

ELEVATION A STANDARD
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	62	8	0	3.44	0.32
	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
	1	36	56	0	14.00	1.30
MAIN LAUNDRY.RM	1	24	56	0	9.33	0.87
UPPER DEN	1	0	0	5.43	5.43	0.50
	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	38	-	-	-	397.55	36.93
WALL AREA	-	-	-	-	4228.74	392.86
RATIO	-	-	-	-	9.40	9.40

ELEVATION A STANDARD
(5 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	62	8	0	3.44	0.32
	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
	1	36	56	0	14.00	1.30
W.I.CL.	1	24	56	0	9.33	0.87
BEDROOM NO.4	1	0	0	5.43	5.43	0.50
	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	38	-	-	-	397.55	36.93
WALL AREA	-	-	-	-	4228.74	392.86
RATIO	-	-	-	-	9.40	9.40

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
 FINAL
RECERT BY: GGE
 This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-6 ISABELLA

[illegible]

ELEVATION A STANDARD
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	62	8	0	3.44	0.32
	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
	1	36	56	0	14.00	1.30
MAIN LAUNDRY.RM	1	24	56	0	9.33	0.87
UPPER DEN	1	0	0	5.43	5.43	0.50
	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	34	-	-	-	400.89	37.24
WALL AREA	-	-	-	-	4370.55	406.04
RATIO	-	-	-	-	9.17	9.17

ELEVATION A STANDARD
(5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	62	8	0	3.44	0.32
	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
	1	36	56	0	14.00	1.30
W.I.C.L.	1	24	56	0	9.33	0.87
BEDROOM NO.4	1	0	0	5.43	5.43	0.50
	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	38	-	-	-	400.89	37.24
WALL AREA	-	-	-	-	4370.55	406.04
RATIO	-	-	-	-	9.17	9.17

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
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MODEL 40-6 ISABELLA

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ELEVATION A STANDARD
(4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	62	8	0	3.44	0.32
	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
	1	36	56	0	14.00	1.30
MAIN LAUNDRY.RM	1	24	56	0	9.33	0.87
UPPER DEN	1	0	0	5.43	5.43	0.50
	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	38	-	-	-	398.67	37.04
WALL AREA	-	-	-	-	4317.65	401.12
RATIO	-	-	-	-	9.23	9.23

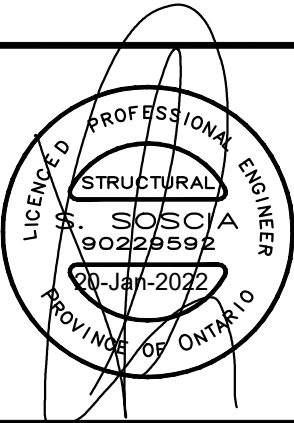
ELEVATION A STANDARD
(5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	62	8	0	3.44	0.32
	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
	1	36	56	0	14.00	1.30
W.I.CL.	1	24	56	0	9.33	0.87
BEDROOM NO.4	1	0	0	5.43	5.43	0.50
	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	38	-	-	-	398.67	37.04
WALL AREA	-	-	-	-	4317.65	401.12
RATIO	-	-	-	-	9.23	9.23

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-6 ISABELLA

3.	DEC . 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 08/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT.08/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME:
**INSULATED WALL & WINDOW
OPENINGS AREA CALCULATIONS-A**

DATE PLOTTED:
DEC. 08/21

DRAWN BY:
M.H./J.LAM

AREA:
3438 sq.ft.

DATE:
OCT. 23/20

TYPE:

PAGE No:
05

SCALE:
3/16" = 1' - 0"

PROJECT No:
20-108

PROJECT NAME:
**ROYAL PINE
HOMES**

MODEL NAME:
MODEL 40-6 ISABELLA

ELEVATION A OPT.GRND FLR
(4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO—O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	62	8	0	3.44	0.32
	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM (2ND FLR)	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
	1	36	56	0	14.00	1.30
MAIN LAUNDRY.RM	1	24	56	0	9.33	0.87
UPPER DEN	1	0	0	5.43	5.43	0.50
	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE (2ND FLR)	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	39	-	-	-	409.33	38.03
WALL AREA	-	-	-	-	4317.65	401.12
RATIO	-	-	-	-	9.48	9.48

ELEVATION A OPT.GRND FLR
(5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	62	8	0	3.44	0.32
	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM (2ND FLR)	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
	1	36	56	0	14.00	1.30
W.I.CL.	1	24	56	0	9.33	0.87
BEDROOM NO.4	1	0	0	5.43	5.43	0.50
	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE (2ND FLR)	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	39	-	-	-	409.33	38.03
WALL AREA	-	-	-	-	4317.65	401.12
RATIO	-	-	-	-	9.48	9.48

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
 FINAL
RECERT BY: GGE
 This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-6 ISABELLA

[illegible]

ELEVATION B STANDARD
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42
UPPER DEN	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	401.56	37.31
WALL AREA	-	-	-	-	4269.06	396.61
RATIO	-	-	-	-	9.41	9.41

ELEVATION B STANDARD
(5 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.CL.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	401.56	37.31
WALL AREA	-	-	-	-	4269.06	396.61
RATIO	-	-	-	-	9.41	9.41

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
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MODEL 40-6 ISABELLA

[illegible]

ELEVATION B OPT.GRND FLR
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42
UPPER DEN	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	412.22	38.30
WALL AREA	-	-	-	-	4269.06	396.61
RATIO	-	-	-	-	9.66	9.66

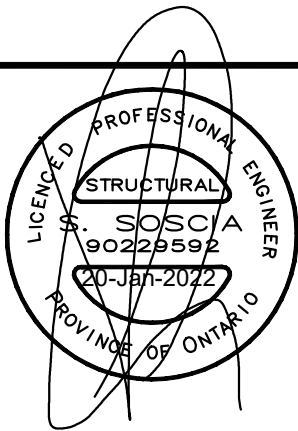
ELEVATION B OPT.GRND FLR
(5 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.CL.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	412.22	38.30
WALL AREA	-	-	-	-	4269.06	396.61
RATIO	-	-	-	-	9.66	9.66

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
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MODEL 40-6 ISABELLA

3.	DEC . 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 06/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT.05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H./J.LAM	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: 02
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:
MODEL 40-6 ISABELLA

ELEVATION B STANDARD
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42
UPPER DEN	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	404.89	37.62
WALL AREA	-	-	-	-	4410.87	409.78
RATIO	-	-	-	-	9.18	9.18

ELEVATION B STANDARD
(5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.C.L.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	404.89	37.62
WALL AREA	-	-	-	-	4410.87	409.78
RATIO	-	-	-	-	9.18	9.18

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
 FINAL
RECERT BY: GGE
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MODEL 40-6 ISABELLA

[illegible]

ELEVATION B OPT.GRND FLR
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42
UPPER DEN	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	415.56	38.61
WALL AREA	-	-	-	-	4410.87	409.78
RATIO	-	-	-	-	9.42	9.42

ELEVATION B OPT.GRND FLR
(5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.C.L.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	415.56	38.61
WALL AREA	-	-	-	-	4410.87	409.78
RATIO	-	-	-	-	9.42	9.42

W Architect Inc.
DESIGN CONTROL REVIEW
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MODEL 40-6 ISABELLA

[illegible]

ELEVATION B STANDARD
(4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42
UPPER DEN	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	402.67	37.41
WALL AREA	-	-	-	-	4357.97	404.87
RATIO	-	-	-	-	9.24	9.24

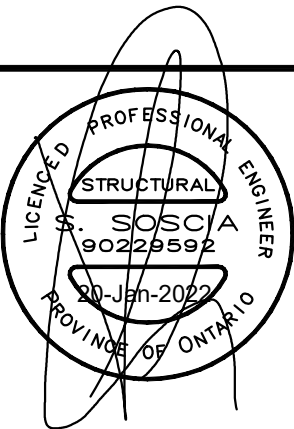
ELEVATION B STANDARD
(5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.C.L.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	402.67	37.41
WALL AREA	-	-	-	-	4357.97	404.87
RATIO	-	-	-	-	9.24	9.24

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MODEL 40-6 ISABELLA

3.	DEC . 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 06/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT.05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H./J.LAM	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: 05
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:
MODEL 40-6 ISABELLA

ELEVATION B OPT.GRND FLR
(4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42
UPPER DEN	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	413.33	38.40
WALL AREA	-	-	-	-	4357.97	404.87
RATIO	-	-	-	-	9.48	9.48

ELEVATION B OPT.GRND FLR
(5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.CL.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	413.33	38.40
WALL AREA	-	-	-	-	4357.97	404.87
RATIO	-	-	-	-	9.48	9.48

W Architect Inc.
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 JANUARY 21, 2022
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MODEL 40-6 ISABELLA

[illegible]

ELEVATION C STANDARD
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81
UPPER DEN	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	403.32	37.47
WALL AREA	-	-	-	-	4268.28	396.54
RATIO	-	-	-	-	9.45	9.45

ELEVATION C STANDARD
(5 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
BEDROOM NO.4	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	403.32	37.47
WALL AREA	-	-	-	-	4268.28	396.54
RATIO	-	-	-	-	9.45	9.45

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MODEL 40-6 ISABELLA

[illegible]

ELEVATION C OPT.GRND FLR
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81
UPPER DEN	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	413.99	38.46
WALL AREA	-	-	-	-	4268.28	396.54
RATIO	-	-	-	-	9.70	9.70

ELEVATION C OPT.GRND FLR
(5 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
BEDROOM NO.4	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	413.99	38.46
WALL AREA	-	-	-	-	4268.28	396.54
RATIO	-	-	-	-	9.70	9.70

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MODEL 40-6 ISABELLA

[illegible]

ELEVATION C STANDARD
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81
UPPER DEN	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	406.66	37.78
WALL AREA	-	-	-	-	4410.09	409.71
RATIO	-	-	-	-	9.22	9.22

ELEVATION C STANDARD
(5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
BEDROOM NO.4	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	406.66	37.78
WALL AREA	-	-	-	-	4410.09	409.71
RATIO	-	-	-	-	9.22	9.22

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
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MODEL 40-6 ISABELLA

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ELEVATION C OPT.GRND FLR
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81
UPPER DEN	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	417.32	38.77
WALL AREA	-	-	-	-	4410.09	409.71
RATIO	-	-	-	-	9.46	9.46

ELEVATION C OPT.GRND FLR
(5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
BEDROOM NO.4	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	417.32	38.77
WALL AREA	-	-	-	-	4410.09	409.71
RATIO	-	-	-	-	9.46	9.46

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
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MODEL 40-6 ISABELLA

[illegible]

ELEVATION C STANDARD
(4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81
UPPER DEN	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	404.43	37.57
WALL AREA	-	-	-	-	4357.19	404.80
RATIO	-	-	-	-	9.28	9.28

ELEVATION C STANDARD
(5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
BEDROOM NO.4	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	404.43	37.57
WALL AREA	-	-	-	-	4357.19	404.80
RATIO	-	-	-	-	9.28	9.28

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MODEL 40-6 ISABELLA

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ELEVATION C OPT.GRND FLR
(4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81
UPPER DEN	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	415.10	38.56
WALL AREA	-	-	-	-	4357.19	404.80
RATIO	-	-	-	-	9.53	9.53

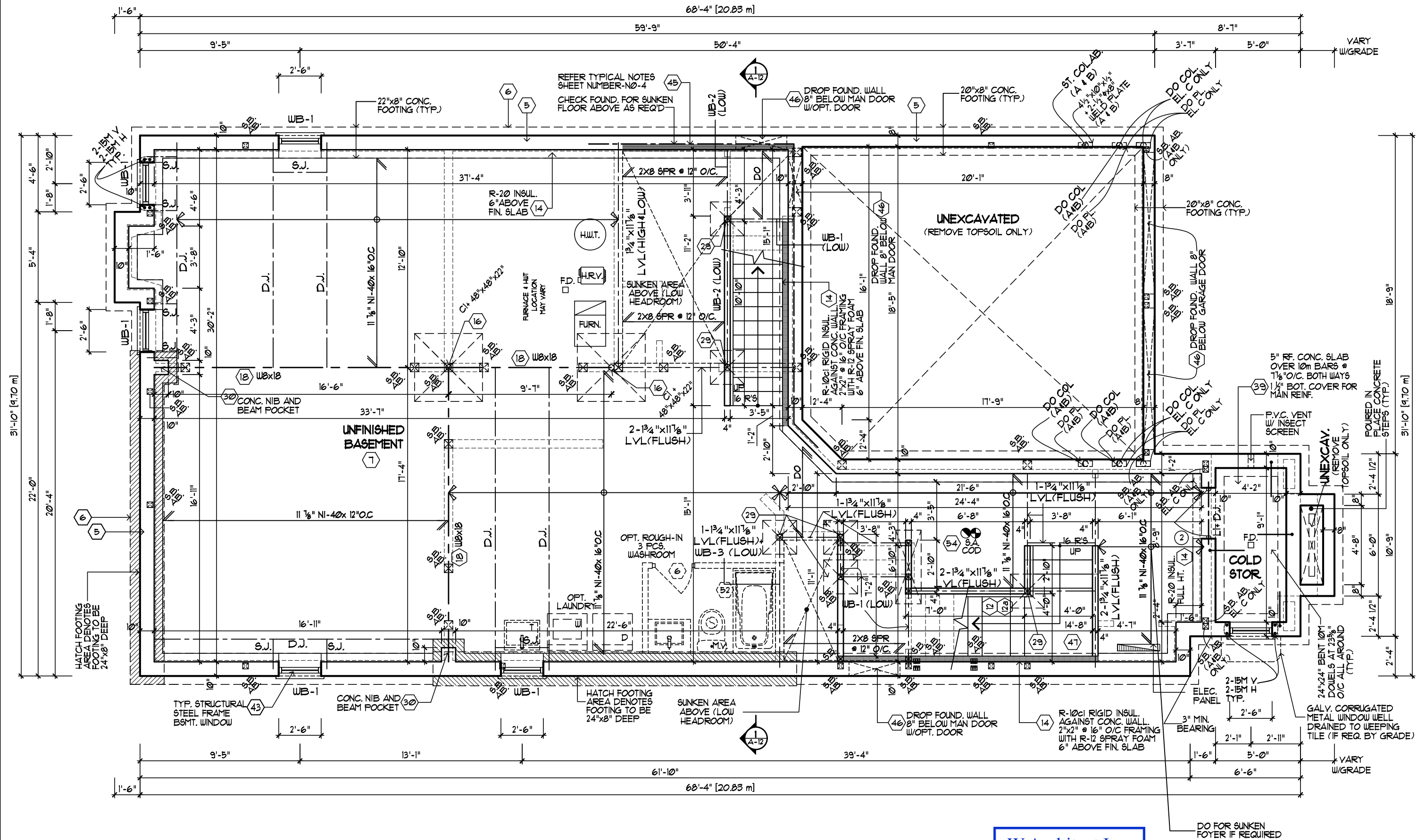
ELEVATION C OPT.GRND FLR
(5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
BEDROOM NO.4	1	72	52	0	26.00	2.42
	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	415.10	38.56
WALL AREA	-	-	-	-	4357.19	404.80
RATIO	-	-	-	-	9.53	9.53

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
 FINAL
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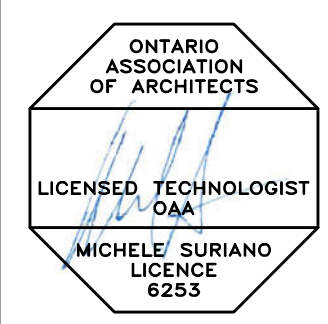
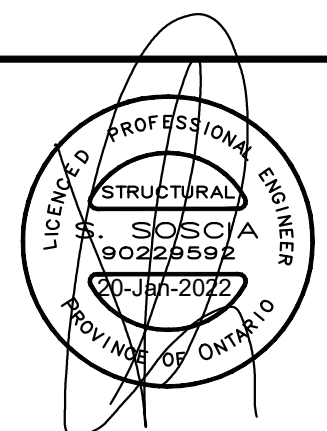


BASEMENT FLOOR PLAN
FOR STANDARD GROUND FLOOR
ELEVATION A, B, C

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECURT BY: GGE
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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:

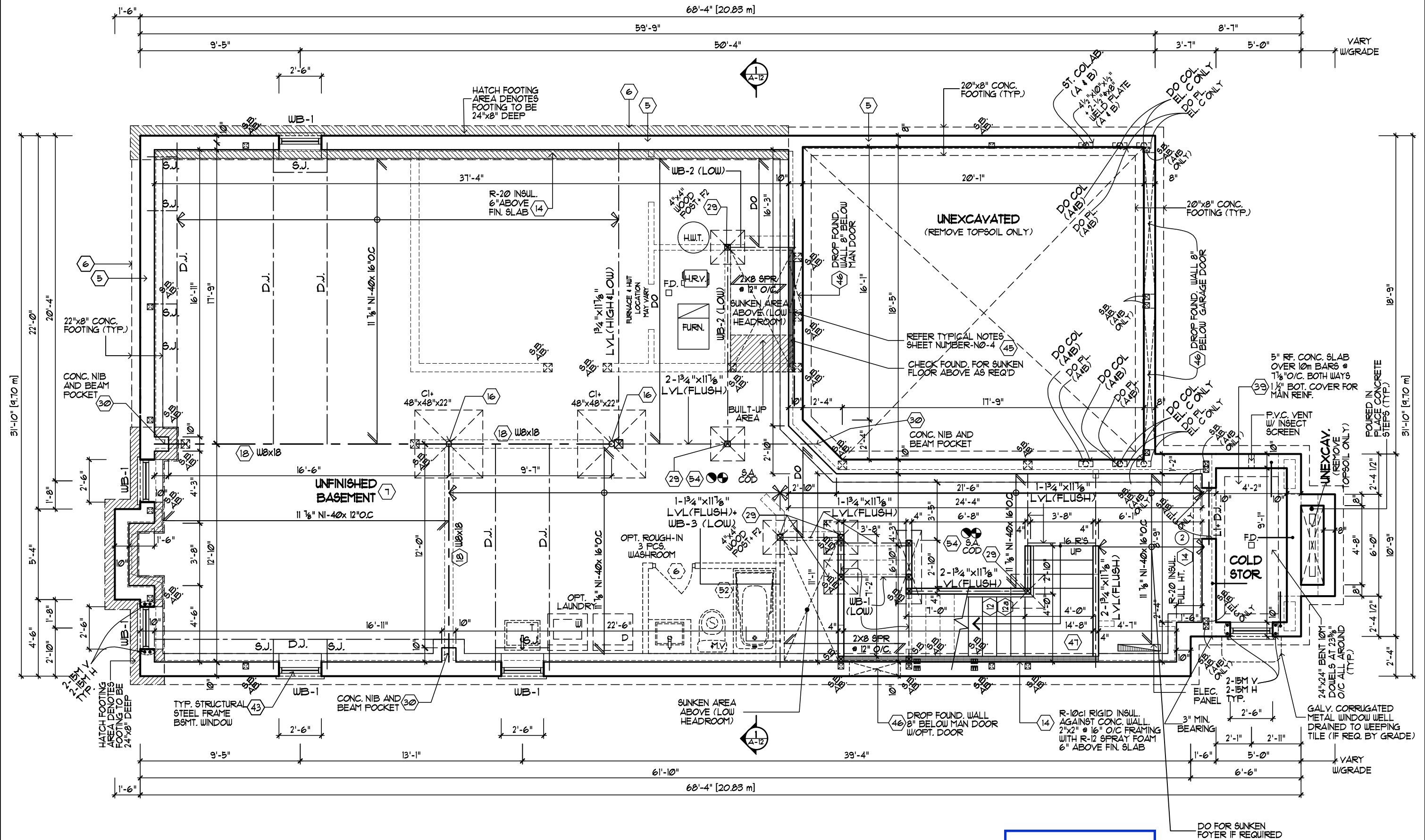


SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: BASEMENT FLOOR PLAN FOR STANDARD GROUND FLOOR FOR ELEVATION A, B, C		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-1
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-6 ISABELLA	

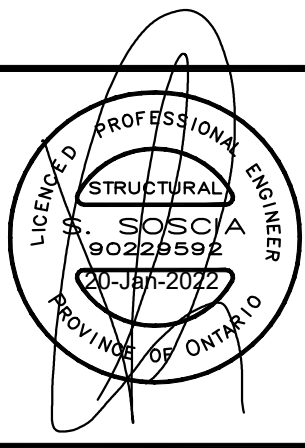


BASEMENT FLOOR PLAN
FOR OPTIONAL GROUND FLOOR
ELEVATION A , B , C

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

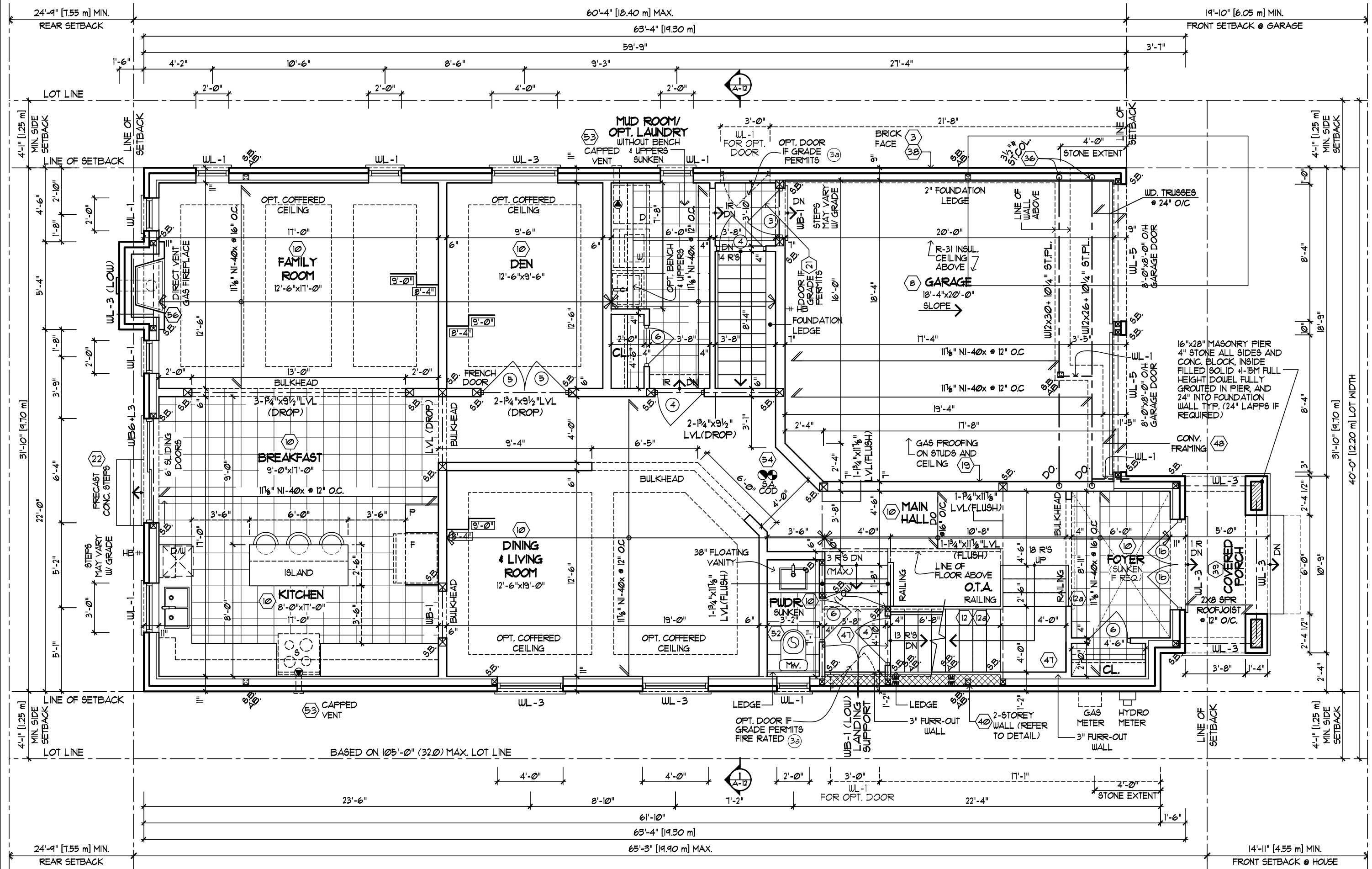
SURIANO DESIGN CONSULTANTS INC.
51 Reysin Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: BASEMENT FLOOR PLAN FOR OPTIONAL GROUND FLOOR FOR ELEVATION A , B , C		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-2
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL 40-6 ISABELLA

MODEL NAME:
MODEL 40-6 ISABELLA

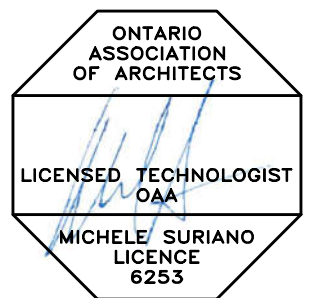
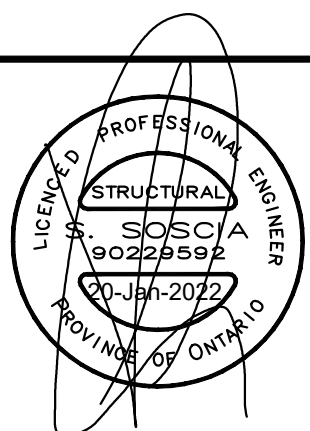


STANDARD
GROUND FLOOR PLAN
ELEVATION A

MODEL 40-6 ISABELLA

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JANUARY 21, 2022
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7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:

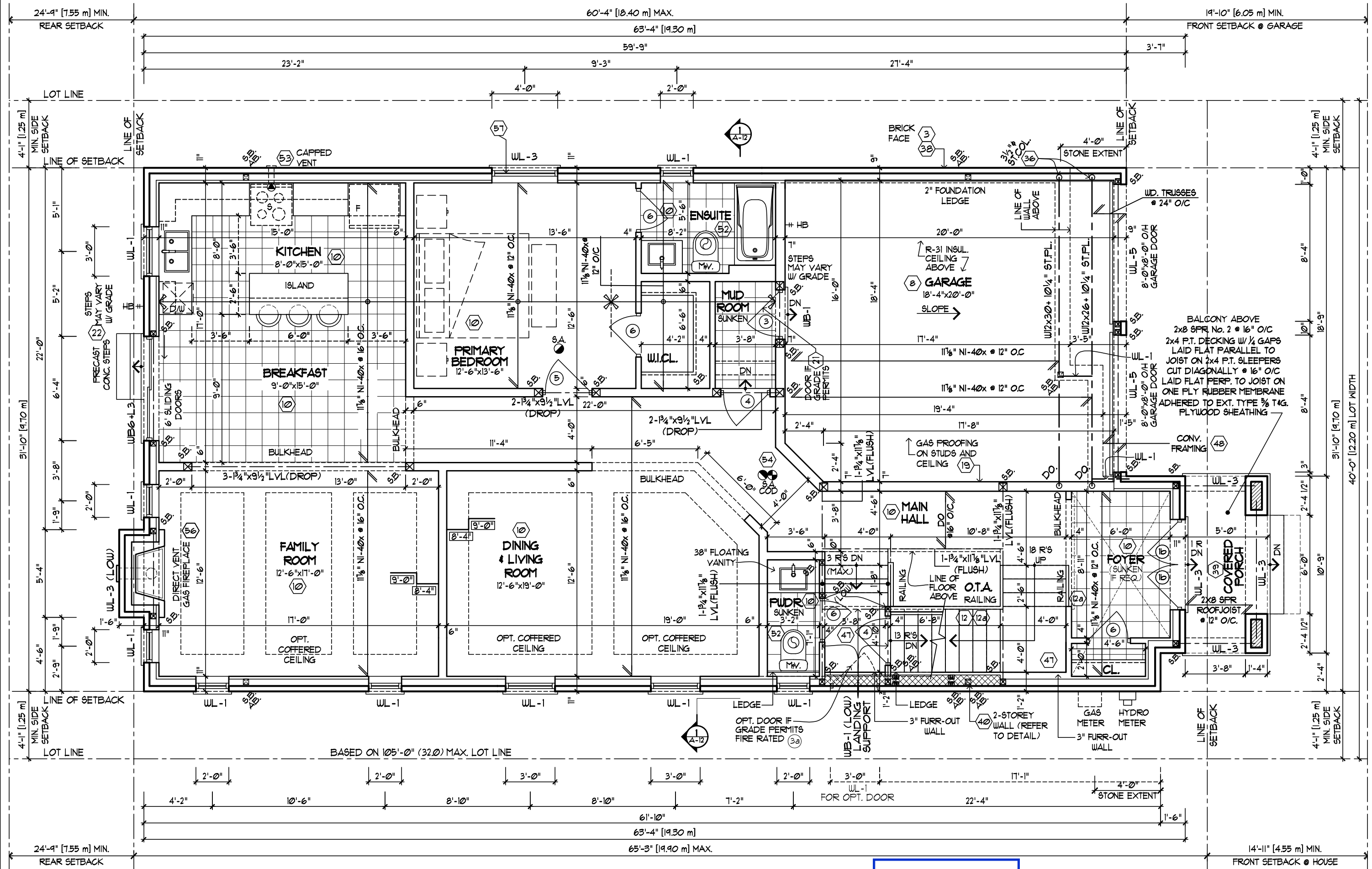


SURIANO.
ARCHITECTURAL DESIGN

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Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD GROUND FLOOR PLAN FOR ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-3
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE HOMES	
PROJECT NAME: MODEL 40-6 ISABELLA	

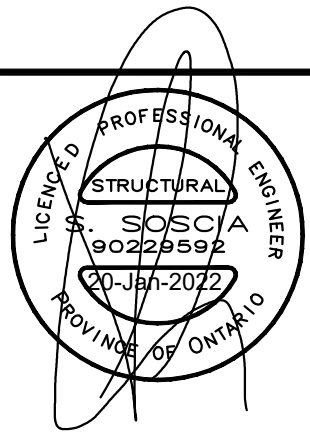


OPTIONAL GROUND FLOOR PLAN
(WITH MASTER BEDROOM)
ELEVATION A

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
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MODEL 40-6 ISABELLA

