



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

# UNIT 4505

## SB-12 ENERGY EFFICIENCY DESIGN MATRIX

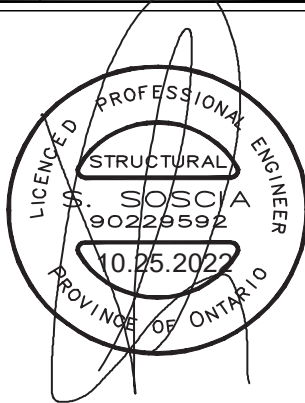
PERFORMANCE COMPLIANCE	SPACE HEATING FUEL	
	<input type="checkbox"/> GAS	<input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

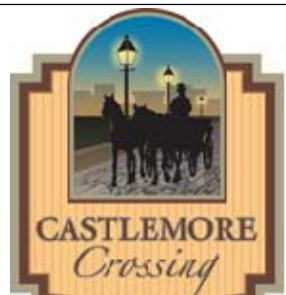
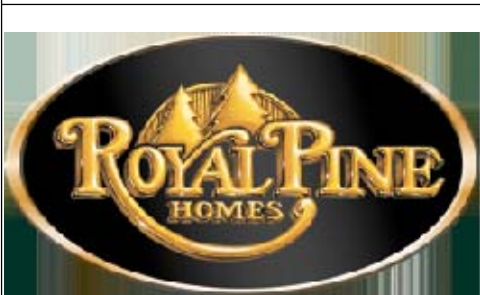
BUILDING COMPONENT	PROPOSED
<b>INSULATION RSI (R) VALUE</b>	
CEILING W/ ATTIC SPACE	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)+1.5ci
BASEMENT WALLS	R20 Blanket or R12+R10ci
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
HEATED SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
CONC. SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
<b>WINDOWS &amp; DOORS</b>	
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE or MIN. ER)	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8
<b>APPLIANCE EFFICIENCY</b>	
SPACE HEATING EQUIP. (AFUE%)	96% AFUE w/ECM
HRV EFFICIENCY (%)	75%
DOMESTIC HOT WATER HEATER (EF)	0.9
DWHR UNIT (%)	53.3% ON 1 SHOWERS MIN.

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, ELEV. 'A'
- 3 - GROUND FLOOR PLAN, ELEV. 'A'
- 4 - PART. OPT. GROUND FLOOR PLAN, ELEV. 'A' - OPT. IN-LAW SUITE
- 5 - PARTIAL OPTIONAL GROUND FLOOR PLANS
- 6 - SECOND FLOOR PLAN, ELEV. 'A' - 5 BEDROOM COND.
- 7 - OPT. SECOND FLOOR PLAN, EL. 'A' - 4 BEDROOM COND.
- 8 - PART. BASEMENT PLANS, ELEV. 'B'
- 9 - PART. GROUND FLOOR PLANS, ELEV. 'B'
- 10 - PART. SECOND FLOOR PLANS, ELEV. 'B'
- 11 - PART. BASEMENT & GROUND FLOOR PLANS, ELEV. 'C'
- 12 - PART. SECOND FLOOR PLANS, ELEV. 'C'
- 13 - FRONT ELEVATION 'A'
- 14 - LEFT SIDE ELEVATION 'A'
- 15 - PARTIAL OPTIONAL LEFT SIDE ELEVATION 'A'
- 16 - RIGHT SIDE ELEVATION 'A'
- 17 - REAR ELEVATION 'A' & 'B'
- 18 - PARTIAL OPTIONAL REAR ELEVATION 'A' & 'B'
- 19 - FRONT ELEVATION 'B'
- 20 - LEFT SIDE ELEVATION 'B'
- 21 - PARTIAL OPTIONAL LEFT SIDE ELEVATION 'B'
- 22 - RIGHT SIDE ELEVATION 'B'
- 23 - FRONT ELEVATION 'C'
- 24 - LEFT SIDE ELEVATION 'C'
- 25 - PARTIAL OPTIONAL LEFT SIDE ELEVATION 'C'
- 26 - RIGHT SIDE ELEVATION 'C'
- 27 - CROSS SECTION 'A-A'
- 28 - CONSTRUCTION NOTES
- 29 - CONSTRUCTION NOTES 2

AREA CALCULATIONS	EL. 'A'		EL. 'B'		EL. 'C'	
	STD/OPT PLAN	STD/OPT PLAN	STD/OPT PLAN	STD/OPT PLAN	STD/OPT PLAN	STD/OPT PLAN
GROUND FLOOR AREA	1722 sq. ft.	1722 sq. ft.	1722 sq. ft.	1722 sq. ft.	1722 sq. ft.	1722 sq. ft.
SECOND FLOOR AREA	2130 sq. ft.	2130 sq. ft.	2130 sq. ft.	2113 sq. ft.	2113 sq. ft.	2113 sq. ft.
SUBTOTAL	3852 sq. ft.	3852 sq. ft.	3852 sq. ft.	3835 sq. ft.	3835 sq. ft.	3835 sq. ft.
DEDUCT ALL OPEN AREAS	8 sq. ft.	8 sq. ft.	8 sq. ft.	8 sq. ft.	8 sq. ft.	8 sq. ft.
<b>TOTAL NET AREA</b>	<b>3844 sq. ft.</b>	<b>3844 sq. ft.</b>	<b>3844 sq. ft.</b>	<b>3827 sq. ft.</b>	<b>3827 sq. ft.</b>	<b>3827 sq. ft.</b>
	(357.12 sq. m.)	(357.12 sq. m.)	(357.12 sq. m.)	(355.54 sq. m.)	(355.54 sq. m.)	(355.54 sq. m.)
FINISHED BASEMENT AREA	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.	0 sq. ft.
COVERAGE W/OUT PORCH	2156 sq. ft.	2156 sq. ft.	2156 sq. ft.	2157 sq. ft.	2157 sq. ft.	2157 sq. ft.
	(200.30 sq. m.)	(200.30 sq. m.)	(200.30 sq. m.)	(200.39 sq. m.)	(200.39 sq. m.)	(200.39 sq. m.)
COVERAGE W/ PORCH	2203 sq. ft.	2200 sq. ft.	2276 sq. ft.			
	(204.67 sq. m.)	(204.39 sq. m.)	(211.45 sq. m.)			
<b>WINDOW / WALL AREA CALCULATIONS</b>						
	4 BED	4BED+OPT. KIT.	5BED+OPT. KIT	OPT. KIT & GRD	4BED+OPT. GR.	5 BED
GROSS WALL AREA	4162 sq. ft.	4175 sq. ft.	4175 sq. ft.	4175 sq. ft.	4175 sq. ft.	4175 sq. ft.
	(386.66 sq. m.)	(387.87 sq. m.)	(387.87 sq. m.)	(387.87 sq. m.)	(387.87 sq. m.)	(387.87 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	517 sq. ft.	499 sq. ft.	486 sq. ft.	495 sq. ft.	511 sq. ft.	500 sq. ft.
	(48.03 sq. m.)	(46.36 sq. m.)	(45.15 sq. m.)	(45.99 sq. m.)	(47.47 sq. m.)	(46.45 sq. m.)
<b>TOTAL WINDOW %</b>	<b>12.42 %</b>	<b>11.95 %</b>	<b>11.64 %</b>	<b>11.86 %</b>	<b>12.24 %</b>	<b>11.98 %</b>



EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'	EL. 'C'
4 BED	4BED+OPT.KIT.	5BED+OPT.KIT.	OPT. KIT & GRD	4BED+OPT. GR.	5 BED	5BED+OPT. GR.
4175 sq. ft.	4175 sq. ft.	4175 sq. ft.	4175 sq. ft.	4175 sq. ft.	4175 sq. ft.	4175 sq. ft.
(387.87 sq. m.)	(387.87 sq. m.)	(387.87 sq. m.)	(387.87 sq. m.)	(387.87 sq. m.)	(387.87 sq. m.)	(387.87 sq. m.)
564 sq. ft.	479 sq. ft.	533 sq. ft.	476 sq. ft.	557 sq. ft.	575 sq. ft.	553 sq. ft.
(52.40 sq. m.)	(44.50 sq. m.)	(49.52 sq. m.)	(44.22 sq. m.)	(51.75 sq. m.)	(53.42 sq. m.)	(51.38 sq. m.)
<b>13.51 %</b>	<b>11.47 %</b>	<b>12.77 %</b>	<b>11.40 %</b>	<b>13.34 %</b>	<b>13.77 %</b>	<b>13.25 %</b>
EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'B'
5BED+OPT. GR.	4BED	4BED+OPT. KIT.	5BED+OPT. KIT.	OPT. KIT & GRD	4BED+OPT. GR.	5 BED
4175 sq. ft.	4160 sq. ft.	4160 sq. ft.	4160 sq. ft.	4160 sq. ft.	4160 sq. ft.	4160 sq. ft.
(387.87 sq. m.)	(386.48 sq. m.)	(386.48 sq. m.)	(386.48 sq. m.)	(386.48 sq. m.)	(386.48 sq. m.)	(386.48 sq. m.)
497 sq. ft.	498 sq. ft.	479 sq. ft.	467 sq. ft.	476 sq. ft.	491 sq. ft.	517 sq. ft.
(46.17 sq. m.)	(46.27 sq. m.)	(44.50 sq. m.)	(43.39 sq. m.)	(44.22 sq. m.)	(45.62 sq. m.)	(48.03 sq. m.)
<b>11.90 %</b>	<b>11.97 %</b>	<b>11.51 %</b>	<b>11.23 %</b>	<b>11.44 %</b>	<b>11.80 %</b>	<b>12.43 %</b>



REVISIONS	DATE (YYYY/MM/DD)	BY
7. ADDED ELVATION 'C' TO CONSTRUCTION SET	2023/05/25	MM
6. ISSUED FOR FINAL APPROVAL	2022/01/20	MM
5. REVISED AS PER ARCHITECTURAL CONTROL COMMENTS	2022/11/24	JLT
4. REVISED AS PER ENGINEER COMMENTS	2023/01/11	JLT
3. REVISED AS PER ROOF TRUSS & FLOOR MANUFACTURE PLANS	2021/09/17	DSI
2. REVISED AS PER CLIENT'S COMMENTS	2021/12/07	JLT
1. ISSUED FOR CLIENT REVIEW & PRICING	2021/04/20	MM

**TITLE PAGE**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

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 NAME SIGNATURE BCIN  
 HUNT DESIGN ASSOCIATES INC. 19695

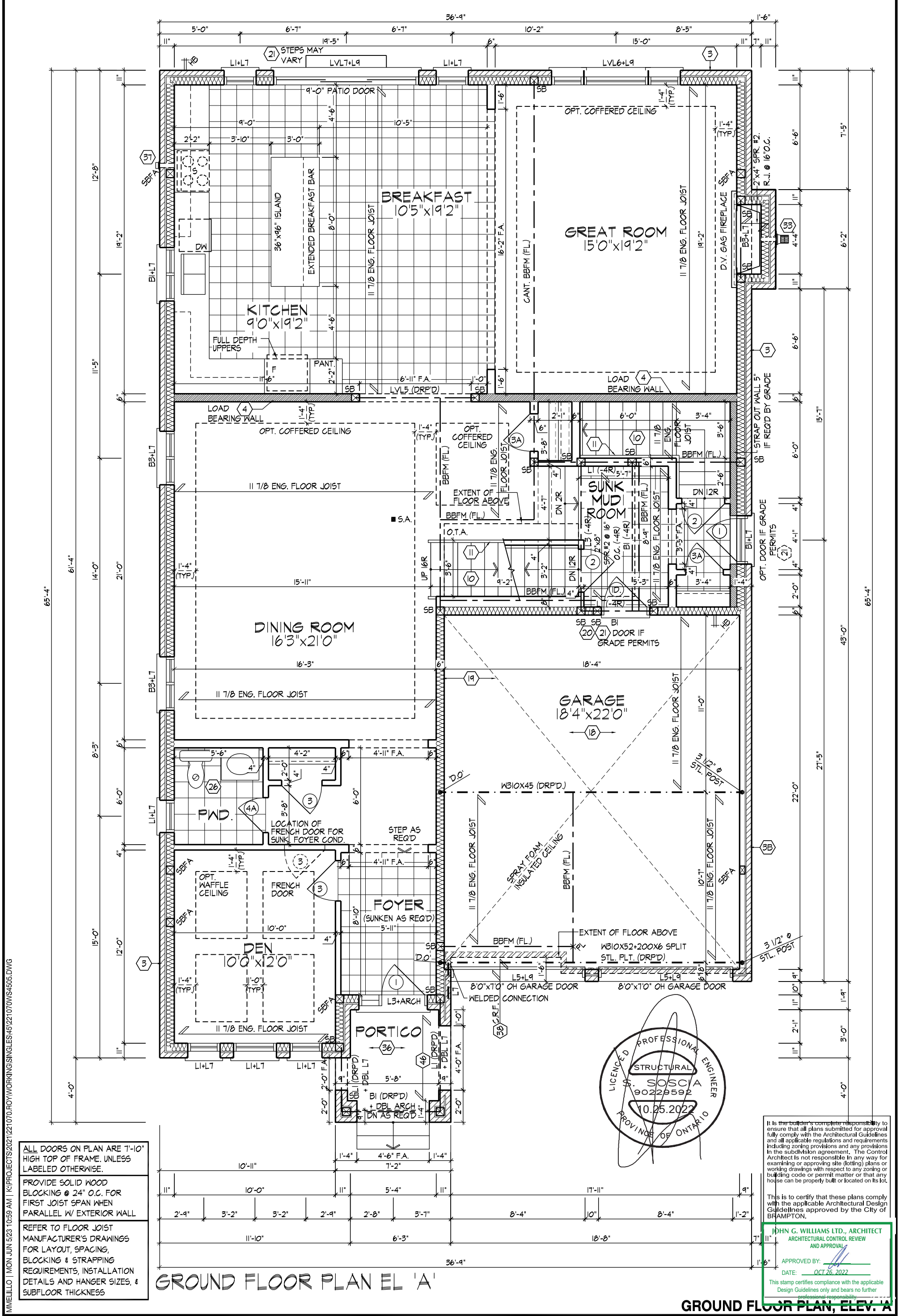
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**ROYAL PINE HOMES - 221070**  
 FORESTSIDE ESTATES INC., BRAMPTON, ON.  
 Drawn By MM Checked By DS Scale 3/16"=1'-0" File Number 221070WS4505

**UNIT - 4505**  
 REV.2023.05.25

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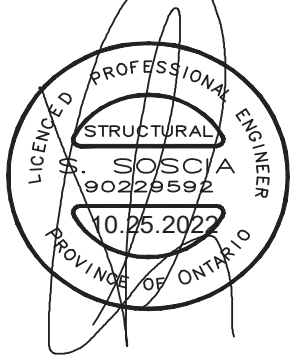




ALL DOORS ON PLAN ARE 7'-10" HIGH TOP OF FRAME, UNLESS LABELED OTHERWISE.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: OCT 26, 2022

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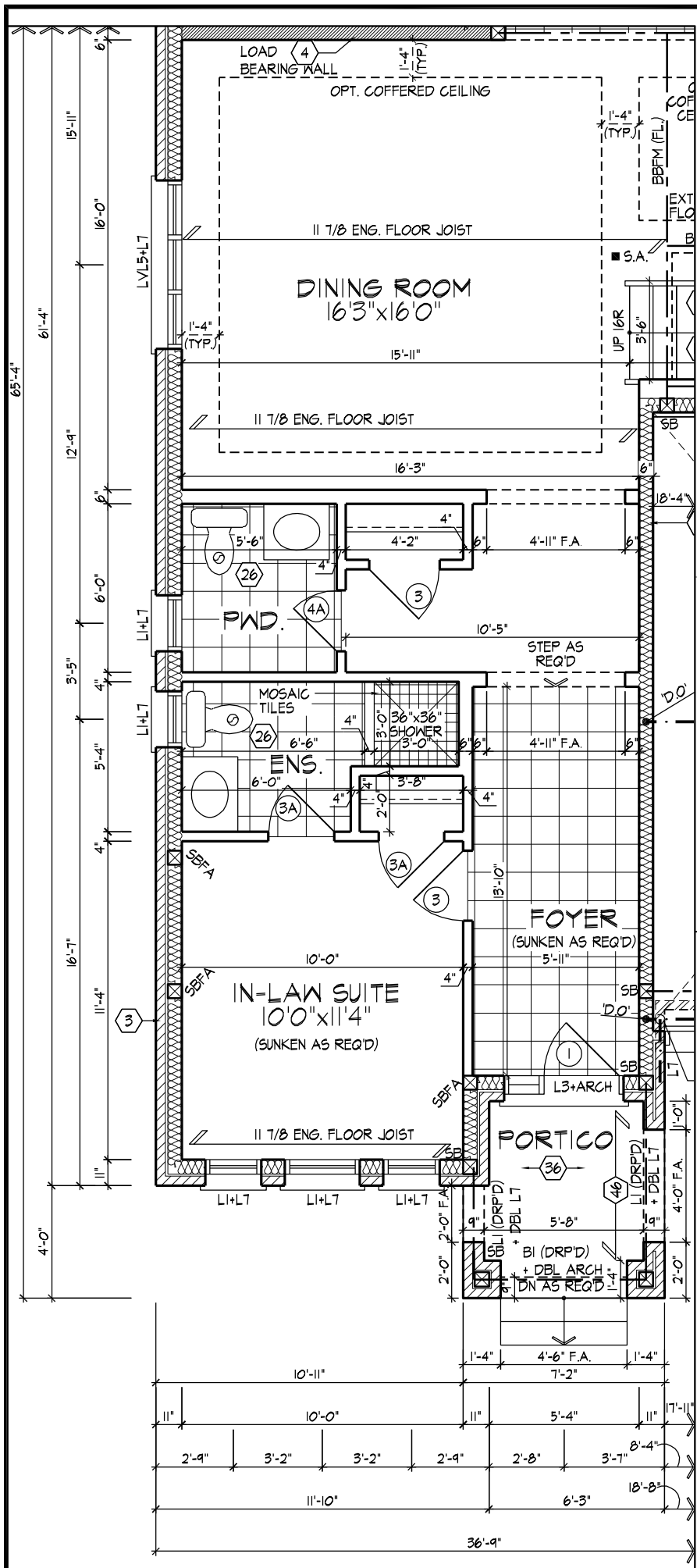
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REV.2023.05.25

