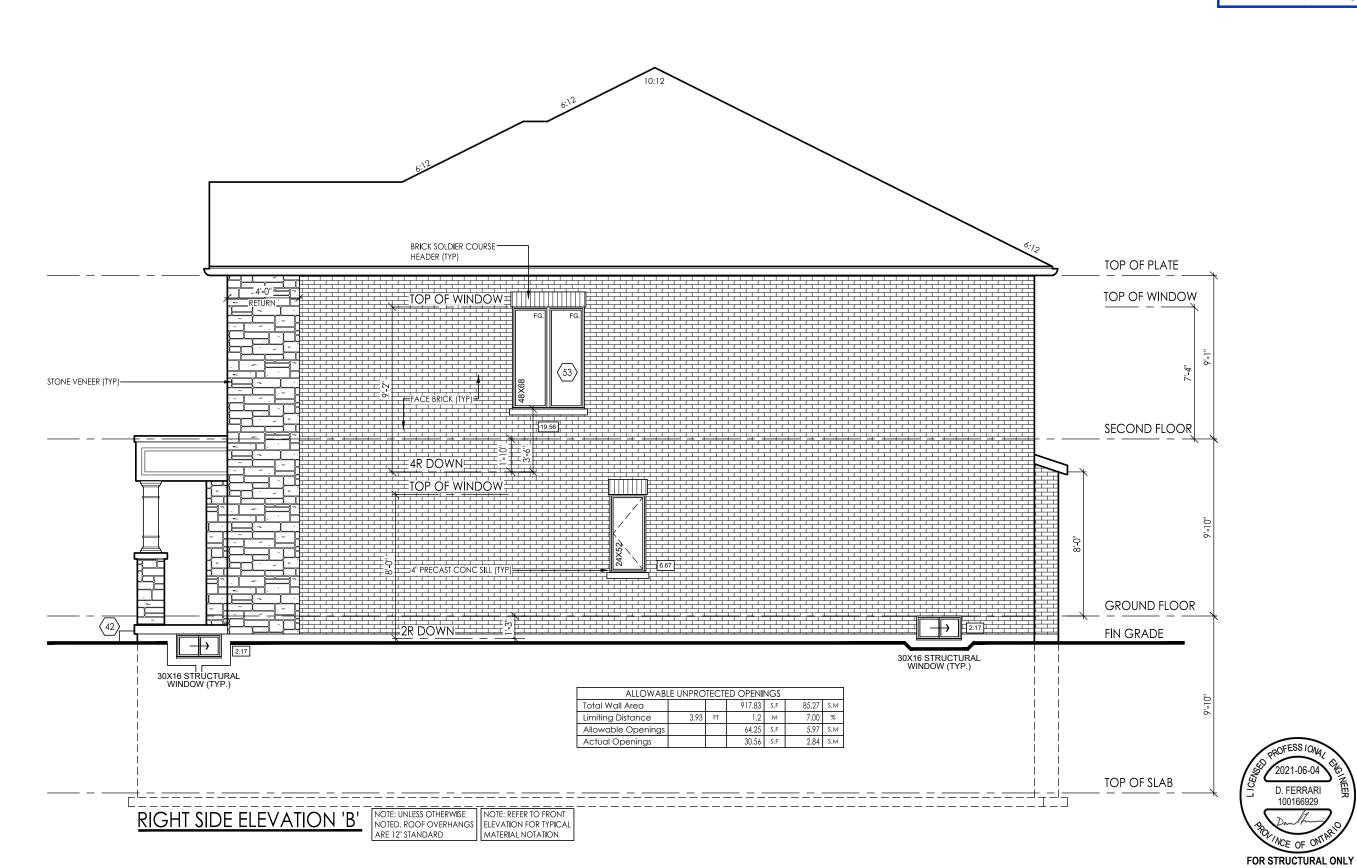
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38-7 scale 3/16"

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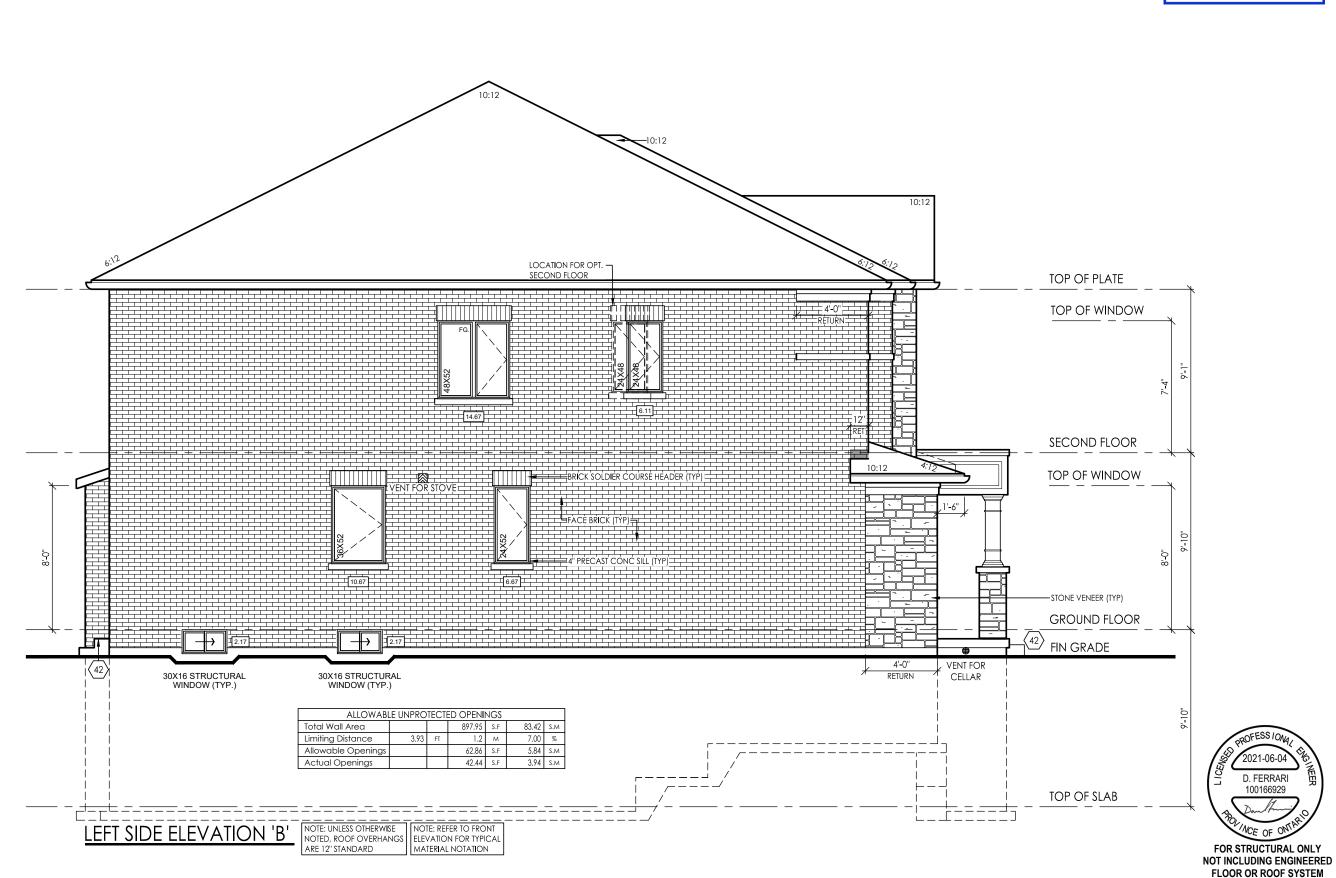


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	#	revisions	date dwn chk #	dwn	chk	#	
	~	1 ISSUED FOR CLIENT REVIEW	20-AUG-20 SL MSA 6 REVIS	SL	MSA	9	REVISI ISSUEI
	2	REVISED PER CLIENT COMMENTS	17-MAR-21 MD CM	MD	CM		
	3	REVISED PER ENGINEER COMMENTS	28-Apr-21 MD CM	ИD	CM		
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NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

3/16" = 1'0"



Royal Pine Homes Ltd.

project
Centrefield, Ph. 2

103017 26995 JUNE 3, 2021

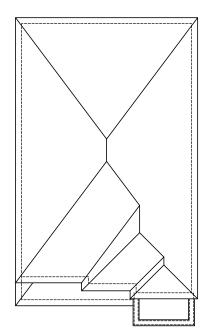
Richmond Hill

3/16" = 1'0"

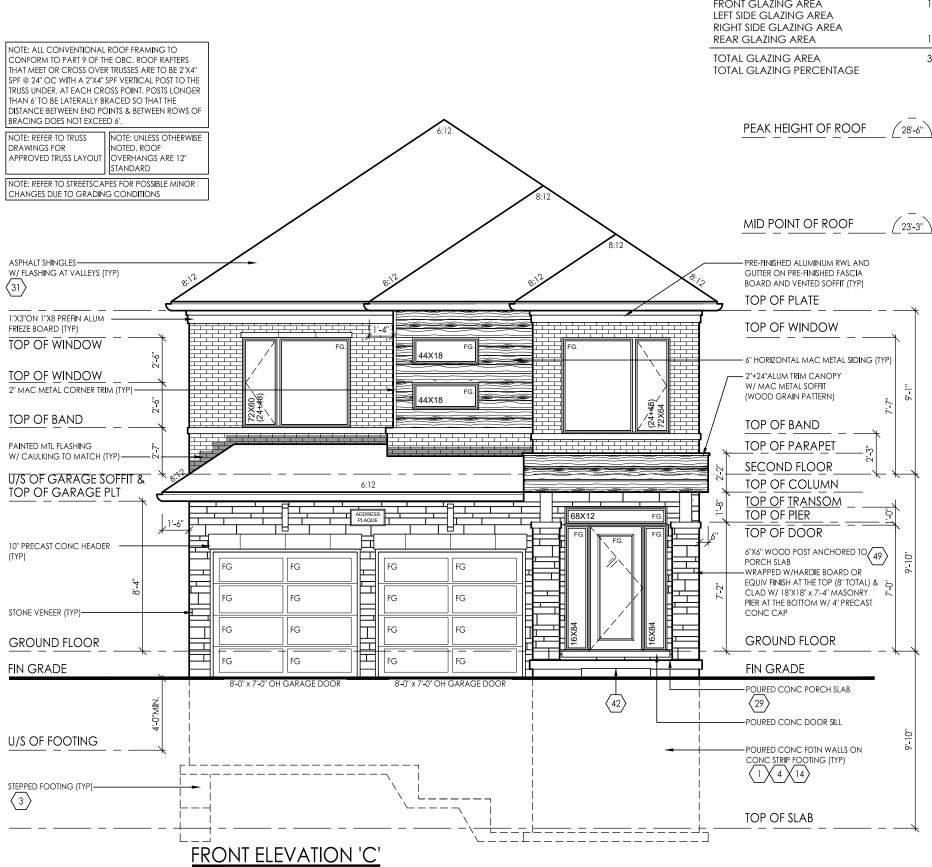
I. MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **FM DESIGN LTD.** JUNDER DIVISION C.PART-3 SUBSCTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FRM IS REGISTRED IN THE APPROPRIATE CLASSES / CATEGORIES.