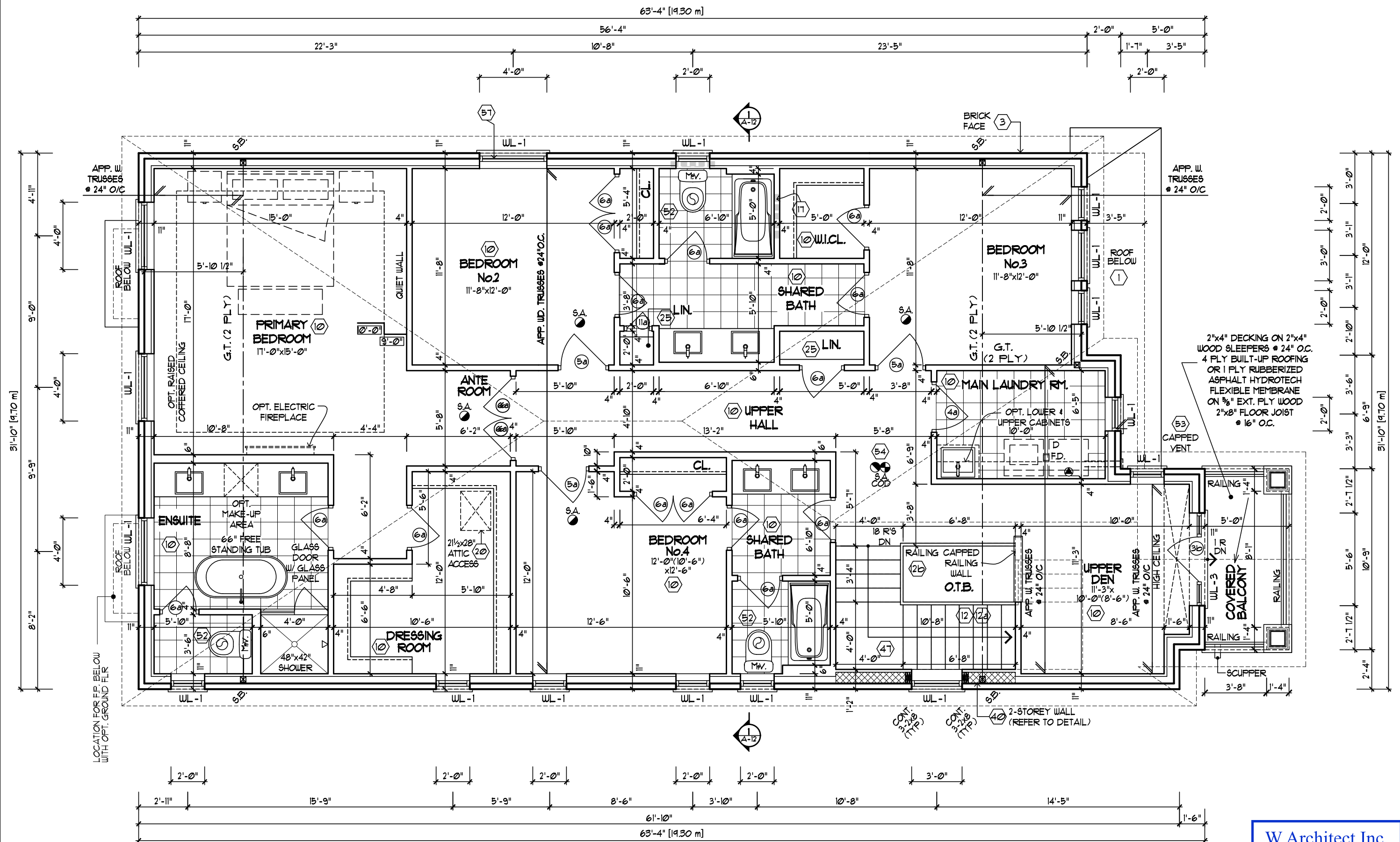
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN
SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: OPTIONAL GROUND FLOOR PLAN (WITH MASTER BEDROOM) FOR ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-4
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

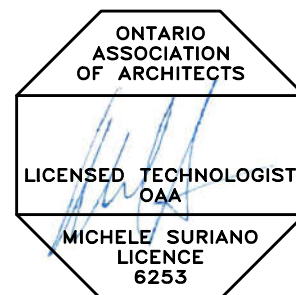
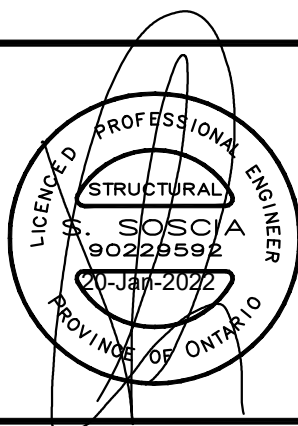
ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-6 ISABELLA	

STANDARD SECOND FLOOR PLAN (4 BEDROOM)
WITH ALT. UPPER DEN
ELEVATION A

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7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
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1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



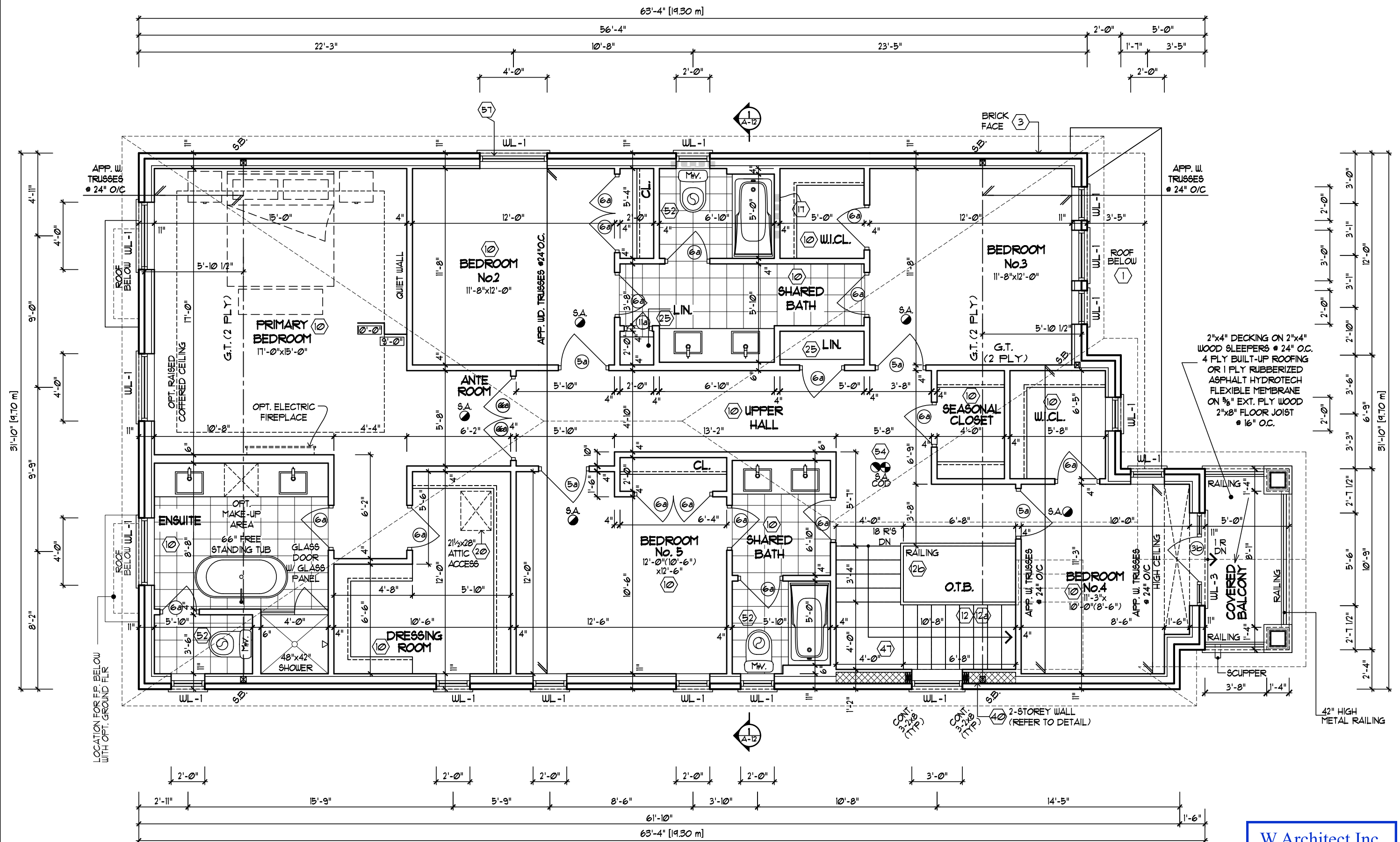
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysin Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD 2ND FLOOR PLAN (4 BEDROOM) WITH ALT. UPPER DEN ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-5
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA



ALTERNATE SECOND FLOOR PLAN (5 BEDROOM)
ELEVATION A

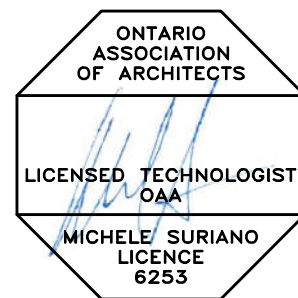
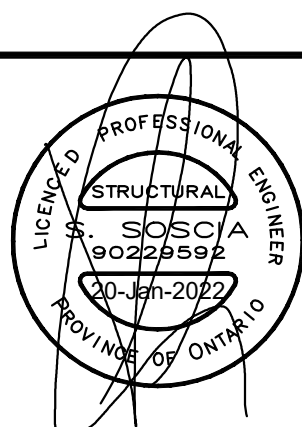
W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022

FINAL
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control and carries no other professional obligations.

MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



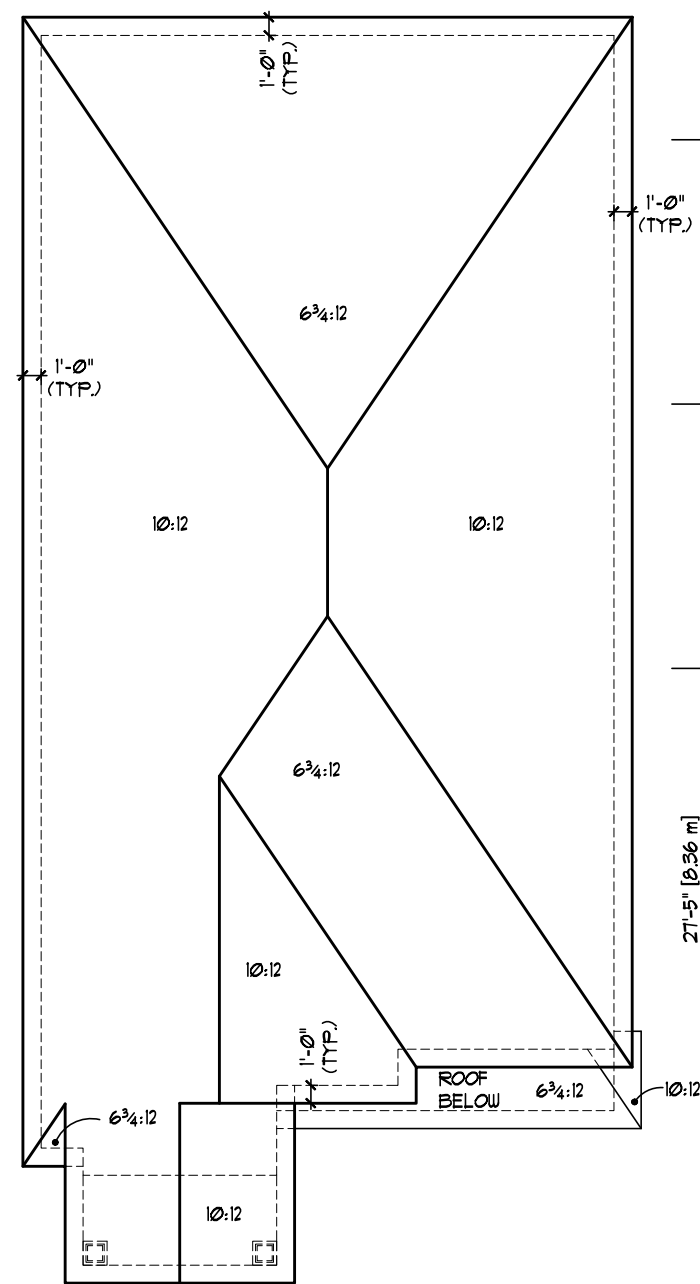
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reynolds Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: ALTERNATE 2ND FLR PLAN (5 BEDROOM) FOR ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-6
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

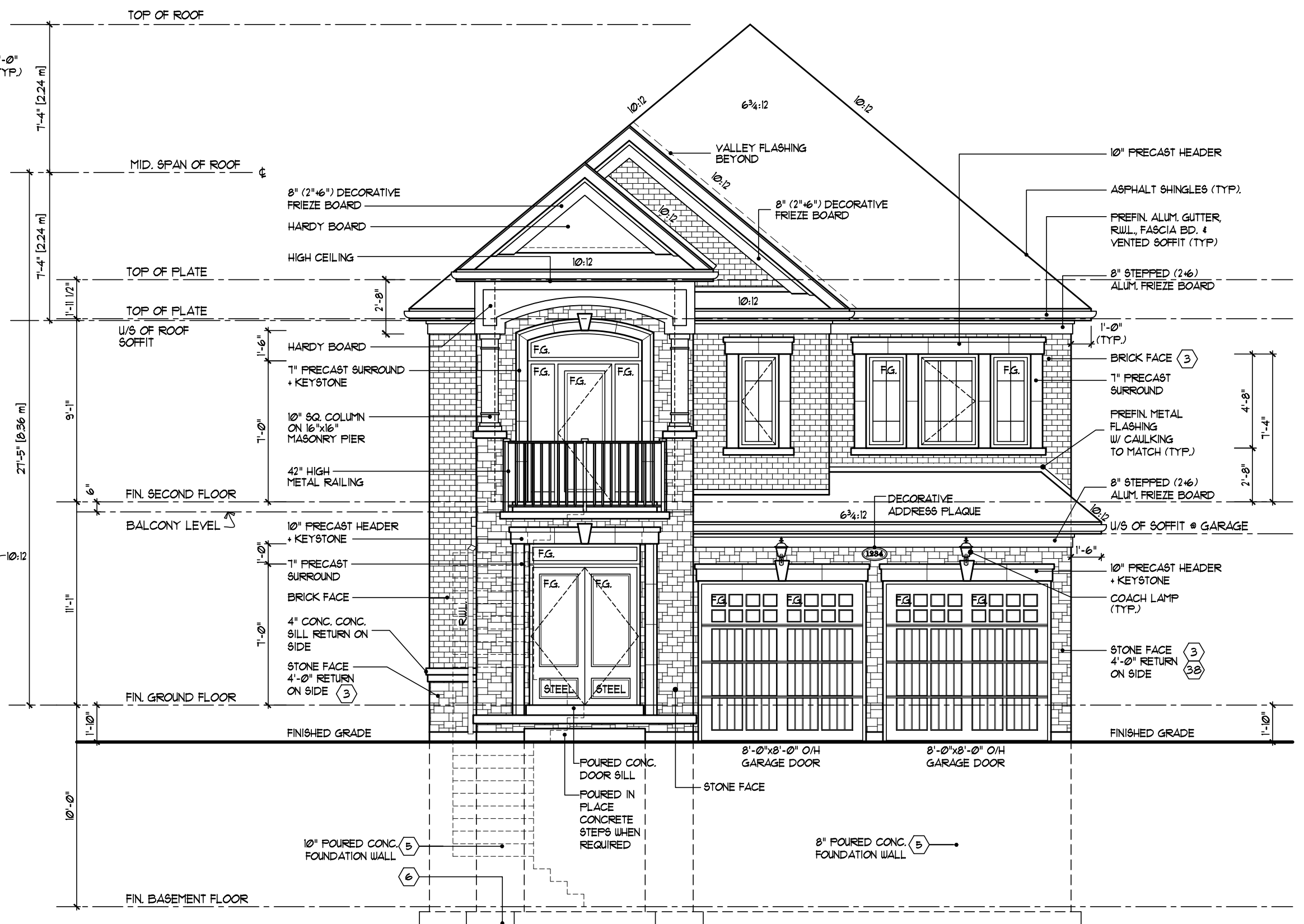
ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA



ROOF PLAN
FOR ELEVATION A
N.T.S.

AREA CALCULATION ELEVATION A			
FINISHED BSMT. AREA	0	SQ. FT.	
GROUND FLOOR AREA	1560	SQ. FT.	
SECOND FLOOR AREA	1835	SQ. FT.	
SUBTOTAL	3455	SQ. FT.	
	320.98	M2	
DEDUCT ALL OPEN AREAS	17	SQ. FT.	
TOTAL NET AREA	3438	SQ. FT.	
	319.40	M2	
COVERAGE W/O PORCH	1953	SQ. FT.	
	181.44	M2	
COVERAGE W/PORCH	2007	SQ. FT.	
	186.46	M2	

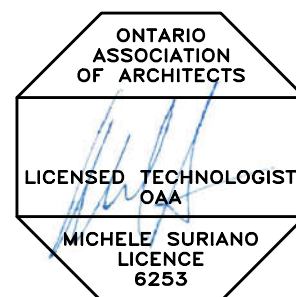
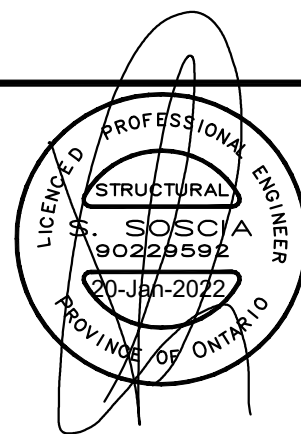


FRONT ELEVATION A

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: FRONT ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-7
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION A (STANDARD GROUND FLOOR)

WALL AREA	= 1422.25	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00%	= 99.56	SQ. FT.
(125m. SIDE YARD)		
ACTUAL WINDOW AREA GLASS ONLY	= 85.21	SQ. FT.

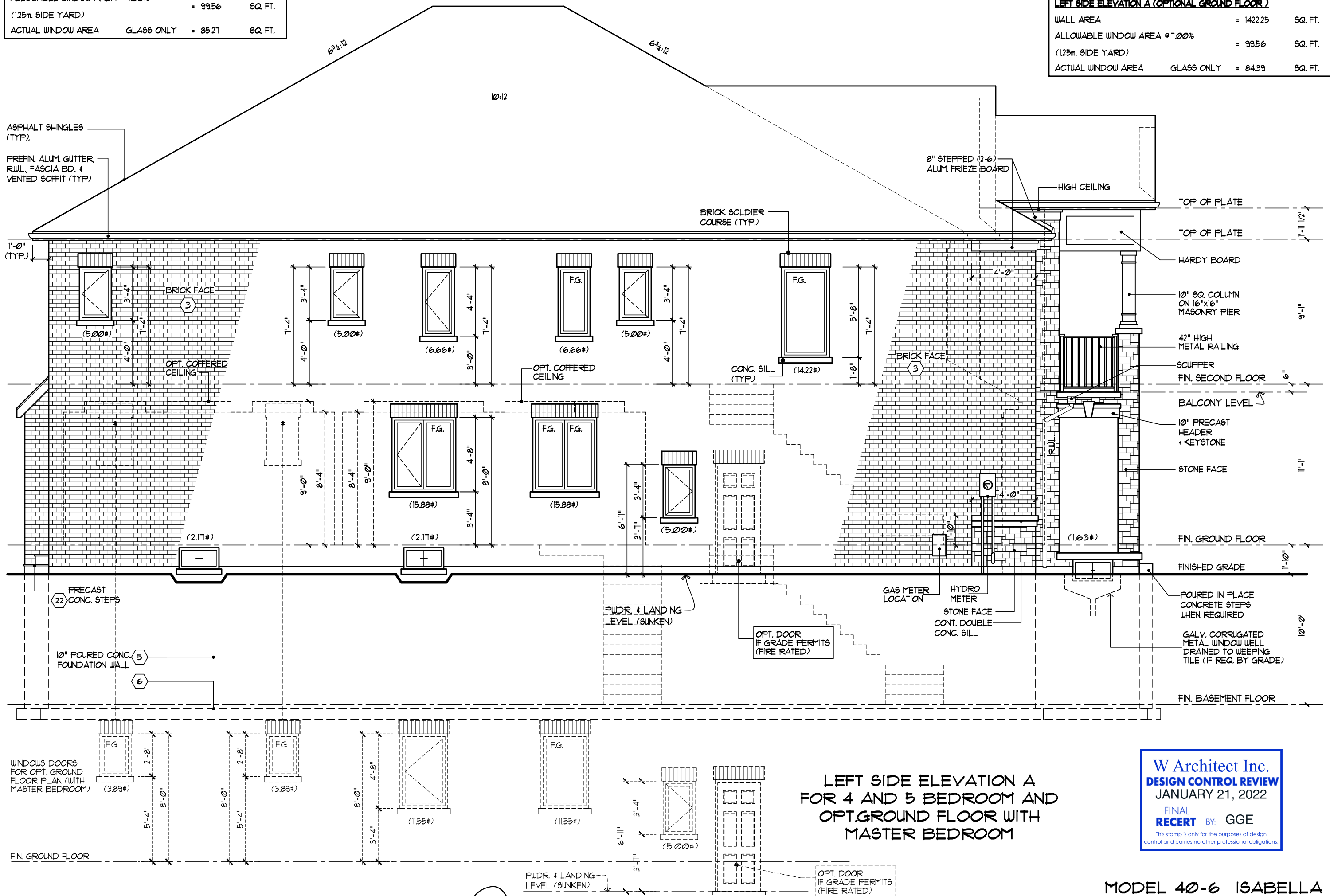
FOR TYPICAL NOTES
REFER TO SHEET A-43

PERFORMANCE PACKAGE

AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION A (OPTIONAL GROUND FLOOR)

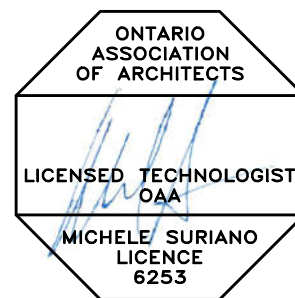
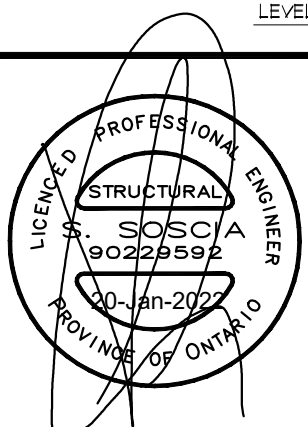
WALL AREA	= 1422.25	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00%	= 99.56	SQ. FT.
(125m. SIDE YARD)		
ACTUAL WINDOW AREA GLASS ONLY	= 84.39	SQ. FT.

LEFT SIDE ELEVATION A
FOR 4 AND 5 BEDROOM AND
OPT. GROUND FLOOR WITH
MASTER BEDROOM

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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control and carries no other professional obligations.

MODEL 40-6 ISABELLA

1.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



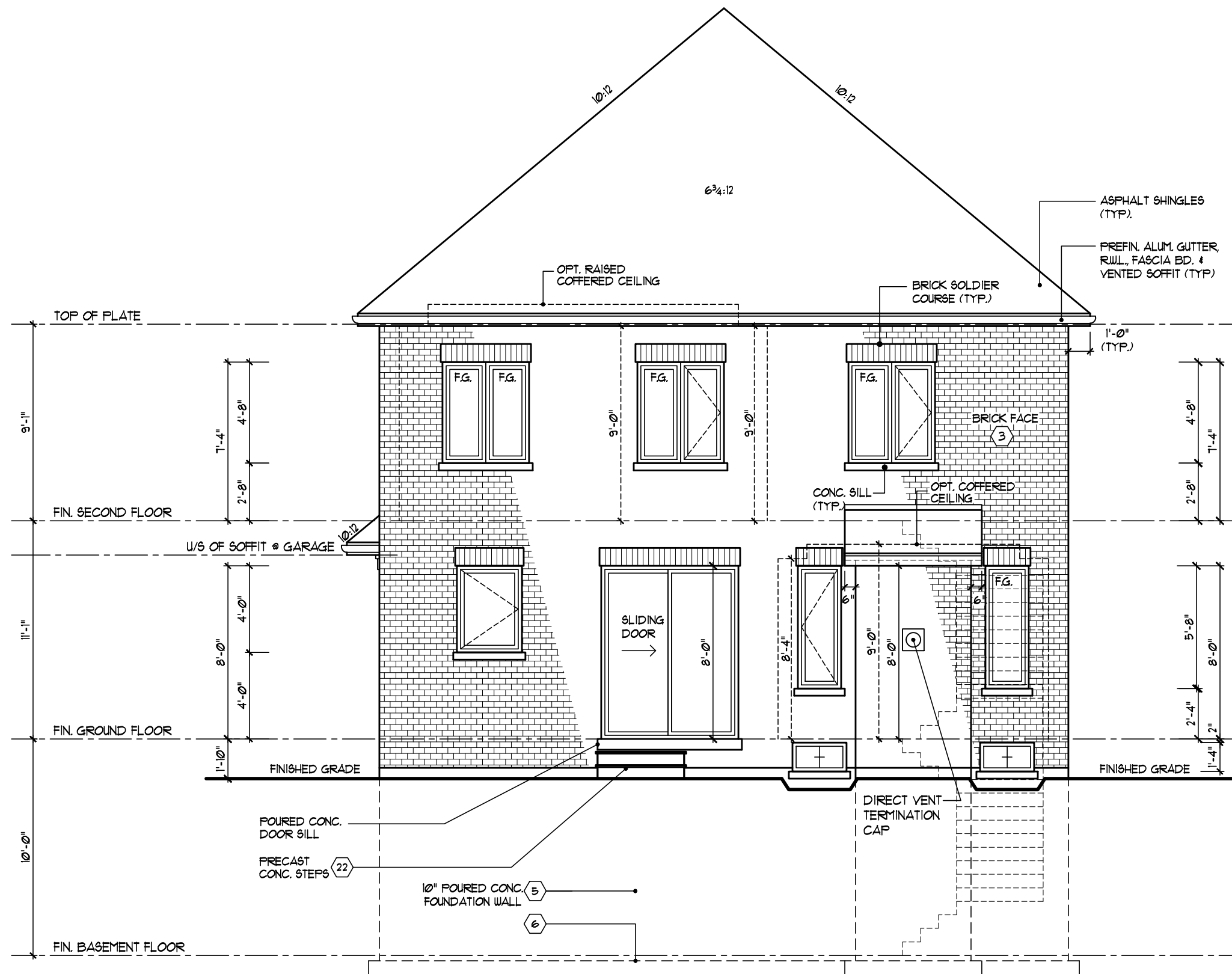
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Raysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: LEFT SIDE ELEVATION A FOR 4 AND 5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-9
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

