



'BUCKINGHAM' - UNIT 7003

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PERFORMANCE COMPLIANCE	SPACE HEATING FUEL	
	<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT	PROPOSED	
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22) + 1.5ci	
BASEMENT WALLS	R20 Blanket or R12+R10ci	
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	
HEATED SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	
CONC. SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE or MIN. ER)	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96% AFUE w/ECM	
HRV EFFICIENCY (%)	75%	
DOMESTIC HOT WATER HEATER (EF)	0.9	
DWHR UNIT (%)	53.3% ON 1 SHOWERS MIN.	

AREA CALCULATIONS	EL. 'A'	EL. 'B'
	STD. PLAN	STD. PLAN
GROUND FLOOR AREA	2783 sq. ft.	2783 sq. ft.
SECOND FLOOR AREA	3569 sq. ft.	3651 sq. ft.
SUBTOTAL	6352 sq. ft.	6434 sq. ft.
DEDUCT ALL OPEN AREAS	265.06 sq. ft.	265.06 sq. ft.
TOTAL NET AREA	6087 sq. ft.	6169 sq. ft.
	(565.50 sq. m.)	(573.11 sq. m.)
FINISHED BASEMENT AREA	146.14 sq. ft.	146.14 sq. ft.
COVERARGE	3614 sq. ft.	3632 sq. ft.
W/OUT PORCH	(335.75 sq. m.)	(337.42 sq. m.)
COVERARGE	3693 sq. ft.	3734 sq. ft.
W/ PORCH	(343.09 sq. m.)	(346.90 sq. m.)
WINDOW / WALL AREA CALCULATIONS		
	EL. 'A'	EL. 'B'
	STD. PLAN	STD. PLAN
GROSS WALL AREA	5854.44 sq. ft.	5869.22 sq. ft.
	(543.90 sq. m.)	(545.27 sq. m.)
GROSS WINDOW AREA	926.87 sq. ft.	892.80 sq. ft.
(INCL. GLASS DOORS & SKYLIGHTS)	(86.11 sq. m.)	(82.94 sq. m.)
TOTAL WINDOW %	15.83 %	15.21 %



- 1 - TITLE PAGE
- 2 - BASEMENT PLAN ELEVATION 'A'
- 3 - GROUND FLOOR PLAN ELEVATION 'A'
- 4 - SECOND FLOOR PLAN ELEVATION 'A'
- 5 - PARTIALS PLANS, ELEVATION 'B'
- 6 - FRONT ELEVATION 'A'
- 7 - LEFT SIDE ELEVATION 'A'
- 8 - RIGHT SIDE ELEVATION 'A'
- 9 - REAR ELEVATION 'A'
- 10 - FRONT ELEVATION 'B'
- 11 - LEFT SIDE ELEVATION 'B'
- 12 - RIGHT SIDE ELEVATION 'B'
- 13 - REAR ELEVATION 'B'
- 14 - CROSS SECTION 'A-A' & 'B-B'
- 15 - CONSTRUCTION NOTES

7. ISSUED FOR PERMIT	-	-
6. ISSUED FOR FINAL APPROVAL	2022/08/10	MM
5. REVISED AS PER ARCHITECTURAL CONTROL COMMENTS	-	-
4. REVISED AS PER ENGINEER COMMENTS	2022/05/04	MM
3. REVISED AS PER ROOF TRUSS & FLOOR MANUFACTURE PLANS	2022/05/02	MM
2. REVISED AS PER CLIENT'S COMMENTS	2022/01/04	JLT
1. ISSUED FOR CLIENT REVIEW	2021/12/10	JLT
REVISIONS		DATE (YYYY/MM/DD) BY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

Derek Santos 37308

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19695



ROYAL PINE HOMES - 220052

VALES OF HUMBER 'SOUTH', BRAMPTON, ON.

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

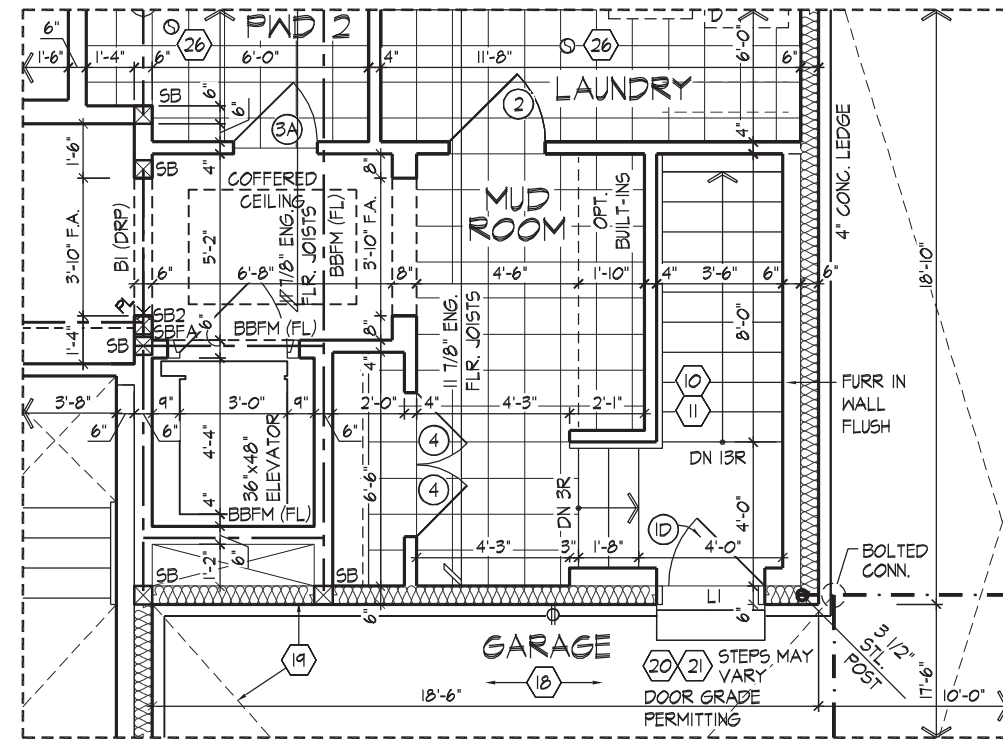
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Page Number 1 of 15

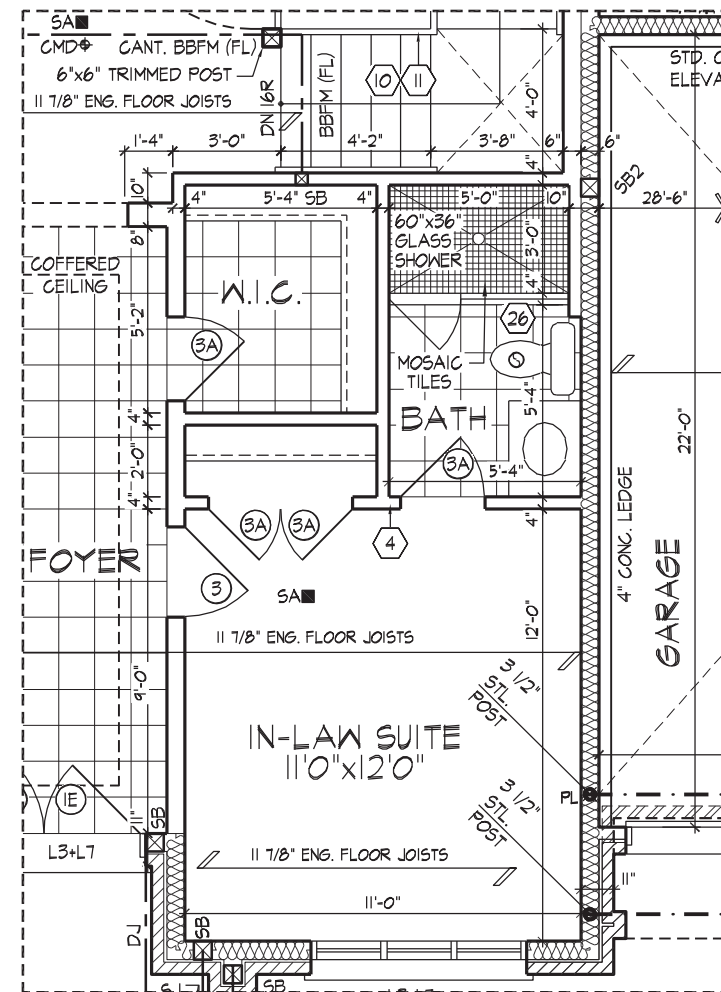


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TITLE PAGE
UNIT 7003
REV.2022.08.10



PART. GROUND FLOOR PLAN
W/ ELEVATOR COND.
('B' SIMILAR)