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JUNE 3.2021
DATE:









TOTAL PERIPHERAL WALL AREA	2987.72 SF	277.57 m ²
FRONT GLAZING AREA	118.33 SF	10.99 m ²
LEFT SIDE GLAZING AREA	53.67 SF	4.99 m ²
RIGHT SIDE GLAZING AREA	38.00 SF	3.53 m ²
REAR GLAZING AREA	127.00 SF	11.80 m ²
TOTAL GLAZING AREA TOTAL GLAZING PERCENTAGE	337.00 SF 11.28 %	

W Architect Inc. JUN. 10, 2021 FINAL BY: MMI



This stamp is only for the purposes of design after and carries no other professional obligation

2021-06-04

D. FERRARI

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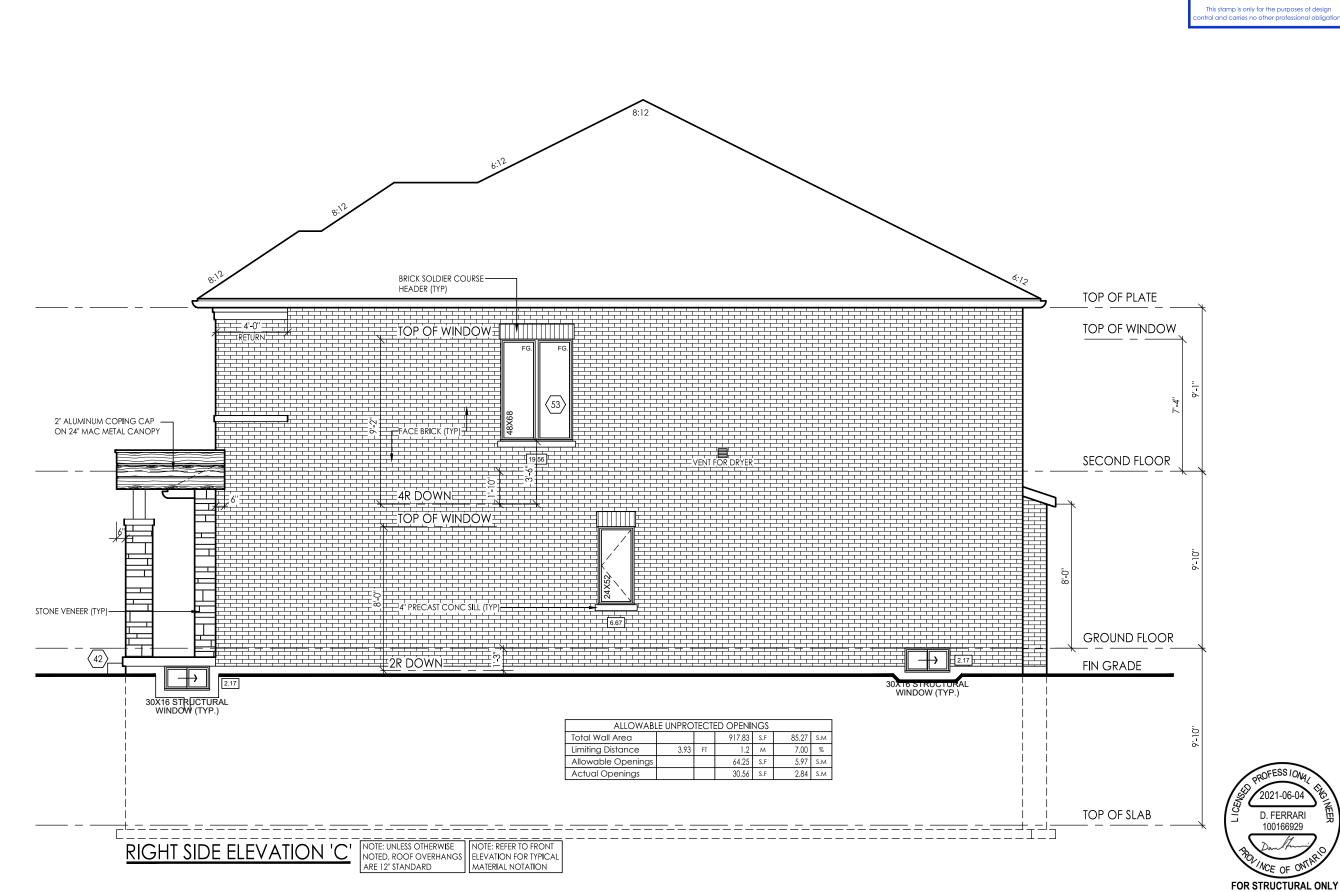


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Richmond Hill

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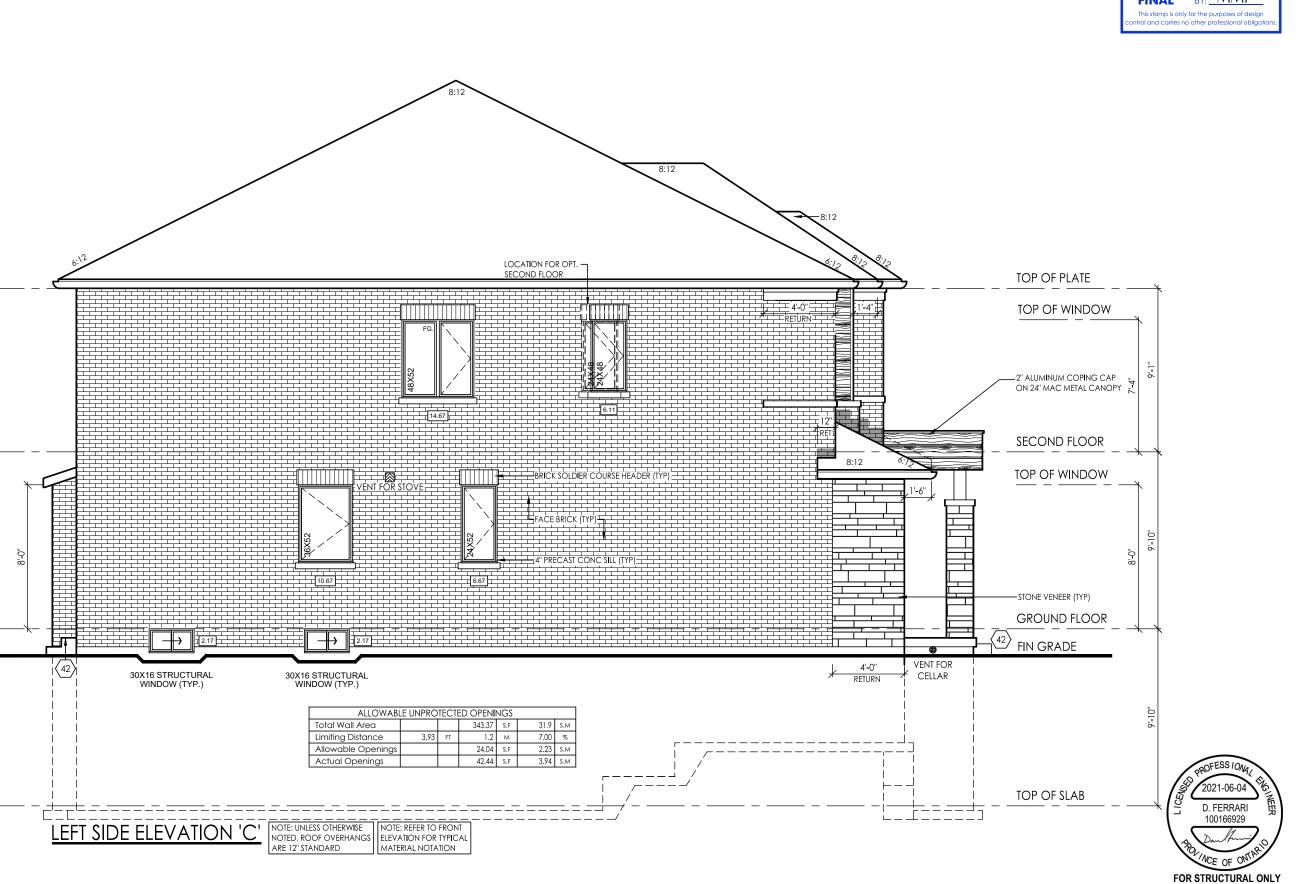
Royal Pine Homes Ltd.

project
Centrefield, Ph. 2

3/16" = 1'0"

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NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

Richmond Hill

103017 26995 JUNE 3, 2021

Royal Pine Homes Ltd.