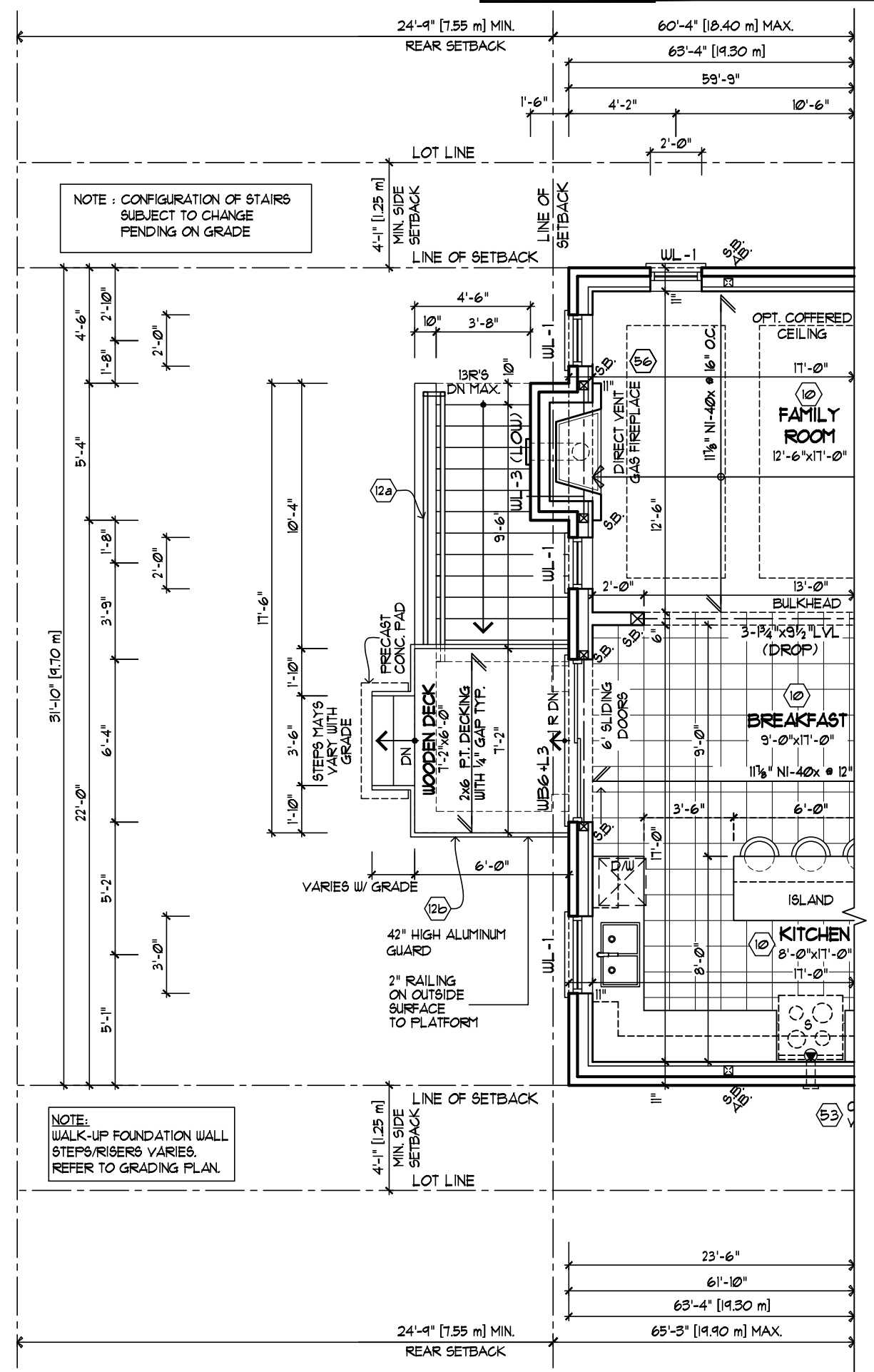
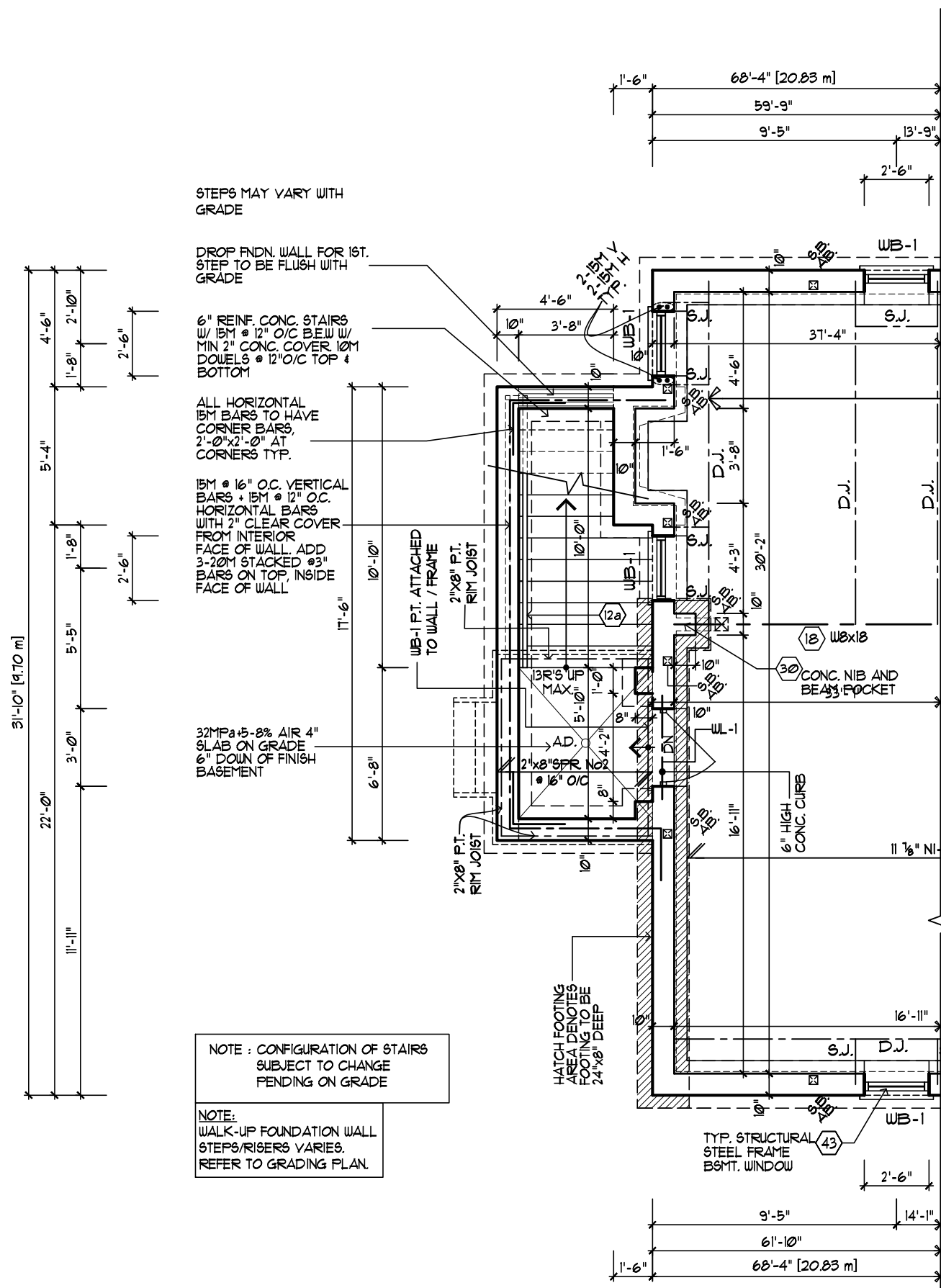


REAR ELEVATION A & C
(WITH OPTIONAL GROUND FLOOR PLAN)

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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MODEL 40-6 ISABELLA

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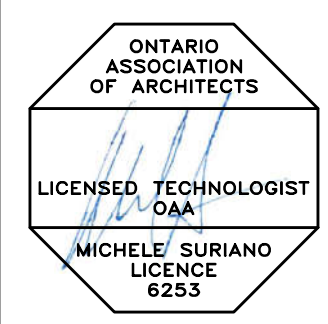
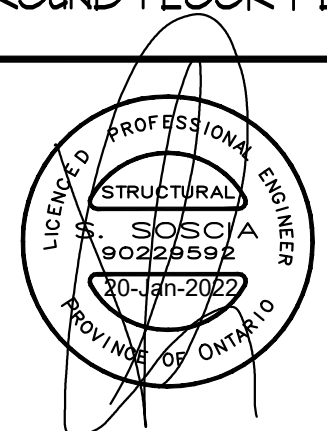
W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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PARTIAL BASEMENT FLOOR PLAN
WITH WALK-UP BASEMENT CONDITION
FOR ELEVATION A, B, C
(WITH STANDARD GROUND FLOOR PLAN)

PARTIAL GROUND FLOOR PLAN
WITH WALK-UP BASEMENT CONDITION
FOR ELEVATION A, B, C
(WITH STANDARD GROUND FLOOR PLAN)

MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:

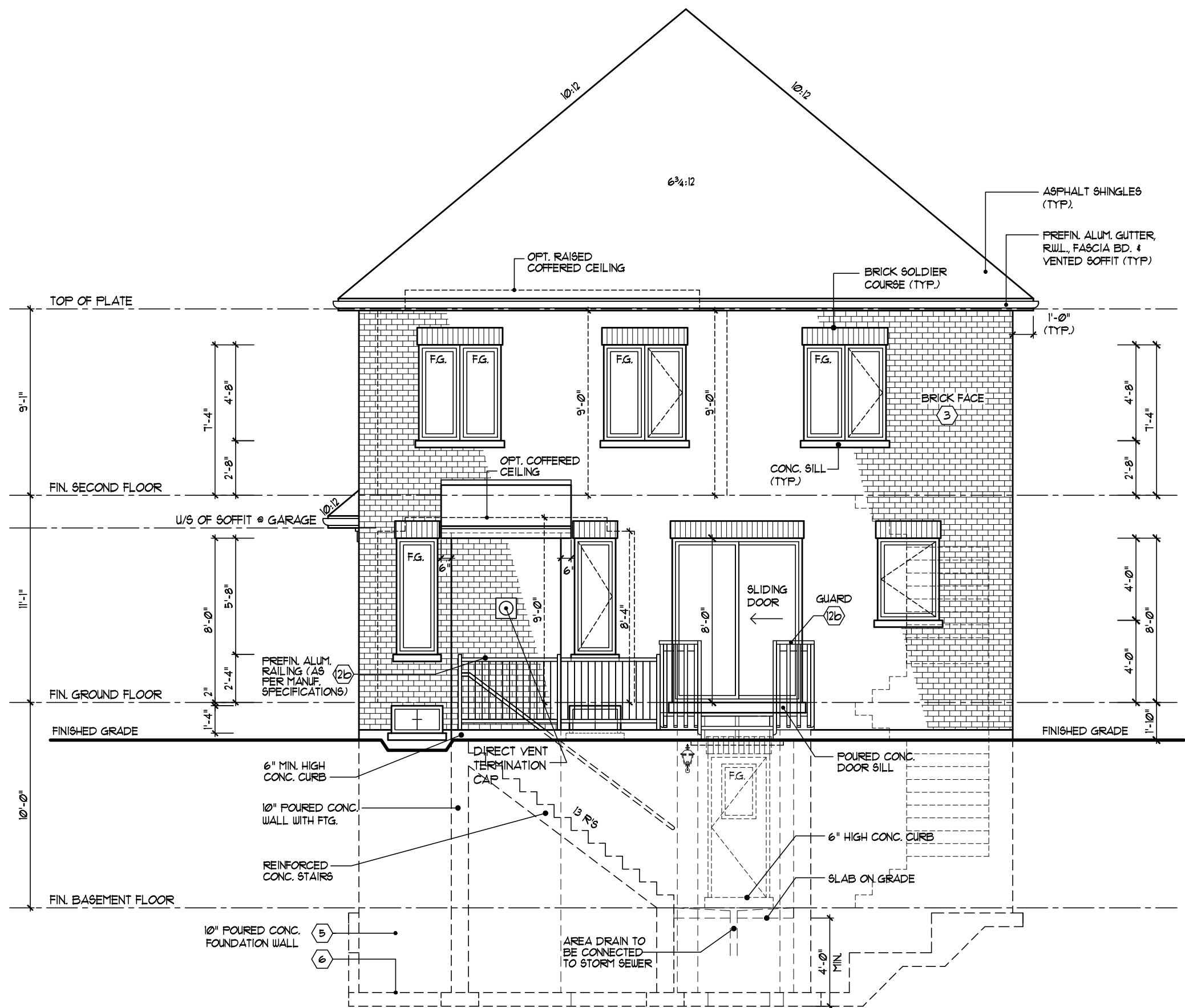


SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Raysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: PARTIAL FLOOR PLANS W/ WALK-UP BASEMENT CONDITION FOR ELEV. A (ST. GR)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-13
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-6 ISABELLA	

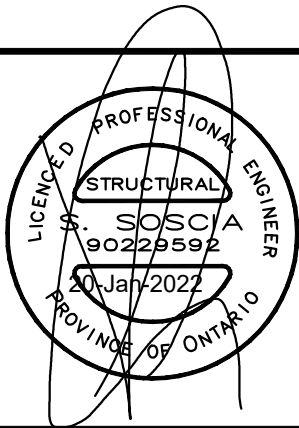


REAR ELEVATION A & C
WITH BASEMENT WALK-UP CONDITION
(WITH STANDARD GROUND FLOOR PLAN)

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
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1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



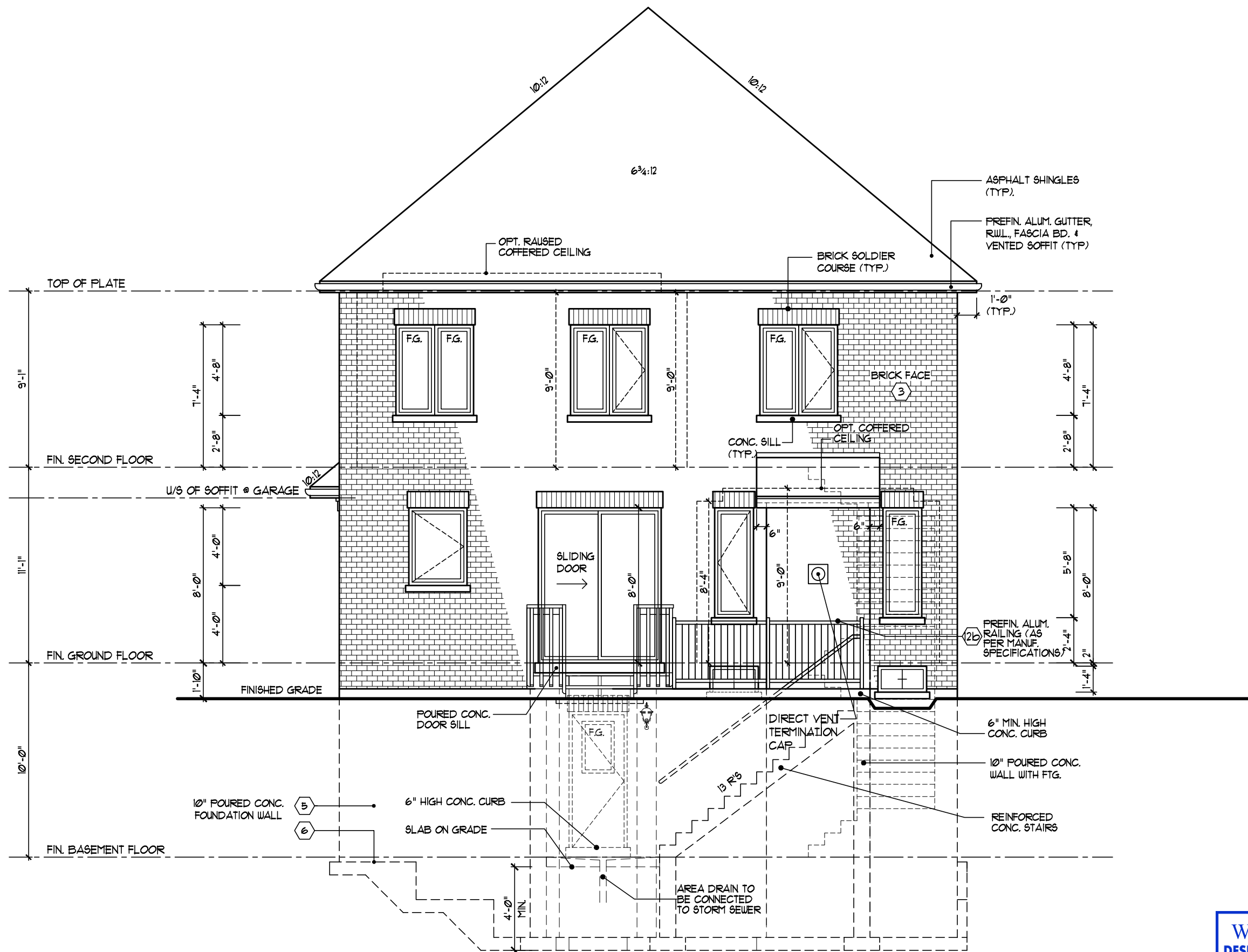
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: REAR ELEVATION A & C WITH BASEMENT WALK-UP CONDITION (WITH STANDARD GROUND FLOOR PLAN)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-14
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

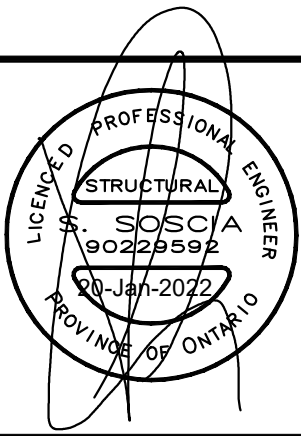


REAR ELEVATION A & C
WITH WALK-UP BASEMENT CONDITION
(WITH OPTIONAL GROUND FLOOR PLAN)

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECEIVED BY: GGE
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3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



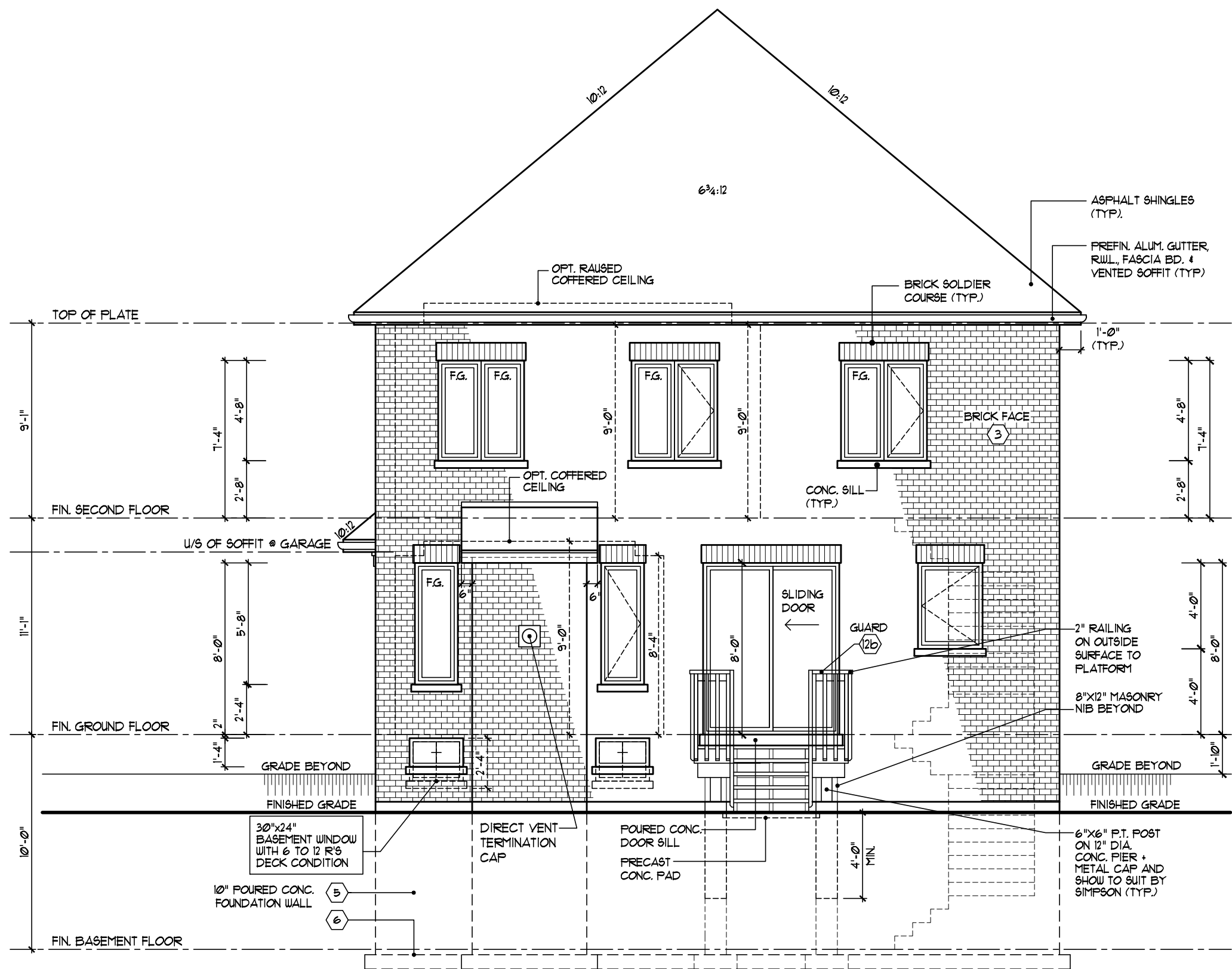
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roydon Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: REAR ELEVATION A & C WITH WALK-UP BASEMENT CONDITION (WITH OPTIONAL GROUND FLOOR PLAN)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-16
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

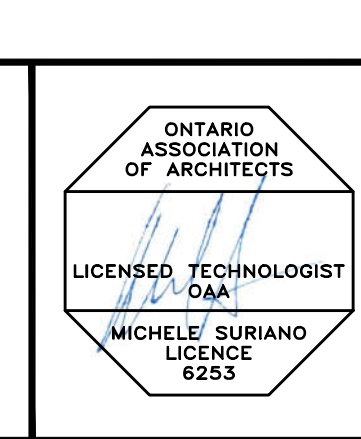
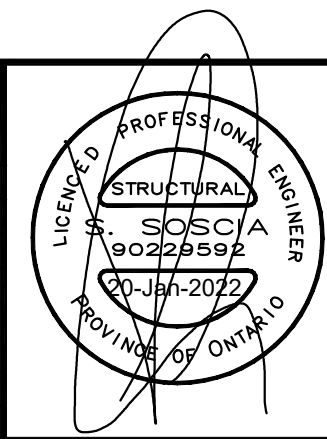


REAR ELEVATION A & C
WITH WOOD DECK CONDITION
(WITH STANDARD GROUND FLOOR PLAN)

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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control and carries no other professional obligations.

MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:

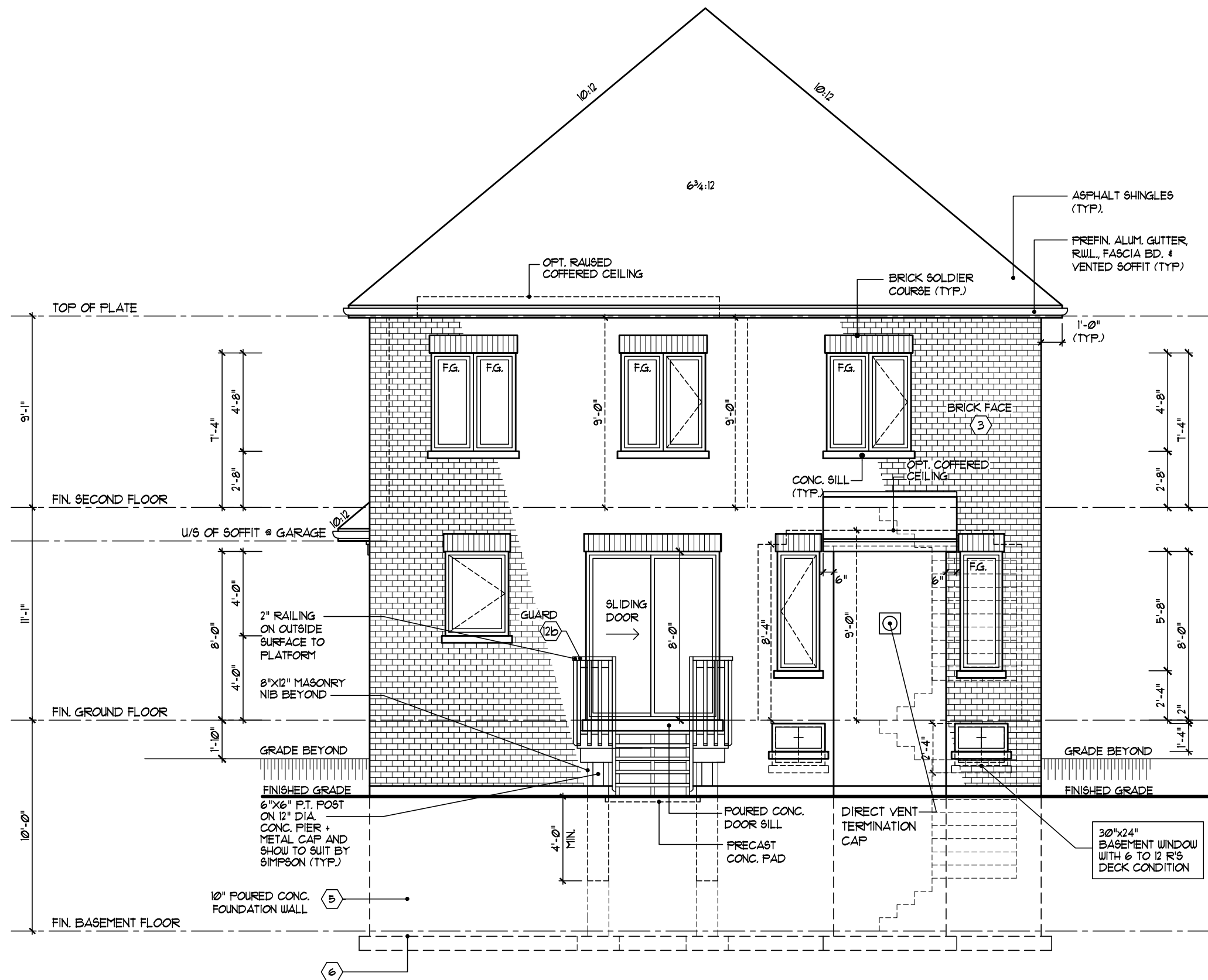


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ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Royson Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: REAR ELEVATION A & C WITH WOOD DECK CONDITION (WITH STANDARD GROUND FLOOR PLAN)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-18
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-6 ISABELLA	

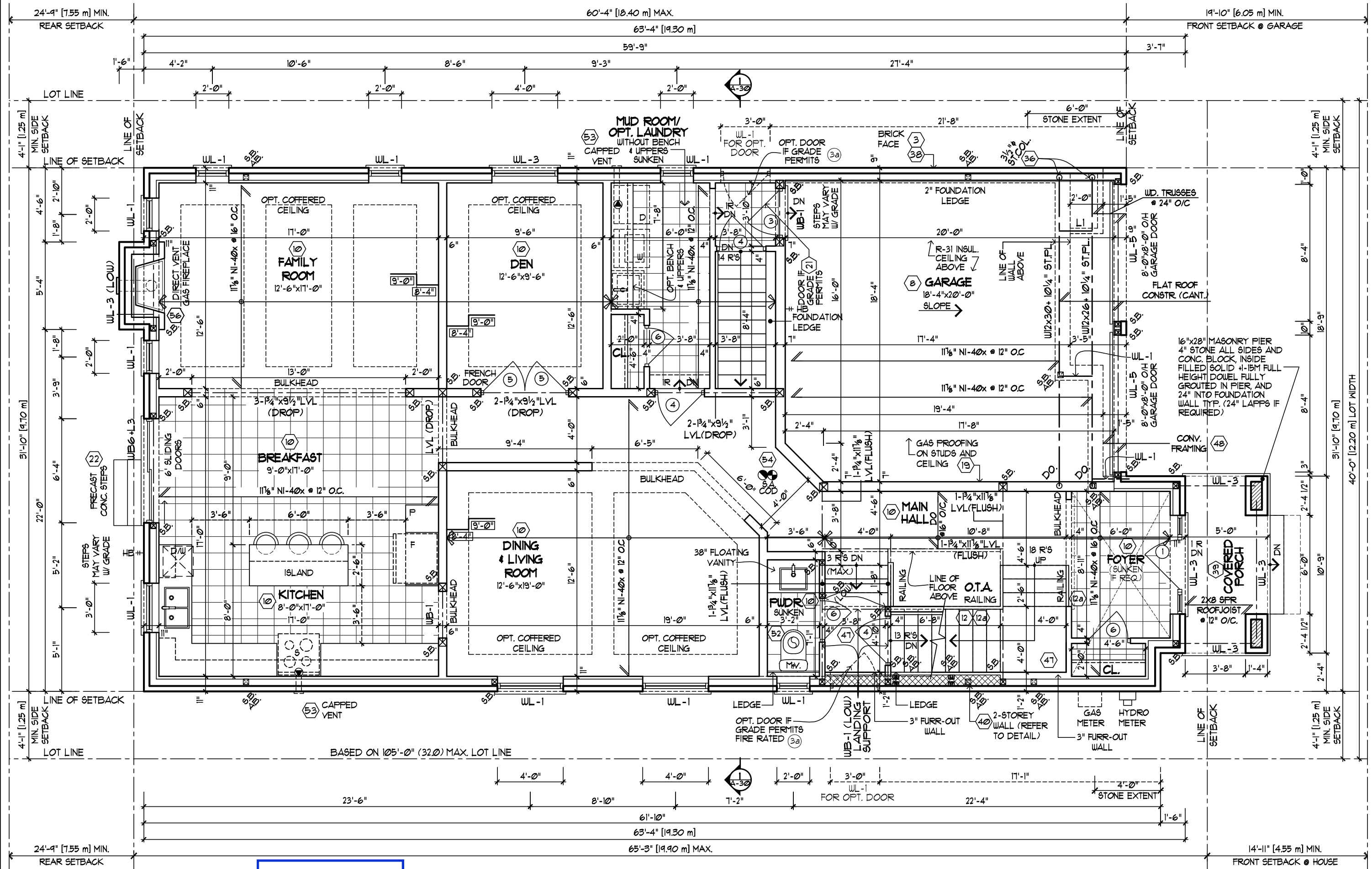


REAR ELEVATION A & C
WITH WOOD DECK CONDITION
(WITH OPTIONAL GROUND FLOOR PLAN)

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JANUARY 21, 2022
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MODEL 40-6 ISABELLA

						SHEET NAME: REAR ELEVATION A & C WITH WOOD DECK CONDITION (WITH OPTIONAL GROUND FLOOR PLAN)			ROYAL PINE HOMES
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT				DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3438 sq.ft.	
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT				DATE: OCT. 23/20	TYPE:	PAGE No: A-20	PROJECT NAME:
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS				SCALE: 3/16" = 1'-0"	PROJECT No: 20-108		MODEL NAME: MODEL 40-6 ISABELLA
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS							
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS							
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE							
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING							
No:	DATE:	REVISION/ISSUED:	BY:						

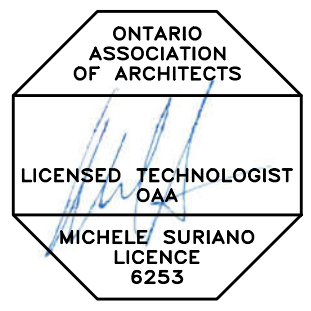
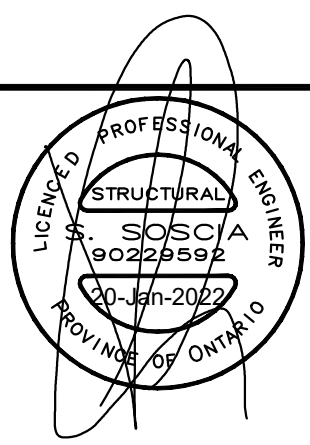


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JANUARY 21, 2022
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STANDARD
GROUND FLOOR PLAN
ELEVATION B

