AWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM TO OF 6.0%. MAY REQUIRE CHANGES.

WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED,THE MAXIMUM SLOPE ALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE COMPUSHED BY USE OF A RETAINING WALL, RETAINING WALLS HIGHER THAN M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE, TIMBER WALL WILL NOT

THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM OW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, WALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE DIAGENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE XIACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE XIAUMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.

7) A REAR APRON (2.0%) OF 5m minimum shall be provided for all PETACHED UNITS, 6m FOR MULTIPLE UNITS. LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0%) OF 0.6m MINIMUM.

(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.

200mm of Topsoil shall be applied to each lot prior to sodding. Driveway grades should not be less than 2.0% and not greater

THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A

HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.

SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE. BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE. PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE. MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON

20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF RAMPTON STANDARDS 0.20m Clearance must be provided between the siding and the LTOP of Ground Elevation at the House.

I) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS IEN REQUESTED BY THE BUILDER.
2) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER NICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION.
OTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL NISULTANTS VERIFICATION REQUIRED.

24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS. CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS. INDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

LOT No.

SITE DA

(TA	
	43
ERED PLAN	43M-
3	R1F-2463
IG HT. (10.60 m MAX.)	9.64
E DOOR WIDTH (m)	2 - 2.44
)R GARAGE W/L (m)	5.59 X 6.10

BUILDIN

ZONING

REGISTI

GARAGE

X286.00 EXISTING GRADES
FOR FINISHED GROUND FLOOR
THY TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS REAR
USFF UNDERSIDE OF FOOTINGS REAR
USFF UNDERSIDE OF FOOTINGS FRONT
SMALE DIRECTION
WILD WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

◁◿◑◒◙▧▧▮◻▧◩▧▮◒▧

REVERSE PLAN
ENGINEERING FILL LOTS
LOT WITH SIDE/REAR UPGRADE

WATER SERVICE
STORM & SANITARY CONNECTION(SINGLE)
STORM & SANITARY CONNECTION(DOUBLE)

AFR 29/22 HAR 11/22

AS PER NEW GRADES & ISO, PINAL

B 0 0

TRANSFORMER
VALVE CHAMBER
CABLE TV PEDESTAL
BELL PEDESTAL
CATCH BASIN
HYDRO SEVICE LATERAL
STREET SIGN
REVERSF DI

≽≖ຕ

GAS METER HYDRO METER FIRE RATED WAL

AIR CONDITIONER

STREET LIGHT HYDRANT

MAILBOX PAD
DOWNSPOUT

EGEND

X[286.00] PROPOSED GRADES

GENERAL NOTES

NOISE

BUFFER

BLOCK

79

- Surveyor is to comply with current between FFL and USF before Surveyor to confirm difference subdivision zoning regarding setbacks in to the Builder immediately. proceeding with excavation. laying out the work. Any discrepancies are to be reported
- street furniture and services for driveways Subdivision Lot Drainage and Grading as The builder shall comply with all current they relate to max. & min. slopes for standards for Local Municipal yards, swales & drives and clearances to

2.0%

7.5m @ 2.0%

7.5m @ 2.0%

228.39

- Footings to bear on natural undisturbed and may not represent actual footing level shown are taken from architectural plans soil and be a min. of 1.22m below finished grade. Underside of footings
- 5. Unless otherwise indicated, finished floor are shown in meters.

All dimensions and grade elevations

- min. 0.15m above finished grade. Grade at entry points to house and Maintain top of foundation wall made to gain entry into house. provision of 2 risers at entries must be level is 0.40m above Specified House
- 6. Unprotected openings (windows,doors) must be min 1.2m from lot lines.
- 7. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at



JURA CRESCENT

DRIVE

MRICK

DRIVE

MC

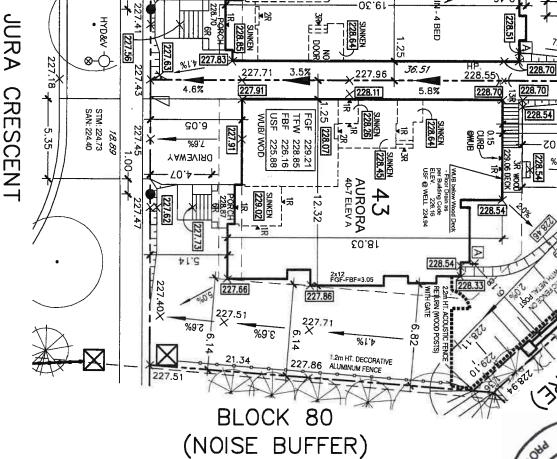
VEAN

9

Ş

N.T.S.

N THE PROPERTY



SITE PLAN REVIEW

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION. LOT NO. 43 REGISTERED PLAN 43M-2122

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHAUL REMAIN WITH THE DESIGNER.

COMMENTS AS NOTED NO COMMENT DATE 4 May 22 #

CANDEVCON LIMITED CONSULTING ENGINEERS AND PLANNERS

MICHELE SURIANO LICENCE 6253 ONTARIO ASSOCIATION OF ARCHITECTS VECHNOLOGIST SURIA

TICENSED!

ROYAL PINE HOMES	PROJECT No 19-277	Unit 1 L4L 8P9)924
PAGE NO. CLIENT NAME :	DO PAGE NO	SULTANTS INC.
	SCALE 1:250	
SECULIA OF SET ANY SERVER	ME 29/22	N O.
SITE TLAN	LOT 43	

HESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE ANN LOTS MAY REQUIRE CHANGES.
AWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM E OF 6.0%.

(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED,THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPUISHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN ACCOMPUISHED BY USE OF A RETAINING WALL RETAINING WALL HIGH NOT THE HIGH SIDE. TIMBER WALL WILL NOT THE PROPERTY OF THE PROPERTY OF

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GRAFIER THAN 3 LOT MIDTHS.

SWALE LENGTHS SHALL NOT BE STATER THAN 3 LOT MIDTHS.

THE GRADE TO THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE NOLOCENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE NOLOCENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE NOLOCENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE NOLOCENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE SWALE IS THAT FROM 4 REAR YARDS. AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0%

IPE) OF 0.6m MINIMUM.

A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL ACHED UNITS, 6m FOR MULTIPLE UNITS.

REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.

REAR LOT CATCHBASIN GRATES TO SOCIEMA ON COLASH DAINS

 WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF WAIPTON SUBDIVISION DESIGN STANDARDS. DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS. WISPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

11) 200mm of Topsoil Shall be applied to each lot prior to sodding. 12) Driveway Grades Should not be less than 2.0% and not greater han 8.0%.

THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND Y STRUCTURE IS $1.2 \mathrm{m}$.

(14) House styles are to be used to suit the lot grading.
(15) Semi-detached and Townhouse Units to Employ Split Drainage.
(16) Brickline to be 150mm to 200mm above final grade at house.
(17) Patio Stones must be installed along the side entrance.
(18) This is meant to be read in conjunction with City of Brampton subdivision design criteria.

(19) 0.20m Clearance must be provided between the siding and the final top of ground elevation at the house.

(20) All Driveway widths and driveway paving shall be as per city of

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.

(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.

ONSTRUCTION ON ENGINEERED FILL SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DICGING INTO ENGINEERED SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING TRUCTION ON ENGINEERED FILL LOTS.

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

NOTE:

JNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED. JUILDER TO VERIFY SANTARY AND STORM INVERT ELEVATIONS PRIOR EXCAVATION FOR FOOTINGS. б

5.59 X 6.10	INTERIOR GARAGE W/L (m)
2 - 2.44	GARAGE DOOR WIDTH (m)
9.16	BUILDING HT. (10.60 m MAX.)
R1F-2463	ZONING
43M-	REGISTERED PLAN
44	LOT No.
	SITE DATA

GENERAL NOTES

to the Builder immediately. laying out the work. Surveyor is to comply with current Any discrepancies are to be reported proceeding with excavation. between FFL and USF before Surveyor to confirm difference subdivision zoning regarding setbacks in

ON THE PROPERTY

RLCB

T/G=228.11 INV=226.41_

228.13

street furniture and services for driveways yards, swales & drives and clearances to they relate to max. & min. slopes for Subdivision Lot Drainage and Grading as The builder shall comply with all standards for Local Municipal current

7.5m @ 2.0%

7.5m @ 2.0%

228.28

HP.

- 3. Footings to bear on natural undisturbed and may not represent actual footing level shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below
- All dimensions and grade elevations are shown in meters.
- Grade at entry points to house and Unless otherwise indicated, finished floor Maintain top of foundation wall made to gain entry into house. provision of 2 risers at entries must be level is 0.40m above Specified House

ARIA 40-1 ELEV A/ REV

36.52

SUNKEN 228.26 1 28 1111 | 58

228.64

227.96

228.11

SUNKEN 228.26

228.45 Š

43

⊈ \$

NOTE:#22

227.88 2x12 FGF-FBF=3.05

E=3

3.5%

TFW

229.21 228.85 226.16 225.88

25 228.07

USF FBF

FGF 229.21 TFW 228.85 FBF 226.16 USF 225.88

FBF

g

2R SUNKEN

227.91

NUB/ WOD

227.91

4.1%

45

.25

9.70

40-6 - OPT MAII ELEV B (REV) SABELLA

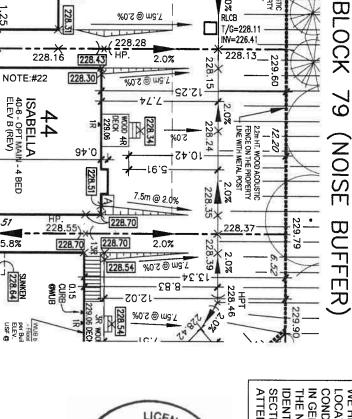
- 4 BED

36.51

5.8%

228.64

- Unprotected openings (windows,doors) must be min 1.2m from lot lines. min. 0.15m above finished grade.
- Waterbox to be min. 1m away from driveway. If within 1m to be relocated at



LOCATION OF THE AIR
CONDENSER UNIT FOR LOT 44 IS
IN GENERAL CONFORMITY WITH
THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE WE HEREBY CER STIFY THAT THE



ATTENUATION STATEMENT.

JURA CRESCENT

DRIVE



9

₽

N.T.S.

DRIVE

MCVEAN



JURA CRESCENT

 \oplus

STM: 224.70 SAN: 224.38

\ O- ^*AQVH

STM: 224.73 SAN: 224.40

18.89

100

8

227.56

227.63

-5.35-

227.18

5.35-

%9.8

2.8%

20.9

DRIVEWAY

%\ \ \ \ 227.83

4.6%

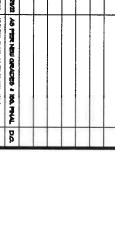
6.05

%9'Z

DRIVEWAY

70.4

227.73



2 50.87	à			, ,	
REAL MAN CHINA MANAGE	2 AS FER NEW GRADES & ISS. FINAL D.C.				
ğ	ğ				Ī

X 286.00 EXISTING GRADES
FGF FINISHED GROUND FLOOR
ITW TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS
USF UNDERSIDE OF FOOTINGS REAR
USFF UNDERSIDE OF FOOTINGS FRONT
SWALE DIRECTION
WOLD WALK OUT DECK
WOLD WALK OUT DECK
WOLD WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

STREET LIGHT

- HYDRANT

TRANSFORMER

TRANSFORMER

VALVE CHAMBER

CALE TV PEDESTAL

BELL PEDESTAL

BELL PEDESTAL

CATCH BASIN

CATCH BASIN

CATCH BASIN

ENGREET SIGN

FILAN

FREGRES PLAN

ENGREERING FILL LOTS

LOT WITH SIDE, REAR UPGRADE

WATER SCENAGE

≽ะด

GAS METER HYDRO METER FIRE RATED WAL

AIR CONDITIONER

2 €

MAILBOX PAD
DOWNSPOUT

WATER SERVICE
STORM & SANITARY CONNECTION(SINGLE)
STORM & SANITARY CONNECTION(DOUBLE)

X[286.00] PROPOSED GRADES

GEND

	E	BA THAL DO.				
BY:	DQ.	Ď				

(
MICHELE SURIANO LICENCE 6253	LICENSED TECHNOLOGIST	ONTARIO ASSOCIATION OF ARCHITECTS

LICENSED	OF ASS
TECHNOLOGIST	F ARCHITECTS
	ENSED TECHNOLOGIST

ANO	OLOGIST		S
SURIANO DESIGN CONSULTANTS 51 Roysun Roed, Unit 1		ARCHITECTURAL DESIGN	SURIAN

Ō	FR 29/22		PROJECT NAME: VAI TO OT LIMINGTO
•	APR 29/22		VALES OF TUNBER
,	SCALE 1:250		
NTS INC.	О Д	PAGE NO.	PAGE NO. CLIENT NAME :
9	PROJECT No 19-277		ROYAL PINE HOMES

HESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE AIN LOTS MAY REQUIRE CHANGES.

AWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM

WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED,THE MAXIMUM SLOPE ALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE COMPUSHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN AS SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS. (6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.

REAR APRON (2.0%) OF 5m minimum shall be provided for all hed units, 6m for multiple units.

(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS. REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE. DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS. NSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

(11) 200mm of Topsoil shall be applied to each lot prior to sodding.
(12) Driveway grades should not be less than 2.0% and not greater than 8.0%.

13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A JULITY STRUCTURE IS 1.2m.

HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.

15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.

(19) 0.20m Clearance must be provided between the siding and the final top of ground elevation at the house.

(20) All driveway widths and driveway paving shall be as per city of Brampton standards

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.

222) Footnings constructed Next to a catchbasin lead PIPE or other Junicipal Services Shall be extended below the Lead PIPE excavation. "Ootnings Must be constructed on undisturbed ground and soil consultants verification required.

(24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS. (23) Soil consultants to be notified prior to digging into engineered fill lots. (25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

INTERIOR GARAGE W/L (m) GARAGE DOOR WIDTH (m) BUILDING HT. (10.60 m MAX.) SITE DATA ZONING REGISTERED PLAN LOT No. R1F-2463 43M-5.59 X 6.10 2 - 2.44 45 9.62

GENERAL NOTES

BLOCK

79

- to the Builder immediately. between FFL and USF before Surveyor to confirm difference Surveyor is to comply with current proceeding with excavation. laying out the work. subdivision zoning regarding setbacks in Any discrepancies are to be reported
- street furniture and services for driveways they relate to max. & min. slopes for Subdivision Lot Drainage and Grading standards for Local Municipal The builder shall comply with yards, swales & drives and clearances to all current

92'21

7.5m @ 2.0%

26.6

7.5m @ 2.d

228.07 20%

228.09

229.4

3. Footings to bear on natural undisturbed and may not represent actual footing level shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below

94.04

228.23

are shown in meters. All dimensions and grade elevations

46

3.7%

4 BED

228.

228.16

44

NOTE:#22

ISABELLA 40-6 - OPT MAIN ELEV B (REV)

228.43

94.0

228.31

5. Unless otherwise indicated, finished floor level is 0.40m above Specified House Maintain top of foundation wall made to gain entry into house. provision of 2 risers at entries must be Grade at entry points to house and

19.30

227.97

FGF

WHT

NOTE:#22

2x12 FGF-FBF=3.05

TFW TFW FBF

229.21 228.85 226.16 225.88

AOD

228.91 228.55 225.86 225.58

1- ±2R

72.7

40-1 ELEV AV REV

36.52

SUNKEN 228.26

2R 1111 M5R 227.88

1.25

45 ARIA

.25

9.70

- 6. Unprotected openings (windows,doors) must be min 1.2m from lot lines. min. 0.15m above finished grade.
- Waterbox to be min. 1m away from builders expense. driveway. If within 1m to be relocated at

ZZ8.60 GR

227.61

227.64

227.64

2x12 FGF-FBF=3.05

FBF

%0.₽

DRIVEWAY 6.05

227.47

%9.8

2.8%

6.05

VAW3VINU

* 122)

227.30

12.20

STM: 224.62 SAN: 224.32

 \oplus

STM: 224.70 SAN: 224.38

-5.35

12.20

00

27.35

227.37

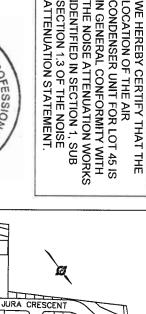
.00

-5.35-

FENCE ON THE PROPERTY NOISE 228.17 7.5m @ 2.0% RLCB T/G=228.11 INV=226.41 %0.S @ m8.7 BUFFER 228.28 HP. 2.0% 7.5m @ 2.0% .60 5 WOOD 4R DECK 229.06 228.34 2.2m HT, WO FENCE ON TI LINE WITH M 228.24 12.20 2.0%

WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 45 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1,3 OF THE NOISE





DRIVE



Š

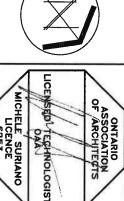
PLAN N.T.S.

DRIVE

MCVEAN



JURA CRESCENT



MICHELE SURIANO LICENCE 6253	LICENSEDVIECHNOLOGIST	ONTARIO ASSOCIATION OF ARCHITECTS
SUR		S

V	끅		<u> </u>
SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vauchan Orlando I 41 RP9		ARCHITI	SUR
VO DESIGN CONSULTAN 51 Roysun Road, Unit 1		ARCHITECTURAL DESIGN	Ã N
LTANTS INC.		z e	<u>N</u> O.

.4L 8P9 924	ULTANTS INC.		Z O.	
PROJECT No	O D _a	SCALE 1:250	APR 29/22	LOT 45
	PAGE NO.			5 -
ROYAL PIN	PAGE NO. CLIENT NAME :		YALES OF H	SITE PLAN

W.O.B WALK OUT BASEMENT I EXTERIOR DOOR LOCATION SERVICE 1 & SANITARY CONNECTION(SINGLE) 8 & SANITARY CONNECTION(DOUBLE) ATR 70/22 MAR TVZZ AS PER NEW GRADES 4 150, PHAL NOR CLIENT NEVER 3 2 2

	₩.o.D	ļ	Å	USFF	USFR	USF	Ę	W	FGF	X 286.00
## C 24 D 25 D	WALK OUT DECK	DIRECTION OF FLOW	SWALE DIRECTION		UNDERSIDE OF FOOTINGS REAR	UNDERSIDE OF FOOTINGS	FINISHED BASEMENT FLOOR	TOP OF FOUNDATION WALL	FINISHED GROUND FLOOR	.00 EXISTING GRADES

X 286.00 PROPOSED GRADES

EGEND

◁◿◑◑◒◒▧◞▮◻▨◩▧▧◠▧

STREET LIGHT

HYDRANT

HANSFORMER

VALVE CHAMBER

CARLE TV PEDESTAL

BELL PEDESTAL

CAITCH BASIN

CAITCH BASIN

ENGREET SIGN

REVERSE PLAN

REVERSE PLAN

ENGINEERING FILL LOTS

LOT WITH SIDE, REAR UPGRADE

WATER SERVEY

Q 🖥 🚳 _> r ຕ --- FIRE RATED WALL ROOF COLLECTOR
MAILBOX PAD
DOWNSPOUT GAS METER HYDRO METER AIR CONDITIONER

905-264-09

Ш 日の一日の

(1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.

(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.

SLOPE OF 6.0%.

(3) WHEERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN O.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT THE PROPERTY OF (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.

(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.5m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.

(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.

DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.

(11) 200mm of topsoil shall be applied to each lot prior to sodding. (12) Driveway grades should not be less than 2.0% and not greater than 8.0%.

(13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
(14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
(15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.

(20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS (19) 0.20m Clearance must be provided between the siding and the final top of ground elevation at the house.

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.

(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.

24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS. SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND ASEMENT SLAB IF FDC IS PROPOSED.

GENERAL NOTES

- Surveyor is to comply with current between FFL and USF before to the Builder immediately. Any discrepancies are to be reported Surveyor to confirm difference subdivision zoning regarding setbacks in proceeding with excavation. aying out the work.
- The builder shall comply with street furniture and services for driveways. they relate to max. & min. slopes for Subdivision Lot Drainage and Grading standards for Local Municipal yards, swales & drives and clearances to all current

2.0%

7.5m @ 2.0%

10.44

- Footings to bear on natural undisturbed and may not represent actual footing level shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below
- All dimensions and grade elevations are shown in meters.

47 3ELLA OPT MAIN - 4 BED

36.53

4 BED

3.7%

-9.70-

0.79

45

227.98

5. Unless otherwise indicated, finished floor min. 0.15m above finished grade. made to gain entry into house. provision of 2 risers at entries must be Grade at entry points to house and level is 0.40m above Specified House Maintain top of foundation wall

19.30

L쭕

3.3%

227.76 28 | L48

3

FGF

228.91 228.55 225.86 225.58

9.70

70

05.9

L 4R

Unprotected openings (windows,doors) must be min 1.2m from lot lines.

FGF 228.67 TFW 228.31

FGF-BF-3.05 FGF-BF-3.05 FGF 228.90 TFW 228.54 FBF 225.85 USF 225.57

FBF USF

225.62 225.34

227.57

8

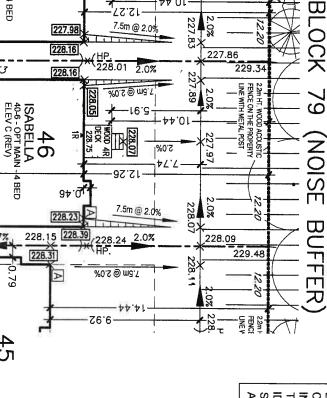
5.0%

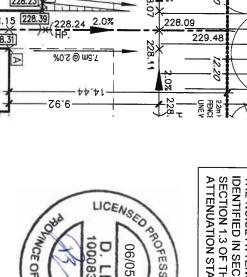
2x12 FGF-FBF=3.05 FBF

227.64

6

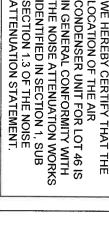
Waterbox to be min. 1m away from driveway. If within 1m to be relocated at





WE HENCE.
LOCATION OF THE AIR
CONDENSER UNIT FOR LOT 46 IS
IN GENERAL CONFORMITY WITH
THE NOISE ATTENUATION WORKS
THE NOISE ATTENUATION 1, SUB





JURA CRESCENT



₽

N.T.S.

DRIVE

EAN

DRIVE



NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS. INDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

1.00

227.22

1.00+

12.20

STM: 224.54 SAN: 224.22

STM: 224.54 SAN: 224.22

STM: 224.62 SAN: 224.32

122

5.35-

-5.35-

--5.35-

JURA CRESCENT

Σ4.Σ

%8.3

60.9

2.8%

20.9

DRIVEWAY

227.46

228.60 GR

227.61

227.46

7.64

.ε×. ⊞≋

4.0%

DRIVEWAY 6.05

DRIVEWAY

46 1- 2463 9.70 9.70	INTERIOR GARAGE W/L (m) 5.59 X 6.10	GARAGE DOOR WIDTH (m) 2 - 2.44	BUILDING HT. (10.60 m MAX.) 9.70	ZONING R1F-2463	REGISTERED PLAN 43M-	LOT No. 46	SITE DATA
----------------------------------	-------------------------------------	--------------------------------	----------------------------------	-----------------	----------------------	------------	-----------

LOT WITH SIDE/REAR UPGRADE	ENGINEERING FILL LOTS	STREET SIGN	E HYDRO SEVICE LATERAL	BELL PEDESTAL	VALVE CHAMBER	TRANSFORMER	STREET LIGHT				0			
PGRADE	_	>] ±	ធ					5.59 X 6.10	2-2.44	9.70	R1F-2463	43M-	
		AIR CONDITIONER	HYDRO METER	GAS METER	FIRE RATED WALL	DOWNSPOUT	ROOF COLLECTOR	'						
4		-		_			Н							
THE TANK														
ATTE THE AS THE NEW CITE														



X286.00 EXISTING GRADES
FGF FINISHED GROUND FLOOR
THY TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USE UNDERSIDE OF FOOTINGS REAR
USEF UNDERSIDE OF FOOTINGS FRONT
SMALE DIRECTION
WOLD WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

◁◿◑◍◒▧◛▮◻▧◩▧▮◌ੑੑੑੑੑੑੑੑੑੑੑਲ਼

SERVICE
& SANITARY CONNECTION(SINGLE)
& SANITARY CONNECTION(DOUBLE)

X 286.00 PROPOSED GRADES

HCHND HCHND

MENTAL LINE OF CT INN. LINE CENTROL	AS PER NEW GRADES 4 86 PNAL DO.				
g	Da				

BY:

MICHELE/SURL LICENCE 6253	LICENSED TECHNO	OF ARCHITEC

1	LICENSE	
CHELE/	SED THE	ASSOCIATION OF ARCHITECTS
HELE/ SURIANO	CHNO	HITEG
\state{\state{s}}	HNOLOGIS	0/

SURIANO DESIGN CONSULTA 51 Roysun Road, Unit 1	ANO
	LOGIST
ARCHITECTURAL DESIG	
SURIAN	

L4L 8P9 924	ULTANTS INC.		N 0	
PROJECT No 19-277	о Д _а	SCALE 1:250	ME AFR 29/22	LOT 46
	PAGE NO.			0.
ROYAL PINE	PAGE NO. CLIENT NAME :		PROJECT NAME:	SITE PLAN

エクで言る

THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE RTAIN LOTS MAY REQUIRE CHANGES.

I LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SPE OF 6.0%.

OPE OF 6.0%.

WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE ALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 6.0M ARE TO BE COMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN AS SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT THE HIGH SIDE. TIMBER WALL WILL NOT

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.

(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.

(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.

(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.

DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.

200mm of topsoil shall be applied to each lot prior to sodding. Driveway grades should not be less than 2.0% and not greater

(13) The minimum clear distance between the edge of a driveway and a utility structure is 1.2m.

(14) House styles are to be used to suit the lot grading.
(15) Semi-detached and townhouse units to employ sput drainage.
(16) Brickline to be 150mm to 200mm above final grade at house.
(17) Patio Stones must be installed along the side entrance.
(18) This is meant to be read in conjunction with city of brampton subdivision design criteria.

(19) 0.20m Clearance must be provided between the siding and the final top of ground elevation at the house.

(20) All driveway widths and driveway paving shall be as per city of grampton standards

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.

(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED. CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

(24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

NOTE

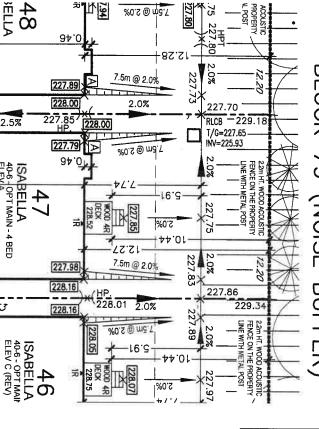
GENERAL NOTES

- Surveyor is to comply with current to the Builder immediately. proceeding with excavation. Any discrepancies are to be reported between FFL and USF before Surveyor to confirm difference laying out the work. subdivision zoning regarding setbacks in
- they relate to max. & min. slopes for Subdivision Lot Drainage and Grading as standards for Local Municipal

7.5m @ 2.0%

- Footings to bear on natural undisturbed and may not represent actual footing level soil and be a min. of 1.22m below shown are taken from architectural plans finished grade. Underside of footings
- are shown in meters.
- Unless otherwise indicated, finished floor min. 0.15m above finished grade. made to gain entry into house. Grade at entry points to house and Maintain top of foundation wall provision of 2 risers at entries must level is 0.40m above Specified House be
- Unprotected openings (windows,doors)

BLOCK 79 (NOISE BUFFE 70



LOCATION OF THE AIR
CONDENSER UNIT FOR LOT 47 IS
IN GENERAL CONFORMITY WITH
THE NOISE ATTENUATION WORKS SECTION 1,3 OF WE HEREBY CERTIFY THAT THE ATTENUATION STATEMENT. THE NOISE CTION 1, SUB



Ø

DRIVE

JURA CRESCENT



Ř

P N

N.T.S.

DRIVE

CVEAN

NO COMMENT COMMENTS AS NOTED THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER. THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION. LOT NO ... A. T. REGISTERED PLAN 43M-2422 CANDEVCON LIMITED SITE PLAN REVIEW CONSULTING ENGINEERS AND PLANNERS DATE 4 MM 22

The builder shall comply with all current

street furniture and services for driveways yards, swales & drives and clearances to

2 M

All dimensions and grade elevations

3 (REV.) **ELLA**

- 4 BED

2.5%

ISABELLA 40-6-OPT MAIN - 4 BED ELEVA

36.53

36.54

25

70

25

9.70

19.30

3R¥ I

227.7

3.3%

28 || 14R | 227.76

9.70

77.94

- III

must be min 1.2m from lot lines.

Waterbox to be min. 1m away from driveway. If within 1m to be relocated at

8.51 8.15 6.46 6.18

NOTE:#22

NOTE:#22

FBF USF

227.57

227.61

90

227.61

228.67 228.31 225.62 225.34

FGF-FBF-3.05 FGF 228.90 TFW 228.54 FBF 225.85 USF 225.57

Ż

2x12 FGF-FBF=3.05

227.29 227.44 4.1%

EORCH | |228.21

227.44

2.0%

98

227.26

54.2

%8'9 DRIVEWAY

6.05

2.8%

20.9

YAWAVIRG,

%8'S

227.46

JURA CRESCENT

	A AIR CONDITIONER	H HYDRO METER	G GAS METER	FIRE RATED WALL	OF DOWNSPOUT	ROOF COLLECTOR
ы						- 113
ATT. 79/22						
2. ATR 29/22 AS PER NEW GREADES + 180. FINAL D.O.						
DO						

X 286.00 EXISTING GRADES
FOF FINISHED GROUND FLOOR
THY TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTMUS REAR
USFF UNDERSIDE OF FOOTMUS REAR
USFF UNDERSIDE OF FOOTMUS FRONT
SWALE DIRECTION
WOLD WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

◁◿◑◒◙◍◍»▮◻◙◩▧▮◠▧

HORANT
HANSFORMER
VALVE CHAMBER
VALVE CHAMBER
DELL PEDESTAL
BELL PEDESTAL
BELL PEDESTAL
CATCH BASIN
ENTREET SIGN
REVERSE PLAN
REVERSE P

SERVICE

& SANITARY CONNECTION(SINGLE)

& SANITARY CONNECTION(DOUBLE)

MAR 11/22

3 8

X 286.00 PROPOSED GRADES

EGEND

GARAGE DOOR WIDTH (m) BUILDING HT. (10.60 m MAX. REGISTERED PLAN

ZONING

R1F-2463 43M-

9.57

47

4 €

8

- 22/.16

227.18

227.20

8

227.22

227.24

227.26

.00 *

12.20

STM: 224.54 SAN: 224.22

STM: 224.54 SAN: 224.22

-5.35-

-5.35-

SITE DATA

LOT No.

INTERIOR GARAGE W/L (m)

5.59 X 6.10 2-2.44

MICHELE SURIANO LICENCE	LICENSED TECHNOLOGIST	ONTARIO ASSOCIATION OF ARCHITECTS	

MICHELE'S	LICENSED TEC	OF ARCHITECTS
HELE SURIANO S	CHNOLOGIST	ATION

RIANO	NOLOGIST		915
SURIANO DESIGN CONSULT		ARCHITECTURAL DESI	

1	4	_
SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1	ARCHITECTURAL DESIGN	SOKIANO.

lo L4L 8P9 1-0924	NSULTANTS INC.		NO.	8
PROJECT No 19-277	<u>о</u> Д _á	1:250	APR 29/22	LOT 41
	PAGE NO.			_
ROYAL PI	PAGE NO. CLIENT NAME :		PROJECT NAME:	SITE PLAN

BY PAGE NO. CLIENT NAME:

THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE IAN LOTS MAY REQUIRE CHANGES.

LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM

WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED,THE MAXIMUM SLOPE
LL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE
OMPUSHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN
A SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE REAFER THAN 3 LOT WIDTHS.

SWALE LENGTHS SHALL NOT BE SUBTRETE THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE

(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.

(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

(10) WEEPING THE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRANPTON SUBDIVISION DESIGN STANDARDS.

200mm of topsoil shall be applied to each lot prior to sodding. Driveway grades should not be less than 2.0% and not greater

HE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A STRUCTURE IS 1.2m.

(14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
(15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPUIT DRAINAGE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.

0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE L TOP OF GROUND ELEVATION AT THE HOUSE.

ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF

BRAMPTON STANDARDS

<u>2</u>9 ₹(E)

(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER (MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCANATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED. BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS REQUESTED BY THE BUILDER.

(2) (2) (2) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

(24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

GENERAL NOTES

Surveyor is to comply with current to the Builder immediately. proceeding with excavation. laying out the work. between FFL and USF before Surveyor to confirm difference Any discrepancies are to be reported subdivision zoning regarding setbacks in

The builder shall comply with all current street furniture and services for driveways. Subdivision Lot Drainage and Grading as standards for Local Municipal yards, swales & drives and clearances to they relate to max. & min. slopes for

Footings to bear on natural undisturbed and may not represent actual footing level finished grade. Underside of footings shown are taken from architectural plans soil and be a min. of 1.22m below

All dimensions and grade elevations are shown in meters.

49

94.Q

CEXIE O-5 - OPT MAIN -

Grade at entry points to house and Unless otherwise indicated, finished floor min. 0.15m above finished grade. made to gain entry into house. provision of 2 risers at entries must level is 0.40m above Specified House Maintain top of foundation wall Б

9.70

.25

9.70

ISABELLA 40-6 - OPT MAIN ELEV B (REV.)

4 BED

2.5%

ISABELL/ 40-6 - OPT MA ELEVA

36.54

Unprotected openings (windows,doors) must be min 1.2m from lot lines.

Waterbox to be min. 1m away from driveway. If within 1m to be relocated at

227.54 227.54 227.54 227.54 FGF 228.47 TFW 228.11 FBF 225.42 USF 225.14

36.54

[*%

3.2%

227.94 227.94

0Σ.91

춫

SUNKEN (27.94) (27.94) (27.94) (27.94) (27.94) (27.94) (27.94) (27.96) (27.96) (27.96) (27.96) (27.96) (27.96) (27.96) (27.94) (27.

X 227.67

2

Š

g

227.41

FGF TFW USF

-0£.6

228.15 225.46 225.18

₹

4.1%

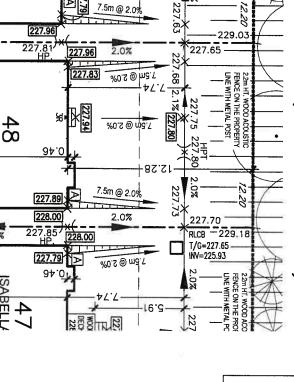
NOTE:#22

WO F F F G

227.40

227.40

BLOCK 79 (NOISE BUFFER)





LOCATION OF THE AIR
CONDENSER UNIT FOR LOT 48 IS
IN GENERAL CONFORMITY WITH
THE NOISE ATTENUATION WORKS SECTION 1.3 OF WE HEREBY CERTIFY THAT THE ATTENUATION STATEMENT. THE NOISE CTION 1, SUB

JURA CRESCENT

DRIVE



9

₽ ¥

N.T.S.

DRIVE

MCVEAN

NO COMMENTS AS NOTED THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION. LOT NO .. 48 .. REGISTERED PLAN 431-2122 THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN CANDEVCON LIMITED SITE PLAN REVIEW CONSULTING ENGINEERS AND PLANNERS DATE A May 22

NOTE

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN STEPLAN WAS APPROVED.

1.00

227.12

227.14

1.00 227.16

227.18

227.20

12.20

工火 227.38

12.20

88.4

DRIVEWAY

6.05

6.05

7 PORCH 228.21 5R

| | Sh

227.29 **227.44**

.29

DRIVEWAY

96't

Σ⊅'Σ

227.26

2.0%

12.20

STM: 224.44 SAN: 224.13

STM: 224.44 SAN: 224.13

-5.35-

-5.35-

JURA CRESCENT

INTERIOR GARAGE W/L (m)	GARAGE DOOR WIDTH (m)	BUILDING HT. (10.60 m MAX.)	ZONING	REGISTERED PLAN	LOT No.	SITE DATA
5.59 X 6.10	2 - 2.44	8.80	R1F-2463	43M-	48	

REVISION/ISSUED:	No: DATE:	No:		∇ STORM & SANITARY CONNECTION(DOUBLE)	STORM & SANIT	N
MAR 17/2 IBBLIED FOR CLIENT HEN	MAR 11/22	-		STORM & SANITARY CONNECTION(SINGLE)	STORM & SANIT	
ATR 29/2 AS TER NEW GRADES +	ATR. 29/2	ч		LOT WITH SIDE/REAR UPGRADE		•
				LL LOTS		(⊕:
		ij	A AIR CONDITIONER	1	STREET SIGN	7 P
			H HYDRO METER	LATERAL	CATCH BASIN HYDRO SEVICE LATERAL	Η□
			G GAS METER	, 12 2 7	BELL PEDESTAL	×
			FIRE RATED WALL	R	VALVE CHAMBER	2 8
			OF DOWNSPOUT		TRANSFORMER	P¢
			ROOF COLLECTOR		STREET LIGHT	· Ø
						ŀ
			0	5.59 X 6.10		Ξ
				2-2.44		3
					,	7 44.

EGEND

X 286.00 PROPOSED GRADES



X286.00 EXISTING GRADES
FGF FINISHED GROUND FLOOR
THY TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS REAR
USFF UNDERSIDE OF FOOTINGS FRONT
SWALE DIRECTION
WALD WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

◁◿◑◑◒◒◞▮◻▨◩◴▮◠▧

MICHELE SURIANO	LICENSED, TECHNOLOG	ONTARIO ASSOCIATION OF ARCHITECTS

/	5		$\overline{}$
A CP	LICENSE	-	위
CHELE SURIANO	5 P		ONTARIO ASSOCIATION F ARCHITECTS
NCE	2		HITE
N N	HNOLOGIST		3×
/	isi		

1	_		ν
SURIANO DESIGN CONSULTANTS INC. 51 Roysum Roed, Unit 1 Varioban Charton I Al Bon		ARCHITECTURAL DESIGN	SURIANO.