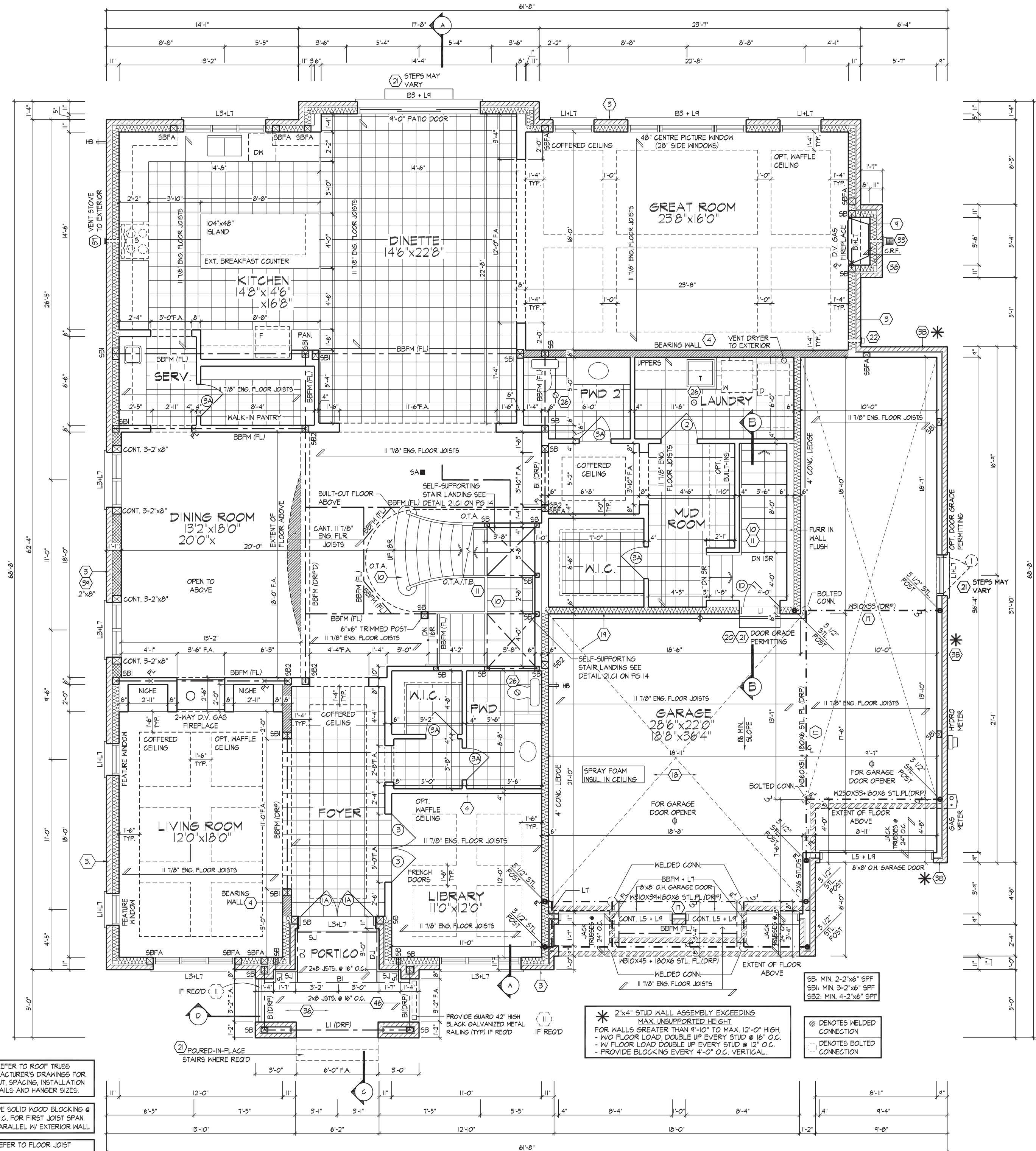


PART. GROUND FLOOR PLAN
W/ OPT. IN-LAW SUITE
('B' SIMILAR)

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.

PROVIDE SOLID WOOD BLOCKING @
24\"/>

REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING AND
STRAPPING REQUIREMENTS.
INSTALLATION DETAILS & HANGER
SIZES, & SUBFLOOR THICKNESS



GROUND FLOOR PLAN 'A'

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DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
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QUALIFICATION INFORMATION
Derek R. Santos 37308

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GROUND FLOOR PLAN ELEVATION 'A'
ROYAL PINE HOMES - 220052
UNIT 7003
VALES OF HUMBER 'SOUTH', BRAMPTON, ON. REV.2022.08.10

Drawn By YY Checked By DS Scale 3/16"=1'-0" File Number 220052WS7003 Page Number 3 of 15

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
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Guidelines approved by the City of
BRAMPTON.

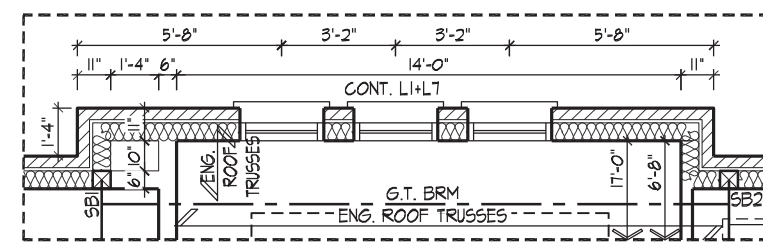
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AND APPROVAL

APPROVED BY: 
DATE: AUG 15 2022

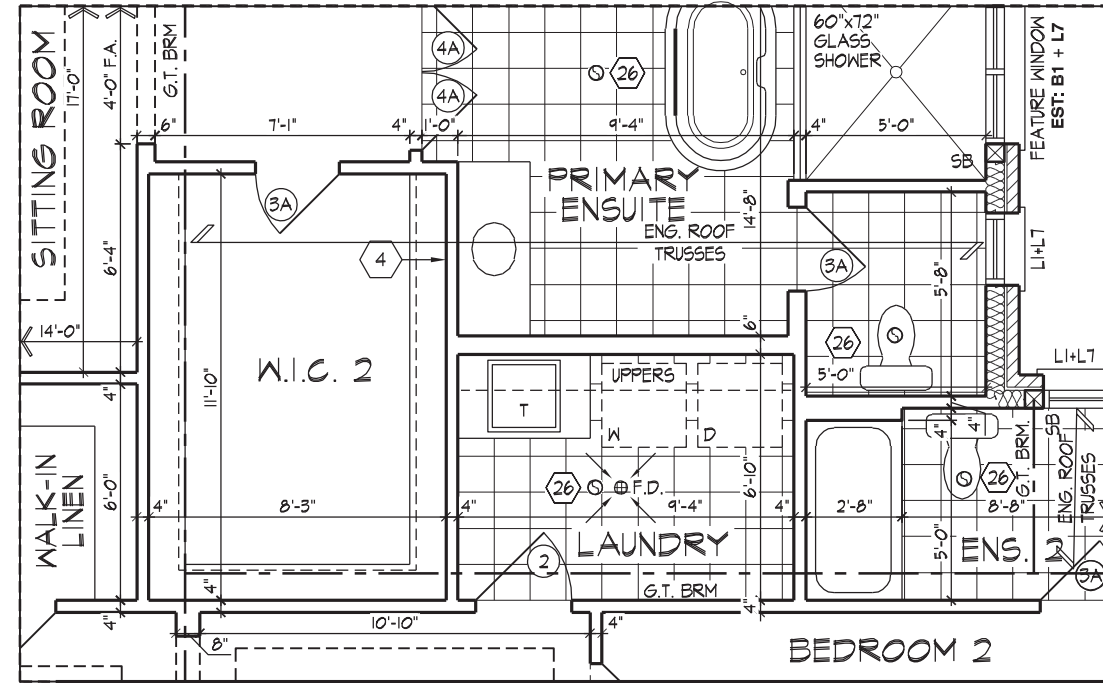
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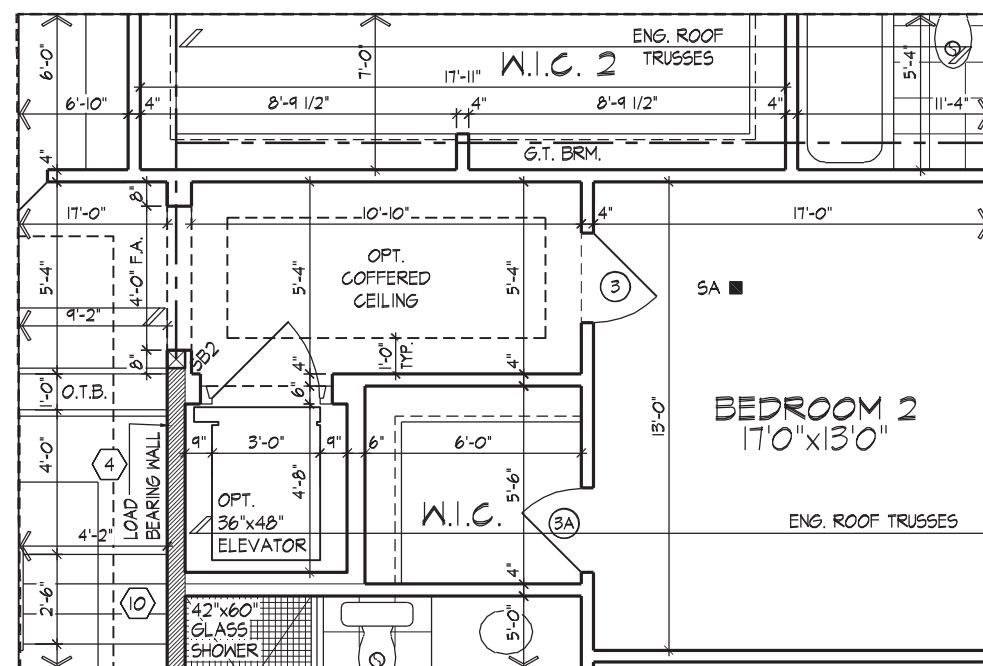
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PART. SECOND FLOOR PLAN,
EL. 'B'