MODEL 40-6 ISABELLA

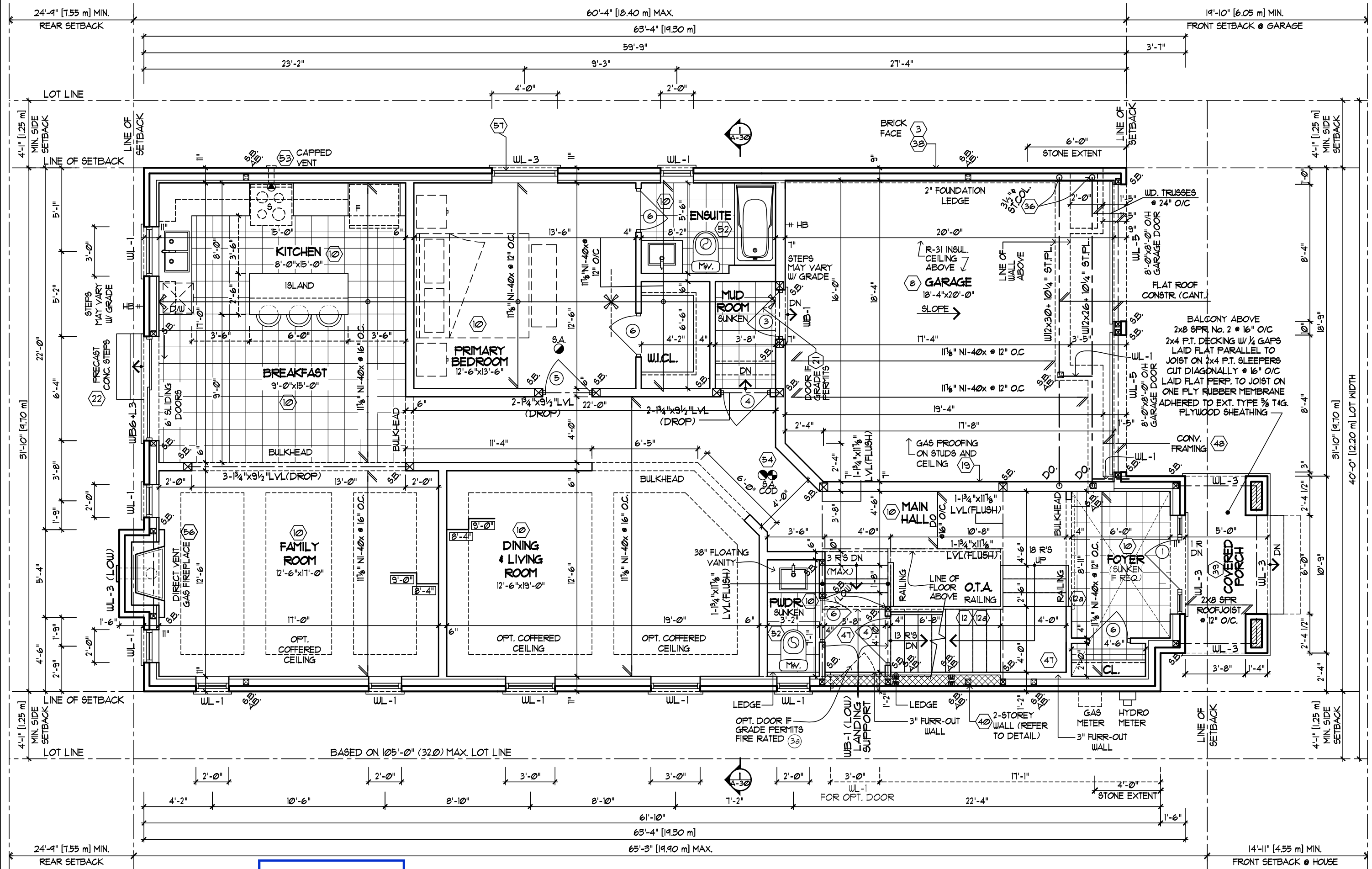
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD GROUND FLOOR PLAN FOR ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-21
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES
PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

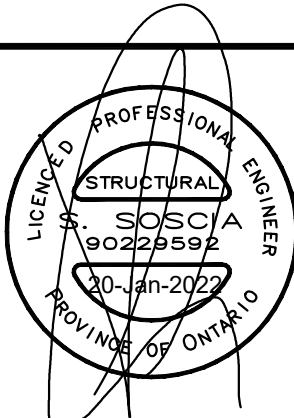


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JANUARY 21, 2022
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OPTIONAL GROUND FLOOR PLAN
(WITH MASTER BEDROOM)
ELEVATION B

MODEL 40-6 ISABELLA

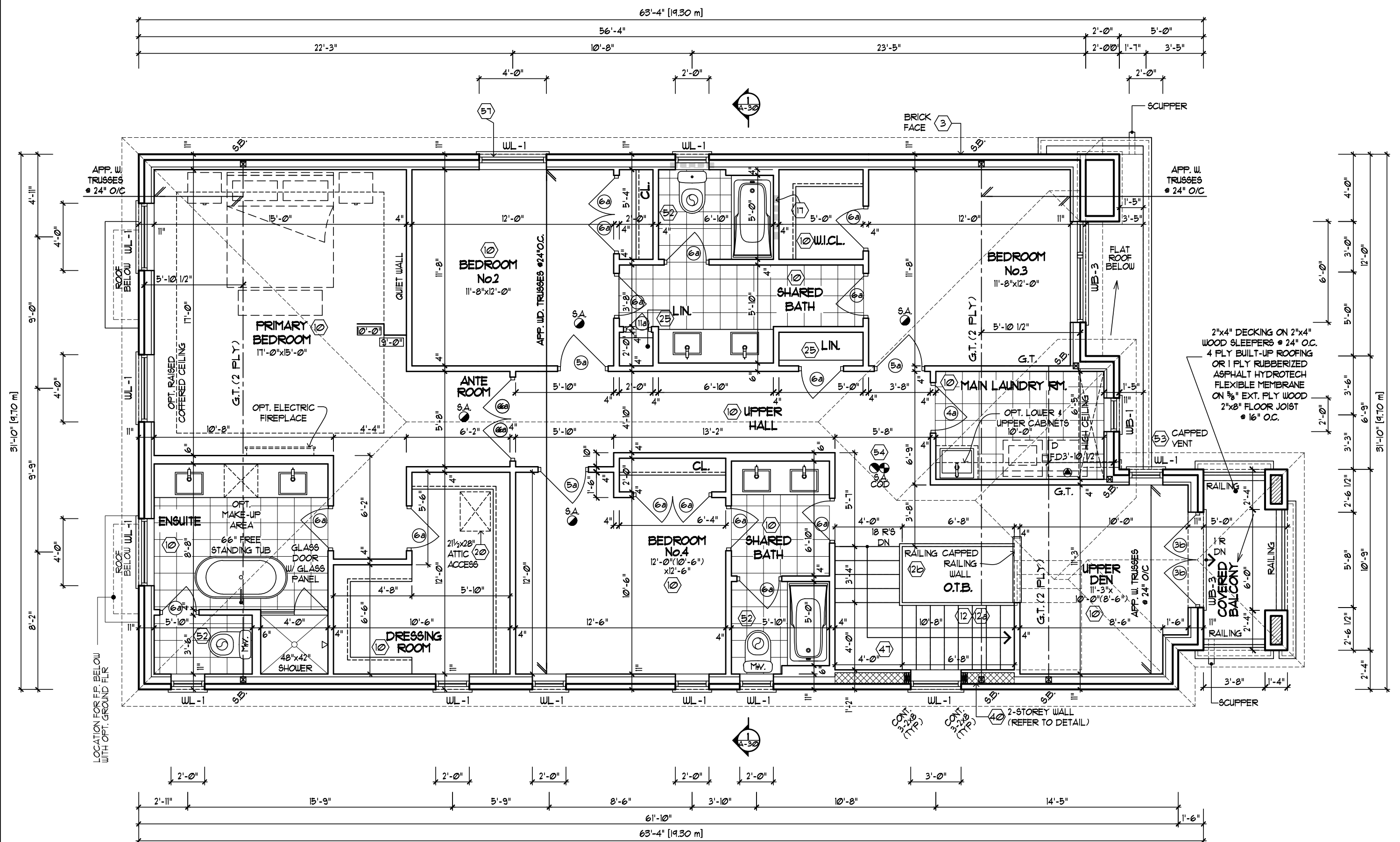
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: OPTIONAL GROUND FLOOR PLAN (WITH MASTER BEDROOM) FOR ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-22
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES
PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

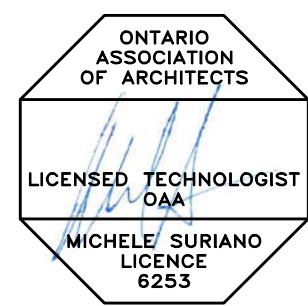
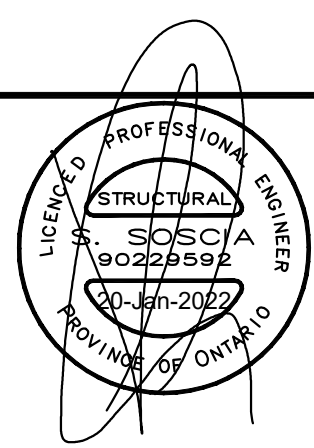


STANDARD SECOND FLOOR PLAN (4 BEDROOM)
WITH ALT. UPPER DEN
ELEVATION B

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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
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3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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ARCHITECTURAL DESIGN

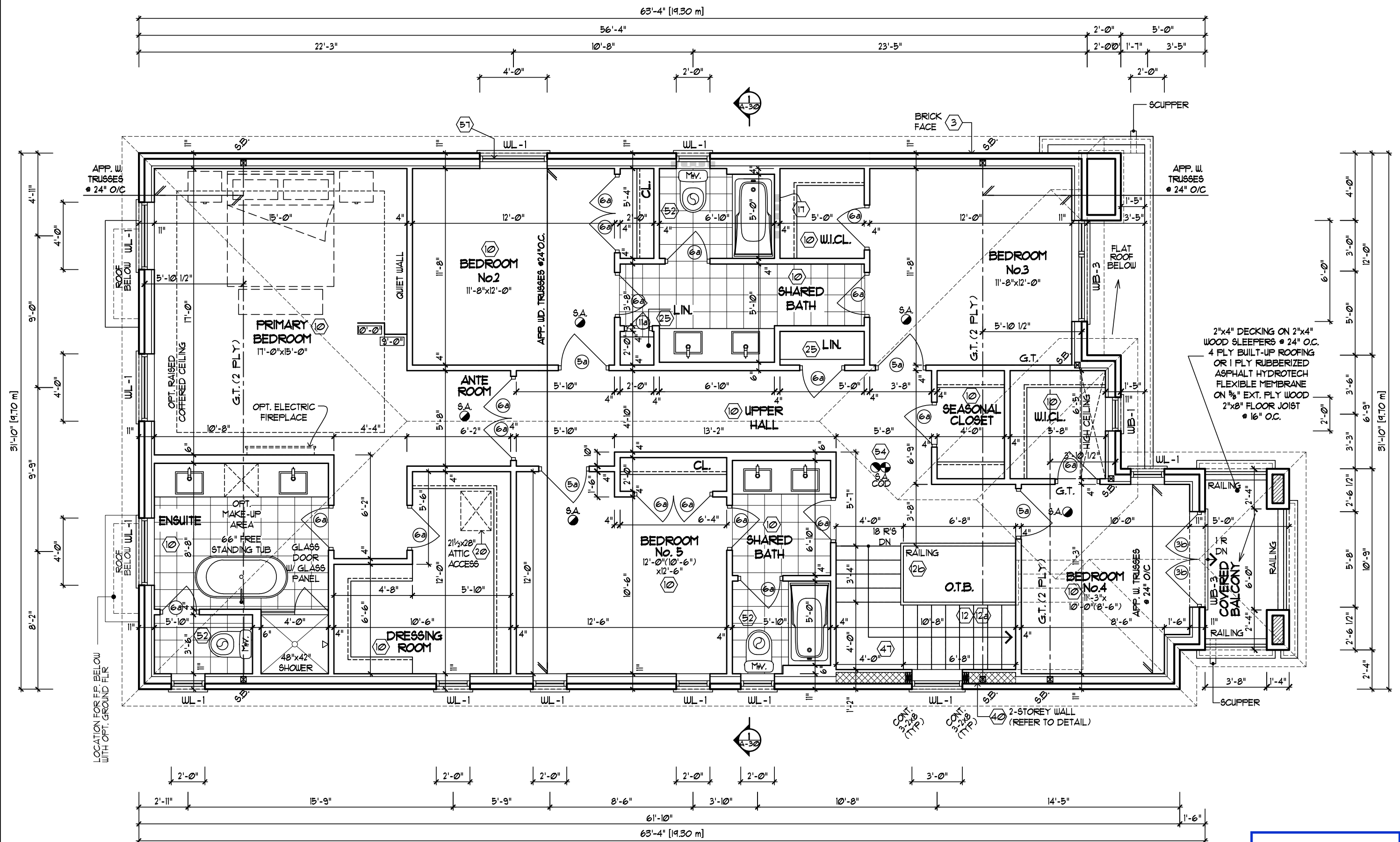
SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD 2ND FLR PLAN (4 BEDROOM) WITH ALT. UPPER DEN ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-23
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:
MODEL 40-6 ISABELLA

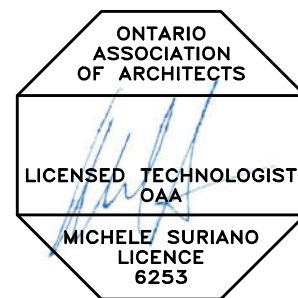
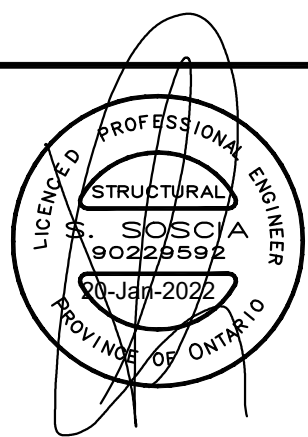


ALTERNATE SECOND FLOOR PLAN (5 BEDROOM)
ELEVATION B

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JANUARY 21, 2022
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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
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2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



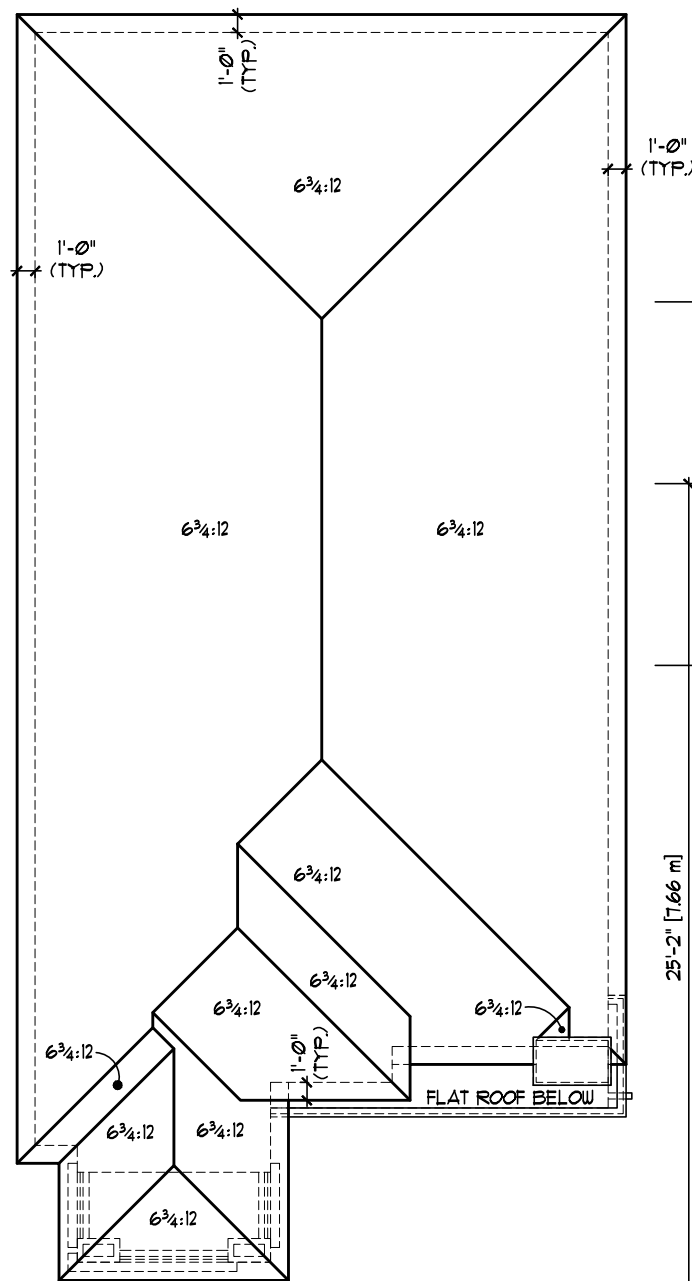
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ARCHITECTURAL DESIGN

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51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: ALTERNATE 2ND FLR PLAN (5 BEDROOM) FOR ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-24
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

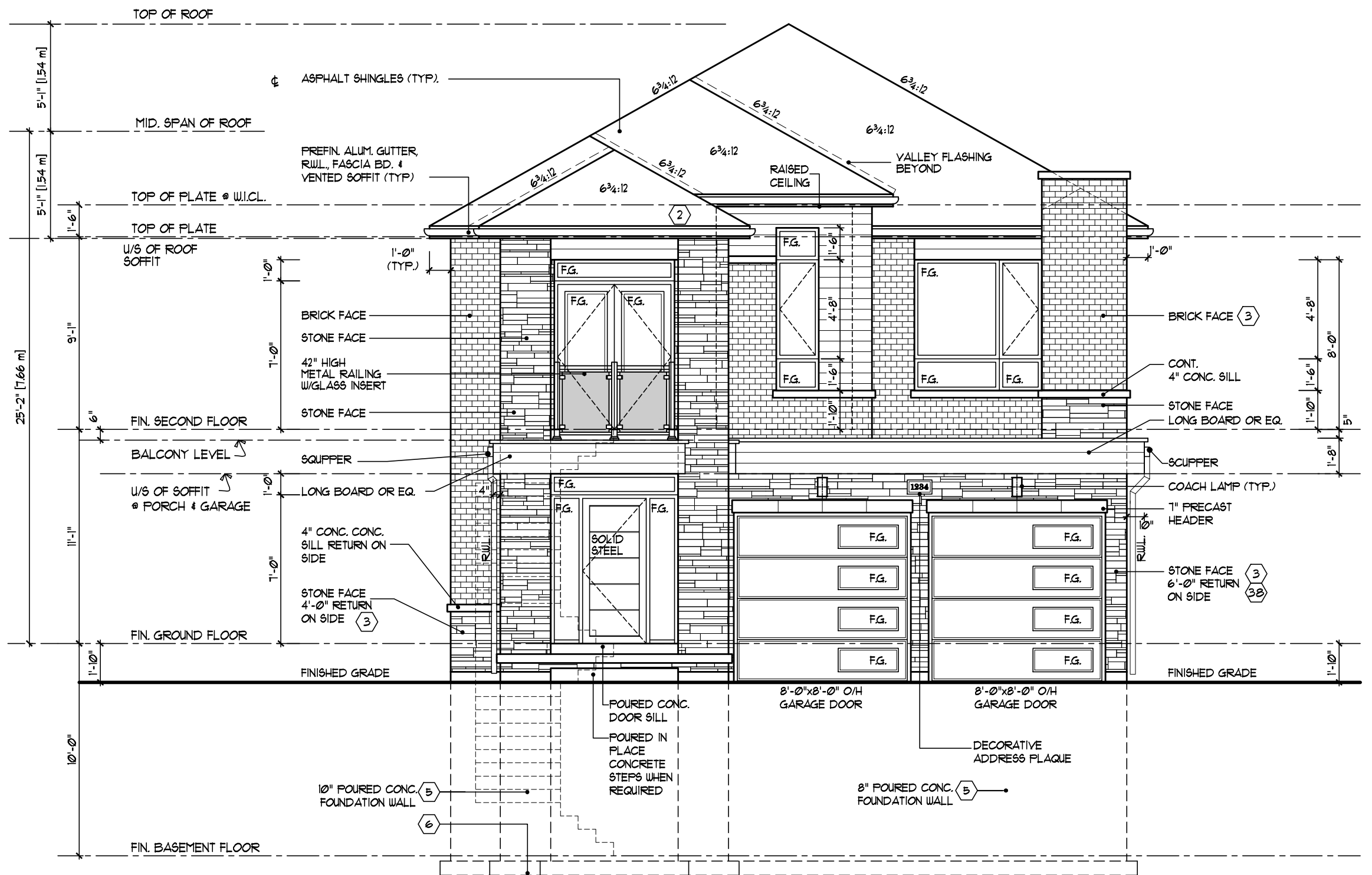
ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA



ROOF PLAN
FOR ELEVATION B
N.T.S.

AREA CALCULATION ELEVATION B			
FINISHED BSMT. AREA	0	SQ. FT.	
GROUND FLOOR AREA	1560	SQ. FT.	
SECOND FLOOR AREA	1903	SQ. FT.	
SUBTOTAL	3463	SQ. FT.	
	321.12	M ²	
DEDUCT ALL OPEN AREAS	17	SQ. FT.	
TOTAL NET AREA	3446	SQ. FT.	
	320.14	M ²	
COVERAGE W/O PORCH	1953	SQ. FT.	
	181.44	M ²	
COVERAGE W/PORCH	2007	SQ. FT.	
	186.46	M ²	

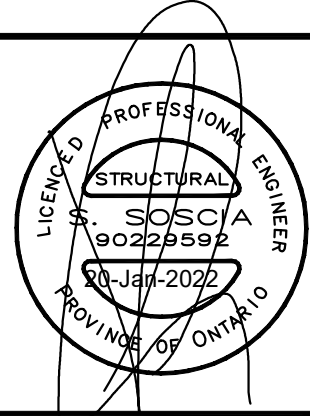


FRONT ELEVATION B

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JANUARY 21, 2022
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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
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3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
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51 Reysun Road, Unit 1
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T. 905-264-0924

SHEET NAME: FRONT ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-25
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-6 ISABELLA	

AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION B (STANDARD GROUND FLOOR)

WALL AREA	= 1412.76	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00% (125m. SIDE YARD)	= 98.89	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 53.90	SQ. FT.

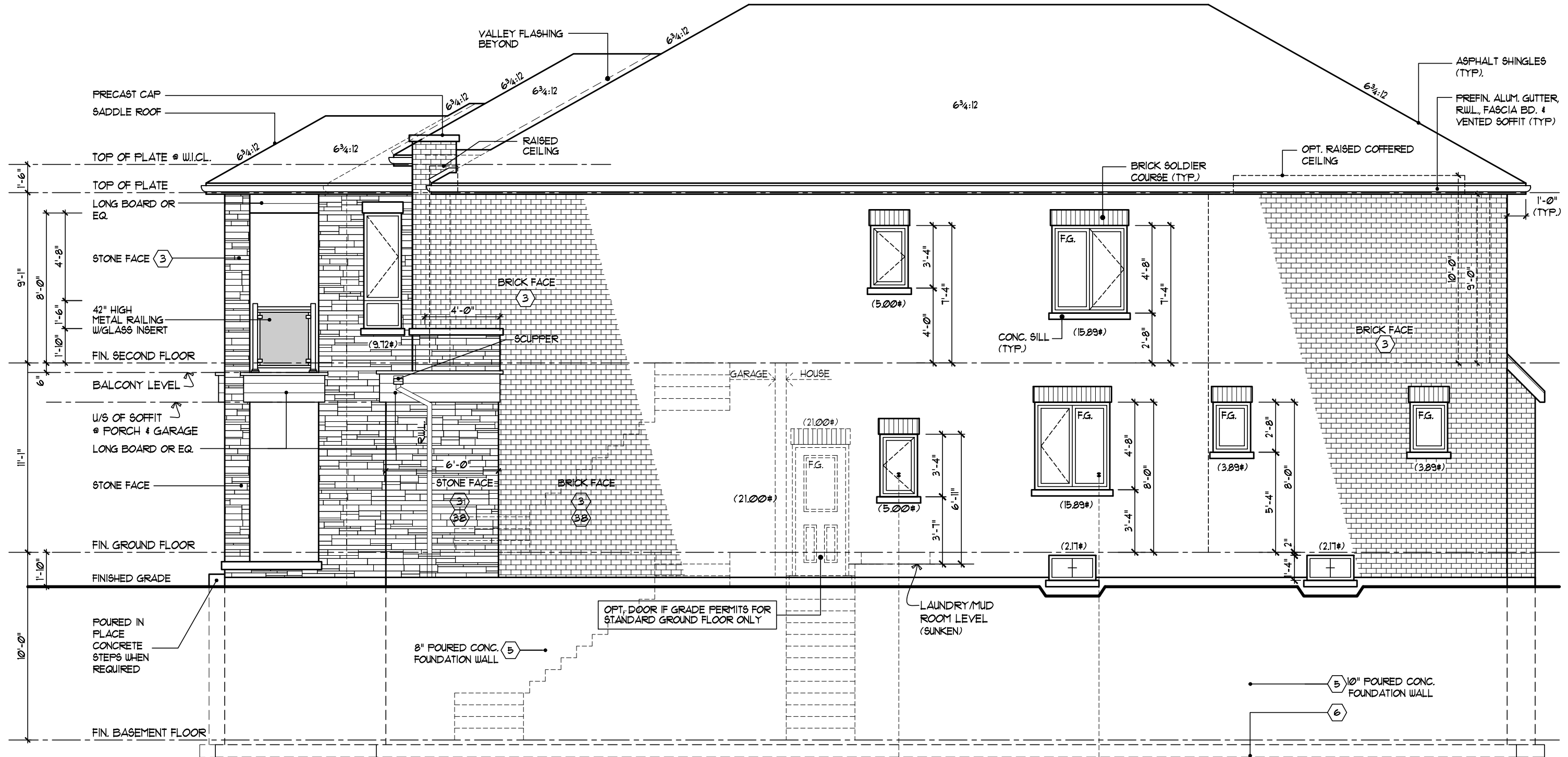
AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION B (STANDARD GROUND FLOOR W/OPT. DOOR)

WALL AREA	= 1412.76	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00% (125m. SIDE YARD)	= 98.89	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 74.90	SQ. FT.

FOR TYPICAL NOTES
REFER TO SHEET A-43

PERFORMANCE PACKAGE



AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION B (OPTIONAL GROUND FLOOR)

WALL AREA	= 1412.76	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00% (125m. SIDE YARD)	= 98.89	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 56.94	SQ. FT.

RIGHT SIDE ELEVATION B FOR 4/5 BEDROOM AND OPT.GROUND FLOOR WITH MASTER BEDROOM

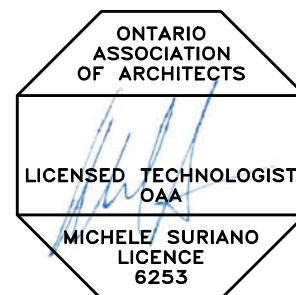
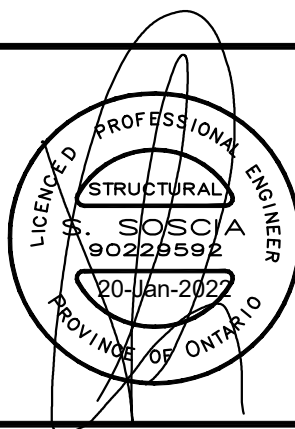
WINDOWS FOR
OPT. GROUND FLOOR PLAN
(WITH MASTER BEDROOM)

FIN. GROUND FLOOR

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MODEL 40-6 ISABELLA

No.	DATE:	REVISION/ISSUED:	BY:
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS



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51 Reysun Road, Unit 1
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T. 905-264-0924

SHEET NAME: RIGHT SIDE ELEVATION B FOR 4/5 BEDROOM AND OPT.GROUND FLOOR WITH MASTERBEDROOM		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-26
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION B (STANDARD GROUND FLOOR)

WALL AREA	= 1419.42	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00%	= 99.36	SQ. FT.
(125m. SIDE YARD)		
ACTUAL WINDOW AREA GLASS ONLY	= 85.27	SQ. FT.

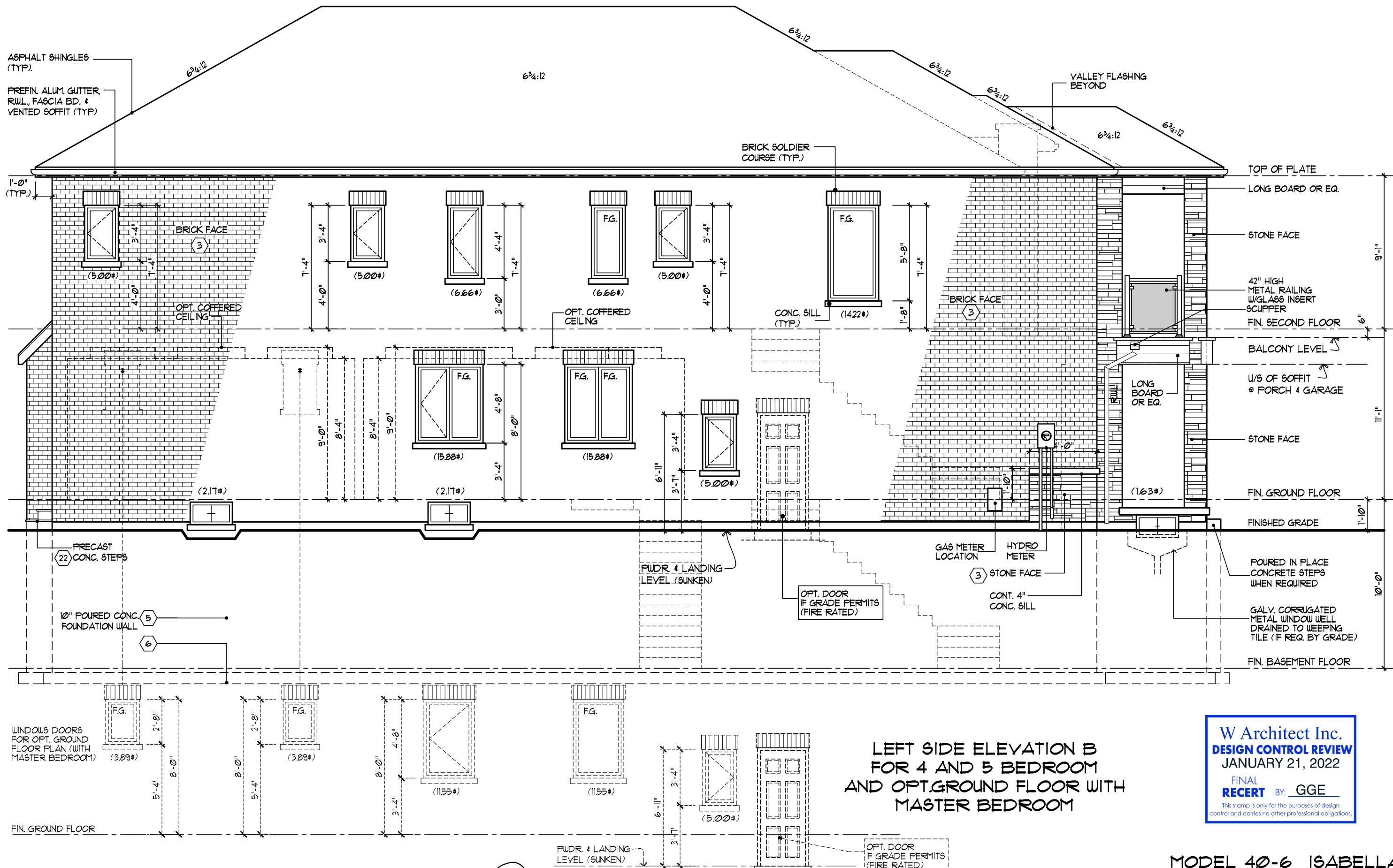
AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION B (OPTIONAL GROUND FLOOR)

WALL AREA	= 1419.42	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00%	= 99.36	SQ. FT.
(125m. SIDE YARD)		
ACTUAL WINDOW AREA GLASS ONLY	= 84.39	SQ. FT.