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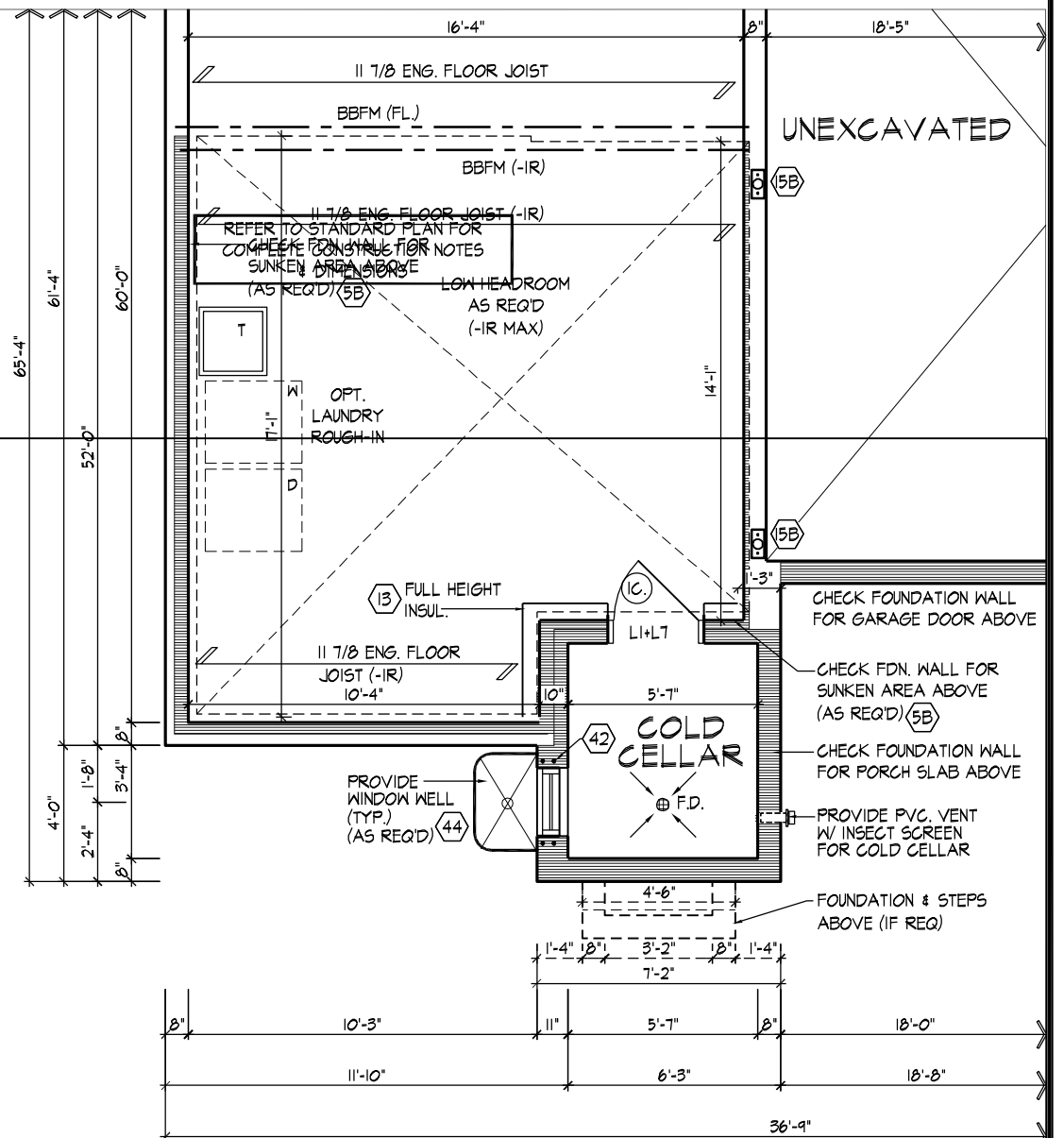


PART. GROUND FLOOR PLAN, EL. 'A' W/ IN-LAW SUITE

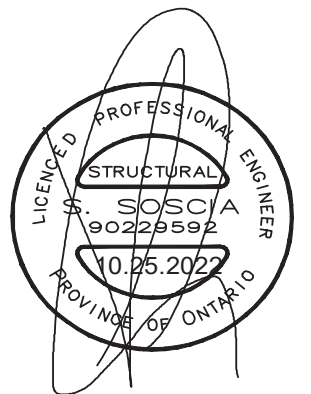
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PART. BASEMENT PLAN, EL. 'A' W/ IN-LAW SUITE SUNKEN CONDITION



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APPROVED BY: [Signature]  
DATE: OCT 26, 2022

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PART. OPT. GROUND FLOOR PLAN, ELEV. 'A' OPT. IN-LAW SUITE

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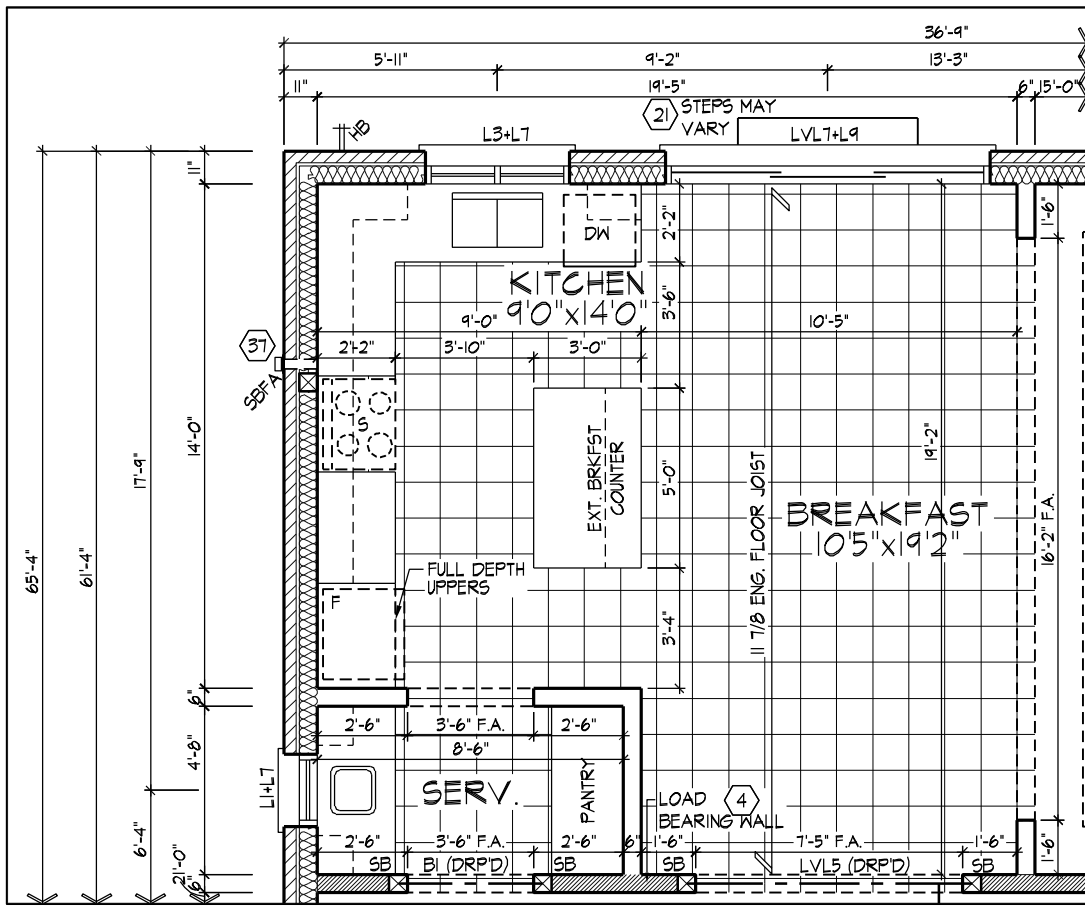
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UNIT - 4505 REV.2023.05.25  
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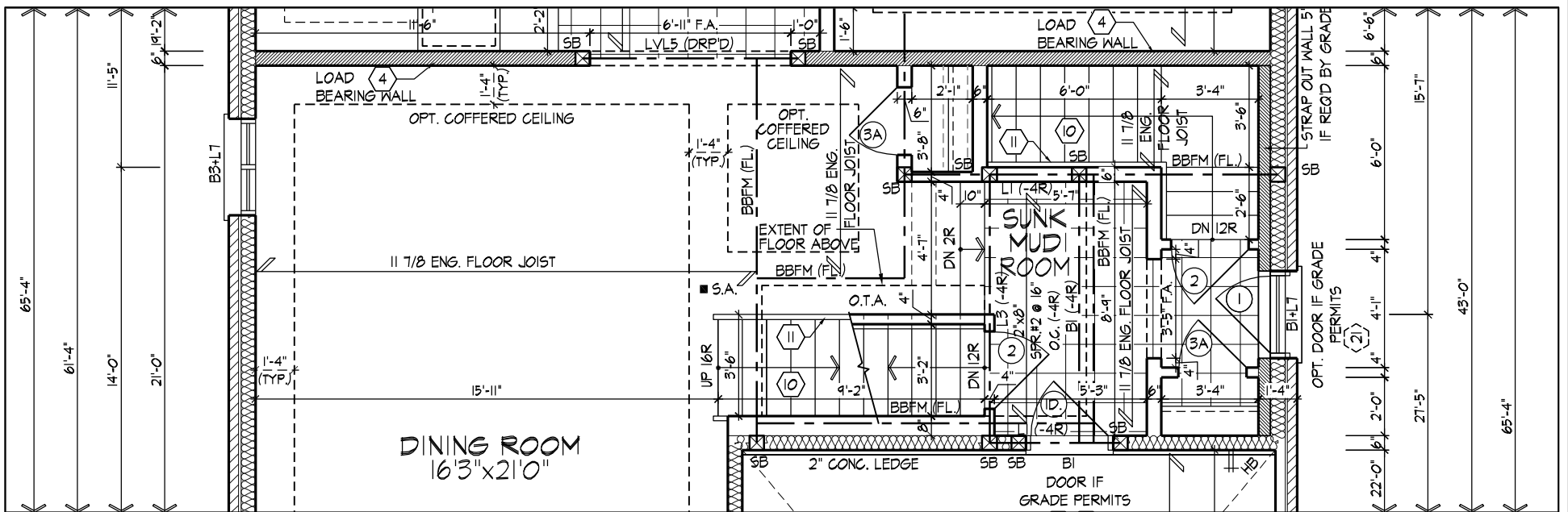
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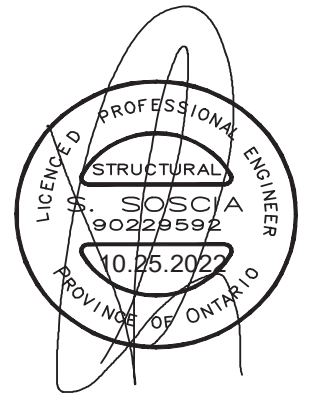
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REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

PART. GROUND FLOOR PLAN, OPT. KITCHEN LAYOUT



PART. OPT. GROUND FLOOR PLAN, EL. 'A', 'B' & 'C' - 4 BEDROOM COND



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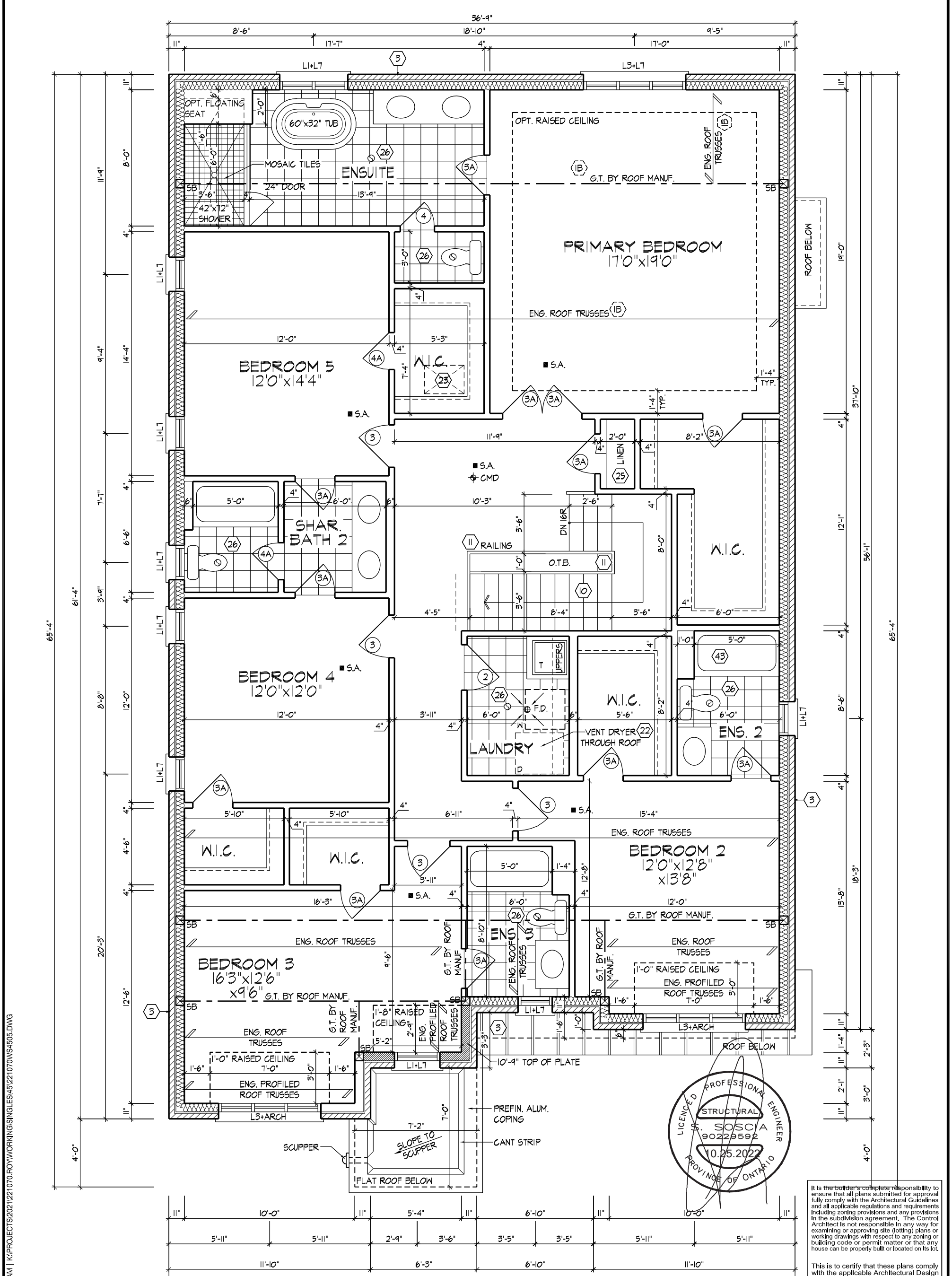
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UNIT - 4505  
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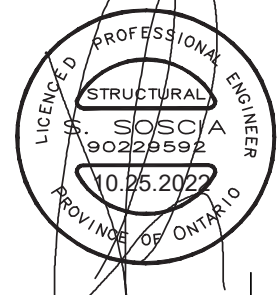
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SECOND FLOOR PLAN, EL. 'A' - 5 BEDROOM COND.

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

NOTE:  
STEP TRUSSES @ RAISED / COFFERED CEILINGS



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SECOND FLOOR PLAN, ELEV. 'A' - 5 BEDROOM COND.

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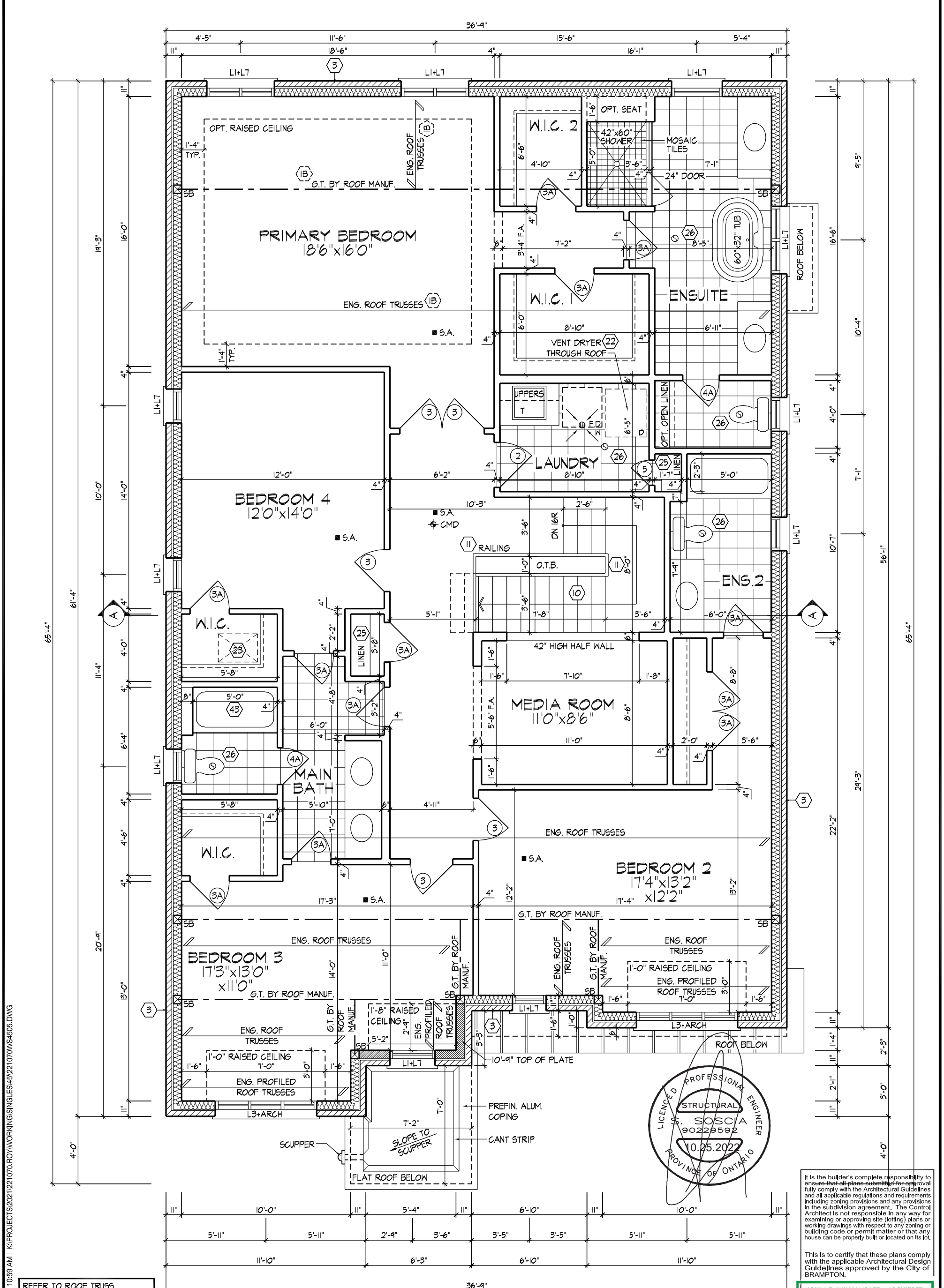
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OPT. SECOND FLOOR PLAN, EL. 'A'  
- 4 BEDROOM COND.

OPT. SECOND FLOOR PLAN, EL. 'A' - 4 BEDROOM COND.