PART. SECOND FLOOR PLAN W/
OPT. LAUNDRY, EL. 'A' ('B' SIMILAR)

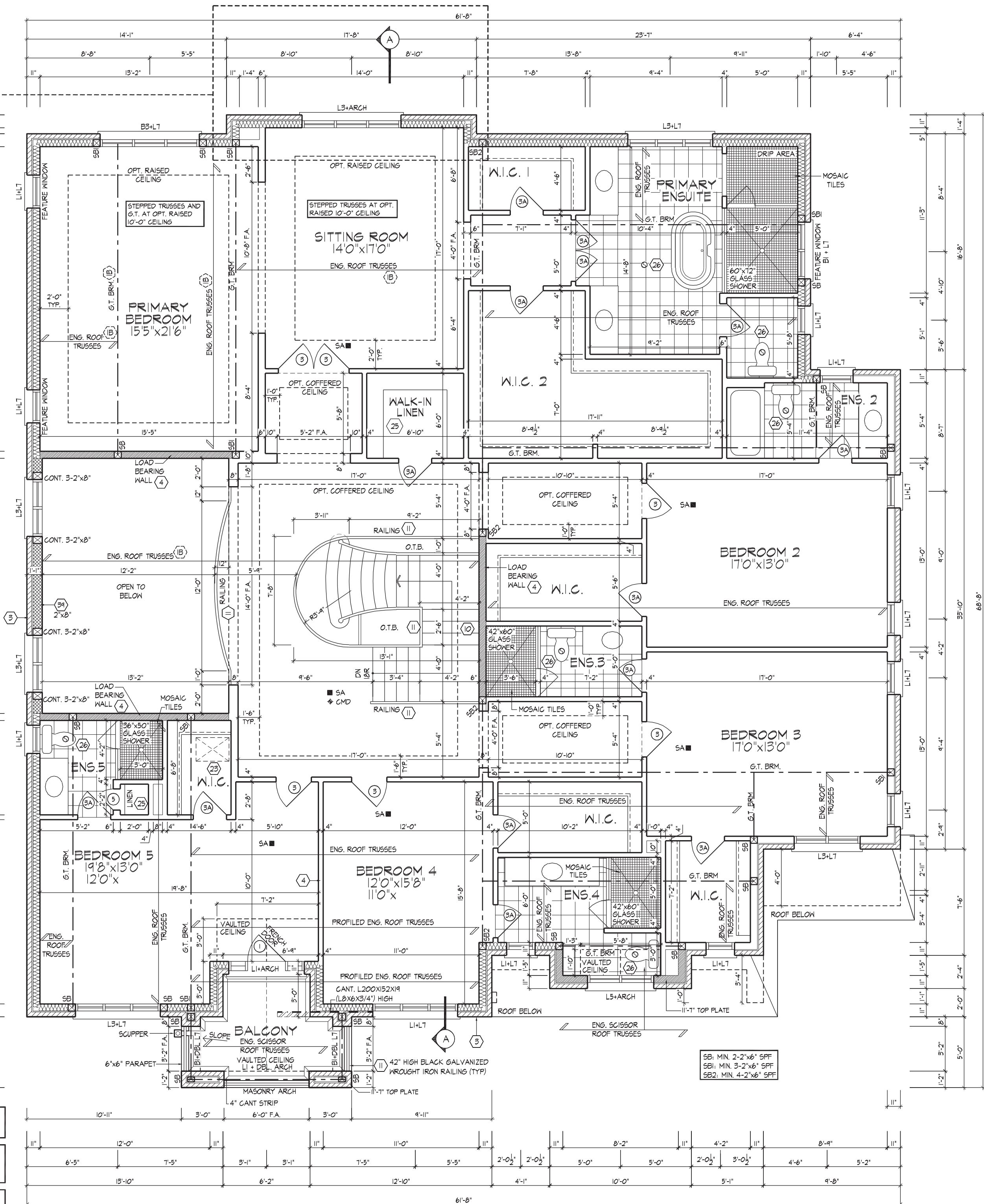


PART. SECOND FLOOR PLAN W/
OPT. LAUNDRY, EL. 'A' ('B' SIMILAR)

NOTE:
STEP TRUSSES @ RAISED / (B)
TRAY CEILINGS

REFER TO ROOF TRUSS
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, INSTALLATION
DETAILS AND HANGER SIZES.

NOTE:
MAXIMUM SUPPORTED TRUSS LENGTH
FOR LINTELS SHALL BE 9.0m (32'-2").
SEE CBC PART 4 TABLE A-15
FOOTNOTE 6. WHERE DESIGNED
TRUSS LENGTH EXCEEDS 32'-2"
LINTELS SHALL BE SIZED BY A
PROFESSIONAL ENGINEER



SECOND FLOOR PLAN 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
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NAME
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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.
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SECOND FLOOR PLAN ELEVATION 'A'
UNIT 7003
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L1CENED PROFESSIONAL ENGINEER
2022-08-10
D. FERRARI
100166929
PROVINCE OF ONTARIO
4 of 15

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES AND DIMENSIONS

NOTE:
MAXIMUM SUPPORTED TRUSS LENGTH FOR LINTELS SHALL BE 9.8m (32'-2"). SEE OBC PART 9 TABLE A-15 FOOTNOTE 6. WHERE DESIGNED TRUSS LENGTH EXCEEDS 32'-2" LINTELS SHALL BE SIZED BY A PROFESSIONAL ENGINEER

NOTE:
STEP TRUSSES @ RAISED / TRAY CEILINGS
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

PART. SECOND FLOOR PLAN 'B'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES AND DIMENSIONS

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING AND STRAPPING REQUIREMENTS, INSTALLATION DETAILS & HANGER SIZES, & SUBFLOOR THICKNESS

PART. GROUND FLOOR PLAN 'B'

REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES AND DIMENSIONS

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING AND STRAPPING REQUIREMENTS, INSTALLATION DETAILS & HANGER SIZES, & SUBFLOOR THICKNESS

APPROXIMATE LOCATION OF FURNACE AND HOT WATER TANK
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

PART. BASEMENT PLAN, ELEV. 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING ACT AND REGULATION.

QUALIFICATION INFORMATION
Derek R. Santos 37308

NAME
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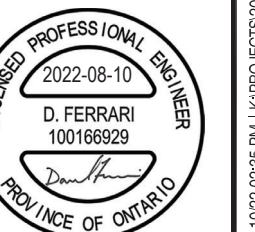


PARTIALS PLANS, ELEVATION 'B'
UNIT 7003
ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.
REV.2022.08.10
5 of 15

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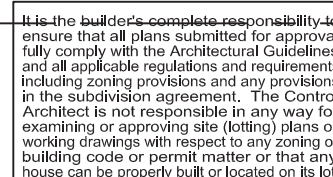
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APPROVED BY:
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ROOF OVERHANGS ARE TO BE
12" UNLESS NOTED OTHERWISE



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AND APPROVAL

APPROVED BY: _____

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OMES - 220052

BER 'SOUTH', BRAMPTON

Scale
3/16"=1'-0" 2200

m, ON L3R 0J7 T 905.737.5133 F 905.7

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ONT ELEVATION

UNIT 70

REV.2022.08.

Page 6

03 6 of

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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON

Drawn By	Checked By	Scale	File Number
106	DS	3/4" = 1'-0"	0000501102

YY DS 3/16"=1'-0" 220052WS7
8066 Woodbine Ave. Markham, ON L3B 0J7 T 905 323 5123 F 905 323 7326

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FRONT ELEVATION 'A'

FRONT ELEVATION A
UNIT 3003

ON BEV 2022 08 10

Page Number

WS7003 6 of 15

326

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SPATIAL CALCULATION				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION 'A'				
EXPOSING BUILDING	1453.72	S.F.		
FACE AREA	135.06	S.M.		
PORTION WALL AREA	1453.72	S.F.		
LIMITING DISTANCE	1.2 m			
MAX. % OPENINGS	7	%		
QUAN.	UNIT	FRAME SIZE (S.F.)	WINDOW / DOOR	
2	48" x 60"	33.11	WINDOW	
2	48" x 60"	34.22	WINDOW	
4	28" x 18"	9.33	WINDOW	
1	24" x 48"	6.11	WINDOW	
3	30" x 16"	6.50	BSMT	
0	0"	0.00		
0	ARCH	0.00		
0	ARCH	0.00		
0	ARCH	0.00		
0	ARCH	0.00		
OPENINGS ALLOWED	101.78	S.F.		
OPENINGS PROVIDED	95.28	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



LEFT SIDE ELEVATION 'A'

ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO.