FOR TYPICAL NOTES
REFER TO SHEET A-43

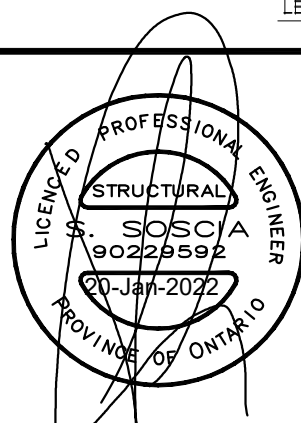
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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



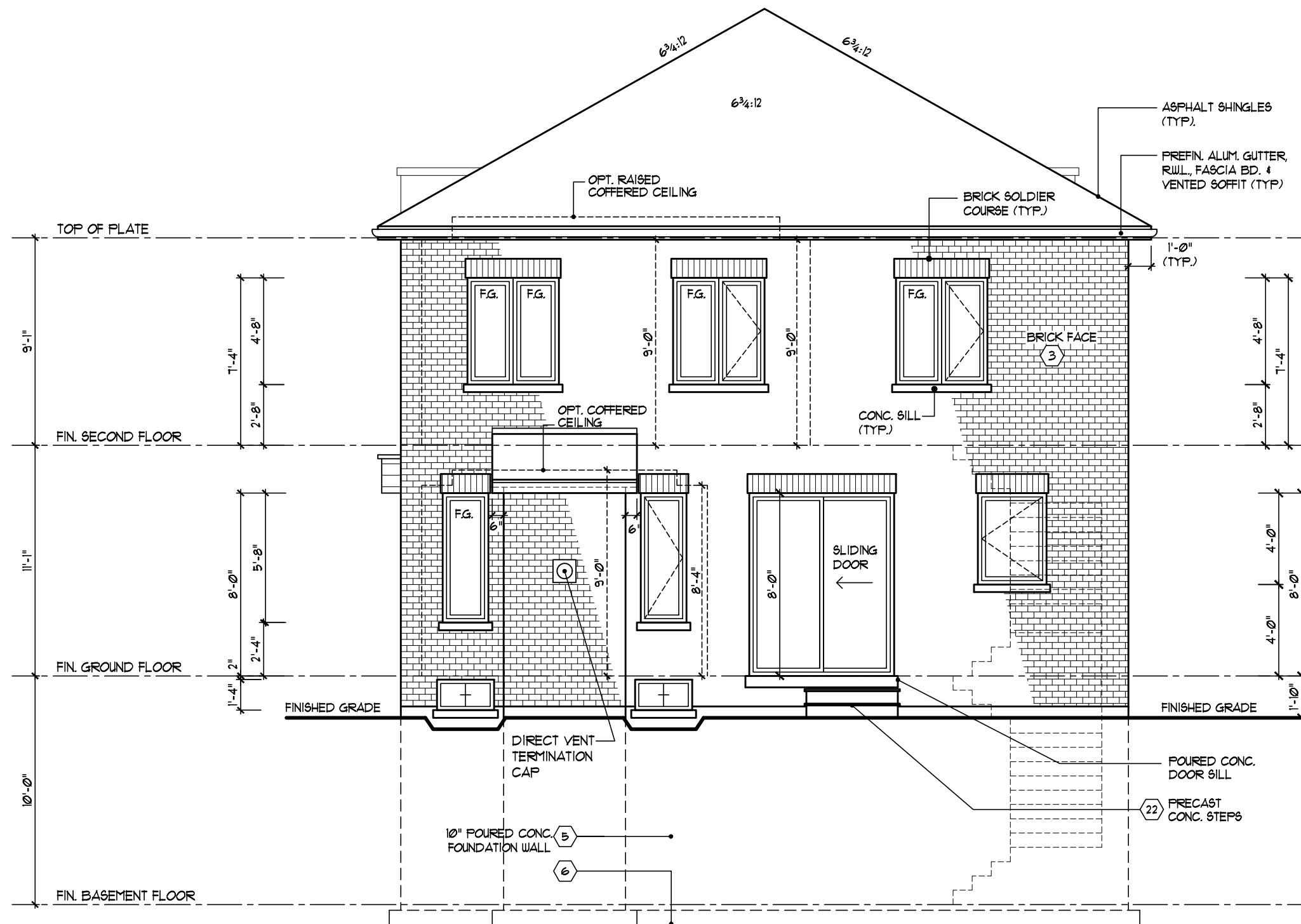
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ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: LEFT SIDE ELEVATION B FOR 4 AND 5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-27
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

**ROYAL PINE
HOMES**

PROJECT NAME:
MODEL 40-6 ISABELLA

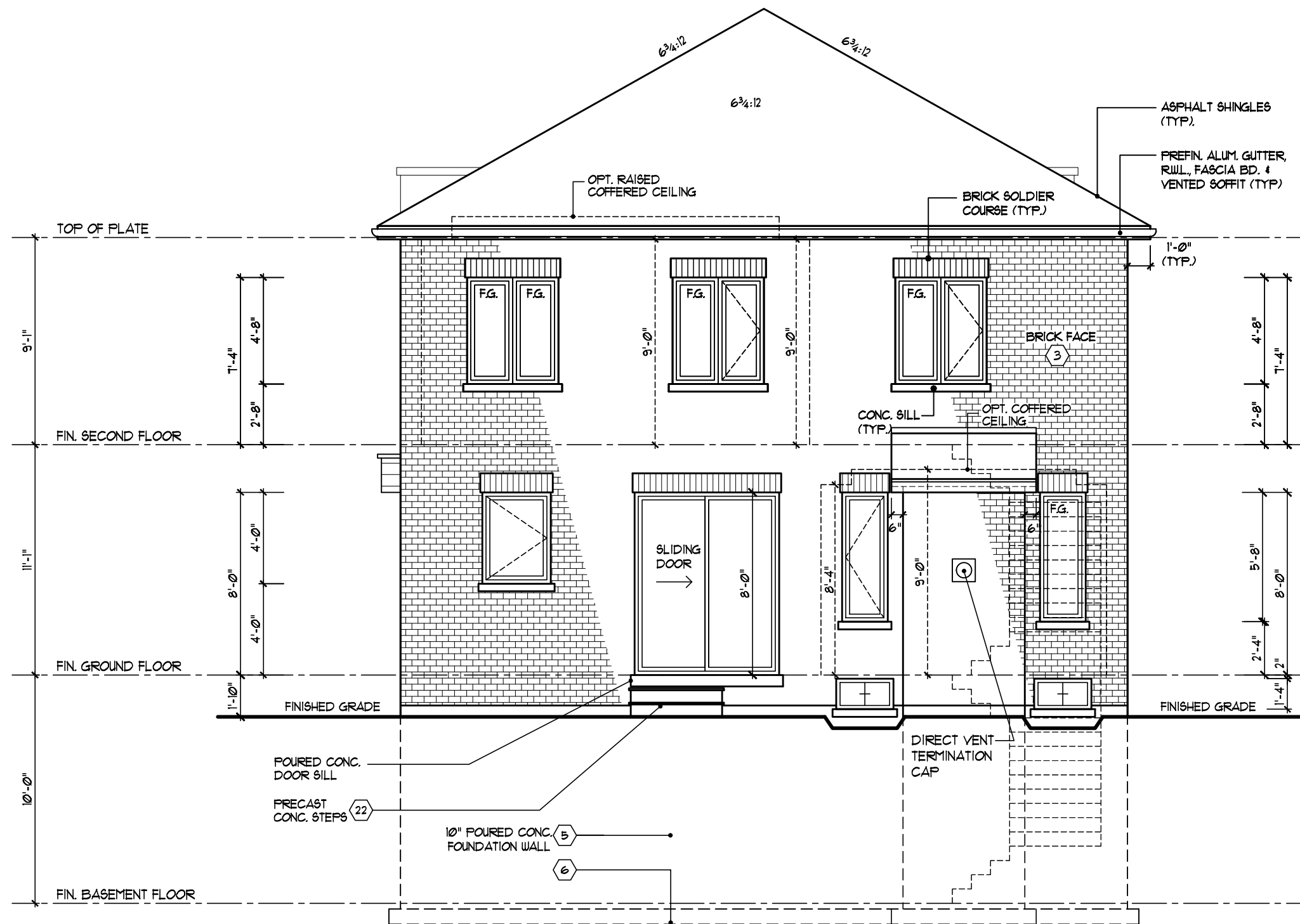


REAR ELEVATION B
(WITH STANDARD GROUND FLOOR PLAN)

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 JANUARY 21, 2022
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MODEL 40-6 ISABELLA

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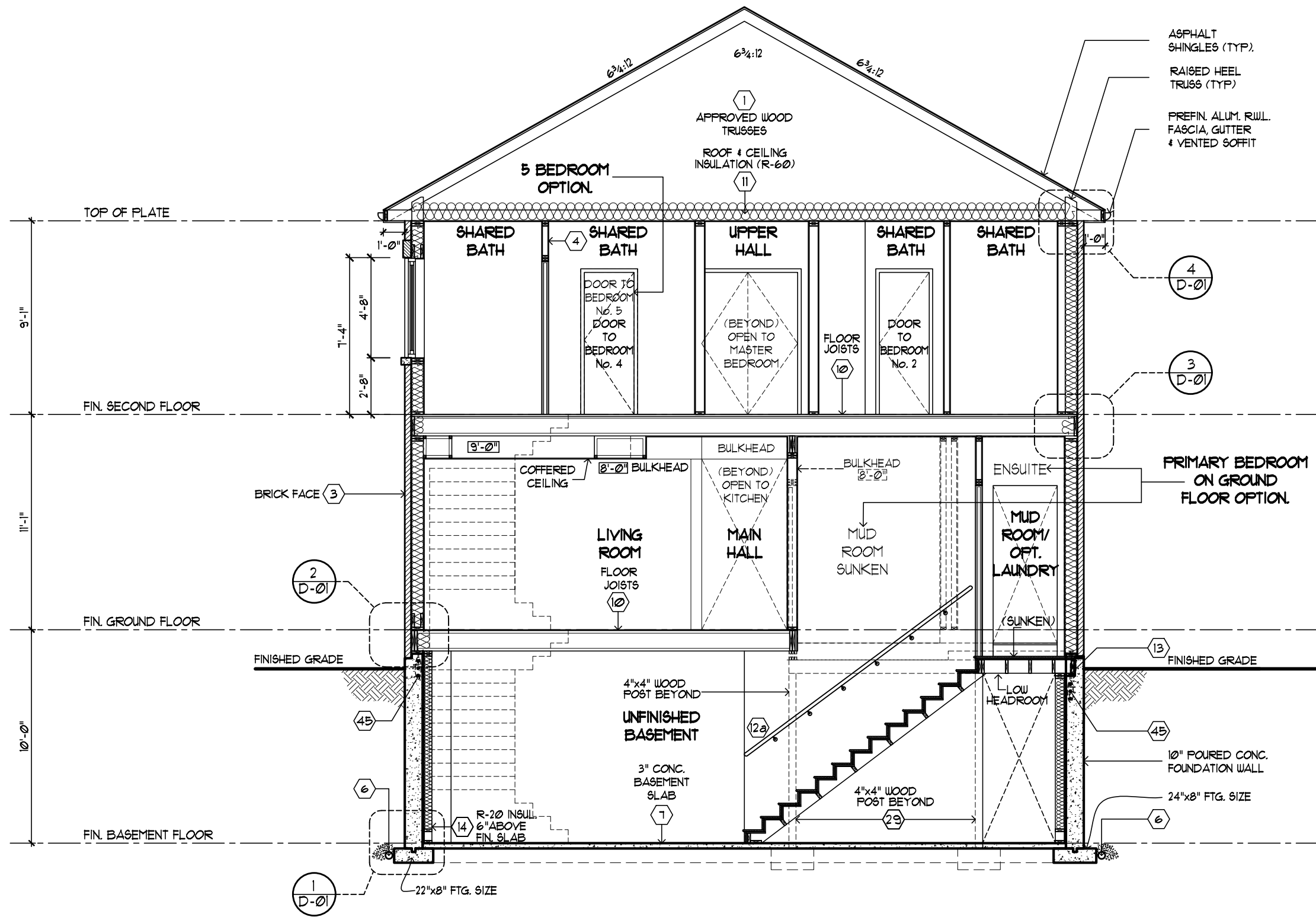


REAR ELEVATION B
(WITH OPTIONAL GROUND FLOOR PLAN)

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MODEL 40-6 ISABELLA

					SURIANO. ARCHITECTURAL DESIGN SURIANO DESIGN CONSULTANTS INC. 51 Reysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924	SHEET NAME: REAR ELEVATION B (WITH OPTIONAL GROUND FLOOR PLAN)			ROYAL PINE HOMES
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT				DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.	
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT				DATE: OCT. 23/20	TYPE:	PAGE No: A-29	PROJECT NAME:
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS				SCALE: 3/16" = 1'-0"	PROJECT No: 20-108		MODEL NAME: MODEL 40-6 ISABELLA
4.	JUNE 18/21	REVISED AS PER CLIENT COMMENTS							
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS							
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE							
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING							
No:	DATE:	REVISION/ISSUED:	BY:						

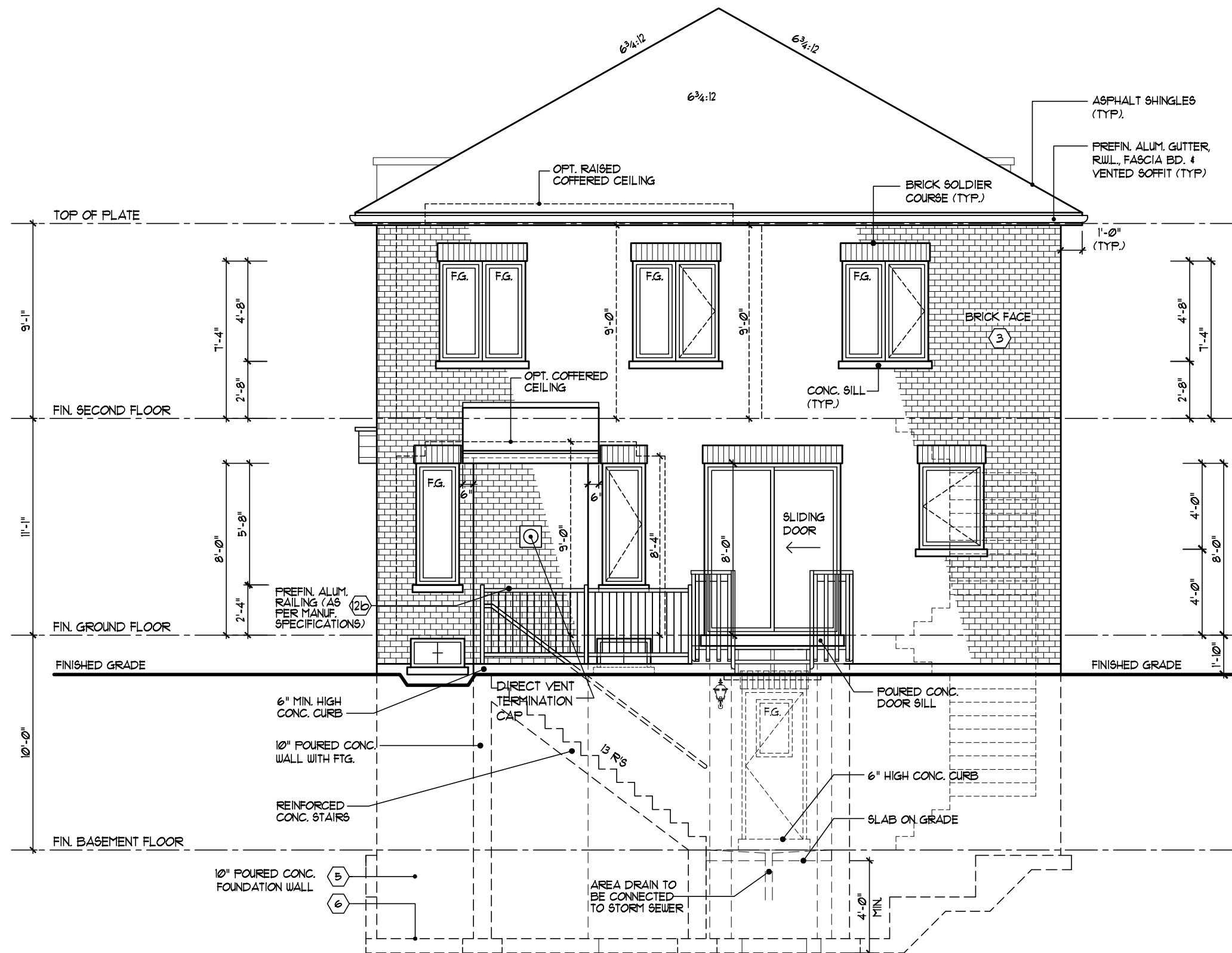


BUILDING SECTION I FOR ELEVATION B
FOR 4/5 BEDROOM AND OPT. GROUND
FLOOR WITH MASTER BEDROOM

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MODEL 40-6 ISABELLA

<div><div><div>7. DEC. 08/21</div><div>RE-ISSUED FOR BUILDING PERMIT</div><div>MS</div></div><div><div>6. NOV. 05/21</div><div>ISSUED FOR BUILDING PERMIT</div><div>MS</div></div><div><div>5. OCT. 05/21</div><div>ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS</div><div>MS</div></div><div><div>4. JUNE 10/21</div><div>REVISED AS PER CLIENT COMMENTS</div><div>MS</div></div><div><div>3. MAY 21/21</div><div>REVISED AS PER CLIENT COMMENTS</div><div>MS</div></div><div><div>2. APRIL 05/21</div><div>ISSUED TO CLIENT FOR PRICING /BROCHURE</div><div>MS</div></div><div><div>1. JAN. 29/21</div><div>ISSUED TO CLIENT FOR LAST REVIEW / MARKETING</div><div>MS</div></div><div><div>No:</div><div>DATE:</div><div>REVISION/ISSUED:</div></div><div><div>BY:</div></div></div> <td data-cs="2" data-kind="parent"><div><div><div><div>PROFESSIONAL ENGINEER</div><div>STRUCTURAL</div><div>S. SOSCIA</div><div>90229592</div><div>20-Jan-2022</div><div>PROVINCE OF ONTARIO</div></div><div><div>ONTARIO ASSOCIATION OF ARCHITECTS</div><div>LICENSED TECHNOLOGIST OAA</div><div>MICHELE SURIANO</div><div>LICENCE 6253</div></div></div><div><div>SURIANO.</div><div>ARCHITECTURAL DESIGN</div><div>SURIANO DESIGN CONSULTANTS INC.</div><div>51 Reysun Road, Unit 1</div><div>Vaughan, Ontario L4L 8P9</div><div>T. 905-264-0924</div></div></div><td><div><div>SHEET NAME:</div><div>BUILDING SECTION I FOR ELEVATION B FOR 4/5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM</div><div><div>DATE PLOTTED:</div><div>DEC. 08/21</div><div>DATE:</div><div>OCT. 23/20</div><div>SCALE:</div><div>3/16" = 1'-0"</div></div><div><div>DRAWN BY:</div><div>FK-S</div><div>TYPE:</div><div></div><div>PROJECT No:</div><div>20-108</div></div><div><div>AREA:</div><div>3446 sq.ft.</div><div>PAGE No:</div><div>A-30</div></div></div><td><div><div>ROYAL PINE HOMES</div><div>PROJECT NAME:</div><div></div><div>MODEL NAME:</div><div>MODEL 40-6 ISABELLA</div></div></td></td></td>	<div><div><div><div>PROFESSIONAL ENGINEER</div><div>STRUCTURAL</div><div>S. SOSCIA</div><div>90229592</div><div>20-Jan-2022</div><div>PROVINCE OF ONTARIO</div></div><div><div>ONTARIO ASSOCIATION OF ARCHITECTS</div><div>LICENSED TECHNOLOGIST OAA</div><div>MICHELE SURIANO</div><div>LICENCE 6253</div></div></div><div><div>SURIANO.</div><div>ARCHITECTURAL DESIGN</div><div>SURIANO DESIGN CONSULTANTS INC.</div><div>51 Reysun Road, Unit 1</div><div>Vaughan, Ontario L4L 8P9</div><div>T. 905-264-0924</div></div></div> <td><div><div>SHEET NAME:</div><div>BUILDING SECTION I FOR ELEVATION B FOR 4/5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM</div><div><div>DATE PLOTTED:</div><div>DEC. 08/21</div><div>DATE:</div><div>OCT. 23/20</div><div>SCALE:</div><div>3/16" = 1'-0"</div></div><div><div>DRAWN BY:</div><div>FK-S</div><div>TYPE:</div><div></div><div>PROJECT No:</div><div>20-108</div></div><div><div>AREA:</div><div>3446 sq.ft.</div><div>PAGE No:</div><div>A-30</div></div></div><td><div><div>ROYAL PINE HOMES</div><div>PROJECT NAME:</div><div></div><div>MODEL NAME:</div><div>MODEL 40-6 ISABELLA</div></div></td></td>	<div><div>SHEET NAME:</div><div>BUILDING SECTION I FOR ELEVATION B FOR 4/5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM</div><div><div>DATE PLOTTED:</div><div>DEC. 08/21</div><div>DATE:</div><div>OCT. 23/20</div><div>SCALE:</div><div>3/16" = 1'-0"</div></div><div><div>DRAWN BY:</div><div>FK-S</div><div>TYPE:</div><div></div><div>PROJECT No:</div><div>20-108</div></div><div><div>AREA:</div><div>3446 sq.ft.</div><div>PAGE No:</div><div>A-30</div></div></div> <td><div><div>ROYAL PINE HOMES</div><div>PROJECT NAME:</div><div></div><div>MODEL NAME:</div><div>MODEL 40-6 ISABELLA</div></div></td>	<div><div>ROYAL PINE HOMES</div><div>PROJECT NAME:</div><div></div><div>MODEL NAME:</div><div>MODEL 40-6 ISABELLA</div></div>
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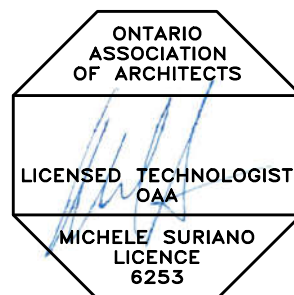
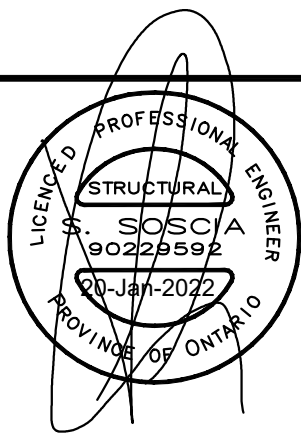


REAR ELEVATION B
WITH BASEMENT WALK-UP CONDITION
(WITH STANDARD GROUND FLOOR PLAN)

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



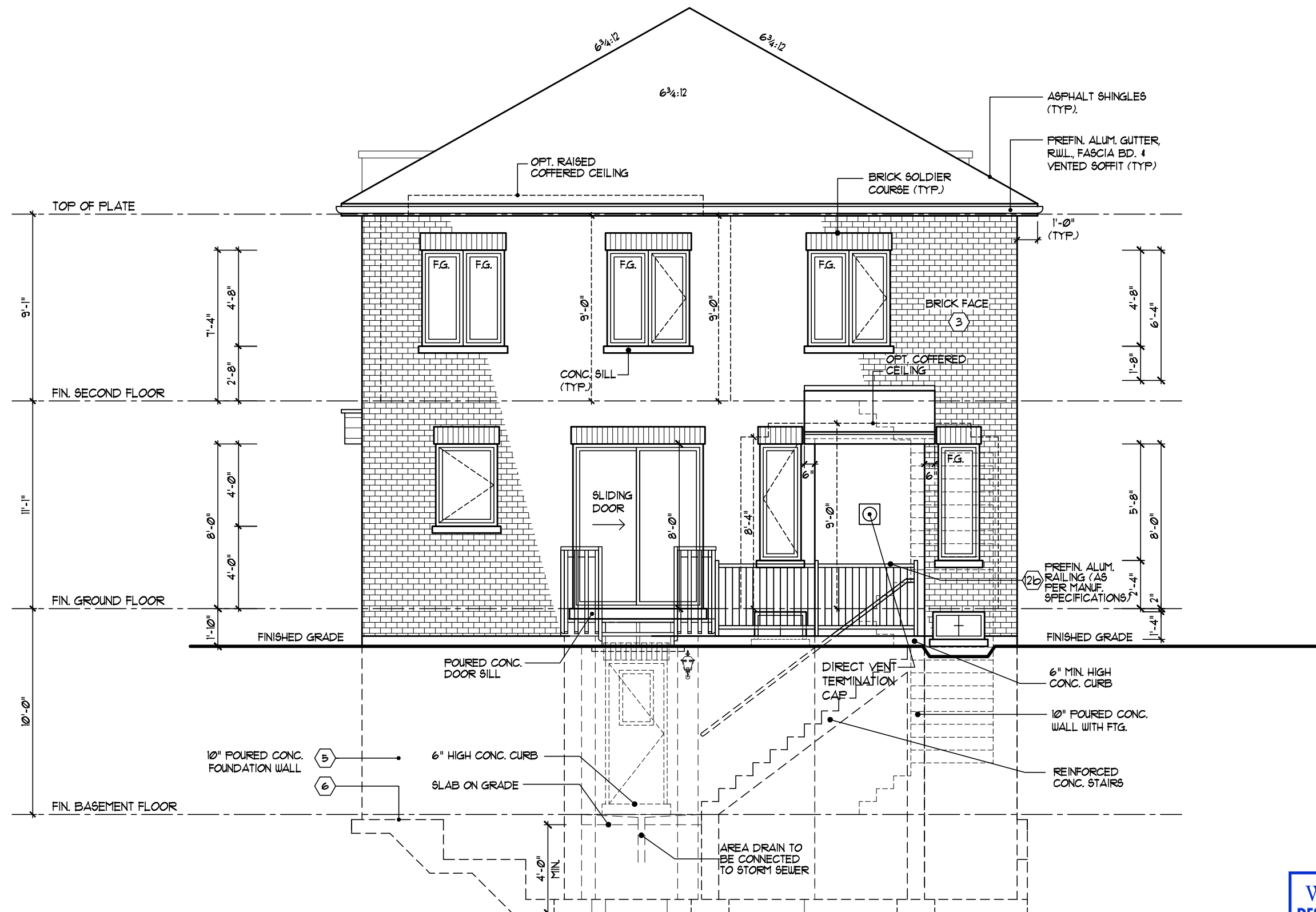
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: REAR ELEVATION B WITH BASEMENT WALK-UP CONDITION (WITH STANDARD GROUND FLOOR PLAN)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-31
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

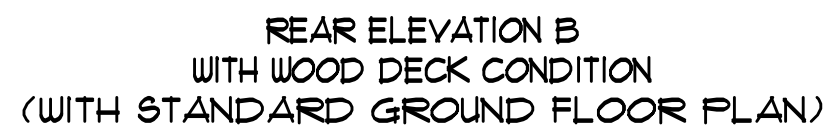


REAR ELEVATION B
WITH WALK-UP BASEMENT CONDITION
(WITH OPTIONAL GROUND FLOOR PLAN)

