



FRONT ELEVATION 'A'



FRONT ELEVATION 'C'



FRONT ELEVATION 'B'

Unit 7001

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PERFORMANCE COMPLIANCE

SPACE HEATING FUEL	
<input type="checkbox"/> GAS	<input type="checkbox"/> OIL
<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	PROPOSED
INSULATION RSI (R) VALUE	
CEILING W/ ATTIC SPACE	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22) + 1.5ci
BASEMENT WALLS	R20 Blanket or R12+R10ci
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
HEATED SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
CONC. SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
WINDOWS & DOORS	
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE or MIN. ER)	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8
APPLIANCE EFFICIENCY	
SPACE HEATING EQUIP. (AFUE%)	96% AFUE w/ECM
HRV EFFICIENCY (%)	75%
DOMESTIC HOT WATER HEATER (EF)	0.9
DWHR UNIT (%)	53.3% ON 1 SHOWERS MIN.

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'
	STD. PLAN	STD. PLAN	STD. PLAN
GROUND FLOOR AREA	2786 sq. ft.	2786 sq. ft.	2793 sq. ft.
SECOND FLOOR AREA	3296 sq. ft.	3296 sq. ft.	3336 sq. ft.
SUBTOTAL	6082 sq. ft.	6082 sq. ft.	6129 sq. ft.
DEDUCT ALL OPEN AREAS	538 sq. ft.	538 sq. ft.	538 sq. ft.
TOTAL NET AREA	5544 sq. ft.	5544 sq. ft.	5591 sq. ft.
	(515.05 sq. m.)	(515.05 sq. m.)	(519.42 sq. m.)
FINISHED BASEMENT AREA	94 sq. ft.	94 sq. ft.	94 sq. ft.
COVERAGE W/OUT PORCH	3463 sq. ft.	3463 sq. ft.	3458 sq. ft.
	(321.72 sq. m.)	(321.72 sq. m.)	(321.26 sq. m.)
COVERAGE W/ PORCH	3531 sq. ft.	3531 sq. ft.	3538 sq. ft.
	(328.04 sq. m.)	(328.04 sq. m.)	(328.69 sq. m.)
WINDOW / WALL AREA CALCULATIONS			
	EL. 'A'	EL. 'B'	EL. 'C'
	STD. PLAN	STD. PLAN	STD. PLAN
GROSS WALL AREA	6041 sq. ft.	6041 sq. ft.	5900 sq. ft.
	(561.23 sq. m.)	(561.23 sq. m.)	(548.13 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	909 sq. ft.	882 sq. ft.	879 sq. ft.
	(84.45 sq. m.)	(81.94 sq. m.)	(81.66 sq. m.)
TOTAL WINDOW %	15.05 %	14.60 %	14.90 %



- 1 - TITLE PAGE & CONSTRUCTION NOTES
- 2 - BASEMENT PLAN ELEVATION 'A'
- 3 - GROUND FLOOR PLAN ELEVATION 'A'
- 4 - SECOND FLOOR PLAN ELEVATION 'A'
- 5 - GROUND FLOOR PLAN ELEVATION 'B'
- 6 - SECOND FLOOR PLAN ELEVATION 'B'
- 7 - BASEMENT PLAN ELEVATION 'C'
- 8 - GROUND FLOOR PLAN ELEVATION 'C'
- 9 - SECOND FLOOR PLAN ELEVATION 'C'
- 10 - FRONT ELEVATION 'A'
- 11 - LEFT SIDE ELEVATION 'A'
- 12 - RIGHT SIDE ELEVATION 'A'
- 13 - REAR ELEVATION 'A'
- 14 - FRONT ELEVATION 'B'
- 15 - LEFT SIDE ELEVATION 'B'
- 16 - RIGHT SIDE ELEVATION 'B'
- 17 - REAR ELEVATION 'B'
- 18 - FRONT ELEVATION 'C'
- 19 - LEFT SIDE ELEVATION 'C'
- 20 - RIGHT SIDE ELEVATION 'C'
- 21 - REAR ELEVATION 'C'
- 22 - CROSS SECTION 'A-A'
- 23 - CONSTRUCTION NOTES



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FLOOR OR ROOF SYSTEM

7. ISSUED FOR PERMIT	-	-
6. ISSUED FOR FINAL APPROVAL	2022/08/10	MM
5. REVISED AS PER ENGINEER COMMENTS	2022/07/13	MM
4. REVISED AS PER FLOOR MANUFACTURE PLANS	2022/06/17	MM
3. REVISED AS PER ROOF TRUSS MANUFACTURE PLANS	2022/04/29	MM
2. REVISED AS PER CLIENT'S COMMENTS	2022/01/04	JLT
1. ISSUED FOR CLIENT REVIEW	2021/12/10	JLT
REVISIONS		DATE (YYYY/MM/DD) BY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Derek R. Santos
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

37308

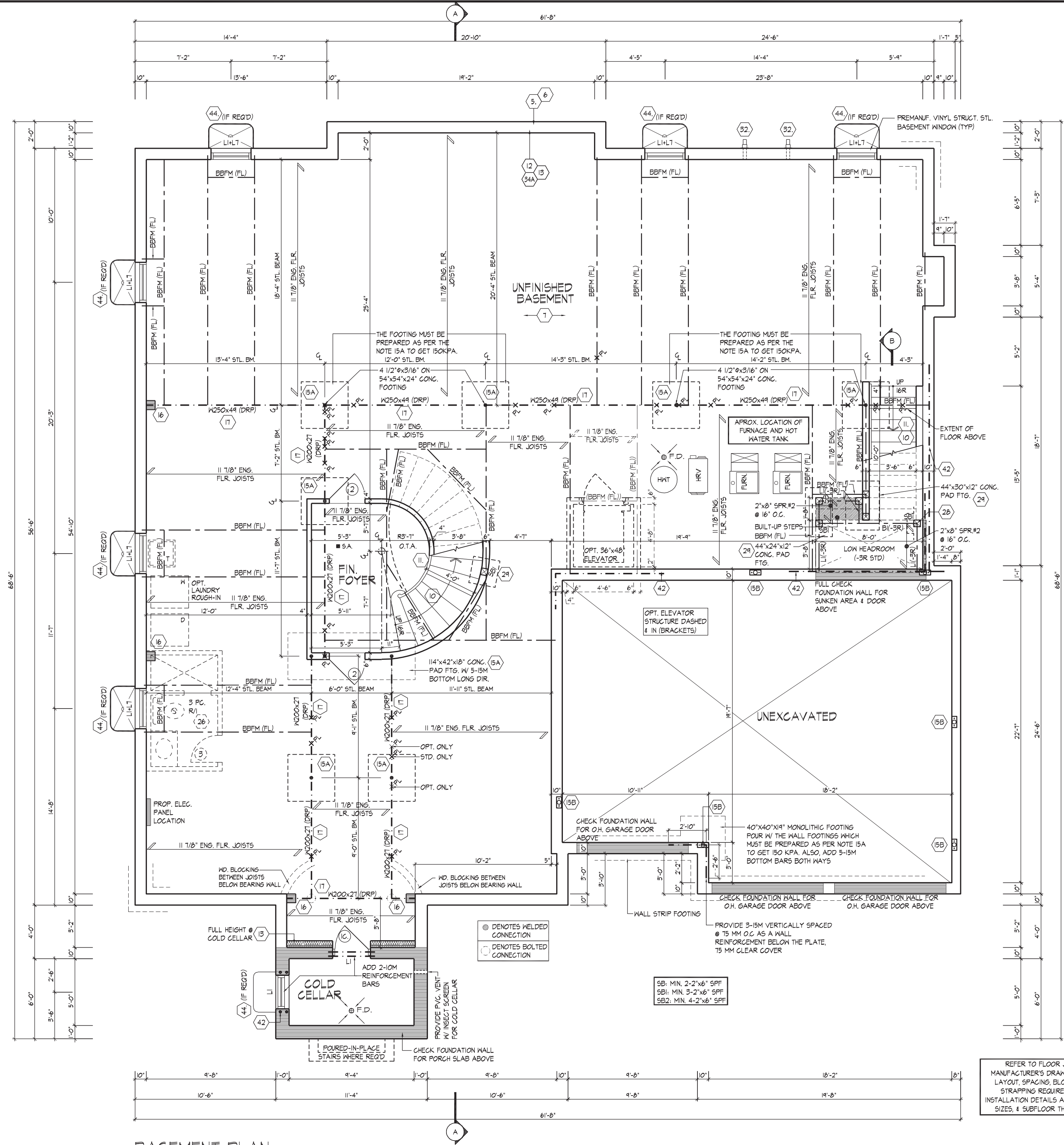
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TITLE PAGE & CONSTRUCTION NOTES
ROYAL PINE HOMES - 220052
UNIT 7001
VALES OF HUMBER 'SOUTH', BRAMPTON, ON. REV.2022.08.10

Drawn By RS Checked By DS Scale 3/16"=1'-0" File Number 220052WS7001 Page Number 1 of 28
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BASEMENT PLAN
ELEVATION 'A' & 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: AUG 12, 2022

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REFER TO FLOOR JOIST
MANUFACTURER'S DRAWINGS FOR
LAYOUT, SPACING, BLOCKING &
STRAPPING REQUIREMENTS.
INSTALLATION DETAILS AND HANGER
SIZES, & SUBFLOOR THICKNESS

PROVIDE SOLID WOOD BLOCKING @
24" O.C. FOR FIRST JOIST SPAN
WHEN PARALLEL W/ EXTERIOR WALL

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BASEMENT PLAN ELEVATION 'A'

UNIT 7001
REV. 2022.08.10

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QUALIFICATION INFORMATION
Derek R. Santos 37308
NAME: BCRN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

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ROYAL PINE HOMES - 220052
VALDES OF HUMBER 'SOUTH', BRAMPTON, ON.
Drawn By: RS
Checked By: DS
Scale: 3/16"=1'-0"
File Number: 220052WS7001
Page Number: 2 of 28

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Derek R. Santos	37308
NAME	SIGNATURE
REGISTRATION INFORMATION	
HUNT DESIGN ASSOCIATES INC.	19695

*** 2"x4" STUD WALL ASSEMBLY EXCEEDING
MAX. UNSUPPORTED HEIGHT**

FOR WALLS GREATER THAN 9'-10" TO MAX. 12'-0" HIGH,
- W/O FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C.
- W/ FLOOR LOAD DOUBLE UP EVERY STUD @ 12" O.C.
- PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.