project
Centrefield, Ph. 2

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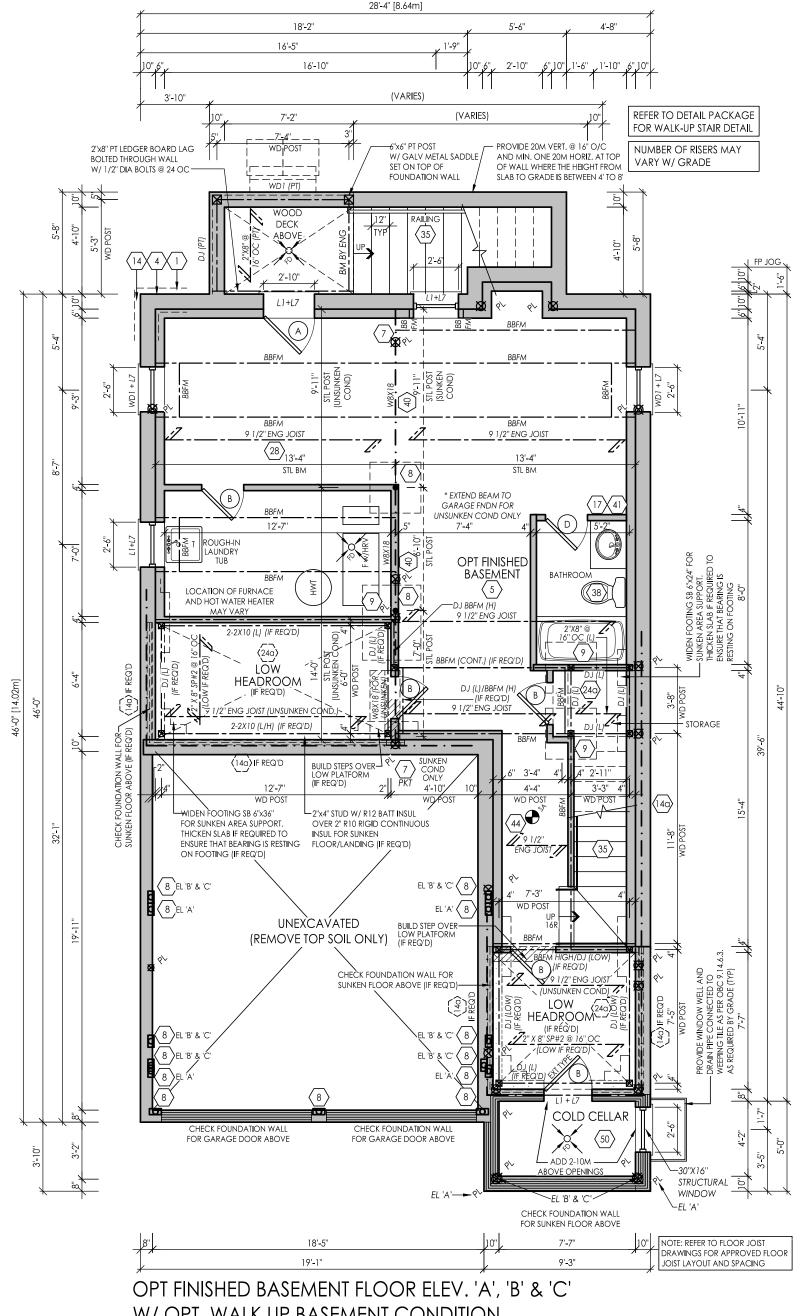
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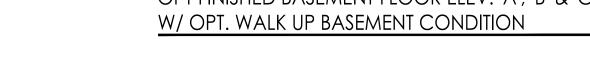
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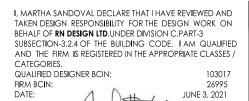
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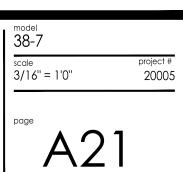


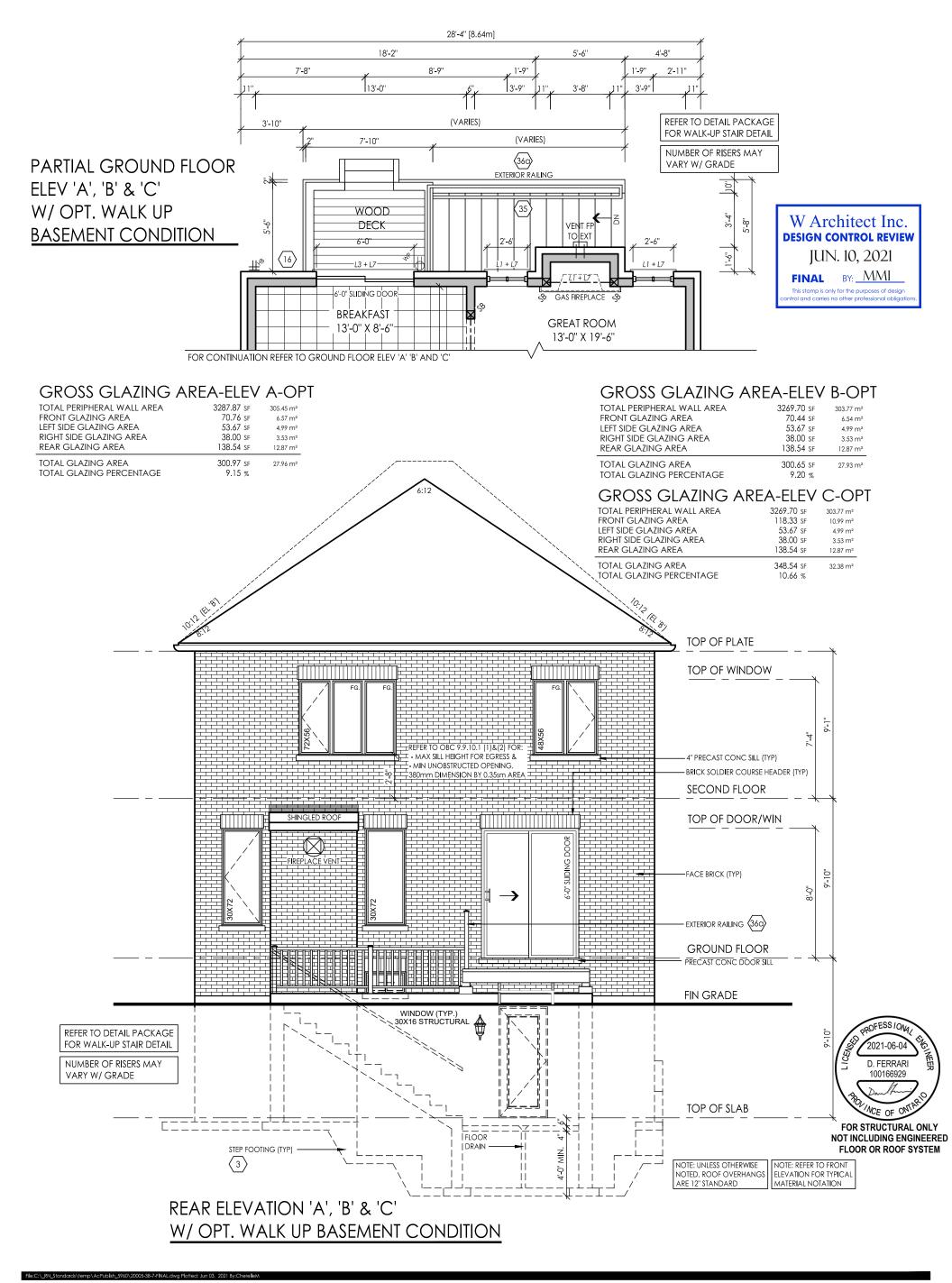
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roje C	entrefield, Ph. 2						market	ing n	ame
#	revisions	date	dwn	chk	#	revisions	date	dwr	ch
1	ISSUED FOR CLIENT REVIEW	20-Aug-20	SL	MSA	6	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	3-Jun-21	MD	CN
2	REVISED PER CLIENT COMMENTS	17-MAR-21	MD	СМ					
.3	REVISED PER ENGINEER COMMENTS	28-Apr-21	MD	СМ					
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Tel: 905-738-3177 WWW.THEPLUSGROUP.CA









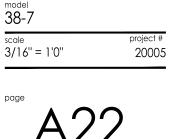
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103017 26995 JUNE 3, 2021

Royal Pine Homes Ltd.						Richmond Hill				
Centrefield, Ph. 2						market	eting name			
#	revisions	date	dwn	chk	#	revisions	date	dwn	chk	
1	ISSUED FOR CLIENT REVIEW	20-Aug-20	SL	MSA	6	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	3-Jun-21	MD	СМ	
2	REVISED PER CLIENT COMMENTS	17-MAR-21	MD	СМ						
3	REVISED PER ENGINEER COMMENTS	28-Apr-21	MD	СМ						
5	ISSUED FOR CLIENT REVIEW	14-May-21	МD	СМ						



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-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO Building CODE (O.B.C.) and all other CODES and local authorities having jurisdiction.

-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC. -THERMAL RESISTANCE VALUES BASED ON ZONE 1

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

O.B.C. 9.15.3.

-BASED ON 16'-1"(4.9m) MAX, SUPPORTED JOIST LENGTH
-MIN. 2200psi (15MPq) CONCRETE AFTER 28 DAYS
-SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL

W/ MIN. 10.9psi (75kPa) BEARING CAPACITY -FTG. TO HAVE CONTINUOUS KEY

-FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS ENGINEERING REPORT)

REFER TO WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE NOTES #1 & #2 FOR FOOTING SIZES

Y TYPICAL STRIP FOOTING: (EXTERIOR WALLS) O.B.C. 9.15.3.5. -FTG. TO EXTEND MIN. 4'-0" (1200mm) BELOW GRADE

-1 STOREY - 13" X 4" -2 STOREY - 19" X 6" (330mm X 100mm) (485mm X 155mm) BRICK VENEER -3 STOREY - 26" X 9" (660mm X 230mm)

-1 STOREY - 10" X 4" (255mm X 100mm) SIDING--2 STOREY - 14" X 4" (360mm X 100mm) -3 STOREY - 18" X 5" (460mm X 130mm)

$\left\langle 2 \right\rangle$ TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

O.B.C. 9.15.3.6. -1 STOREY MASONRY - 16" X 4"

-1 STOREY STUD (305mm X 100mm) -2 STOREY MASONRY - 26" X 9" (650mmX 230mm) -2 STOREY STUD -3 STOREY MASONRY - 18" X 5" (450mm X 130mm) (900mm X 360mm -3 STOREY STUD - 24" X 8" (600mm X 200mm)

$\sqrt{3}$ STEP FOOTING: O.B.C. 9.15.3.9.

-23 5/8" (600mm) MAX. VERTICAL RISE & 23 5/8" (600mm) MIN. HORIZONTAL

(410mm X 100mm)

4 DRAINAGE TILE OR PIPE:

O.B.C. 9.14.3. -4" (100mm) MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.
-COVER TOP & SIDES OF TILE OR PIPE W/ 5 7/8" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.
-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

BASEMENT SLAB:

O.B.C. 9.13, & 9.16.
-3" (75mm) CONCRETE SLAB
-2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5.
-DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR
TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS.

-DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS -4" (100mm) OF COURSE GRANULAR MATERIAL

-4 (TOUTHIT) OF COURSE GRANDLER MATERIAL
PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
-WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO

C.B.C. 7.13.3. -FLOOR DRAIN PER O.B.C.9.31.4.4. -R10 (RSI 1.76) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 23-1/2" (600mm) OF BASEMENT SLAB EDGE, INSULATION TO EXTEND TO NOT LESS THAN 23-1/2" (600mm) BELOW EXTERIOR GRADE LEVEL (OBC SB-12 -

UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

SLAB ON GROUND:

-3" (75mm) CONCRETE SLAB - O.B.C. 9.16.4.3. -2200psi (15MPa) AFTER 28 DAYS - O.B.C. 9.16.4.5. -DAMPPROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 4" (100mm) LAPPED JOINTS. -DAMPPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 3600psi(25MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS

-R10 (RSI 1.76) INSULATION UNDER ENTIRE SLAB WHERE THE ENTIRE SLAB IS

WITHIN 23-1/2" (600mm) OF GRADE. (OBC SB-12 3.1.1.7.(6))
-4" (100mm) OF COURSE GRANULAR MATERIAL

-PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG. -WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO

O.B.C. 9.13.3.

- FLOOR DRAIN PER O.B.C.9.31.4.4. - UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD (O.B.C. SB-9)

GARAGE SLAB / EXTERIOR SLAB: -4"(100mm) CONCRETE SLAB

-4650psi (32MPa) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6. -6" X 6" (W2.9 X W 2.9) WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB

-4" (100mm) OF COURSE GRANULAR MATERIAL -ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED. igoplus -Poured 12" wide x 8" deep poured con. Grade beam below slab

7 PILASTERS:

O.B.C. 9.15.5.3. PILASTER

-BLOCK NIB - 4" X 12" (100mm X 300mm)
-BLOCK NIB - 4" X 12" (100mm X 300mm) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2. TOP 7 7/8" (200mm) SOLID.

BEAM POCKET -4" (100mm) INTO FDN, WALL W/ WIDTH TO MATCH BEAM SIZE. -1/2" (13mm) SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.)

STRUCTURAL COLUMNS -SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 16'-1" (4.9m) AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 50psf (2.4kPa)

8 STEEL PIPE COLUMN: O.B.C. 9.15.3.4. & 9.17.3. -FIXED COLUMN

-MIN. 3 1/2" (90mm) DIA. W/ 1/4" (6.35mm) WALL THICKNESS -FOR STEEL BEAMS, CLIPS @ TOP & MIN. 6" X 4" X 1/2" (152mmX 100mmx 6.35mm) STEEL BTM PLATE

6-30-1111] STEEL BIM, FLATE
FOR WOOD BEAMS, MIN. 4"X4"X1/4" (100mmX 100mm X 6.35mm) STEEL TOP
& BTM, PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM -ADJUSTABLE COLUMNS TO CONFORM TO CAN//CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)

-POURED CONC. ON NATURAL UNDISTRUBED SOIL WITH MIN. SERVICE

BEARING CAPACITY OF 100kPa COL. SPACING:

2 STORFY

-MAX. 9'-10" (2997mm) 34" X 34" X 16" - (860mmX 860mmX 400mm)

-MAX. 16'-0" (4880mm) - (1120mmX 1120mmX 530mm)

3 STOREY

-MAX. 9'-10" (2997mm) - (1010mmX 1010mmX 480mm)

- 51" X 51" X 24" - (1295mmX 1295mmX 610mm) -MAX. 16'-0" (4880mm)

-WHERE COL. SITS ON FDN, WALL, USE 4" X 8" X 5/8" (100mmX 200mmX

16mm) STEEL PLATE WITH 2-5/8" (16mm) ANCHOR BOLTS

◆ CLIENT SPECIFIC REVISIONS

ONTARIO REGULATION 332/12 OBC. AMMENDMENT O. REG. 139/17 JAN 1, 2018

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: FIRM BOIN

SIGNATURE:



OBC 9.17.4.1 , 9.17.4.2, & 9.17.4.3.

-5 ½" x 5 ½" (140mm x 140mm) SOLID WOOD COLUMN - OR -3-2"x6" (38mm x 140mm) BUILT UP COLUMN NAILED TOGETHER W/ 3" (76mm) NAILS SPACED NOT MORE THAN 12" (300mm) APART OR BOLTED TOGETHER W/ 3/8"(9.52mm) DIA BOLTS SPACED AT 18" (450mm) O.C. -WRAP COLUMN BASE W/ 6 MIL POLY

-COLUMN TO SIT DIRECTLY ON CONC PAD (NOT ON CONC SLAB)
-25"x25"x12" (640mm x 640mm x 300mm) CONC PAD (1 FLOOR SUPPORTED W/9'-10" COL SPACING)

-34"x34"x14" (860mm x 860mm x 360mm) CONC PAD (2 FLOORS SUPPORTED W/

$\left\langle 10 \right\rangle$ block party wall beam end bearing: (wood beam / girder trusses)

-2"X8"X12" LEDGER BOARD FASTENED W/ 2/ 1/2" ANCHOR BOLTS @ 4" O.C. -WHERE WOOD BEAMS BEAR ON FIREWALLS USE GENERAL NOTE 11 WHERE REQUIRED TO OBTAIN 5" SEPARATION DISTANCE

11 BLOCK PARTY WALL BEAM END BEARING: (STEEL BEAM)

-12"X11"X 5/8" STL. PLATE ON TOP OF SOLID CONCRETE BLOCK WITH 2- 1/2"Ø x8" ANCHOR BOLTS.

WALL ASSEMBLIES:

14 FOUNDATION WALL:

O.B.C. 9.15.4.2.

O.B.C. Y.15.4.2.

-FOR WALLS NOT EXCEEDING 8'-2" (2500mm) IN LATERALLY SUPPORTED HEIGHT.

-8" (200mm) SOLID 2200psi (15MPa) CONCRETE

-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) & MAX. SUPPORTED HEIGHT

OF 7'-0" (2150mm) MeASURED FROM GRADE TO FINISHED BASEMENT FLOOR.

-FOR WALLS NOT EXCEEDING 9'-0" (2750mm) IN LATERALLY SUPPORTED HEIGHT.

-10" (250mm) SOLID 2200psi (15MPa) CONCRETE -10 (25011111) 2501112 2505112 (150111) 25010CRCIE -MAX. UNSUPPORTED HEIGHT OF 4'-7" (1400mm) & MAX. SUPPORTED HEIGHT OF 8'-6" (2600mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR. -LATERAL SUPPORT PROVIDED BY ANCHORED SILL PLATE TO JOISTS.

FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.-T.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED

-WALL SHALL EXTEND A MIN. 5 7/8" (150mm) ABOVE GRADE -INSULATE W/ R20 (RSI 3.52) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 8" (200mm) ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)

-ALTERNATE INSULATION METHOD: 2" (51mm) R10 (RSI 1.76)RIGID INSULATION W/ 2"x4"(38mm X 89mm) WOOD STUD W/ R12 (RSI 2.11) BATT INSULATION -BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL REDUCTION OF THICKNESS:

O.B.C. 9.15.4.7. -WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO ALLOW MASONRY FACING, THE MIN. REDUCED THICKNESS SHALL NOT BE LESS THAN 3-1/2" (90mm) THICK.

THE TO FACING MATERIAL WITH METAL TIES SPACED MAX. @ 7 7/8" (200mm)
VERTICALLY O.C. & 2-11" (900mm) HORIZONTALLY.
-FILL SPACE BETWEEN WALL AND FACING SOLID W/ MORTAR

-WHERE WALL IS REDUCED FOR JOISTS, THE REDUCED THICKNESS SHALL BE MAX. 13-3/4" (350mm) HIGH & MIN. 3-1/2" (90mm) THICK

DAMPPROOFING & WATERPROOFING:

-DAMPPROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C.

-WHERE INSULATION EXTENDS TO MORE THAN 2'-11" (900mm) BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)

-FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
-WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
-WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.

FOUNDATION WALLS @ UNSUPPORTED OPENINGS:

-2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) -3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING) -4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING) -BARS STACKED VERTICALLY AT INTERIOR FACE APPROX 4" TO 6" APART. -BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER -BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING.

15 FRAME WALL CONSTRUCTION:

O.B.C. 9.23. -SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)

-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. -1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C. 9.23.16. -2" X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C. -MIN. R22 (RSI 3.87) @ 16 O.C.+1.5ci INSULATION (ZONE 1. OBC SB-12 T.3.1.1.2.A.) -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.

-1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

$\underline{\text{REQ. FOR FIRE RATING (LESS THAN 4'-0'' LIMITING DISTANCE):}}$

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE THE FOLLOWING MATERIALS:

♦ -REPLACE R22 (RSI 3.87) @ 16 O.C.+1.5ci INSULATION WITH R22 (RSI 3.87) @ 16 O.C.+1.5ci ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/sq.m. -REPLACE 1/2" (12.7mm) INTERIOR GYPSUM BOARD WITH 1/2" (12.7mm) TYPE 'X'

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

-REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:
-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO

MANUFACTURER'S SPECIFICATIONS).

-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

(150) ALTERNATE FRAME WALL CONSTRUCTION:

SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.) -1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C.

7-27.3.4.) -Brace W/ Cont. 16 Gauge Steel 't' Braces from top plate to bim. plate For the full length of Wall, or Cont. 2" X 4" (38mmX 89mm) Solid Wood

BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL. -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C.

ON BOTTOM FLR. WHEN 3 STOREYS. -R14 (RSI 2.46) INSULATION

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. &

-1/2" (12.7mm) GYPSUM BOARD

NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1 . = FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

REQUIRED TO BE SPACED @ 12" (300mm) O.C.

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS: -ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

9,23.16, BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m.
-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

Royal Pine Homes Ltd. Richmond Hill marketing name Centrefield, Ph. 2 2021-06-04 revisions date dwn chk D. FERRIARI date dwn chk 100166929 ISSUED FOR CLIENT REVIEW SL 20-Aug-20 MSA REVISED PER ENGINEER COMMENTS СМ 28-Apr-21 MD ISSUED FOR CLIENT REVIEW MD СМ OF ON REVISED PER ENGINEER CO. ISSUED FOR PERMIT MD

FOR STRUCTURAL ONLY NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:

-NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).