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DESIGN CONTROL REVIEW
 JANUARY 21, 2022
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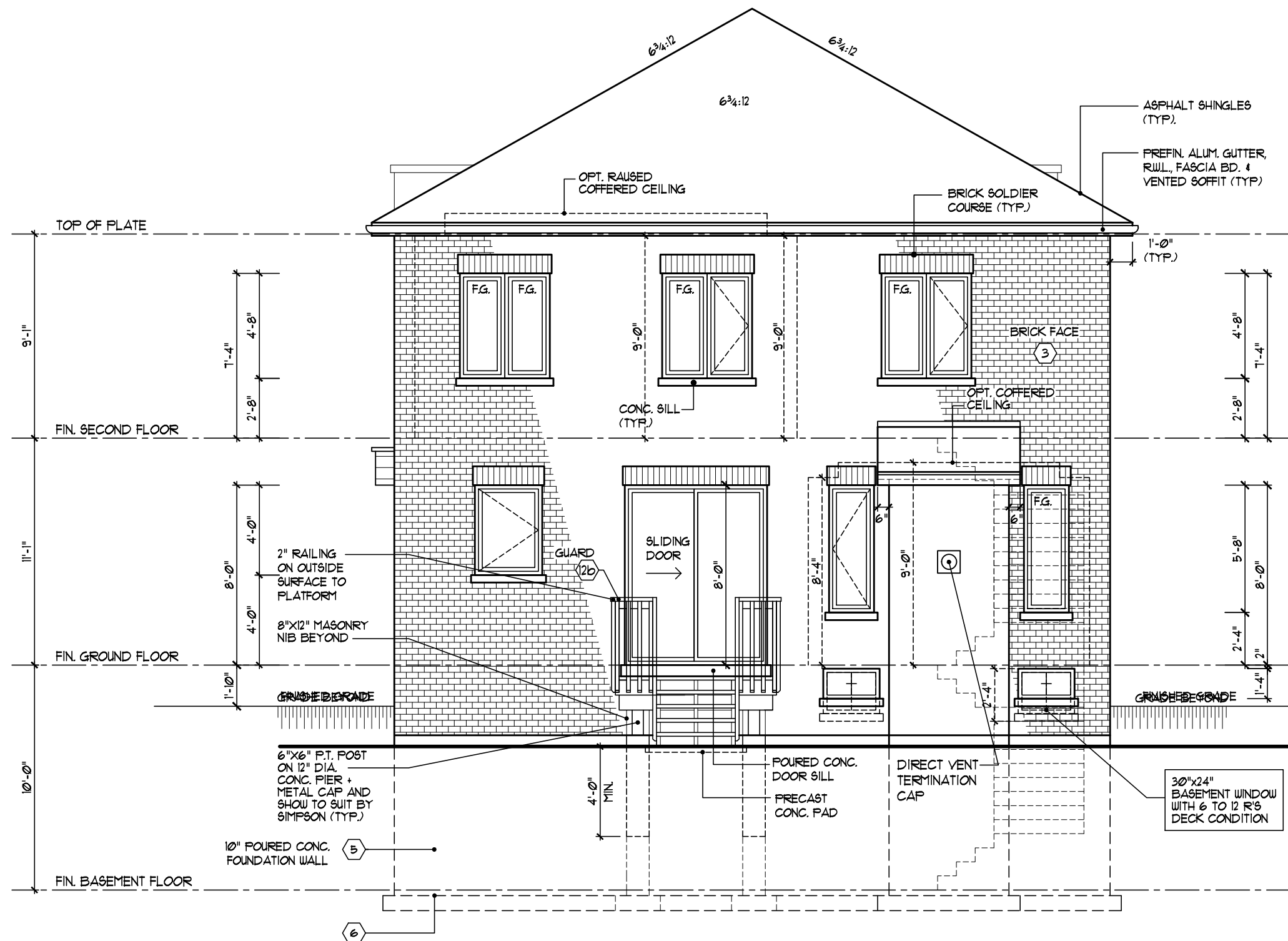
MODEL 40-6 ISABELLA

[illegible]



MODEL 40-6 ISABELLA

[illegible]

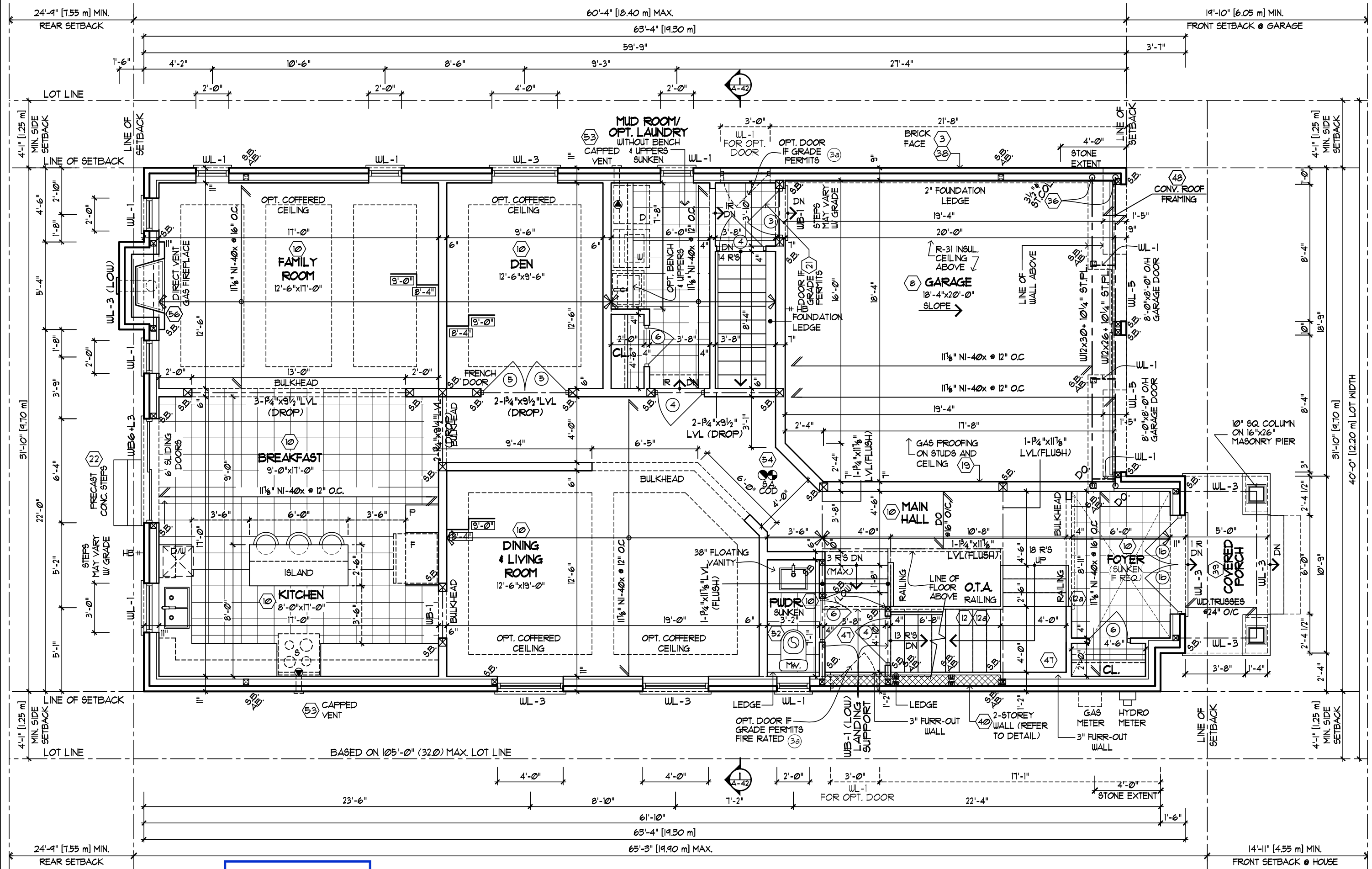


REAR ELEVATION B
WITH WOOD DECK CONDITION
(WITH OPTIONAL GROUND FLOOR PLAN)

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DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
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MODEL 40-6 ISABELLA

					SURIANO. ARCHITECTURAL DESIGN SURIANO DESIGN CONSULTANTS INC. 51 Reysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T: 905-264-0924	SHEET NAME: REAR ELEVATION B WITH WOOD DECK CONDITION (WITH OPTIONAL GROUND FLOOR PLAN)			ROYAL PINE HOMES
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT				DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3446 sq.ft.	
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT				DATE: OCT. 23/20	TYPE:	PAGE No: A-34	PROJECT NAME:
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS				SCALE: 3/16" = 1'-0"	PROJECT No: 20-108		MODEL NAME: MODEL 40-6 ISABELLA
4.	JUNE 18/21	REVISED AS PER CLIENT COMMENTS							
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS							
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE							
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING							
No:	DATE:	REVISION/ISSUED:	BY:						

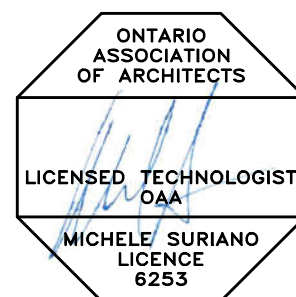
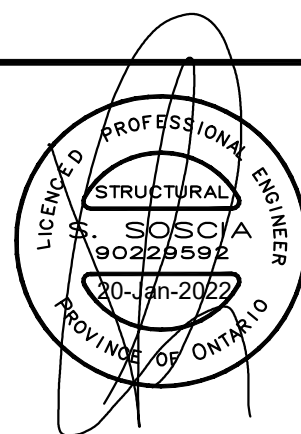


W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
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STANDARD
GROUND FLOOR PLAN
ELEVATION C

MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



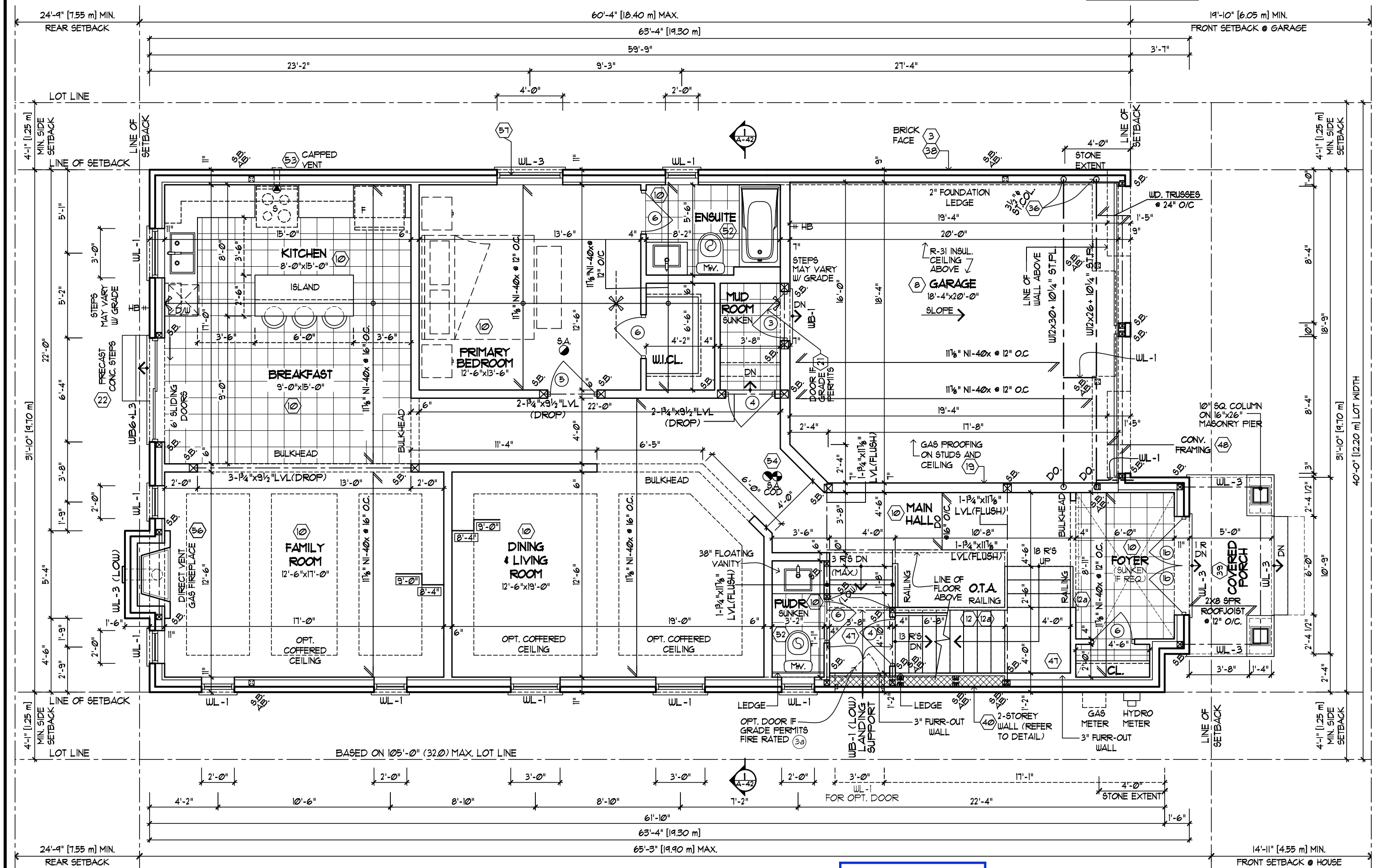
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reynolds Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD GROUND FLOOR PLAN FOR ELEVATION C		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3474 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-35
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

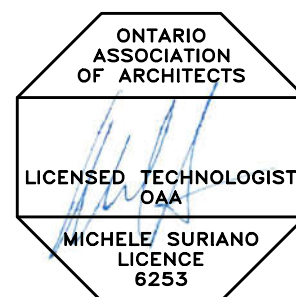
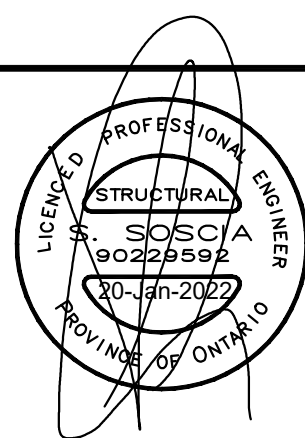


OPTIONAL GROUND FLOOR PLAN
(WITH MASTER BEDROOM)
ELEVATION C

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 JANUARY 21, 2022
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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT.05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 18/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T 905-264-0924

SHEET NAME:
OPTIONAL GROUND FLOOR PLAN (WITH
MASTER BEDROOM) FOR ELEVATION C

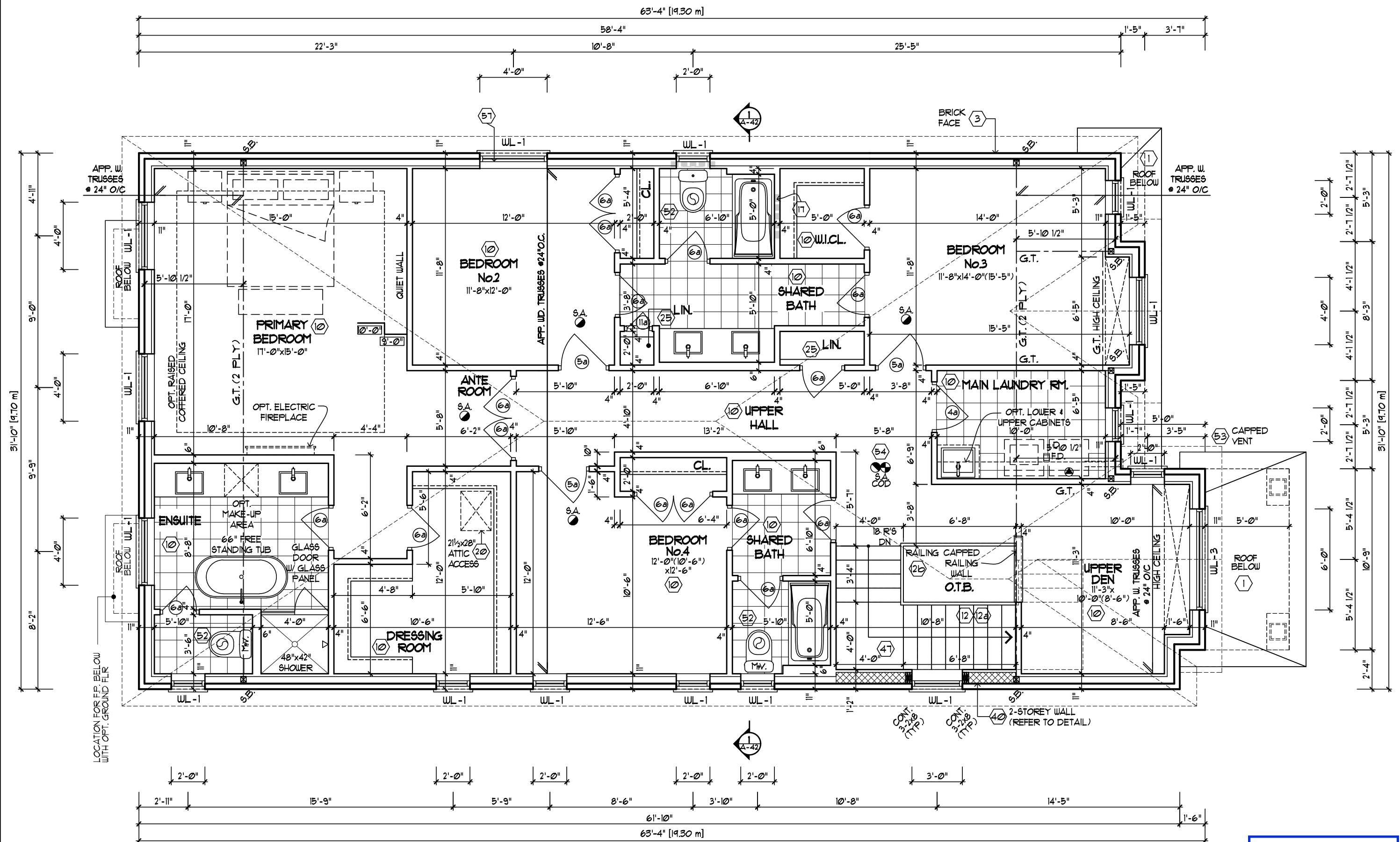
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3474 sq.ft.
DATE: OCT. 23/20	TYPE:	
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-108	A-36

ROYAL PINE HOMES

PROJECT NAME:

MODEL NAME:

MODEL 40-6 ISABELLA

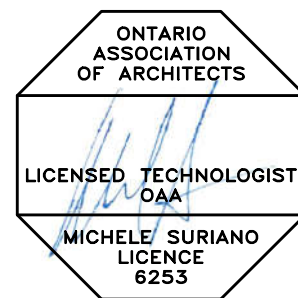
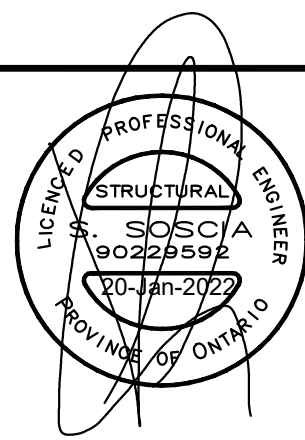


STANDARD SECOND FLOOR PLAN (4 BEDROOM)
WITH ALT. UPPER DEN
ELEVATION C

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JANUARY 21, 2022
FINAL
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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



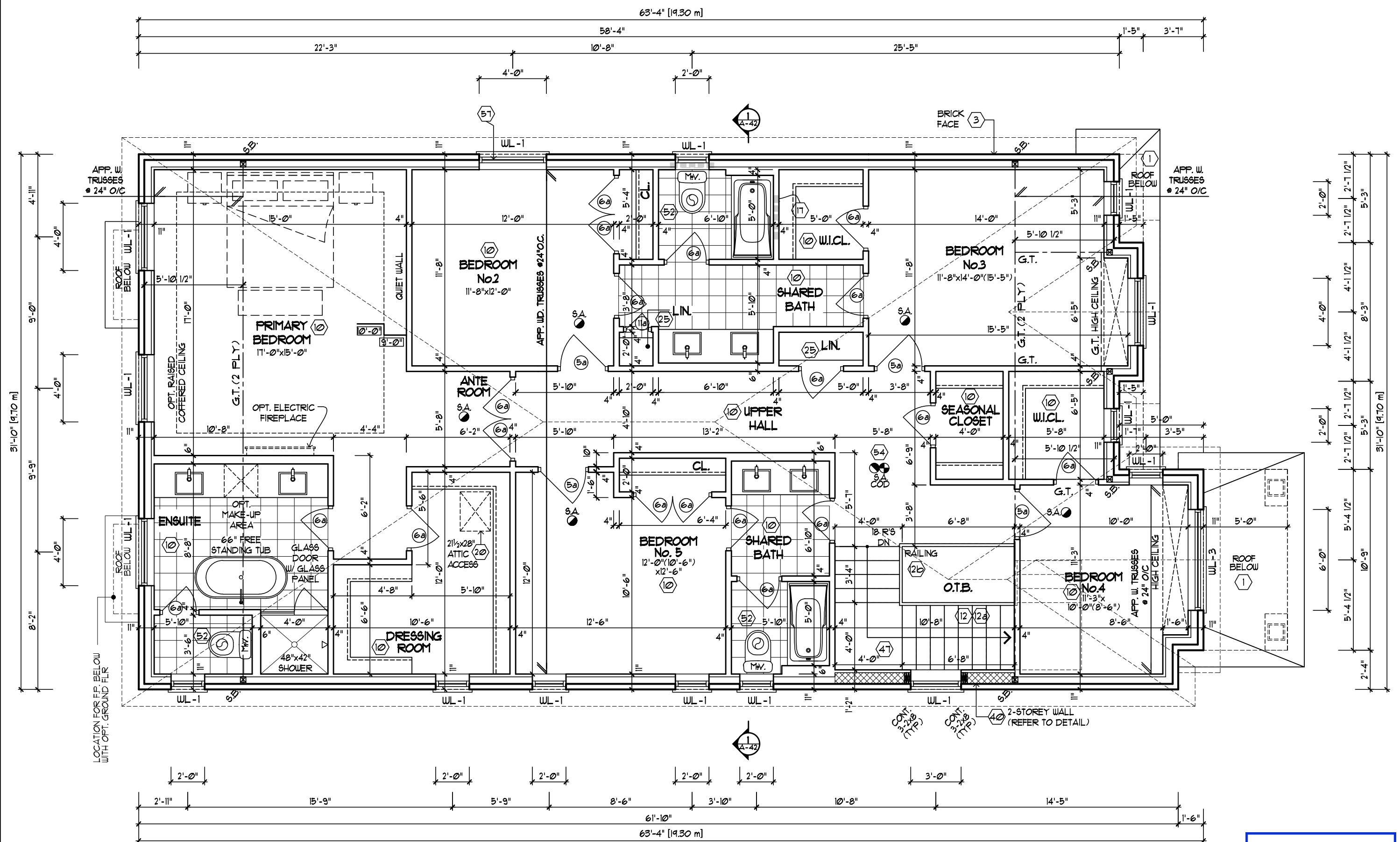
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD 2ND FLR PLAN (4 BEDROOM) WITH ALT. UPPER DEN ELEVATION C		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3474 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-37
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

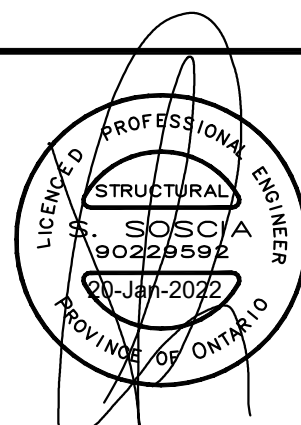


ALTERNATE SECOND FLOOR PLAN (5 BEDROOM)
ELEVATION C

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DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: ALTERNATE 2ND FLR PLAN (5 BEDROOM) FOR ELEVATION C		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3474 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-38
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA



ROOF PLAN
FOR ELEVATION C
N.T.S.

AREA CALCULATION ELEVATION C

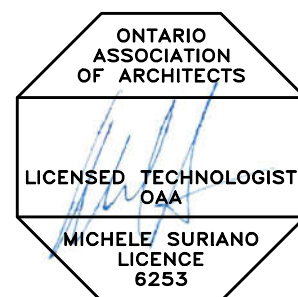
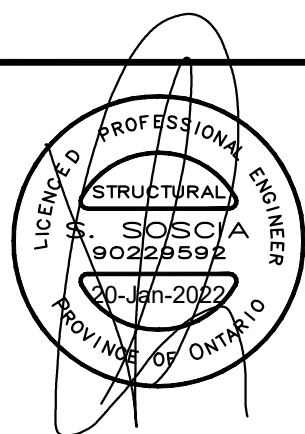
FINISHED BSMT. AREA	0	SQ. FT.
GROUND FLOOR AREA	1560	SQ. FT.
SECOND FLOOR AREA	1931	SQ. FT.
SUBTOTAL	3491	SQ. FT.
	324.32	M2
DEDUCT ALL OPEN AREAS	17	SQ. FT.
TOTAL NET AREA	3474	SQ. FT.
	322.75	M2
COVERAGE W/O PORCH	1953	SQ. FT.
	181.44	M2
COVERAGE W/PORCH	2007	SQ. FT.
	186.46	M2

FRONT ELEVATION C



MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: FRONT ELEVATION C		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3474 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-39
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION C (STANDARD GROUND FLOOR)

WALL AREA	= 1412.76	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00% (125m. SIDE YARD)	= 98.89	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 53.90	SQ. FT.

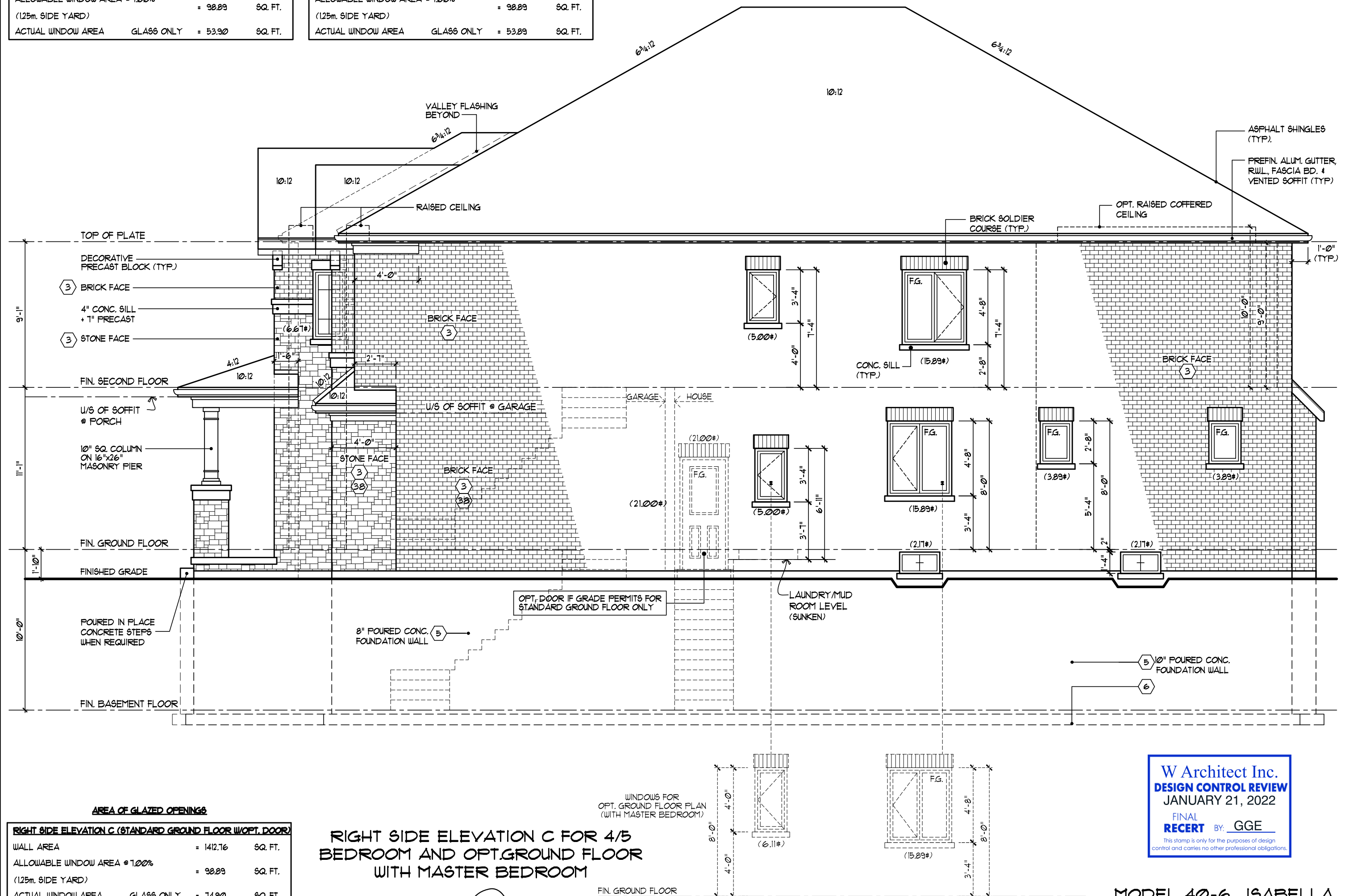
AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION C (OPTIONAL GROUND FLOOR)

WALL AREA	= 1412.76	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00% (125m. SIDE YARD)	= 98.89	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 53.89	SQ. FT.

FOR TYPICAL NOTES
REFER TO SHEET A-43

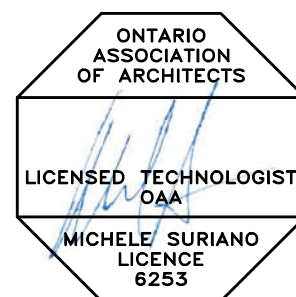
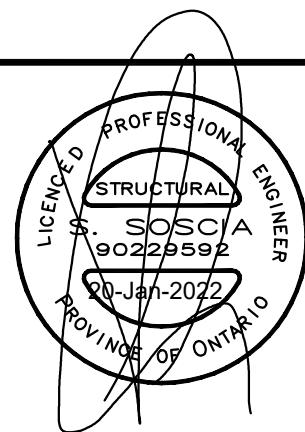
PERFORMANCE PACKAGE



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DESIGN CONTROL REVIEW
JANUARY 21, 2022
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MODEL 40-6 ISABELLA

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No.	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: RIGHT SIDE ELEVATION C FOR 4/5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3474 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-40
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION C (STANDARD GROUND FLOOR)

WALL AREA	= 1419.42	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00%	= 99.36	SQ. FT.
(125m. SIDE YARD)		
ACTUAL WINDOW AREA GLASS ONLY	= 85.27	SQ. FT.