SECTION 'C-C'
N.T.S.

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AND APPROVAL
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LEFT SIDE ELEVATION 'A'

UNIT 7003
REV.2022.08.10

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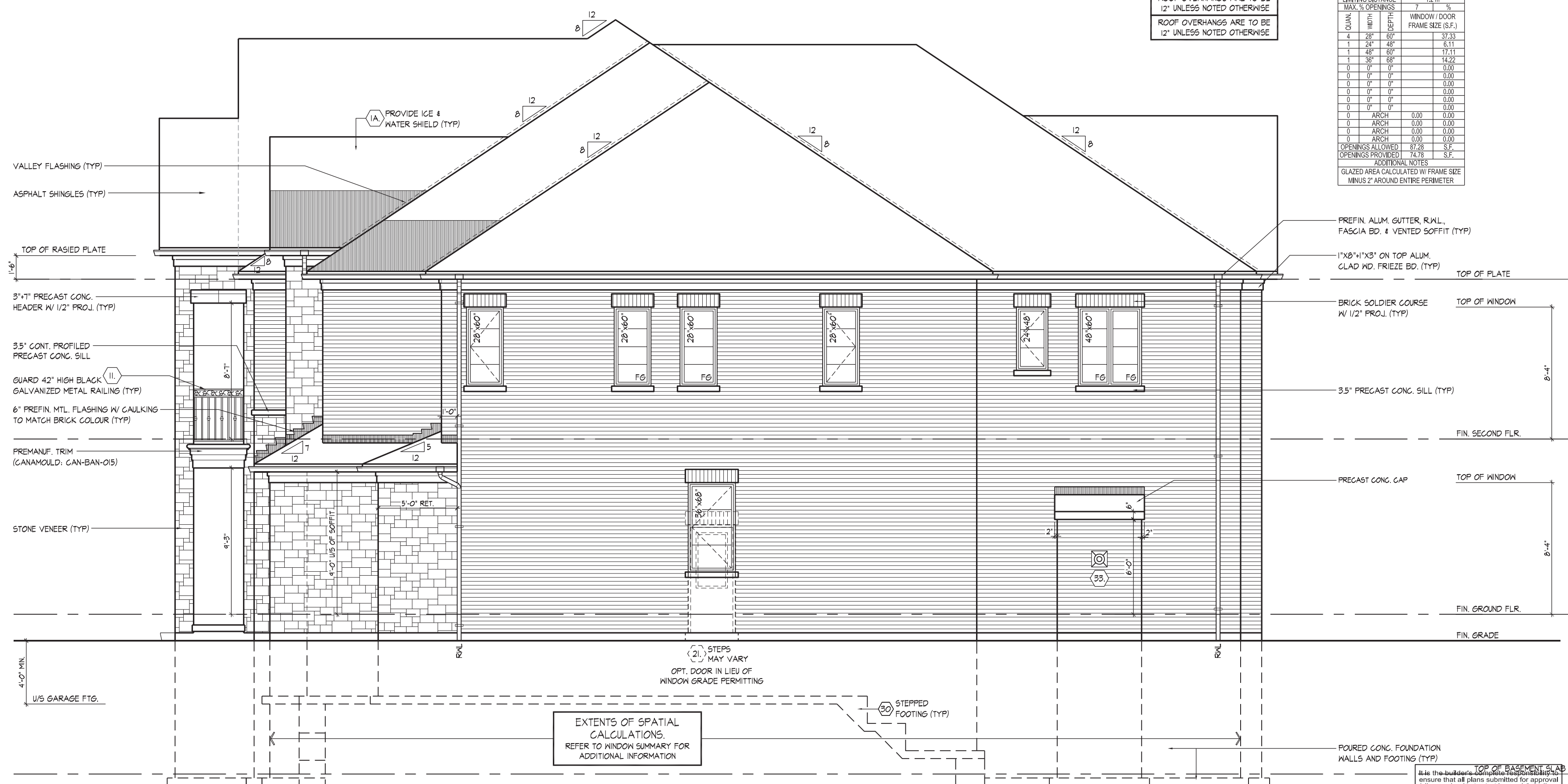
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NAME
REGISTRATION INFORMATION BCIN
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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.
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RIGHT SIDE ELEVATION 'A'

TOP OF BASEMENT SLAB
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Page 10 of 10

HOMES - 220052

NUMBER 'SOUTH', BRAMPTON

Scale

2/16/11 11:01 0000

nam, ON L3R 0J7 T 905.737.5133 F 905.7

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SIDE ELEVATION

UNIT 70

REV.2022.08.

Page 2 of 2

003 8 01

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QUALIFICATION INFORMATION
Derek R. Santos

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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON

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YX	DS	2/16" = 1'-0"	0000501167

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RIGHT SIDE ELEVATION 'A'

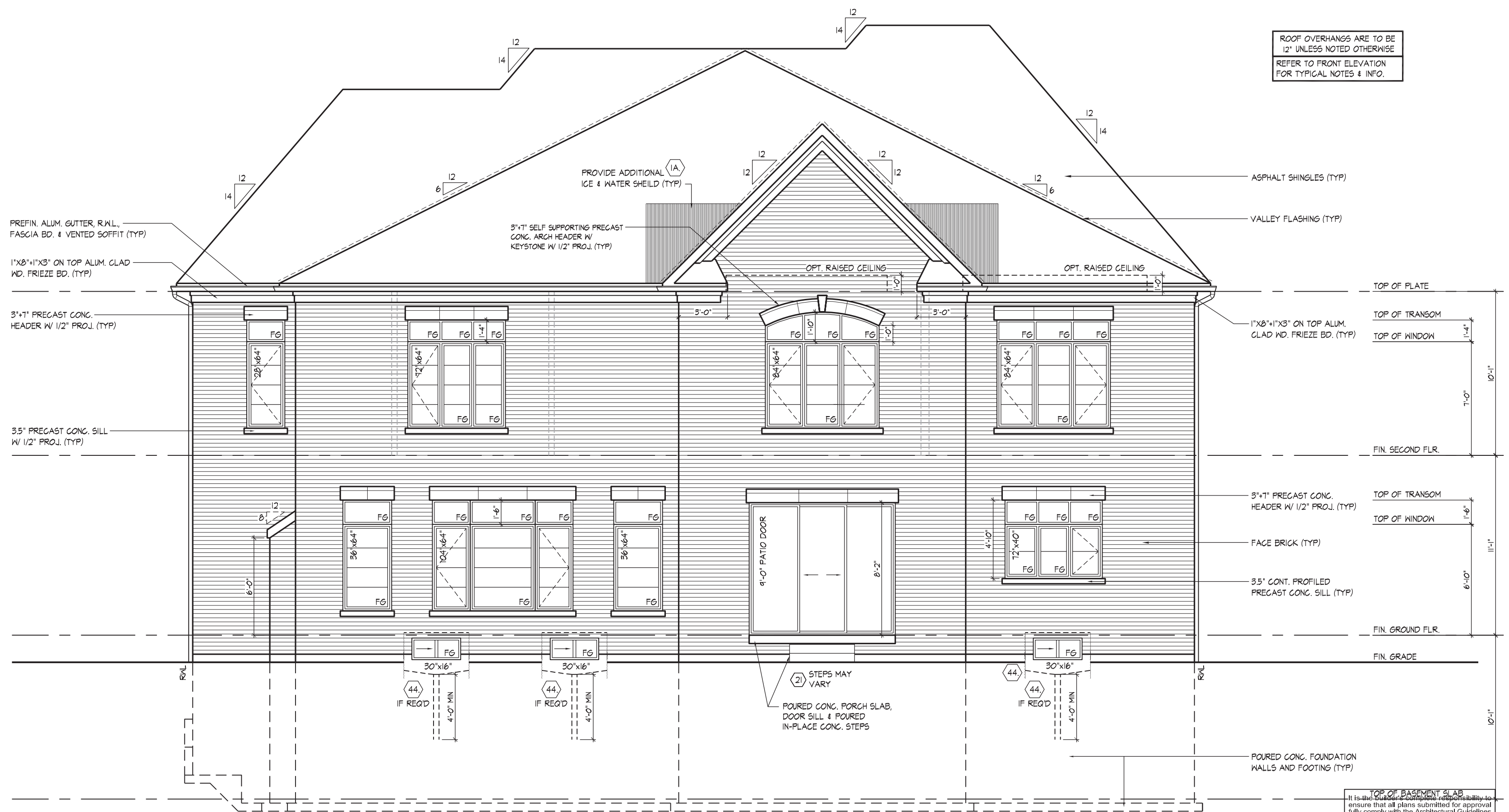
UNIT 7003

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File Number	Page Number
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F 905.737.7326

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UPGRADED REAR ELEVATION 'A'
- FOR LOTS BACKING ONTO NHS

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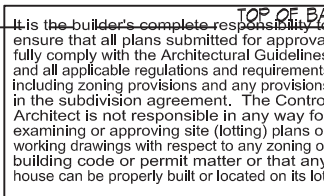
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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: AUG 17, 2022

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ROOF PLAN
ELEV. 'B'
N.T.S.