-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER $1/2^{\rm o}$ (12.7mm) GYPSUM EXTERIOR SHEATHING ON EXTERIOR SIDE OF RIGID

FRAME WALL CONSTRUCTION @ GARAGE:

-SIDING OR STUCCO AS PER ELEVATIONS, MIN. 7 7/8" (200mm) FROM

FINISHED GRADE (O.B.C. 9.28.1.4. & 9.27.)
-WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. -1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C

-1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

REQUIRED TO BE SPACED @ 12" (300mm) O.C. $\underline{\text{REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):}}$

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)
FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:

THE POLLOWING MATERIALS. -ADD ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/ sq.m. -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD. REQ. FOR FIRE RATING (LESS THAN 2'-0" LIMITING DISTANCE):

REFER TO REQUIREMENTS FOR LESS THAN 4'-0" LIMITING DISTANCE AND ADD/REPLACE THE FOLLOWING:

NON-COMBUSTABLE SIDING OR STUCCO AS PER ELEVATIONS (REFER TO MANUFACTURER'S SPECIFICATIONS).

-VINYL SIDING IS PERMITTED PER O.B.C. 9.10.15.5.(3). OVER SHEATHING PAPER OVER 1/2" (12.7mm) GYPSUM EXTERIOR SHEATHING WHICH REPLACES EXTERIOR PLYWOOD OR EQUIV.

BRICK VENEER CONSTRUCTION:

O.B.C. 9.23. -3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX.

-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C.

VERTICAL SPACING
-PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER **OPENINGS** BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING

MEMBRANE (O.B.C. 9.20.13.6.(2))

MEMBRANE (10.0.C. 7.20.13.6.(27) -BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER -1" (25mm) AIR SPACE

-1 (25mm) Aik SPACE -WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. -1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

9.23.16
-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C.

♦ -MIN, R22 (RSI 3.87) @ 16 O.C.+1.5ci INSULATION (ZONE 1. OBC SB-12 T.3.1.1.2.A.)
-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-9.25.3. & 9.25.4. -1/2" (12.7mm) GYPSUM BOARD

NOTE - SUPPORT FOR 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. =
-FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

REQUIRED TO BE SPACED @ 12" (300mm) O.C. $\underline{\text{REQ.}}$ FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE):

FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS: -REPLACE R22 (RSI 3.87) @ 16 O.C.+1.5ci INSULATION WITH R22 (RSI 3.87) @ 16 O.C.+1.5ci ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 4.8 kg/ $^{\prime}$

-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN)

ALTERNATE BRICK VENEER CONSTRUCTION:

O.B.C. 9.23. -3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX.

-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C. VERTICAL

-BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))

-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER

-PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM. COURSE & OVER

-1" (25mm) AIR SPACE 1 1/2" (38mm) R8 (RSI 1.41) RIGID INSULATION W/ TAPED JOINTS (O.B.C.

9.27.3.4.) -2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. @ 12" (300mm) O.C. ON BOTTOM FLR. WHEN 3 STOREYS -BRACE W/ CONT. 16 GAUGE STEEL 'T' BRACES FROM TOP PLATE TO BTM

PLATE FOR THE FULL LENGTH OF WALL, OR
-CONT. 2" X 4" (38mmX 89mm) SOLID WOOD BLOCKING @ APPROXIMATELY 45 DEG. FROM TOP PLATE TO BTM. PLATE FOR FULL LENGTH OF WALL

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. &

9.25.4. -1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE

REQUIRED TO BE SPACED @ 12" (300mm) O.C. -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C.

REQ. FOR FIRE RATING (LESS THAN 4'-0" LIMITING DISTANCE) O.B.C. SB-3 WALL = EW1b (STC = N/A, FIRE = 45 MIN) FOR 45 MINUTE FIRE RATED WALL REQUIREMENTS SUBSTITUTE AND/OR ADD THE FOLLOWING MATERIALS:
-ADD 1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

9.23.16, BETWEEN RIGID INSULATION AND WOOD STUD.
-REPLACE R14 (RSI 2.46) INSULATION WITH R14 (RSI 2.46) ABSORPTIVE INSULATING MATERIAL WITH A MASS OF AT LEAST 2.8 kg/sq.m. -REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

(16b) BRICK VENEER CONSTRUCTION @ GARAGE:

-3-1/2" (90mm) FACE BRICK OR 4" (100mm) STONE @ 36'-1" (11m) MAX.

-MIN. 0.03" (0.76mm) THICK, 7/8" (22mm) WIDE CORROSION RESISTANT STRAPS @ MAX. 15 3/4" (400mm) O.C. HORIZONTAL & 23 5/8" (600mm) O.C.

-PROVIDE WEEP HOLES @ 2'-7" (800mm)O.C. @ BTM, COURSE & OVER -BASE FLASHING UP TO 5 7/8" (150mm) BEHIND WALL SHEATHING MEMBRANE (O.B.C. 9.20.13.6.(2))

-BRICK OR STONE SILLS UNDER OPENINGS, FLASHING UNDER

-1" (25mm) AIR SPACE - WALL SHEATHING MEMBRANE AS PER O.B.C. 9.27.3.2. -1/4" (6mm) PLYWOOD (EXTERIOR TYPE) OR EQUIVALENT AS PER O.B.C.

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. -1/2" (12.7mm) GYPSUM BOARD NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

REQUIRED TO BE SPACED @ 12" (300mm) O.C. THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK.
ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

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38-7 3/16" = 1'0" page

project #

20005

-ADD R15 (RSI 2.64) ABSORPTIVE MATERIAL WITH A MASS OF AT LEAST 2.8 kg/

-REPLACE 1/2"(12.7mm) GYPSUM BD. W/ 1/2" (12.7mm) TYPE 'X' GYPSUM BD.

17 INTERIOR STUD WALLS:

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR

-2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ - DOUBLE 2" X 4" OR 2" X 6" TOP PLATES AND SINGLE BOTTOM PLATE -1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

$\langle \overline{18} \rangle$ BEARING STUD WALL (BASEMENT):

-2" X 4" (38mmX 89mm) WOOD STUDS @ 16" (400mm) O.C. OR -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. W/ - DBL. 2" X 4" OR 2" X 6" TOP PLATE. -2" X 4" OR 2" X 6" BOTTOM PLATE ON DAMPPROOFING MATERIAL.

-1/2" (12.7mm) GYPSUM BOARD BOTH SIDES.

-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7-10" (2400mm) O.C. -FOOTING AS PER GENERAL NOTE #2 W/4" CONC. CURB

19 PARTY WALL - BLOCK:

O.B.C. SB-3 WALL = B6e (STC = 57, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS

TO THE U/S OF ROOF DECK
-SPACE BETWEEN TOP OF WALL & ROOF DECK SHALL BE TIGHTLY FILLED W/
MINERAL WOOL OR NONCOMBUSTIBLE MATERIAL & CAULKED TO PREVENT SMOKE PASSAGE

-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS BOTH SIDES , = 1, 2, 7, 317, 30M BOAKD W/ [APED JOINTS BOTH SIDES -2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. BOTH SIDES

-ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF 90% OF THE

-7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE) -STAGGER JOISTS & BEAMS MIN. 3 1/2" (90mm) @ PARTY WALLS AS PER O.B.C. 9.10.9.9.(1) & TABLE 2.1.1. SB-2 -ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

190)
PARTY WALL - BLOCK (AGAINST GARAGE):
O.B.C. SB-3 WALL = B5c (STC = 51, FIRE = 2 HR)
-MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS
-1/2" (12.7mm) GYPSUM BOARD

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. -CUNINGUOUS AIRY VAFOUR BARRIER IN CORN GRAVATCE ..., S.D. & 9.25.4.
-2" X 6" (38mmX 140mm) WOOD STRAPPING @ 16" (400mm) O.C.

-R22 (RSI 3.52) RIGID INSULATION -7 1/2" (190mm) HOLLOW BLOCK (NORMAL WEIGHT AGGREGATE)

-1/2" (12.7mm) GYPSUM BOARD @ WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE -TAPE AND SEAL ALL JOINTS GAS TIGHT

(19b) FIREWALL:

O.B.C. 9.10.11, & 3.1.10, & SB-3 WALL = B6e (STC = 57, FIRE = 2 HR) - ONE FIREWALL IS REQUIRED FOR EVERY 6460 S.F. (600 SQ.M) OF BUILDING AREA, O.B.C. T.3.2.2.47.

-1/2" (12.7mm) GYPSUM BOARD W/ TAPED JOINTS -2" X 2" (38mmX 38mm) WOOD STRAPPING @ 24" (600mm) O.C. ON BOTH SIDES OF WALL

OF WALL
-SOUND ABSORPTIVE MATERIAL EACH SIDE FILLING 90% OF THE CAVITY
-7 1/2" (190mm) CONC. BLOCK, MIN. 2 HR. FIRE-RESISTANT RATING
-EVERY FIREWALL SHALL BE CONTINUOUS THROUGH ALL BUILDING STOREYS
-STAGGER JOISTS & BEAMS MIN. 5" (130mm) @ FIRE WALLS AS PER
O.B.C. 9.10.9.9.(1) & TABLE 2.1.1 SB-2

O.B.C., 7.10.9.7.(1) & TABLE 2.1.1 38-2 -ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1) -PROTRUDE PAST FASCIA @ EAVES W/ BRICK CORBELLING -EXTEND 5 7/8" (150mm) ABOVE ROOF SURFACES & HAVE ALUMINUM CAP W/THROUGH WALL FLASHING PER O.B.C. 3.1.10.4.(1)
-WHERE THE DIFFERENCE IN HEIGHT BETWEEN ADJACENT ROOFS IS GREATER

THAN 9'10" (3m), WALL NEED NOT EXTEND PAST UPPER ROOF SURFACE PER O.B.C. 3.1.10.4.(2)

20 PARTY WALL - FOUNDATION:

O.B.C. 9.15.4.2.
-7 7/8" (200mm) SOLID CONC. FOUNDATION WALL @ 2200psi (15MPa)
COMPRESSIVE STRENGTH AFTER 28 DAYS -FOUNDATION WALL TO REST ON FOOTING PER GENERAL NOTE #2

21) PARTY WALL - WOOD STUD:
O.B.C. SB-3 WALL = W13a (STC = 57, FIRE = 1 HR) -MIN. 1HR FIRE-RESISTANCE RATING CONTINUOUS FROM TOP OF FOOTINGS TO THE U/S OF ROOF DECK

-2 ROWS 2"X4" (38mmX 89mm) STIDS @ 16" (400mm) O.C. W/ SEPARATE 2" X 4" (38mmX 89mm) BOTTOM PLATE & SEPARATE DOUBLE 2" X 4" (38mmX 89mm) TOP PLATES -SOUND ABSORPTIVE MATERIAL ON BOTH SIDES FILLING A MINIMUM OF

-5/8" (16mm) TYPE 'X' GYPSUM BOARD BOTH SIDES W/ JOINTS TAPED &

-ACOUSTICAL SEALANT AS PER O.B.C. SB-3 (NOTE (2) TO TABLE 1)

NOTE - SUPPORT FOR 2 + 3 FLOORS ABOVE - O.B.C. T.9.23.10.1. = -FOR 2 FLOORS SUPPORTED ABOVE, 2" X 4" (38mmX 89mm) STUDS ARE REQUIRED TO BE SPACED @ 12" (300mm) O.C. -FOR 3 FLOORS SUPPORTED ABOVE, 2" X 6" (38mmX 140mm) STUDS ARE

REQUIRED TO BE SPACED @ 12" (300mm) O.C. - IF 2"x6" STUDS ARE USED AT STAIR OPENING CONTINUE TO USE ON REMAINING FLOORS AT THE STAIR OPENING AT 16" O.C.