	ก็			
PROJECT No	0 D	1:250	ME AFR 29/22	LOT 48
	PAGE NO.			W.
ROYAL PINE HOMES	PAGE NO. CLIENT NAME :		PROJECT NAME: PROJECT NAME:	SITE PLAN

HESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE AIN LOTS MAY REQUIRE CHANGES.

AWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM

JPE OF 6.0%.

WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED,THE MAXIMUM SLOPE
WHERE GRADES IN EXCESS OF 0.5% ARE REQUIRED,THE MAXIMUM SLOPE
LL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.5M ARE TO BE
COMPLISHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN
M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GRAFER THAN 3 LOT MYDERSTRAND SWALE SHALL BE 0.2m. THE GRADE (5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS. (5) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETROHED UNITS, 6m FOR MULTIPLE UNITS.
(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDINISION DESIGN STANDARDS.

(11) 200mm of topsoil shall be applied to each lot prior to sodding. (12) driveway grades should not be less than 2.0% and not greater than 8.0%.

13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A

JILITY STRUCTURE IS 1.2m.
(14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.

(15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPUT DRAINAGE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.

(20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS (19) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE THAT TOP OF GROUND ELEVATION AT THE HOUSE.

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.

(23) SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED FILL LOTS.

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED. (24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.

NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

GARAGE DOOR WIDTH (m) BUILDING HT. (10.60 m MAX. INTERIOR GARAGE W/L (m) REGISTERED PLAN LOT No. SITE DATA ZONING R1F-2463 43M-5.59 X 6.10 2 - 2.44 49

GENERAL NOTES

BLOCK 79

(NOISE

BUFFER)

Surveyor is to comply with current proceeding with excavation. to the Builder immediately. between FFL and USF before Surveyor to confirm difference laying out the work. subdivision zoning regarding setbacks in Any discrepancies are to be reported

PROPERTY AL POST

228.89

229.03

227.65

street furniture and services for driveways. The builder shall comply with all current yards, swales & drives and clearances to they relate to max. & min. slopes for Subdivision Lot Drainage and Grading standards for Local Municipal S

7.5m @ 2.0%

2.0%

7.5m @ 2.0%

8.20

7.5m @ 2.09

2.0%

7.5m @ 2.0%

2.d%

10.92

227.39

227.43

227.63

227.68

227.41

- and may not represent actual footing level Footings to bear on natural undisturbed shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below
- All dimensions and grade elevations are shown in meters.

LEXIE

2.0%

ALEXIE 40-5 - OPT MAIN -5 BED ELEV A

ISABELL/ 40-6 - OPT M/ ELEV B (REV.

50

97

227.5

227.72

227.72

227.59

97

227.96

49

DECK

227.96

227.94

5. Unless otherwise indicated, finished floor made to gain entry into house. provision of 2 risers at entries must be Grade at entry points to house and level is 0.40m above Specified House min. 0.15m above finished grade. Maintain top of foundation wall

¥ ₹

227.48

227.31

28

227.54

36.54

FGF 228.

28 II N.3R 128 II N.3R 1227.56

227.51

70

25

9.70

1.25

9.70

.25

36.55

17.75

뀵

[*8

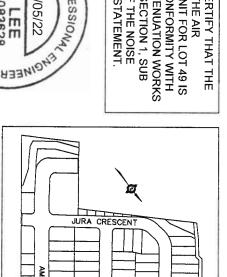
3.2%

- Unprotected openings (windows,doors) must be min 1.2m from lot lines.
- builders expense. Waterbox to be min. 1m away from driveway. If within 1m to be relocated at

FENCE ON THE PROPERT LINE WITH METAL POST 2.1% 227.80 227.75 7.5m @ 2.0% LOCATION OF THE AIR CONDENSER UNIT FOR LOT 49 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS WE HEREBY CERTIFY THAT THE ATTENUATION STATEMENT. SECTION 1.3 OF 00 THE NOISE LEE 83628 CTION 1, SUB







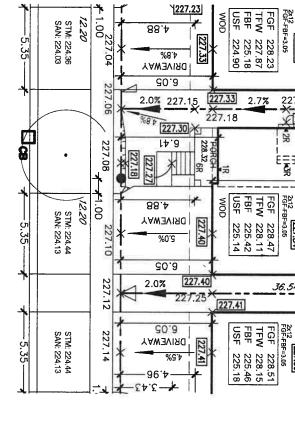
9 PLA N.T.S.

DRIV€

C

VEAN

DRIVE



LOT NO...41 REGISTERED PLAN 43M-2122

SITE PLAN REVIEW

JURA CRESCENT

COMMENTS AS NOTED NO COMMENT THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION. THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN CANDEVCON LIMITED CONSULTING ENGINEERS AND PLANNERS 0 P DATE A MAN 22

X286.00 EXISTING GRADES
FGF FINISHED GROUND FLOOR
THY TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS REAR
USFF UNDERSIDE OF FOOTINGS FRONT
SMALE DIRECTION
W.D.D WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

◁◿◑◒◙◒▧◞▮◻▧◩▧▮◠▧

WATER SERVICE STORM & SANITA STORM & SANITA

SANITARY CONNECTION(SINGLE)
SANITARY CONNECTION(DOUBLE)

ATR 79/2

AS THE NEW GRADE

BY:

REVERSE PLAN
ENGINEERING FILL LOTS
LOT WITH SIDE/REAR UPGRADE

TRANSFORMER
VALVE CHAMBER
CABLE TV PEDESTAL
BELL PEDESTAL
CATCH BASIN
THYDRO SEVICE LATERAL
ESTREET SIGN
BELLATERAL
BELLATERAL
STREET SIGN

≽⊑្ព

GAS METER HYDRO METER AIR CONDITIONER

--- FIRE RATED WALL MAILBOX PAD
DOWNSPOUT

GEND

X[286.00] PROPOSED GRADES

STREET LIGHT HYDRANT

_	Ē	$\overline{}$
MicH	LICENSEL	Q A
CHELE/ SURIANO	ONEC:	ASSOCIATION OF ARCHITECTS
ËRIAN	HNOLOGIST	FCZ

SURIAN

SURIANO DESIGN CONSULTANTS 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

15 PR	TS INC. BY	SCALE	O.	<u> </u>
PROJECT No 19-277	Ō	1:250	ME APR 29/22	LOT 49
	PAGE NO.			
ROYAL PINE HOMES	PAGE NO. CLIENT NAME :		PROJECT NAME: VALES OF HUMBER	OTH PLAN

THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE TANN LOTS MAY REQUIRE CHANGES.

LAWN AND SWALES SHALL HAVE A MININUM SLOPE OF 2.0% AND A MAXIMUM PROPERTY OF 2.0% AND A MAXIM

SLOPE OF 6.0%.

SLOPE OF 6.0%.

(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANCES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.

(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.

(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.

DOWNSPOUTS SHALL NOT DISCHARGE ONTO GROUND ON SPLASH PADS.

(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAINFTON SUBDIVISION DESIGN STANDARDS.

11) 200mm of Topsoil Shall be applied to each lot prior to sodding. 12) driveway grades should not be less than 2.0% and not greater 14N 8.0%.

13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A JULY STRUCTURE IS $1.2 \mathrm{m}$.

14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON UBDIVISION DESIGN CRITERIA.

(19) 0.20m Clearance must be provided between the siding and the final top of ground elevation at the house.

(20) All Driveway widths and driveway paving shall be as per city of brampton standards

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.

(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERHICATION REQUIRED.

SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED. (24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.

BUILDER TO VERIFY SANITA EXCAVATION FOR FOOTINGS UNDERGROUND SERVICES V

SANITARY AND STORM INVERT ELEVATIONS PRIOR TO

WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

1/1.06

뙀

2.0% 227 227.07

227.25

227.23

227.33

227.18

14.8

3.3%

88.4

DRIVEWAY

227.15

228.32_{6R}

14.8

227.22

×227.10

226.98

1.00

227.08

STM: 224.36 SAN: 224.03 12.20

-5.35

8

NOTE

SITE DATA

LOT No.

- to the Builder immediately. Any discrepancies are to be reported proceeding with excavation. between FFL and USF before Surveyor to confirm difference laying out the work. subdivision zoning regarding setbacks in Surveyor is to comply with current
- street furniture and services for driveways. yards, swales & drives and clearances to they relate to max. & min. slopes for Subdivision Lot Drainage and Grading as standards for Local Municipal The builder shall comply with all current

7.5m @ 2.0%

7.5m @ 2.0

- Footings to bear on natural undisturbed and may not represent actual footing level shown are taken from architectural plans finished grade. Underside of footings soil and be a min of 1.22m below
- All dimensions and grade elevations are shown in meters.
- 5. Unless otherwise indicated, finished floor provision of 2 risers at entries must be Grade at entry points to house and Maintain top of foundation wall made to gain entry into house. level is 0.40m above Specified House

05.91

227.41 36.56

227.66 227.66

36.55

227.26

227.22 ×

Ź

227.48 2X12 FGF-FBF=3.05

227.31

28

돐

227.51

SUNKEN (227.90)

37.71

| | |*30

227.37

2.0%

FGF 228.23 TFW 227.87 FBF 225.18 USF 224.90

2.7%

builders expense.

T/G=227.21 INV=225.44 %0.5 @ mč./ 79 DECK 228 227.34 勃 (NOISE 12.75 7.5m @ 2.0% BUFFER) 228.89 227.41 2.0% 227.43 HENCE ON THE PROPERT 7.5m @ 2.0% WOOD 4R DECK 228.32 227,47 2.d%

227.26

RLCB

228.75

IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT. 06/05/22 100083628 LEE 083628

JURA CRESCENT

DRIVE

LOCATION OF THE AIR
CONDENSER UNIT FOR LOT 50 IS
IN GENERAL CONFORMITY WITH
THE NOISE ATTENUATION WORKS WE HEREBY CERTIFY THAT THE





9

₽

N.T.S.

DRIVE

MCVEAN

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER. LOT NO. 50. REGISTERED PLAN 43M-2122 THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

SITE PLAN REVIEW

COMMENTS AS NOTED NO COMMENT **- - d** DATE A MON 32

CANDEVCON LIMITED CONSULTING ENGINEERS AND PLANNERS

GENERAL NOTES

BLOCK

 $\overline{\Omega}$

227.47

227.36

50

97

227.5

227.72

227.72

227.59

49

227.60

227.58

227.45)-X

787

NOTE:#22

NOTE:#22

ALEXIE 40-5 - OPT MAIN -5 BED ELEV B

2.0%

2.0%

.25

9.70

.25

.25

min. 0.15m above finished grade.

Unprotected openings (windows,doors) must be min 1.2m from lot lines.

Waterbox to be min. 1m away from driveway. If within 1m to be relocated at

SANITARY CONNECTION(SINGLE) SANITARY CONNECTION(DOUBLE) 5.59 X 6.10 2-2.44 8.62 ≽⊤ຕ ROOF COLLECTOR MAILBOX PAD DOWNSPOUT GAS METER HYDRO METER FIRE RATED WALL AIR CONDITIONER AFR TOZZ AS FER NEW GRADES 4 186, FNAL REALISM LINE OF LAND MANAGEMENT BX: DO

LEGEND

INTERIOR GARAGE W/L (m)

BUILDING HT. (10.60 m MAX.)

ZONING

R1F-2463 43M-

50

REGISTERED PLAN

GARAGE DOOR WIDTH (m)

X 286.00 PROPOSED GRADES

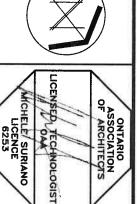
FINISHED GROWN FLOOR
TOP OF FOUNDATION WALL
FINISHED BASEMENT FLOOR
UNDERSIDE OF FOOTINGS REAR
UNDERSIDE OF FOOTINGS REAR
UNDERSIDE OF FOOTINGS FRONT
SWALE DIRECTION
DIRECTION
WALK OUT DECK
WALK OUT DECK
WALK OUT DECK
EXTERIOR DOOR LOCATION

◁◿◑◑◒◒◛◛◛▮▢▧◩▧▮◒▧

STREET SIGN
REVERSE PLAN
ENGNEERING FILL LOTS
LOT WITH SIDE/REAR UPGRADE

WATER SERVICE STORM & SANITA STORM & SANITA

HYDRANT
IRANSFORMER
VALVE CHAMBER
VALVE CHAMBER
CABLE TV PEDESTAL
BELL PEDESTAL
EATH PASIN
EATHORO SEVICE LATERAL
STREET SIGN



JURA CRESCENT

SURIANO DESIGN CONSULTANT: 51 Roysun Roed, Unit 1 Vaughan, Orkario L4L 8P9 T. 905-264-0924 SURIAN CHITECTURAL DESIGN

ď	NTS INC.	:	0	
PROJECT No 19-277	O A	SCALE 1:250	APR 29/22	LOT 50
	PAGE NO.			9
ROYAL PINE HOMES	PAGE NO. CLENT NAME :		PROJECT NAME: VALES OF HUMBER	SITE PLAN

THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE STAIN LOTS MAY REQUIRE CHANGES.

LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM CANNOR OF 2.0% AND A MAXIMUM CA

JOPE OF 6.0%.

3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE
HALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE
CCOMPLISHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN
LSM SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT

BE PERMITTED.

BE PERMITTED.

BE PERMITTED.

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE 11-AIT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADVANCENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.

(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.

(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.

(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.

DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAINPTON SUBDIVISION DESIGN STANDARDS. 200mm of topsoil shall be applied to each lot prior to sodding, driveway grades should not be less than 2.0% and not greater

The minimum clear distance between the edge of a driveway and a ${\sf TY}$ structure is 1.2m.

(14) House styles are to be used to suit the lot grading.
(15) Semi-detached and townhouse units to employ split drainage.
(16) Brickline to be 150mm to 200mm above final grade at house.
(17) Patio Stones must be installed along the side entrance.
(18) This is meant to be read in conjunction with city of Brampton Subdomson design criteria.

(19) 0.20m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.

(20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS

(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERHICATION REQUIRED. (21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.

. CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

(24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS. AS BEDDING FOR WEEPING TILE AND

BASEMENT SLAB IF FDC IS PROPOSED.

NOTE

JNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN STEPLAN WAS APPROVED. BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

SITE DATA

LOT No.

REGISTERED PLAN

ZONING

R1F-2463 43M-

8.61

2

GENERAL NOTES

BLOCK

- between FFL and USF before Surveyor is to comply with current to the Builder immediately. Any discrepancies are to be reported proceeding with excavation. Surveyor to confirm difference subdivision zoning regarding setbacks in aying out the work.
- The builder shall comply with all current street furniture and services for driveways Subdivision Lot Drainage and Grading as they relate to max. & min. slopes for standards for Local Municipal vards, swales & drives and clearances to

15 7.5m @ 2.0%

227.54

227.60

DECK

#

84.01

- Footings to bear on natural undisturbed and may not represent actual footing level. shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below
- All dimensions and grade elevations are shown in meters.

MAIN - 4 BED

227.37 HP.

227.52 0.79

SOPHIA 40-3 - 4 BED ELEV B/ REV

NOTE:#22

NOTE:#22

₫ 4 1 m

2.0%

50

52

227.27

227

S

227.45

227.60

227.48

227.47

227.36

Ŕ

Ċν Unless otherwise indicated, finished floor provision of 2 risers at entries must be Grade at entry points to house and Maintain top of foundation wall made to gain entry into house. level is 0.40m above Specified House

9.70

6. Unprotected openings (windows,doors) min. 0.15m above finished grade. must be min 1.2m from lot lines.

2x12 FGF-FBF=3.05

227.39

227.37

FGF TFW FBF USF

228.03 227.67 224.98 224.70

2.1%

FGF-FBF-3.05 FGF 228.11 TFW 227.75 FBF 225.06 USF 224.78

2.0% 227.22

227.37

2R

MOD

227.06 227.24

227.21

227.24

227.21

227.22 -×227.10

228.08 5R

2R**¥** ¬ −

123

227,21

L 38

DOOR

227.26

227.41 36.56

227.69 227.69

2.1%

36.57

SUNKEN 227.73

19.30

9.70

.25

Waterbox to be min. 1m away from driveway. If within 1m to be relocated at builders expense

227.30 227.15 2.0% 79 227.19 7.5m @ 2.0% (NOISE 7.5m @ 2.0% BUFFER) 7.5m @ 2.09 227.26 228.75

228.59

LOCATION OF THE AIR
CONDENSER UNIT FOR LOT 51 IS
IN GENERAL CONFORMITY WITH
THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE





Ø

DRIVE

CRESCENT

JURA



图

PL¥

N.T.S.

M C

VEAN

STM: 224.25 SAN: 223.94 -5.35-JURA CRESCENT 12.20 STM: 224.25 SAN: 223.94 -5.35-226.96 00 * 226.98 227.00 227.02

COMMENTS AS NOTED NO COMMENT

DATE A May . 22 REVIEWED BY AB

CANDEVCON LIMITED

CONSULTING ENGINEERS AND PLANNERS

WITH THE DESIGNER

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN

HE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED IS BEING IN CONFORMITY WITH THE OVERALL APPROVED SRADING PLANS FOR THE SUBDIVISION

<u>⊀</u>.00

3.43

9:3%

DRIVEWAY

6.05

20.8

DRIVEWAY

%L'b

227.96

227.07 * 22 [227.25]

14.8

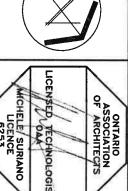
LOT NO. 51

REGISTERED PLAN 43M-7422

SITE PLAN REVIEW

16.4

2.0%



		<u> </u>
MICHELE/ SURIANO LICENCE 6253	LICENSED TECHNOLOGIST	OF ARCHITECTS

URIAN

[*] Ō	APR 29/22		PROJECT NAME: VALTES OF HUMBER	
:	SCALE 1:250			
NTSINC	<u>о</u> Д _а	PAGE NO.	PAGE NO. CLIENT NAME :	[
ď	PROJECT No 19-277		ROYAL PINE HOME	m I

言の

DATE ATR 29/2 REVISION/ISSUED: AS THE NEW GRADES & ISS. THAL REPART LESS CONTRACTOR 8 5 5 B

86.00 EXISTING GRADES
FINISHED GROUND FLOOR
TOP OF FOUNDATION WALL
FINISHED BASEMENT FLOOR
UNDERSIDE OF FOOTINGS
R UNDERSIDE OF FOOTINGS REAR
UNDERSIDE OF FOOTINGS REAR
UNDERSIDE OF FOOTINGS FRONT
SWALE DIRECTION
DIRECTION OF FLOW
DIRECTION OF FLOW
D WALK OUT BASEMENT
EXTERIOR DOOR LOCATION

≽≖ດ

GAS METER HYDRO METER ■ FIRE RATED WALL

AIR CONDITIONER

2 🗐 €

ROOF COLLECTOR
MAILBOX PAD
DOWNSPOUT

WATER SERVICE
STORM & SANITARY CONNECTION(SINGLE)
STORM & SANITARY CONNECTION(DOUBLE)

REVERSE PLAN
ENGINEERING FILL LOTS
LOT WITH SIDE/REAR UPGRADE

STREET LIGHT

HYDRAMT

TRANSFORMER
VALVE CHAMBER
CABLE TV PEDESTAL
BELL PEDESTAL
BELL PEDESTAL
CATCH BASIN
CATCH BASIN
TITREET SIGN
STREET SIGN
EVERSF PARTIES
EVERSF PARTIES

**CONTRACT
*

X 286.00

X 286.00 PROPOSED GRADES

EGEND I

GARAGE DOOR WIDTH (m) BUILDING HT. (10.60 m MAX.)

INTERIOR GARAGE W/L (m)

5.59 X 6.10 2 - 2.44

SURIANO DESIGN CONSULTANT 51 Roysun Road, Unit 1 Vaughan, Orkario L4L 8P9 T. 905-264-0924

(1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXINUM

31.0PE OF 6.0%.
31.0PE OF 6.0%.
31.0PE OF 6.0%.
31. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE STALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.

BE PERMITTED.

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.

(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0%) SLOPE) OF 0.6m MINIMUM

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DEFACHED UNITS, 6m FOR MULTIPLE UNITS.
(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.

(11) 200mm of topsoil shall be applied to each lot prior to sodding.
(12) Driveway grades should not be less than 2.0% and not greater than 8.0%.

(13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A JULITY STRUCTURE IS 1.2m.

(14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
(15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPUT DRAINAGE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.

(19) 0.20 $_{\mathrm{m}}$ clearance must be provided between the siding and the final top of ground elevation at the house. ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.

(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.

CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

(24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE BASEMENT SLAB IF FDC IS PROPOSED.

GENERAL NOTES

Surveyor is to comply with current to the Builder immediately. proceeding with excavation. between FFL and USF before laying out the work. subdivision zoning regarding setbacks in Any discrepancies are to be reported Surveyor to confirm difference

VOOD ACOUSTIC

METAL POST

The builder shall comply with all current street furniture and services for driveways. yards, swales & drives and clearances to they relate to max. & min. slopes for Subdivision Lot Drainage and Grading as standards for Local Municipal

5'0%

7.5m @ 2.0%

2.0%

Footings to bear on natural undisturbed All dimensions and grade elevations and may not represent actual footing level. finished grade. Underside of footings shown are taken from architectural plans soil and be a min. of 1.22m below

94.0

227.03

227.21

are shown in meters.

3ELLA STD MAIN - 5 BED A

ISABEL 40-6 - OP ELEV C

MAIN - 4 BED

227.37

0.79

HP.

SOPHI 40-3 - 4 BE ELEV B/ RE

2.0%

Unless otherwise indicated, finished floor min. 0.15m above finished grade. made to gain entry into house. provision of 2 risers at entries must be Grade at entry points to house and Maintain top of foundation wall level is 0.40m above Specified House

9.70

227.36

227.36

1.25

9.70

2.1%

42R

36.57

227,21

1 28 1 28

227.37

227.35

(HP. 227.21

趸

227.533 18

运

10

227.27

- Unprotected openings (windows, doors) must be min 1.2m from lot lines.
- Waterbox to be min. 1m away from driveway. If within 1m to be relocated at

FGF 227.91 TFW 227.55 FBF 224.86 USF 224.58

2x12 FGF-FBF=3.05

2x12 FGF-FBF=3.05

2.1%

FGF 228.11 TFW 227.75 FBF 225.06 USF 224.78

FGF 228.03 TFW 227.67 FBF 224.98 USF 224.70

FBF USF

227.19

%Þ'S

227.1

227.88

227.24

227.06 227.24

DRIVEWAY

227.12

%6.3

DRIVEWAY

6.05

6.05 DRIVEWAY

%l.p

2.0%

BLOCK 36.57 227.21 227.08 %0.5 @ mč.7 FENCE ON THE PROPERTY 9 9ħ.Q NOISE -16.3 52 227.15 W000 4R 2.0% 84.01 7.5m @ 2.0% 227.27 BUFFER) 227.45 228.59 227.30 227.15 2.0% 227.19 7.5m @ 2.0% 12.35 6Z.7 S

WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 52 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB



SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.

Q

DRIVE

JURA CRESCENT



Š

PLAN N.T.S.

DRIVE

MCVEAN

SITE PLAN REVIEW

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION. THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN LOT NO SZ... REGISTERED PLAN 43M-2122

NO COMMENT

COMMENTS AS NOTED CANDEVCON LIMITED 0 DATE 4 May 22

CONSULTING ENGINEERS AND PLANNERS

NOTE

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

↓1.00

₹.00

STM: 224.20 SAN: 223.86

STM: 224.25 SAN: 223.94

12.20

226.96

. 09

STM: 224.25 SAN: 223.94

-5.35-

-5.35-

5.35-

JURA CRESCENT

INTERIOR GARAGE W/L (m)	GARAGE DOOR WIDTH (m)	BUILDING HT. (10.60 m MAX.)	ZONING	REGISTERED PLAN	LOT No.	SITE DATA
5.59 X 6.10	2 - 2.44	9.22	R1F-2463	43M-	52	

_							
	LOT No.	, [52				
	REGISTERED PLAN		43M-				
1	ZONING		R1F-2463				
	BUILDING HT. (10.60 m MAX.)	X	9.22				
	GARAGE DOOR WIDTH (m)	3)	2-2.44				
	INTERIOR GARAGE W/L (m)	m)	5.59 X 6.10				
21	-CEND	▧▮	LRSELY LIGHT	0	ROOF COLLECTOR	_	
286.	286.00 PROPOSED GRADES	P	HYDRANT	Q 1	DOWNSPOUT		
286.0	286.00 EXISTING GRADES	9 ⊗	VALVE CHAMBER	1	FIRE RATED WALL		
- 1	TOP OF FOUNDATION WALL		BELL PEDESTAL CATCH BASIN	E Q	GAS METER		
		þ ¦	T HYDRO SEVICE LATERAL STREET SIGN	> 1	AIR CONDITIONER		
में दं	UNDERSIDE OF FOOTINGS FRONT	₩¤	REVERSE PLAN ENGINEERING FILL LOTS				
	DIRECTION OF FLOW	\$	LOT WITH SIDE/REAR UPGRADE			19	ATR 29/22
8 5	WALK OUT DECK	⊿ •	STORM & SANITARY CONNECTION(SINGLE)			-	MAR. 11/22
	EXTERIOR DOOR LOCATION	٩	STORM & SANITARY CONNECTION(DOUBLE)			o.	No: DATE:

STORM & SANITARY CONNECTION(DOUBLE)	STORM & SANITARY CONNECTION(SINGLE)	WATER SERVICE	LOT WITH SIDE/REAR UPGRADE	ENGINEERING FILL LOTS	REVERSE PLAN	STREET SIGN	HYDRO SEVICE LATERAL	CATCH BASIN	BELL PEDESTAL	CABLE TV PEDESTAL	VALVE CHAMBER	TRANSFORMER	- HYDRANT	STREET LIGHT
						AIR CONDITIONER		H HYDRO METER	G GAS METER		FIRE RATED WALL	OF DOWNSPOUT	MAILBUX PAD	ROOF COLLECTOR
No:	ŀ	I	۲				Ī							
No: DATE:	MARL TVZZ		APP TWZ									100		
REVISION/ISSUED:	NAME TYZZ ISOLIED POR CLIENT NEVERU		AFF. 29/21 AS FEER NEW GRADES 4 850, FINAL											
m			9	_	-	_	-	_	_	-	_	-		

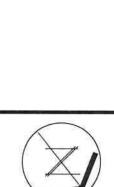
N Mark Car

GENDEL

X[286.00] PROPOSED GRADES

₩.O.D

P?
ğ
TR NEW GRADES 4 186, PINAL D.O.