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APPROVED BY: _____

DATE: AUG 12, 2022

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FLOOR OR ROOF SYSTEM
FRONT ELEVATION 'B'
UNIT 3003

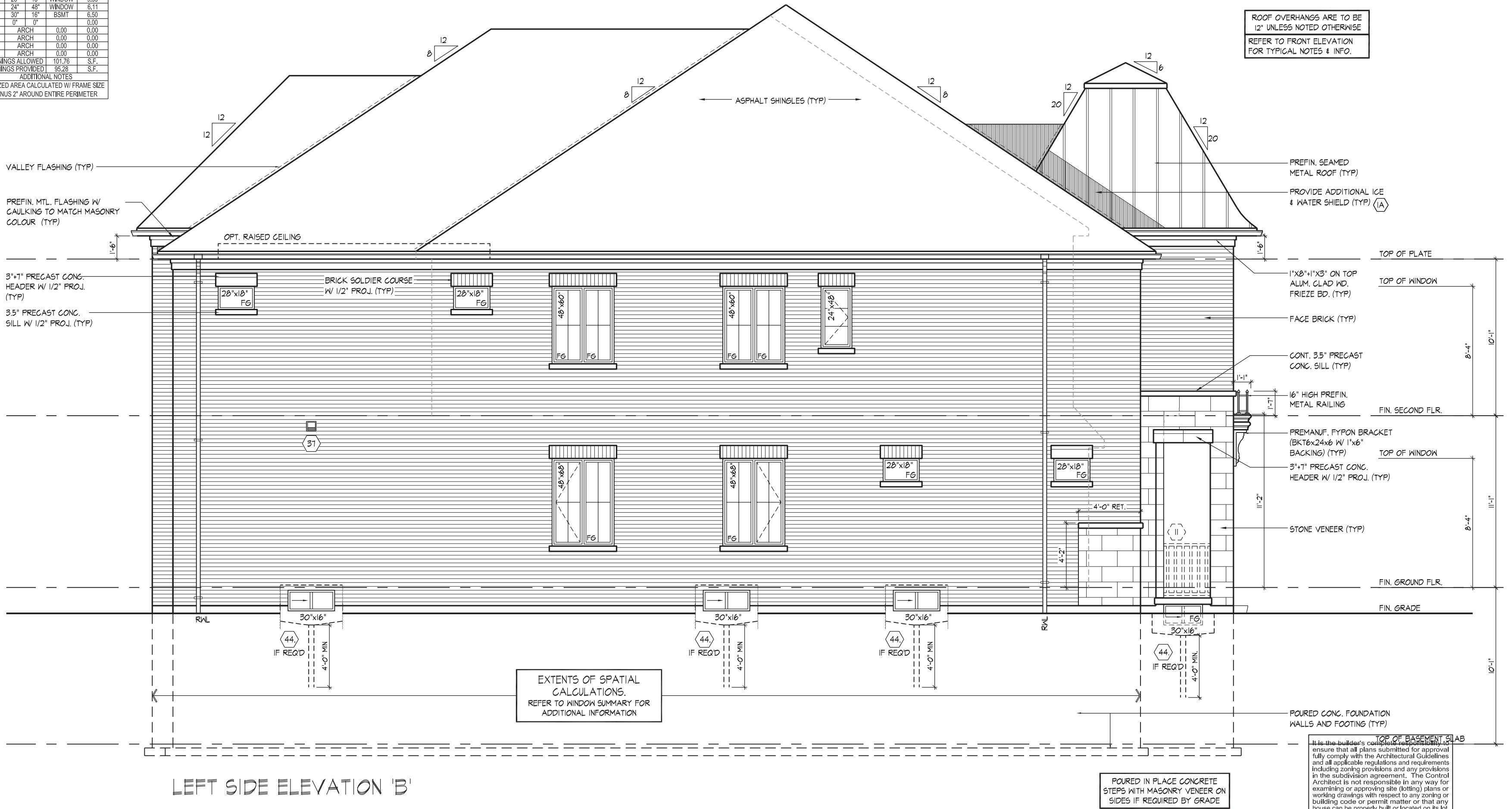
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QUALIFICATION INFORMATION	
Derek. R. Santos	37308
NAME	SIGNATURE
REGISTRATION INFORMATION	BCR
HUNT DESIGN ASSOCIATES INC.	19699

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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.

Drawn By YY	Checked By DS	Scale 3/16"=1'-0"	File Number 220052WS700
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326			

SPATIAL CALCULATION				
PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION 'B'				
EXPOSING BUILDING	1453.72	S.F.		
FACE AREA	135.06	S.M.		
PORTION WALL AREA	1453.72	S.F.		
LIMITING DISTANCE	135.06	S.M.		
MAX. % OPENINGS	7	%		
QUAN.	WIDTH	HEIGHT	WINDOW / DOOR FRAME SIZE (S.F.)	
2	48"	68"	WINDOW	33.11
2	48"	60"	WINDOW	34.22
4	28"	18"	WINDOW	9.33
1	24"	48"	WINDOW	6.11
3	30"	16"	BSMT	6.50
0	0"	0"		0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
OPENINGS ALLOWED	101.78	S.F.		
OPENINGS PROVIDED	95.28	S.F.		
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



ROOF OVERHANGS ARE TO BE
12" UNLESS NOTED OTHERWISE
REFER TO FRONT ELEVATION
FOR TYPICAL NOTES & INFO.

TOP OF PLATE
TOP OF WINDOW
FACE BRICK (TYP)
CONT. 3.5" PRECAST
CONC. SILL (TYP)
16" HIGH PREFIN.
METAL RAILING
PREMANUF. FYPON BRACKET
(BKT6x24x6 W/ 1"x6"
BACKING) (TYP)
3"x1" PRECAST CONC.
HEADER W/ 1/2" PROJ. (TYP)
STONE VENEER (TYP)
FIN. SECOND FLR.
TOP OF WINDOW
FIN. GROUND FLR.
FIN. GRADE
POURED CONC. FOUNDATION
WALLS AND FOOTING (TYP)
TOP OF BASEMENT SLAB

As the builder's complete responsibility, ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: AUG 12, 2022
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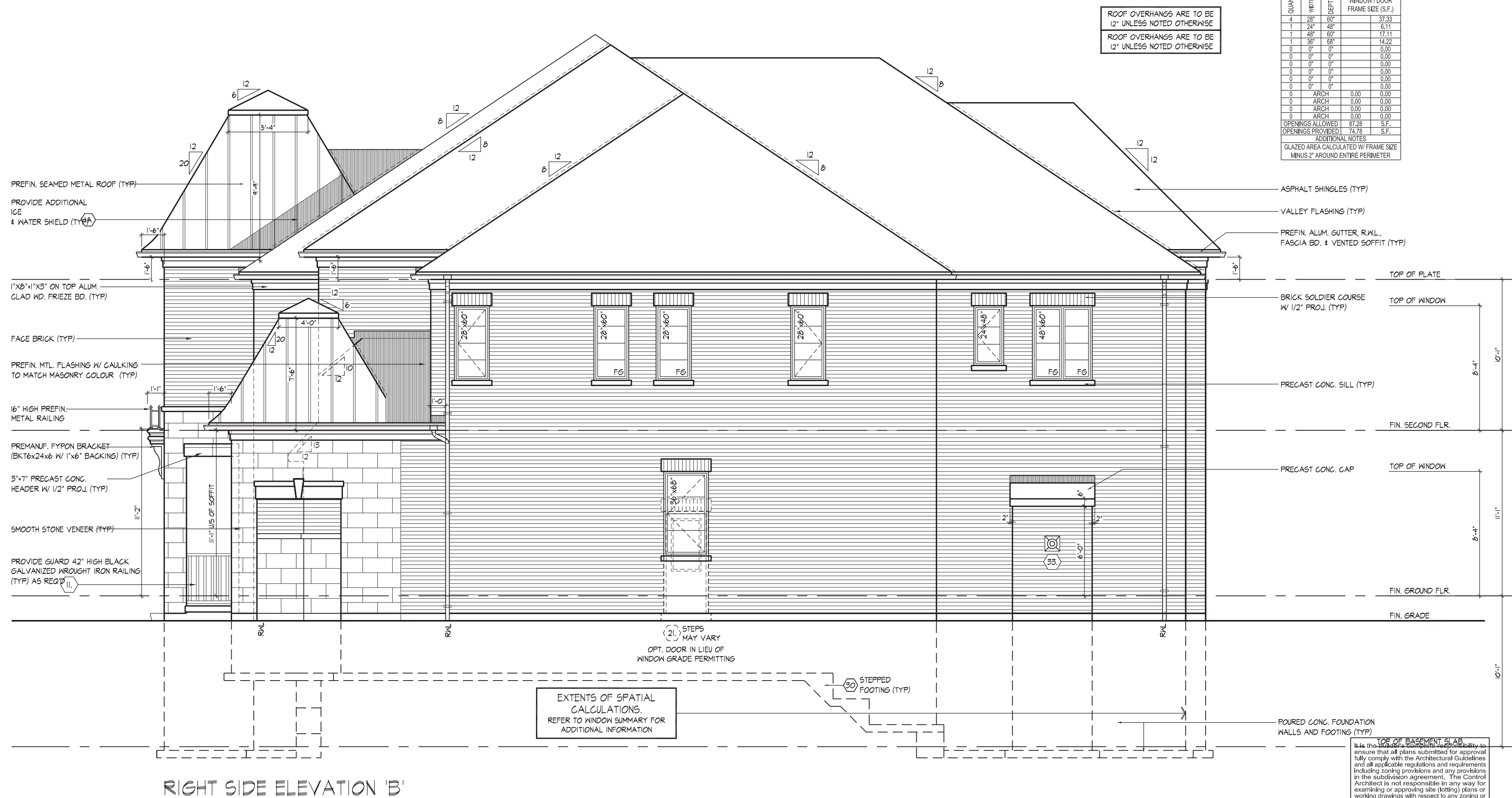
LICENCED PROFESSIONAL ENGINEER
2022-08-10
D. FERRARI
100168929
PROVINCE OF ONTARIO
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FLOOR OR ROOF SYSTEM