$\langle 22 \rangle$ Garage wall & Ceiling:

O.B.C. 9.10.9.16.(3)

-1/2" (12.7mm) GYPSUM BOARD ON BOTH SIDES OF WALL & U/S OF CEILING BETWEEN HOUSE AND GARAGE
-TAPE AND SEAL ALL JOINTS GAS TIGHT

-R22 (RSI 3.87) INSULATION IN WALLS, -R31 (RSI 5.41) INSULATION IN CEILINGS W/ FLOOR ABOVE -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-

9.25.3. & 9.25.4. FOR FLOOR ABOVE.
-INSULATION AROUND DUCTS AND PIPING NOT TO ENCROACH MIN.
REQUIRED GARAGE AREA (REFER TO MUNICIPAL STANDARDS).

-1/2" (12.7mm) GYPSUM BOARD -ROOF FRAMING MEMBERS ARE FASTENED TO TOP PLATES WITH

4 - 3 1/4" (82mm) TOE NAILS RIM JOIST WITH 3 1/4" (82mm) NAILS AT 7 7/8" (200mm) O.C.

WALLS ADJACENT TO ATTIC SPACE:

-1/2" (12.7mm) GYPSUM BOARD -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.-

9.25.3. & 9.25.4. -2" X 6" (38mmX 140mm) WOOD STUDS @ 16" (400mm) O.C. -R22 (RSI 3.87) INSULATION

-1/2" (12.7mm) GYPSUM BOARD OR 1/4" (6mm) PLYWOOD SHEATHING ON ATTIC SIDE

-ATTIC ACCESS TO BE PROVIDED AS PER O.B.C. 9.19.2.1.

DOUBLE VOLUME WALLS: O.B.C. 9.23.10.1.

-3/8" (9.5mm) PLYWOOD, OSB OR WATERBOARD SHEATHING

-STUDS FASTENED AT TOP & BOTTOM WITH 3/3-1/4" (82mm) TOE NAILS -DOUBLE TOP PLATES FASTENED TOGETHER WITH 3" (76mm) AT

7 7/8" (200mm) O.C. -SOLID BRIDGING AT 3'-11" (1200mm) O.C. -MIN. R22 (RSI 3.87) INSULATION (ZONE 1 OBC SB-12 T.3.1.1.2.A.) -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C.

9.25.3. & 9.25.9.

♦ CLIENT SPECIFIC REVISIONS 5-38-7-FINAL.dwg Plotted: Jun 03, 2021 Bv:Cherel

SIGNATURE:

24 EXPOSED FLOOR:
-FLOOR AS PER NOTE # 28

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C.- 9.25.3. & 9.25.4. -VENTED ALUMINUM SOFFIT

240 SUNKEN FINISHED AREAS:

-USE SOLID BUILT-UP WOOD BEARING POST TO SUPPORT SUNKEN AREA AT FOUNDATION WALLS, EXTEND FOOTINGS TO SUPPORT POSTS.

- WHERE GRADING CONDITIONS WILL ALLOW, CHECK FOUNDATION WALLS INSTEAD OF USING BEARING POSTS. -FLOOR STRUCTURE AS PER NOTE # 28.

25 DOUBLE MASONRY WYTHE WALL:

O.B.C. 9.20.8.2.

-3 1/2" MASONRY VENEER ON 2" MORTAR JOINT ON 3 1/2" MASONRY VENEER -WYTHES TO BE TIED W/ METAL TIES INSTALLED AS PER O.B.C. 9.20.9.4. SILL PLATE REQUIRED FOR ROOF AND CEILING FRAMING MEMBERS -6" SILL W/ 2" BEARING ON EACH SIDE & ANCHOR BOLTS @ 4"-0" O.C. NOTE: MASONRY TO BE SOLID & MORTAR JOINT FILLED SOLID FOR FLOOR JOISTS BEARING ON WYTHES. FLOOR JOISTS ARE NOT TO PROJECT INTO CAVITY

(25a) CORBEL MASONRY VENEER:

-MASONRY VENEER TO BE CORBELLED AS PER O.B.C. 9.20.12.3.(1)

FLOOR ASSEMBLIES:

$\langle 26 \rangle$ SILL PLATE:

O.B.C. 9.23.7.

-2" X 4" (38mm X 89mm) PLATE

-1/2" (12.7mm) DIA. ANCHOR BOLTS @ 7"-10" (2400mm) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4"

(100mm) INTO FOUNDATION WALL.
-SILL PLATE TO BE CAULKED, OR PLACED ON A LAYER NOT LESS THAN 1"
(25mm) THICK BEFORE COMPRESSING, OR FOAM GASKET, OR PLACED ON FULL BED OF MORTAR.

BRIDGING & STRAPPING:

O.B.C. 9.23.9.4. a) STRAPPING

-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2100mm) O.C. -FASTENED TO SILL OR HEADER @ ENDS b) BRIDGING

-1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2100mm) O.C. c) BRIDGING & STRAPPING

- a) & b) USED TOGETHER OR -1 1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2100mm) O.C. USED WITH STRAPPING (a)

OI FURRING OR PANEL TYPE CEILING -STRAPPING NOT REQUIRED IF FURRING STRIPS OR PANEL TYPE CEILING FINISH IS ATTACHED DIRECTLY TO JOISTS.

$\langle 28 \rangle$ **FLOOR ASSEMBLY**:

O.B.C. 9.23.14.3, 9.23.14.4 -5/8" (15.9mm) WAFERBOARD (R-1 GRADE) OR EQUIVALENT -FLOOR JOISTS AS PER FLOOR PLANS

29 PORCH SLAB:

O.B.C. 9.39.1.4.

-47/8" (125mm) 4650 psi (32 MPa) CONC. SLAB WITH 5 TO 8% AIR ENTRAINMENT -REINFORCE WITH 10M BARS @ 77/8" (200mm) EACH WAY -1 1/4" (30mm) CLEAR COVER FROM THE BOTTOM OF THE SLAB

-3" (75mm) END BEARING ON FOUNDATION WALL -23 5/8" (600mm) X 23 5/8" (600mm) 10M DOWELS @ 23 5/8" (600mm) O.C.
-IF A COLD CELLAR IS LOCATED BELOW THE SLAB, SUPPORT ON FOUNDATION
WALLS NOT TO EXCEED 8'-2"

EXTERIOR BALCONY ASSEMBLY:

-1 1/4" X 3 1/2" PRESSURE TREATED DECKING W/ 1/4" SPACING
-2"X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. LAYING UNFASTENED
ON SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT ON 5/8"
(15.9mm) EXTERIOR GRADE PLYWOOD SHEATHING ON 2"X4" WOOD PURLINS (CUT DIAGONALLY) @ 12" O.C. DIRECTLY ON 2"X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN) - EXTERIOR GUARD AS PER #36a

- SLOPE ASSEMBLY MINIMUM 2% TO ROOF SCUPPER

REQUIRED FOR OVER HEATED SPACES:

-ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF CEILING AREA)

-ADD R31 (RSI 5.46) INSULATION BETWEEN JOISTS -ADD CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. & 9.25.4.

-AJDD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C.-T.9.29.5.3.)

300 EXTERIOR FLAT ROOF ASSEMBLY:

-SINGLE PLY WATERPROOF ROOF MEMBRANE OR EQUIVALENT INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

-1/4" EXTERIOR GRADE WOOD PANEL TYPE UNDERLAY TAPERED PURLINS SLOPED MIN. 2% TO ROOF SCUPPER.

-3/8" EXTERIOR GRADE PLYWOOD SHEATHING ON -2"X8" ROOF JOISTS @ 12" O.C. (OR AS NOTED ON PLAN)

REQUIRED FOR OVER HEATED SPACES: -ADD 2"x2" (38mm x 38mm) CROSS PURLINS @ 16" (400mm) O.C. FOR VENTILATION OVER JOISTS (OBC 9.19.1.2. VENTING NOT LESS THAN 1/150 OF

CEILING AREA) Celling Arla), -ADD 83 (RSI 5.46) Insulation between Joists -ADD Continuous Air/vapour Barrier in Conformance W/ O.B.C. 9.25.3. & 9.25.4

-ADD 1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR -ADD 5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

ROOF ASSEMBLIES

$\langle 31 \rangle$ TYPICAL ROOF:

O.B.C. 9.26. -NO. 210 (30. 5KG/m2) ASPHALT SHINGLES -NO. 210 (30. ASYM12) AST HALL SHINGLES
-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO
EXTEND UP THE ROOF SLOPE MIN. 2"-11" (900mm) FROM EDGE TO A LINE NOT
LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.
-EAVES PROTECTION LAID BENEATH STARTER STRIP.
-EAVE PROTECTION LAID BENEATH STARTER STRIP.

-STARTER STRIP AS PER O.B.C. 9.26.7.2. -STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3)

-3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS APPROVED WOOD TRUSSES @ 24" (600mm) O.C. (REFER TO MANUFACTURER'S LAYOUT) -TRUSS BRACING AS PER TRUSS MANUFACTURER -EAVESTROUGH ON PREFINISHED FASCIA AND VENTED SOFFIT (VINYL OR

ALUMINUM) ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH, 50% AT SOFFIT.