(
MICHELE SURIANO LICENCE 6253	LICENSED TECHNOLOGIS	ONTARIO ASSOCIATION OF ARCHITECTS

SURIAN

	NC.		9	
PROJECT No 19-277	о Д _а	SCALE 1:250	DATE △PR 29/22	LOT 52
	PAGE NO.			
ROYAL PINE HOME	PAGE NO. CLIENT NAME :		PROJECT NAME: VALES OF HUMBER	SITE PLAN

m

(1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.

(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.

(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED,THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE PERMITTED.

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BO 0.7. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.

(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0%) SLOPE) OF 0.6m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DEFIACHED UNITS, 6m FOR MULTIPLE UNITS.
(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.
(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.
DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

(10) Weeping tile drainage to be in accordance with the city of Brampton Subdivision design Standards. 200mm of topsoil shall be applied to each lot prior to sodding. Driveway grades should not be less than 2.0% and not greater

(13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A JILLITY STRUCTURE IS 1.2m.

(14) House styles are to be used to suit the lot grading.
(15) Semi-Detached and Townhouse units to employ split drainage.
(16) Brickline to be 150mm to 200mm above final grade at house.
(17) Patio Stones must be installed along the side entrance.
(18) This is meant to be read in conjunction with city of Brampton Subdivision design criteria. (19) 0.20m Clearance must be provided between the siding and the Final top of ground elevation at the house.

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.
(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED. BRAMPTON STANDARDS ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF

CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE BASEMENT SLAB IF FDC IS PROPOSED.

GENERAL NOTES

BLOCK

79

(NOISE

BUFFER)

Surveyor is to comply with current to the Builder immediately. Any discrepancies are to be reported proceeding with excavation. between FFL and USF before Surveyor to confirm difference laying out the work. subdivision zoning regarding setbacks in

20%

226.79

226.76

- The builder shall comply with all current street furniture and services for driveways. Subdivision Lot Drainage and Grading as standards for Local Municipal yards, swales & drives and clearances to they relate to max. & min. slopes for
- Footings to bear on natural undisturbed and may not represent actual footing level. shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below

54

226.94

226.91

~ ₹ >

4 BED

NOTE:#22

2.0%

77.6g \$37.6g

227.06

67.01

7.5m @ 2.d%

- All dimensions and grade elevations are shown in meters.
- Unless otherwise indicated, finished floor made to gain entry into house. min. 0.15m above finished grade. provision of 2 risers at entries must be Grade at entry points to house and level is 0.40m above Specified House Maintain top of foundation wall

70

.25

25

9.70

9.70

227.36

HP 227.21

227.26

Unprotected openings (windows,doors) must be min 1.2m from lot lines.

6 E==1 -∑05.61

8

큤

2x12 FGF-FBF=3.05

227.34

227.10

元

227.53

声 荥

× 227.34

227.04

227.19

FGF 227.91 TFW 227.55 FBF 224.86 USF 224.58

2.0%

227.26

ΗP

Waterbox to be min. 1m away from builders expense. driveway. If within 1m to be relocated at

118 227.68 4R

18

%Þ:G DRIVEWAY

6.05

227.14

PORCH_ 15 227.88

J4R

54.5

2.0%

96

227.02 226.90

2.0%

227.08

Ø D V

227.19

WO FBF

12.20

226.86

STM: 224.20 SAN: 223.86

12.20

တ တ

1.00

JURA

CRESCENT

5.35

	<i>36.5</i> 6	g 227.0	2.0%			8.27	**	7
NO	TE:#22	226.85	7.5m @ 2.0%		T/G=226.71. INV=224.92		$\leq \downarrow$	<i>_</i>
	1SA 40-6 - ELEV		, o ka		2.0%	2.2m HT. FENCE O		<u>\</u>
	ISABELLA 40-6 - STD MAIN - 5 BED ELEVA	± 53	226.88 227.76	- 5.91 - 5.0%	226.78	2.2m HT. WOOD ACOUSTIC FENCE ON THE PROPERTY	\angle	_
	N-5E	a 2.0.46	\$ \$ 6₹.01	47.7	SI	ALS ALS		_
227.36	βË	227.03	12.21 → 7.2m @ 5.0			12.20	\geq	"
HP.		% 227.21	227.06 2.0%	~	226.91 [—]		_	
227	.21 <i>36</i>	-	S 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	= ²²⁶	22	8.40	•	_
127.36	ISABE 40-6 - OP ELEV C	227.08	№ %0.S @ mč.7	226.93	2.0%	PENCE HI		_
	117.2	94.0	→ • • • • • • • • • • • • • • • • • • •	10:0	2.0% J 2	WOOD,	7	<u></u>
	MAIN -	5		16.6.2 	_POST 	2.2m HT. WOOD ACCUSTIC FENCE ON THE PROPERTY		-8
			- 117NI-1 1	1019 ° P	ν.		5	
					≥:	X ⊡ =	≠ ≥	2.5

WE HEREBY CERTIFY THAT THE OCATION OF THE AIR
CONDENSER UNIT FOR LOT 53 IS
GENERAL CONFORMITY WITH
HE NOISE ATTENUATION WORKS ECTION 1.3 OF THE NOISE TTENUATION STATEMENT.



Ø JURA CRESCENT



9

₽

N.T.S.

DRIVE

CVEAN

DRIVE

NO COMMENTS AS NOTED [] THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER. THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION. NO COMMENT LOT NO. 53... REGISTERED PLAN 43M-7132 CANDEVCON LIMITED SITE PLAN REVIEW CONSULTING ENGINEERS AND PLANNERS DATE 4 May 22

NOTE

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

5.59 X 6.10	INTERIOR GARAGE W/L (m)
2 - 2.44	GARAGE DOOR WIDTH (m)
9.18	BUILDING HT. (10.60 m MAX.)
R1F-2463	ZONING
43M-	REGISTERED PLAN
53	LOT No.
	SITE DATA

REVISION/ISSUED:	No: DATE:	No	3	∇ STORM & SANITARY CONNECTION(DOUBLE)	STORM & SANIT	۱4
MAR 1722 ISSUED FOR CLERN PEYER	MAR 11/22	-		STORM & SANITARY CONNECTION(SINGLE)	STORM & SANIT	⊿ •
ATT. 29/22 AS TER NEW GRADES 4 ISO, THAIL	-	ы		LOT WITH SIDE/REAR UPGRADE	WATER SERVICE	•
				LL LOTS	ENGINEERING FILL LOTS	(⊕
		~	A AIR CONDITIONER		STREET SIGN	™
			H HYDRO METER	LATERAL		ļo
				·		Ø
		F	FIRE RATED WALL	R	VALVE CHAMBER	Ø ⊗
			•		TRANSFORMER	•
		~	ROOF COLLECTOR			©
			.10	5.59 X 6.10		[3
				1.7 - 7		
			4	2-244		3
				9.18	(C)	AX.)

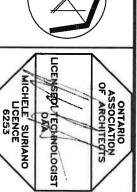
LEGEND

X(286.00) PROPOSED GRADES
X286.00 EXISTING GRADES
FOR FINISHED GROUND FLOOR
FINE TOPO F FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USER UNDERSIDE OF FOOTINGS
USER UNDERSIDE OF FOOTINGS REAR
USER UNDERSIDE OF FOOTINGS REAR
USER UNDERSIDE OF FOOTINGS FRONT
SWALE DIRECTION
OF FLOW
WOLD WALK OUT BESMENT
I EXTERIOR DOOR LOCATION

◁◿◑◑◒◒▧◞▮◻▨◩▧▮◌ੑੑੑੑੑੑੑੑੑੑੑਫ਼



3 6 8





SURIAN

SURIANO DESIGN CONSULTANT 51 Roysun Road, Unit 1 Vaughan, Onkario L4L 8P9 T. 905-264-0924

- R	TS INC.	X	9	
PROJECT No 19-277	0 D _M	SCALE 1:250	ME APR 29/22	LOT 53
	PAGE NO.			
ROYAL PINE HOMES	PAGE NO. CLIENT NAME :		PROJECT NAME: VALES OF HUMBER	OTE PLAN

(1) THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE CERTAIN LOTS MAY REQUIRE CHANGES.
(2) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6.0%.
SLOPE OF 6.0%.
(3) WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED,THE MAXIMUM SLOPE SHALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN 0.6M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT BE DEFORMED. PERMITTED.

(6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0% SLOPE) OF 0.6m MINIMUM. (4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTH-S.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS.

(7) A REAR APRON (2.03) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS, 6m FOR MULTIPLE UNITS.

(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.

(9) DOWNISPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.

DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.

200mm of Topsoil shall be applied to each lot prior to sodding. Driveway grades should not be less than 2.0% and not greater

(13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
(14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.
(15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(17) PATTO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.

THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON BDIVISION DESIGN CRITERIA.

(19) 0.20m clearance must be provided between the siding and the final top of ground elevation at the house. ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF

(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.) Builder to provide layout for the location of curb depressions en requested by the builder.

SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

STRUCTION ON CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING TION ON ENGINEERED FILL LOTS.

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE BASEMENT SLAB IF FDC IS PROPOSED.

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

1226.86

DRIVEWAY

18.4

F1.00

12.20

STM: 224.09 SAN: 223.74

COMMENTS AS NOTED

- a

DATE 4 May 22

CANDEVCON LIMITED

CONSULTING ENGINEERS AND PLANNERS

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

LOT NO 54 ... REGISTERED PLAN 48M-2122

SITE PLAN REVIEW

-5.35-

NOTE:

GENERAL NOTES

- Surveyor is to comply with current to the Builder immediately. proceeding with excavation. laying out the work Any discrepancies are to be reported between FFL and USF before Surveyor to confirm difference subdivision zoning regarding setbacks in
- The builder shall comply with all current standards for Local Municipal street furniture and services for driveways yards, swales & drives and clearances to they relate to max. & min. slopes for Subdivision Lot Drainage and Grading
- Footings to bear on natural undisturbed and may not represent actual footing level shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below
- All dimensions and grade elevations are shown in meters.

55

9.70

- Unless otherwise indicated, finished floor min. 0.15m above finished grade. Grade at entry points to house and Maintain top of foundation wall level is 0.40m above Specified House made to gain entry into house. provision of 2 risers at entries must be
- Unprotected openings (windows,doors) must be min 1.2m from lot lines.
- driveway. If within 1m to be relocated Waterbox to be min. 1m away from

TFW FBF USF

227.77 227.41 224.72 224.44

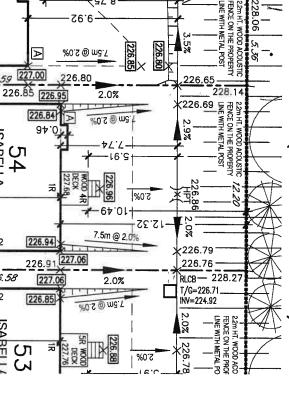
800

227.05

2x12 FGF-FBF=3.05

_₽ -

BLOCK 79 NOISE BUFFER



WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 54 IS IN GENERAL CONFORMITY WITH ATTENUATION STATEMENT. **SECTION 1.3 OF THE NOISE** IDENTIFIED IN SECTION 1, SUB THE NOISE ATTENUATION WORKS



D. LEE

MRICK

DRIVE

MCVEAN

9

PLAN N.T.S.

JURA CRESCENT

DRIVE

i≅ ₹ 0.79 227.05 70 227.20 226.88 2.1% £ 227.18 2.0% 2.0% 3 28 SUNKEN 28 227.45 FGF TFW FBF USF 6.05 227.15 2x12 FGF-FBF=3.05 STM: 224.09 SAN: 223.74 MOD 227.64 ISABELLA 40-6 - STD MAIN -ELEV B (REV.) DRIVEWAY -5.35-227.83 227.47 224.78 224.50 %0°b 96.4 . 8 70 227.68 4R QΣ.61 12.20 BED 227.26 .25 \$€ NOTE:#22 2.0% 2.0% 227.04 2.0% HP 226.93× 227.11 227.19 36.58 227.26 NOTE:#22 荔] 4R 4R 227.76 226.89 ISABELL/ 40-6-STD MA ELEVA WO FBE HOR 6

JURA CRESCENT

REVISION/ISSUED: 3 2

X 286.00 EXISTING GRADES
FOR FINISHED GROUND FLOOR
THY TOP OF FOUNDATION WALL
FOR FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS REAR
USF UNDERSIDE OF FOOTINGS FRONT
SMALE DIRECTION
W.D.D WALK OUT BASEMENT
NO.D WALK OUT BECK
W.O.D WALK OUT BECK
W.O.D WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

WATER STORM STORM

SERVICE & SANITARY CONNECTION(SINGLE) & SANITARY CONNECTION(DOUBLE)

STREET LIGHT

HYDRANT

RANSFORMER

VALVE CHAMBER

VALVE CHAMBER

CARE TY PEDESTAL

BELL PEDESTAL

BELL PEDESTAL

BELL PEDESTAL

BELL PEDESTAL

CARCH BASIN

E NOTRE STREET SIGN

REVERSE PLAN

E NONERENING FILL LOTS

LOT WITH SIDE FEAR UPGRADE

WATER SERVER

≥ r ດ

AIR CONDITIONER

X[286.00] PROPOSED HGHND

GRADES

GARAGE DOOR WIDTH (m) BUILDING HT. (10.60 m MAX.

REGISTERED PLAN

ZONING

R1F-2463 43M-

8.48

2

LOT No. SITE DATA

INTERIOR GARAGE W/L (m)

5.59 X 6.10 2-2.44

Q 6 6

ROOF COLLECTOR
MAILBOX PAD
DOWNSPOUT

** FIRE RATED WAL GAS METER HYDRO METER

APR 29/2				
ATTE THE AS THE NEW GRADES + 150, PINAL D.O.				
Da				

MICHELE SURIANO LICENCE	LICENSED TECHNOLOGIST	ONTARIO ASSOCIATION OF ARCHITECTS

<u> </u>	
D	OF AS
OF OF OF	ONTARIO ASSOCIATION F ARCHITECT
NOLO	TION
	LICENSED TECHNOLOGIST

7	백 ·	
SURIANO DESIGN CONSULTANTS INC. 51 Roysun Roed, Unit 1 Vaughen, Ontario L41, 8P9		SURIANO.

8P9	ANTS INC.		0.	
PROJECT No 19-277	O Da	SCALE 1:250	APR 29/22	LOT 54
	PAGE NO.			-4
ROYAL PI	PAGE NO. CLIENT NAME :		YALTS OF	SITE PLAN

79	NTS INC.		· 0	- F
PROJECT No 19-277	O Da	SCALE 1:250	APR 29/22	LOT 54
	PAGE NO.			-
ROYAL PINE HOMES	PAGE NO. CLIENT NAME :		YALES OF HUMBER	OITE PLAN

THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE FAIN LOTS MAY REQUIRE CHANGES.

LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM BE OF 6.0%.

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS. WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED,THE MAXIMUM SLOPE ILL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE OMPUSHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN IN SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT

AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0%

SLOPE) OF 0.6m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DEFACHED UNITS, 6m FOR MULTIPLE UNITS.

(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.

(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.

DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.

(11) 200mm of topsoil shall be applied to each lot prior to sodding. (12) Driveway grades should not be less than 2.0% and not greater

(13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A JULITY STRUCTURE IS $1.2 \mathrm{m}$.

(14) HOUSE STYLES ARE TO BE USED IN JUNE 11. CONTROL DRAINAGE (15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPLIT DRAINAGE (16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE (17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE (18) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.

(20) all driveway widths and driveway paving shall be as per city of Brampton Standards (19) 0.20m clearance must be provided between the siding and the final top of ground elevation at the house.

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER. (22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER WINNIGHAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCANATION. TOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.

(23)SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

24) SOIL CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING CONSTRUCTION ON ENGINEERED FILL LOTS.

(25) Limestone not to be used as bedding for weeping tile and sasement slab if FDC is proposed.

GENERAL NOTES

BLOCK

79

(NOISE

BUFFER)

Surveyor is to comply with current to the Builder immediately. proceeding with excavation. between FFL and USF before Surveyor to confirm difference laying out the work. Any discrepancies are to be reported subdivision zoning regarding setbacks in

street furniture and services for driveways. yards, swales & drives and clearances to they relate to max. & min. slopes for Subdivision Lot Drainage and Grading standards for Local Municipal The builder shall comply with all current S

226.60

226.62

226.80

228.1

METAL POST

Ø

DRIVE

JURA CRESCENT

226.69

2.0%

7.5m @ 210%

7.5m @ 2<u>.0</u>%

7.5m @ 2.0%

2.0%

%0.5 @ mc.

-16.2

13

Footings to bear on natural undisturbed and may not represent actual footing level shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below

S 125

48.0

Þ

226.84

226.95

227.00

226.85

S

000 227.56 ECK

226.74

226.74

are shown in meters. All dimensions and grade elevations

9.70

25

70

0.79

2.0%

36.59

ISABELLA 40-6 - STD MA ELEV B (REV.)

56

Unless otherwise indicated, finished floor provision of 2 risers at entries must min. 0.15m above finished grade. Maintain top of foundation wall made to gain entry into house. Grade at entry points to house and level is 0.40m above Specified House be

ARIA 40-1 ELEV B (REV.)

2.4%

NOTE:#22

72.71

227.39

25

X HP. 227.03 227.18

Unprotected openings (windows,doors) must be min 1.2m from lot lines.

driveway. If within 1m to be relocated at Waterbox to be min. 1m away from expense.

LICENSED PROFES CONDENSER UNIT FOR LOT 55 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS ATTENUATION STATEMENT. IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE WE HEREBY CERTIFY THAT THE LOCATION OF T HESSION THOMEEN 1E AIR



9

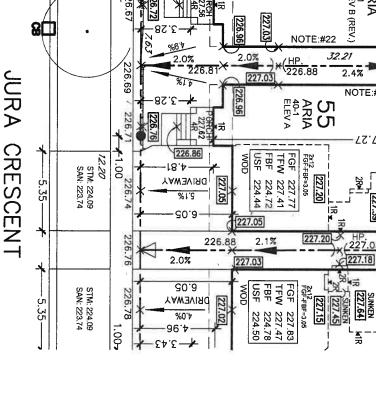
PL A

N.T.S.

DRIVE

MCVEAN





NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

5.59 X 6.10	INTERIOR GARAGE W/L (m)
2 - 2.44	GARAGE DOOR WIDTH (m)
9.11	BUILDING HT. (10.60 m MAX.)
R1F-2463	ZONING
43M-	REGISTERED PLAN
55	LOT No.
	SITE DATA

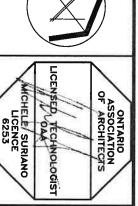
STORM & SANITARY CONNECTION(DOUBLE)	STORM & SANITARY CONNECTION(SINGLE)	WATER SERVICE	LOT WITH SIDE/REAR UPGRADE	ENGINEERING FILL LOTS	REVERSE PLAN	STREET SIGN	* HYDRO SEVICE LATERAL	CATCH BASIN	BELL PEDESTAL	CABLE TV PEDESTAL	VALVE CHAMBER	TRANSFORMER	- HYDRANT	STREET LIGHT
						A AIR CONDITIONER		H HYDRO METER	G GAS METER		FIRE BATED WALL	DOWNSPOUT	MAILBUX PAD	ROOF COLLECTOR
No:	-	T	þ		T					T	Ī	T		
No: DATE:	MAR 11/22		7 772											
REVISION/ISSUED:	MAR 17/2 BOURD FOR CLIENT REVERS		2 ATR 29/2 AS TEX NEW GRADES 4 BM 19/44										The second secon	
BY:	DØ.		D											

X 286.00 EXISTING GRADES
FGF FINISHED GROUND FLOOR
THY TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS
USFR UNDERSIDE OF FOOTINGS REAR
USFF UNDERSIDE OF FOOTINGS FRONT
SWALE DIRECTION
DIRECTION OF FLOW
W.O.D WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

◁◿◑◑◒◒◞▮◻▧◩▧▮◠▧ ◜◜▢◜▢▮

LEGEND

X 286.00 PROPOSED GRADES



SURIANO DESIGN CONSULTAN 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

SURIAN

COMMENTS AS NOTED

o p

DATE A MAY 22

CANDEVCON LIMITED

CONSULTING ENGINEERS AND PLANNERS

NO COMMENT

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION. LOT NO .. 55 ... REGISTERED PLAN .43M-2122

SITE PLAN REVIEW

ANTS INC. DO	SCALE 1:250	9	LOT 55
PAGE NO.			Ü
CLENT NAME :		PROJECT NAME: PROJECT NAME:	OITH PLAN
	DO PAGE NO.	SCALE 1:2500 BY PAGE NO.	SOME 1:250 BY DO PAGE NO.

THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE ANN LOTS MAY REQUIRE CHANGES.

AWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM

WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED,THE MAXIMUM SLOPE ILL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE DIMPLISHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN M SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE TIMBER WALL WILL NOT

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE REARER THAN 3 LOT MOTHAS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS. (6) AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0%),OPE) OF 0.6m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m minimum shall be provided for all detached units, 6m for multiple units.

(8) REAR LOT CATCHBASIN GRATES TO BE 75mm BELOW FINISHED GRADE.

(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.

DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.

(10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.

(11) 200mm of topsoil shall be applied to each lot prior to sodding.
(12) Driveway grades should not be less than 2.0% and not greater than 8.0%.

(13) THE MINMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
(14) HOUSE STYLES ARE TO BE USED TO SUIT THE LOT GRADING.

(14) HOUSE STYLES ARE IN BE USED TO SOME THE CONTROL TO PRINCIPLY SPUT DRAINAGE.
(15) SEMI-DETACHED AND TOWNHOUSE UNITS TO EMPLOY SPUT DRAINAGE.
(16) BRICKLINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE.
(17) PATIO STONES MUST BE INSTALLED ALONG THE SIDE ENTRANCE.
(17) THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.

(19) 0.20m Clearance must be provided between the siding and the final top of ground elevation at the house.

(20) ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF BRAMPTON STANDARDS

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER.

(22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. FOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL CONSULTANTS VERIFICATION REQUIRED.

SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

(25) Limestone not to be used as bedding for weeping tile and Basement slab if FDC is proposed. ill LOTS. [24] Soil Consultants Verification is required for footing: Construction on Engineered fill LOTS.

NOTE:

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.
UNDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

5.59 X 6.10	INTERIOR GARAGE W/L (m)
2 - 2.44	GARAGE DOOR WIDTH (m)
8.48	BUILDING HT. (10.60 m MAX.)
R1F-2463	ZONING
43M-	REGISTERED PLAN
56	LOT No.
	SITE DATA

GENERAL NOTES

BLOCK

79

(NOISE

BUFFER)

- Surveyor is to comply with current to the Builder immediately. laying out the work. subdivision zoning regarding setbacks in Any discrepancies are to be reported proceeding with excavation. between FFL and USF before Surveyor to confirm difference
- yards, The builder shall comply with all current street furniture and services for driveways they relate to max. & min. slopes Subdivision Lot Drainage and Grading standards for Local Municipal swales & drives and clearances to ğ S

%0.2 @ m2.7

7.5m @ 2.0%

7.5m @ 2.0%

2.0%

85.9

2.0%

%0'Z @ wg·/ 2.4%

2:0%

7.5m @ 210%

226.76 800 5R

79.8

X 226.60

226.59

X226.67 226.62

73.0%

226.55

3.3m HT. WOOD ACOUSTIC FENCE ON THE PROPERTY LINE WITH METAL POST

226.61

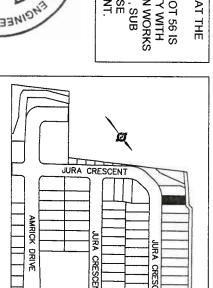
226.76

227.56

- Footings to bear on natural undisturbed and may not represent actual footing level shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below
- All dimensions and grade elevations are shown in meters.
- level is 0.40m above Specified House Unless otherwise indicated, finished floor min. 0.15m above finished grade. Grade at entry points to house and Maintain top of foundation wall made to gain entry into house. provision of 2 risers at entries must be
- Unprotected openings (windows,doors) must be min 1.2m from lot lines.
- Waterbox to be min. 1m away from driveway. If within 1m to be relocated at

WE HEREBY CERTIFY THAT THE LOCATION OF THE AIR CONDENSER UNIT FOR LOT 56 IS IN GENERAL CONFORMITY WITH THE NOISE ATTENUATION WORKS IDENTIFIED IN SECTION 1, SUB SECTION 1.3 OF THE NOISE ATTENUATION STATEMENT.



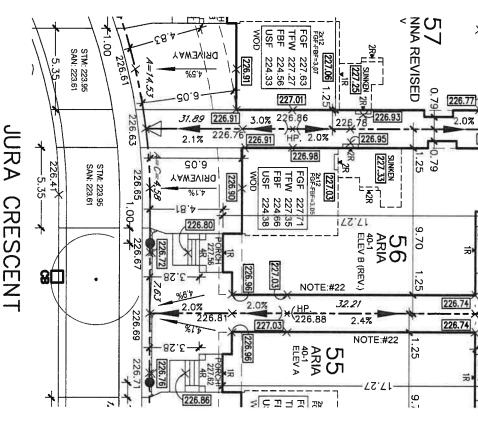


DRIVE

Ñ

PLAN N.T.S.

MC



NO COMMENTS AS NOTED LOT NO .. S. REGISTERED PLAN .. 43 M-2122 THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION. SITE PLAN REVIEW REVIEWED BY AB.

THS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER. CANDEVCON LIMITED CONSULTING ENGINEERS AND PLANNERS

X 286.00 EXISTING GRADES
FOF FINISHED GROUND FLOOR
THY TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS
USF UNDERSIDE OF FOOTINGS REAR
USFF UNDERSIDE OF FOOTINGS FRONT
SWALE DIRECTION
W.O.D WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

WATER STORM STORM

SERVICE
&: SANITARY CONNECTION(SINGLE)
&: SANITARY CONNECTION(DOUBLE)

ATR 29/2 MAR 17/2 DATE:

STREET LIGHT

HYDRANT

RANSFORMER

VALVE CHAMBER

CABLE TV PEDESTAL

BELL PEDESTAL

CATCH BASIN

CATCH BASIN

ENTREET SIGN

REVERSE PILAN

REVERSE PILAN

ENGINEERING FILL LOTS

LOT WITH SIDE/REAR UPGRADE

∑ ± ດ

AIR CONDITIONER

♀■€

ROOF COLLECTOR
MAILBOX PAD
DOWNSPOUT

--- FIRE RATED WALL GAS METER HYDRO METER

LEGEND

X[286.00] PROPOSED GRADES

ğ	BO THAL DO					
	Ĕ					
Ď	B		I	9	I	
			-	W		

MICHELE SURIANO LICENCE 6253	LICENSEDITECHNOLOGIS	ONTARIO ASSOCIATION OF ARCHITECTS

MICHELE	LICENSED	//
CHELE SURIANO	OF A POLOGIST	/
\o^	OGIST	

SURIAN

NTS INC. 0 O_M PROJECT No DATE 1:250 APR 29/22 OT 56 PAGE NO. CLIENT NAME : VALES OF TUNBER ROYAL SITE PLAN TO ZIM 土の下田の

THESE STANDARDS ARE FOR URBAN LOTS AND ARE GENERAL IN NATURE TAIN LOTS MAY REQUIRE CHANGES.

LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM PIFE OF 6.0%.

WHERE GRADES IN EXCESS OF 6.0% ARE REQUIRED, THE MAXIMUM SLOPE ALL BE 3:1. IN ANY CASE GRADE CHANGES IN EXCESS OF 0.6M ARE TO BE COMPUSHED BY USE OF A RETAINING WALL RETAINING WALLS HIGHER THAN SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE. TIMBER WALL WILL NOT DEPOLITED.

(4) THE MAXIMUM DEPTH OF A REAR YARD SWALE SHALL BE 0.3M. THE MAXIMUM FLOW ALLOWED IN A REAR YARD SWALE SHALL BE THAT FROM 6 REAR YARDS, SWALE LENGTHS SHALL NOT BE GREATER THAN 3 LOT WIDTHS.

(5) THE MAXIMUM DEPTH OF A SIDEYARD SWALE SHALL BE 0.2m. THE GRADE ADJACENT TO THE HOUSE SHALL FOLLOW THE GRADE OF THE SWALE. THE MAXIMUM FLOW ALLOWED IN A SIDE SWALE IS THAT FROM 4 REAR YARDS. AT LEAST ONE SIDEYARD OF ALL UNITS SHALL HAVE A SIDE APRON (2.0%

SLOPE) OF 0.6m MINIMUM.

(7) A REAR APRON (2.0%) OF 5m MINIMUM SHALL BE PROVIDED FOR ALL DETACHED UNITS. 6m FOR MULTIPLE UNITS.

(8) REAR LOT CATCHBASIN GRANES TO BE 75mm BELOW FINISHED GRADE.

(9) DOWNSPOUTS TO DISCHARGE ONTO GROUND ON SPLASH PADS.

DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS. (10) WEEPING TILE DRAINAGE TO BE IN ACCORDANCE WITH THE CITY OF BRAMPTON SUBDIVISION DESIGN STANDARDS.

200mm of topsoil shall be applied to each lot prior to sodding. Driveway grades should not be less than 2.0% and not greater

(13) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF A DRIVEWAY AND UTILITY STRUCTURE IS 1.2m.

(4) House styles are to be used to suit the lot grading.
(5) Semi-detached and townhouse units to employ sput drainage.
(6) Brickline to be 150mm to 200mm above final grade at house.
(7) Patio Stones must be installed along the side entrance.
(10) This is meant to be read in conjunction with city of brampton submyssion design criteria.

0.20m Clearance must be provided between the siding and the LTOP of Ground Elevation at the house.

ALL DRIVEWAY WIDTHS AND DRIVEWAY PAVING SHALL BE AS PER CITY OF

(21) BUILDER TO PROVIDE LAYOUT FOR THE LOCATION OF CURB DEPRESSIONS WHEN REQUESTED BY THE BUILDER. (22) FOOTINGS CONSTRUCTED NEXT TO A CATCHBASIN LEAD PIPE OR OTHER MUNICIPAL SERVICES SHALL BE EXTENDED BELOW THE LEAD PIPE EXCAVATION. TOOTINGS MUST BE CONSTRUCTED ON UNDISTURBED GROUND AND SOIL

₽<u></u>23 SOIL CONSULTANTS TO BE NOTIFIED PRIOR TO DIGGING INTO ENGINEERED

(24) CONSULTANTS VERIFICATION IS REQUIRED FOR FOOTING TION ON ENGINEERED FILL LOTS.

(25) LIMESTONE NOT TO BE USED AS BEDDING FOR WEEPING TILE AND BASEMENT SLAB IF FDC IS PROPOSED.

JINDERGROUND SERVICES WERE NOT CONSTRUCTED WHEN SITEPLAN WAS APPROVED.

BUILDER TO VERIFY SANITARY AND STORM INVERT ELEVATIONS PRIOR TO EXCAVATION FOR FOOTINGS.

NOTE:

GENERAL NOTES

- Surveyor is to comply with current to the Builder immediately. Any discrepancies are to be reported proceeding with excavation. between FFL and USF before Surveyor to confirm difference laying out the work. subdivision zoning regarding setbacks in
- The builder shall comply with all current street furniture and services for driveways. yards, swales & drives and clearances to they relate to max. & min. slopes for Subdivision Lot Drainage and Grading as standards for Local Municipal
- 'n Footings to bear on natural undisturbed and may not represent actual footing level shown are taken from architectural plans finished grade. Underside of footings soil and be a min. of 1.22m below

1.2m HT. BLACK VINYL CHAIN LINK FENCE

JOHANNA REVISED 45-04REV ELEV A

227.33

S

226.24

226.77

- All dimensions and grade elevations are shown in meters.
- 5. Unless otherwise indicated, finished floor min. 0.15m above finished grade. Maintain top of foundation wall made to gain entry into house. provision of 2 risers at entries must be Grade at entry points to house and level is 0.40m above Specified House
- Unprotected openings (windows, doors) must be min 1.2m from lot lines.
- Waterbox to be min. 1m away from builders expense. driveway. If within 1m to be relocated at

BLOCK 79 (NOISE 3.9m HT. WOOD ACOUSTIC FENCE ON THE PROPERTY LINE WITH METAL POST ጐ 226.51 %0.2 @ m2.7 ≥ 7.5m @ 2.0% BUFFER) 226.6 226.76 13.0%)X12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% | 12.0% 2.0% 3.3m HT, WOOD ACOUSTIC FENCE ON THE PROPERTY LINE WITH METAL POST 7.5m @ 2.0% Α 86.6 79.8

3.3m HT. ACOLUSTIC FENCE FETURN (WOOD POSTS) WITH

04.6

LOCATION OF THE AIR
CONDENSER UNIT FOR LOT 57 IS
IN GENERAL CONFORMITY WITH
THE NOISE ATTENUATION WORKS ATTENUATION STATEMENT. WE HEREBY CERTIFY THAT THE SECTION 1.3 OF DENTIFIED IN SECTION 1, SUB THE NOISE



Œ JURA CRESCENT

DRIVE



ð

PLAN N.T.S.

DRIVE

MCVEAN

COMMENTS AS NOTED THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. SOLE RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER. LOT NO. 5.7. REGISTERED PLAN 43M-144
THE PROPOSED FOR NO COMMENT IE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED BEING IN CONFORMITY WITH THE OVERALL APPROVED VADING PLANS FOR THE SUBDIVISION. CANDEVCON LIMITED SITE PLAN REVIEW CONSULTING ENGINEERS AND PLANNERS **- b** DATE 4 May 22

(N.H.S. BUFFER) BLX 78 HP. 226.77 \oplus **Σ8.**71 ·11.20-JURA CRESCENT FGF FBF 2x12 FGF-FBF=3.07 USF TFW STM: 223.95 SAN: 223.61 DRİVEWAY 227.63 227.27 224.56 224.33 226.91 %9't 227,01 2R 226.86 -) X HP. 2.0% *31.89* 226.91 3.0% 226.63 226.7 2.1% 226.98 28 226.41 20.8 FGF 22 TFW 25 STM: 223.95 SAN: 223.61 R DRIVEWAY USF WOD 226.65 - T Lin2R -5.35-226.90 58 224 . 00 1 17.27

X 286.00 PROPOSED GRADES GENE

INTERIOR GARAGE W/L (m) GARAGE DOOR WIDTH (m) BUILDING HT. (10.60 m MAX.

5.59 X 6.55 2 - 2.44 REGISTERED PLAN

ZONING

R1F-2463 43M-

8.42

57

SITE DATA

LOT No.

X 286.00 EXISTING GRADES
FGF FINISHED GROUND FLOOR
THY TOP OF FOUNDATION WALL
FBF FINISHED BASEMENT FLOOR
USF UNDERSIDE OF FOOTINGS
USF UNDERSIDE OF FOOTINGS REAR
USFF UNDERSIDE OF FOOTINGS FRONT
SMALE DIRECTION
WOLD WALK OUT BASEMENT
I EXTERIOR DOOR LOCATION

STREET LIGHT

HYDRANT

TRANSFORMER

VALVE CHAMBER

VALVE CHAMBER

CARLE TV PEDESTAL

BELL PEDESTAL

BELL PEDESTAL

CATCH BASIN

CATCH BASIN

ENERGE IGN

REVERSE PLAN

ENGNEERING FILL LOTS

LOT WITH SIDE/REAR UPGRADE

STORM

SERVICE
& SANITARY CONNECTION(SINGLE)
& SANITARY CONNECTION(DOUBLE)

4 6 ≥ E ₽ **** FIRE RATED WALL ROOF COLLECTOR
MAILBOX PAD
DOWNSPOUT GAS METER HYDRO METER AIR CONDITIONER

442. TV22 AS THE NEW GRACIES + 160, THAL 3 8 8

ONTARIO ASSOCIATION OF ARCHITECTS

LICENSED MICHELE SURIANO LICENCE 6253 TECHNOLOGIST OAA

SURIAN JRIANO DESIGN CONSULTANT 51 Roysun Road, Unit † Vaughan, Ontario L4L 8P9 T. 905-264-0924

BY DO PROJECT No 19-211		SCALE 1:250	O. ME 29/22	FOT 51
	PAGE NO.		2	i
ROYAL FINE HOMES	PAGE NO. CLIENT NAME :		PROJECT NAME: PROJECT NAME:	OITE PLAN