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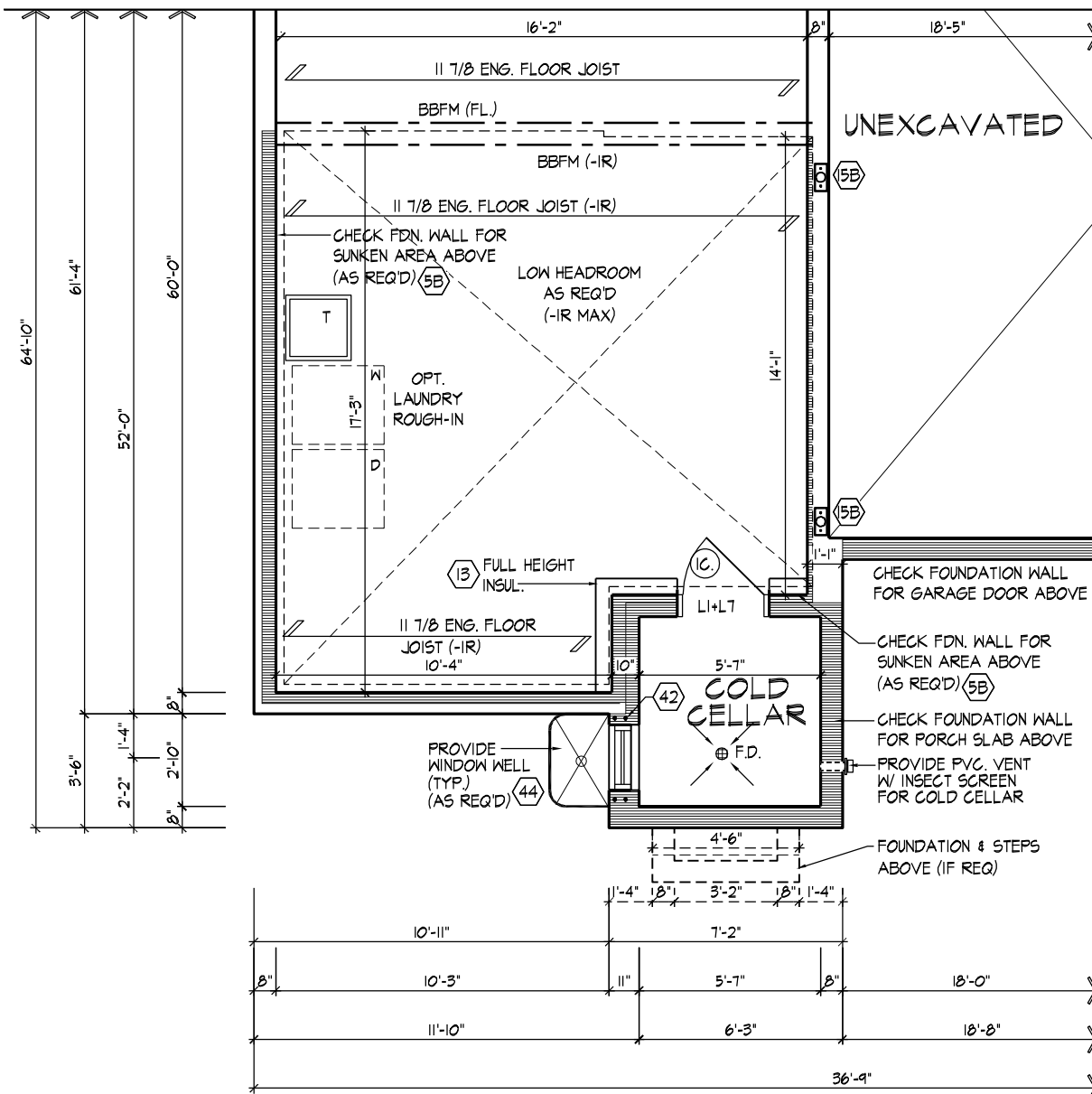
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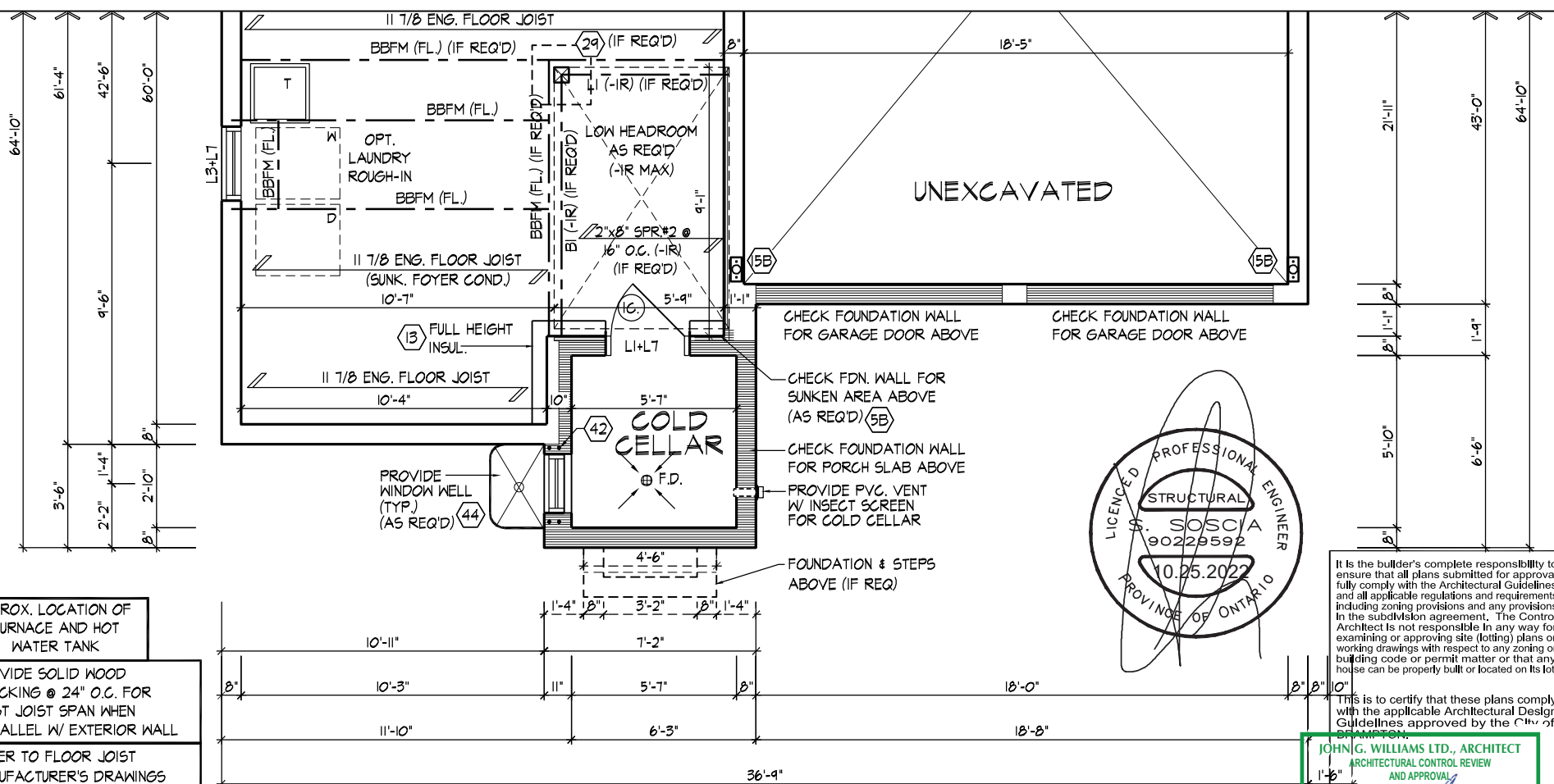
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PART. BASEMENT PLAN, EL. 'B' W/  
IN-LAW SUITE SUNKEN CONDITION

REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES  
& DIMENSIONS



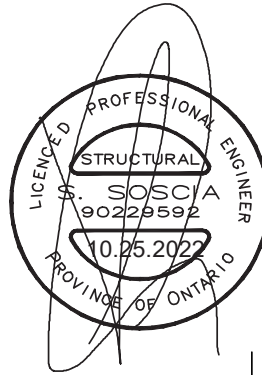
PART. BASEMENT PLAN EL. 'B'

PART. BASEMENT PLANS, ELEV. 'B'

APPROX. LOCATION OF  
FURNACE AND HOT  
WATER TANK

PROVIDE SOLID WOOD  
BLOCKING @ 24" O.C. FOR  
FIRST JOIST SPAN WHEN  
PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST  
MANUFACTURER'S DRAWINGS  
FOR LAYOUT, SPACING,  
BLOCKING & STRAPPING  
REQUIREMENTS, INSTALLATION  
DETAILS AND HANGER SIZES, &  
SUBFLOOR THICKNESS



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Brampton.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: OCT 26, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Derek R. Santos 37308  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19695

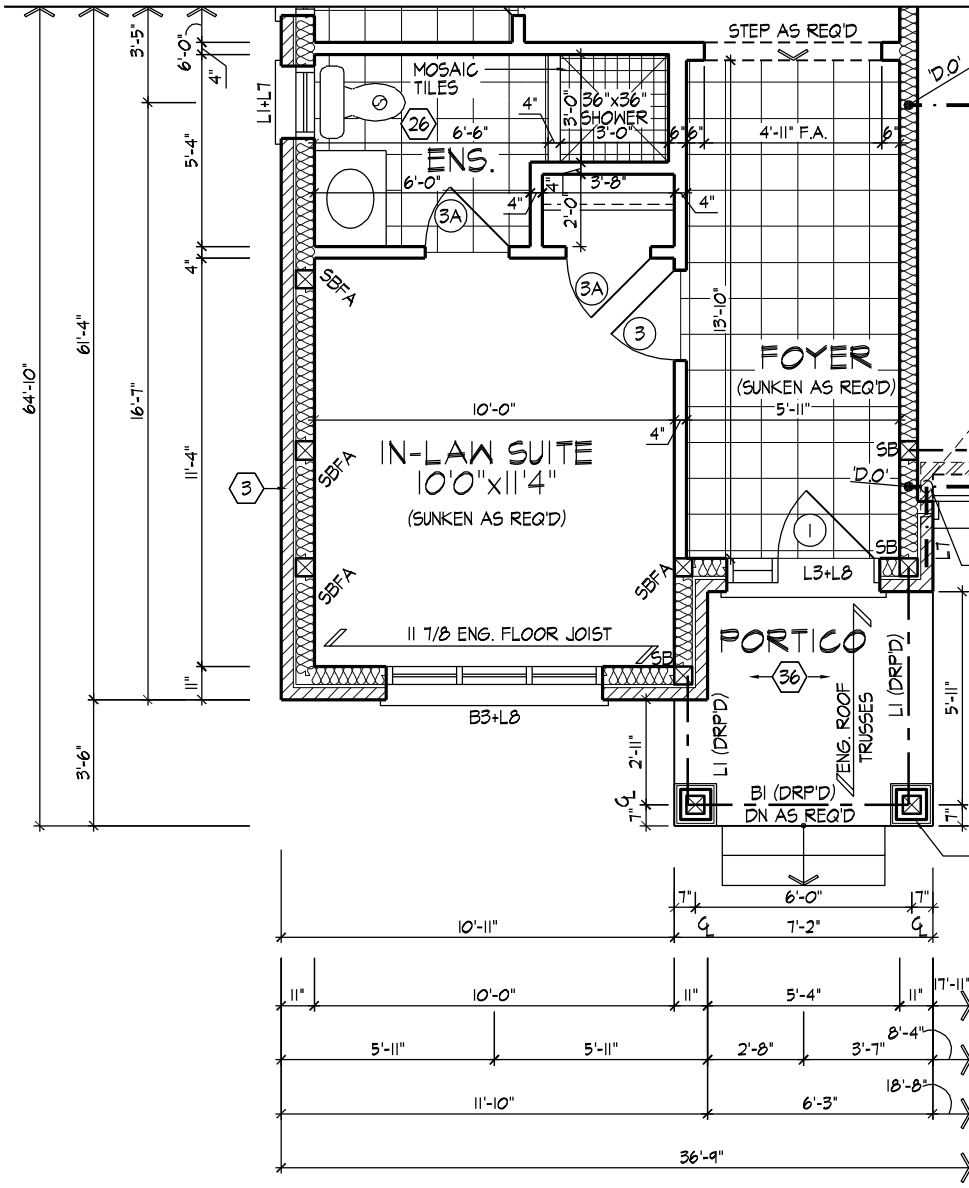
**HUNT**  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

ROYAL PINE HOMES - 221070  
FORESTSIDE ESTATES INC., BRAMPTON, ON.

UNIT - 4505  
REV.2023.05.25

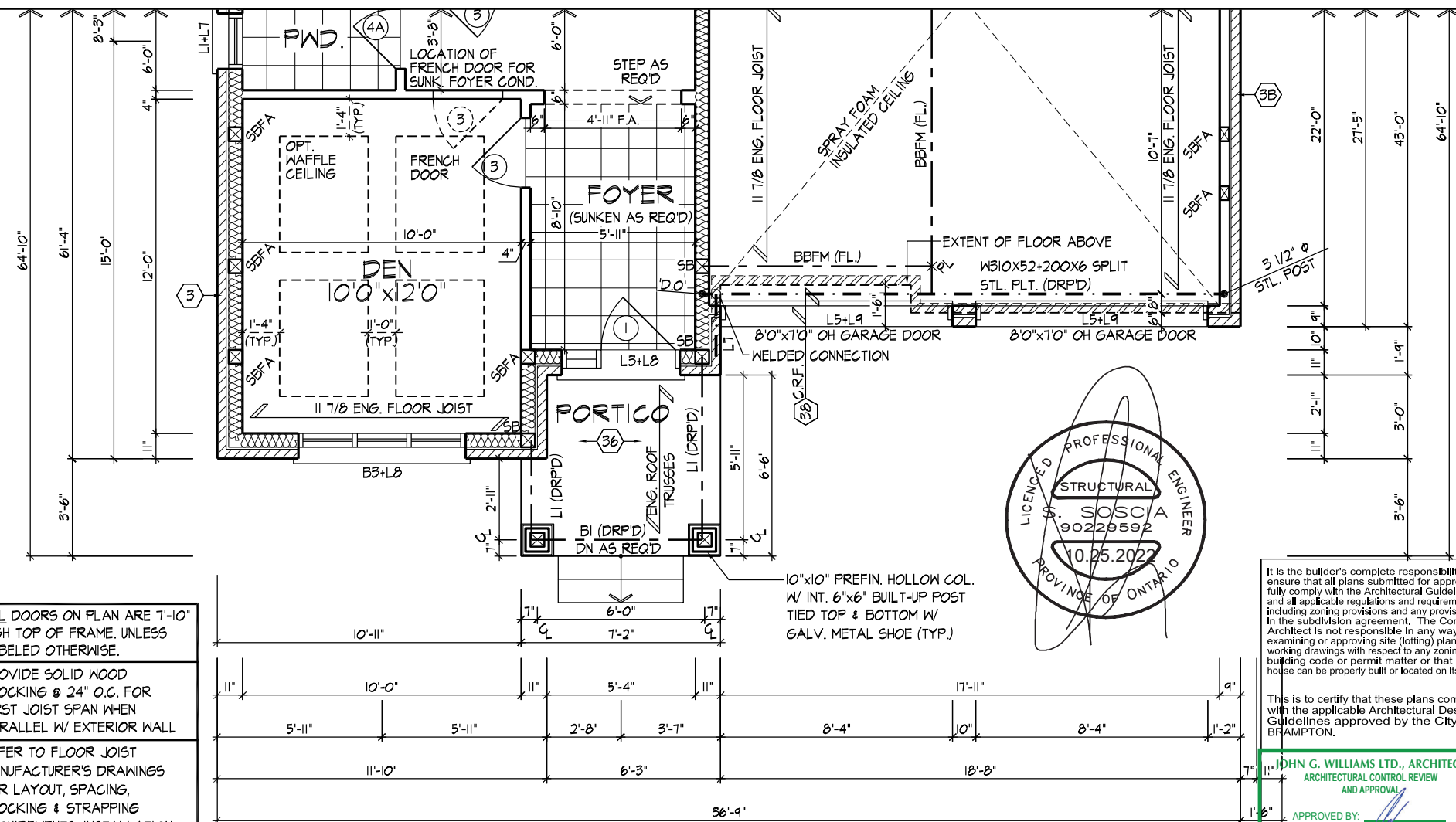
Drawn By MM Checked By DS Scale 3/16"=1'-0" File Number 221070WS4505 Page Number 8 of 29  
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326





PART. GROUND FLOOR PLAN,  
EL. 'B' W/ IN-LAW SUITE

REFER TO STANDARD PLAN FOR  
COMPLETE CONSTRUCTION NOTES  
& DIMENSIONS



PART. GROUND FLOOR PLAN, EL. 'B'