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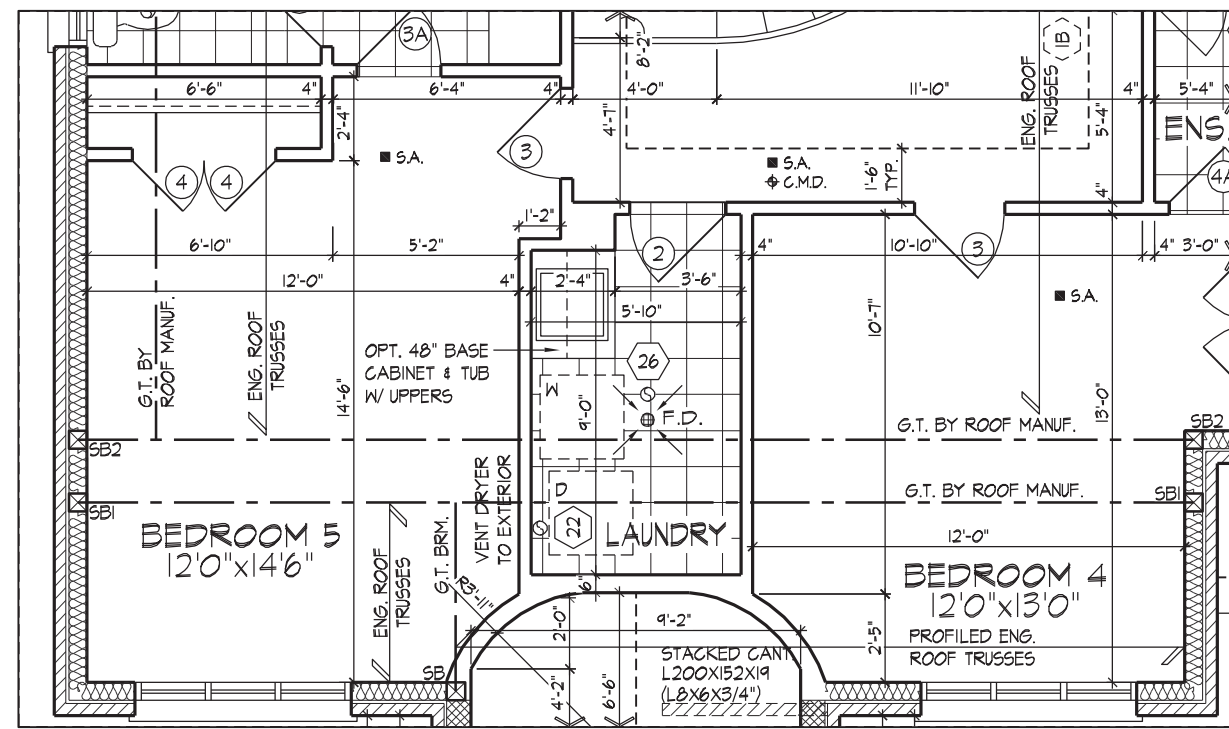
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GROUND FLOOR PLAN ELEVATION 'A'

ROYAL PINE HOMES - 220052	UNIT 7001
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.	REV.2022.08.10

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RS	DS	3/16"=1'-0"	220052WS7001	3 of 26



PART. SECOND FLOOR PLAN - OPT. LAUNDRY
ELEVATION 'A' (SIMILAR FOR ELEV. 'B' & 'C')

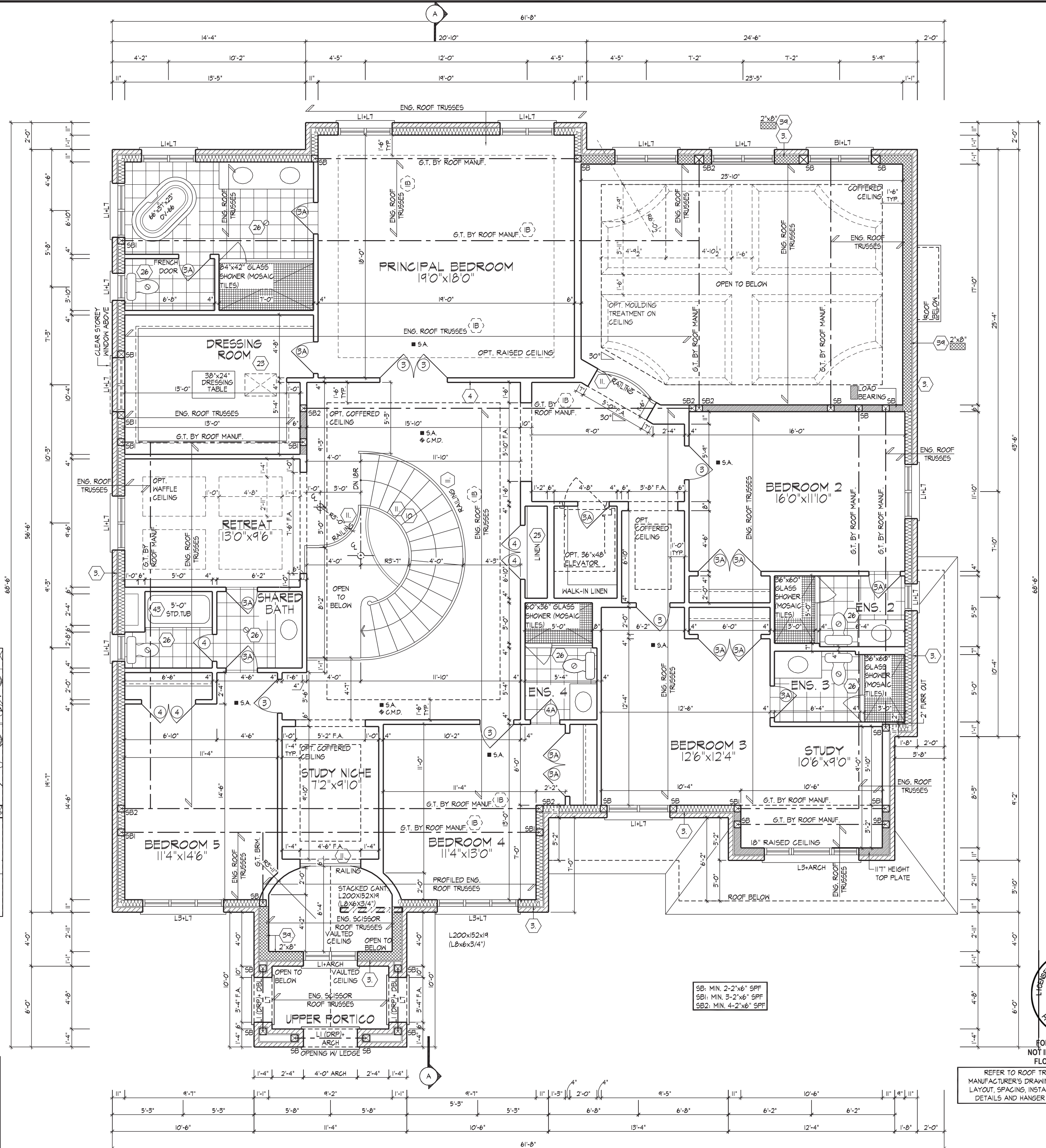
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

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SECOND FLOOR PLAN
ELEVATION 'A'

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QUALIFICATION INFORMATION
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REGISTRATION INFORMATION: BCN
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SECOND FLOOR PLAN ELEVATION 'A'
UNIT 7001
ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON. REV.2022.08.10