$\langle 32 \rangle$ <u>CEILING:</u>

-R60 (RSI 10.56) INSULATION

-CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE W/ O.B.C. 9.25.3. -1/2" (12.7mm) GYPSUM BOARD W/ PAINTED CEILING OR

-5/8" (15.9mm) GYPSUM BOARD W/ TEXTURED CEILING (O.B.C. T.9.29.5.3.)

(320) VAULTED OR CATHEDRAL CEILING:

O.B.C. 9.26. & TABLE A4

O.B.C. 20.8 A TABLE A4

-NO. 210 (30.5KG/m2) ASPHALT SHINGLES

-FOR ROOFS BETWEEN 4:12 & 8:12 PITCH PROVIDE EAVES PROTECTION TO EXTEND UP THE ROOF SLOPE MIN. 2'-11" (900mm) FROM EDGE TO A LINE NOT LESS THAN 12" (300mm) PAST THE INSIDE FACE OF EXTERIOR WALL.

-EAVES PROTECTION LAID BENEATH STARTER STRIP.

-FAVE PROTECTION NOT REQUIRED OVER UNHEATED SPACES OR WHERE ROOF SLOPES ARE 8:12 OR GREATER PER O.B.C. 9.26.5.1 -STARTER STRIP AS PER O.B.C. 9.26.7.2.

-STARTER STRIP NOT REQUIRED AS PER O.B.C. 9.26.7.2.(3) -3/8" (10mm) PLYWOOD SHEATHING OR OSB (0-2 GRADE) WITH "H" CLIPS.

-2"x8" (38mm x 184mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 13"-3" (4050mm) OR -2"x10" (38mm x 235mm) @ 16" O.C. W/ 2"x2" (38mm x 38mm) CROSS PURLINS @ 24" O.C. MAX. SPAN 17'-0" (5180mm)
-R31 (RSI 5.46) INSULATION -MIN. 3" CLEARANCE FROM U/S OF ROOF SHEATHING TO INSULATION -CONTINUOUS AIR/VAPOUR BARRIER IN CONFORMANCE WITH O.B.C. 9.25.3. 8, 9.25.4. -1/2" (12.7mm) GYPSUM BOARD

$\overline{\langle 33 \rangle}$ CONVENTIONAL FRAMING:

O.B.C. TABLE A6 OR A7 -2" X 6" (38mm X 140mm) RAFTERS @ 16" (400mm) O.C. MAX. SPAN 12'-9"

(3890mm) (25/34" (38mm X 89mm) COLLAR TIES AT MIDSPANS -CEILING JOISTS TO BE 2" X 6" (38mmX 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED.

-HIP & VALLEY RAFTERS TO BE MIN. 2" (50mm) LARGER THAN COMMON RAFTERS & MIN. 1 1/2" (38mm) THICK.

34 ATTIC ACCESS HATCH:

OBC 9.19.2.1. & SB-12 3.1.1.8.(1) -19 3/4" X 27 1/2" (500mm X 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R20 (RSI 3.52) INSULATION.

$\overline{\langle 35 \rangle}$ PRIVATE STAIRS:

O.B.C. 9.8.4.		
-MAX. RISE	= 7-7/8"	(200mm)
-MIN. RUN	= 8-1/4"	(210mm)
-MIN. TREAD	= 9-1/4"	(235mm)
-MAX. NOSING	= 1"	(25mm)
-MIN. HEADROOM	= 6'-5"	(1950mm)
-MIN. WIDTH	= 2'-10"	(860mm)
(BETWEEN WALL	FACES)	
-MINI WIDTH	= 2'-11"	(900mm)

(EXIT STAIRS, BETWEEN GUARDS)

-MIN. AVG. RUN = 7.7/8" (200mm) -FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS -EXTERIOR CONC. STEPS TO HAVE MIN. 9.1/4" (235mm) TREAD &

MAX. 77/8" (200mm) RISE
-FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS:

O.B.C. 9.8.7

ANGLED TREADS:

-ONF HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm) -ONE HANDRAIL S REQUIRED WHERE STAIR WIDTH EXCEEDS 3-" (1100mm)
-ONE HANDRAIL IS REQUIRED ON CURVED STAIRS OF ANY WIDTH WITHIN

DWELLING UNITS
-HANDRAILS ARE TO BE CONTINUOUS EXCEPT WHERE INTERRUPTED BY DOOR WAYS, LANDINGS OR POSTS AT CHANGES IN DIRECTION

<u>HEIGHT:</u>
O.B.C. 9.8.7.4
- 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX. - 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS -MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS: O.B.C. 9.8.7.6 -HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED

WIDTH OF THE STAIR

(350) PUBLIC STAIRS: O.B.C. 9.8.4. -MAX. RISE = 7-3/32" (180mm) -MIN. RUN = 11" (280mm) -MIN. TREAD = 11" = 1" (280mm) -MAX. NOSING (25mm) -MIN. HEADROOM -MIN. WIDTH = 6'-9" = 2'-11" (2050mm) (900mm)

-MIN. WIDHT - 2-11 (CONTINUE)

(EXIT STAIRS, BETWEEN GUARDS)
-FINISHED RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS -FOUND, WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2 -FTG. FOR FOUND. WALL TO BE MIN. 4'-0" (1220mm) BELOW GRADE

HANDRAILS: O.B.C. 9.8.7 -ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 3'-7" (1100mm)

-TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 3-7" (1100mm) -TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH -HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOOR WAYS OR NEWEL POSTS AT CHANGES IN

HEIGHT: O.B.C. 9.8.7.4 - 2'-10" (865mm) MIN. TO 3'-2" (965mm) MAX. - 3'-6" (1070mm) WHERE GUARDS ARE REQUIRED ON LANDINGS) - MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING

PROJECTIONS:
O.B.C. 9.8.7.6
- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 4" (100mm) INTO THE REQUIRED

TERMINATION:
O.B.C. 9.8.7.3
- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 11 3/4"
(300mm) BEYOND THE TOP & BOTTOM OF EACH STAIR

FROM DEFECTS PER OBC 9.8.9.6.[4]
- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR DISTINCTIVE VISUAL PATTERN TO DEMARCATE THE LEADING EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

36 INTERIOR GUARDS: O.B.C. SB-7 & 9.8.8.3. -GUARDS TO BE 3'-6" (1070mm) HIGH

-FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2-11" (900mm) HIGH -INCLUDES WINDOWS OVER STAIRS, RAMPS AND LANDINGS -PICKETS TO HAVE 4" (100mm) MAX SPACING GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

(360) EXTERIOR GUARDS:

O.B.C. SB-7 & 9.8.8.3. -GUARDS ARE REQUIRED WHEN WALKING SURFACE TO GRADE IS GREATER THAN 23 5/8" (600mm) -FOR DWELLING UNITS GUARDS TO BE A MIN. OF 2'-11" (900mm) HIGH

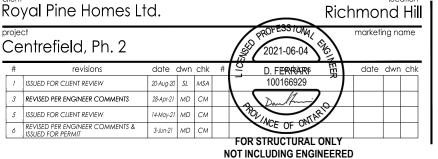
-FOR DWELLING UNITS GUARDS TO BE 3"-6" (1070mm) HIGH WHERE WALKING SURFACE IS MORE THAN 5"-11" (1800mm) ABOVE ADJACENT GRADE. -PICKETS TO HAVE 4" (100mm) MAX. SPACING -PROVIDE MID-SPAN POSTS AS PER SB-7. -GUARDS FOR FLIGHTS OF STEPS (EXCEPT EXIT STAIRS) TO BE 2'-11" (900mm) HIGH

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK, ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES /

CATEGORIES. QUALIFIED DESIGNER BCIN: FIRM BOIN

JUNE 3, 2021



FLOOR OR ROOF SYSTEM



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38-7 proiect # 3/16" = 1'0" 20005 page

(36b) EXTERIOR GUARDS @ JULIET BALCONY:

-FOR RAILING SPANNING MAXIMUM OF 6'-0". -PROVIDE PREFIN. METAL RAILING W/ 76mm VERTICAL OPENING TO CONFORM WITH O.B.C. APPENDIX A-9.8.8.5.

-GUARDS TO BE 3-6" (1070mm) -FOR DWELLING UNITS GUARDS TO BE 2'-11" (900mm) WHERE FLOOR TO GRADE DIFFERENCE IS LESS THAN 5'-11" (1800mm) AS PER O.B.C.

-FOR DWELLING UNITS GUARDS TO BE 3'-6" WHERE FLOOR TO GRADE DIFFERENCE IS 5'-11" (1800mm) OR GREATER AS PER O.B.C. 9.8.8.2. -VERTICAL END RAILING ANCHORED TO CORNER DOUBLE STUDS USING 3 ROWS OF 3/8"Ø MIN. ANCHOR BOLTS EQUALLY SPACED WITH 3" MIN. EMBEDMENT TO STUDS.

-PROVIDE SAME ANCHOR BOLTS @ 36" O.C. FOR BASE PLATE CONNECTION. -LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP

-WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE

AIR CHANGE PER HOUR, O.B.C.- 9.32.1.3.(3)

(39) -CAPPED DRYER VENT

 \langle 40angle -1"X2" (19mmX38mm) BOTH SIDES OF STEEL.

-WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.

-PRECAST CONC. STEP -2 RISERS MAXIMUM PERMITTED TO BE LAID ON GROUND

, SMOKE ALARM, O.B.C.- 9.10.19. -PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS

-PROVIDE 1 IN EACH BEDROOM -PROVIDE 1 IN EACH HALLWAY SERVICING BEDROOMS

- INSTALLED AT OR NEAR CEILING

-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS AND HAVE A VISUAL SIGNALLING COMPONENT

-ALARMS MUST BE HARDWIRED AND HAVE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM

CARBON MONOXIDE ALARM (CMA), O.B.C.- 9.33.4. -WHERE THERE IS A FUEL BURNING APPLIANCE A CMA SHALL BE PROVIDED ADJACENT TO EACH SLEEPING AREA.
-CMA TO BE WIRED IN CIRCUIT TO SOUND SMOKE ALARMS WHEN

ACTIVATED. -MAIN DOOR TO BE OPERABLE FROM INSIDE W/OUT KEY

-PROVIDE A VIEWER WITH A VIEWING ANGLE OF NOT LESS THAN 160 DEG. UNLESS GLAZING IS PROVIDED IN DOOR OR A SIDELIGHT IS PRESENT. -R4 (RSI 0.70) WHERE A STORM DOOR IS NOT PROVIDED

-GARAGE MAN DOORS TO BE GAS PROOFED WITH SELF CLOSER, WEATHERSTRIPPING, THRESHOLD & DEAD BOLT PER O.B.C. 9.10.13.15. -R4 (RSI 0.70)

-travel from a floor level to an exit or egress door shall be LIMITED TO ONE FLOOR EXCEPT;

1) WHERE THAT FLOOR LEVEL HAS ACCESS TO A BALCONY

2) WHERE THAT FLOOR LEVEL HAS A WINDOW PROVIDING AN UNOBSTRUCTED OPENING OF NOT LESS THAN 3'-3" (1000mm) IN HEIGHT AND 21 5/8" (550mm) IN WIDTH; SUCH WINDOW SHALL BE LOCATED SO THAT THE SILL IS NOT MORE THAN 3'-3" (1000mm) ABOVE FLOOR AND 23'-0" (7.0m) ABOVE ADJACENT GROUND LEVEL.