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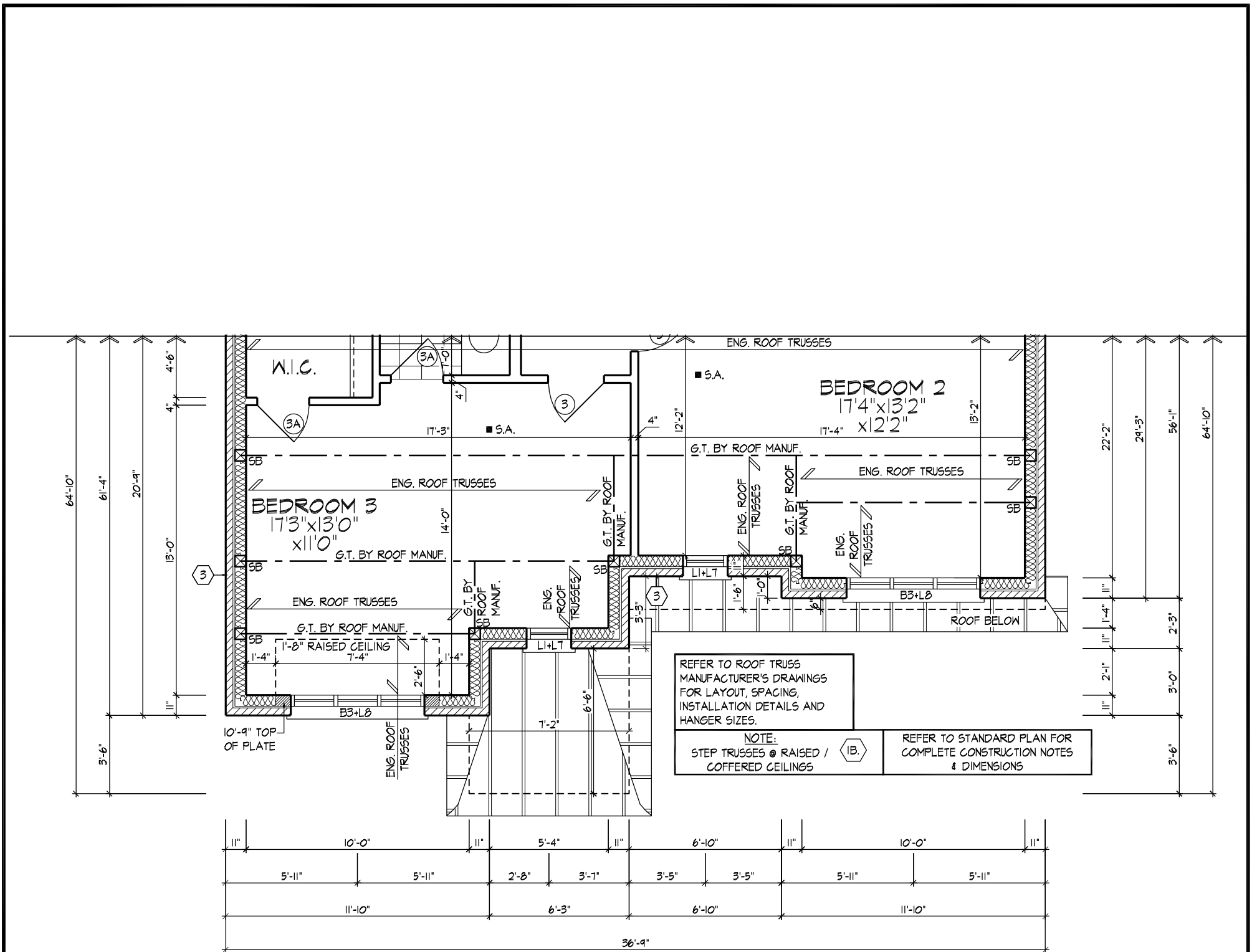
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DATE: OCT 26, 2022  
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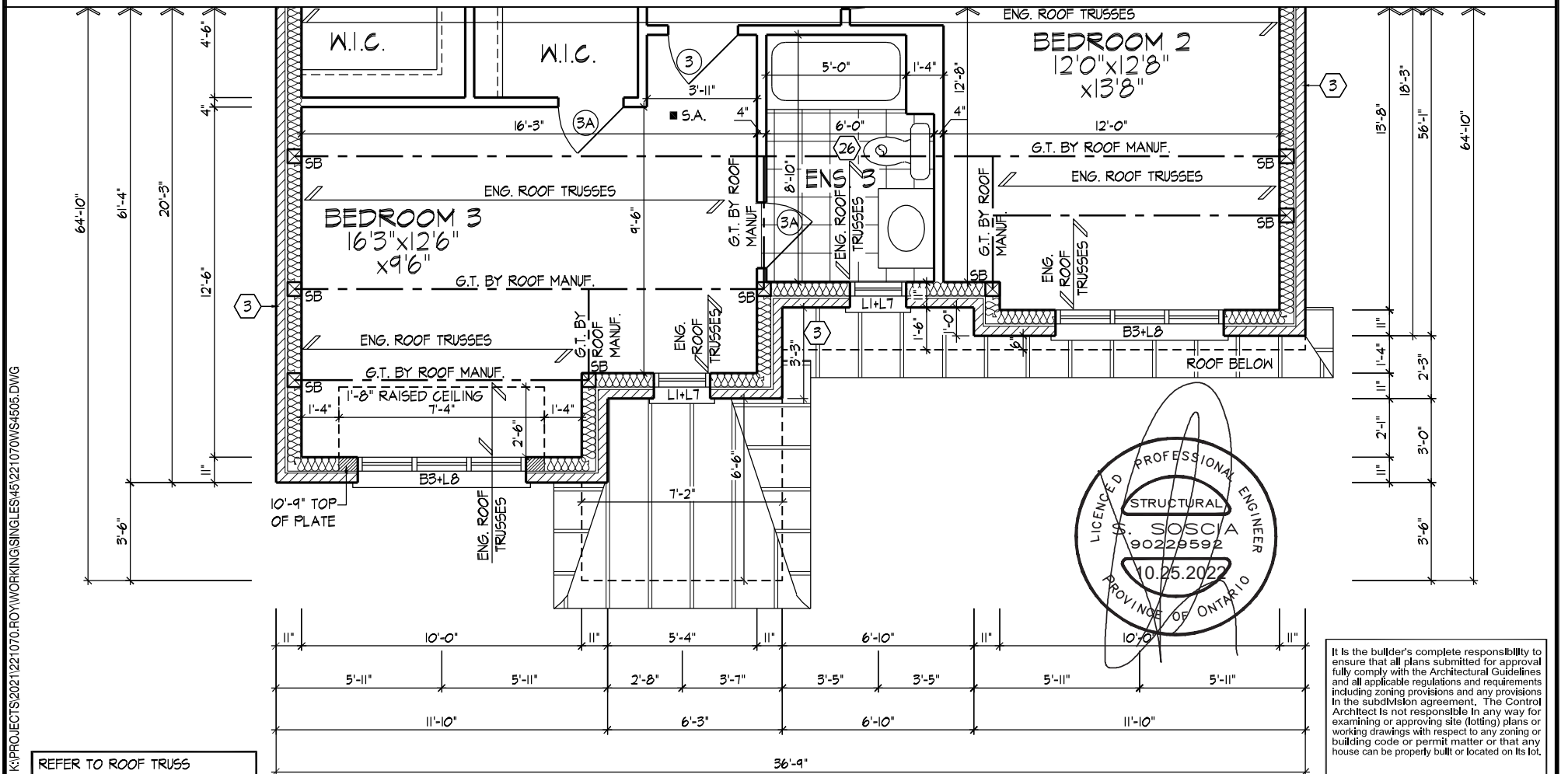
ALL DOORS ON PLAN ARE 7'-10" HIGH TOP OF FRAME, UNLESS LABELED OTHERWISE.  
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL.  
REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS.

PART. GROUND FLOOR PLAN, ELEV. 'B'

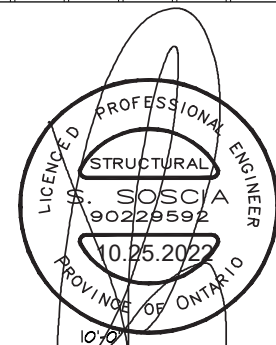
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PART. SECOND FLOOR PLAN, EL. 'B' - OPT. 4 BEDROOM COND.



PART. SECOND FLOOR PLAN, EL. 'B' - 5 BEDROOM COND.



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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
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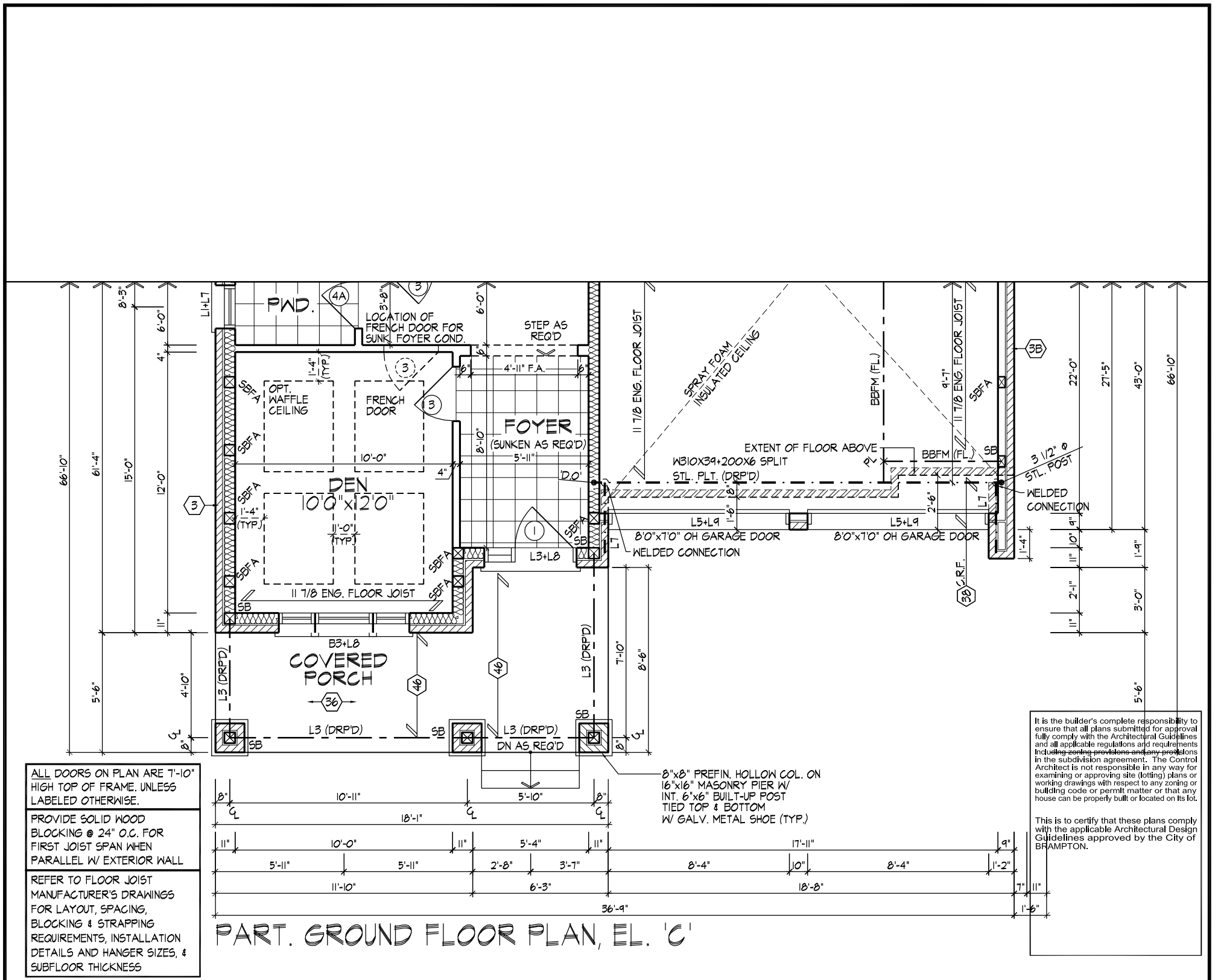
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QUALIFICATION INFORMATION  
Derek R. Santos 37308  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19695

**HUNT**  
DESIGN ASSOCIATES INC.  
www.huntdesign.ca

**ROYAL PINE HOMES - 221070**  
FORESTSIDE ESTATES INC., BRAMPTON, ON. UNIT - 4505  
REV.2023.05.25  
Drawn By MM Checked By DS Scale 3/16"=1'-0" File Number 221070WS4505 Page Number 10 of 29  
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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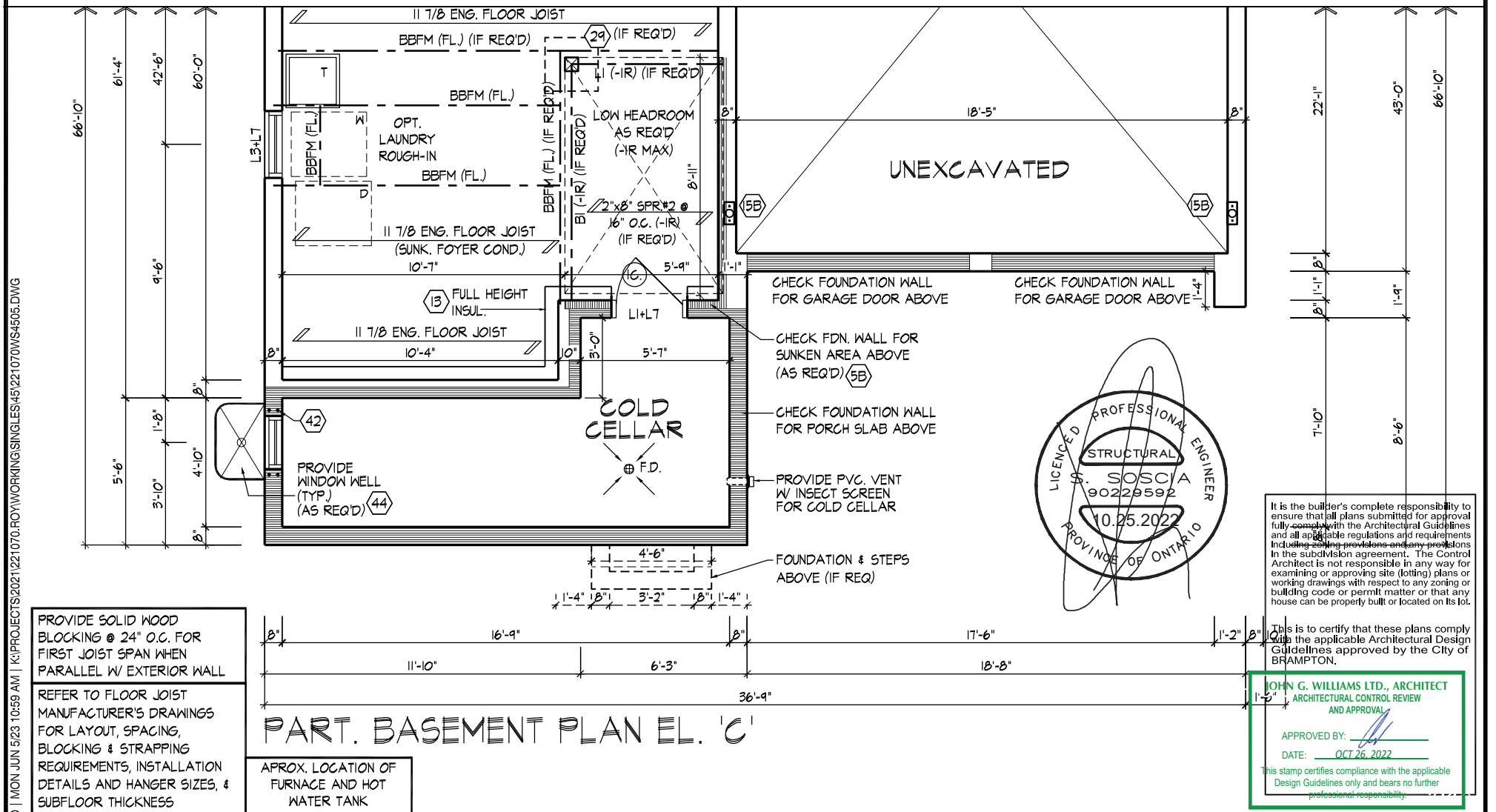
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PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

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PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

APPROX. LOCATION OF FURNACE AND HOT WATER TANK

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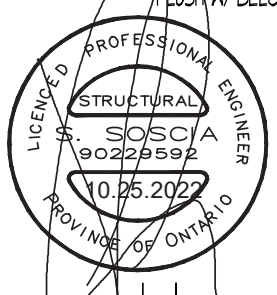
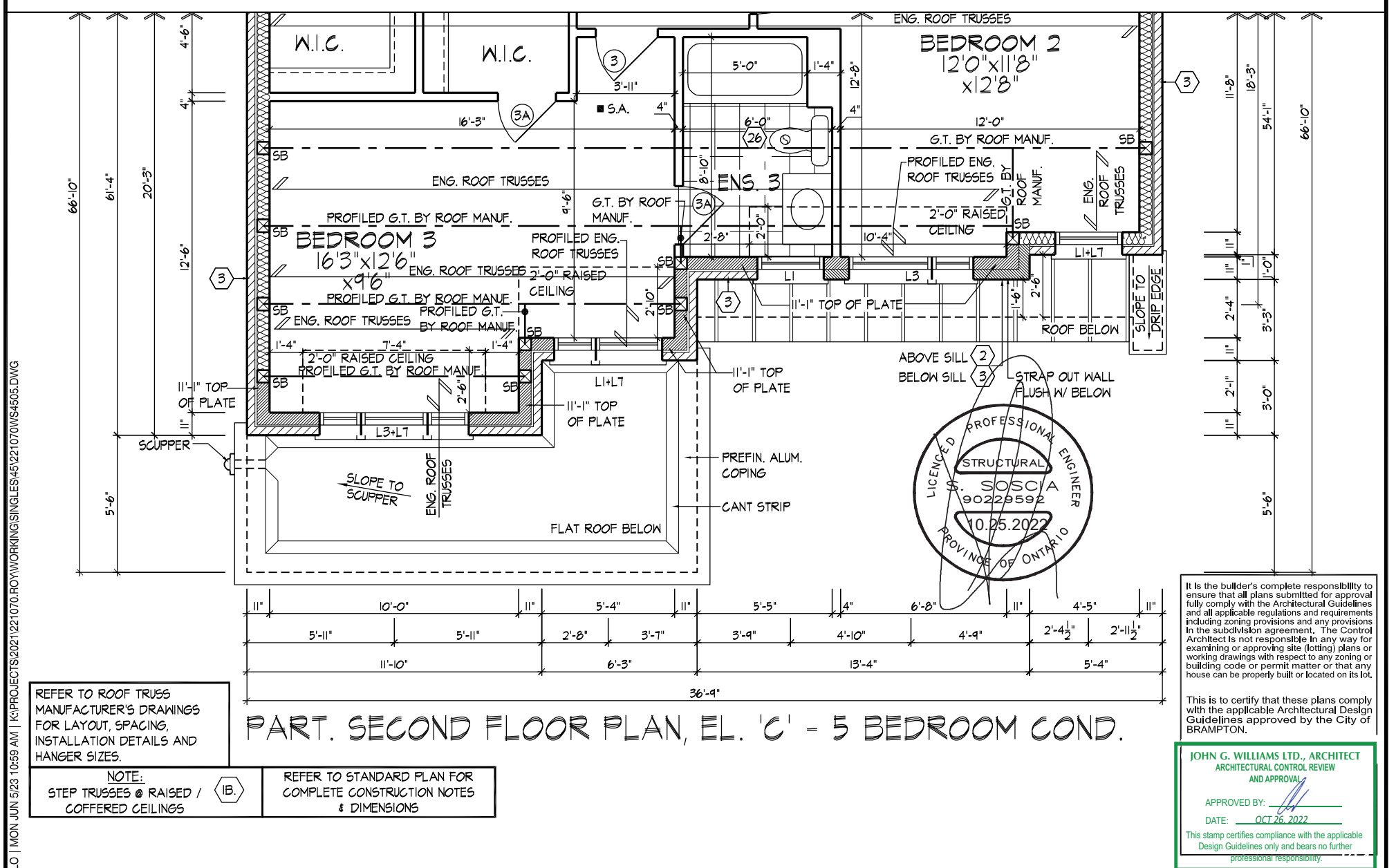
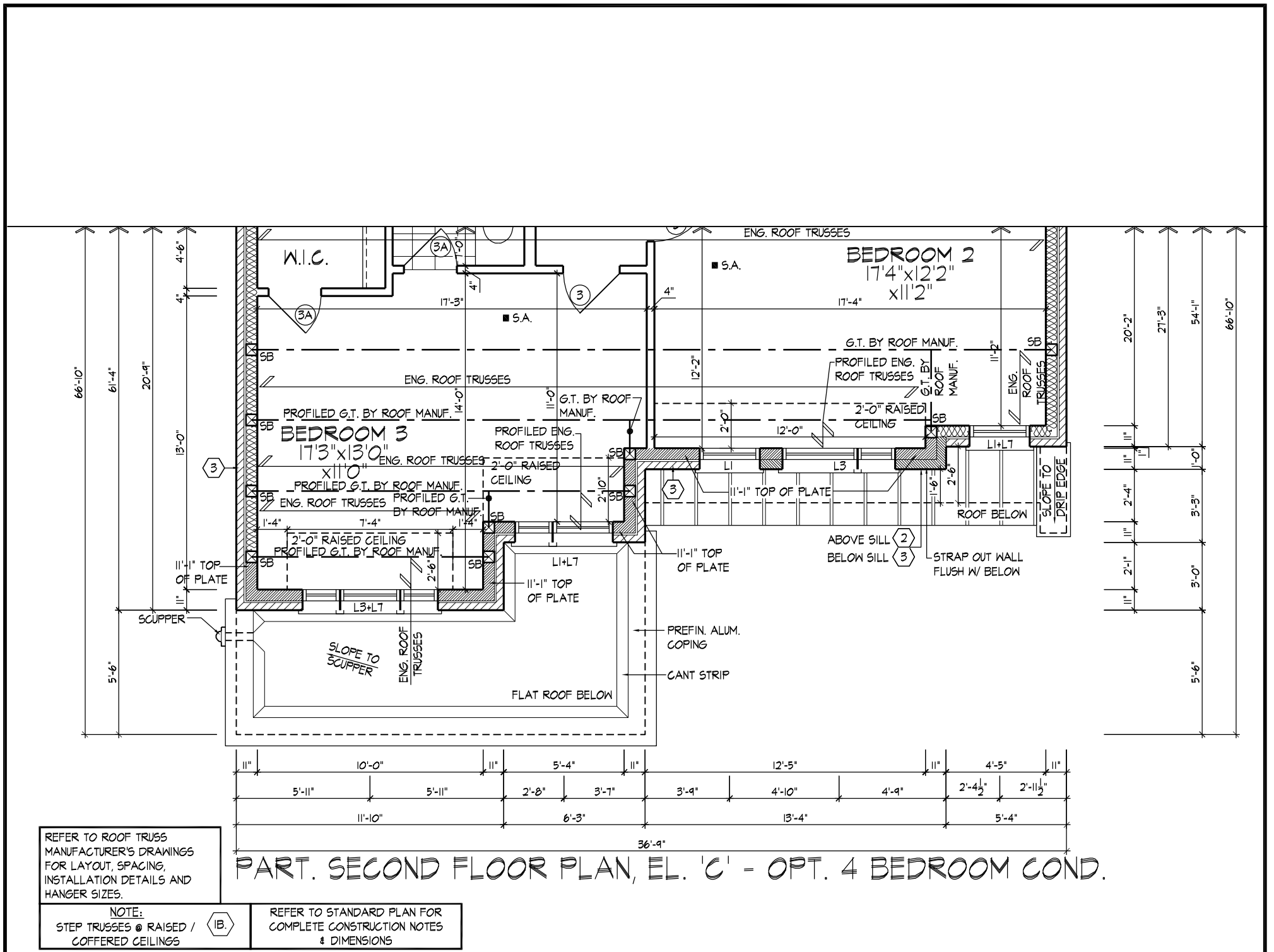
JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: OCT 26, 2022