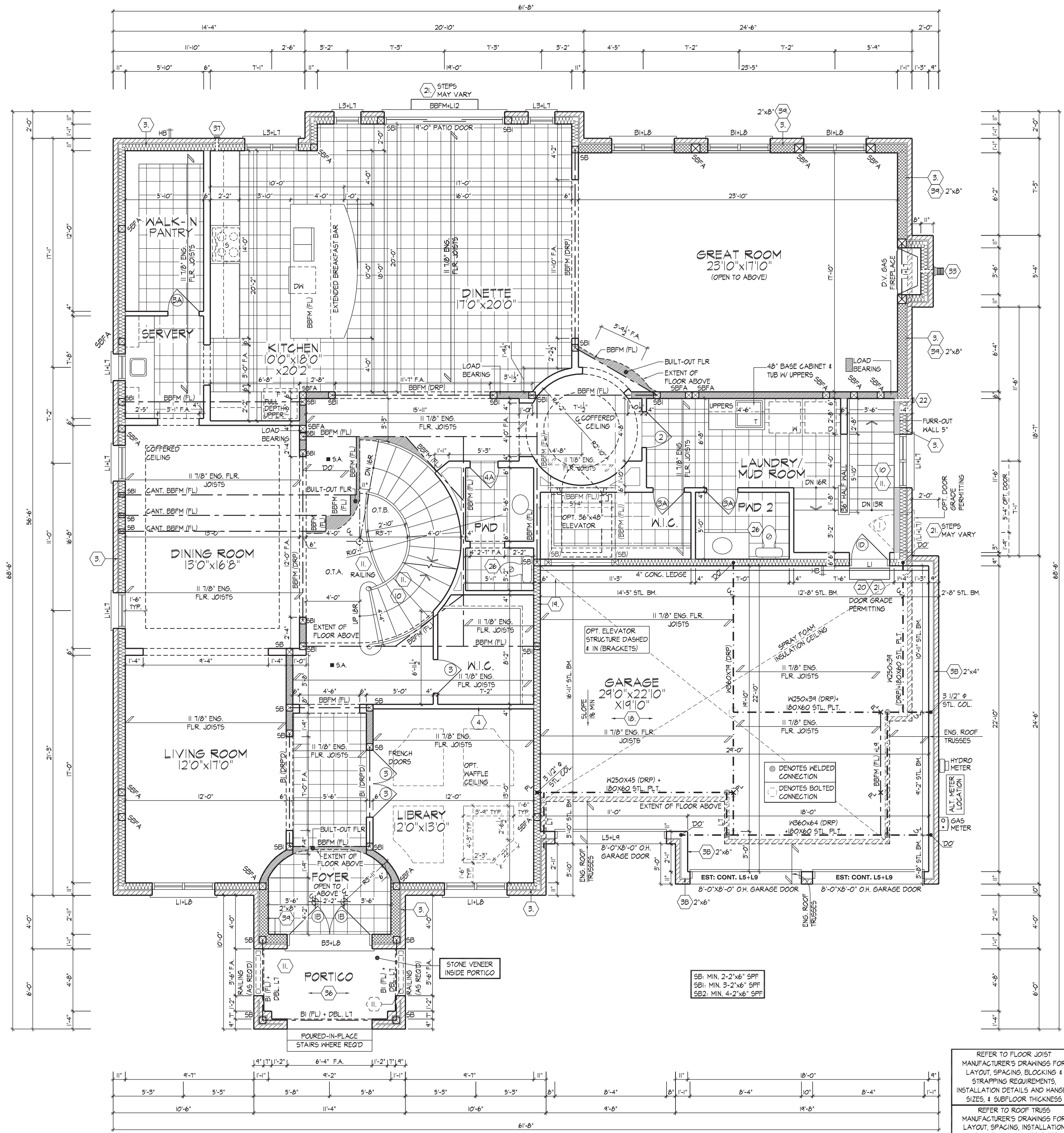
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PROFESSIONAL ENGINEER
2022-08-10
D. FERRARI
100168929
PROVINCE OF ONTARIO



GROUND FLOOR PLAN
ELEVATION 'B'

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QUALIFICATION INFORMATION
Derek R. Santos 37308
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

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GROUND FLOOR PLAN ELEVATION 'B'
ROYAL PINE HOMES - 220052
UNIT 7001
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.
REV.2022.08.10

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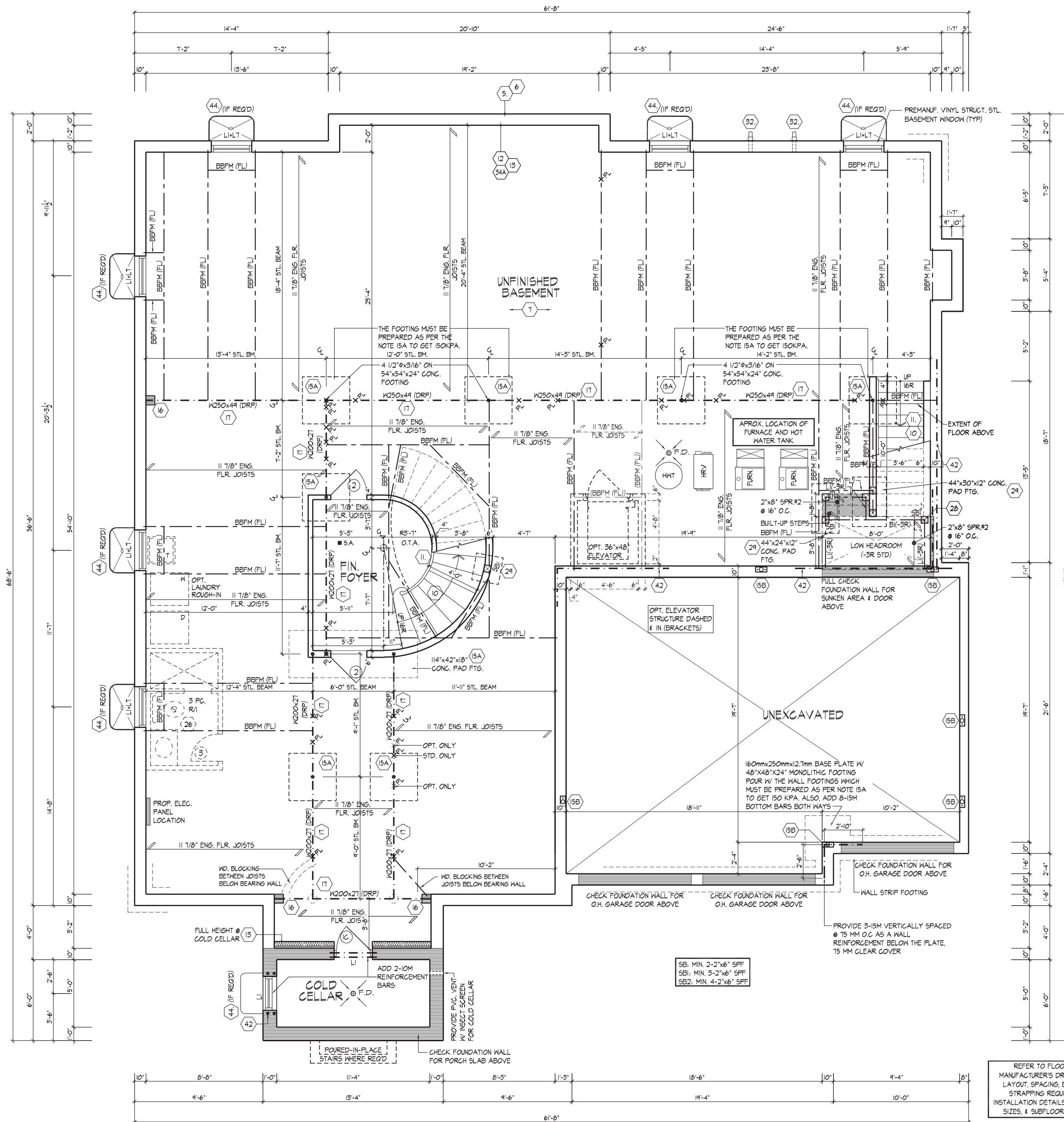
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SECOND FLOOR PLAN ELEVATION 'B'			
ROYAL PINE HOMES - 220052		UNIT 7001	
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.		REV. 2022.08.10	
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RS	DS	3/16"=1'-0"	220052WST7001
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BASEMENT PLAN
ELEVATION 'C'

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AND APPROVAL
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OUT IN THE ONTARIO BUILDING ACT AND BUILDING REGULATIONS.

