

GENERAL NOTES:

- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
(2) LAWNS AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.
(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.
(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE. DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
(9) DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
(11) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
(12) DRENNWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
(13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRENNWAY AND A UTILITY STRUCTURE IS 1.2m.
(14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
(15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
(19) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
(20) ALL DRENNWAY WIDTHS AND DRENNWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS
(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL. CONSULTANTS VERIFICATION REQUIRED.
(23) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
(24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

NOTE:

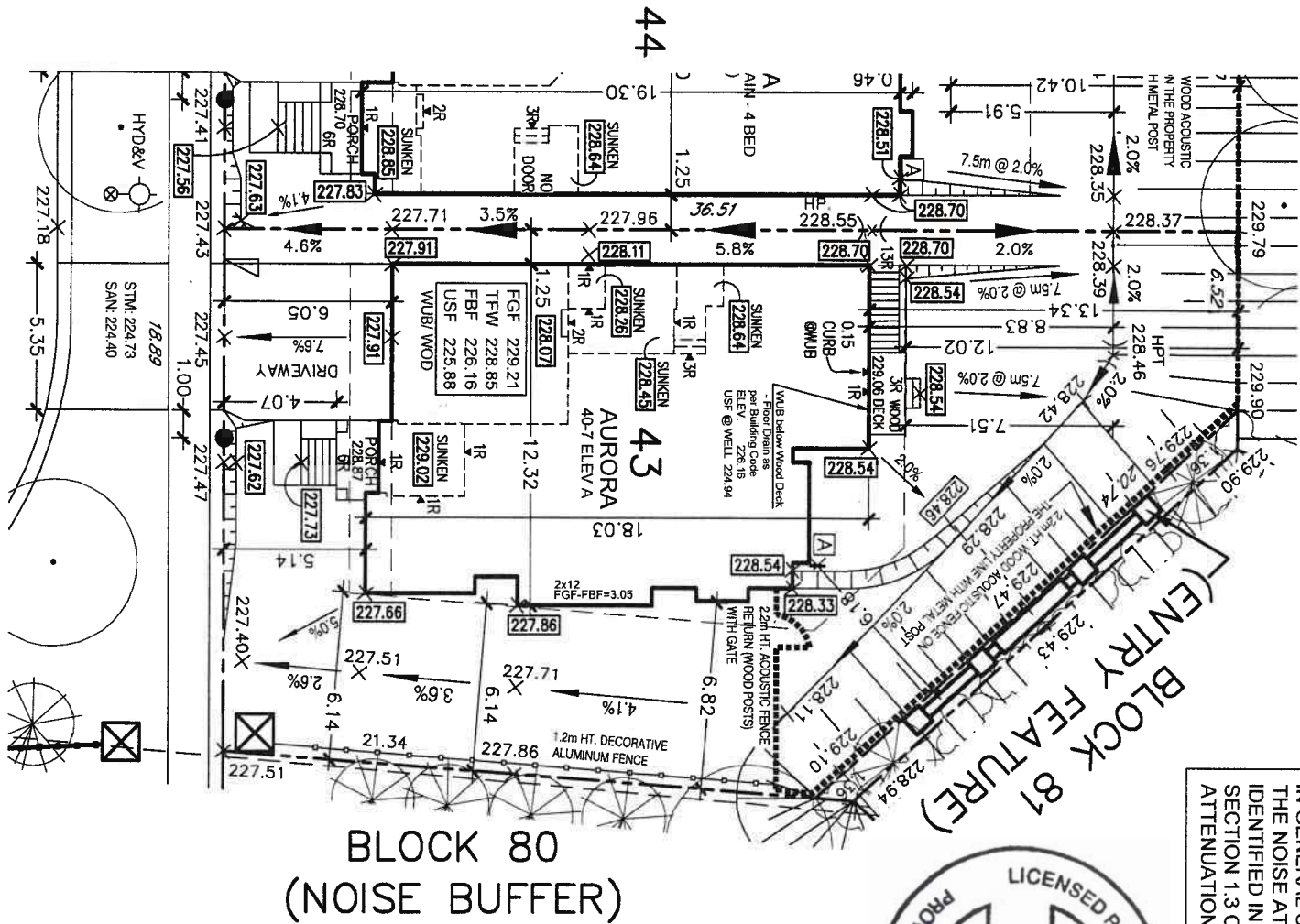
BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

SITE DATA	
LOT No.	43
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	9.64
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

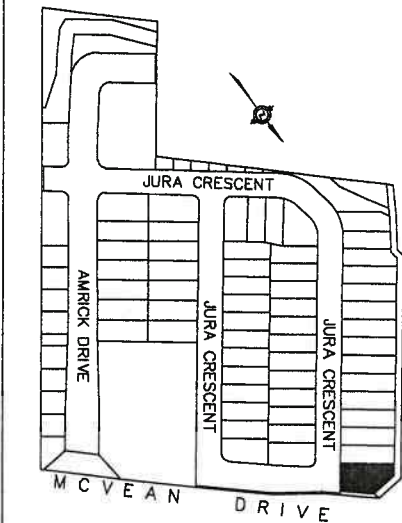
GENERAL NOTES

1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
Surveyor to confirm difference between FTL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79
(NOISE BUFFER)



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 43 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1.3 SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



KEY PLAN N.T.S.

BLOCK 80
(NOISE BUFFER)

SITE PLAN REVIEW
LOT NO. 43 REGISTERED PLAN 43M-2122
THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.
NO COMMENT
COMMENTS AS NOTED ☒ DATE 4 May 22
REVIEWED BY AB
CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

LEGEND

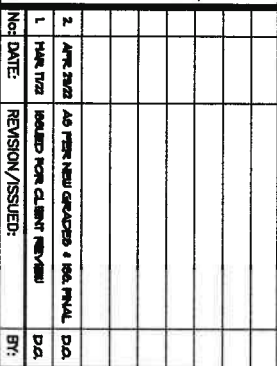
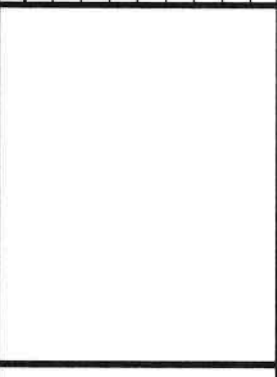
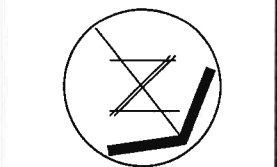
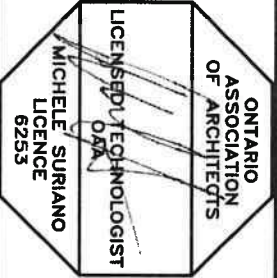
- PROPOSED GRADES
X 286.00 EXISTING GRADES
FGF FINISHED GROUND FLOOR
TFW TOP OF FOUNDATION WALL
FBE FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS
USFR UNDERSIDE OF FOOTINGS REAR
USFR UNDERSIDE OF FOOTINGS FRONT
SWALE DIRECTION
W.O.D WALK OUT DECK
W.B.W WALK OUT DECK
EXTERIOR DOOR LOCATION
- STREET LIGHT
HYDRA-TRANSFORMER
VALVE CHAMBER
CABLE TV PEDestal
BELL PEDestal
CATCH BASIN
HYDRO SERVICE LATERAL
STREET SIGN
REVERSE PLAN
ENGINEERING FILL LOTS
LOT WITH SIDE/REAR UPGRADE
WATER SERVICE
STORM & SANITARY CONNECTION(SINGLE)
STORM & SANITARY CONNECTION(DOUBLE)
- ROOF COLLECTOR
MAILBOX PAD
DOWNSPOUT
FIRE RATED WALL
GAS METER
HYDRO METER
AIR CONDITIONER

1	APR 2022	AD FOR NEW GRADING & S.W. FILL	D.A.
2	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.
3	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.
4	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.
5	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.
6	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.
7	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.
8	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.
9	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.
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99	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.
100	MAY 2022	REVISION FOR CLARITY REVIEW	D.A.

SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Royson Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924



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(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
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(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
(10) WEeping TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
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(12) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
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(20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS
(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
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Any discrepancies are to be reported to the Builder immediately.
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5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

NOTE:

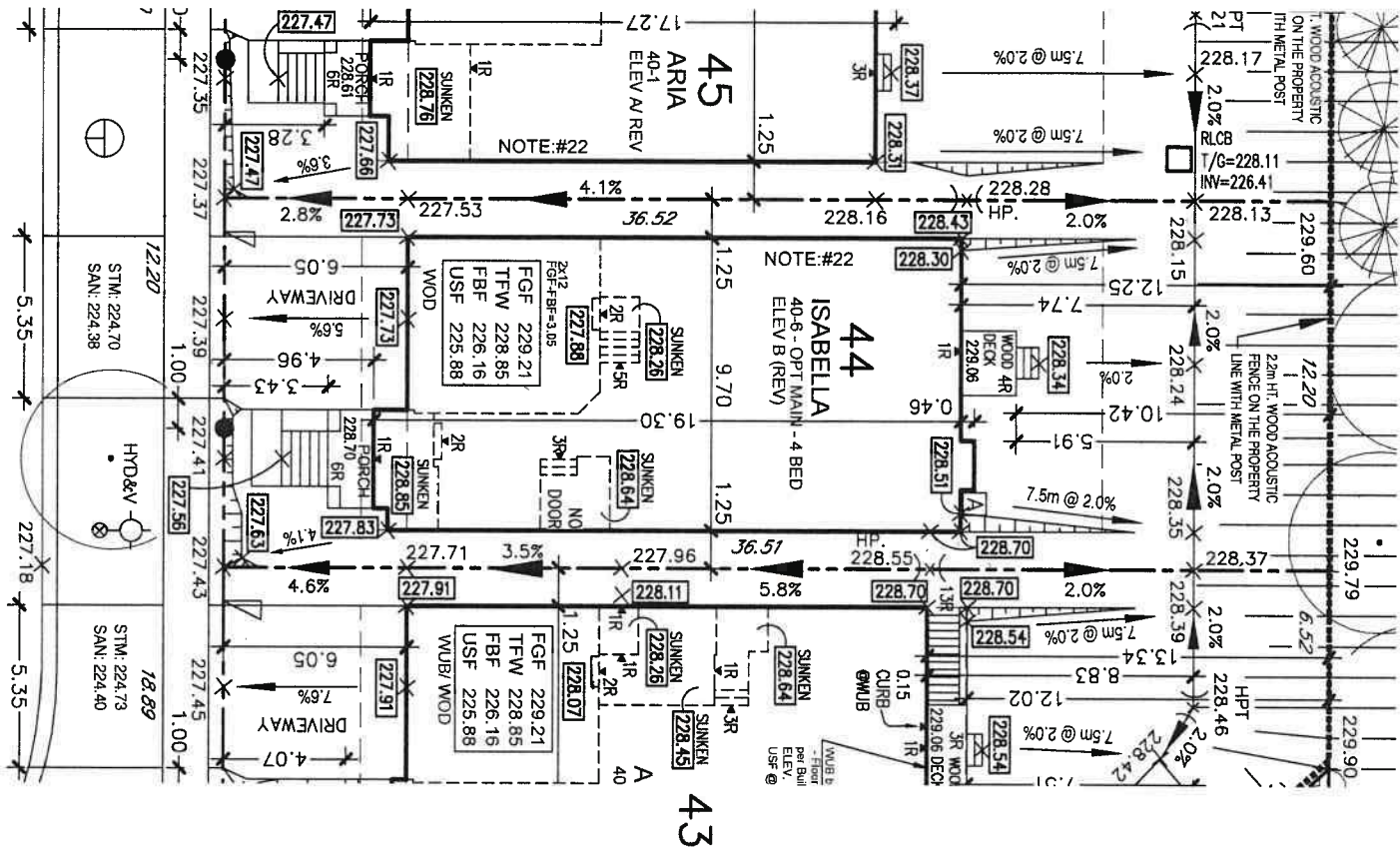
BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

SITE DATA	
LOT No.	44
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	9.16
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