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**PART. BASEMENT & GROUND FLOOR PLANS, ELEV. 'C'**

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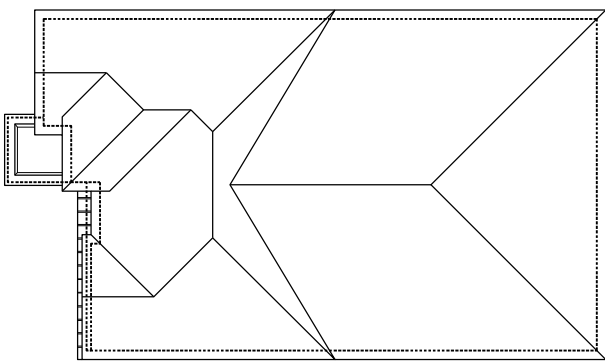
**JOHN G. WILLIAMS LTD., ARCHITECT**  
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: \_\_\_\_\_  
 DATE: OCT 26, 2022

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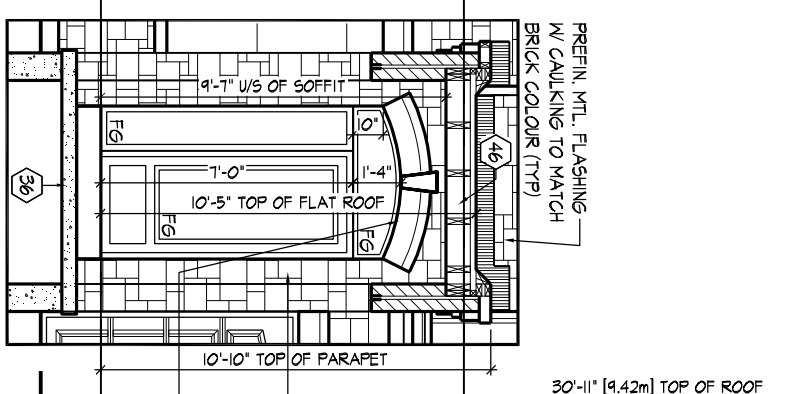
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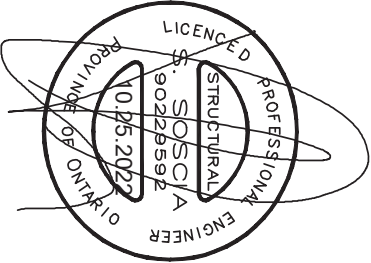


**ROOF PLAN**

EL. 'A'  
NTS.



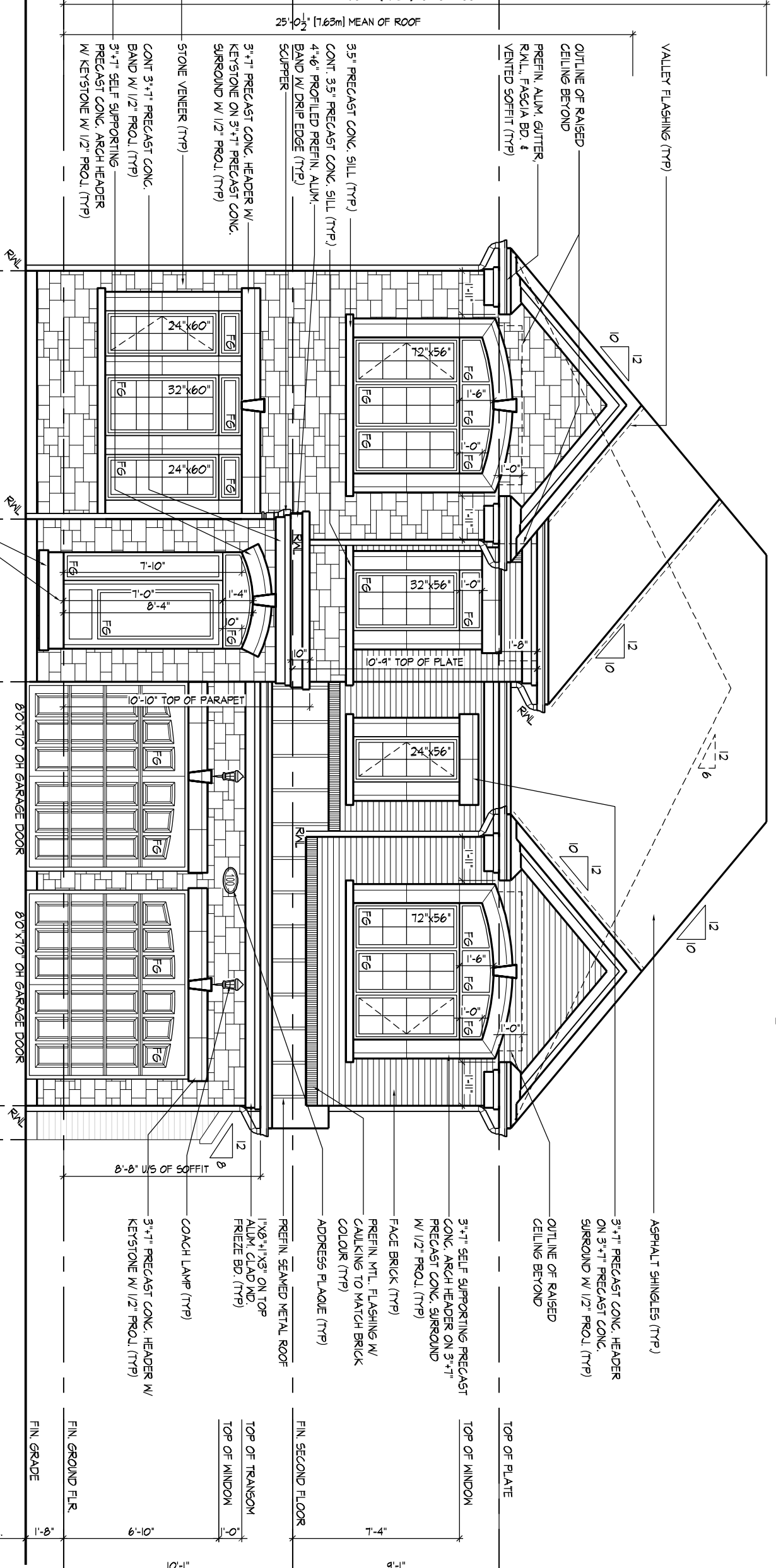
INT. PORTICO EL. 'A'



It is the builder's complete responsibility to ensure that all work is done in accordance with the approved plans and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code Act. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or other regulations. The builder is responsible to ensure that the house can be properly built or located on the lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

APPROVED BY: *[Signature]*  
 DATE: OCT 26, 2022  
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**FRONT ELEVATION 'A'**



**FRONT ELEVATION 'A'**

POURED CONC. PORCH SLAB AND DOOR SILL  
 POURED CONC. FOUNDATION WALLS AND FOOTING (TYP)

STEPPED FOOTING (30)  
 TOP OF BASEMENT SLAB  
 U/S OF FOOTING  
 4'-0" MIN.  
 9'-1"

MIMELILLO | MON JUN 5 23 10:59 AM | PROJECTS\2022\221070-ROYWORKING\SINGLES\45\221070WS4505.DWG

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 QUALIFICATION INFORMATION  
 Derek R. Santos 37308  
 NAME SIGNATURE BCIN  
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 HUNT DESIGN ASSOCIATES INC. 19695

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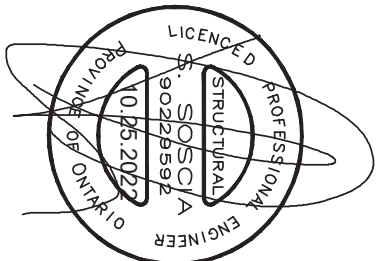
**ROYAL PINE HOMES - 221070**  
**FORESTSIDE ESTATES INC., BRAMPTON, ON.**  
 Drawn By: MM Checked By: DS Scale: 3/16"=1'-0" File Number: 221070WS4505  
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**UNIT - 4505**  
**REV.2023.05.25**  
 Page Number: 13 of 29

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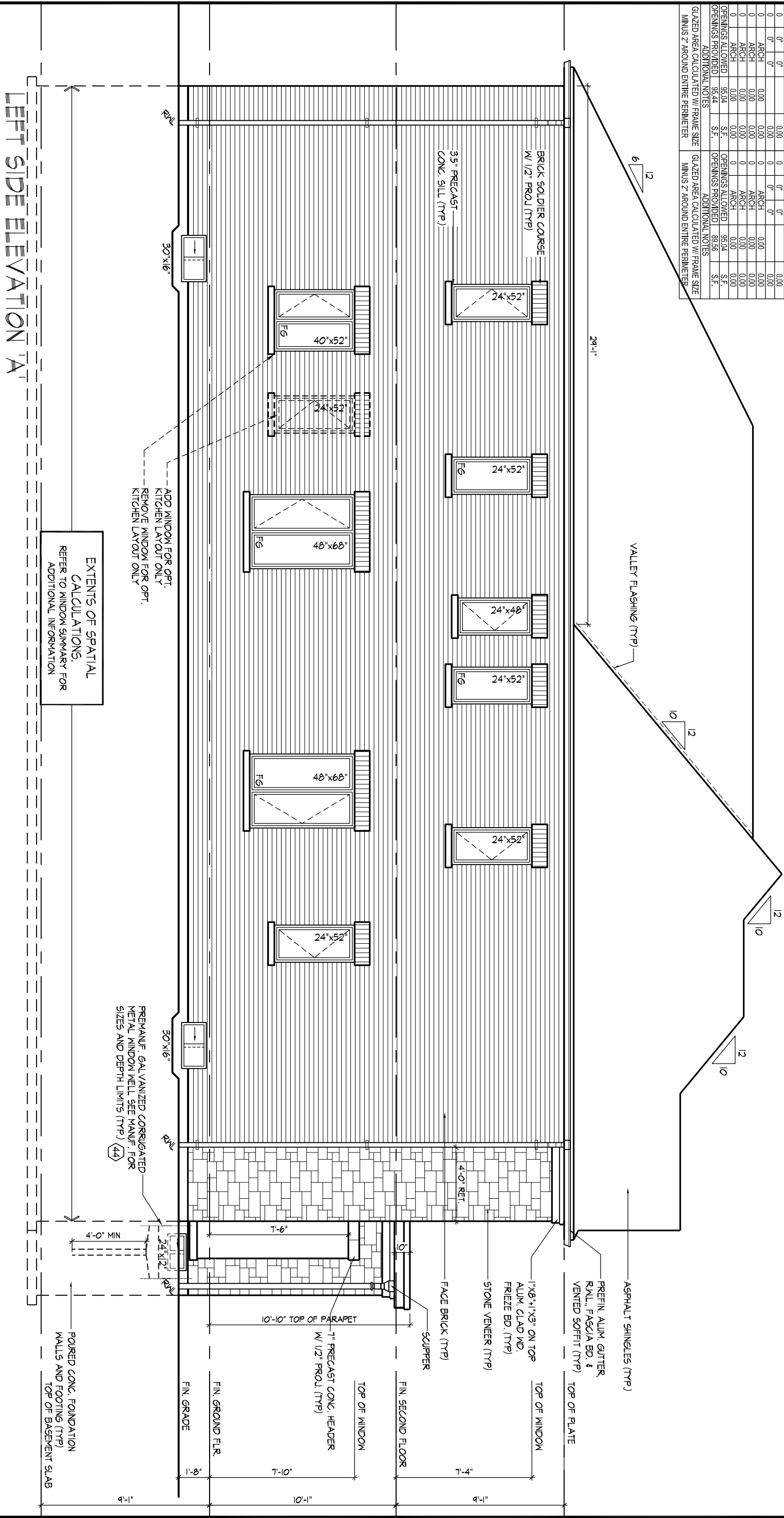
SPATIAL CALCULATION				SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.13.4				PER O.B.C. TABLE 9.10.13.4			
<b>LEFT SIDE ELEVATION A</b>				<b>LEFT SIDE EL. A W/ OPT. KITCHEN LAYOUT</b>			
EXPOSING BUILDING	1357.69	S.F.	EXPOSING BUILDING	1357.69	S.F.	EXPOSING BUILDING	1357.69
FACE AREA	126.13	S.M.	FACE AREA	126.13	S.M.	FACE AREA	126.13
PORTION WALL AREA	126.13	S.M.	PORTION WALL AREA	126.13	S.M.	PORTION WALL AREA	126.13
LIMITING DISTANCE	7	%	LIMITING DISTANCE	7	%	LIMITING DISTANCE	7
MAX. % OPENINGS	7	%	MAX. % OPENINGS	7	%	MAX. % OPENINGS	7
QUAN			QUAN			QUAN	
WIDTH			WIDTH			WIDTH	
DEPTH			DEPTH			DEPTH	
FRAME SIZE (S.F.)	4.33		FRAME SIZE (S.F.)	4.33		FRAME SIZE (S.F.)	4.33
1	30"	1	24"	30"	1	24"	30"
2	48"	2	48"	88"	2	48"	88"
3	24"	2	24"	88"	2	24"	88"
4	24"	2	24"	88"	2	24"	88"
5	24"	2	24"	88"	2	24"	88"
6	24"	2	24"	88"	2	24"	88"
7	24"	2	24"	88"	2	24"	88"
8	24"	2	24"	88"	2	24"	88"
9	24"	2	24"	88"	2	24"	88"
10	24"	2	24"	88"	2	24"	88"
11	24"	2	24"	88"	2	24"	88"
12	24"	2	24"	88"	2	24"	88"
13	24"	2	24"	88"	2	24"	88"
14	24"	2	24"	88"	2	24"	88"
15	24"	2	24"	88"	2	24"	88"
16	24"	2	24"	88"	2	24"	88"
17	24"	2	24"	88"	2	24"	88"
18	24"	2	24"	88"	2	24"	88"
19	24"	2	24"	88"	2	24"	88"
20	24"	2	24"	88"	2	24"	88"
21	24"	2	24"	88"	2	24"	88"
22	24"	2	24"	88"	2	24"	88"
23	24"	2	24"	88"	2	24"	88"
24	24"	2	24"	88"	2	24"	88"
25	24"	2	24"	88"	2	24"	88"
26	24"	2	24"	88"	2	24"	88"
27	24"	2	24"	88"	2	24"	88"
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29	24"	2	24"	88"	2	24"	88"
30	24"	2	24"	88"	2	24"	88"
31	24"	2	24"	88"	2	24"	88"
32	24"	2	24"	88"	2	24"	88"
33	24"	2	24"	88"	2	24"	88"
34	24"	2	24"	88"	2	24"	88"
35	24"	2	24"	88"	2	24"	88"
36	24"	2	24"	88"	2	24"	88"
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38	24"	2	24"	88"	2	24"	88"
39	24"	2	24"	88"	2	24"	88"
40	24"	2	24"	88"	2	24"	88"
41	24"	2	24"	88"	2	24"	88"
42	24"	2	24"	88"	2	24"	88"
43	24"	2	24"	88"	2	24"	88"
44	24"	2	24"	88"	2	24"	88"
45	24"	2	24"	88"	2	24"	88"
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53	24"	2	24"	88"	2	24"	88"
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55	24"	2	24"	88"	2	24"	88"
56	24"	2	24"	88"	2	24"	88"
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66	24"	2	24"	88"	2	24"	88"
67	24"	2	24"	88"	2	24"	88"
68	24"	2	24"	88"	2	24"	88"
69	24"	2	24"	88"	2	24"	88"
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71	24"	2	24"	88"	2	24"	88"
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74	24"	2	24"	88"	2	24"	88"
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76	24"	2	24"	88"	2	24"	88"
77	24"	2	24"	88"	2	24"	88"
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94	24"	2	24"	88"	2	24"	88"
95	24"	2	24"	88"	2	24"	88"
96	24"	2	24"	88"	2	24"	88"
97	24"	2	24"	88"	2	24"	88"
98	24"	2	24"	88"	2	24"	88"
99	24"	2	24"	88"	2	24"	88"
100	24"	2	24"	88"	2	24"	88"

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION UNLESS NOTED OTHERWISE



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APPROVED BY: JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
DATE: OCT 26, 2022  
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LEFT SIDE ELEVATION 'A'

LEFT SIDE ELEVATION 'A'

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QUALIFICATION INFORMATION  
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NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19695

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**UNIT - 4505**  
REV.2023.05.25  
Page Number 14 of 29