QUALIFICATION INFORMATION
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NAME
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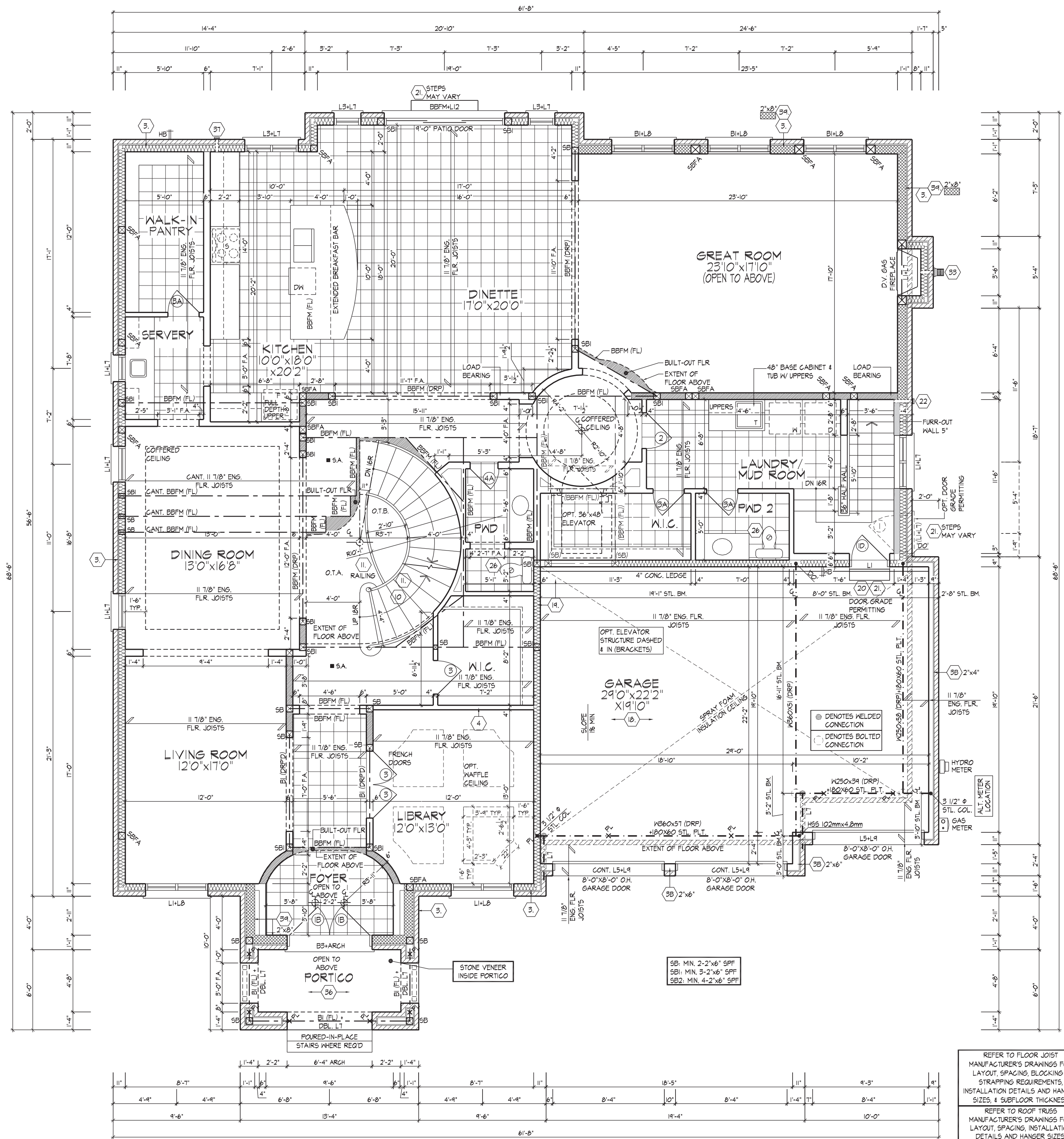
ROYAL PINE HOMES - 220052
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UNIT 7001
REV.2022.08.10

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GROUND FLOOR PLAN
ELEVATION 'C'

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QUALIFICATION INFORMATION
Derek R. Santos 37308
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.
8966 Woodbine Ave., Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

GROUND FLOOR PLAN ELEVATION 'C'
UNIT 7001
REV. 2022.08.10

8 of 26

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: AUG 12, 2022
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LICENCED PROFESSIONAL ENGINEER
2022-08-10
D. FERRARI
100166929
PROVINCE OF ONTARIO

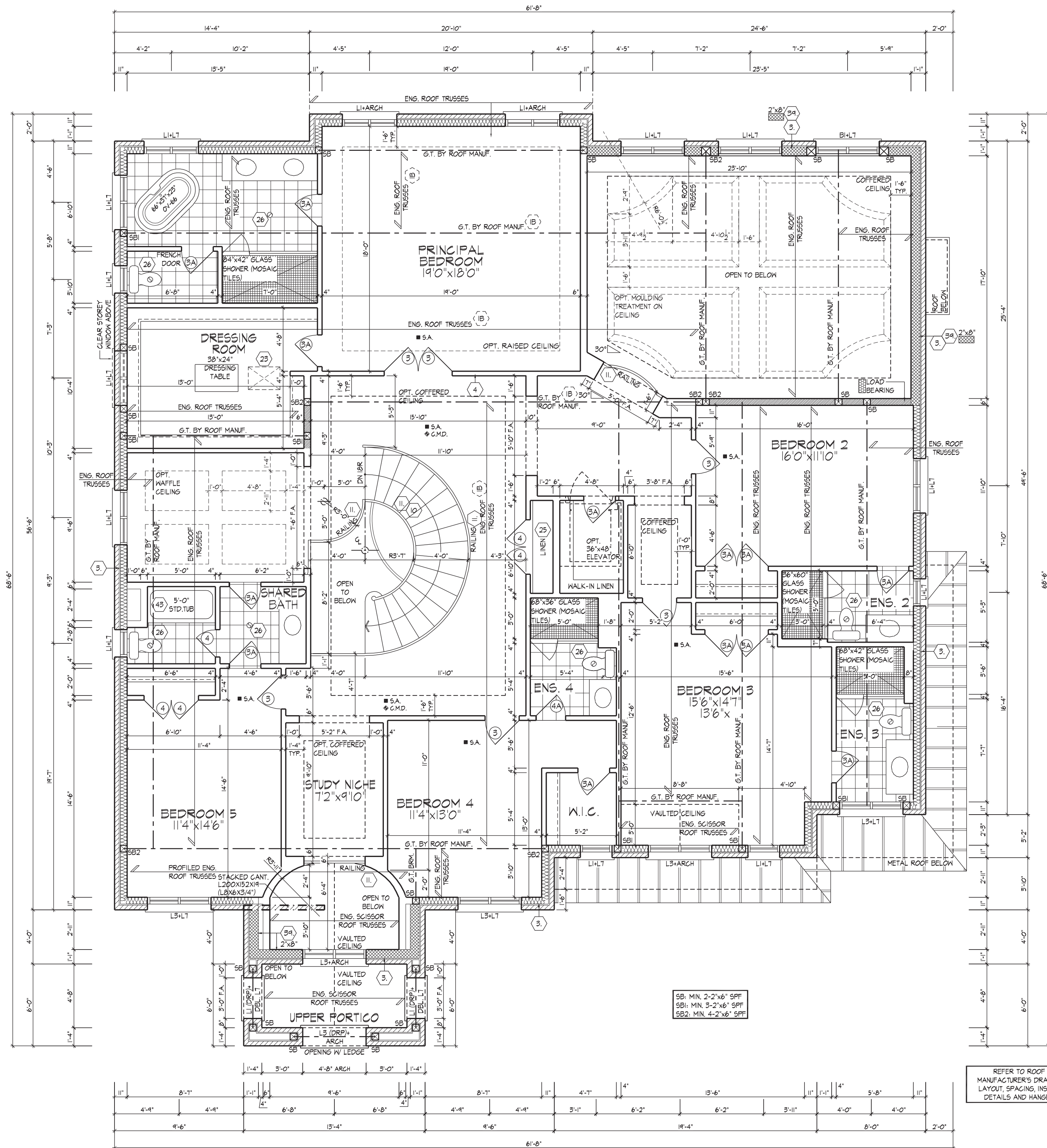
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REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

FOR STRUCTURAL ONLY NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

* 2"x4" STUD WALL ASSEMBLY EXCEEDING MAX. UNSUPPORTED HEIGHT FOR WALLS GREATER THAN 9'-10" TO MAX. 12'-0" HIGH, - W/O FLOOR LOAD, DOUBLE UP EVERY STUD @ 16" O.C. - W/ FLOOR LOAD, DOUBLE UP EVERY STUD @ 12" O.C. - PROVIDE BLOCKING EVERY 4'-0" O.C. VERTICAL.



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
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SECOND FLOOR PLAN
ELEVATION 'C'

SECOND FLOOR PLAN ELEVATION 'C'
UNIT 7001
REV. 2022.08.10

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QUALIFICATION INFORMATION

Derek R. Santos 37308

NAME: DRS

REGISTRATION INFORMATION: BCIN

HUNT DESIGN ASSOCIATES INC. 19695

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8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

ROYAL PINE HOMES - 220052

VALES OF HUMBER 'SOUTH', BRAMPTON, ON.

Checked By: DS Scale: 3/16"=1'-0"

File Number: 220052WS7001

Page Number: 9 of 26



ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

PRECAST CONG. IMPOST (TYP)

LINE OF VAULTED CEILING

3"x1" SELF SUPPORTING PRECAST CONG. ARCH HEADER W/ KEYSTONE ON 3"x1" PRECAST CONG. SURROUND W/ 1/2" PROJ. (TYP)

3"x1" PRECAST CONG. HEADER W/ 1/2" PROJ. (TYP)

FACE BRICK (TYP)

3"x1" SELF SUPPORTING PRECAST CONG. ARCH HEADER W/ KEYSTONE ON 3"x1" PRECAST CONG. RETURNS & 12"x12" CONG. POST W/ 1/2" PROJ. (TYP)

CONT. 3.5"x10" PRECAST CONG. BAND (TYP)

PROFILED PRECAST CONG. HEADER W/ KEYSTONE

3"x1" PRECAST CONG. HEADER W/ 1/2" PROJ. (TYP)

3"x1" SELF SUPPORTING PRECAST CONG. ARCH HEADER W/ 1/2" PROJ. (TYP)

1" PRECAST CONG. SURROUND

STONE VENEER (TYP)

POURED CONG. PORCH SLAB AND DOOR SILL

POURED CONG. FOUNDATION WALLS AND FOOTING (TYP)

POURED IN PLACE CONCRETE STEPS WITH MASONRY VENEER ON SIDES IF REQUIRED BY GRADE

CANT. LINTELS AS PER PLAN

PROVIDE ADDITIONAL ICE & WATER SHIELD (TYP)

ASPHALT SHINGLES (TYP)

VALLEY FLASHING (TYP)

PREFIN. ALUM. GUTTER, RAIL, FASCIA BD. & VENTED SOFFIT (TYP)

1"x8"x1"x3" ON TOP ALUM. GLAD WD. FRIEZE BD. (TYP)

3"x1" SELF SUPPORTING PRECAST CONG. ARCH HEADER W/ KEYSTONE ON 3"x1" PRECAST CONG. RETURNS & 12"x12" CONG. POST W/ 1/2" PROJ. (TYP)

3.5" PRECAST CONG. SILL W/ 1/2" PROJ. (TYP)

PREFIN. MTL. FLASHING W/ CAULKING TO MATCH BRICK COLOUR (TYP)

COACH LAMP (TYP)

ADDRESS PLAQUE (TYP)

STONE VENEER (TYP)

STEPPED FOOTINGS (TYP)

TOP OF RASIED PLATE

TOP OF PLATE

TOP OF TRANSOM

TOP OF WINDOW

FIN. SECOND FLOOR

TOP OF TRANSOM

TOP OF WINDOW

FIN. GROUND FLOOR

FIN. GRADE

U/S OF GARAGE FTG.

TOP OF BASEMENT SLAB

FRONT ELEVATION ELEVATION 'A'

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JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature] DATE: AUG 12, 2022

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FOR STRUCTURAL ONLY NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

FRONT ELEVATION 'A'

UNIT 7001

REV.2022.08.10

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QUALIFICATION INFORMATION

Derek R. Santos 37308

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19695

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www.hunt-design.ca

ROYAL PINE HOMES - 220052

VALES OF HUMBER 'SOUTH', BRAMPTON, ON.

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Drawn By RS Checked By DS Scale 3/16"=1'-0"

File Number 220052WS7001

Page Number 10 of 26

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ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION



REAR UPGRADED ELEVATION 'A'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: AUG 12, 2022

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REAR ELEVATION 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Derek R. Santos 37308
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695



ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.

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Scale: 3/16"=1'-0"

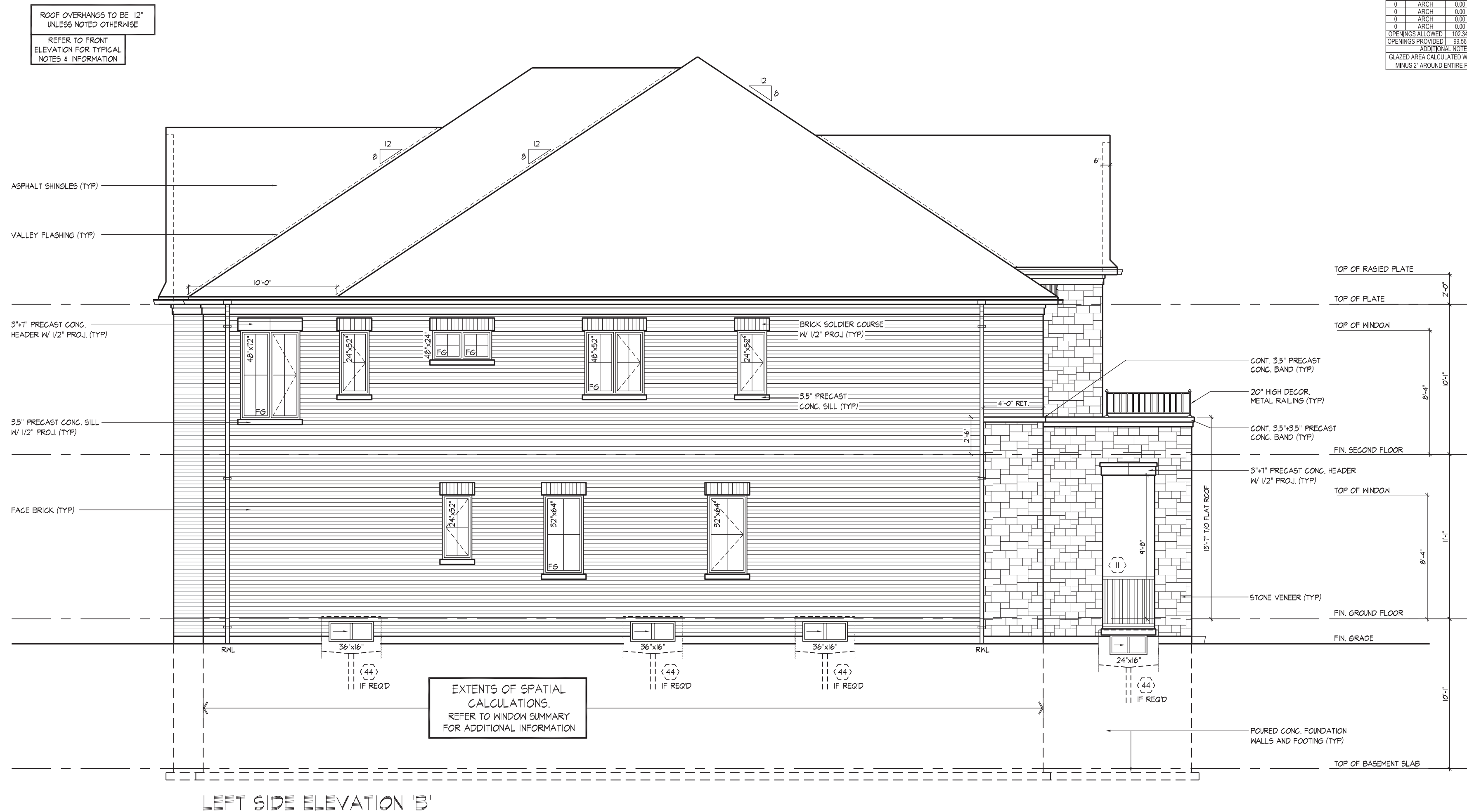
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SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION 'B'			
EXPOSING BUILDING FACE AREA		1462.00	S.F.
PORTION WALL AREA		1462.00	S.F.
		135.62	S.M.
LIMITING DISTANCE MAX. IN FEET		7.2	m
QUANTITY	UNIT	WINDOW / DOOR FRAME SIZE (S.F.)	
1	48" 72"	WINDOW	20.78
1	48" 52"	WINDOW	20.78
1	48" 52"	WINDOW	14.67
2	32" 64"	WINDOW	23.33
4	24" 52"	WINDOW	26.67
3	36"	ESST	4.00
0	0" 0"		0.00
0	0" 0"		0.00
0	0" 0"		0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
0	ARCH	0.00	0.00
OPENING AREA PROVIDED		102.34	S.F.
OPENINGS REQUIRED		98.56	S.F.
ADDITIONAL NOTES			
GLAZED AREA CALCULATED IN FRAME SIZE MINUS 2" TOP AND BOTTOM PRIMER			



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ARCHITECTURAL CONTROL REVIEW

APPROVED BY: [Signature]
DATE: AUG 12, 2022

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QUALIFICATION INFORMATION
Derek B. Sontag

NAME _____ SIGNATURE _____

REGISTRATION INFORMATION

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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.

Drawn By	Checked By	Scale	File Number
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RS DS 3/16"=1'-0" 220052WS70

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LEFT SIDE ELEVATION 'B'

UNIT 3001

UNIT 7001
REV/0000000010

22.08.10

Page Number
15 of 20

15 01 26

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION



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REAR ELEVATION 'B'
UNIT 7001
REV. 2022.08.10

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QUALIFICATION INFORMATION:
NAME: Derek R. Santos
REGISTRATION INFORMATION: 19695
HUNT DESIGN ASSOCIATES INC.

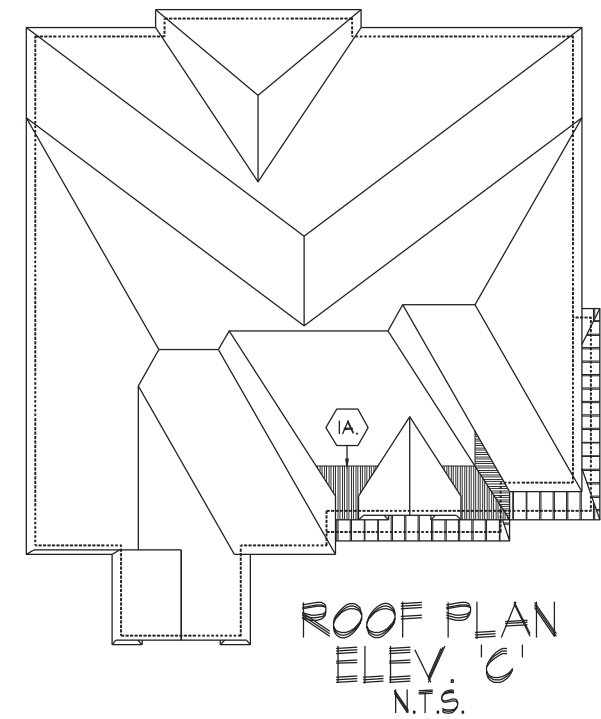
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ROYAL PINE HOMES - 220052
VALES OF HUMBER 'SOUTH', BRAMPTON, ON.