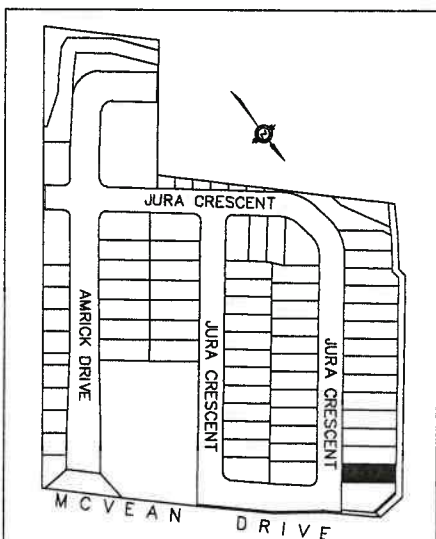
LEGEND	
X 286.00 PROPOSED GRADES	STREET LIGHT
FGF EXISTING GROUND FLOOR	TRANSFORMER
TFW TOP OF FOUNDATION WALL	VALVE CHAMBER
FBF FINISHED BASEMENT FLOOR	BELL PEDESTAL
USF UNDERSIDE OF FOOTINGS	CATCH BASIN
USF UNDERSIDE OF FOOTINGS REAR	HYDRO SEVICE LATERAL
USF SWALE DIRECTION	STREET SIGN
LOT WITH SIDE/REAR UPGRADE	ENGINEERING FILL LOTS
WATER SERVICE	WATER SERVICE
STORM & SANITARY CONNECTION(SINGLE)	STORM & SANITARY CONNECTION(SINGLE)
STORM & SANITARY CONNECTION(DOUBLE)	STORM & SANITARY CONNECTION(DOUBLE)
ROOF COLLECTOR	ROOF COLLECTOR
MALBOX PAD	MALBOX PAD
DOWNSPOUT	DOWNSPOUT
FIRE RATED WALL	FIRE RATED WALL
GAS METER	GAS METER
HYDRO METER	HYDRO METER
AIR CONDITIONER	AIR CONDITIONER

1	APR 2022	AS PER NEW GRADING & S&S PLAN.	D.S.
1	MAY 2022	RECEIVED FOR CLIENT REVIEW	D.S.
INC. DATE	REVISION/ISSUED:		BR:

BLOCK 79 (NOISE BUFFER)



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 44 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



SITE PLAN REVIEW

LOT NO. 44 REGISTERED PLAN 43M-2122
THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
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NO COMMENT
REVIEWED BY: [Signature]
COMMENTS AS NOTED
DATE: 4 May 22
303 CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

ONTARIO ASSOCIATION OF ARCHITECTS
LICENSED TECHNOLOGIST
MICHELLE SURIANO
LICENCE 62553
SURIANO DESIGN CONSULTANTS INC.
51 Royson Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT No.	44	DRAWING TITLE:	SITE PLAN
DATE	APR 29/22	PROJECT NAME:	VALES OF HUMBER
SCALE	1:250	PAGE NO.	CLIENT NAME:
BY	DO	PROJECT No	ROYAL PINE HOMES
19-277			

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- (18) PAVED STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
- (19) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
- (20) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
- (21) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS.
- (22) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
- (23) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
- (24) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
- (25) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
- (26) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND ASSESSMENT SLAB IF PCC IS PROPOSED.

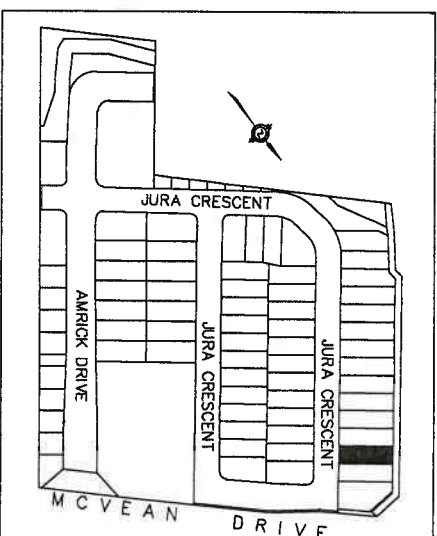
1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
Surveyor to confirm difference between FFL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveway.
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plan and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway, if within 1m to be relocated at builders expense.

SITE DATA	
LOT No.	45
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	9.62
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

LEGEND	
X [286.00]	PROPOSED GRADES
X 286.00	EXISTING GRADES
FG	FINISHED GRADE FLOOR
TF	TOP OF FOUNDATION WALL
FB	FINISHED BASEMENT FLOOR
USF	UNDERSIDE OF FOOTINGS
USFR	UNDERSIDE OF FOOTINGS REAR
USFT	UNDERSIDE OF FOOTINGS FRONT
SW	SWALE DIRECTION
—	DIRECTION OF FLOW
W.O.D	WALK OUT DECK
W.B	WALK OUT BASEMENT
—	EXTERIOR DOOR LOCATION
☉	STREET LIGHT
⊙	HYDRANT
⊙	TRANSFORMER
⊙	VALVE CHAMBER
⊙	GABLE TV PEDISTAL
⊙	BELL PEDISTAL
⊙	HYDRO SERVICE LATERAL
⊙	STREET SIGN
R	REVERSE PLAN
⊙	ENGINEERING FILL LOTS
⊙	LOT WITH SLOPE/REAR UPGRADE
⊙	WATER SERVICE
⊙	STORM & SANITARY CONNECTION(S) (SINGLE)
⊙	STORM & SANITARY CONNECTION(S) (DOUBLE)
⊙	ROOF COLLECTOR
⊙	MAILBOX PAD
⊙	DOWNSPOUT
⊙	FIRE RATED WALL
⊙	GAS METER
⊙	HYDRO METER
⊙	AIR CONDITIONER

2.	APR 2022	AS FIRST YEAR DEGREE & BBA, PUNJ	D.O.
1.	MAY 1992	ISSUED FOR CLERK (NEW YEAR)	D.O.
NO:	DATE:	REVISION/ISSUED:	BY:

[illegible]

**ONTARIO
ASSOCIATION
OF ARCHITECTS**

**LICENSED TECHNOLOGIST
O.A.A.**

**MICHELE SUPIANO
LICENCE
6253**

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysan Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT NO.	LOT 45		DRAWING TITLE :	SITE PLAN	
DATE	APR 29/22		PROJECT NAME :	VALES OF HUNBER	
SCALE	1:250				
BY	DO		PAGE NO.	CLIENT NAME :	
PROJECT NO	9-277				

45 REGISTERED PLAN 49 M-2122

LOT NO. **45** REGISTERED PLAN **4B M-2122**

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAIL SHALL REMAIN WITH THE DESIGNER.

NO COMMENT ☒ REVIEWED BY **AB**
COMMENTS AS NOTED ☐ DATE **4 MAY 22**

CDC CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

GENERAL NOTES:

- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.5m MINIMUM.
(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.
(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
(10) DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
(11) WEERING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
(12) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
(13) DRAINWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
(14) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRAINWAY AND A UTILITY STRUCTURE IS 1.2m.
(15) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
(16) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
(17) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(18) PAVED STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(19) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
(20) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SINKING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
(21) ALL DRAINWAY WIDTHS AND DRAINWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS.
(22) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
(23) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL.
(24) SOIL CONSULTANTS VERIFICATION REQUIRED.
(25) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
(26) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
(27) LIMESTONE NOT TO BE USED AS BEDDING FOR WEERING TILE AND BASEMENT SLAB IF FCC IS PROPOSED.

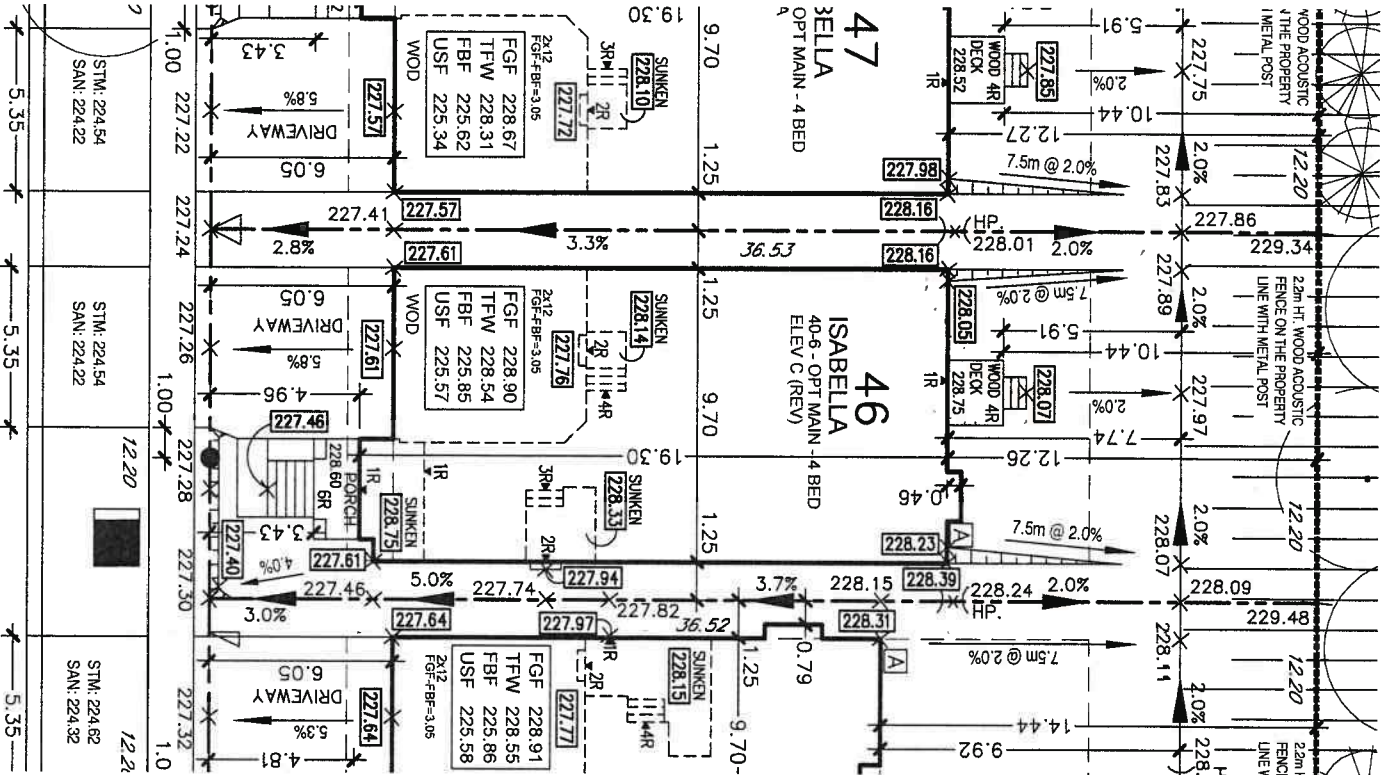
NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

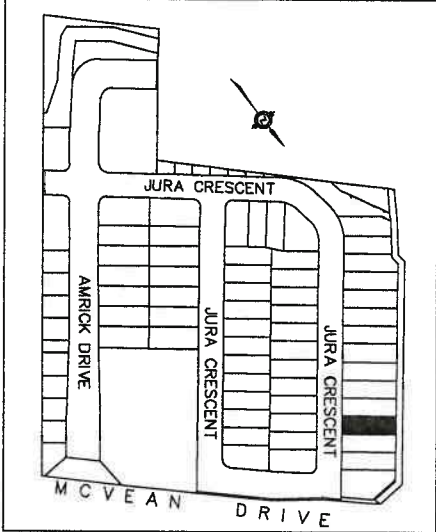
GENERAL NOTES

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Surveyor to confirm difference between FTL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79 (NOISE BUFFER)



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 46 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



KEY PLAN N.T.S.

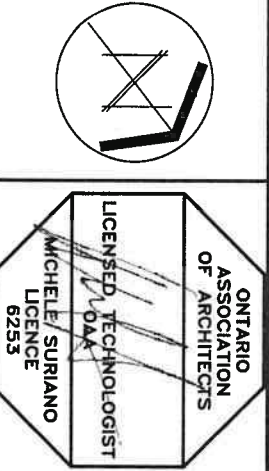
JURA CRESCENT

SITE DATA	
LOT No.	46
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	9.70
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

LEGEND

- PROPOSED GRADES
X 286.00 EXISTING GRADES
FGF FINISHED GROUND FLOOR
TFW TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS
USF UNDERSIDE OF FOOTINGS FRONT
SWALE DIRECTION
W.O.B WALK OUT DECK
EXTERIOR DOOR LOCATION
- STREET LIGHT
HYDRANT
TRANSFORMER
VALVE CHAMBER
CABLE TV PEDESTAL
BELL PEDESTAL
CATCH BASIN
HYDRO SERVICE LATERAL
STREET SIGN
REVERSE PLAN
ENGINEERING FILL LOTS
LOT WITH SIDE/REAR UPGRADE
WATER SERVICE
STORM & SANITARY CONNECTION(SINGLE)
STORM & SANITARY CONNECTION(DOUBLE)
- ROOF COLLECTOR
WALKBOX PAD
DOWNSPOUT
FIRE RATED WALL
GAS METER
HYDRO METER
AIR CONDITIONER

NO.	DATE	REVISION/ISSUED	BY:
1	APR 29/22	AS PER NEW GRADING & SLOPE PLAN	D.A.
2	APR 29/22	REVIEW FOR CLIENT REVIEW	D.A.



SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Rogers Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SITE PLAN REVIEW

LOT NO. 46 REGISTERED PLAN 43M-2122

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT
COMMENTS AS NOTED
REVIEWED BY: [Signature]
DATE: 4 May 22

CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

LOT No. 46

SITE PLAN

DATE: APR 29/22

PROJECT NAME: VALES OF HUMBER

SCALE: 1:250

BY: D.O.

PAGE NO.

CLIENT NAME:

PROJECT No. 19-271

ROYAL PINE HOMES

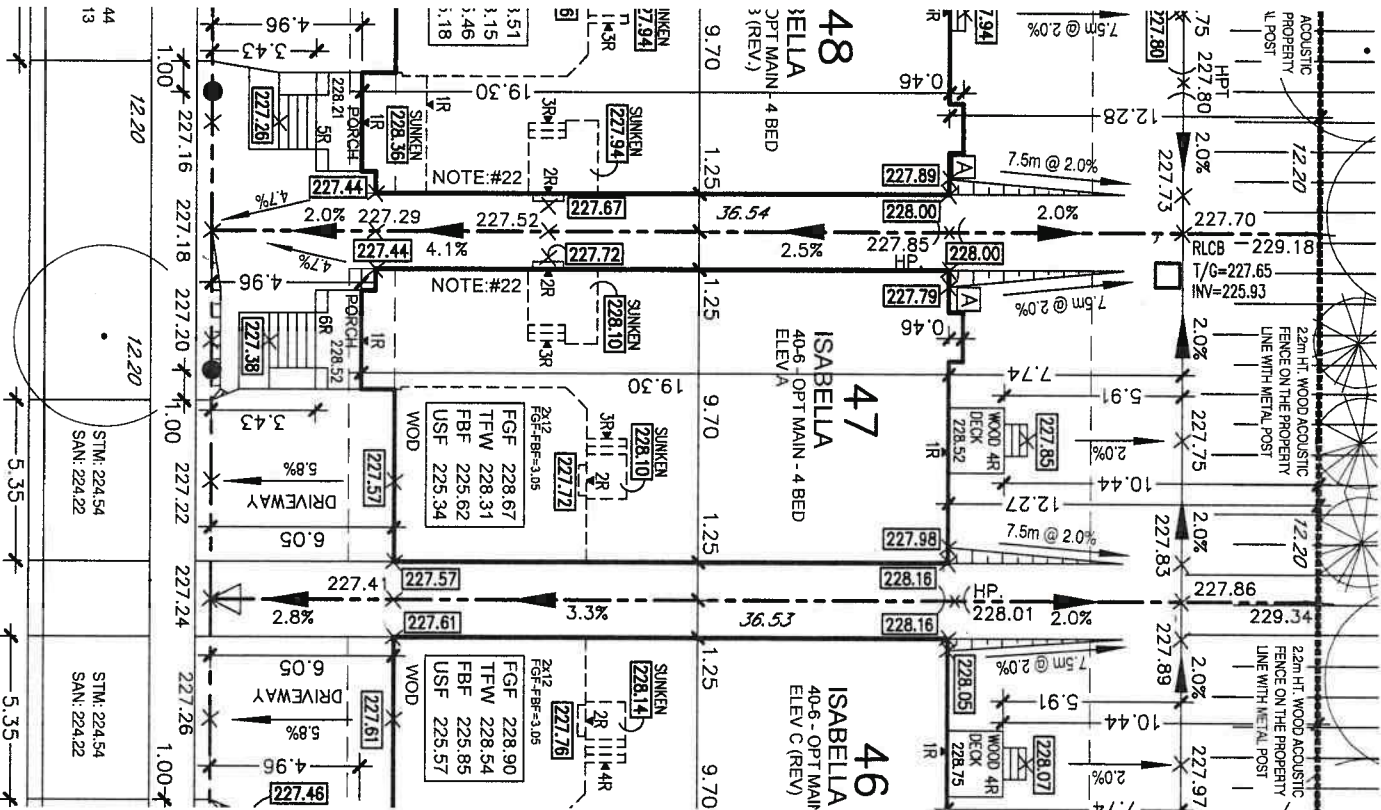
GENERAL NOTES:

- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
- (2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
- (3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
- (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
- (5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
- (6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.
- (7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS. 6m FOR MULTIPLE UNITS.
- (8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
- (9) DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- (10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
- (11) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
- (12) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
- (13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- (14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
- (15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
- (16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
- (17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
- (18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
- (19) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
- (20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS.
- (21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
- (22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL. CONSULTANTS VERIFICATION REQUIRED.
- (23) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
- (24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
- (25) Limestone NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

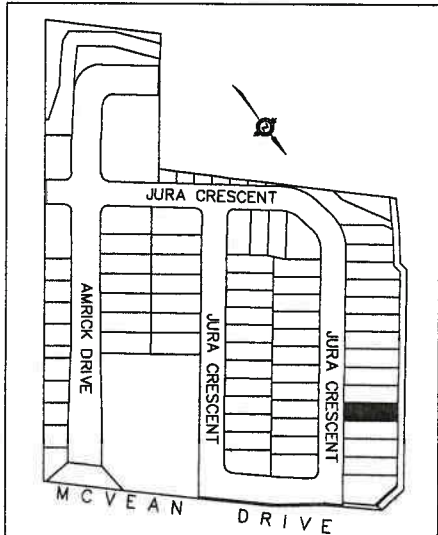
GENERAL NOTES

1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
- Surveyor to confirm difference between FTL and USF before proceeding with exconction.
- Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79 (NOISE BUFFER)



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 47 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

SITE DATA	
LOT No.	47
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	9.57
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

LEGEND	
X 286.00 PROPOSED GRADES	STREET LIGHT
X 286.00 EXISTING GRADES	HYDRANT
FOR FINISHED GROUND FLOOR	TRANSFORMER
TOP OF FOUNDATION WALL	VALVE CHAMBER
FINISHED BASEMENT FLOOR	CABLE TV PEDESTAL
UNDERSIDE OF FOOTINGS REAR	CATCH BASIN
USFR UNDERSIDE OF FOOTINGS FRONT	HYDRO SERVICE LATERAL
USFR UNDERSIDE OF FOOTINGS REAR	STREET SIGN
USFR UNDERSIDE OF FOOTINGS FRONT	REVERSE PLAN
SWALE DIRECTION	ENGINEERING FILL LOTS
W.O.B WALK OUT DECK	LOT WITH SIDE/REAR UPGRADE
W.O.B WALK OUT BASEMENT	WATER SERVICE
EXTERIOR DOOR LOCATION	STORM & SANITARY CONNECTION(SINGLE)
	STORM & SANITARY CONNECTION(DOUBLE)

ROOF COLLECTOR	
MAILBOX PAD	
DOWNSPOUT	
FIRE RATED WALL	
GAS METER	
HYDRO METER	
AIR CONDITIONER	
1. APR. 2022	AS PER NEW GRADING & H.A. FINAL
1. MAR. 2022	ISSUED FOR CLIENT REVIEW
1. MAR. 2022	REVISION/ISSUED:
1. MAR. 2022	BY:

ONTARIO ASSOCIATION OF ARCHITECTS

LICENSED TECHNOLOGIST

MICHELE SURIANO

LICENCE 6253

SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.

51 Rayson Road, Unit 1

Vaughan, Ontario L4L 8P9

T. 905-264-0924

LOT No.		DRAWING TITLE :	
LOT 47		SITE PLAN	
DATE		PROJECT NAME :	
APR 29/22		VALES OF HUMBER	
SCALE			
1:250			
BY		PAGE NO.	
DO		CLIENT NAME :	
PROJECT No		ROYAL PINE HOMES	
19-277			

SITE PLAN REVIEW

LOT NO. 47 REGISTERED PLAN 43M-2422

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT

COMMENTS AS NOTED

REVIEWED BY: AR

DATE: 4 May 22

CANDEVCON LIMITED

CONSULTING ENGINEERS AND PLANNERS

GENERAL NOTES:

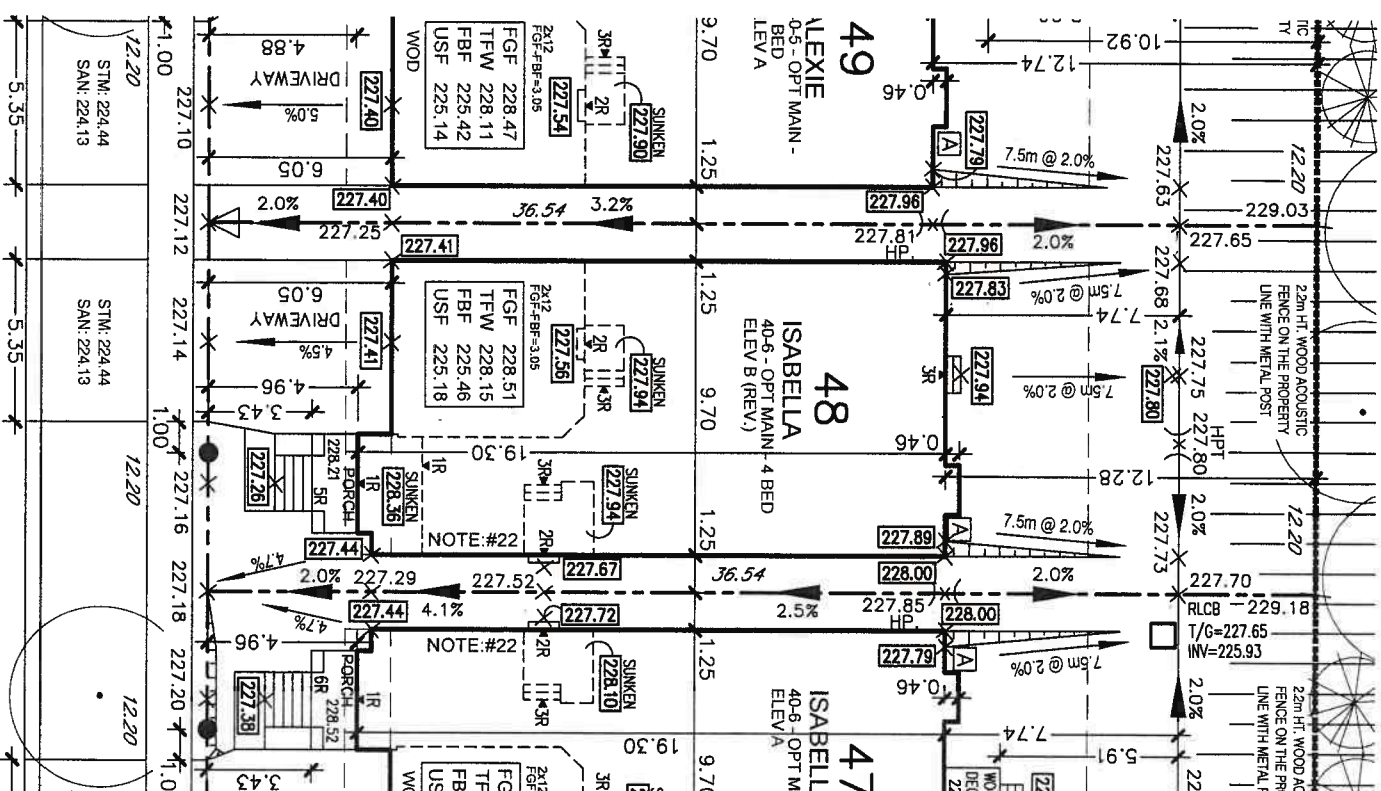
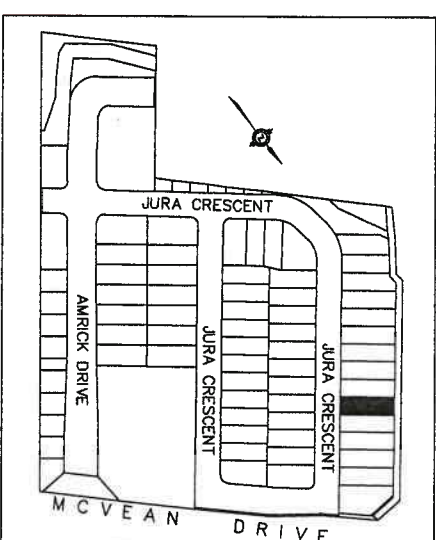
- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE. CERTAIN LOTS MAY REQUIRE CHANGES.
- (2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
- (3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPISHED BY THE USE OF A RETAINING WALL. REMAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
- (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
- (5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2M. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
- (6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6M MINIMUM.
- (7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.
- (8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
- (9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- (10) WEERING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
- (11) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
- (12) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
- (13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- (14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
- (15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
- (16) BRICKLITE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
- (17) PAVI STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
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- (22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
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- (25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEERING TILE AND ASSESSMENT SLAB IF FDC IS PROPOSED.