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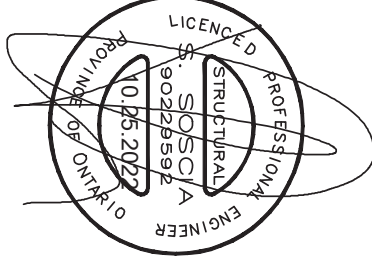
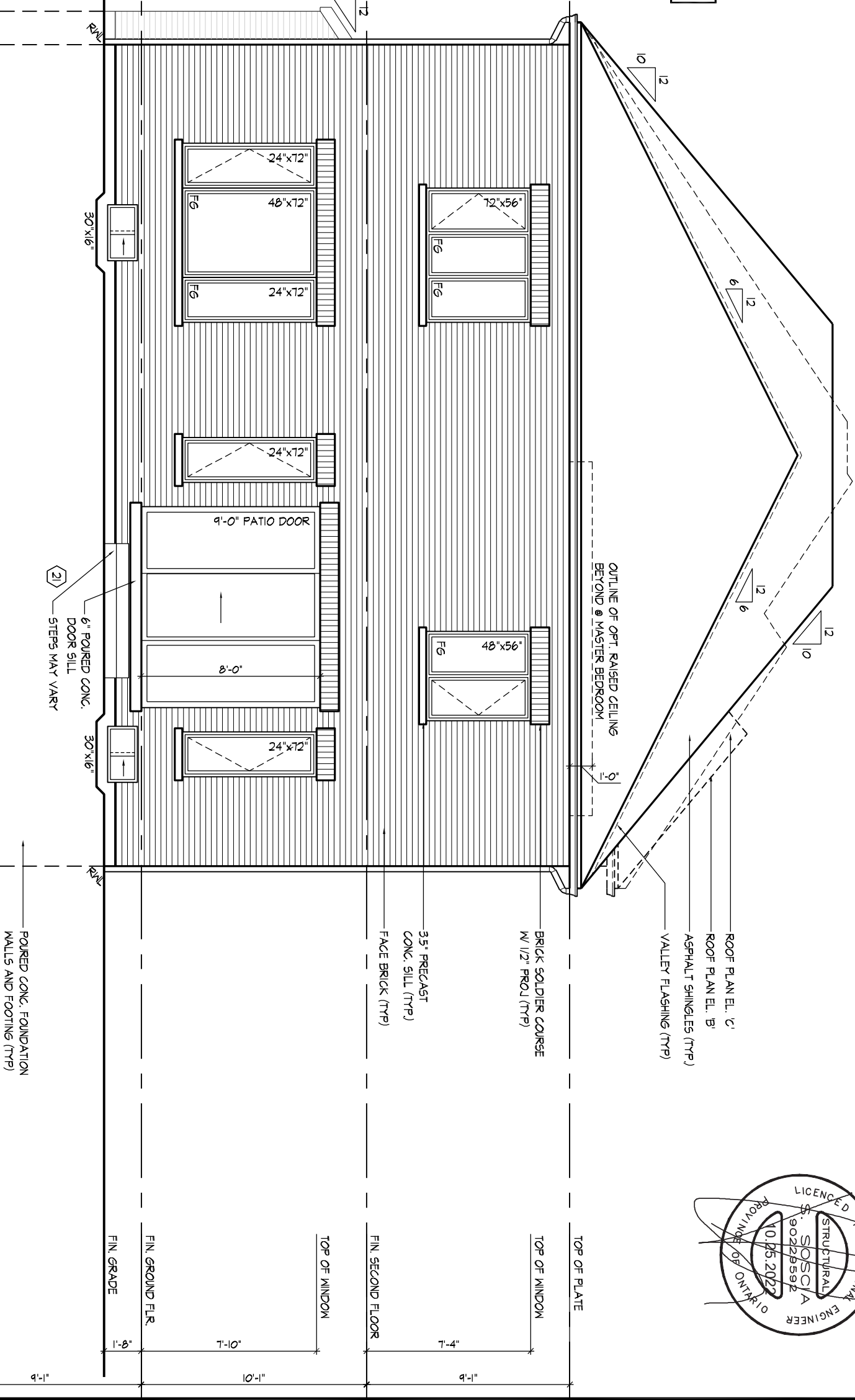






REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION  
 ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

REAR ELEVATION 'A', 'B' & 'C'



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REAR ELEVATION 'A' & 'B'

MIMELILLO | MON JUN 5 23 10:59 AM | K:\PROJECTS\2022\1221070-ROYWORKING\SINGLES\45\221070WS4505.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 QUALIFICATION INFORMATION  
 Derek R. Santos 37308  
 NAME SIGNATURE BCIN  
 REGISTRATION INFORMATION  
 HUNT DESIGN ASSOCIATES INC. 19695

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 www.huntdesign.ca

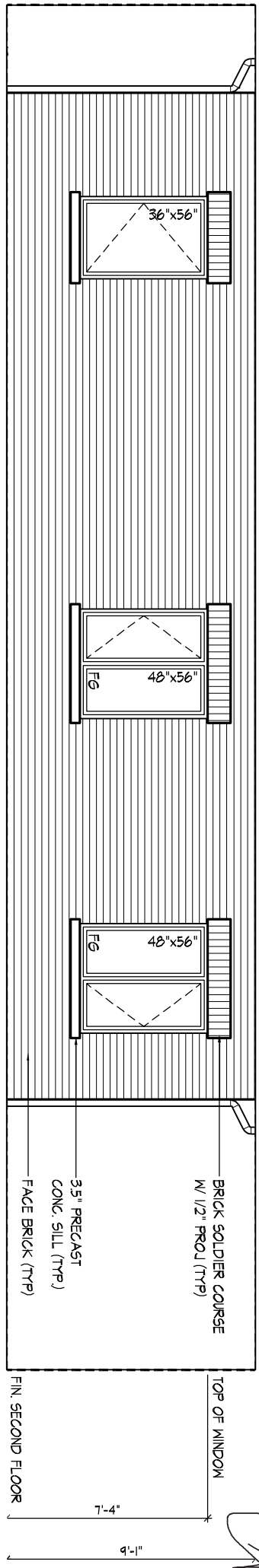
**ROYAL PINE HOMES - 221070**  
**FORESTSIDE ESTATES INC., BRAMPTON, ON.**  
 Drawn By: MM Checked By: DS Scale: 3/16"=1'-0" File Number: 221070WS4505  
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**UNIT - 4505**  
**REV.2023.05.25**  
 Page Number: 17 of 29

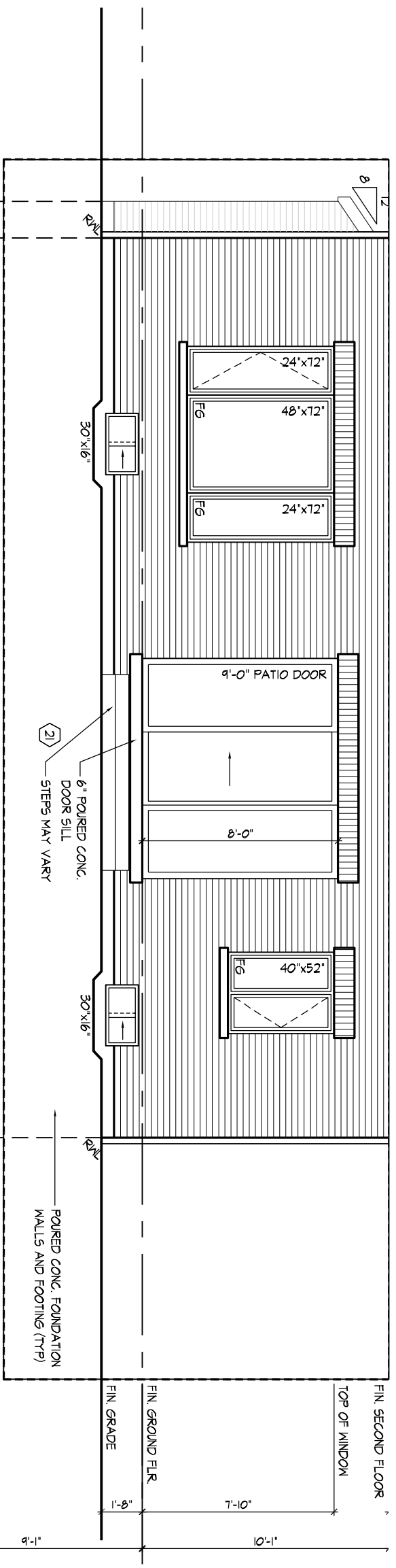
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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE



REAR ELEVATION 'A', 'B' - OPT. SECOND FLOOR PLAN - 4  
BEDROOM COND

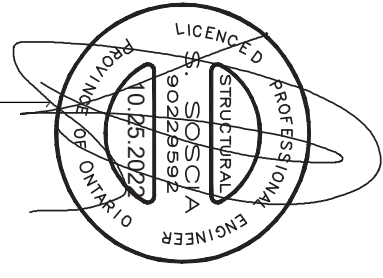


PART. REAR ELEVATION 'A', 'B' FOR OPT. KITCHEN LAYOUT

It is the builder's complete responsibility to ensure that all construction complies with the applicable regulations and requirements fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Ontario Building Code. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or other regulatory requirements. The location of house can be properly built or located on the lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

APPROVED BY: *[Signature]*  
DATE: OCT 26, 2022

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



PARTIAL OPTIONAL REAR ELEVATION 'A' & 'B'

ROYAL PINE HOMES - 221070  
FORESTSIDE ESTATES INC., BRAMPTON, ON. UNIT - 4505  
REV.2023.05.25

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

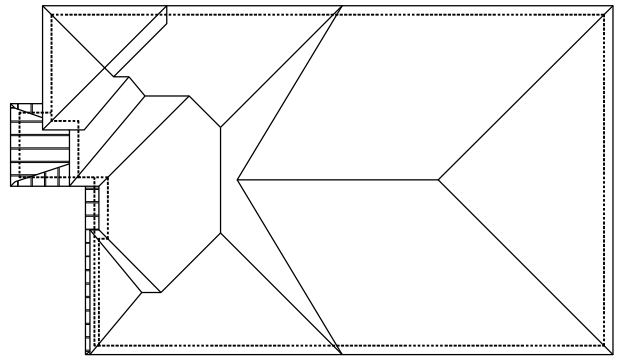
QUALIFICATION INFORMATION  
Derek R. Santos 37308  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19695

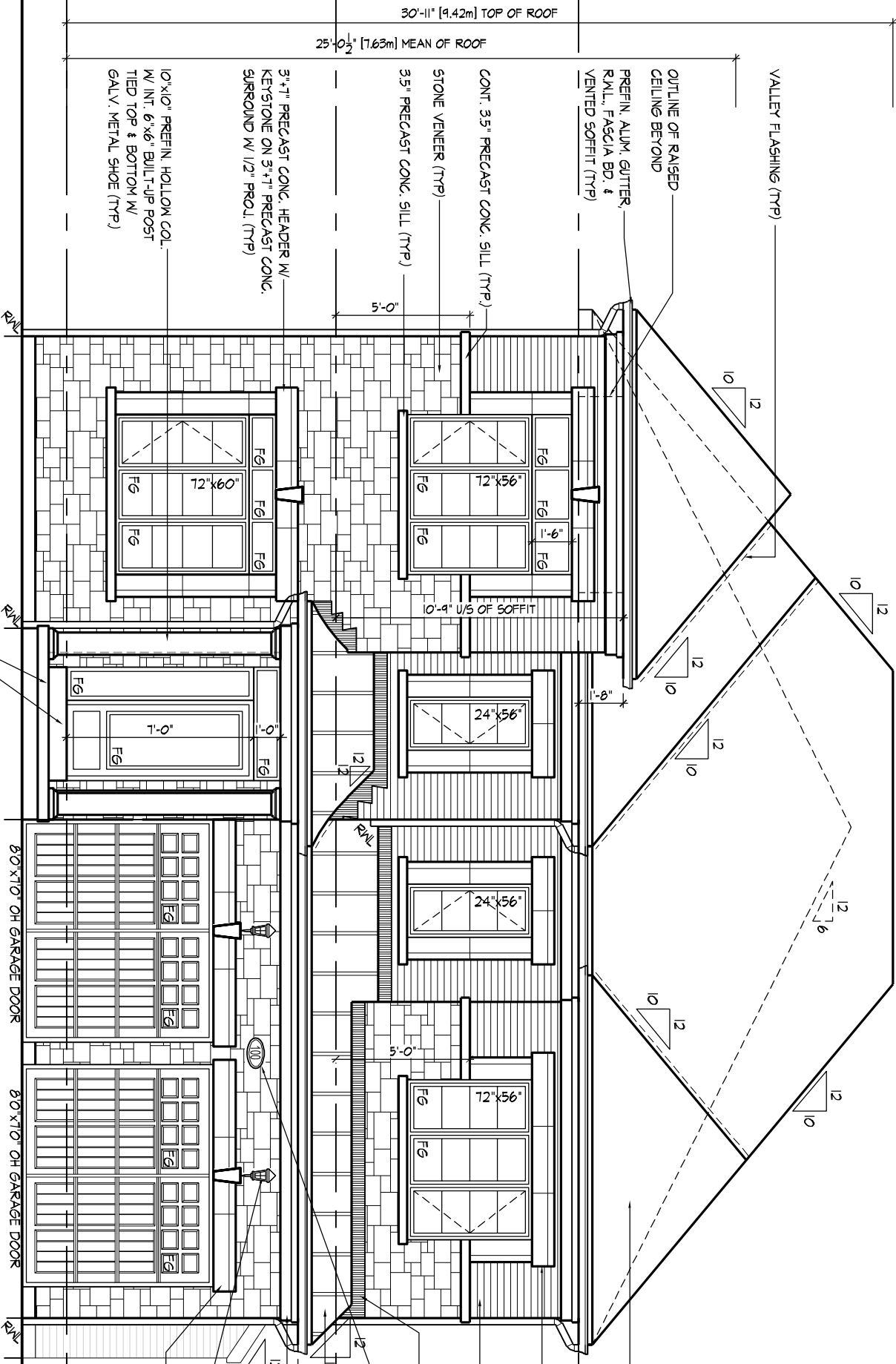
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Drawn By: MM Checked By: DS Scale: 3/16"=1'-0" File Number: 221070WS4505 Page Number: 18 of 29  
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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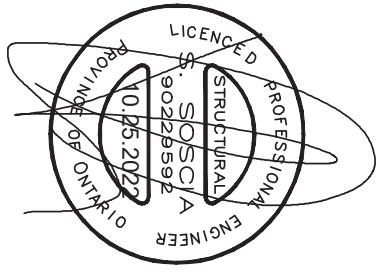


**ROOF PLAN**  
EL. 'B'  
N.T.S.



**FRONT ELEVATION 'B'**

It is the builder's complete responsibility to ensure that the construction of the building fully complies with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code. The Architect is not responsible for examining or approving site (lotting) plans or working drawings with respect to any zoning or other regulatory requirements. The location of the house can be properly built or located on the lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



**FRONT ELEVATION 'B'**

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 QUALIFICATION INFORMATION  
 Derek R. Santos 37308  
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**ROYAL PINE HOMES - 221070**  
**FORESTSIDE ESTATES INC., BRAMPTON, ON.**  
 Drawn By MM Checked By DS Scale 3/16"=1'-0" File Number 221070WS4505  
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**UNIT - 4505**  
**REV.2023.05.25**  
 Page Number 19 of 29

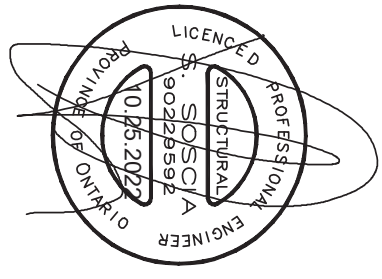
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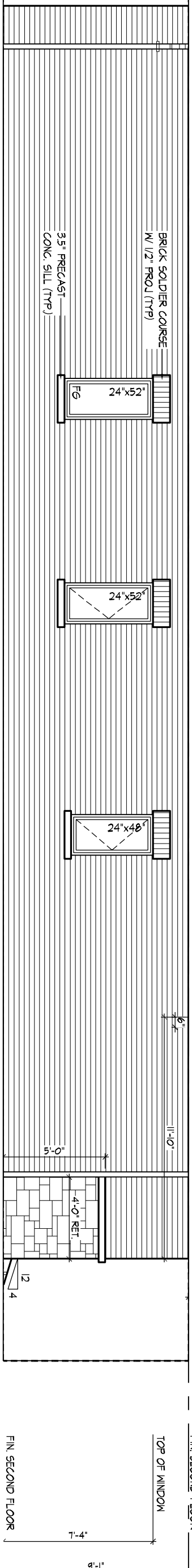
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PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4	
LEFT SIDE ELEVATION B-4 BED		LEFT SIDE ELEVATION B-4 BED + OPT. KITCHEN LAYOUT		LEFT SIDE ELEVATION B-4 BED + OPT. IN-LAW SUITE		LEFT SIDE EL. B-4 BED W/ OPT. IN-LAW & OPT. KITCHEN LAYOUT		LEFT SIDE ELEVATION B W/ IN-LAW SUITE		LEFT SIDE EL. B W/ IN-LAW SUITE & KITCHEN	
EXPOSING BUILDING FACE AREA	1299.67	1299.67	1299.67	1367.99	1367.99	1367.99	1367.99	1367.99	1367.99	1367.99	
PORTION WALL AREA	120.74	120.74	120.74	127.09	127.09	127.09	127.09	127.09	127.09	127.09	
MAX. % OPENINGS	7	7	7	7	7	7	7	7	7	7	
QUAN	2	2	2	2	2	2	2	2	2	2	
WIDTH	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	
DEPTH	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	
WINDOW / DOOR FRAME SIZE (S.F.)	4.33	4.33	4.33	4.33	4.33	4.33	4.33	4.33	4.33	4.33	
ARCH	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
OPENINGS ALLOWED	90.98	90.98	90.98	95.76	95.76	95.76	95.76	95.76	95.76	95.76	
ADDITIONAL NOTES											
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER		GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	

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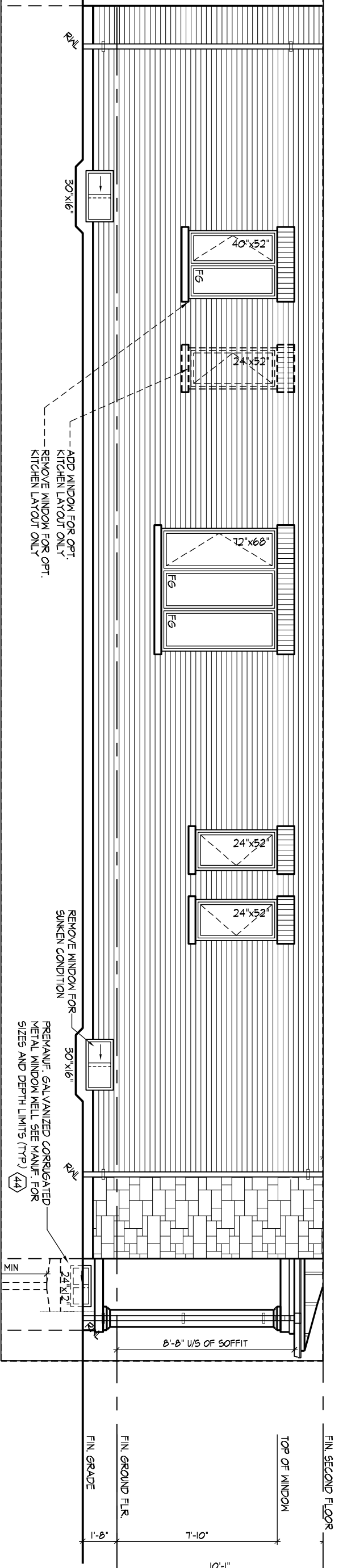
APPROVED BY:  JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
DATE: OCT 26, 2022  
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**PARTIAL OPTIONAL LEFT SIDE ELEVATION 'B'**



**PART. LEFT SIDE ELEVATION 'B' - OPT. SECOND FLOOR PLAN-4 BEDROOM COND.**



**PART. LEFT SIDE ELEVATION 'B' W/ IN-LAW SUITE**

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 QUALIFICATION INFORMATION  
 Derek R. Santos 37308  
 NAME SIGNATURE BCIN  
 REGISTRATION INFORMATION  
 HUNT DESIGN ASSOCIATES INC. 19695

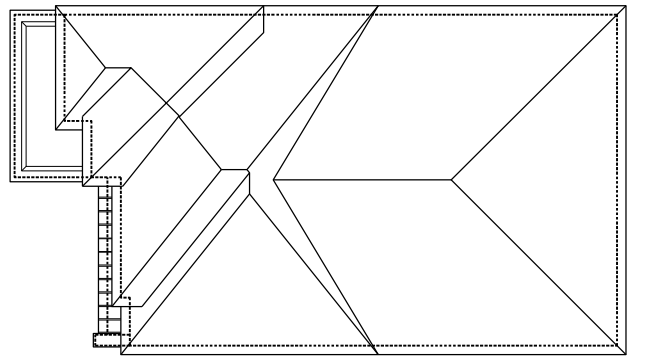
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**ROYAL PINE HOMES - 221070**  
**FORESTSIDE ESTATES INC., BRAMPTON, ON.**  
 Drawn By MM Checked By DS Scale 3/16"=1'-0" File Number 221070WS4505  
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

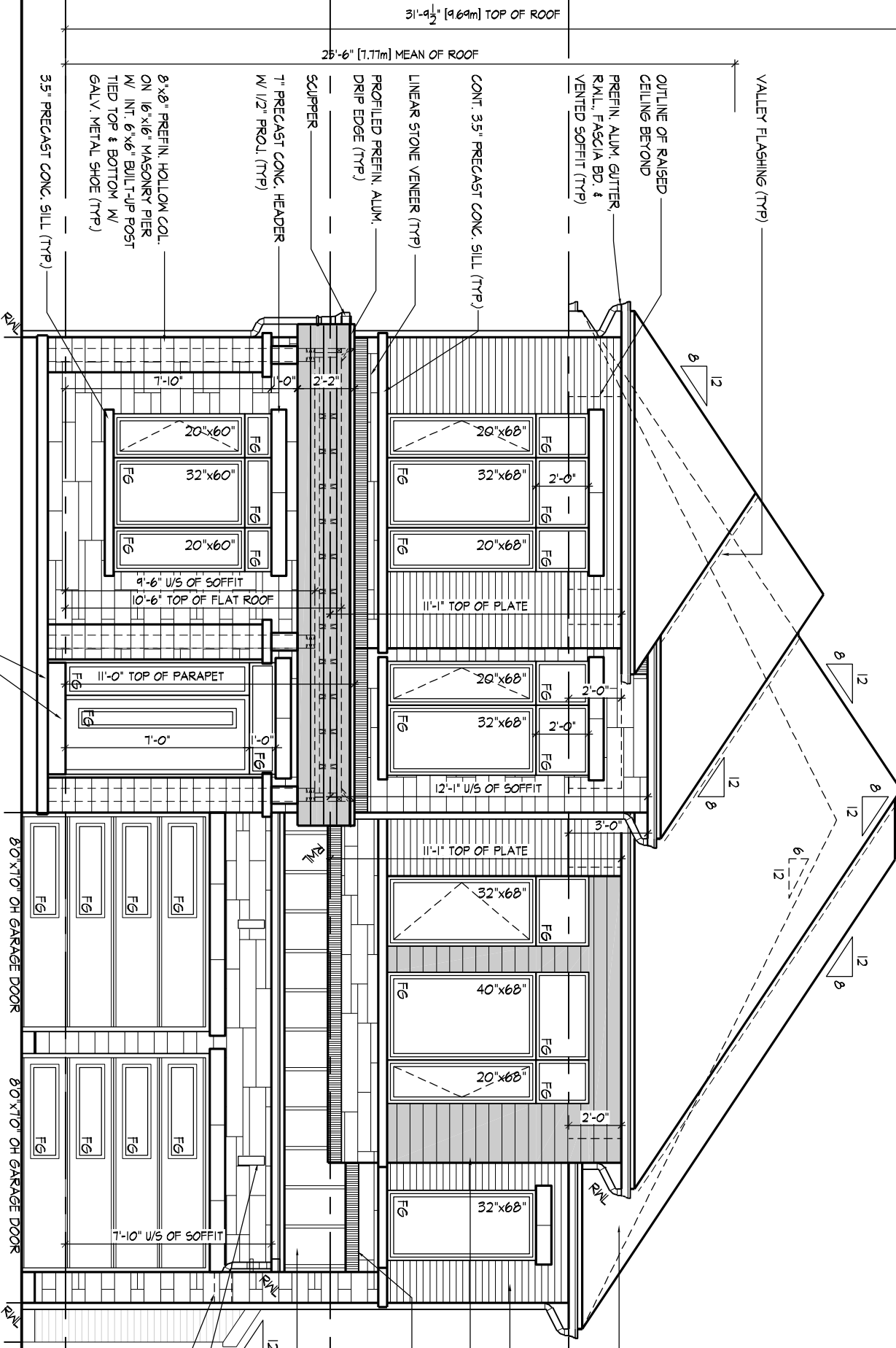
**UNIT - 4505**  
**REV.2023.05.25**  
 Page Number 21 of 29

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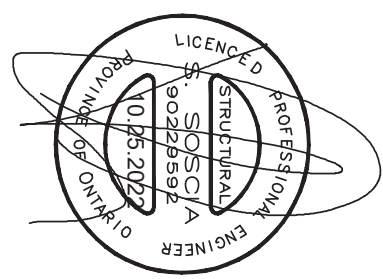
**ROOF PLAN**  
EL. 'C'  
N.T.S.



**FRONT ELEVATION 'C'**

It is the builder's complete responsibility to ensure that the construction of the building fully complies with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code. The Architect is not responsible for examining or approving site (lotting) plans or working drawings with respect to any zoning or other regulatory requirements that may apply to the house can be properly built or located on the lot. This is to certify that these plans comply with the applicable Architectural Guidelines approved by the City of BRAMPTON.

**APPROVED BY:** [Signature]  
DATE: OCT 26, 2022  
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**FRONT ELEVATION 'C'**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
QUALIFICATION INFORMATION  
Derek R. Santos 37308  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19695

**HUNT**  
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**ROYAL PINE HOMES - 220053**  
VALES OF HUMBER 'NORTH', BRAMPTON, ON.  
Drawn By: MM  
Checked By: JL  
Scale: 3/16"=1'-0"  
File Number: 220053WS4505  
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**UNIT - 4505**  
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Page Number: 23 of 29

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SPATIAL CALCULATION				SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
<b>LEFT SIDE ELEVATION C</b>				<b>LEFT SIDE EL. C W/ OPT. KITCHEN LAYOUT</b>			
EXPOSING BUILDING	1388.25	S.F.	EXPOSING BUILDING	1322.11	S.F.		
FACE AREA	128.97	S.M.	FACE AREA	122.83	S.M.		
PORTION WALL AREA	128.97	S.M.	PORTION WALL AREA	122.83	S.M.		
LIMITING DISTANCE	7	%	LIMITING DISTANCE	7	%		
MAX. % OPENINGS	7	%	MAX. % OPENINGS	7	%		
QUAN			QUAN				
WIDTH			DEPTH				
DEPTH			FRAME SIZE (S.F.)				
1	30"	16"	4.33	2	30"	16"	4.33
2	40"	32"	12.00	1	24"	32"	6.87
3	48"	64"	31.11	2	48"	64"	31.11
4	24"	32"	6.87	1	24"	32"	6.87
5	24"	32"	26.67	4	24"	32"	26.67
6	24"	48"	6.11	1	24"	48"	6.11
7	0"	0"	0.00	0	0"	0"	0.00
8	0"	0"	0.00	0	0"	0"	0.00
9	0"	0"	0.00	0	0"	0"	0.00
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27	0"	0"	0.00	0	0"	0"	0.00
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33	0"	0"	0.00	0	0"	0"	0.00
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45	0"	0"	0.00	0	0"	0"	0.00
46	0"	0"	0.00	0	0"	0"	0.00
47	0"	0"	0.00	0	0"	0"	0.00
48	0"	0"	0.00	0	0"	0"	0.00
49	0"	0"	0.00	0	0"	0"	0.00
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78	0"	0"	0.00	0	0"	0"	0.00
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82	0"	0"	0.00	0	0"	0"	0.00
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90	0"	0"	0.00	0	0"	0"	0.00
91	0"	0"	0.00	0	0"	0"	0.00
92	0"	0"	0.00	0	0"	0"	0.00
93	0"	0"	0.00	0	0"	0"	0.00
94	0"	0"	0.00	0	0"	0"	0.00
95	0"	0"	0.00	0	0"	0"	0.00
96	0"	0"	0.00	0	0"	0"	0.00
97	0"	0"	0.00	0	0"	0"	0.00
98	0"	0"	0.00	0	0"	0"	0.00
99	0"	0"	0.00	0	0"	0"	0.00
100	0"	0"	0.00	0	0"	0"	0.00

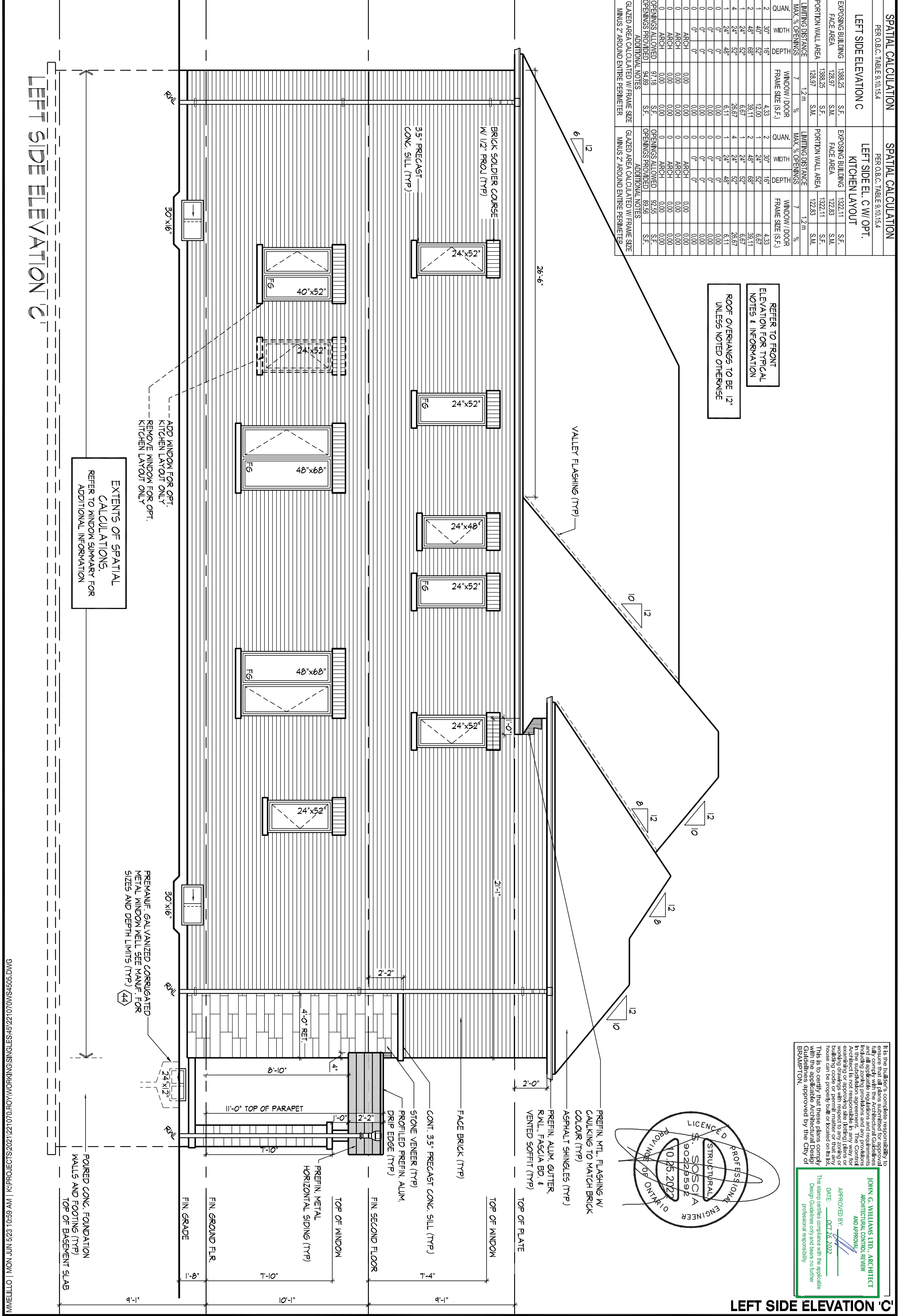
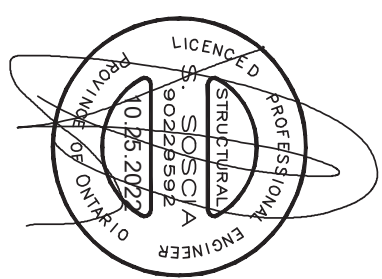
REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION  
ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

EXTENTS OF SPATIAL CALCULATIONS. REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION

ADD WINDOW FOR OPT. KITCHEN LAYOUT ONLY  
REMOVE WINDOW FOR OPT. KITCHEN LAYOUT ONLY

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APPROVED BY:   
DATE: OCT 26, 2022  
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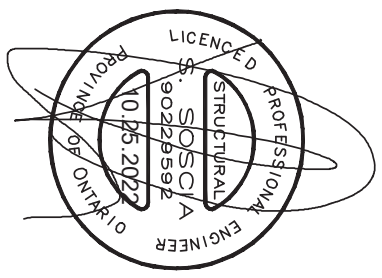
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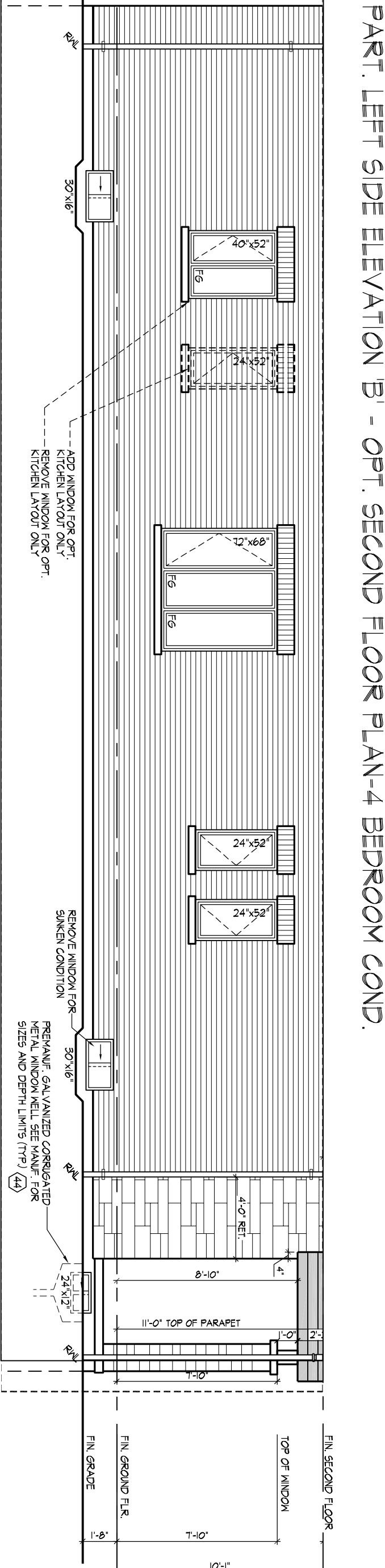
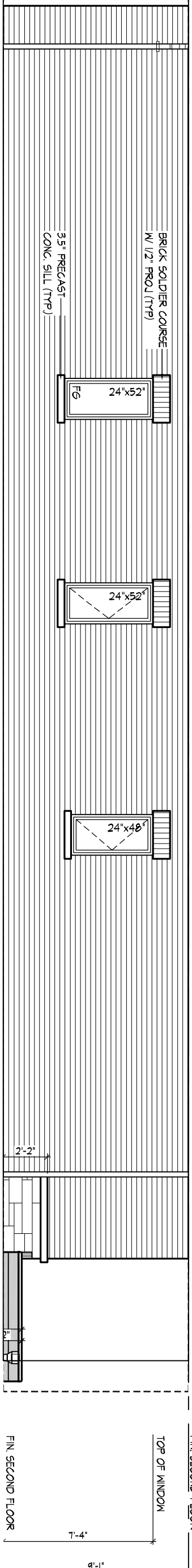
SPATIAL CALCULATION		SPATIAL CALCULATION		SPATIAL CALCULATION		SPATIAL CALCULATION		SPATIAL CALCULATION		SPATIAL CALCULATION	
PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4		PER O.B.C. TABLE 9.10.15.4	
LEFT SIDE ELEVATION C-4 BED	LEFT SIDE ELEVATION C-4 BED OPT. KITCHEN LAYOUT	LEFT SIDE ELEVATION C-4 BED+ OPT. IN-LAW SUITE	LEFT SIDE EL. C-4 BED W/ OPT. IN-LAW & OPT. KITCHEN LAYOUT	LEFT SIDE ELEVATION C W/ IN-LAW SUITE	LEFT SIDE EL. C W/ IN-LAW SUITE & KITCHEN	LEFT SIDE ELEVATION C-4 BED	LEFT SIDE ELEVATION C-4 BED OPT. KITCHEN LAYOUT	LEFT SIDE ELEVATION C-4 BED+ OPT. IN-LAW SUITE	LEFT SIDE EL. C-4 BED W/ OPT. IN-LAW & OPT. KITCHEN LAYOUT	LEFT SIDE ELEVATION C W/ IN-LAW SUITE	LEFT SIDE EL. C W/ IN-LAW SUITE & KITCHEN
EXPOSING BUILDING FACE AREA	1322.11	1322.11	1388.25	1388.25	1322.11	1322.11	1322.11	1388.25	1388.25	1322.11	1322.11
PORTION WALL AREA	122.83	122.83	128.97	128.97	122.83	122.83	122.83	128.97	128.97	122.83	122.83
MAX. % OPENINGS	7	7	7	7	7	7	7	7	7	7	7
LIMITING DISTANCE	12 m	12 m	12 m	12 m	12 m	12 m	12 m	12 m	12 m	12 m	12 m
QUAN	2	2	2	2	2	2	2	2	2	2	2
WIDTH	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"
DEPTH	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"
WINDOW / DOOR FRAME SIZE (S.F.)	4.33	4.33	4.33	4.33	4.33	4.33	4.33	4.33	4.33	4.33	4.33
ARCH	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
OPENINGS ALLOWED	92.55	92.55	97.18	97.18	92.55	92.55	92.55	97.18	97.18	92.55	92.55
OPENINGS PROVIDED	82.11	76.78	78.22	68.78	61.56	80.22	80.22	76.78	76.78	80.22	80.22
ADDITIONAL NOTES											
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER

It is the builder's complete responsibility to fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code. The Architect is not responsible for examining or approving site (lot) plans or working drawings with respect to any zoning or other regulatory requirements. The Architect's house can be properly built or located on the lot with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

APPROVED BY:  JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
DATE: OCT 26, 2022  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



**PARTIAL OPTIONAL LEFT SIDE ELEVATION 'C'**



**PART. LEFT SIDE ELEVATION 'B' W/ IN-LAW SUITE**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
Derek R. Santos 37308  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
HUNT DESIGN ASSOCIATES INC. 19695