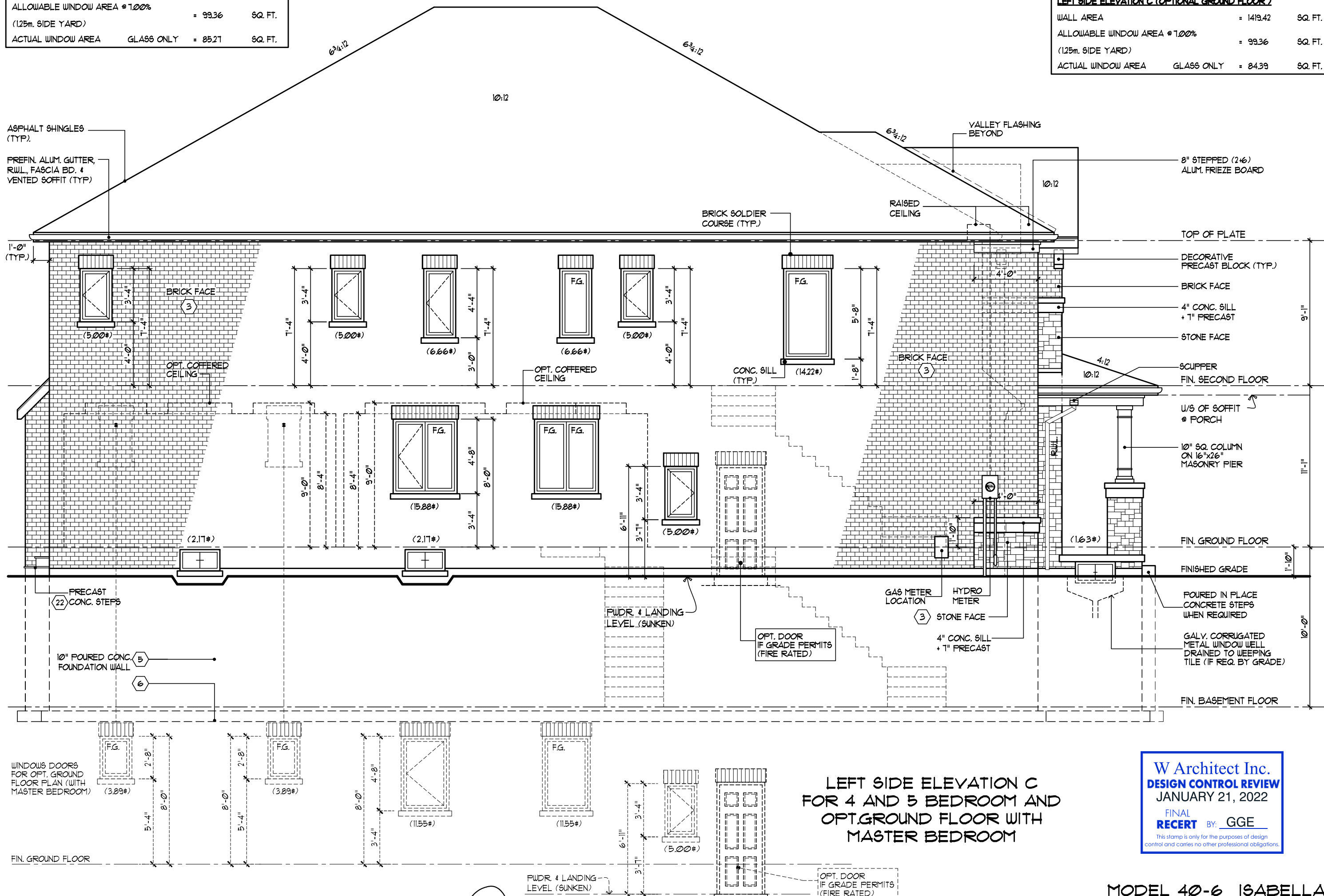
FOR TYPICAL NOTES
REFER TO SHEET A-43

PERFORMANCE PACKAGE

AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION C (OPTIONAL GROUND FLOOR)

WALL AREA	= 1419.42	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00%	= 99.36	SQ. FT.
(125m. SIDE YARD)		
ACTUAL WINDOW AREA GLASS ONLY	= 84.39	SQ. FT.

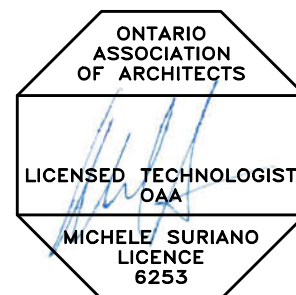
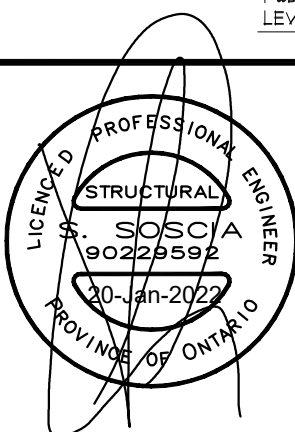


LEFT SIDE ELEVATION C
FOR 4 AND 5 BEDROOM AND
OPT. GROUND FLOOR WITH
MASTER BEDROOM

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design
control and carries no other professional obligations.

MODEL 40-6 ISABELLA

No.	DATE:	REVISION/ISSUED:	BY:
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS



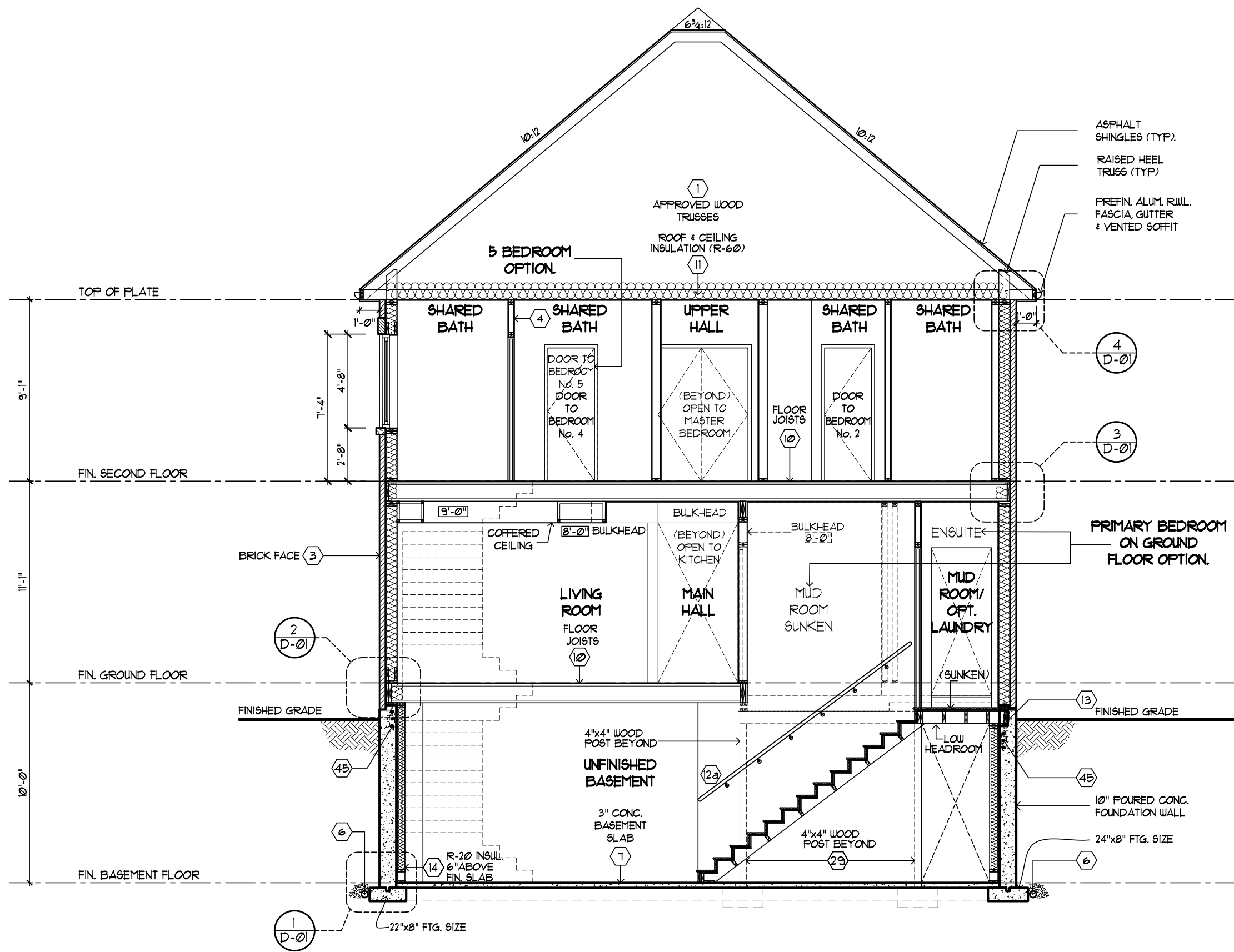
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: LEFT SIDE ELEVATION C FOR 4 AND 5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3474 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-41
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA



BUILDING SECTION I FOR ELEVATION C
FOR 4/5 BEDROOM AND OPT. GROUND
FLOOR WITH MASTER BEDROOM

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-6 ISABELLA

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TYPICAL BASEMENT FLOOR PLAN NOTES:

TYPICAL NOTES:

ALL CONCRETE FOOTING SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 150 Kpa (3000 PSF) AND BE FOUNDED A MIN. OF 4'-0" BELOW FINISHED GRADE.

CONCRETE STRENGTH FOR FOOTINGS SHALL BE A MIN. OF **25 MPa**, OR **3750 PSI**, AS PER OBC TABLE 9.5.4.2.A.

CONCRETE STRENGTH FOR GARAGE SLAB, CONCRETE PORCHES AND STEPS SHALL BE A MIN. **32 MPa**, WITH 5 - 8% ENTRAINMENT, UNLESS NOTED OTHERWISE.

CONCRETE STRIP FOOTING SIZE FOR 10" P. CONC. WALLS SHALL BE MIN. OF **8"x22"** UNREINFORCED FOR UP TO 16'-0" JOIST SPAN.

THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION, 2 FLOORS AND ROOF OF LIGHT WOOD FRAME CONSTRUCTION, WITH SPAN OF SUPPORTED JOIST THAT DO NOT EXCEED 4.9m (16'-1") AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 2.4 Kpa (50 PSF).

REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.

3/4" SUB FLOOR TO BE GLUED & NAILED (TYP.)

REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT.

ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DRAWINGS.

ALL LVL'S SHALL BE 18E/20E GRADE MICROLLAM LVL OR BETTER U. S. O.

BRICK VENEER LINTELS

WL1	= 3 1/2" x 3 1/2" x 1/4"	(90x90x6)	+ 2- 2" x 8"	SFF
WL2	= 4" x 3 1/2" x 5/16"	(100x90x8)	+ 2- 2" x 8"	SFF
WL3	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 10"	SFF
WL4	= 6" x 3 1/2" x 3/8"	(150x90x10)	+ 2- 2" x 12"	SFF
WL5	= 6" x 4" x 3/8"	(150x100x10)	+ 2- 2" x 12"	SFF
WL6	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 12"	SFF
WL7	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 10"	SFF
WL8	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 12"	SFF
WL9	= 6" x 4" x 5/16"	(150x100x10)	+ 3- 2" x 12"	SFF

CI = 3 1/2" x 1/4" STEEL COL. ON CONC. FTG.
+ 6"x6"x1/2" BASE & CAP PLATE. WELD TO BM. ANCHOR TO FTG. W/ 2- 1/2"x6" AB

F1 = 36"x36"x16"

F2 = 24"x24"x12"

F3 = 18"x18"x8"

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

SOLID BEARING:

SB MINIMUM 3-2"x4" OR 3-2"x6" BUILT UP COLUMNS

BUILT UP COLUMNS:

- NAILED W/ 1 ROW FOR 2"x4" COLUMN
- NAILED W/ 2 ROW FOR 2"x6" COLUMN
- NAIL LENGTH TO MATCH TOTAL BUILT UP WIDTH
- NAILS SPACED @ 8" O/C
- PROVIDE SQUASH BLOCKS TO TRANSFER POINT LOADS BETWEEN FLOORS

STEEL LINTELS

L1	= 3 1/2" x 3 1/2" x 1/4"	(89x89x6.4)
L2	= 4" x 3 1/2" x 5/16"	(102x89x7.9)
L3	= 5" x 3 1/2" x 5/16"	(121x89x7.9)
L4	= 6" x 3 1/2" x 3/8"	(152x89x9.5)
L5	= 6" x 4" x 3/8"	(152x102x9.5)
L6	= 7" x 4" x 3/8"	(178x102x9.5)
L7	= 7" x 4" x 1/2"	(178x102x13)

WOOD LINTELS AND BEAMS

WB1	= 2- 2" x 8"	SFF
WB2	= 3- 2" x 8"	SFF
WB3	= 2- 2" x 10"	SFF
WB4	= 3- 2" x 10"	SFF
WB5	= 2- 2" x 12"	SFF
WB6	= 3- 2" x 12"	SFF
WB7	= 5- 2" x 12"	SFF
WB11	= 4- 2" x 10"	SFF
WB12	= 4- 2" x 12"	SFF

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM, INCLUDING BEAMS AND SUPPORT, REFER TO THE APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

FOR TYPICAL NOTES
REFER TO SHEET A-43

PERFORMANCE PACKAGE

TYPICAL ELEVATION NOTES:

REFER TO TRUSS SHOP DWGS.
FOR COMPLETE TRUSS LAYOUT
AND SPECIFICATIONS

NOTE: ELEVATIONS DO NOT REPRESENT
ACTUAL FINISHED GRADES (REFER TO
GRADING PLANS)

RAILING REQUIRED WHEN PORCH TO
GRADE EXCEEDS MORE THAN 2'-0"

REFER JOIST MANUFACTURER'S
SPECIFICATIONS FOR ALL
TECHNICAL DETAILS & INFO.

TYPICAL GROUND FLOOR PLAN NOTES:

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

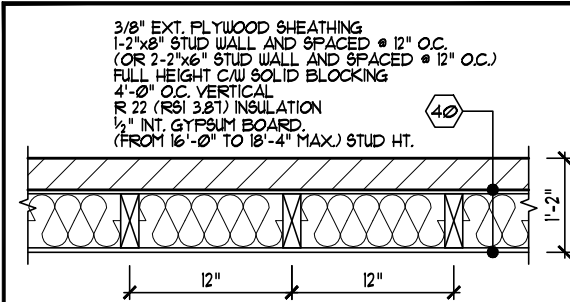
9'-0"
8'-4" DENOTES CEILING HEIGHT

TYPICAL GROUND FLOOR NOTES

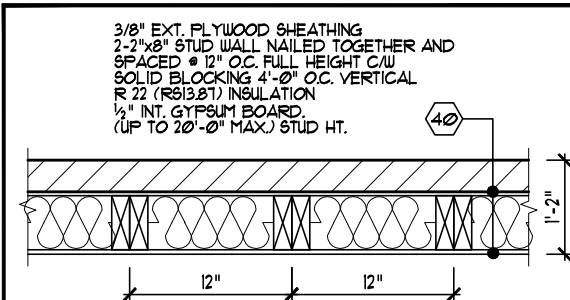
- REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT
- 5/8" SUB-FLOOR TO BE GLUED & NAILED (TYP.)
- ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DWGS.
- ALL LVL'S SHALL BE 18E GRADE MICROLLAM LVL OR BETTER U. S. O.

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM, INCLUDING BEAMS AND SUPPORT, REFER TO THE APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

ALL GARAGE DOORS INTO THE HOUSE SHALL BE GAS PROOFED AND HAVE SELF-CLOSING DEVICES. EACH DOOR SHALL HAVE STAIRS CONFORMING TO O.B.C. SECTION 9.8



2 STOREY WALL DETAIL FOR
BRICK/STONE FINISH
(FROM 16'-0" TO 18'-4" MAX.) STUD HT.



2 STOREY WALL DETAIL FOR
BRICK/STONE FINISH
(UP TO 20'-0" MAX.) STUD HT.

TYPICAL SECOND FLOOR PLAN NOTES:

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

ALL RETURN AIR PARTITIONS TO BE 6". REFER TO HVAC DRAWINGS

9'-0"
8'-0" DENOTES CEILING HEIGHT

17 DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 3/D-10

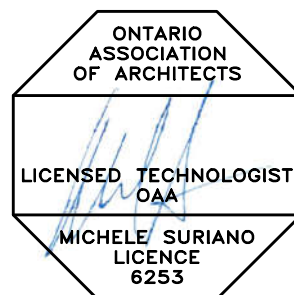
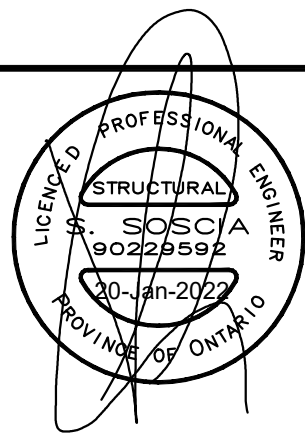
W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022

FINAL
RECERT BY: GGE

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MODEL 40-6 ISABELLA

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 18/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

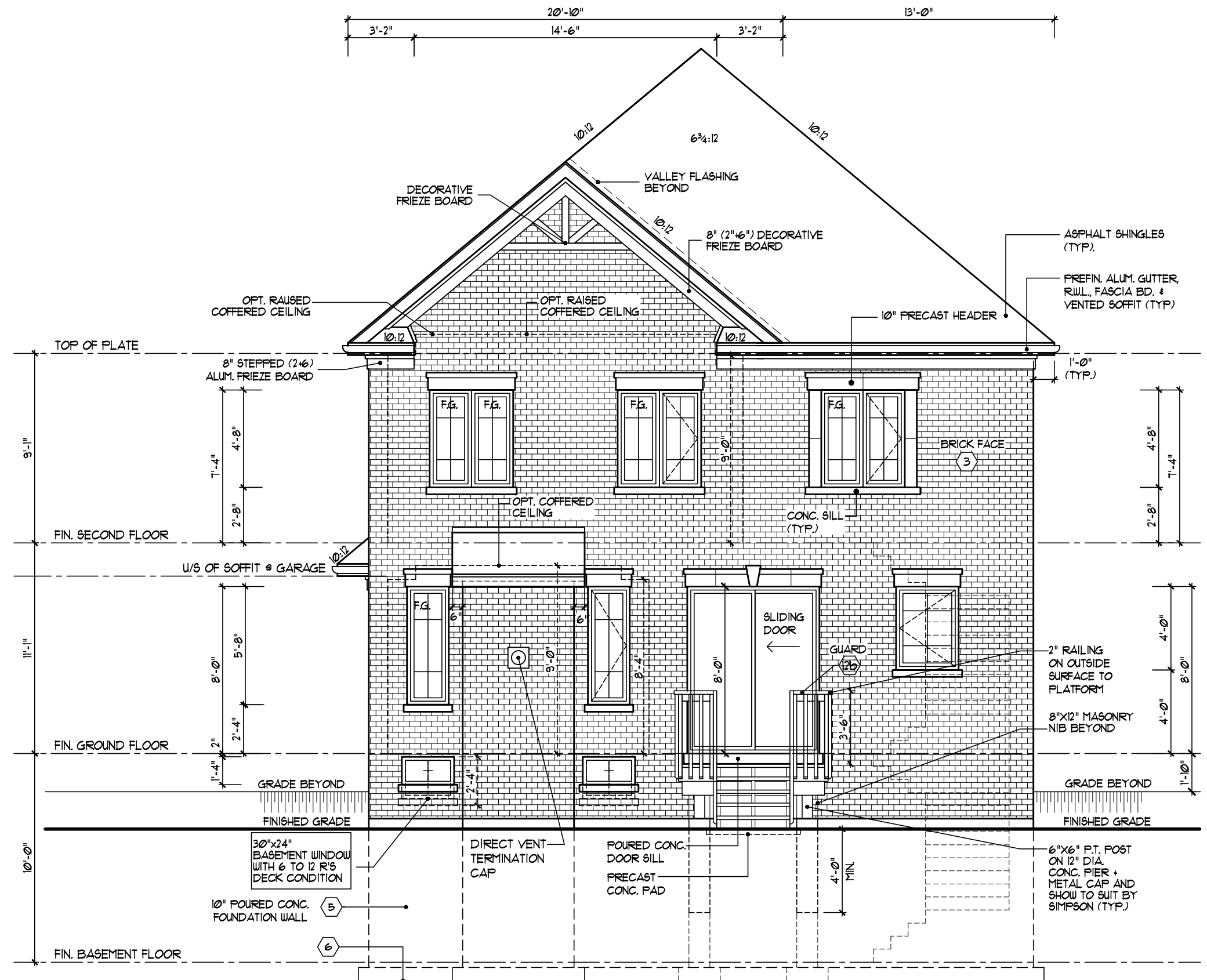
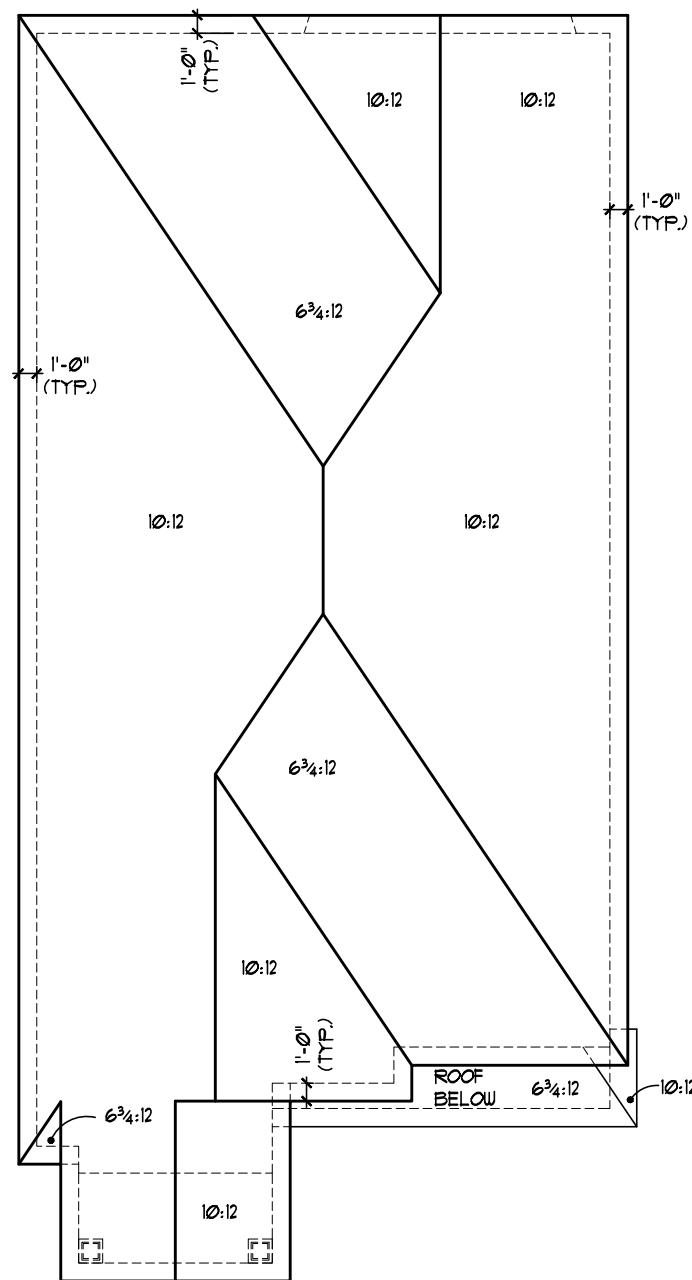
SHEET NAME:
TYPICAL NOTES

DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.N.D.	AREA:
DATE: OCT. 23/20	TYPE:	PAGE No: A-43
SCALE: 3/16" = 1'-0"	PROJECT No: 20-102	

ROYAL PINE
HOMES

PROJECT NAME:
VALES OF HUMBER

MODEL NAME:
MODEL 40-6 ISABELLA



W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 17, 2022

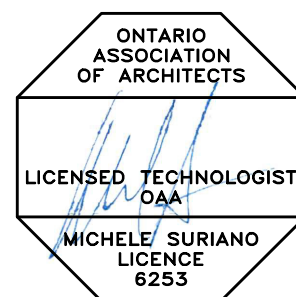
FINAL
RECERT BY: GGE

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UPGRADED REAR ELEVATION A WITH WOOD DECK
CONDITION
(WITH STANDARD GROUND FLOOR PLAN)

LOT 53 UPGRADE
MODEL 40-6 ISABELLA

9.	FEB. 15/22	ISSUED FOR BUILDING PERMIT	MS
8.	FEB. 07/22	ISSUED FOR REAR ELEVATION UPGRADE REVIEW	MS
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
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2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
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ARCHITECTURAL DESIGN

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51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

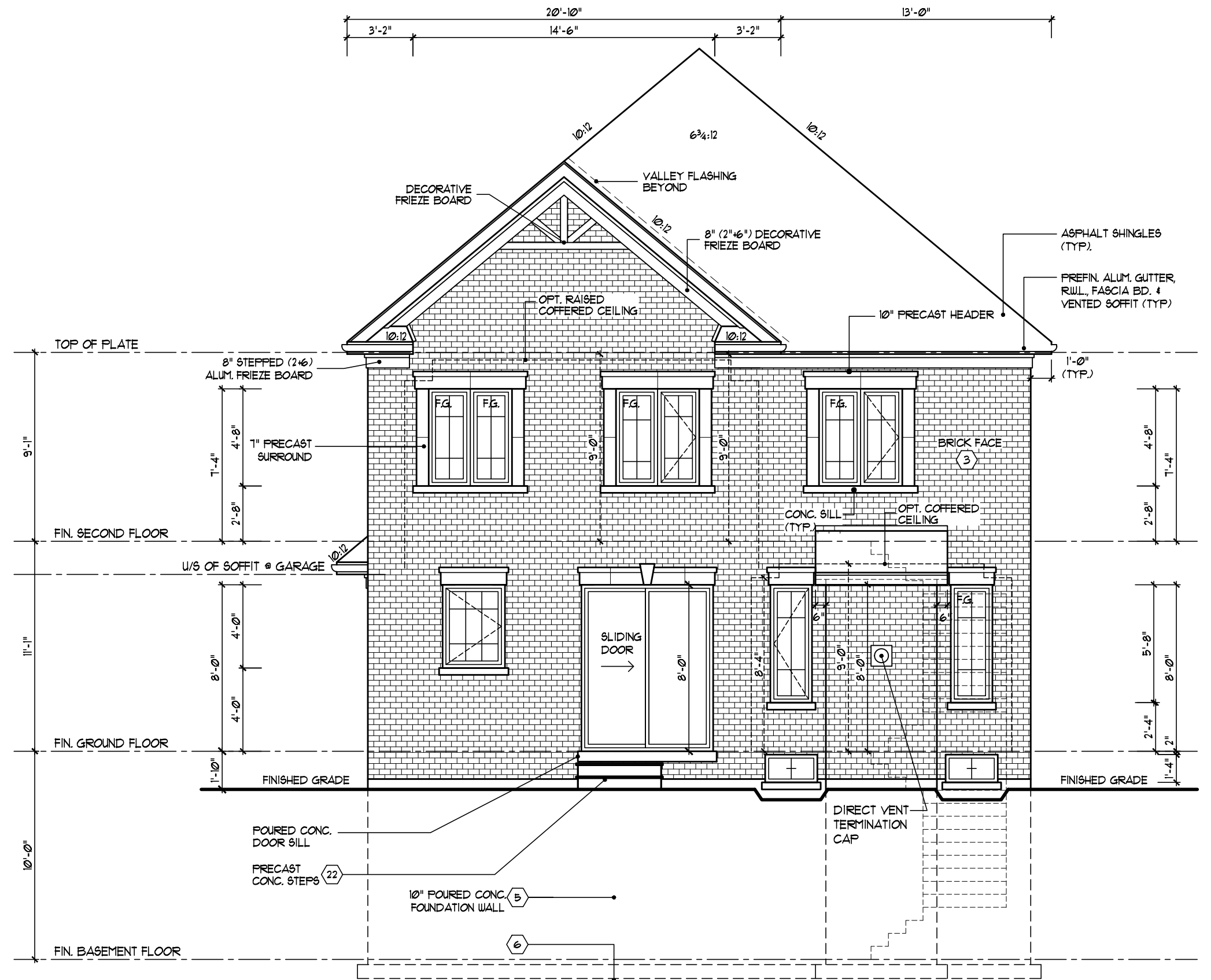
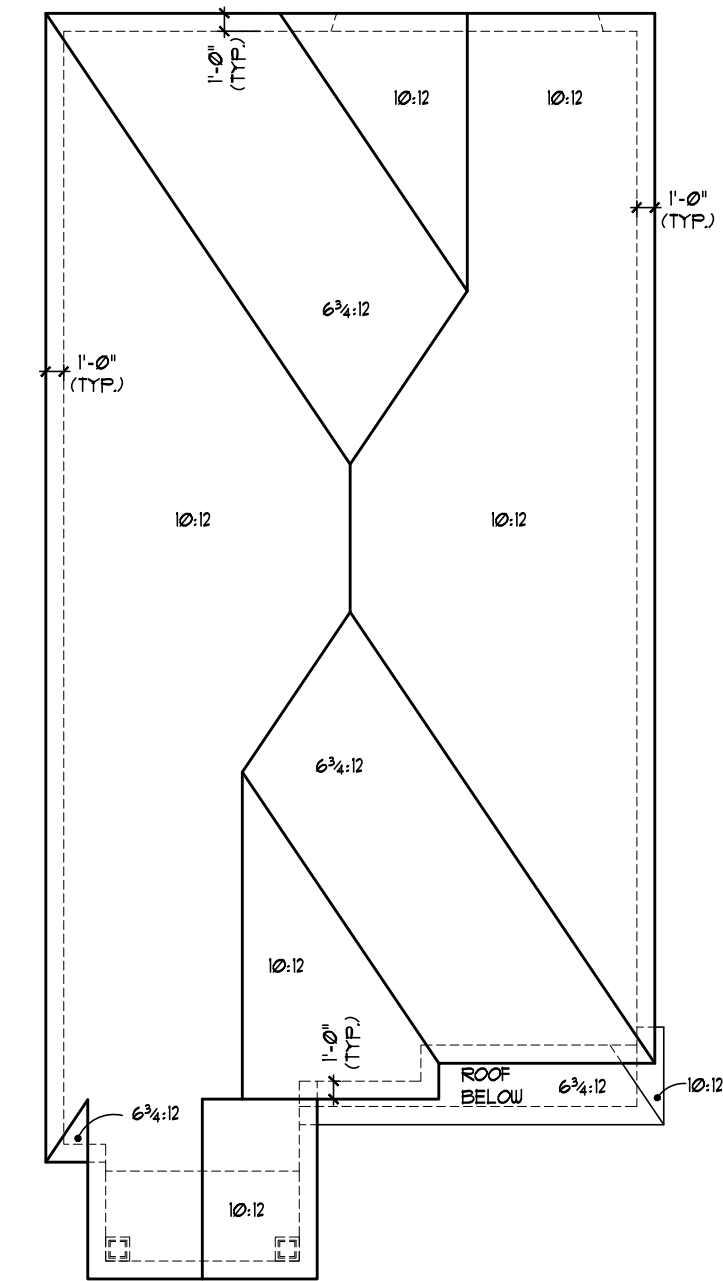
SHEET NAME: UPGRADED REAR ELEVATION A WITH WOOD DECK CONDITION (WITH STANDARD GROUND FLOOR PLAN)		
DATE PLOTTED: FEB. 15/22	DRAWN BY: M.H./J.L.A.M	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No:
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	A-43