49 EXTERIOR COLUMN W/ MASONRY PIER:

-MIN. 6"X6" (140mm X 140mm) WOOD POST ANCHORED TO PORCH SLAB W/ METAL SADDLE

TOP PORTION OF POST CLAD W/ DECOR. SURROUND PER ELEVATION

-14" X 14" MASONRY VENEER SURROUND W/ PRECAST CONCRETE CAP. -REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP. -SURROUND TO BE TIED W/ METAL TIES @ 16" (400mm) O.C. VERT. INSTALLED PER O.B.C. 9.20.9.4. -3/4" AIR SPACE AROUND POST.

OR -MN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO CONC. CAP W/ METAL SADDLE. 14" X 14" MASONRY PIER TO BE CONSTRUCTED SOLID W/ PRECAST

-REFER TO ELEVATION DRAWINGS FOR HEIGHT OF CAP NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" POST PROVIDED THAT THEY ARE IN CONFORMANCE WITH O.B.C. 9.17.4.

49g EXTERIOR COLUMN:

-MIN. 6"X6" (140mm X 140mm) WOOD POST CLAD W/ DECOR. SURROUND (PER ELEVATION DRAWINGS) ANCHORED TO PORCH SLAB W/

NOTE: DECORATIVE STRUCTURAL COLUMNS MAY REPLACE 6" X 6" ABOVE PROVIDED THAT THEY ARE IN ACCORDANCE WITH O.B.C. 9.17.4

50 COLD CELLARS:

FOR COLD CELLARS PROVIDE THE FOLLOWING: -VENTING AREA TO BE EQUIVALENT TO 0.2% OF COLD CELLAR AREA.

-COVER VENT W/ BUG SCREEN -WALL MOUNTED LIGHT FIXTURE -L1+L7 FOR DOOR OPENING

-2'-8" X 6'-8" EXTERIOR TYPE DOOR (MIN.R-4 RSI 0.7)

-INSULATE FULL HEIGHT OF INTERIOR BASEMENT WALL W/ MIN. R12 (RSI 2.11)

51 STUD WALL REINFORCEMENT:

-WALL STUDS ADJACENT TO WATER CLOSETS & SHOWER BATH TUBS IN MAIN BATHROOM ARE TO BE REINFORCED TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS AS PER O.B.C. 3.8.3.8.(3)(a)&(c) & 3.8.3.13.(2)(f) &

-GRAB BARS TO BE INSTALLED AS PER O.B.C. 9.8.7.7.(2)

52 ELECTRICAL VEHICLE CHARGING REQUIREMENTS:

- REFER TO OBC 9.34.4.1. FOR REQUIRMENTS (EFFECTIVE JANUARY 2018)

$\langle 53 \rangle$ window guards:

© STAIRS, LANDINGS & RAMPS - OBC 9.8.8.1.(8)
WINDOW SILL AT 3'-0" (900mm) OR GREATER DOES NOT REQUIRE GUARDS

© FLOORS - OBC 9.8.8.1.(6)
WINDOWS LESS THAN 1'-7" (480mm) ABOVE FLOORS WHERE ADJACENT GRADE

IS GREATER THAN 5'-11" (1800mm) REQUIRE A GUARD PER OBC 9.8.8.2.

WINDOW TO BE NON-OPERABLE AND DESIGNED TO WITHSTAND LATERAL LOADS

FRAME CONSTRUCTION:

-ALL FRAMING LUMBER TO BE NO.1 AND NO. 2 SPF UNLESS NOTED **OTHERWISE**

-ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.

-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING -BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING -DOUBLE STUDS @ OPENINGS

-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1200mm) AND 10'-6" (3200mm)

-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7' (800mm) AND 6'-7" (2000mm)
-DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING

PARALLEL PARTITIONS BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE

PARALLEL TO FLOOR JOISTS -BEAMS MAY BE A MAX. 24" (600mm) FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS

-APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X

-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED

MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER.

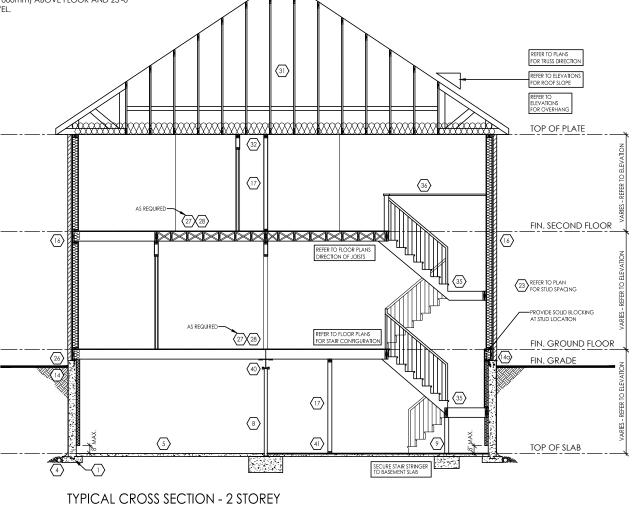
WINDOWS:

-WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER -WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF

1.6 W/(m2.K) OR -AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS -BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING

-SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF

-FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%



PROFESS 10/4 2021-06-04 D. FERRARI 100166929 NCE OF ONT

FOR STRUCTURAL ONLY NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO RN DESIGN LTD

♦ CLIENT SPECIFIC REVISIONS

SCHEDULES

DOORS 46 47 A 865x2030x45 (2'10"x6'8"x1-3/4") B 815x2030x35 (2'8"x6'8"x1-3/8")

C 760x2030x35 (2'6"x6'8"x1-3/8") D 710x2030x35 (2'4"x6'8"x1-3/8") E 460x2030x35 (1'6"x6'8"x1-3/8")

F 610x2030x35 (2'0"x6'8"x1-3/8") G OVER SIZED EXTERIOR DOOR

> STEEL BEAMS W 6 X 15

ST2 W 6 X 20 W 8 X 18 W 8 X 21

WD1 3/2" X 8" SPR WD2 4/ 2" X 8" SPR WD3 5/ 2" X 8" SPR WD4 3/2" X 10" SPR WD5 4/2" X 10" SPR WD6 5/2" X 10" SPR WD7 3/2" X 12" SPR WD8 4/2" X 12" SPR WD9 5/2" X 12" SPR

2/ 2" X 8" SPR

2/ 2" X 10" SPR

2/ 2" X 12" SPR

3-1/2" X 3-1/2" X 1/4" L

5" X 3-1/2" X 1/4" L

WOOD BEAMS WD10 2/ 1 3/4" X7 1/4" (2.0E) LVL WD11 3/ 1 3/4" X7 1/4" (2.0E) LVL WD12A 1/ 1 3/4" X9 1/2" (2.0E) LVL WD12 2/ 1 3/4" X9 1/2" (2.0E) LVL WD13 3/13/4" X9 1/2" (2.0E) LVL WD14A 1/13/4" X117/8" (2.0E) LVL WD14 2/ 1 3/4" X11 7/8" (2.0E) LVL 3/ 1 3/4" X11 7/8" (2.0E) LVL WD16A 1/13/4" X14" (2.0E) LVL

6" X 3-1/2" X 5/16" L

2/ 1 3/4" X14" (2.0E) LVL WD17 3/13/4" X14" (2.0E) LVL 5" X 3-1/2" X 1/4" L ♦ L14 6" X 3-1/2" X 1/
♦ L15 6" X 4" X 1/2" L ◆L10 5" X 3-1/2" X 5/16" L ◆L11 5" X 3-1/2" X 3/8" L L16 7" X 4" X 3/8" L L17 7" X 4" X 1/2" L 5" X 3-1/2" X 3/8" L

SMOKE ALARM (44) WATERPROOF DUPLEX OUTLET VENTS AND INTAKES

PLAN/ELEVATION LEGEND

HOSE BIB $\langle 38 \rangle$ EXHAUST FAN

● COLD CELLAR VENT (50) \otimes

STOVE VENT FIRE PLACE VENT DRYER VENT

Richmond Hill

marketing name

CARBON MONOXIDE 45 ALARM (CMA) DOUBLE JOIST

PRESSURE TREATED LUMBER GT GIRDER TRUSS ABOVE FINISHED FLOOR AFF

BBFM BEAM BY FLOOR MANUF FLUSH (DR) DROPPED REPEAT SAME JOIST SIZE 'DO U/S UNDER SIDE FIXED GLAZING

GLASS BLOCK

BLACK GLASS

GB

FLOOR DRAIN

SOLID BEARING SB: MIN. 2/ 2"X6" SPR SB1: MIN. 3/ 2"X6" SPR POINT LOAD FLAT ARCH



2 STORY WALL EXT. LIGHT FIXTURE

(WALL MOUNTED)

(H) HYDRO METER

(**G**) GAS METER

I, MARTHA SANDOVAL DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD, UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED

AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES. QUALIFIED DESIGNER BCIN:

FIRM BOIN

SIGNATURE:



L3



Centrefield, Ph. 2										
	#	revisions	date	dwn	chk	#	revisions	date	dwn	chk
	1	ISSUED FOR CLIENT REVIEW	20-Aug-20	SL	MSA					
	3	REVISED PER ENGINEER COMMENTS	28-Apr-21	MD	СМ					
	5	ISSUED FOR CLIENT REVIEW	14-May-21	MD	СМ					
	6	REVISED PER ENGINEER COMMENTS & ISSUED FOR PERMIT	3-Jun-21	MD	СМ					



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project # 3/16" = 1'0" 20005

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