Drawn By: RS
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FRONT ELEVATION 'C'
UNIT 7001
REV. 2022.08.10

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QUALIFICATION INFORMATION
Derek R. Santos 37308

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Signature: *[Signature]*
BCIN: *[Signature]*



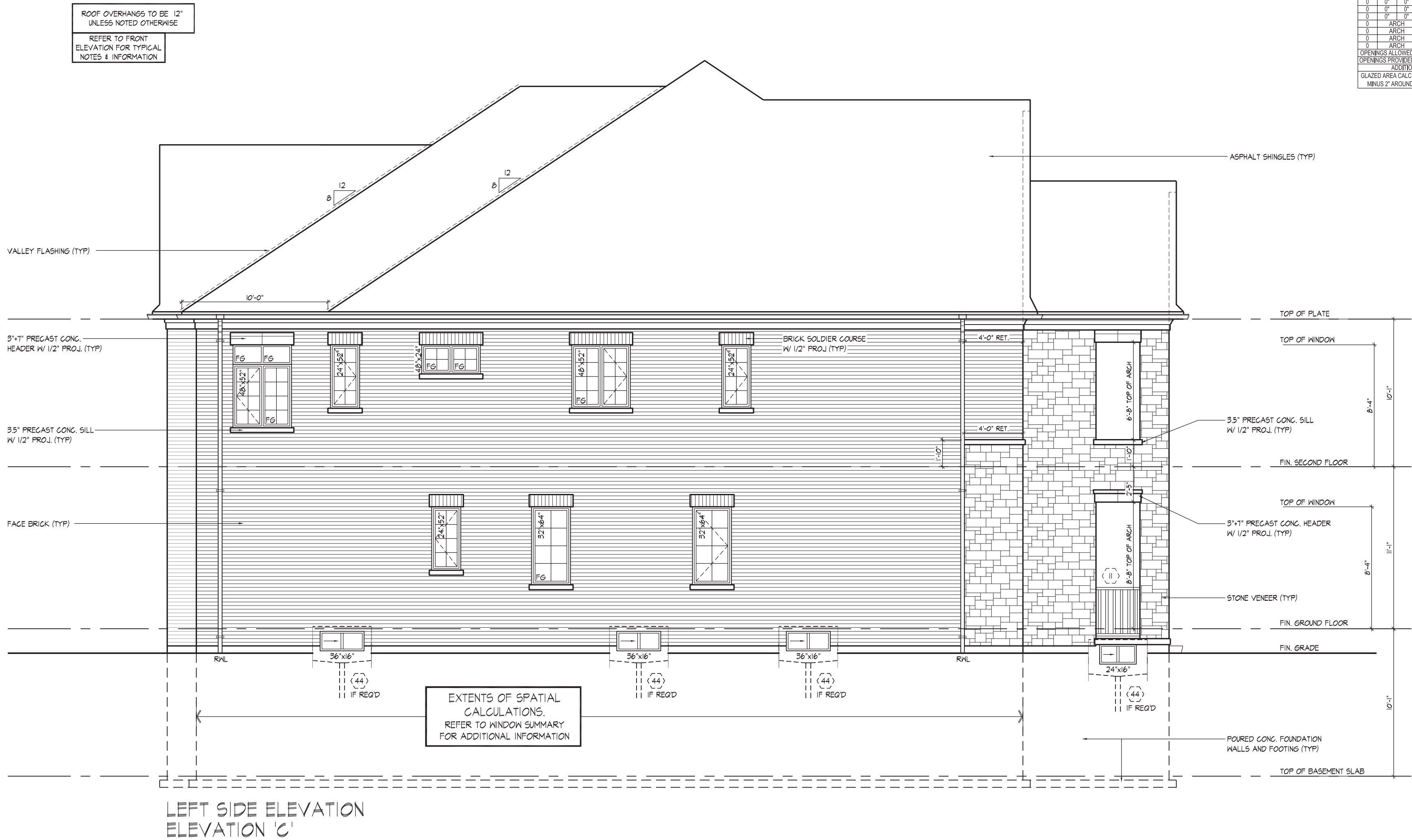
ROYAL PINE HOMES - 220052
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Down By: RS Checked By: DS Scale: 3/16"=1'-0" File Number: 220052WS7001

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PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE ELEVATION 'C'				
EXPOSING BUILDING	1462.00	S.F.		
FACE AREA	135.82	S.M.		
PORTION WALL AREA	1462.00	S.F.		
	135.82	S.M.		
LIMITING DISTANCE				
MAX. % OPENINGS	7	%		
QUAN.	WIDTH	DEPTH	WINDOW / DOOR	FRAME SIZE (S.F.)
2	48"	52"	WINDOW	23.33
1	48"	24"	WINDOW	5.11
1	48"	16"	TRANSOM	3.67
2	32"	64"	WINDOW	23.33
4	24"	52"	WINDOW	26.67
3	36"	16"	BSMT	8.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	0"	0"		0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
0	ARCH			0.00
OPENINGS ALLOWED				
			102.34	S.F.
OPENINGS PROVIDED				
			97.11	S.F.
ADDITIONAL NOTES				
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				



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QUALIFICATION INFORMATION
Derek R. Santos 37308

NAME
REGISTRATION INFORMATION
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Signature: 
19695



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File Number: 220052WS7001 T 905.737.5133 F 905.737.7326

LEFT SIDE ELEVATION 'C'

UNIT 7001

REV.2022.08.10

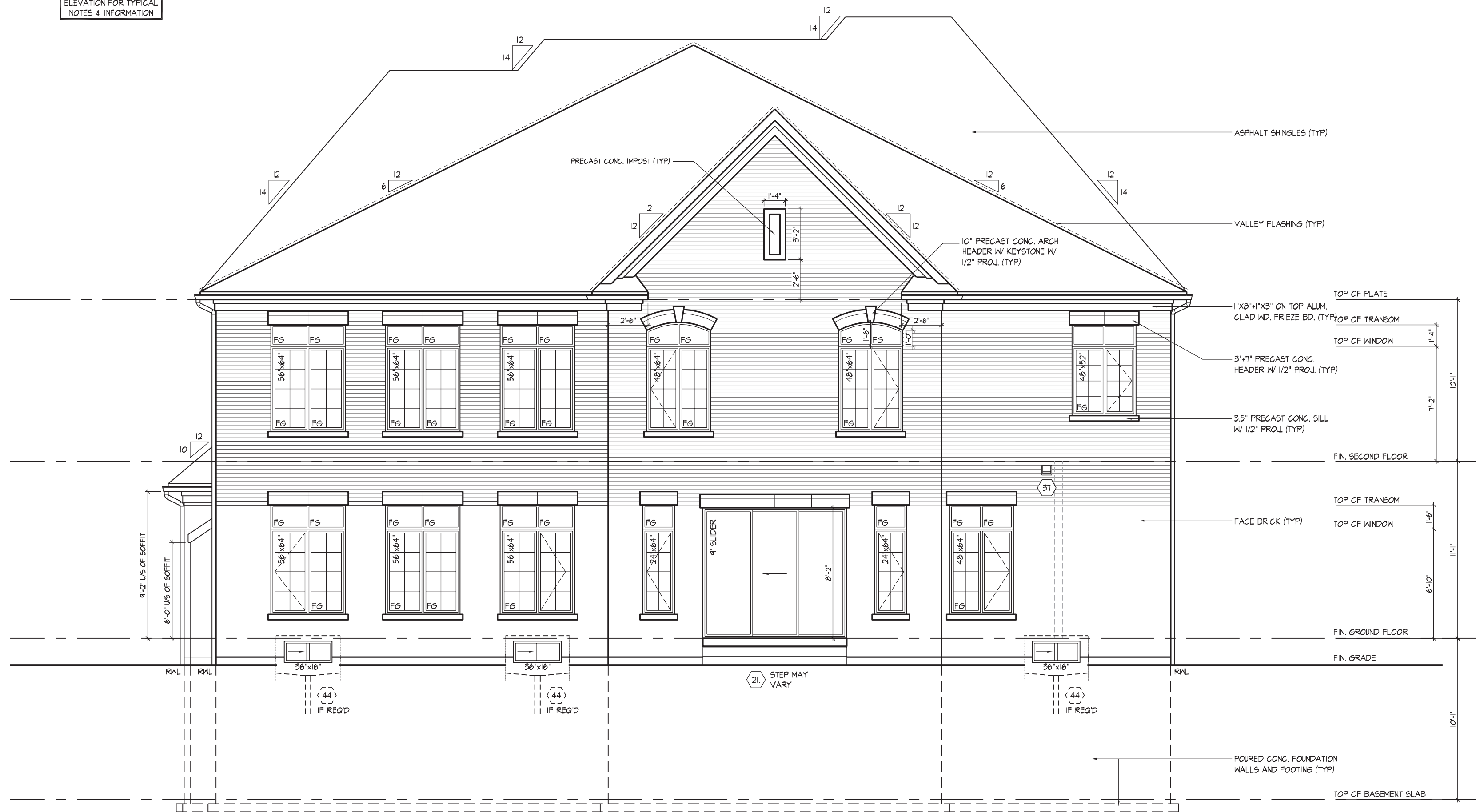
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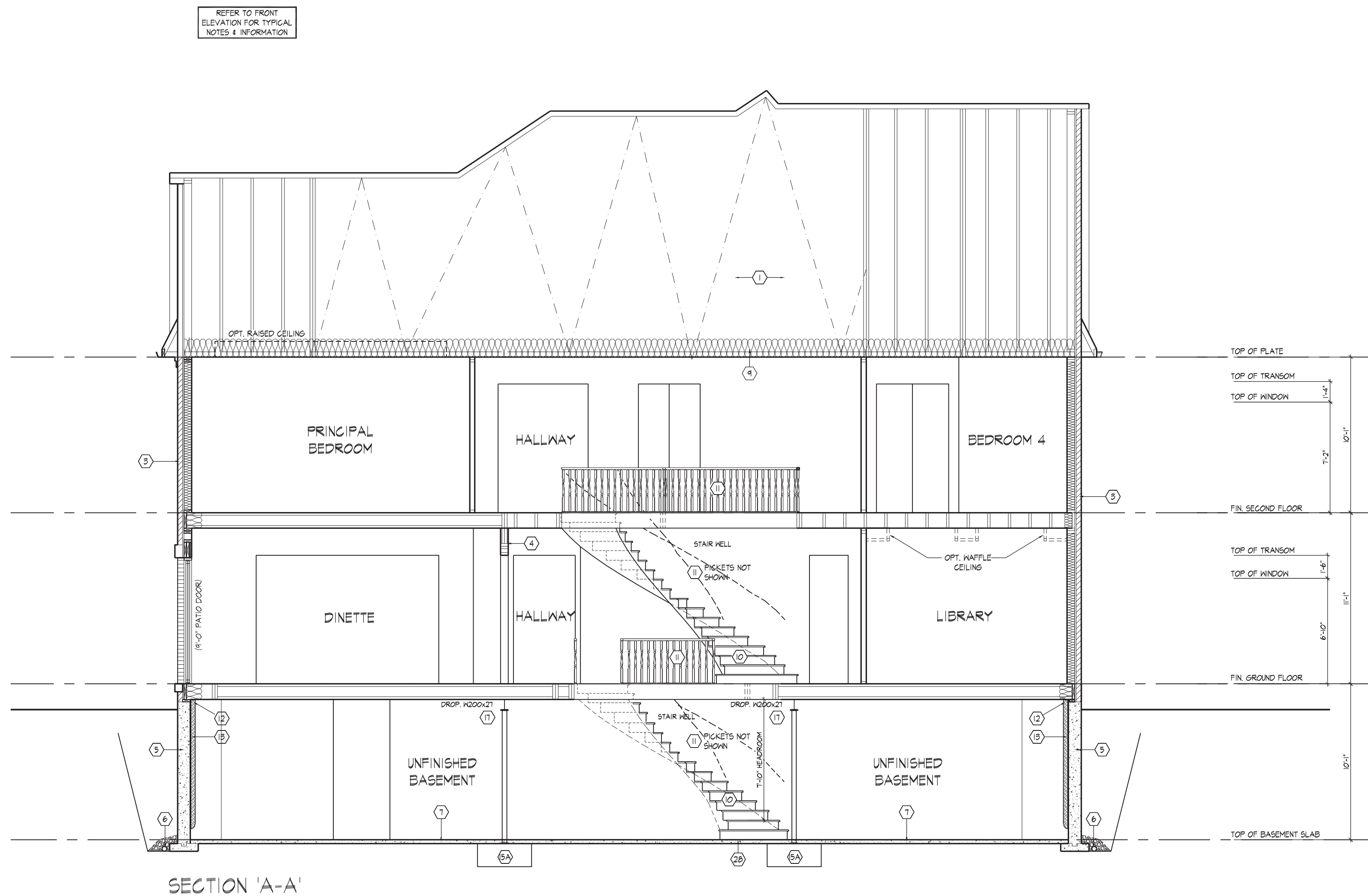
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CROSS SECTION 'A-A'

UNIT 7001

REV. 2022.08.10

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* 9 MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION. TO PROVIDE MIN. BEARING FOR SLAT PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2, 9.23.8.1, & 9.23.9.1. OF THE O.B.C.

NUMBER FLOORS SUPPORTED	MINIMUM STRIP FOOTING SIZES (Ø 15.3)		
	SUPPORTING INT. LOAD BEARING MASSIVE WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTWALL
1	16" wide x 6" THICK	16" wide x 6" THICK	16" wide x 6" THICK
2	24" wide x 8" THICK	20" wide x 9" THICK	24" wide x 8" THICK
3	36" wide x 14" THICK	26" wide x 9" THICK	36" wide x 14" THICK

4" (100) 32MPA (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT.
 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR
 COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.

19 GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.)
 1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND
 GARAGE PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR
 CEILINGS, TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2)

	GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND WALLS INSTALLED OVER EXTERIOR TYPE II/III INSULATION (JOINTS UNTAPED MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS) ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN WALL AND GARAGE. PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILING, TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16, 9.10.17.10, 9.10.17.10-27.02.2)
	GARAGE DOOR TO HOUSE (9.10.9.16, 9.10.13.10, 9.10.13.15.) GAS-PROOF DOOR AND FRAME, DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
1	EXTERIOR AND GARAGE STEPS PRECAST CONC. STEP OR WOOD STEP FOR NOT EXPOSED TO WEATHER, MAX RISE 7/8" (200), MIN. TREAD 1/2" (255). FOR THE REQUIRED NUMBER OF STEPS REFER TO SLOPE AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.
2	DRYER EXHAUST CAPPED DRYER EXHAUST VENTED TO EXT., CONFORMING TO PART 6, CBC 9.3.2. (19.12.1.)
3	ATTIC ACCESS (19.12.1.) ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 and NO DIM. LESS THAN 21" (1/2) (455) WITH WEATHER STRIPPING, HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (R51.3.52) (5B-12.3.1, 3.1.1, 8.11)
4	FIREPLACE CHIMNEYS (9.2.1.) TOP OF FIREPLACE CHIMNEY SHALL BE 2'-1" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.
5	LINEN CLOSET PROVIDE 4 SHELVES MIN. 14" (356) DEEP.
6	MECHANICAL VENTILATION (9.32.1.3.) MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, SEE GENERAL NOTE 2.3.
7	PARTY WALL BEARING (9.23.8) 12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 5'-1/2" (89) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (21-9) x 8" (200) LONG GALV. ANCHORS WITH IN SOLID BLOCK COURSE LEVEL, W/ NONSH-KRFT GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WOOD STUD PARTY WALL.
8	WOOD FINISHING IN CONTACT TO CONCRETE WOOD BEARING WALLS. THE UNDERSIDE OF (152) BELOW WOOD POSTS AND SILL PLATES SHALL BE WRAPPED WITH 2 ml POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED @ 1'-2" (305) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)
9	BUILT-UP WOOD POST AND FOOTING (9.17.4.1, 9.15.3.7) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED POST, WITH 1/2" (12.7) Ø BOLT, 24x24x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28
	STEP FOOTINGS (9.15.3.8) MIN. HORIZ. STEP = 23 5/8" (600), MAX. VERT. STEP = 23 5/8" (600).
	CONC. PORCH SLAB (9.16.4.) MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6Wx2x9Wx2 MESH PLACING NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.
2	FURNACE VENTING (9.32.) DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR, MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS, HEV INTAKE TO A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.
3	FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.
4	FLOOR FRAMING (9.23.3.5, 9.23.3.4, 9.23.1.4.) T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2x2" (50x50) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1x2" (19x64) @ 6'-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.
1A	HEADER CONSTRUCTION PROVIDE CONTINUOUS APPROVED AIRVAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE FIRM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND @ 1" (25) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP @ 152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND UNLESS THE JOINT, ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.
5	EXPOSED BUILDING FACE w/ LIMITING DISTANCE < 3'-11" (1.20m) WALL ASSEMBLY CONTAINING INSULATION CONFORMING TO CANULC-ST02 & HAVING A MASS OF NOT LESS THAN 122 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (600) OR LESS. WALL ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15). REFER TO DETAILS FOR PART 6 SPECS. ** AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 ft² (180m²) SHALL NOT BE IDENTIFIED AN UNPROTECTED OPENING AS PER 9.10.14.6.
6	COLD CELLAR PORCH SLAB (9.39.) 2x6" (38x49) PORCH DEPTH 5' (127) 32 MPa (4640psi) CONC. SLAB W/ 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7/8" (200) O.C. EACH DIRECTION. W/ 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS Laid DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C. ANCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR.
7	RANGE HOODS AND RANGE-TOP FANS COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO CBC 9.10.22, 9.32.3.5, & 9.32.3.10.
	CONVENTIONAL ROOF FRAMING (9.23.1.3, 9.23.15.) 2x6" (38x49) COLLAR TIERS @ 16" (406) O.C. 2x6" (38x49) RIDGE BOARD, 2x4" (38x49) PAPER LAYS AT MID-SPAN, CEILING JOISTS @ 2x4" (38x49) @ 16" (406) O.C. FOR MAX. 3x3" (2819) SPAN & 2x4" (38x49) @ 16" (406) O.C. FOR MAX. SPAN 7' (2130) (465). FOR BUILD UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2x4" (38x49) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

TWO STOREY VOLUME SPACES				(9.23.101, 9.23.111, 9.23.161)		
39	WALL ASSEMBLY		WIND LOADS			
	EXTERIOR	STUDS	<= 0.5 kPa (g50)		> 0.5 kPa (g50)	
			SPACING [MAX HEIGHT]	SPACING [MAX HEIGHT]		
		BRICK 2-2"x6" (3"x8-1/4) SPR-142	12" (305) O.C. 18'-4" (5588)	8" (203) O.C. 18'-4" (5588)		
		SIDING 2-2"x6" (3"x8-1/4) SPR-142	12" (305) O.C. 18'-4" (5588)	12" (305) O.C. 18'-4" (5588)		
		BRICK 2-2"x6" (3"x8-1/4) SPR-142	12" (305) O.C. 21'-4" (6400)	12" (305) O.C. 21'-4" (6400)		
		SIDING 2-2"x6" (3"x8-1/4) SPR-142	12" (305) O.C. 21'-4" (6400)	18" (457) O.C. 21'-4" (6400)		
*** STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER ***						
STUDS ARE TO BE CONTINUOUS, C/W 3"x8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING, PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.						
FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (50.8) STUDS @ 4'-0" O.C. WITH CORNER 2"x6" (3"x8-1/4) TOP PLATE. 1-2"x6" (3"x8-1/4) BOTTOM PLATE & MIN. OF 3-2"x6" (3"x8-1/4) CORN. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILLED & GLUED AT TOP, BOTTOM PLATES & HEADERS.						
40	1 HR. PARTY WALL (CONC. BLOCK)		(S8-3) WALL TYPE 96e & 91b)			
	1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38.38) VERTICAL W/ STRAPPING @ 24" (610) O.C. ON 8" (203) CONC. BLOCK HALL STRAPPING. CAVITY EACH SIDE WITH AT LEAST 80% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE & FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38.38) W/. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING TO FACE.					
40	1 HR. PARTY WALL (DOUBLE STUD)		(S8-3) WALL TYPE W13c)			
	5/8" (15.9) TYPE 'Y' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38.89) STUDS @ 16" (406) O.C. MIN. 1" (25) APART ON SEPARATE 2"x4" (38.89) SLAT STUDS. (2"x6" (3"x8-1/4) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY @ LEAST 80% OF ABSORPTIVE MATERIAL. 1/2" (12.7) FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT, GYPSUM SHEATHING TO BE SEALED TO CORNER WITH 1/2" (12.7) DENGSLASS GOLD GYPSUM BOARF.					
40A	2 HR. FIREWALL		(S8-3) WALL TYPE 96e & 91b)			
	1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38.38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (203) CONC. BLOCK 76% SOLID, HALL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL. PROCESS FROM ROCK, SLAG OR GLASS, TAPE & FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT, GYPSUM SHEATHING TO BE SEALED TO CORNER WITH 1/2" (12.7) DENGSLASS GOLD GYPSUM BOARF.					
41	STUCCO WALL CONSTRUCTION (2"x6")					
	STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.L.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENGSLASS GOLD GYPSUM BOARF ON STUDS CONFORMING TO O.B.C. (9.23.101,1) & SECTION 1.1. INSULATION APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)					
41A	STUCCO WALL CONSTRUCTION (2"x6") W/ CENTR. INSUL.					
	STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.L.S. MINIMUM ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION JOINTS UNTAPED MECHAN. FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.101,1) & SECTION 1.1. INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)					
41B	STUCCO WALL @ GARAGE CONSTRUCTION					
	STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.L.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENGSLASS GOLD GYPSUM BOARF CONFORMING TO O.B.C. (9.23.101,1) & SECTION 1.1. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)					
*** FOR DWELLINGS USING CENTR. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1/2" (38) E.F.L.S. MINIMUM ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENGSLASS GOLD GYPSUM BOARF.						
42	UNSUPPORTED FOUNDATION WALLS		(R15.4.2)			
	REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS					
	2-20M BARS IN TOP PORTION OF WALL (UP TO 10'-0" OPENING)					
	3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)					
	4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)					
	-BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL					
	REINFORCING AT BASEMENT WINDOWS					
	2					

SECTION 1.1. WALL STUDS																																																																																					
- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALLS AND ADDITIONAL INFORMATION.																																																																																					
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.																																																																																					
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SECTION 2.0. GENERAL NOTES																																																																																					
2.1. WINDOWS																																																																																					
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDE DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m ² UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT. CONFORMING TO 9.3.10.																																																																																					
2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE HN. FLOOR AND THE DISTANCE FROM THE FINISH FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800).																																																																																					
3) WINDOWS IN EXT. STAIRWAYS THAT EXTEND TO LESS THAN 2'-1" (600) [3'-2" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GRILLS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GARDENS AS PROVIDED IN 4.10.9.9.8.2.																																																																																					
4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS																																																																																					
2.2. CEILING HEIGHTS																																																																																					
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.																																																																																					
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2.3. MECHANICAL / PLUMBING																																																																																					
1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED. 1 PER HOUR IF AIR CONDITIONED AVERAGE OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL 2-1/4"x10" GRADE 350W CLASS "H") CONFORMS TO OBC 9.3.3.4, WHEN HV IS REQUIRED, CONFORM TO 9.3.2.3.11. REFER TO MECHANICAL DRAWINGS.																																																																																					
2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.3.1.6.																																																																																					
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.																																																																																					
4) DRAIN WATER HEAT RECOVERY UNITS WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12, OF THE O.B.C.																																																																																					
2.4. LUMBER																																																																																					
1) ALL LUMBER SHALL BE SPRUCE NO. 2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.																																																																																					
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.																																																																																					
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.																																																																																					

3.3. DOOR SCHEDULE

CONFORMING TO SECTIONS 9.5.11, 9.6, 9.7.2.1, 9.7.5.2, & 9.10.13.10

1	EXTERIOR	2-8" x 6-8" x 1-3/4" (815 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1A	EXTERIOR	2-10" x 6-8" x 1-3/4" (865 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1B	EXTERIOR	3-0" x 6-8" x 1-3/4" (915 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1C	EXTERIOR	2-8" x 6-8" x 1-3/4" (760 x 2030 x 45)	INSULATED MIN. R4 (RSI 0.7)
1D	EXTERIOR	2-8" x 6-8" x 1-3/4" (815 x 2030 x 45)	INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20)
1E	EXTERIOR	3-0" x 8-0" x 1-3/4" (915 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)
1F	EXTERIOR	2-8" x 8-0" x 1-3/4" (815 x 2440 x 45)	INSULATED MIN. R4 (RSI 0.7)
2A	EXTERIOR	2-8" x 8-0" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOORFRAME WITH APP. SELF CLOSING DEVICE.	
2	INTERIOR	2-8" x 6-8" x 1-3/8" (815 x 2030 x 35)	
3	INTERIOR	2-8" x 6-8" x 1-3/8" (760 x 2030 x 35)	
3A	INTERIOR	2-4" x 6-8" x 1-3/8" (710 x 2030 x 35)	
4	INTERIOR	2-0" x 6-8" x 1-3/8" (610 x 2030 x 35)	
4A	INTERIOR	2-2" x 6-8" x 1-3/8" (660 x 2030 x 35)	
5	INTERIOR	1-8" x 6-8" x 1-3/8" (460 x 2030 x 35)	

PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10 CEILING CONDITIONS

3.4. ACRONYMS

AFB	ABOVE FINISHED FLOOR	JST	JOIST
BBFM	BEAM BY ROOF MANUFACTURER	LN	LINEN CLOSET
BG	FIXED GLASS W/ BLACK BACKING	LVL	LAMINATED VENEER LUMBER
BM	BEAM	OTBA	OPEN TO BELOW/ABOVE
BBRM	BEAM BY ROOF MANUFACTURER	PL	POINT LOAD
CRF	CONVENTIONAL ROOF FRAMING	PLT	PLATE
CW	COMPLETE WITH	PT	PRESSURE TREATED
D/UT	DOUBLE JOIST / TRIPLE JOIST	PTD	PAINTED
DO	DO OVER	PWD	POWDER ROOM
DRP	DROPPED	RWL	RAIN WATER LEADER
ENG	ENGINEERED	SB	SB SOLID BEARING WOOD POST
EST	ESTIMATED	SB FA	SB FROM ABOVE
FA	FLAT ARCH	SJ	SINGLE JOIST
FD	FLOOR DRAIN	SPR	SPRIGLE
FG	FIXED GLASS	STL	STEEL
FL	FLUSH	T/O	TO TOP OF
FLR	FLOOR	TYP	TYPICAL
GT	GRIDDER TRUSS	U/S	UNDERSIDE
HB	HOSSE BIB	WD	WOOD
HRV	HEAT RETURN VENTILATION UNIT	WIC	WALK IN CLOSET
HWT	HOT WATER TANK	WP	WEATHER PROOF

3.5. SYMBOLS

ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34.

	CLASS 'B' VENT		EXHAUST VENT
	DUPLEX OUTLET (12" HIGH)		DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
	HEAVY DUTY OUTLET		SWITCH (2/3/4 WAY)
	POT LIGHT		LIGHT FIXTURE (CEILING MOUNTED)
	LIGHT FIXTURE (PULL CHAIN)		LIGHT FIXTURE (WALL MOUNTED)
	CABLE T.V. JACK		TELEPHONE JACK
	VACUUM OUTLET		CHANDELIER (CEILING MOUNTED)

3.6. CARBON MONOXIDE ALARMS

SA SMOKE ALARM (9.10.19.1)

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE NATIONAL FIRE ALARM AND SIGNALING CODE 72.

CMD CARBON MONOXIDE ALARM (9.33.4)

** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CSA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARMS SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITH-IN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 1' 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GRIDDER TRUSS OR RAIN BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (3.17.4, 9.23.3.10.7)

3.7. VARIOUS PLATES, VOLUME PLATE, SEE CONSTRUCTION NOTE 39.

VARVING PLATES, VOLUME PLATES, BEARING WALLS, ICE & WATER SHIELD

EXPPOSED BUILDING FACE -O.B.C. 9.10.14, F.R. 9.10.15.
REFER TO HEX NOTE 35, & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL
REFER TO HEX NOTE 40.

2 HR. FIREWALL
REFER TO HEX NOTE 40A.

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): 1.06 kPa

WIND PRESSURE (q50) (SB-1.2.): 0.48 kPa

STAMP

LICENSED PROFESSIONAL ENGINEER

2022-08-10

D. FERRARI

100166929

PROVINCE OF ONTARIO

FOR STRUCTURAL ONLY
NOT INCLUDING ENGINEERED FLOOR OR ROOF SYSTEM

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONLY REG. 352/12.

CONSTRUCTION NOTE REVISION DATE: **JUNE 09, 2022**