ROYAL PINE HOMES

PROJECT NAME:

MODEL NAME:

MODEL 40-6 ISABELLA

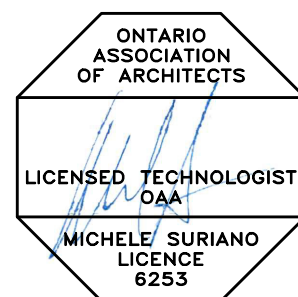


W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 17, 2022
FINAL
RECEIPT BY: GGE
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UPGRADED REAR ELEVATION A
(WITH OPTIONAL GROUND FLOOR
PLAN)

LOT 47 UPGRADE
MODEL 40-6 ISABELLA

9.	FEB. 15/22	ISSUED FOR BUILDING PERMIT	MS
8.	FEB. 07/22	ISSUED FOR REAR ELEVATION UPGRADE REVIEW	MS
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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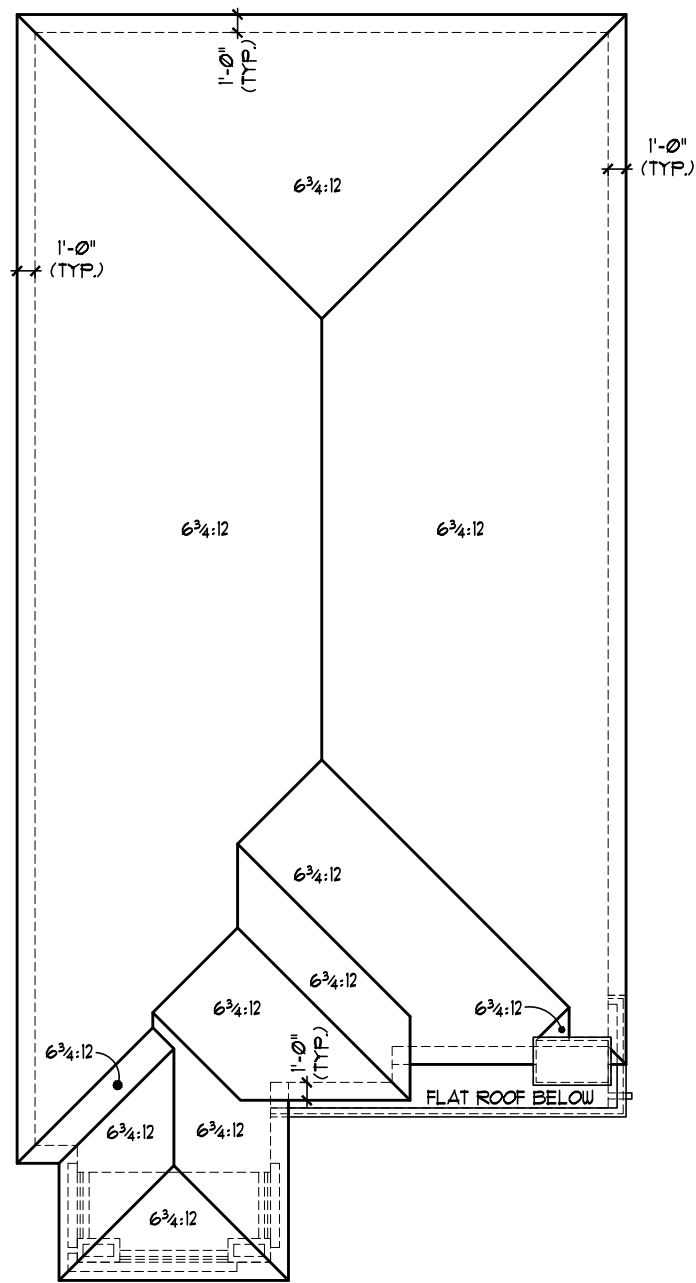
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SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: UPGRADED REAR ELEVATION A (WITH OPTIONAL GROUND FLOOR PLAN)		
DATE PLOTTED: FEB. 15/22	DRAWN BY: M.H./J.LAM	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-44
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

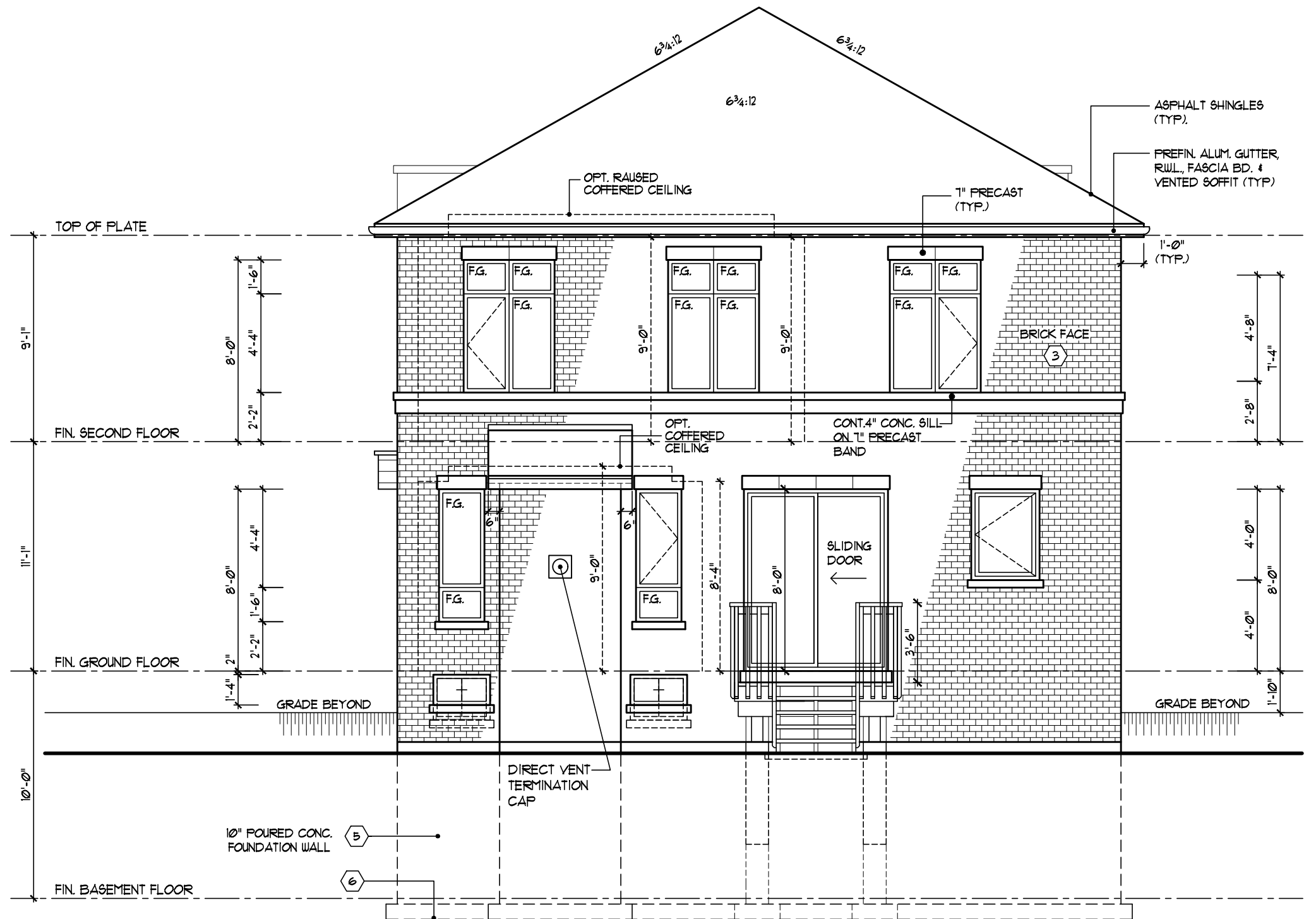
ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA



UPGRADED ROOF
PLAN
FOR ELEVATION B
N.T.S.

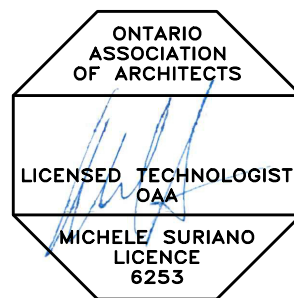
W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 17, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design
control and carries no other professional obligations.



UPGRADED REAR ELEVATION B
WITH WOOD DECK CONDITION
(WITH STANDARD GROUND FLOOR PLAN)

LOT 54 UPGRADE
MODEL 40-6 ISABELLA

9.	FEB. 15/22	ISSUED FOR BUILDING PERMIT	MS
8.	FEB. 07/22	ISSUED FOR REAR ELEVATION UPGRADE REVIEW	MS
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

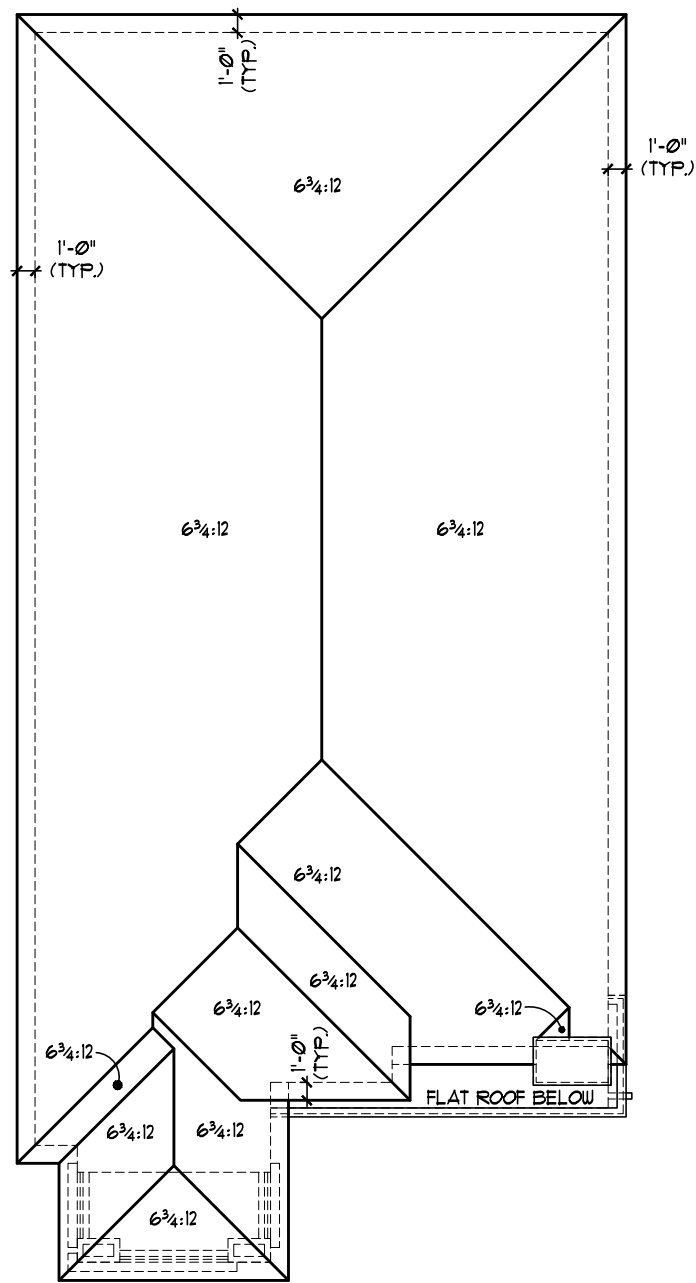
SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: UPGRADED REAR ELEVATION B WITH WOOD DECK CONDITION (WITH STANDARD GROUND FLOOR PLAN)		
DATE PLOTTED: FEB. 15/22	DRAWN BY: M.H./J.LAM	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-45
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

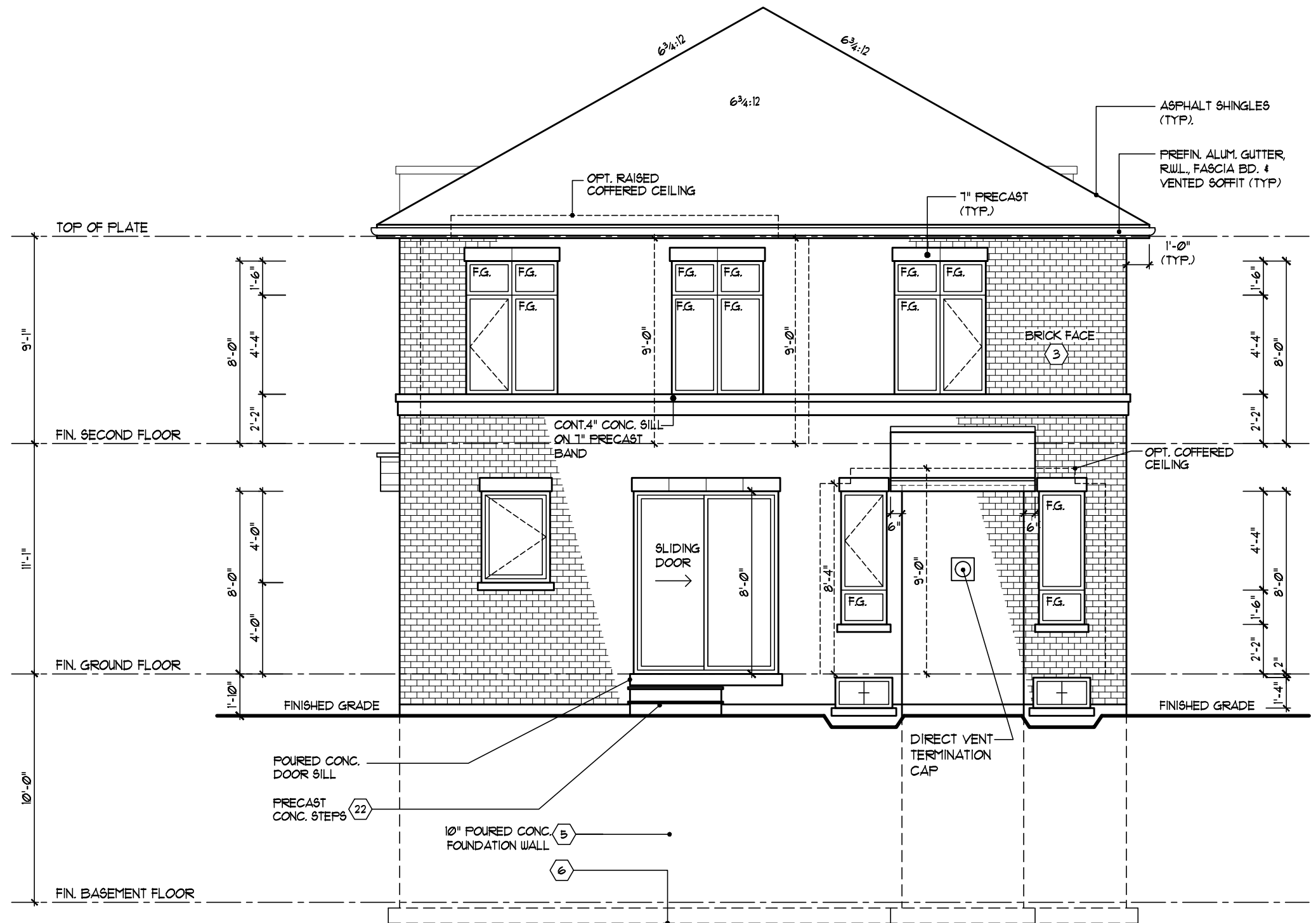
ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:
MODEL 40-6 ISABELLA



UPGRADED ROOF
PLAN
FOR ELEVATION B
N.T.S.

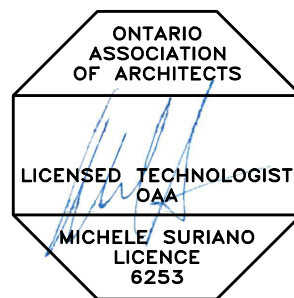


W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 17, 2022
FINAL
RECERT BY: GGE
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UPGRADED REAR ELEVATION B
(WITH OPTIONAL GROUND FLOOR PLAN)

LOT 44 UPGRADE
LOT 48 UPGRADE
MODEL 40-6 ISABELLA

9.	FEB. 15/22	ISSUED FOR BUILDING PERMIT	MS
8.	FEB. 07/22	ISSUED FOR REAR ELEVATION UPGRADE REVIEW	MS
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



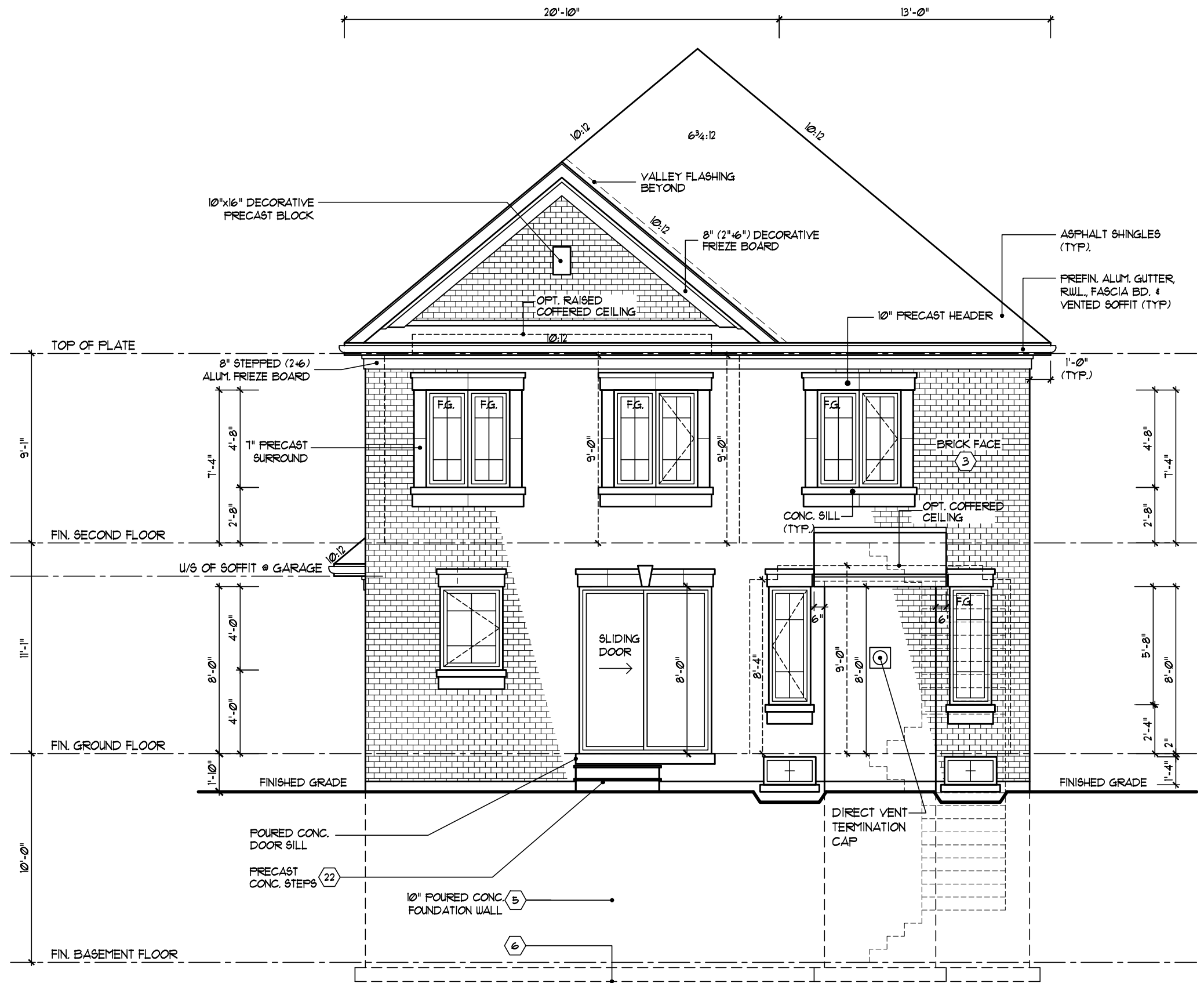
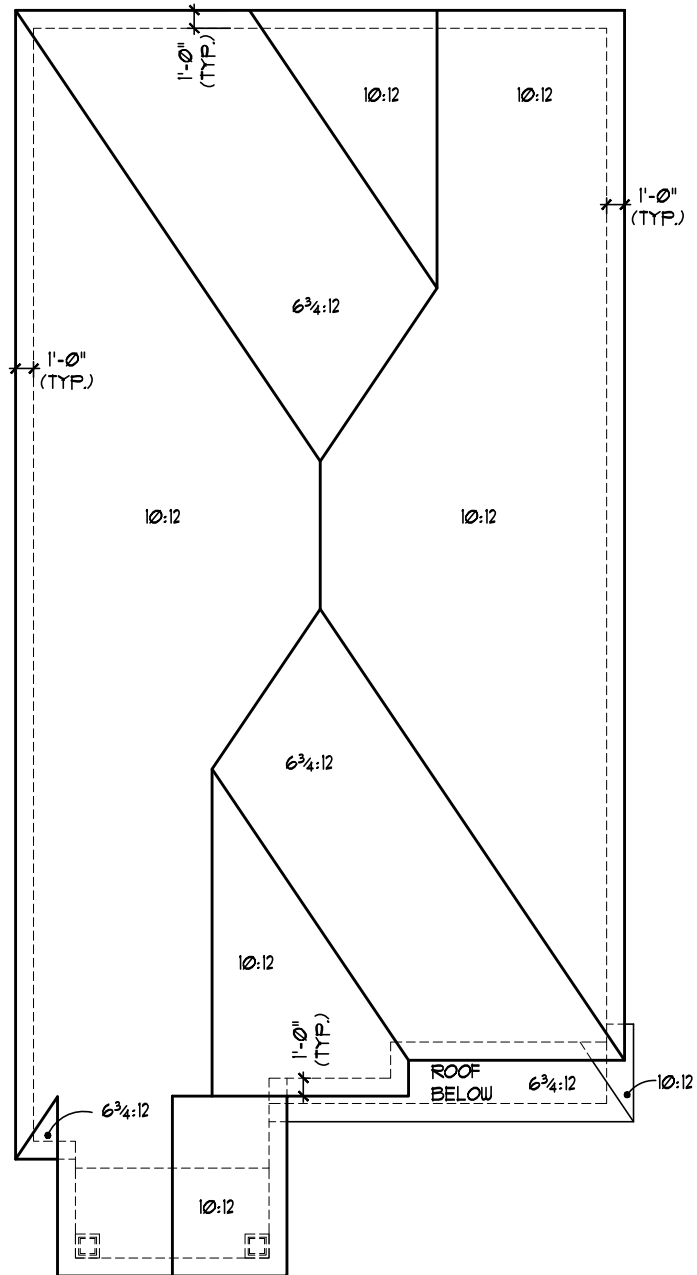
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ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: UPGRADED REAR ELEVATION B (WITH OPTIONAL GROUND FLOOR PLAN)		
DATE PLOTTED: FEB. 15/22	DRAWN BY: M.H./J.LAM	AREA: 3446 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-46
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-6 ISABELLA

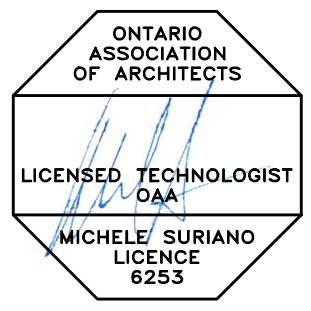


W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 17, 2022
FINAL
RECERT BY: GGE
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control and carries no other professional obligations.

UPGRADED REAR ELEVATION C
(WITH OPTIONAL GROUND FLOOR
PLAN)

LOT 46 UPGRADE
MODEL 40-6 ISABELLA

9.	FEB. 15/22	ISSUED FOR BUILDING PERMIT	MS
8.	FEB. 07/22	ISSUED FOR REAR ELEVATION UPGRADE REVIEW	MS
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:

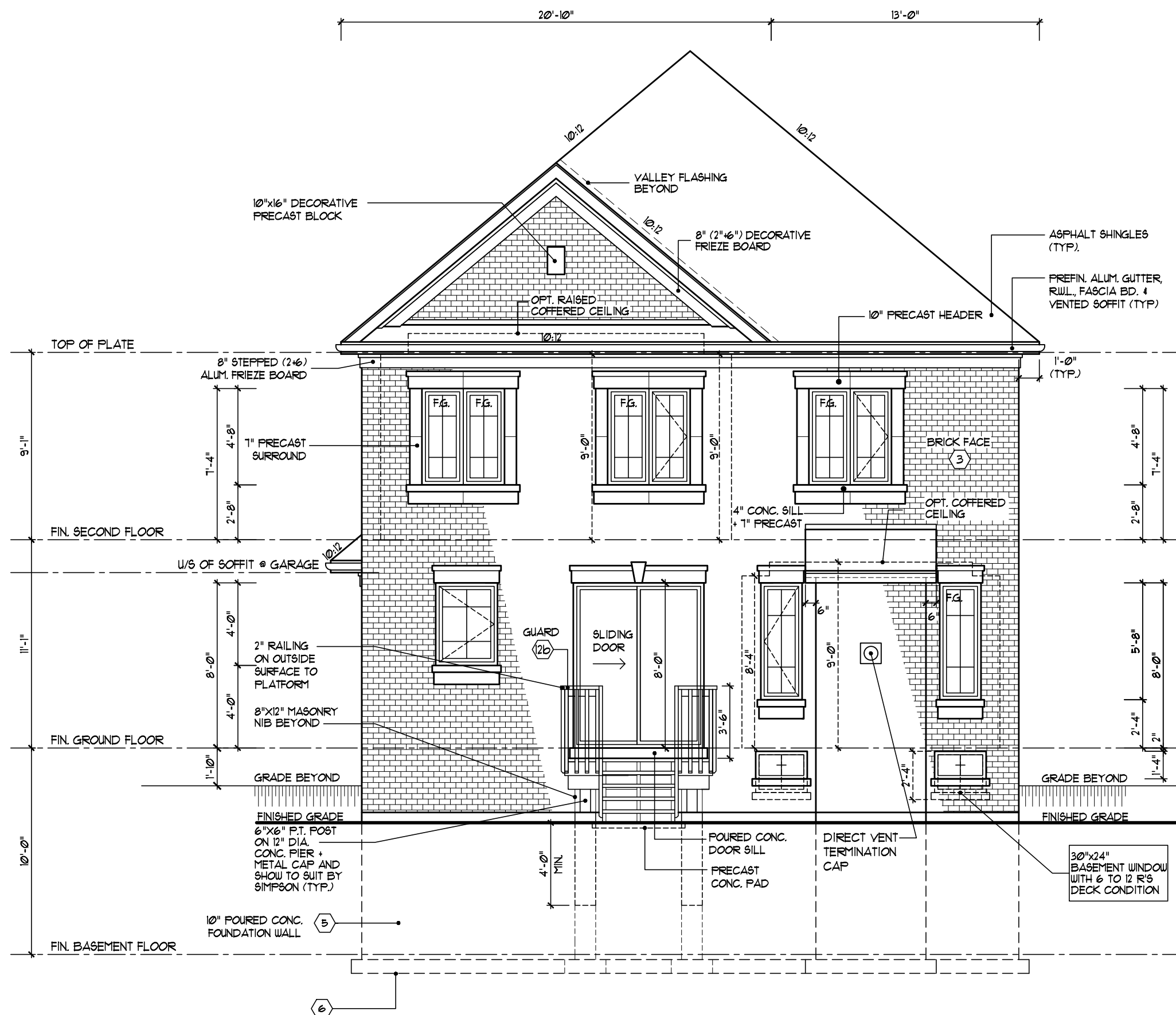


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ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: UPGRADED REAR ELEVATION C (WITH OPTIONAL GROUND FLOOR PLAN)		
DATE PLOTTED: FEB. 15/22	DRAWN BY: M.H./J.LAM	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-47
SCALE: 3/16" = 1'-0"	PROJECT No: 20-108	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-6 ISABELLA	

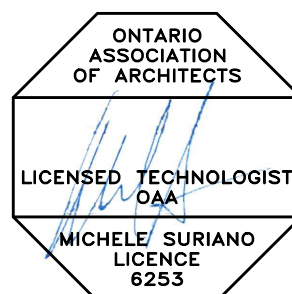


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UPGRADED REAR ELEVATION C
WITH WOOD DECK CONDITION
(WITH OPTIONAL GROUND FLOOR PLAN)

LOT 52 UPGRADE
MODEL 40-6 ISABELLA

9.	FEB. 15/22	ISSUED FOR BUILDING PERMIT	MS
8.	FEB. 01/22	ISSUED FOR REAR ELEVATION UPGRADE REVIEW	MS
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT.25/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 18/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T 905-264-0974

SHEET NAME:
UPGRADED REAR ELEVATION C WITH WOOD DECK CONDITION
(WITH OPTIONAL GROUND FLOOR PLAN)

DATE PLOTTED: FEB. 15/22	DRAWN BY: M.H./J.LAM	AREA: 3438 sq.ft.
DATE: OCT. 23/20	TYPE:	
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-108	A-48

ROYAL PINE HOMES

PROJECT NAME:

MODEL NAME:

MODEL 40-6 ISABELLA