GENERAL NOTES

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Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1,22cm below finished grade. Underneath of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0,40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0,15m above finished grade.
6. Unprotected openings (windows/doors) must be min 1,2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79 (NOISE BUFFER)

WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 48 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



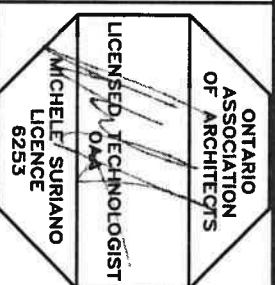
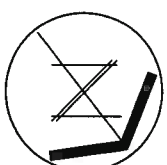
NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED

SITE DATA	
LOT No.	48
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	8.80
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

LEGEND

- [illegible]

[illegible]

SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT No.	DRAWING TITLE :	
LOT 48	SITE PLAN	
DATE	PROJECT NAME :	
APR 29/22	VALES OF HUMBER	
SCALE		
1:250		
BY	PAGE NO.	CLIENT NAME :
DO		
PROJECT No		
19-217		

SITE PLAN REVIEW

48... REGISTERED PLAN... 43M-2122

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT ☒ REVIEWED BY **AB**
COMMENTS AS NOTED ☐ DATE **4 May 22**

CD CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

[illegible]

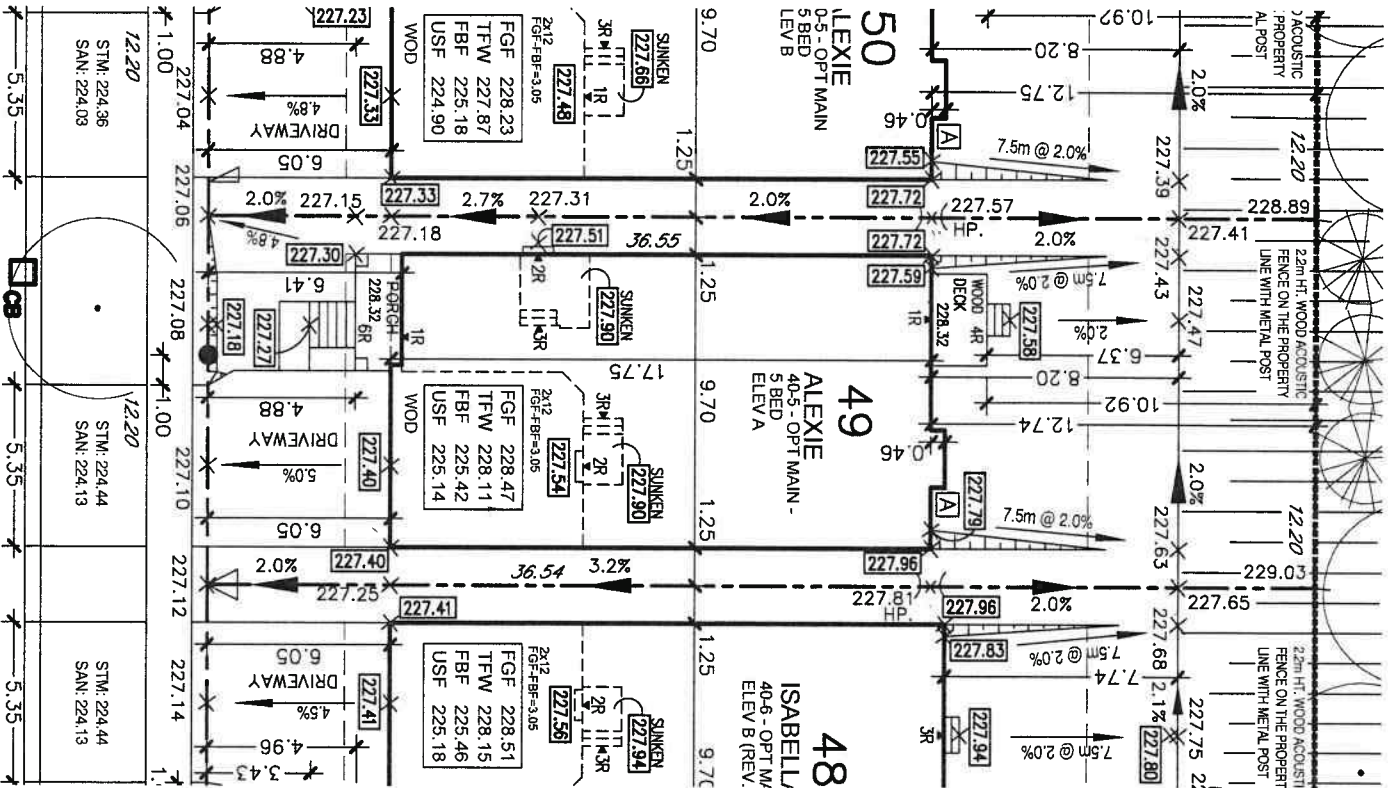
GENERAL NOTES:

- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.
(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS. 6m FOR MULTIPLE UNITS.
(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
(10) DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
(11) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
(12) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
(13) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
(14) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
(15) HOUSE STILES ARE TO BE USED TO SUIT THE LOT GRADING.
(16) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
(17) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(18) PAVED STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(19) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
(20) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
(21) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS
(22) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
(23) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
(24) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
(25) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
(26) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

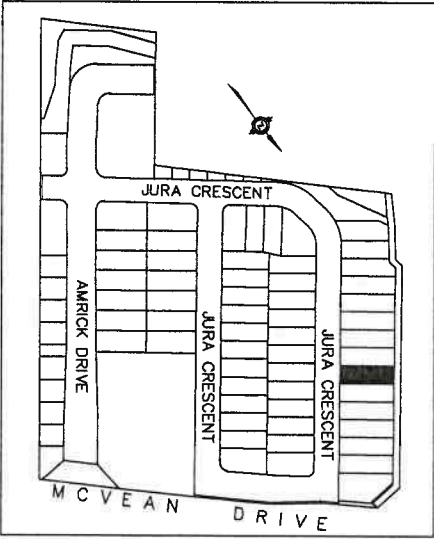
GENERAL NOTES

1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
Surveyor to confirm difference between FTL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79 (NOISE BUFFER)



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 49 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1.3 SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



KEY PLAN N.T.S.

NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

SITE DATA	
LOT NO.	49
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	9.51
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

LEGEND	
	STREET LIGHT
	HYDRANT
	TRANSFORMER
	VALVE CHAMBER
	CABLE TV PEDESTAL
	BELL PEDESTAL
	CATCH BASIN
	HYDRO SERVICE LATERAL
	STREET SIGN
	REVERSE SIGN
	ENGINEERING FILL LOTS
	LOT WITH SIDE/REAR UPGRADE
	WATER SERVICE
	STORM & SANITARY CONNECTION(SINGLE)
	STORM & SANITARY CONNECTION(DOUBLE)
	EXTERIOR DOOR LOCATION
	ROOF COLLECTOR
	MAILBOX PAD
	DOWNSPOUT
	FIRE RATED WALL
	GAS METER
	HYDRO METER
	AIR CONDITIONER

1	DATE	19-277	BR:
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100	DATE	19-277	BR:

JURA CRESCENT

SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Royson Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SITE PLAN REVIEW

LOT NO. 49 REGISTERED PLAN 43M-2122
THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.
NO COMMENT
COMMENTS AS NOTED
REVIEWED BY: AB
DATE: 4 May 22

GO3 CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

LOT No. 49
DATE APR 29/22
SCALE 1:250
BR DO
PROJECT No 19-277

SITE TITLE :
PROJECT NAME :
VALES OF HUMBER

PAGE NO. CLIENT NAME :
ROYAL PINE HOMES

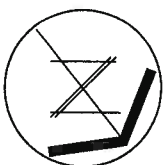
- (1) THESE SIDEWAYS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
- (2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
- (3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6m ARE TO BE ACCOMPLISHED BY IN USE OF A RETAINING WALL. REMAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
- (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3m. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
- (5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SIDE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
- (6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.
- (7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.
- (8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
- (9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
- (10) DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- (11) WEeping TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
- (12) 200mm OF TOP-SOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
- (13) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
- (14) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- (15) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
- (16) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPILT DRAINAGE.
- (17) BRICKLAIN TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
- (18) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
- (19) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
- (20) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
- (21) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS.
- (22) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
- (23) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MULTIPURPOSE SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
- (24) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
- (25) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
- (26) LIMESTONE NOT TO BE USED AS BEDDING FOR WEeping TILE AND ASSESSMENT STUDY IF PDC IS PROPOSED.

1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
Surveyor to confirm difference between FTL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveway
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

Site plan for ALEXIE 40-5 - OPT MAIN - 5 BED ELEV B. The plan shows two main building footprints, one on the left and one on the right, separated by a central driveway and parking area. The left building is labeled 'ALEXIE 40-5 - OPT MAIN - 5 BED ELEV B' and has a footprint of 17.75 x 36.56. The right building is labeled 'ALEXIE 40-5 - OPT MAIN - 5 BED ELEV B' and has a footprint of 17.75 x 36.55. The plan includes various rooms such as bedrooms (BR), bathrooms (BTH), living areas (LIV), dining areas (DIN), and kitchen areas (KCH). It also shows a central driveway, parking spaces, and a central utility area. The plan is oriented with North at the top. The site is bounded by a 2m HT. WOOD ACUSTIC FENCE ON THE PROPERTY LINE WITH METAL POST. The plan includes dimensions, elevations, and notes.



BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

[illegible]

ONTARIO
ASSOCIATION
OF ARCHITECTS

LICENSED TECHNOLOGIST
OAA

MICHELLE SURIANO
LICENSEE
6253

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT NO. 50 REGISTERED PLAN A-3-M-2132
THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED
AS BEING IN CONFORMITY WITH THE OVERALL APPROVED
GRADING PLANS FOR THE SUBDIVISION.
THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION
REASON ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE
RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN
WITH THE DESIGNER.

NO COMMENT ☒ REVIEWED BY AB
COMMENTS AS NOTED ☐ DATE 4 May 22

CD CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

GENERAL NOTES:

- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
- (2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
- (3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPANIED BY USE OF A RETAINING WALL. REMAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
- (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
- (5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
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- (7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.
- (8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
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- (11) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
- (12) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
- (13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- (14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
- (15) SEM-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
- (16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
- (17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
- (18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
- (19) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
- (20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS
- (21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
- (22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
- (23) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
- (24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
- (25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

GENERAL NOTES

1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work. Surveyor to confirm difference between FTL and USF before proceeding with excavation. Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
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6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

NOTE:

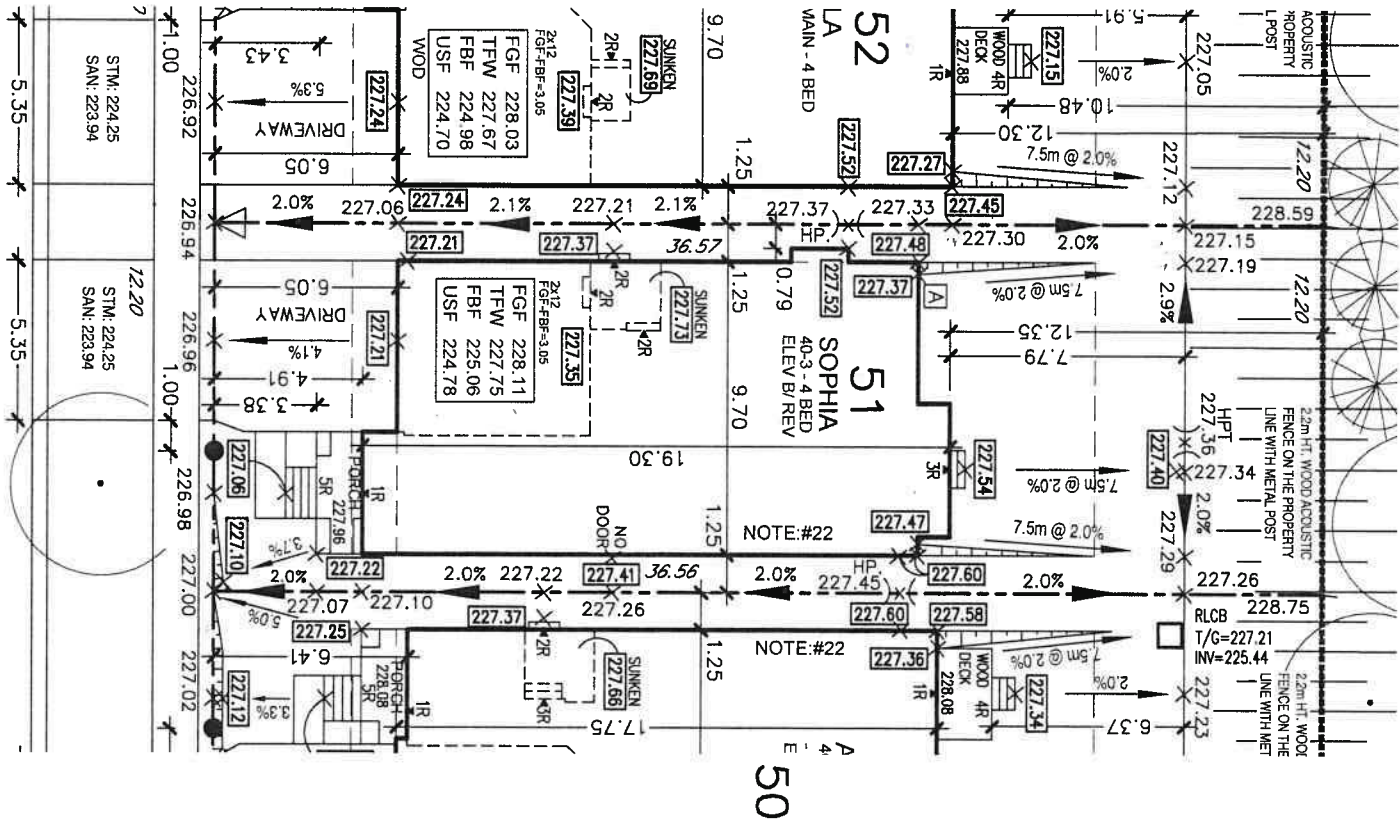
BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS. UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

SITE DATA	
LOT NO.	51
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	8.61
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

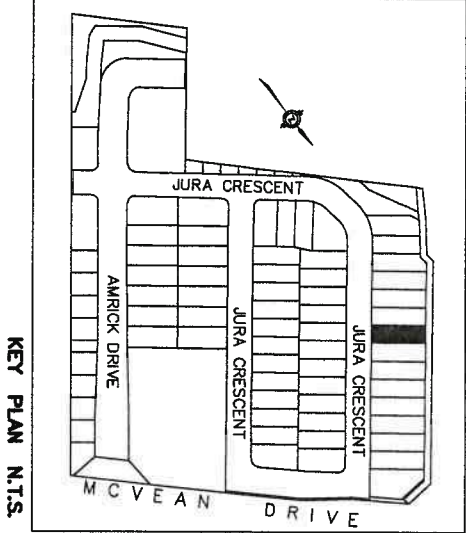
LEGEND

⊙ STREET LIGHT	⊙ ROOF COLLECTOR
⊙ HYDRANT	⊙ MAILBOX PAD
⊙ TRANSFORMER	⊙ DOWNSPOUT
⊙ VALVE CHAMBER	⊙ FIRE RATED WALL
⊙ CABLE TV PEDESTAL	⊙ GAS METER
⊙ BELL PEDESTAL	⊙ HYDRO METER
⊙ CATCH BASIN	⊙ AIR CONDITIONER
⊙ HYDRO SERVICE LATERAL	
⊙ STREET SIGN	
⊙ REVERSE PLAN	
⊙ ENGINEERING FILL LOTS	
⊙ LOT WITH SIDE/REAR UPGRADE	
⊙ WATER SERVICE	
⊙ STORM & SANITARY CONNECTION(SINGLE)	
⊙ STORM & SANITARY CONNECTION(DOUBLE)	
⊙ EXTERIOR DOOR LOCATION	

BLOCK 79 (NOISE BUFFER)



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 51 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



SITE PLAN REVIEW

LOT NO. **51** REGISTERED PLAN **43M-2422**

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT

COMMENTS AS NOTED ☐ DATE **4 May 22**

REVIEWED BY **AB**

GO3 CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

1	DATE	REVISION/ISSUED:	BY:
1	19-2177		

ONTARIO ASSOCIATION OF ARCHITECTS

LICENSED TECHNOLOGIST

MICHELE/SURIANO

6253

SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.

51 Royson Road, Unit 1

Veinpan, Ontario L4L 8P9

T. 905-284-0924

LOT No.	51	DRAWING TITLE :	SITE PLAN
DATE	APR 29/22	PROJECT NAME :	VALES OF HUMBER
SCALE	1:250		
BR	DO	PAGE NO.	CLIENT NAME :
PROJECT No	19-2177		ROYAL PINE HOMES

GENERAL NOTES:

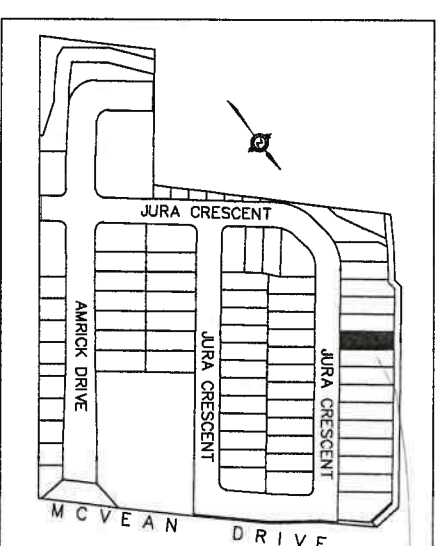
- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE. CERTAIN LOTS MAY REQUIRE CHANGES.
- (2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
- (3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.5M ARE TO BE ACCOMPLISHED BY THE USE OF A RETAINING WALL. REMAINING WALLS HIGHER THAN 0.5M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
- (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
- (5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2M. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
- (6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.5M MINIMUM.
- (7) A REAR APRON (2.0%) OF 5M MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6M FOR MULTIPLE UNITS.
- (8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
- (9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
- (10) DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- (11) WEERING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
- (12) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
- (13) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
- (14) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- (15) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
- (16) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
- (17) BRICKLITE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
- (18) PAID STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
- (19) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
- (20) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
- (21) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS.
- (22) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
- (23) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
- (24) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
- (25) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
- (26) LIMESTONE NOT TO BE USED AS BEDDING FOR WEERING TILE AND ASSEMBLY SLAB IF FCC IS PROPOSED.

GENERAL NOTES

1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
Surveyor to confirm difference between FFL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1,22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0,40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0,15m above finished grade.
6. Unprotected openings (windows/doors) must be min 1,2m from lot lines.
7. Whitebox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79 (NOISE BUFFER)

WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 52 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.






































SITE DATA	
LOT No.	52
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	9.22
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

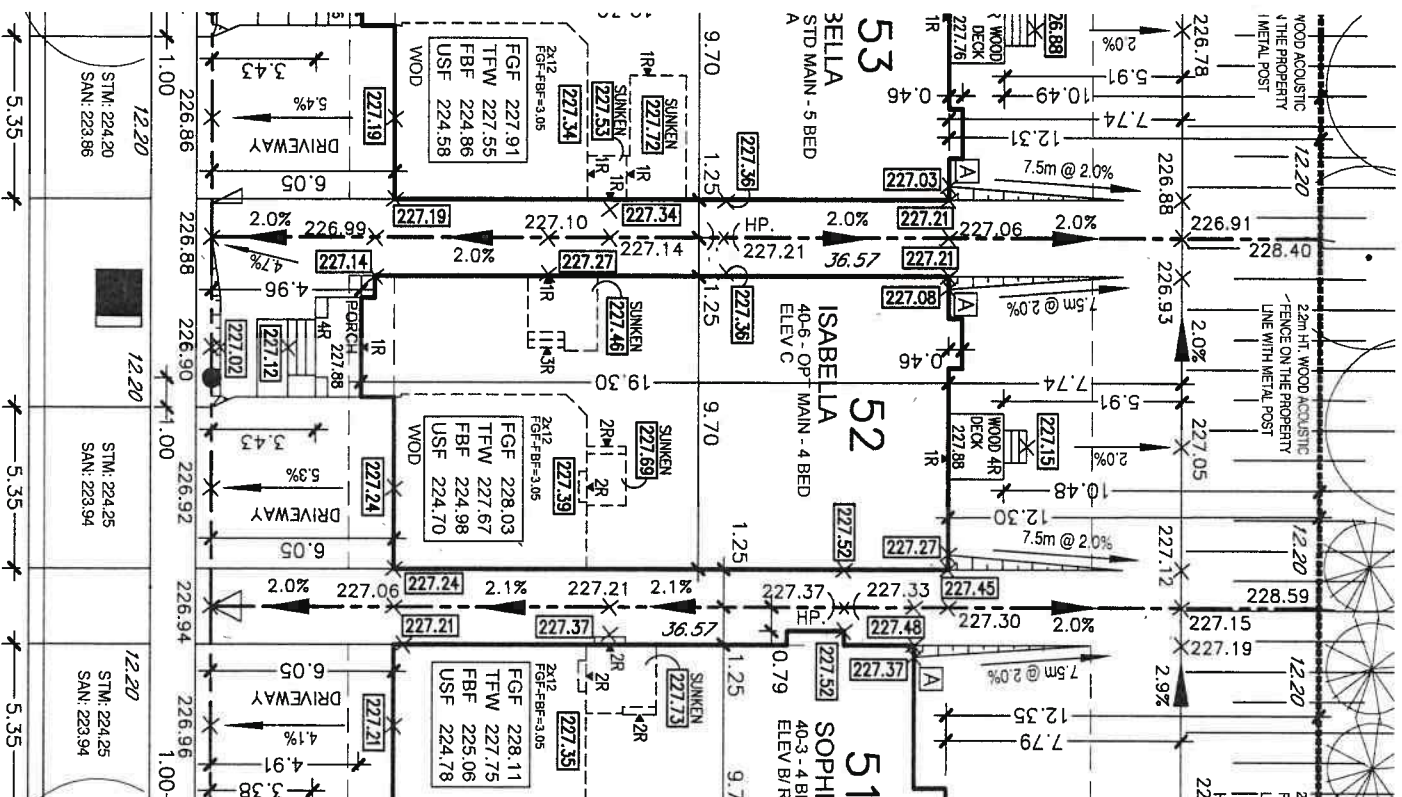
NOTE:

BULDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

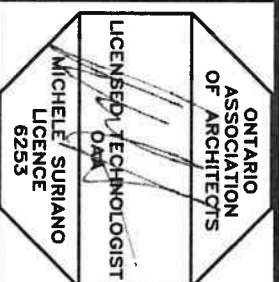
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED

LEGEND	
 256.00	PROPOSED GRADES
	256.00 EXISTING GRADES
	FINISHED GROUND FLOOR
	TOP OF FOUNDATION WALL
	FINISHED BASEMENT FLOOR
	UNDERSIDE OF FOOTINGS
	UNDERSIDE OF FOOTINGS REAR
	UNDERSIDE OF FOOTINGS FRONT
	SWALE DIRECTION
	DIRECTION OF FLOW
	WALK OUT DECK
	WALK OUT BASEMENT
	EXTERIOR DOOR LOCATION
	STREET LIGHT
	HYDRANT
	TRANSFORMER
	VALVE CHAMBER
	CABLE TV PEDestal
	BELL PEDestal
	CATCH BASIN
	HYDRO SERVICE LATERAL
	STREET SIGN
	REVERSE PLAN
	ENGINEERING FILL LOTS
	LOT WITH SIDE/REAR UPGRADE
	WATER SERVICE
	STORM & SANITARY CONNECTION(SINGLE)
	STORM & SANITARY CONNECTION(DOUBLE)
	ROOF COLLECTOR
	MAILBOX PAD
	DOWNSPOUT
	FIRE RATED WALL
	GAS METER
	HYDRO METER
	AIR CONDITIONER

2.	APR 2021	AD FROM NEW ORLEANS + 10% PMUL	DA
1.	MAR 2021	ISSUED FOR CLIENT REVIEW	DA
NO DATE:		REVISION/ISSUED:	BY:



JURA CRESCENT



SURIANO.