**HUNT DESIGN ASSOCIATES INC.**  
www.huntdesign.ca

**ROYAL PINE HOMES - 220053**  
VALES OF HUMBER 'NORTH', BRAMPTON, ON.

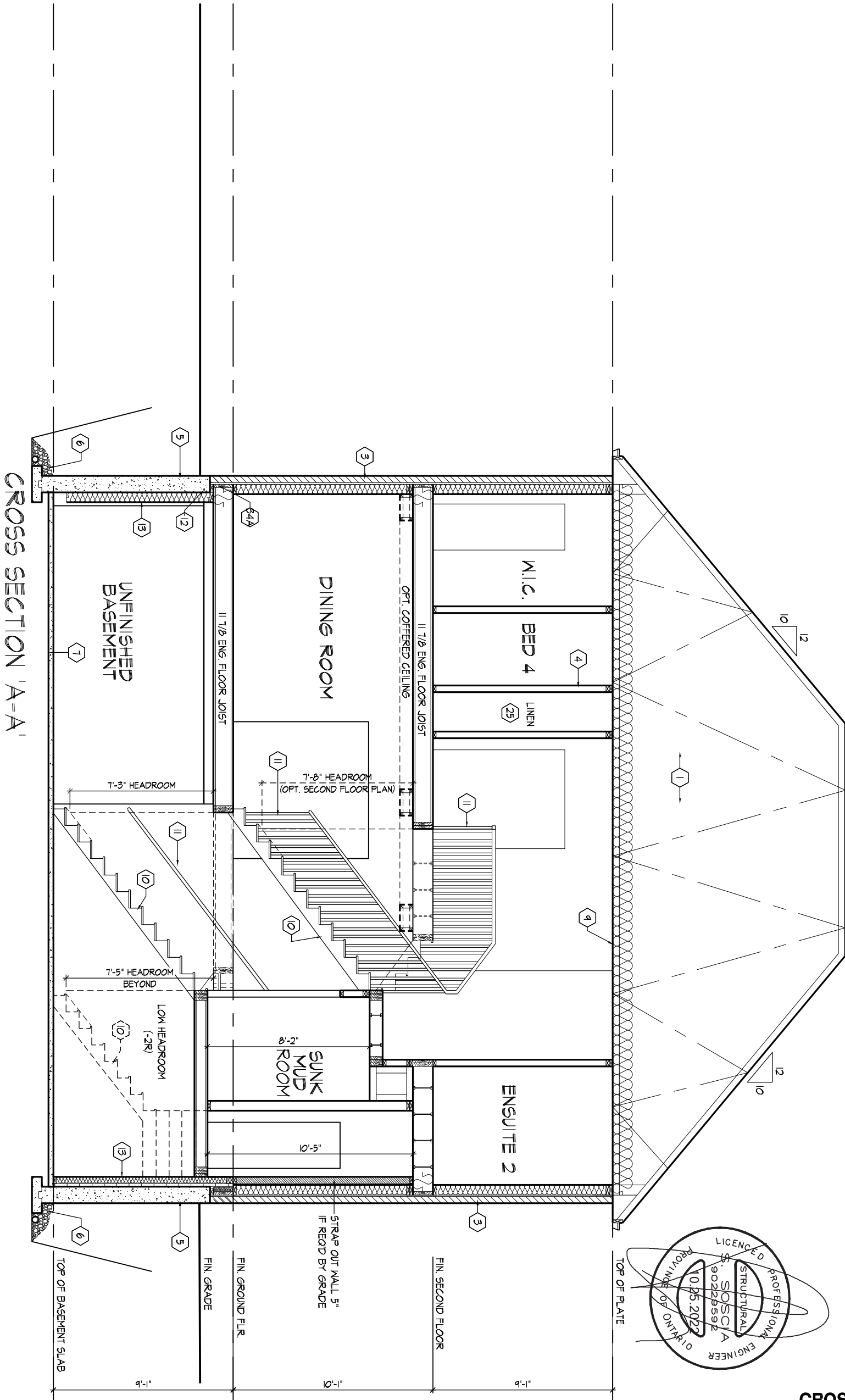
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Checked By: JL  
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File Number: 220053WS4505

**UNIT - 4505**  
REV.2023.05.25

Page Number: 25 of 29

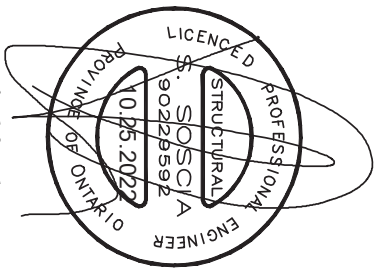
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It is the builder's complete responsibility to ensure that all construction fully complies with the applicable regulations and requirements including zoning provisions and any provisions of the Building Code of Ontario. The Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or other regulatory requirements that may apply to a house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



APPROVED BY: *[Signature]*  
 DATE: OCT 26, 2022  
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CROSS SECTION 'A-A'

MMELILLO | MON JUN 5 23, 10:59 AM | I:\PROJECTS\2021\221070-ROYWORKING\SINGLES\45\221070WS4505.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.  
 QUALIFICATION INFORMATION  
 Derek R. Santos 37308  
 NAME SIGNATURE BCIN  
 REGISTRATION INFORMATION  
 HUNT DESIGN ASSOCIATES INC. 19695

**HUNT**   
 DESIGN ASSOCIATES INC.  
 www.huntdesign.ca

**ROYAL PINE HOMES - 221070**  
**FORESTSIDE ESTATES INC., BRAMPTON, ON.**  
 Drawn By: MM Checked By: DS Scale: 3/16"=1'-0" File Number: 221070WS4505  
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

**UNIT - 4505**  
**REV.2023.05.25**  
 Page Number: 27 of 29

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## SECTION 1.0. CONSTRUCTION NOTES

- 1 ROOF CONSTRUCTION** (9.19., 9.23.13., 9.23.15.)  
NO. 210 (10.25 KG/M2) ASPHALT SHINGLES, 3/8" (9.5) PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND 2'-11" (900) FROM EDGE OF ROOF AND MIN. 12" (305) BEYOND INNER FACE OF EXTERIOR WALL. 2"x4" (38x89) TRUSS BRACING @ 6'-0" (1830) O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH MIN. 25% OR REQUIRED OPENINGS LOCATED AT TOP OF SPACE & MIN. 25% OF REQUIRED OPENINGS LOCATED AT BOTTOM OF SPACE. EAVESTROUGH TO BE 4" MIN. WITH RWL DISCHARGING ONTO CONCRETE SPLASH PADS OR PER MUNICIPAL REQUIREMENTS. TOWNHOUSES TO HAVE 5" MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN RWL.
- 1A ICE AND WATER SHIELD**  
PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).
- 1B PROFILED ROOF TRUSSES**  
ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.
- 2 SIDING WALL CONSTRUCTION (2"x6")**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.. INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)
- 2A SIDING WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.. INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)
- 2B SIDING WALL @ GARAGE CONSTRUCTION**  
SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)
- 3 BRICK VENEER WALL CONSTRUCTION (2"x6")**  
3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)
- 3A BRICK VENEER WALL CONSTRUCTION (2"x6") W/ CONTIN. INSULATION**  
3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS. ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)
- 3B BRICK VENEER WALL @ GARAGE CONSTRUCTION**  
3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQ.)
- 4 INTERIOR STUD PARTITIONS** (9.23.9.8., 9.23.10)  
BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2-38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.
- 4A EXT. LOFT WALL CONSTRUCTION (2"x6") - NO CLADDING**  
3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)
- 4B EXT. LOFT WALL CONSTRUCTION (2"x6") NO CLADDING W/ CONTINUOUS INSULATION**  
APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.. INSULATION AND 6 MIL POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)
- 5 FOUNDATION WALL/FOOTINGS**  
POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING. FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER AT THE TOP. THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED. CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900) SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1), (2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT. REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION WALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)]

MINIMUM STRIP FOOTING SIZES (9.15.3.3)	NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS			
		16" WIDE x 6" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK	36" WIDE x 14" THICK
1	1	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK
2	2	24" WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK	24" WIDE x 8" THICK
3	3	36" WIDE x 14" THICK	28" WIDE x 9" THICK	36" WIDE x 14" THICK	36" WIDE x 14" THICK

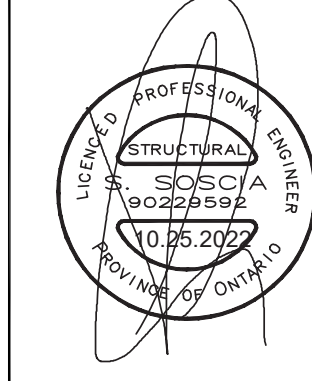
\*9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER 9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.

MINIMUM STRIP FOOTING SIZES (9.15.3.3)	NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALLS			
		16" WIDE x 6" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK	36" WIDE x 14" THICK
1	1	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK	16" WIDE x 6" THICK
2	2	24" WIDE x 8" THICK	20" WIDE x 6" THICK	24" WIDE x 8" THICK	24" WIDE x 8" THICK
3	3	36" WIDE x 14" THICK	28" WIDE x 9" THICK	36" WIDE x 14" THICK	36" WIDE x 14" THICK

## REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

- 5A FOUNDATION REDUCTION IN THICKNESS FOR MASONRY**  
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF MASONRY EXTERIOR FACING, THE REDUCED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2'-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))
- 5B FOUNDATION REDUCTION IN THICKNESS FOR JOISTS**  
WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS, THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1))
- 6 WEEPING TILE** (9.14.3.)  
4" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER
- 7 BASEMENT SLAB OR SLAB ON GRADE** (9.16.4.) (9.13.)  
3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL OR 20MPa (2900psi) CONC. WITH DAMPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. [(SB-12) 3.1.1.7.(5) & (6)]
- 8 EXPOSED FLOOR TO EXTERIOR** (9.10.17.10., & CAN/ULC-S705.2)  
PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL OSB CONFIRMING TO 9.29.9. FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.
- 9 EXPOSED CEILING TO EXTERIOR w/ ATTIC** (9.25.2.4)  
INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.
- EXPOSED CEILING TO EXTERIOR w/o ATTIC**  
JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1., 9.10.17.10)
- 10 ALL STAIRS/EXTERIOR STAIRS** (9.8.1.2., 9.8.2., 9.8.4.)
- |         | MAX. RISE        | MIN. RISE      | MAX. RUN     | MIN. RUN  | ALL STAIRS          |
|---------|------------------|----------------|--------------|-----------|---------------------|
| PRIVATE | 7 7/8" (200)     | 5" (125)       | 14" (355)    | 10" (255) | MAX. NOSING 1" (25) |
| PUBLIC  | 7" (180)         | 5" (125)       | NO LIMIT     | 11" (280) |                     |
|         | MIN. STAIR WIDTH | TAPERED TREADS |              |           |                     |
| PRIVATE | 2'-10" (860)     | MIN. RUN       | 5 7/8" (150) |           |                     |
|         |                  | MIN. AVG. RUN  | 10" (255)    |           |                     |
| PUBLIC  | 2'-11" (900)     | MIN. RUN       | 5 7/8" (150) |           |                     |
|         |                  | MIN. AVG. RUN  | 11" (280)    |           |                     |
- AVERAGE RUN OF TAPERED TREAD MEASURED AT A POINT 300mm FROM THE CENTERLINE OF INSIDE HANDRAIL. (9.8.4.3.)  
\*\* HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-5" (1950) FOR SINGLE DWELLING UNIT & 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.) REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)  
FOR AN EXTERIOR STAIR SERVING A GARAGE W/ MORE THAN 3 RISERS. GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.
- 11 GUARDS/HANDRAILS** (9.8.7., 9.8.8.)  
GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.8. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.  
GUARD HEIGHTS - O.B.C. 9.8.8.  
INTERIOR GUARDS: 2'-11" (900) MIN.  
EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE) 3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE)  
GUARDS FOR EXIT STAIRS: 3'-6" (1070) MIN.  
GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN.  
GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS) FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 5 1/2" (140) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH.  
REQUIRED GUARDS  
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.  
HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3.)  
MIN. HEIGHT AT STAIRS, RAMPS AND LANDINGS: 2'-10" (865)  
MAX. HEIGHT AT STAIRS, RAMPS AND LANDINGS: 3'-6" (1070)
- 12 SILL PLATES**  
2"x4" (38x89) SILL PLATE WITH 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED MIN. 4" (100) INTO CONC. @ 7'-10" (2388) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)
- 13 BASEMENT INSULATION** [(SB-12) 3.1.1.7.]  
PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.
- 14 BEARING STUD PARTITION IN BASEMENT** (9.15.3.6., 9.23.10.1.)  
2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER TO HEX NOTE 5. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.
- 15 ADJUSTABLE STEEL BASEMENT COLUMN** (9.15.3.4.)  
9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90) Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa AS PER SOILS REPORT.
- SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING  
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING
- 15A NON-ADJUSTABLE STEEL BASEMENT COLUMN**  
3 1/2" (90) Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa AS PER SOILS REPORT.
- SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING  
SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING
- 15B NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL**  
3 1/2" (90) Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4'-1/2"x10"x1/2" (120x250x12.7) WITH 2-1/2" Ø x 12" LONG x 2" HOOK ANCHORS (2- 12.70x305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM.
- 16 STEEL BEAM BEARING AT FOUNDATION WALL** (9.23.8.1.)  
BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90). CONC. NIB WALLS TO HAVE EXTENDED FOOTINGS
- 17 WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.(3), 9.23.9.3.)  
1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.
- 18 GARAGE SLAB** (9.16., 9.35.)  
4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN.
- 19 GARAGE TO HOUSE WALLS/CEILING** (9.10.9.16.)  
1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2)
- 19A GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION**  
1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2)
- 20 GARAGE DOOR TO HOUSE** (9.10.9.16., 9.10.13.10., 9.10.13.15.)  
GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.
- 21 EXTERIOR AND GARAGE STEPS**  
PRECAST CONC. STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX RISE 7 7/8" (200). MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STEPS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.
- 22 DRYER EXHAUST**  
CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32.
- 23 ATTIC ACCESS** (9.19.2.1.)  
ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) [(SB-12) 3.1.1.8.(1)]
- 24 FIREPLACE CHIMNEYS** (9.2.1.)  
TOP OF FIREPLACE CHIMNEY SHALL BE 2'-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2'-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.
- 25 LINEN CLOSET**  
PROVIDE 4 SHELVES MIN. 14" (356) DEEP.
- 26 MECHANICAL VENTILATION** (9.32.1.3.)  
MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.
- 27 PARTY WALL BEARING** (9.23.8.)  
12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT. REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.
- 28 WOOD FRAMING IN CONTACT TO CONCRETE**  
WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)
- 29 BUILT-UP WOOD POST AND FOOTING** (9.17.4.1., 9.15.3.7.)  
3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12" (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28
- 30 STEP FOOTINGS** (9.15.3.9.)  
MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).
- 31 CONC. PORCH SLAB** (9.16.4.)  
MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.
- 32 FURNACE VENTING** (9.32.)  
DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR, MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.
- 33 FIREPLACE VENTING** (9.32.3.)  
DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.
- 34 FLOOR FRAMING** (9.23.3.5., 9.23.9.4., 9.23.14.)  
T&G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6'-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.
- 34A HEADER CONSTRUCTION**  
PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.
- 35 EXPOSED BUILDING FACE w/ LIMITING DISTANCE < 3'-11" (1.20m)**  
WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CAN/ULC-S702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8" (600) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14. OR 9.10.15.). REFER TO DETAILS FOR TYPE & SPECS. \*\* AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 in² (130cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9.10.14.6.
- 36 COLD CELLAR PORCH SLAB** (9.39.)  
FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/ 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH DIRECTION. W/ 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., ANCHORED IN PERIMETER FND. WALLS. SLOPE SLAB 1.0% FROM DOOR.
- 37 RANGE HOODS AND RANGE-TOP FANS**  
COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.
- 38 CONVENTIONAL ROOF FRAMING** (9.23.13., 9.23.15.)  
2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD, 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9'-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14'-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

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## CONSTRUCTION NOTES

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Derek R. Santos 37308

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**UNIT - 4505 REV.2023.05.25**

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cont. SECTION 1.0. CONSTRUCTION NOTES

39 TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.)

Table with columns: WALL ASSEMBLY, WIND LOADS, EXTERIOR, STUDS, SPACING, MAX HEIGHT, BRICK, SIDING, etc.

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.

- FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

40 1 HR. PARTY WALL (CONC. BLOCK) ((SB-3) WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

40 DEL. STU 1 HR. PARTY WALL (DOUBLE STUD) ((SB-3) WALL TYPE 'W13c') 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A 2 HR. FIREWALL ((SB-3) WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

41 STUCCO WALL CONSTRUCTION (2"x6") STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41B STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.) \*\*\* FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2"(12.7) DENSGLASS GOLD GYPSUM BRD.

42 UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING) - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL REINFORCING AT BASEMENT WINDOWS 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 1" (25) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

43 STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

44 WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

45 SLOPED CEILING CONSTRUCTION ((SB-12) 3.1.1.8., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

46 FLAT ROOF/BALCONY CONSTRUCTION WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED), BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE, PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3), REMOVE CURB WHERE REQ. BALCONY CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

47 BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD, INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

Table: SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)

SECTION 2.0. GENERAL NOTES

2.1. WINDOWS 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITH THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800), (9.8.8.1.) 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

2.2. CEILING HEIGHTS THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

Table: ROOM OR SPACE vs MINIMUM HEIGHTS

2.3. MECHANICAL / PLUMBING 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS. 2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES. 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

2.4. LUMBER 1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER. 5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

2.5. STEEL (9.23.4.3.) 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

2.6. FLAT ARCHES 1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

2.7. ROOF OVERHANGS 1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305), UNLESS NOTED OTHERWISE.

2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.) 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.9. GRADING 1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

2.10. ULC SPECIFIED ASSEMBLIES ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

3.3. DOOR SCHEDULE

Table: DOOR SCHEDULE with columns: 1, 1A, 1B, 1C, 1D, 1E, 1F, 2A, 2, 3, 3A, 4, 4A, 5

3.4. ACRONYMS

Table: ACRONYMS with columns: ABBREVIATION, DESCRIPTION

3.5. SYMBOLS

Table: SYMBOLS with columns: SYMBOL, DESCRIPTION

SA SMOKE ALARM (9.10.19.) PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL, ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE '22".

CMD CARBON MONOXIDE ALARM (9.33.4.) \*\* CHECK LOCAL BY-LAWS FOR REQUIREMENTS \*\* A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

Table: PATTERNS AND REFERENCES for TWO STOREY VOLUME SPACE, VARYING PLATES, EXPOSED BUILDING FACE, 1 HR. PARTY WALL, 2 HR. FIREWALL

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): 1.06 kPa WIND PRESSURE (q50) (SB-1.2.): 0.48 kPa

STAMP area containing a circular professional engineer seal for SOSC A 90229592, dated 10.25.2022, and a text block for CONSTRUCTION NOTES 2.

SECTION 3.0. LEGEND

Table: LEGEND with columns: CODE, SIZE, BRICK, STONE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION Derek R. Santos 37308 NAME REGISTRATION INFORMATION HUNT DESIGN ASSOCIATES INC. 19695

ROYAL PINE HOMES - 221070 FORESTSIDE ESTATES INC., BRAMPTON, ON. UNIT - 4505 REV.2023.05.25 HUNT DESIGN ASSOCIATES INC. 19695