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Derek R. Santos
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

HUNT DESIGN ASSOCIATES INC.
8966 Woodbine Ave, Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326
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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.
UNIT 7003
REV.2022.08.10
Drawn By: YY
Checked By: DS
Scale: 3/16"=1'-0"
File Number: 220052WS7003
Page Number: 11 of 15

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SPATIAL CALCULATION					
PER O.S.C. TABLE 9.10, 15.4					
RIDGE SIDE ELEVATION B					
EXPOSING BUILDING FACE AREA		1453.72	S.F.		
PORTION WALL AREA		130.86	S.M.		
		1248.86	S.F.		
LIMITING DISTANCE MAX. OPENINGS		11.84	M.	12 m	
Q	WALL	TYPE	UNIT	WINDOW / DOOR FRAME SIZE (S.F.)	
4	28"	60"		37.33	
1	24"	48"		6.11	
1	36"	72"		17.11	
1	36"	68"		14.22	
0	0"	0"		0.00	
0	0"	0"		0.00	
0	0"	0"		0.00	
0	0"	0"		0.00	
0	0"	0"		0.00	
0	ARCH			0.00	
0	ARCH			0.00	
0	ARCH			0.00	
0	OPENINGS PROVIDED			87.28	S.F.
0	OPENINGS PROVIDED			74.78	S.F.
ADDITIONAL NOTES:					
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" X 4" DOUBLE PERIMETER					

TOP OF BASEMENT SLAB
It is the builder's responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: AUG 12 2022
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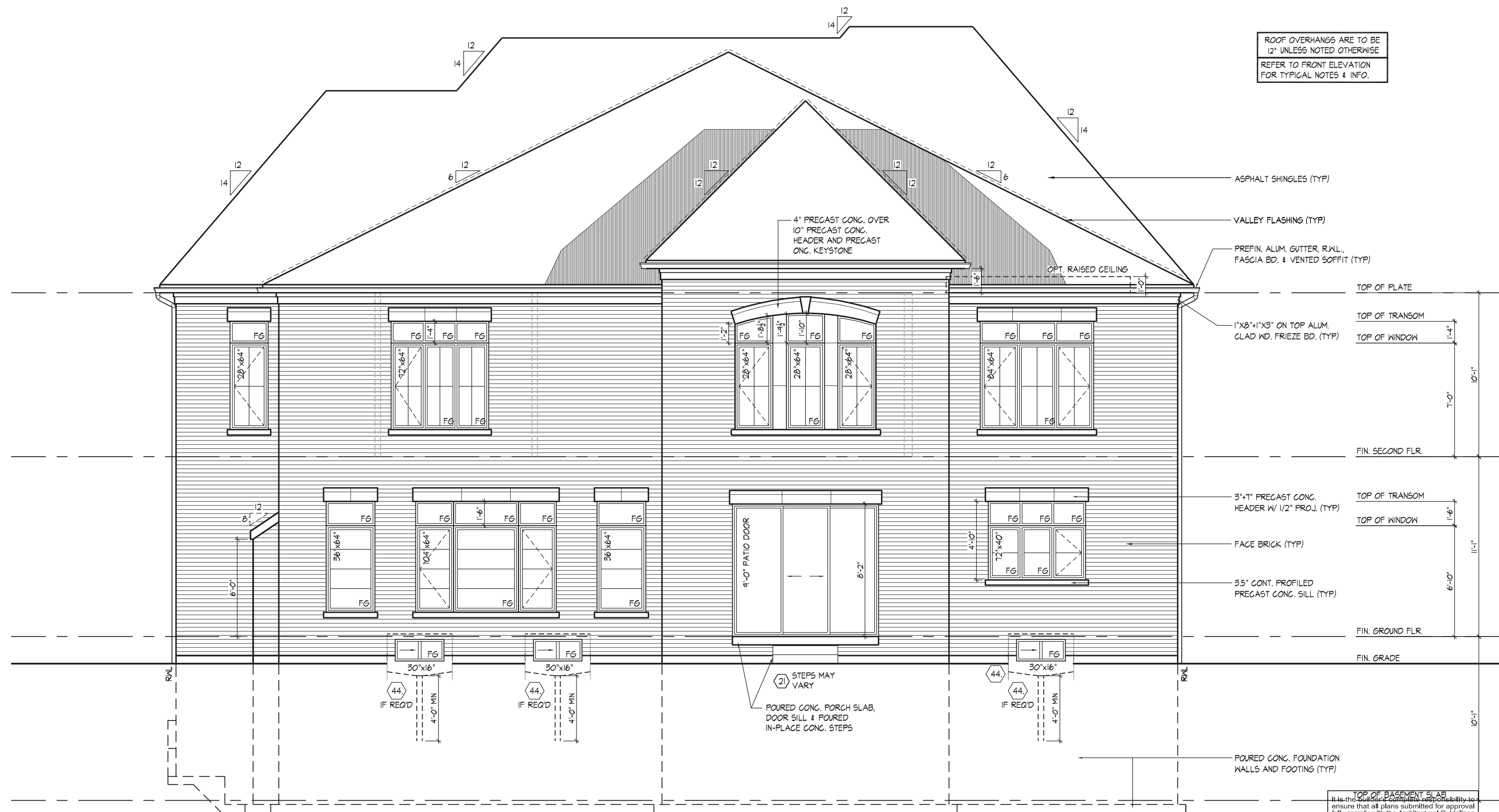
QUALIFICATION INFORMATION

Derek. R. Santos		37
NAME	SIGNATURE	
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		19

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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON

RIGHT SIDE ELEVATION 'E'
UNIT 7003
TON, ON. REV.2022.08.1



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: AUG 10, 2022

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REAR ELEVATION 'B'
UNIT 7003

REV.2022.08.10

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Derek R. Santos 37308
NAME
REGISTRATION INFORMATION BCIN
HUNT DESIGN ASSOCIATES INC. 19695

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DESIGN ASSOCIATES INC.
www.hunt-design.ca

ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.
Drawn By YY Checked By DS Scale 3/16"=1'-0" File Number 220052WS7003
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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2-2"x6" SPR #2
CANTILEVERED BEAM

2"x6" SPR #2 FLOOR JOISTS @ 16" (400 mm) O.C. NAILED TO WALL STUDS AND CANTILEVERED BEAM

SHEET OF 3/4" PLYWOOD GLUED & NAILED

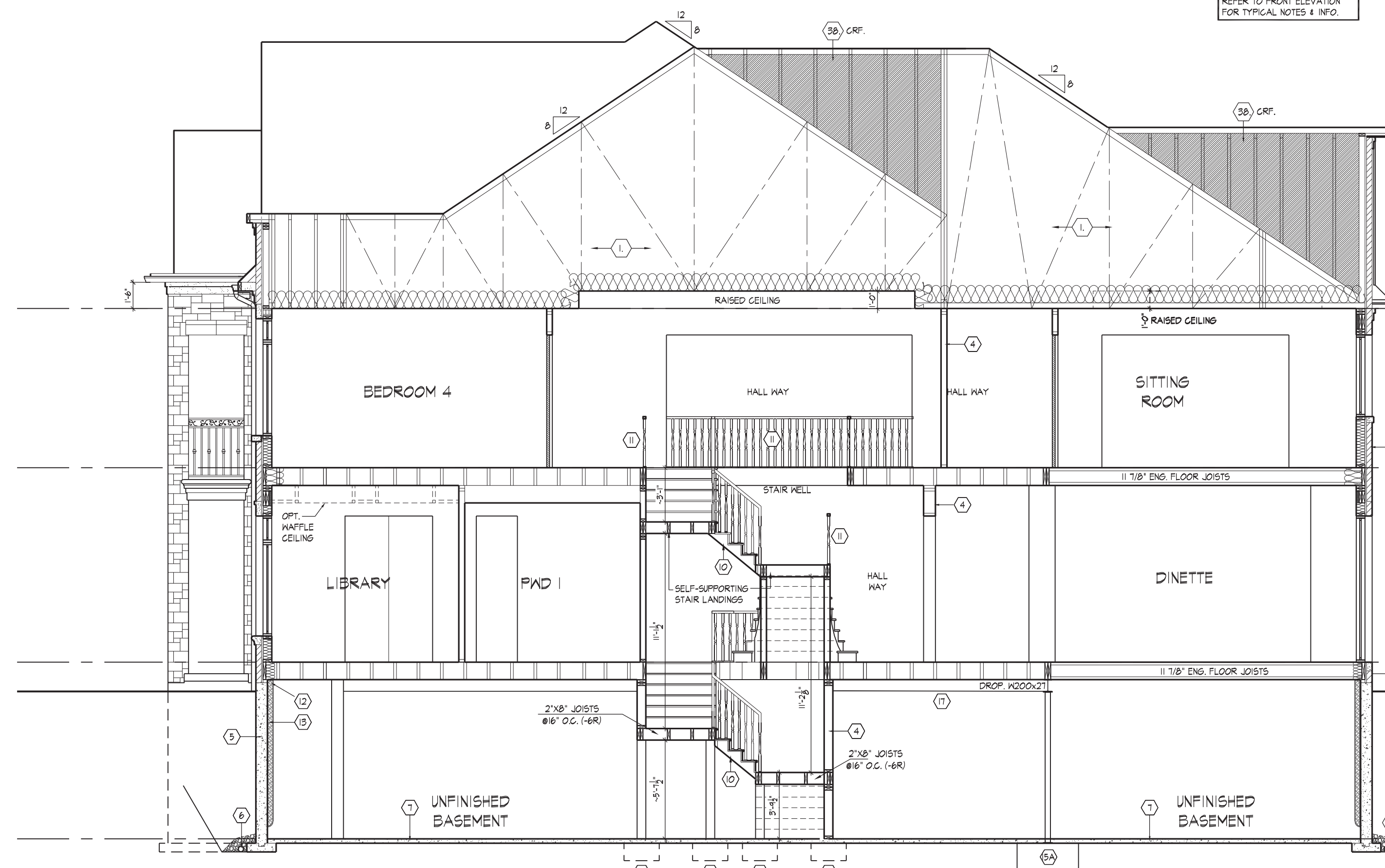
3-2"x6" SPR #2 BEAM TIED TO SOLID BEARING BELOW

3-2"x6" SPR. #2 BEAM
TOE NAIL W/ 6-76mm
SCREWS TO CANTILEVERED
BEAM BELOW

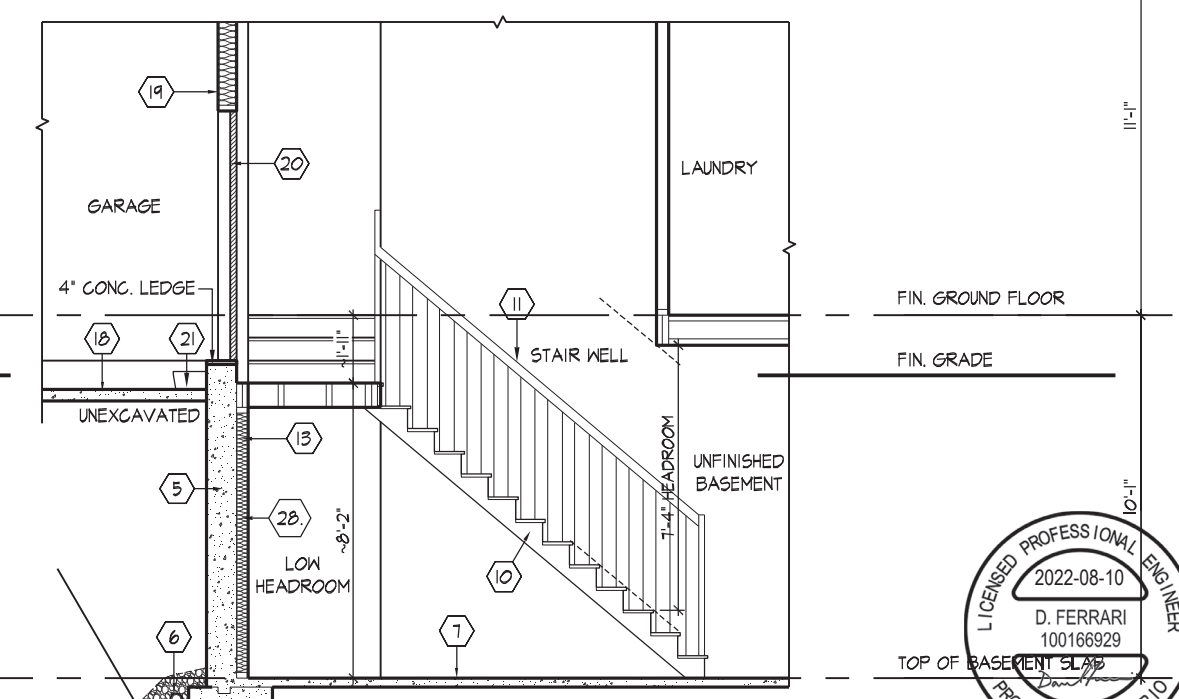
2-2"x6" SPR #2
SCREWED W/ 6-76mm
SCREWS TO
CANTILEVERED BEAM

AS PER PLAN

21.C1 SELF SUPPORTING STAIR LANDING



CROSS SECTION 'A-A'



CROSS SECTION 'B-B'

2022-08-10
D. FERRARI
100166929
PROVINCE OF ONTARIO

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QUALIFICATION INFORMATION
Derek R. Santos 37
NAME SIGNATURE

REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	19

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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.

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YY	DS	3/16"=1'-0"	220052WS70
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CROSS SECTION 'A-A' & 'B-B'

UNIT 7002

REV.2022.08.10

Page Number
1 1 5 1

14 of 1

signature.)

SECTION 1.0. CONSTRUCTION NOTES

1 ROOF CONSTRUCTION (9.19, 9.23.1.3, 9.23.1.5)

NO. 210 (10.25 KG/M2) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH 1" CLIPS, APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2'-11" (660) OVER FACE OF ROOF AND 1'-2" (30) MIN. 12" (305) BEYOND INNER FACE OF EXTERIOR WALL, 2"x4" (38x89) TRUSS BRACING @ 6'-0" (1830) O.C. AT BOTTOM CHORD, PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL, & VENTED SOFFIT, ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OF REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE, EAVESTROUGH TO BE 4" MIN. WITH RVL, DISCHARGING ONTO CONCRETE SPLASH POUNDING WALLS WITH APPROVED EAVES TRAYS, TRUSSES TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN RVL.

1A ICE AND WATER SHIELD

PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF-ADHERING AND SELF-SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3' (90) AND END LAPS A MINIMUM 6" (152), AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

1B PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS, ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

2 SIDING WALL CONSTRUCTION (2"x6")

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURNISH MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)

2A SIDING WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURNISH MEMBERS ON APPROVED AIR/VAPOUR BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED), MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.1) & SECTION 1.1, INSULATION, APPROVED 6 MIL. POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)

2B SIDING WALL @ GARAGE CONSTRUCTION

SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS. FURNISH MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.1) & SECTION 1.1, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.1.1) (REFER TO 35 NOTE AS REQ.)

3 BRICK VENEER WALL CONSTRUCTION (2"x6")

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7/8"x3/8" (22x180x.76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 2"x4" (60) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.23.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.1) & SECTION 1.1, INSULATION, AND 6 MIL. POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 8" (152) BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQUIRED)

3A BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION

3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7/8"x3/8" (22x180x.76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 2"x4" (60) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.23.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.1) & SECTION 1.1, INSULATION, AND 6 MIL. POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP MIN. 8" (152) OVER RIGID INSULATION (9.20.13.6) (REFER TO 35 NOTE AS REQUIRED)

3B BRICK VENEER WALL @ GARAGE CONSTRUCTION

3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7/8"x3/8" (22x180x.76) GALV. METAL TIES @ 16" (406) O.C. HORIZ. 2"x4" (60) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.1) & SECTION 1.1, 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6) (REFER TO 35 NOTE AS REQ.)

4 INTERIOR STUD PARTITIONS (9.23.9.8, 9.23.10)

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY. NON-BEARING PARTITIONS 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY. TOP & BOTTOM PLATE, 2"x4" (38x89) TOP PLATE, 1/2" (12.7) INT. DRYWALL, BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED, PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER, PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE ADJACENT TO FLOOR JOISTS.

EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING

3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.1) & SECTION 1.1, INSULATION AND 6 MIL. POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (9.23.1)

4A EXT. LOFT WALL CONSTRUCTION (2"x6")

3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.1) & SECTION 1.1, INSULATION AND 6 MIL. POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (9.23.1)

4B EXT. LOFT WALL CONSTRUCTION (2"x6")

APPROVED AIR/VAPOUR BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED), MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.1) & SECTION 1.1, INSULATION AND 6 MIL. POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH, (9.23.1)

5 FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS REINFORCED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 8" (152) ABOVE FINISHED GRADE, THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE, PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL, SEAL THE DRAINAGE LAYER AT THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-4" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4.1 (1) (2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING, ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED, ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT. REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1.1)

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.1)	MAX. HEIGHT FROM FIN. SLAB TO GRADE			
	UNSUPPORTED AT TOP	SUPPORTED TOP	SUPPORTED 1/2	SUPPORTED 3/4
15 MPa	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	7'-0" (2.15m)
20 MPa	4'-7" (1.40m)	7'-0" (2.15m)	8'-6" (2.60m)	8'-2" (2.50m)
25 MPa	4'-11" (1.50m)	7'-0" (2.15m)	8'-6" (2.60m)	9'-3" (2.85m)
30 MPa	5'-11" (1.80m)	7'-0" (2.15m)	8'-6" (2.60m)	9'-3" (2.85m)
35 MPa	6'-11" (2.10m)	7'-0" (2.15m)	8'-6" (2.60m)	9'-3" (2.85m)

*9 MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONFINED TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2, 9.23.8.1, & 9.23.9.1. OF THE O.B.C.

MINIMUM STRIP FOOTING SIZES (9.15.3)	MINIMUM STRIP FOOTING SIZES (9.15.3)			
	NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING	SUPPORTING EXTERIOR	SUPPORTING PARTWALL
1	16" WIDE x 8" THICK	16" WIDE x 8" THICK	16" WIDE x 8" THICK	16" WIDE x 8" THICK
2	24" WIDE x 8" THICK	20" WIDE x 8" THICK	24" WIDE x 8" THICK	24" WIDE x 8" THICK
3	36" WIDE x 14" THICK	26" WIDE x 9" THICK	36" WIDE x 14" THICK	36" WIDE x 14" THICK

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

5A FOUNDATION REDUCTION IN THICKNESS FOR MASONRY

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FINISH, THE REDUCED SECTION SHALL BE NOT LESS THAN 3' (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7' (210) VERTICAL AND 2'-11" (549) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.2.1.1) (9.15.4.2.1.2) (9.15.4.2.1.3)

5B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS

WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF JOIST OR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13' (39) (305) HIGH AND NOT LESS THAN 3' (90) THICK (9.15.4.2.1.1)

6 WEEPING TILE (9.14.3)

4" (100) W/ WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER

7 BASEMENT SLAB OR SLAB ON GRADE (9.16.4)

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPROOFING BELOW SLAB, PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR DOND BREAK AT EDGE, WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERMETER EXTENDING MIN. 24" (610) BELOW GRADE, FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (9.16.4.2.1) (9.16.4.2.2) (9.16.4.2.3)

8 EXPOSED FLOOR TO EXTERIOR (9.10.17.10, & CANULC-S705.2)

PROVIDE SPRAY FOAM INSULATION BETWEEN CONT. JOIST AND INSTALL OSB CONFORMING TO 9.29.9. FIN. SOFT OR CLADDING AS PER ELEVATION TO VIS OF EXPOSED CONT. JOIST.

9 EXPOSED CEILING TO EXTERIOR W/ ATTIC (9.25.2.4)

INSULATION, 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR w/o ATTIC

JOIST/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS, PURLINS NOT REQ. W/ SPRAY FOAM (FOR TRUSSES) W/ INSULATION BETWEEN JOIST & 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CANULC-S705.2, 9.19.1, 9.10.17.10)

10 ALL STAIRS/EXTERIOR STAIRS (9.8.1.2, 9.8.2, 9.8.4)

	MAX. RISE	MIN. RISE	MAX. RUN	MIN. RUN	ALL STAIRS	
PRIVATE	7' 7/8" (200)	5" (125)	14" (355)	10" (255)	MAX. NOSING 1" (25)	
PUBLIC	7" (180)	5" (125)	NO LIMIT	11" (280)		
	MIN. STAIR WIDTH	TAPERED TREADS				
		MIN. RUN		5' 7/8" (150)		
PRIVATE	2'-10" (860)	MIN. AVG. RUN		10" (255)		
		MIN. RUN		5' 7/8" (150)		
PUBLIC	2'-11" (800)	MIN. AVG. RUN		11" (280)		
		MIN. RUN		5' 7/8" (150)		

AVERAGE RUN OF TAPERED TREAD MEASURED AT A POINT 300mm FROM THE CENTERLINE OF INSIDE OF STAIRS (9.8.4.3)

** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-8" (1950) FOR SINGLE DWELLING UNIT & 6'-4" (1930) FOR EVERYTHING ELSE. (9.8.2.2.2) REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.3

FOR AN EXTERIOR STAIR SERVING A GARAGE - W/ MORE THAN 3 RISERS, GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

GUARDS/HANDRAILS (9.8.7, 9.8.8)

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5, & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2

GUARD HEIGHTS - O.B.C. 9.8.8

INTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE) EXTERIOR GUARDS: 3'-4" (1040) MIN. (LESS THAN 5'-11" (1800) TO GRADE)

GUARDS FOR EXITS STAIRS: 3'-4" (1070) MIN. GUARDS FOR LANDING @ EXIT STAIRS: 3'-4" (1070) MIN.

GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS) FLOOR OR RAMP W/ EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 5'10" (1410) HIGH, AND GUARD MIN. 3'-4" (1070) HIGH.

REQUIRED GUARDS: BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200)

A WALKING SURFACE W/ A DIFFERENCE NOT MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

HANDRAIL HEIGHTS - O.B.C. 9.8.7 - REQUIRED AS PER 9.8.7.1.3

MIN. HEIGHT AT STAIRS, RAMPS AND LANDINGS: 2'-10" (685) MAX. HEIGHT AT STAIRS, RAMPS AND LANDINGS: 3'-4" (1070)

SILL PLATES

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7) ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 7'-11" (1194) O.C. MAX. BETWEEN FLOOR BETWEEN PLATE AND TOP OF FOUNDATION WALL, USE NON-SHRINK GROUT TO FILL SILL PLATE WHEN REQUIRED (9.23.7)

BASEMENT INSULATION (9.16.4.2.1.1)

PROVIDE CONTINUOUS INSULATION W/ BUILT IN 6 MIL. POLYETHYLENE VAPOUR BARRIER, INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR, DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

BEARING STUD PARTITION IN BASEMENT (9.15.3.6, 9.23.10.1)

2"x4" (38x89) STUDS @ 16" (406) O.C. 2"x4" (38x89) SILL PLATE 2"x6" (38x140) AS REQUIRED ON DAMPROOFING PAPER, 1/2" (12.7) GYPSUM WALLBOARD, 1/2" (12.7) 2" ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (200) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING, FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4)

9'-10" (3000) MAX. SPAN BETWEEN COLUMNS, 3' (910) SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CSA-S7.2M, AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa AS PER SOIL REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

NON-ADJUSTABLE STEEL BASEMENT COLUMN

3'12" (960) x 10" (188) (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa AS PER SOIL REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL

3'12" (960) x 10" (188) (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM, FIELD WELD BASEMENT COLUMN CONNECTION, POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa AS PER SOIL REPORT.

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1)

BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3' (12) (90), CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS

WOOD STRAPPING AT STEEL BEAMS (9.23.4.3.3, 9.23.9.3)

1"x3" (38x48) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

GARAGE SLAB (9.16, 9.35)

4" (100) 30MPa (4400psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL, SLOPE TO FRONT @ 1% MIN.

GARAGE TO HOUSE WALLS/CEILING (9.10.9.16)

1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION ON WALLS AND SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CANULC-S705.2)

GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION

1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION ON WALLS AND SPRAY FOAM FOR CEILINGS, TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16, 9.10.17.10, CANULC-S705.2)

GARAGE DOOR TO HOUSE (9.10.9.16, 9.10.13.10, 9.10.13.15)

GAS-PROOF DOOR AND FRAME, DOOR EQUIPPED WITH SELF-CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS

PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER, MAX RISE 7'7" (200), MIN. TREAD 10" (255). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2, OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

DRYER EXHAUST

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.

ATTIC ACCESS (9.19.2.1)

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.3m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING, HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE CONFORMING WITH MIN. REQ. (9.19.2.1.1) (9.19.2.1.2) (9.19.2.1.3)

FIREPLACE CHIMNEYS (9.21)

TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (549) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

LINEN CLOSET

PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3)

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8)

1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 2"x4" (38x89) STUDS, BLOCK 75% SOLID, FILL STRAPPING EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS, EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WOOD STRAPPING @ 12" (12.7) GYPSUM SHEATHING.

1/8" (15.9) STEEL W/ GYPSUM SHEATHING ON EXTERIOR SIDE OF 2" (203) 2"x2" (38x38)