SURIANO DESIGN CONSULTANTS INC.
51 Romsun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT NO.	DRAWING TITLE :
LOT 52	SITE PLAN
DATE	PROJECT NAME :
APR 29/72	VALES OF HUMBER
SCALE	
1:250	
BY	PAGE NO.
DO	
PROJECT No	CLIENT NAME :
19-277	ROYAL PINE HOMES

SITE PLAN REVIEW

LOT NO. **52** REGISTERED PLAN **43M-2122**

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT
COMMENTS AS NOTED
REVIEWED BY **AB**
DATE **4 May 22**



CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

GENERAL NOTES:

- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2M. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.
(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS. 6m FOR MULTIPLE UNITS.
(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
(10) WEEPING TILE DRAINAGE NOT TO DISCHARGE ACROSS WALKWAYS.
(11) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
(12) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
(13) DRAINWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
(14) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
(15) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
(16) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
(17) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(18) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(19) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
(20) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
(21) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS.
(22) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
(23) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL. CONSULTANTS VERIFICATION REQUIRED.
(24) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
(25) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
(26) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

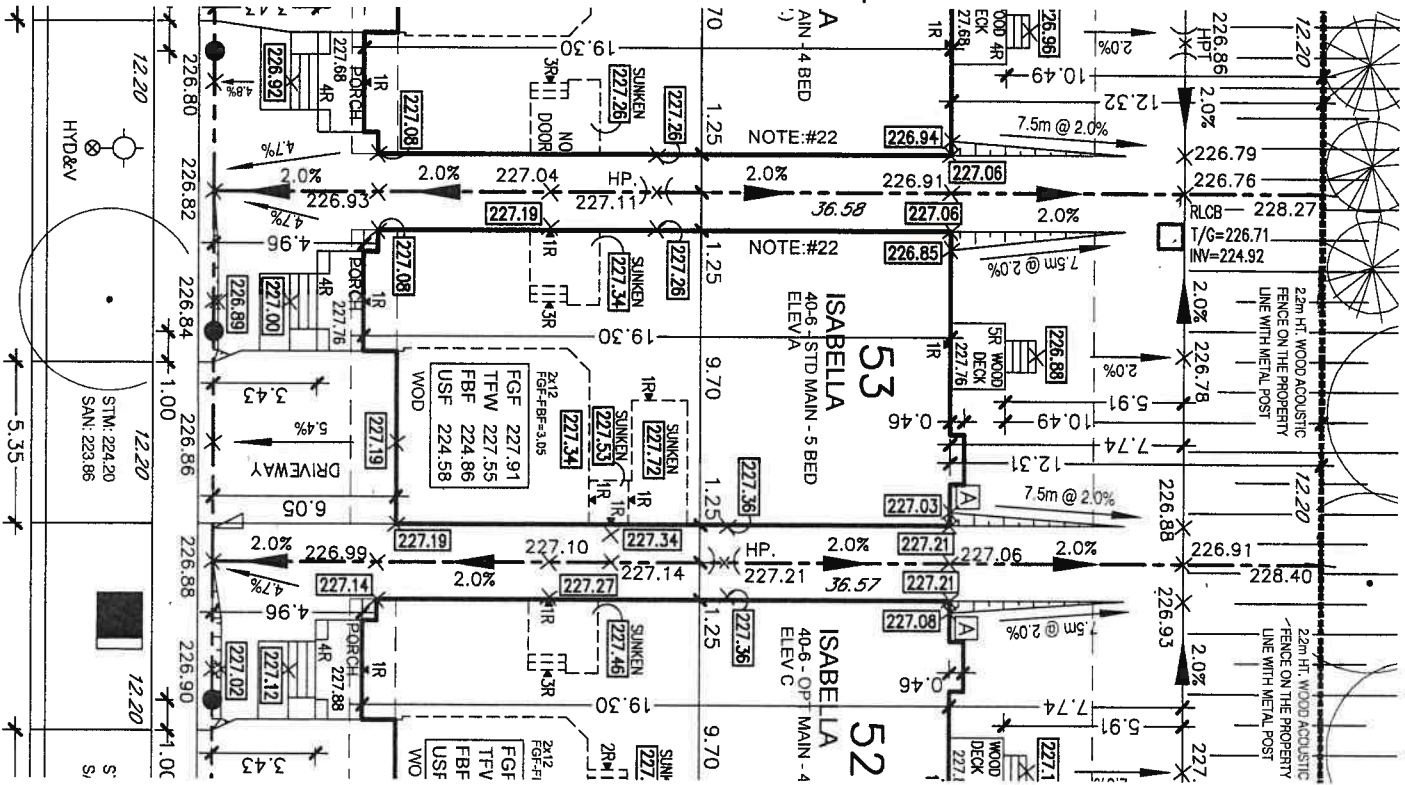
NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

GENERAL NOTES

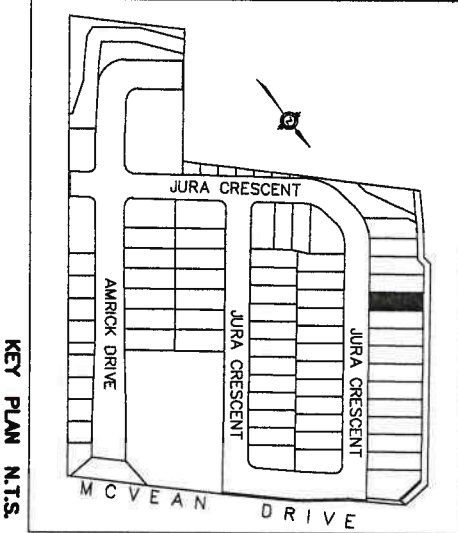
1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
Surveyor to confirm difference between FTL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79 (NOISE BUFFER)



JURA CRESCENT

WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 53 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



SITE PLAN REVIEW

LOT NO. 53... REGISTERED PLAN 43M-2122
THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.
NO COMMENT
COMMENTS AS NOTED
REVIEWED BY: AB
DATE: 4 May 22

CGS CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

LEGEND

- PROPOSED GRADES
X 286.00 EXISTING GRADES
FGF FINISHED GROUND FLOOR
TFW TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS
USFR UNDERSIDE OF FOOTINGS REAR
USFRF UNDERSIDE OF FOOTINGS REAR FRONT
SWALE DIRECTION
W.O.D WALK OUT DECK
W.O.B WALK OUT BASEMENT
EXTERIOR DOOR LOCATION
- STREET LIGHT
HYDRA-TRANSFORMER
VALVE CHAMBER
CABLE TV PEDISTAL
CATCH BASIN
HYDRO SERVICE LATERAL
STREET SIGN
REVERSE PLAN
ENGINEERING FILL LOTS
LOT WITH SIDE/REAR UPGRADE
WATER SERVICE
STORM & SANITARY CONNECTION(SINGLE)
STORM & SANITARY CONNECTION(DOUBLE)
- ROOF COLLECTOR
DOWNSPOUT
FIRE RATED WALL
GAS METER
HYDRO METER
AIR CONDITIONER

1	APR 29/22	AS PER NEW SPECIFICATIONS & PER PLAN	D.A.
2	MAY 11/22	ISSUED FOR CLIENT REVIEW	D.A.
3	MAY 11/22	REVISION/ISSUED:	D.A.
4	MAY 11/22	REVISION/ISSUED:	D.A.
5	MAY 11/22	REVISION/ISSUED:	D.A.
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73	MAY 11/22	REVISION/ISSUED:	D.A.
74	MAY 11/22	REVISION/ISSUED:	D.A.
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80	MAY 11/22	REVISION/ISSUED:	D.A.
81	MAY 11/22	REVISION/ISSUED:	D.A.
82	MAY 11/22	REVISION/ISSUED:	D.A.
83	MAY 11/22	REVISION/ISSUED:	D.A.
84	MAY 11/22	REVISION/ISSUED:	D.A.
85	MAY 11/22	REVISION/ISSUED:	D.A.
86	MAY 11/22	REVISION/ISSUED:	D.A.
87	MAY 11/22	REVISION/ISSUED:	D.A.
88	MAY 11/22	REVISION/ISSUED:	D.A.
89	MAY 11/22	REVISION/ISSUED:	D.A.
90	MAY 11/22	REVISION/ISSUED:	D.A.
91	MAY 11/22	REVISION/ISSUED:	D.A.
92	MAY 11/22	REVISION/ISSUED:	D.A.
93	MAY 11/22	REVISION/ISSUED:	D.A.
94	MAY 11/22	REVISION/ISSUED:	D.A.
95	MAY 11/22	REVISION/ISSUED:	D.A.
96	MAY 11/22	REVISION/ISSUED:	D.A.
97	MAY 11/22	REVISION/ISSUED:	D.A.
98	MAY 11/22	REVISION/ISSUED:	D.A.
99	MAY 11/22	REVISION/ISSUED:	D.A.
100	MAY 11/22	REVISION/ISSUED:	D.A.

SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Rogers Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT No. 53

DRAWING TITLE : SITE PLAN

DATE APR 29/22

PROJECT NAME : VALES OF HUMBER

SCALE 1:250

BR DO

PAGE NO.

CLIENT NAME :

PROJECT No

19-277

ROYAL PINE HOMES

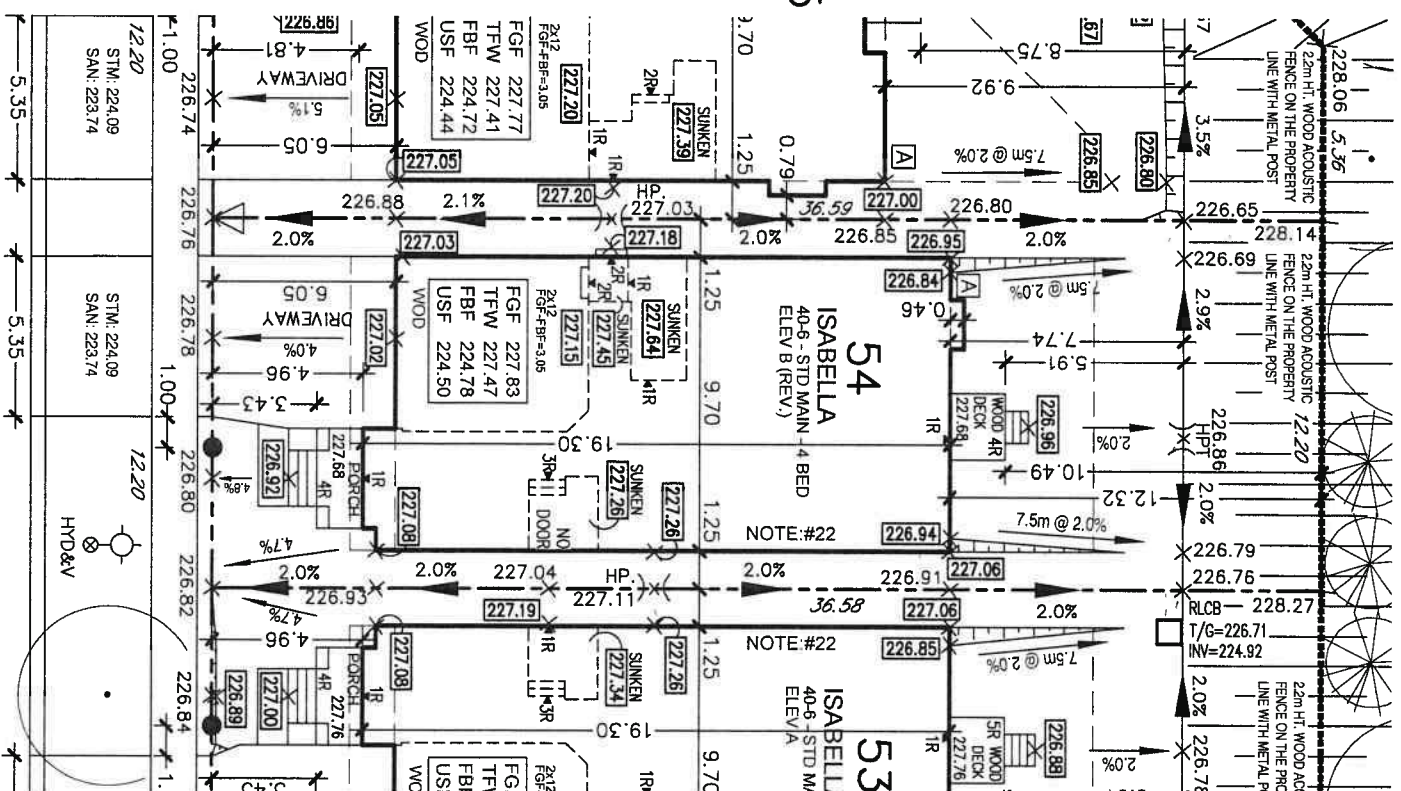
GENERAL NOTES:

- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE. CERTAIN LOTS MAY REQUIRE CHANGES.
- (2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
- (3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
- (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
- (5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
- (6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.
- (7) A REAR APRON (2.0% OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.
- (8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
- (9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
- (10) DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- (11) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
- (12) 200mm OF TOP-SOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
- (13) DREWEYWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
- (14) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DREWEYWAY AND A UTILITY STRUCTURE IS 1.2m.
- (15) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
- (16) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
- (17) BRICKLIME TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
- (18) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
- (19) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
- (20) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
- (21) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS
- (22) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
- (23) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
- (24) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
- (25) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
- (26) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

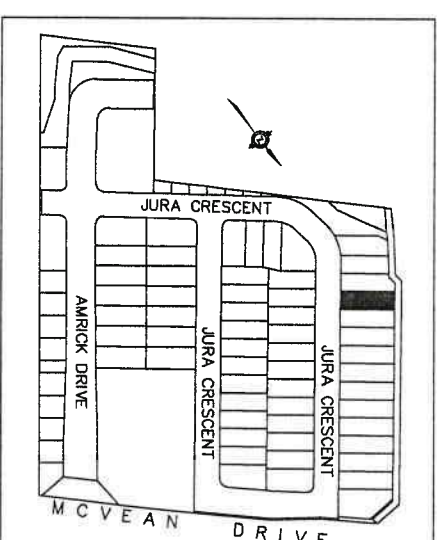
GENERAL NOTES

1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
Surveyor to confirm difference between FFL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing levels.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79 (NOISE BUFFER)



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 54 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



NOTE:

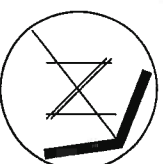
BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

SITE DATA	
LOT No.	54
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	8.48
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

LEGEND

- # LEGEND
- | | | |
|---|--------|---|
| ✕ | 286.00 | PROPOSED GRADES |
| ✕ | 286.00 | EXISTING GRADES |
| — | | FINISHED GROUND FLOOR |
| — | | TOP OF FOUNDATION WALL |
| — | | FINISHED BASEMENT FLOOR |
| — | | UNDERSIDE OF FOOTINGS |
| — | | UNDERSIDE OF FOOTINGS REAR |
| — | | UNDERSIDE OF FOOTINGS FRONT |
| — | | SWALE DIRECTION |
| — | | DIRECTION OF FLOW |
| — | | WALK OUT DECK |
| — | | W/OB WALK OUT BASEMENT |
| — | | EXTERIOR DOOR LOCATION |
| ⊙ | | STREET LIGHT |
| ⊙ | | HYDRANT |
| ⊙ | | TRANSFORMER |
| ⊙ | | VALVE CHAMBER |
| ⊙ | | CABLE TV PEDESTAL |
| ⊙ | | BELL PEDESTAL |
| ⊙ | | CATCH BASIN |
| ⊙ | | HYDRO SERVICE LATERAL |
| ⊙ | | STREET SIGN |
| ⊙ | | REVERSE PLAN |
| ⊙ | | ENGINEERING FILL LOTS |
| ⊙ | | LOT WITH SIDE/REAR UPGRADE |
| ⊙ | | WATER SERVICE |
| ⊙ | | STORM & SANITARY CONNECTION(S) (SINGLE) |
| ⊙ | | STORM & SANITARY CONNECTION(S) (DOUBLE) |
| ⊙ | | FIRE RATED WALL |
| ⊙ | | GAS METER |
| ⊙ | | HYDRO METER |
| ⊙ | | AIR CONDITIONER |
| ⊙ | | MAILBOX PAD |
| ⊙ | | DOWNSPOUT |

2	APR 1973	AS PER NEW ORDERS + HQ. PVOL	DA
1	MAY 1973	ISSUED FOR CLIENT REVIEW	DA
NO:	DATE:	REVISION/ISSUED:	BY:



ASSOCIATION
OF ARCHITECTS

SURIANO.

SURIANO DESIGN CONSULTANTS INC.
51 Roesun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT No.	DRAWING TITLE :	
LOT 54	SITE PLAN	
DATE	PROJECT NAME :	
APR 29/22	VALES OF HUMBER	
SCALE		
1:250		
BY	PAGE NO.	CLIENT NAME :
D/O		
PROJECT No		
19-277		

SITE PLAN REVIEW

LOT NO. **5A** REGISTERED PLAN **43M-2122**
THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED
AS BEING IN CONFORMITY WITH THE OVERALL APPROVED
GRADING PLANS FOR THE SUBDIVISION.
THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION
SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE
RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN
WITH THE DESIGNER.

NO COMMENT	<input checked="" type="checkbox"/>	REVIEWED BY	AS
COMMENTS AS NOTED	<input type="checkbox"/>	DATE	4 May 23

CDG CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

BLOCK 79 (NOISE BUFFER)

GENERAL NOTES:

- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 3 LOT WIDTHS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.
(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.
(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
(10) WEERING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
(11) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
(12) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
(13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
(14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
(15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(17) PAVED STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
(19) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
(20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS
(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
(23) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
(24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEERING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

GENERAL NOTES

1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
Surveyor to confirm difference between FTL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1,22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house. Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

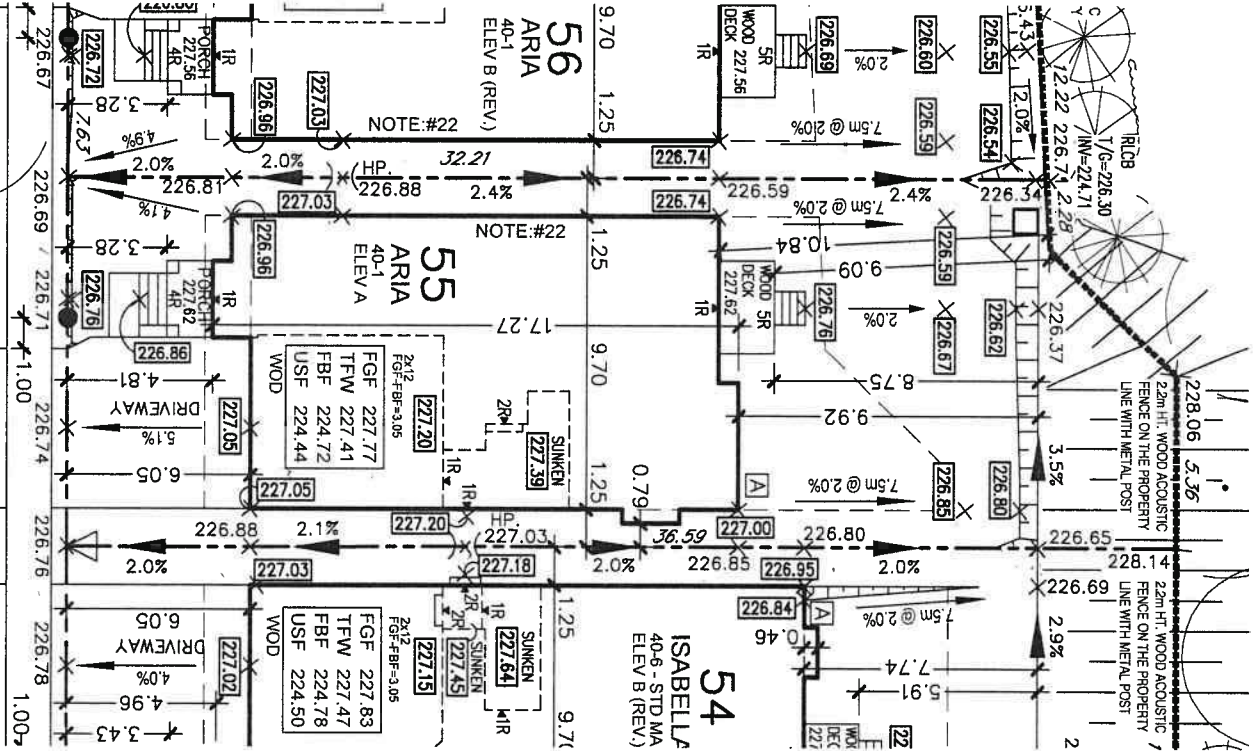
NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

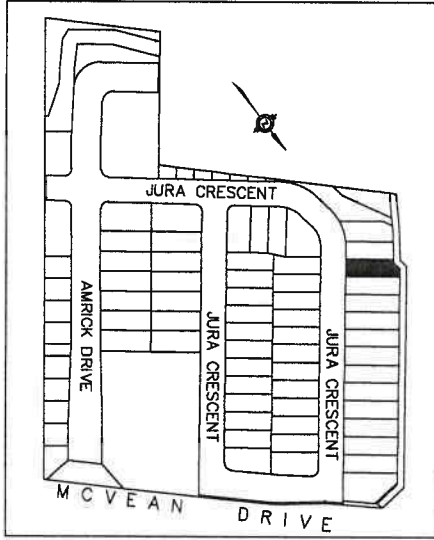
SITE DATA	
LOT NO.	55
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	9.11
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

LEGEND	
 STREET LIGHT	 ROOF COLLECTOR
 HYDRANT	 MAILBOX PAD
 TRANSFORMER	 DOWNSPOUT
 VALVE CHAMBER	 FIRE RATED WALL
 CABLE TV PEDESTAL	 GAS METER
 BELL PEDESTAL	 HYDRO METER
 CATCH BASIN	 AIR CONDITIONER
 HYDRO SERVICE LATERAL	
 STREET SIGN	
 REVERSE PLAN	
 ENGINEERING FILL LOTS	
 LOT WITH SIDE/REAR UPGRADE	
 WATER SERVICE	
 STORM & SANITARY CONNECTION(SINGLE)	
 STORM & SANITARY CONNECTION(DOUBLE)	

NO.	DATE	REVISION/ISSUED:	BY:
1	APR 29/22	ISSUED FOR CLIENT REVIEW	DGA
2	APR 29/22	AS PER NEW GRADES & 10A, 10AL, 10AL	DGA



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 55 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1.3 SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



SITE PLAN REVIEW

LOT NO. **55** REGISTERED PLAN **43M-2122**

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT

COMMENTS AS NOTED ☒ REVIEWED BY **AB** DATE **4 May 22**

CDG CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

ONTARIO ASSOCIATION OF ARCHITECTS

LICENSED TECHNOLOGIST

MICHELLE/SURIANO
LICENCE 62553

SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roygan Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT 55		DRAWING TITLE :	
DATE	APR 29/22	PROJECT NAME :	VALES OF HUMBER
SCALE	1:250	PAGE NO.	CLIENT NAME :
BY	DO	PROJECT No	ROYAL PINE HOMES
19-277			

GENERAL NOTES:

- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
- (2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
- (3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
- (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS. SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
- (5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
- (6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.
- (7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.
- (8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
- (9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
- (10) DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- (11) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
- (12) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SOODING.
- (13) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
- (14) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- (15) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
- (16) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPILT DRAINAGE.
- (17) BRICKLIME TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
- (18) PAVO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
- (19) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
- (20) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
- (21) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS
- (22) 1.21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
- (23) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
- (24) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
- (25) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
- (26) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

NOTE:

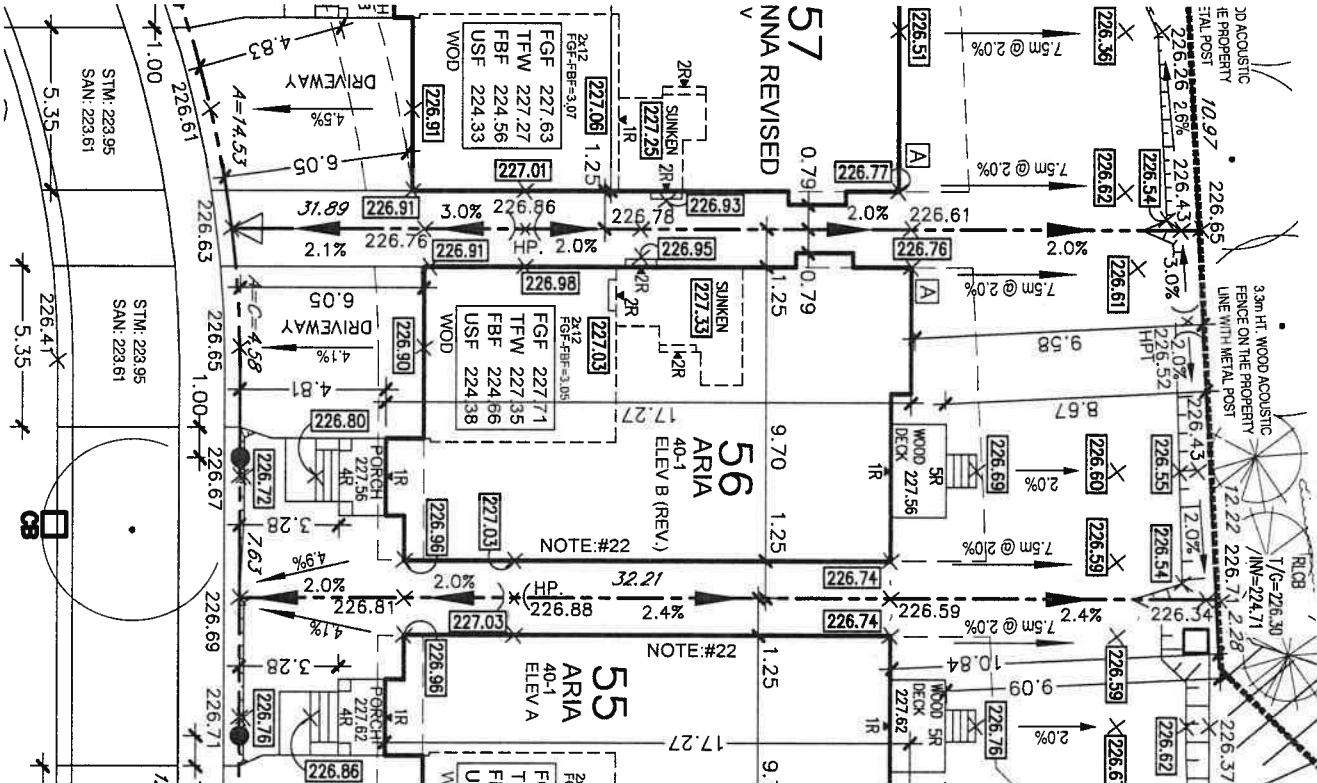
BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS. UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

SITE DATA	
LOT No.	56
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	8.48
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.10

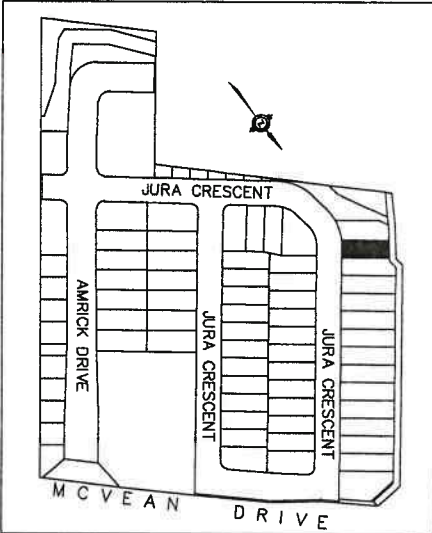
GENERAL NOTES

1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work. Surveyor to confirm difference between FFL and USF before proceeding with excavation. Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house. Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79 (NOISE BUFFER)



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 56 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



SITE PLAN REVIEW

LOT NO. 56 REGISTERED PLAN 43M-2122
THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.
NO COMMENT
COMMENTS AS NOTED
REVIEWED BY: AB
DATE: 4 May 22



LEGEND

- STREET LIGHT
- HYDRANT
- TRANSFORMER
- VALVE CHAMBER
- CABLE TV PEDESTAL
- BELL PEDESTAL
- CATCH BASIN
- HYDRO SERVICE LATERAL
- STREET SIGN
- REVERSE PLAN
- ENGINEERING FILL LOTS
- LOT WITH SIDE/REAR UPGRADE
- WATER SERVICE
- STORM & SANITARY CONNECTION(SINGLE)
- STORM & SANITARY CONNECTION(DOUBLE)
- ROOF COLLECTOR
- MAILBOX PAD
- DOWNSPOUT
- FIRE RATED WALL
- GAS METER
- HYDRO METER
- AIR CONDITIONER

1	APR 29/22	AS PER NEW DRAINAGE & 10% FINAL	D.S.
2	APR 29/22	REDAINED FOR CLIENT REVIEW	D.S.
3	APR 29/22	REVISION/ISSUED	BY:

ONTARIO ASSOCIATION OF ARCHITECTS
LICENSED TECHNOLOGIST
MICHELE SURIANO
LICENCE 6253

SURIANO ARCHITECTURAL DESIGN
SURIANO DESIGN CONSULTANTS INC.
51 Royan Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT No.	56	DRAWING TITLE :	SITE PLAN
DATE	APR 29/22	PROJECT NAME :	VALES OF HUMBER
SCALE	1:250	PAGE NO.	CLIENT NAME :
BY	DO	PROJECT No	ROYAL PINE HOMES
19-277			

GENERAL NOTES:

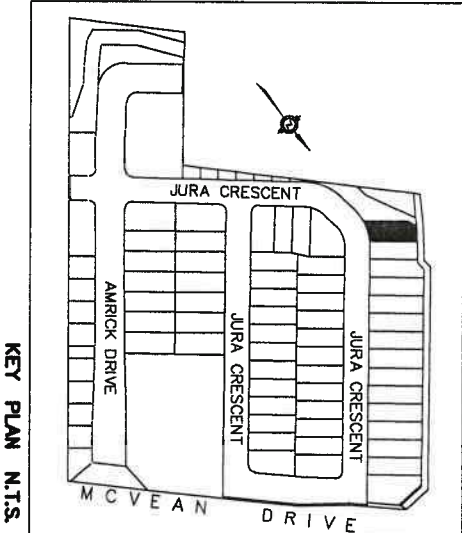
- (1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. REMAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.
(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.
(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2M. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.
(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6M MINIMUM.
(7) A REAR APRON (2.0%) OF 5M MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 5M FOR MULTIPLE UNITS.
(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
(10) WEeping TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.
(11) 200mm OF TOPSOIL SHALL BE APPLIED TO EACH LOT PRIOR TO SODDING.
(12) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2.0% AND NOT GREATER THAN 8.0%.
(13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2M.
(14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
(15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.
(19) 0.20M CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
(20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS
(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.
(23) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.
(24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.
(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEeping TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

GENERAL NOTES

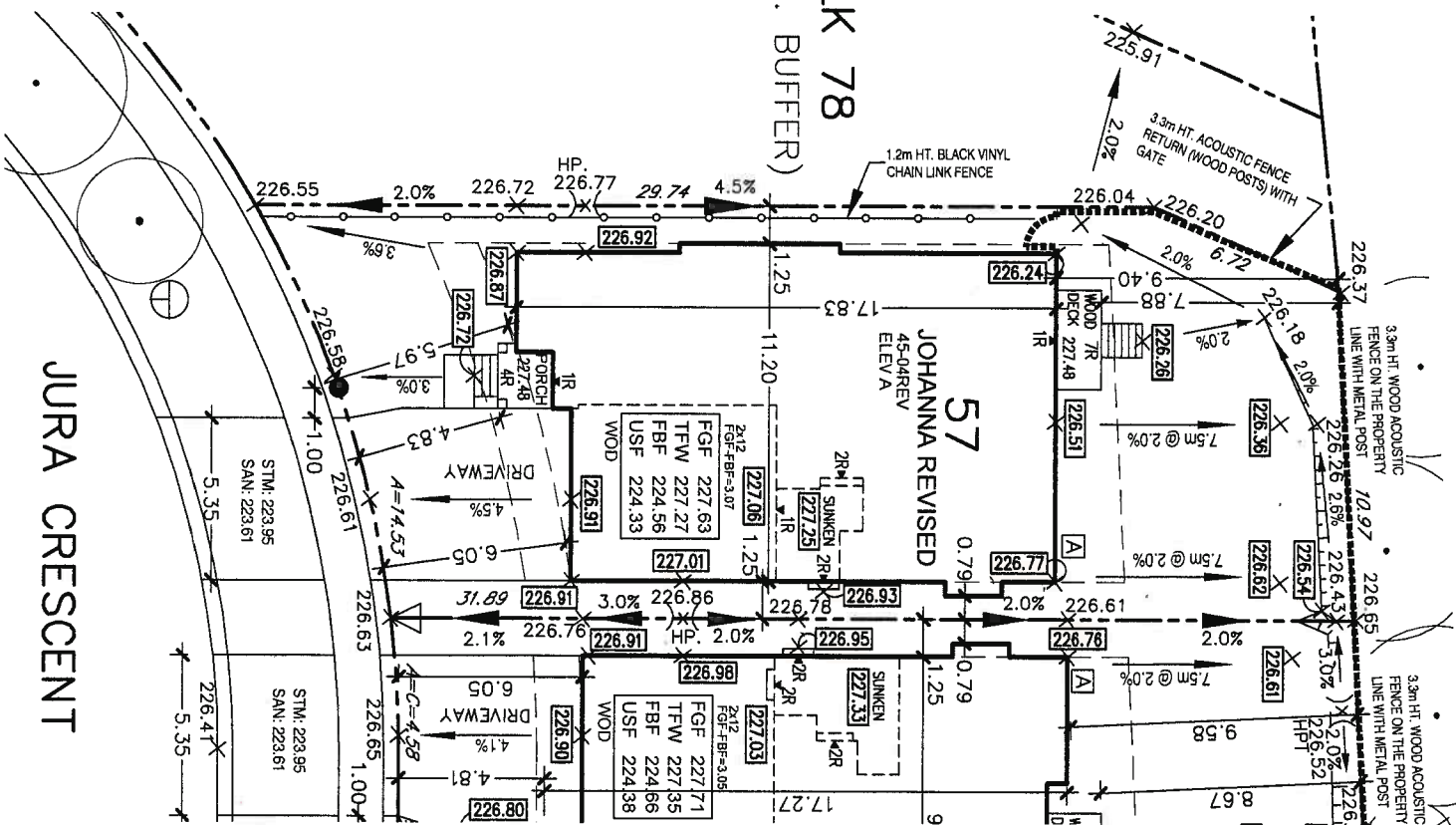
1. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work.
Surveyor to confirm difference between FTL and USF before proceeding with excavation.
Any discrepancies are to be reported to the Builder immediately.
2. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
3. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
4. All dimensions and grade elevations are shown in meters.
5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house.
Maintain top of foundation wall min. 0.15m above finished grade.
6. Unprotected openings (windows, doors) must be min 1.2m from lot lines.
7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense.

BLOCK 79 (NOISE BUFFER)

WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 57 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



BLK 78
(N.H.S. BUFFER)



NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

SITE DATA	
LOT NO.	57
REGISTERED PLAN	43M-
ZONING	R1F-2463
BUILDING HT. (10.60 m MAX.)	8.42
GARAGE DOOR WIDTH (m)	2 - 2.44
INTERIOR GARAGE W/L (m)	5.59 X 6.55

LEGEND	
	STREET LIGHT
	TRANSFORMER
	VALVE CHAMBER
	CABLE TV PEDESTAL
	CATCH BASIN
	HYDRO SERVICE LATERAL
	STREET SIGN
	REVERSE PLAN
	ENGINEERING FILL LOTS
	LOT WITH SIDE/REAR UPGRADE
	WATER SERVICE
	STORM & SANITARY CONNECTION(SINGLE)
	STORM & SANITARY CONNECTION(DOUBLE)
	ROOF COLLECTOR
	MAILBOX PAD
	DOWNSPOUT
	FIRE RATED WALL
	GAS METER
	HYDRO METER
	AIR CONDITIONER

1	APR 29/22	ISSUED FOR CLIENT REVIEW	D.O.
2	APR 29/22	AS PER NEW GRADING & NO. FINAL	D.O.
3	MAY 12/22	ISSUED FOR CLIENT REVIEW	D.O.
4	MAY 12/22	REVISION/ISSUED	D.O.
5	MAY 12/22	REVISION/ISSUED	D.O.
6	MAY 12/22	REVISION/ISSUED	D.O.
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100	MAY 12/22	REVISION/ISSUED	D.O.

ONTARIO ASSOCIATION OF ARCHITECTS
LICENSED TECHNOLOGIST
MICHELE SURIANO
LICENCE 6253

SURIANO.
ARCHITECTURAL DESIGN
SURIANO DESIGN CONSULTANTS INC.
51 Bayview Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

LOT No.	51	DRAWING TITLE :	SITE PLAN
DATE	APR 29/22	PROJECT NAME :	VALES OF HUMBER
SCALE	1:250	PAGE NO.	CLIENT NAME :
BY	DO	PROJECT No	ROYAL PINE HOMES
19-277			

SITE PLAN REVIEW
LOT NO. 51... REGISTERED PLAN 43M-2463
THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.
NO COMMENT
COMMENTS AS NOTED
REVIEWED BY: AB
DATE: 4 May 22
CDS CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS