### ELEVATION A STANDARD (4 BEDROOMS OPT.)

# DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A

ELLYAHONA						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	62	8	0	3.44	0.32
TOTEN	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
TAMETROOM	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
BEDITOON NO.5	1	36	56	0	14.00	1.30
MAIN LAUNDRY.RM	1	24	56	0	9.33	0.87
	1	0	0	5.43	5.43	0.50
UPPER DEN	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
IIII TOTER EROOTE	1	48	56	0	18.67	1.73
TOTAL	38	-	-	-	397.55	36.93
WALL AREA	-	-	-	-	4228.74	392.86
RATIO	-	-	-	-	9.40	9.40

### ELEVATION A STANDARD (5 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIOO.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A								
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)		
BASEMENT	6	30	16	0	20.00	1.86		
FOVED	1	62	8	0	3.44	0.32		
FOYER	2	23	55	0	17.57	1.63		
PDWR.	1	24	40	0	6.67	0.62		
DINING & LIVING ROOM	1	48	56	0	18.67	1.73		
KITCHEN	1	36	48	0	12.00	1.11		
BREAKFAST	1	76	96	0	50.67	4.71		
FAMILY DOOM	2	24	68	0	22.67	2.11		
FAMILY ROOM	2	24	32	0	10.67	0.99		
DEN	1	48	56	0	18.67	1.73		
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62		
MASTER BEDROOM	2	48	56	0	37.33	3.47		
BEDROOM NO.2	1	48	56	0	18.67	1.73		
SHARED BATH	1	24	40	0	6.67	0.62		
BEDROOM NO.3	2	24	56	0	18.67	1.73		
DEDROOM NO.3	1	36	56	0	14.00	1.30		
W.I.CL.	1	24	56	0	9.33	0.87		
	1	0	0	5.43	5.43	0.50		
BEDROOM NO.4	2	14	76	0	14.78	1.37		
	1	24	72	0	12.00	1.11		
O.T.B. STAIRS	1	36	68	0	17.00	1.58		
SHARED BATH	1	24	40	0	6.67	0.62		
BEDROOM NO.5	2	24	52	0	17.33	1.61		
DRESSING ROOM	1	24	40	0	6.67	0.62		
MASTER ENSUITE	1	24	40	0	6.67	0.62		
MINO I EL ENSUITE	1	48	56	0	18.67	1.73		
TOTAL	38	-	-	-	397.55	36.93		
WALL AREA	-	-	-	-	4228.74	392.86		
			1					



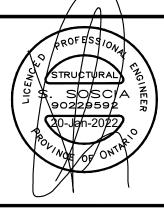
9.40

MODEL 40-6 ISABELLA

3. DEC . 00/21 RE-ISSUED FOR BUILDING PERMIT

1. OCT. 20/21 ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS

No: DATE: REVISION/ISSUED: BY:





SURIANO.

ARCHITECTURAL DESIGN

RATIO

SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

	D WALL &		
OPENINGS A	AREA CALCI	JLATIONS-A	
DATE PLOTTED:	DRAWN BY:	AREA:	
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.	
		·	
DATE:	TYPE:	PAGE No:	PRO
OCT. 23/2Ø			
		Ø1	
SCALE:	PROJECT No:	<b>Ø</b> 1	MOE
3/16"=1'-0"	20-108		M

ROYAL PINE HOMES

PROJECT NAME:

MODEL NAME:

#### ELEVATION A OPT.GRND FLR (4 BEDROOMS OPT.)

## DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A

		Ŀ	ELEVATION A			
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	62	8	0	3.44	0.32
TOTER	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
T AWILT NOOW	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM (2ND FLR)	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
BLDNOOM NO.3	1	36	56	0	14.00	1.30
MAIN LAUNDRY.RM	1	24	56	0	9.33	0.87
	1	0	0	5.43	5.43	0.50
UPPER DEN	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE (2ND FLR)	1	24	40	0	6.67	0.62
	1	48	56	0	18.67	1.73
TOTAL	39	-	-	-	408.22	37.92
WALL AREA	-	-	-	-	4228.74	392.86
RATIO	-	-	-	-	9.65	9.65

### ELEVATION A OPT.GRND FLR (5 BEDROOMS OPT.)

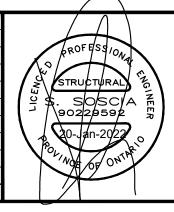
# DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A

	ELEVATION A								
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)			
BASEMENT	6	30	16	0	20.00	1.86			
FOYER	1	62	8	0	3.44	0.32			
TOTEN	2	23	55	0	17.57	1.63			
PDWR.	1	24	40	0	6.67	0.62			
DINING & LIVING ROOM	2	36	56	0	28.00	2.60			
FAMILY ROOM	2	24	32	0	10.67	0.99			
TAMILT ROOM	2	24	68	0	22.67	2.11			
BREAKFAST	1	76	96	0	50.67	4.71			
KITCHEN	1	36	48	0	12.00	1.11			
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73			
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74			
MASTER BEDROOM (2ND FLR)	2	48	56	0	37.33	3.47			
BEDROOM NO.2	1	48	56	0	18.67	1.73			
SHARED BATH	1	24	40	0	6.67	0.62			
BEDROOM NO.3	2	24	56	0	18.67	1.73			
BEDITOON NO.3	1	36	56	0	14.00	1.30			
W.I.CL.	1	24	56	0	9.33	0.87			
	1	0	0	5.43	5.43	0.50			
BEDROOM NO.4	2	14	76	0	14.78	1.37			
	1	24	72	0	12.00	1.11			
O.T.B. STAIRS	1	36	68	0	17.00	1.58			
SHARED BATH	1	24	40	0	6.67	0.62			
BEDROOM NO.5	2	24	52	0	17.33	1.61			
DRESSING ROOM	1	24	40	0	6.67	0.62			
MASTER ENSUITE (2ND FLR)	1	24	40	0	6.67	0.62			
1111 (214D 1 EIV)	1	48	56	0	18.67	1.73			
TOTAL	39	-	-	-	408.22	37.92			
WALL AREA	-	-	-	-	4228.74	392.86			
RATIO	-	-	-	-	9.65	9.65			



MODEL 40-6 ISABELLA

				( )
3.	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	Ms	- \
	NOV. Ø5/21	199UED FOR BUILDING PERMIT	Ms	'
l.	OCT.Ø5/21	198UED TO STRUCT, ENG. /HYAC FOR REVIEW AND COMMENTS	MS	
No:	DATE:	REVISION/ISSUED:	BY:	



ONTARIO
ASSOCIATION
OF ARCHITECTS

LICENSED TECHNOLOGIST
OAA

MICHELE SURIANO
LICENCE
6253

SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Roed, Unit 1
Vaughan, Ontario L41, 8P9
T. 905-264-0924

	D WALL #	
OPENINGS,	AREA CALCI	JLATIONS-A
DATE PLOTTED:	DRAWN BY:	AREA:
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.
DATE:	TYPE:	PAGE No:
OCT. 23/20		
		<i>a</i> 2
SCALE:	PROJECT No:	<b>Ø</b> 2
3/16"=1'-0"	20-108	

ROYAL PINE HOMES

PROJECT NAME:

MODEL NAME:

### ELEVATION A STANDARD (4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

## DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A

ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
DAGLIVILINI	2	30	24	0	10.00	0.93
FOYER	1	62	8	0	3.44	0.32
TOTEN	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
TAMILITYOUN	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
BEDROOM NO.3	1	36	56	0	14.00	1.30
MAIN LAUNDRY.RM	1	24	56	0	9.33	0.87
	1	0	0	5.43	5.43	0.50
UPPER DEN	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
WASTER ENSUITE	1	48	56	0	18.67	1.73
TOTAL	34	-	-	-	400.89	37.24
WALL AREA	-	-	-	-	4370.55	406.04
RATIO	-	-	-	-	9.17	9.17

### ELEVATION A STANDARD (5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

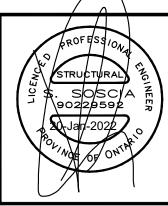
# ROOM QUANTITY WIDTH(IN.) ARCH AREA WINDOW / DOOR R.S.O. (SQ.FT.) R.S.O. (SQ.M.)

ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
BASEIVIEIVI	2	30	24	0	10.00	0.93
FOYER	1	62	8	0	3.44	0.32
FUTER	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
PAIVILT ROOM	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
DEDDOOM NO 2	2	24	56	0	18.67	1.73
BEDROOM NO.3	1	36	56	0	14.00	1.30
W.I.CL.	1	24	56	0	9.33	0.87
	1	0	0	5.43	5.43	0.50
BEDROOM NO.4	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
IVIAOTER ENOUTE	1	48	56	0	18.67	1.73
TOTAL	38	-	-	-	400.89	37.24
WALL AREA	-	-	-	-	4370.55	406.04
RATIO	-	-	-	-	9.17	9.17



MODEL 40-6 ISABELLA

3. DEC . Ø8/21 RE-199UED FOR BUILDING PERMIT MS
2. NOV. Ø5/21 199UED FOR BUILDING PERMIT MS
1. OCTØ5/21 199UED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS MS
No: DATE: REVISION/ISSUED: BY:





SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-A								
DATE PLOTTED:	DRAWN BY:	AREA:						
DEC. Ø8/21	M.H./J.LAM	3438 sq.ft.						
DATE:	TYPE:	PAGE No:						
OCT. 23/2Ø								
CONTE	DDO IFOT No.	Ø3 I						
SCALE:	PROJECT No:	~ -						

3/16"=1'-0" 20-108

ROYAL PINE HOMES

PROJECT NAME:

ODEL NAME:

### ELEVATION A OPTGRND FLR (4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A

ELEVATION A							
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)	
BASEMENT	4	30	16	0	13.33	1.24	
DAGLIVILINI	2	30	24	0	10.00	0.93	
FOYER	1	62	8	0	3.44	0.32	
TOTEN	2	23	55	0	17.57	1.63	
PDWR.	1	24	40	0	6.67	0.62	
DINING & LIVING ROOM	2	36	56	0	28.00	2.60	
FAMILY ROOM	2	24	32	0	10.67	0.99	
1 AMILI ROOM	2	24	68	0	22.67	2.11	
BREAKFAST	1	76	96	0	50.67	4.71	
KITCHEN	1	36	48	0	12.00	1.11	
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73	
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74	
MASTER BEDROOM (2ND FLR)	2	48	56	0	37.33	3.47	
BEDROOM NO.2	1	48	56	0	18.67	1.73	
SHARED BATH	1	24	40	0	6.67	0.62	
BEDROOM NO.3	2	24	56	0	18.67	1.73	
DEDROOM NO.3	1	36	56	0	14.00	1.30	
MAIN LAUNDRY.RM	1	24	56	0	9.33	0.87	
	1	0	0	5.43	5.43	0.50	
UPPER DEN	2	14	76	0	14.78	1.37	
	1	24	72	0	12.00	1.11	
O.T.B. STAIRS	1	36	68	0	17.00	1.58	
SHARED BATH	1	24	40	0	6.67	0.62	
BEDROOM NO.4	2	24	52	0	17.33	1.61	
DRESSING ROOM	1	24	40	0	6.67	0.62	
MASTER ENSUITE (2ND FLR)	1	24	40	0	6.67	0.62	
W. C. LIV LIVOUITE (ZIVO I LIV)	1	48	56	0	18.67	1.73	
TOTAL	39	ı	-	-	411.55	38.23	
WALL AREA	-	-	-	-	4370.55	406.04	
RATIO		-	-	-	9.42	9.42	

### ELEVATION A OPTGRND FLR (5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

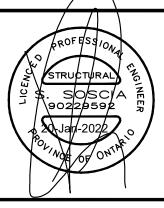
DOOF		ALLS RATIO		PERIPHERAL II ART. 3.1.1.2(1		
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
DACEMENT	4	30	16	0	13.33	1.24
BASEMENT	2	30	24	0	10.00	0.93
FOYER	1	62	8	0	3.44	0.32
FUTER	2	23	55	0	17.57	1.63
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
PAIVILT ROOM	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM (2ND FLR)	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	2	24	56	0	18.67	1.73
DEDROOM NO.3	1	36	56	0	14.00	1.30
W.I.CL.	1	24	56	0	9.33	0.87
	1	0	0	5.43	5.43	0.50
BEDROOM NO.4	2	14	76	0	14.78	1.37
	1	24	72	0	12.00	1.11
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE (2ND FLR)	1	24	40	0	6.67	0.62
WING LETT ENGOTTE (ZIND I EIT)	1	48	56	0	18.67	1.73
TOTAL	39		-		411.55	38.23
WALL AREA	-	-	-	-	4370.55	406.04
	г —	_				



9.42

MODEL 40-6 ISABELLA

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				I١
3.	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS	\
2.	NOV. Ø5/21	199UED FOR BUILDING PERMIT	MS	
1.	OCT.Ø5/21	186UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	
No:	DATE:	REVISION/ISSUED:	BY:	



ONTARIO
ASSOCIATION
OF ARCHITECTS

LICENSED TECHNOLOGIST
OAA
MICHELE SURIANO
LICENCE
6253

SURIANO.

ARCHITECTURAL DESIGN

RATIO

SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-A						
DATE PLOTTED:	DRAWN BY:	AREA:				
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.				
		•				
DATE:	TYPE:	PAGE No:	P			
OCT. 23/2Ø						
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SCALE:	PROJECT No:	Ø4	М			
3/16"=1'-0"	20-108		l۰			

ROYAL PINE HOMES

PROJECT NAME:

9.42

### ELEVATION A STANDARD (4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) **ELEVATION A** WINDOW / DOOR WINDOW / DOOR QUANTITY | WIDTH(IN.) | HEIGHT(IN.) | ARCH AREA ROOM R.S.O. (SQ.FT.) R.S.O. (SQ.M.) 16.67 1.55 5 30 16 0 BASEMENT 32 0.41 20 0 4.44 62 0 3.44 0.32 FOYER 17.57 23 55 1.63 0 PDWR. 40 0.62 24 0 6.67 DINING & LIVING ROOM 1.73 48 56 0 18.67 KITCHEN 36 48 0 12.00 1.11 **BREAKFAST** 76 96 50.67 4.71 0 2 24 68 0 22.67 2.11 FAMILY ROOM 2 32 24 0 10.67 0.99 DEN 56 18.67 1.73 1 48 0 MUD RM OPT.LAUNDRY 1 24 40 0 6.67 0.62 MASTER BEDROOM 2 48 56 0 37.33 3.47 BEDROOM NO.2 1.73 48 56 0 18.67 SHARED BATH 24 40 0 6.67 0.62 2 24 56 0 18.67 1.73 BEDROOM NO.3 1.30 36 56 0 14.00 MAIN LAUNDRY.RM 0.87 24 56 0 9.33 0 5.43 5.43 0.50 0 UPPER DEN 2 14 76 0 14.78 1.37 24 72 0 12.00 1.11 O.T.B. STAIRS 36 68 0 17.00 1.58 SHARED BATH 24 40 0 6.67 0.62 BEDROOM NO.4 2 17.33 1.61 24 52 0 DRESSING ROOM 6.67 24 40 0 0.62 24 40 6.67 0.62 0 MASTER ENSUITE 18.67 48 0 1.73 56 TOTAL 38 398.67 37.04 -

### ELEVATION A STANDARD (5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED  WALLS RATIOO.B.C. SB-12 ART. 3.1.1.2(1)  ELEVATION A								
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)		
DACEMENT	5	30	16	0	16.67	1.55		
BASEMENT	1	20	32	0	4.44	0.41		
FOYER	1	62	8	0	3.44	0.32		
FUTER	2	23	55	0	17.57	1.63		
PDWR.	1	24	40	0	6.67	0.62		
DINING & LIVING ROOM	1	48	56	0	18.67	1.73		
KITCHEN	1	36	48	0	12.00	1.11		
BREAKFAST	1	76	96	0	50.67	4.71		
FAMILY DOOM	2	24	68	0	22.67	2.11		
FAMILY ROOM	2	24	32	0	10.67	0.99		
DEN	1	48	56	0	18.67	1.73		
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62		
MASTER BEDROOM	2	48	56	0	37.33	3.47		
BEDROOM NO.2	1	48	56	0	18.67	1.73		
SHARED BATH	1	24	40	0	6.67	0.62		
BEDROOM NO.3	2	24	56	0	18.67	1.73		
BEDROOM NO.3	1	36	56	0	14.00	1.30		
W.I.CL.	1	24	56	0	9.33	0.87		
	1	0	0	5.43	5.43	0.50		
BEDROOM NO.4	2	14	76	0	14.78	1.37		
	1	24	72	0	12.00	1.11		
O.T.B. STAIRS	1	36	68	0	17.00	1.58		
SHARED BATH	1	24	40	0	6.67	0.62		
BEDROOM NO.5	2	24	52	0	17.33	1.61		
DRESSING ROOM	1	24	40	0	6.67	0.62		
MASTER ENSUITE	1	24	40	0	6.67	0.62		
IVIAGTER ENGUITE	1	48	56	0	18.67	1.73		
TOTAL	38	-	-	-	398.67	37.04		
WALL AREA	-	-	-	-	4317.65	401.12		
RATIO	<u>-</u>	-	_	<u>-</u>	9.23	9.23		

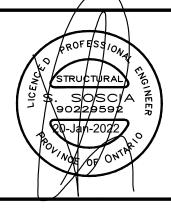


MODEL 40-6 ISABELLA

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з.	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS	
2.	NOV. Ø5/21	188UED FOR BUILDING PERMIT	MS	
1.	OCT.Ø5/21	199UED TO STRUCT, ENG. /HYAC FOR REVIEW AND COMMENTS	MS	
No:	DATE:	REVISION/ISSUED:	BY:	

WALL AREA

RATIO



4317.65

9.23

401.12

9.23



SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME:								
INSULATE	INSULATED WALL & WINDOW							
	AREA CALCI	·						
OI LIMINGO								
DATE PLOTTED:	DRAWN BY:	AREA:						
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.						
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DATE:	TYPE:	PAGE No:	PI					
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SCALE:	PROJECT No:	<i>Ø</i> 5	М					
3/16"=1'-0"	20-108							

ROYAL PINE HOMES

PROJECT NAME:

DEL NAME:

#### ELEVATION A OPTGRND FLR (4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO-O.B.C. SB-12 ART. 3.1.1.2(1) **ELEVATION A** QUAN WIDTH(IN.) HEIGHT(IN.) ARCH AREA | WINDOW / DOOR | WINDOW / DOOR ROOM R.S.O. (SQ.M.) R.S.O. (SQ.FT.) TITY 5 16.67 1.55 30 16 0 **BASEMENT** 1 20 32 0 4.44 0.41 1 3.44 0.32 62 8 0 **FOYER** 2 17.57 23 55 0 1.63 PDWR. 1 24 40 0 6.67 0.62 DINING & LIVING ROOM 2 36 56 0 28.00 2.60 2 24 32 0 10.67 0.99 FAMILY ROOM 2 24 68 0 22.67 2.11 BREAKFAST 1 76 0 50.67 4.71 96 KITCHEN 1 48 12.00 1.11 36 0 MASTER BEDROOM (GRND) 1 1.73 48 56 0 18.67 MASTER ENSUITE (GRND) 0.74 24 48 8.00 MASTER BEDROOM (2ND FLR) 2 48 37.33 3.47 56 0 BEDROOM NO.2 1.73 48 56 0 18.67 SHARED BATH 1 24 40 0 6.67 0.62 2 24 56 18.67 1.73 0 BEDROOM NO.3 1 36 56 14.00 1.30 0 MAIN LAUNDRY.RM 24 56 9.33 0.87 1 5.43 5.43 0.50 0 UPPER DEN 2 14 76 0 14.78 1.37 1 72 12.00 24 0 1.11 O.T.B. STAIRS 36 68 17.00 1 0 1.58 SHARED BATH 24 40 0 6.67 0.62 BEDROOM NO.4 2 24 52 0 17.33 1.61 DRESSING ROOM 24 40 0 6.67 0.62 24 40 0 6.67 0.62 MASTER ENSUITE (2ND FLR) 48 56 0 18.67 1.73 39 TOTAL 409.33 38.03 WALL AREA 4317.65 401.12

### ELEVATION A OPTGRND FLR (5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

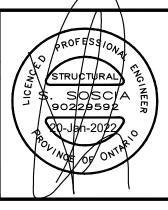
DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO-O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A								
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)		
DACEMENT	5	30	16	0	16.67	1.55		
BASEMENT	1	20	32	0	4.44	0.41		
FOYER	1	62	8	0	3.44	0.32		
FUTER	2	23	55	0	17.57	1.63		
PDWR.	1	24	40	0	6.67	0.62		
DINING & LIVING ROOM	2	36	56	0	28.00	2.60		
FAMILY ROOM	2	24	32	0	10.67	0.99		
FAMILT ROOM	2	24	68	0	22.67	2.11		
BREAKFAST	1	76	96	0	50.67	4.71		
KITCHEN	1	36	48	0	12.00	1.11		
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73		
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74		
MASTER BEDROOM (2ND FLR)	2	48	56	0	37.33	3.47		
BEDROOM NO.2	1	48	56	0	18.67	1.73		
SHARED BATH	1	24	40	0	6.67	0.62		
DEDDOOM NO 2	2	24	56	0	18.67	1.73		
BEDROOM NO.3	1	36	56	0	14.00	1.30		
W.I.CL.	1	24	56	0	9.33	0.87		
	1	0	0	5.43	5.43	0.50		
BEDROOM NO.4	2	14	76	0	14.78	1.37		
	1	24	72	0	12.00	1.11		
O.T.B. STAIRS	1	36	68	0	17.00	1.58		
SHARED BATH	1	24	40	0	6.67	0.62		
BEDROOM NO.5	2	24	52	0	17.33	1.61		
DRESSING ROOM	1	24	40	0	6.67	0.62		
MASTER ENSUITE (2ND FLR)	1	24	40	0	6.67	0.62		
WASTER LINSUITE (ZIND PLK)	1	48	56	0	18.67	1.73		
TOTAL	39	-	-	-	409.33	38.03		
WALL AREA	-	-	-	-	4317.65	401.12		
RATIO	_	-	-	-	9.48	9.48		



MODEL 40-6 ISABELLA

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3.	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS	\
2.	NOV. Ø5/21	ISSUED FOR BUILDING PERMIT	MS	
1.	OCTØ5/21	ISSUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	
No:	DATE:	REVISION/ISSUED:	BY:	

**RATIO** 



9.48

9.48



### SURIANO. ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

	D WALL & AREA CALCI		ROYAL PINE
ATE PLOTTED:	DRAWN BY:	AREA:	
DEC. Ø8/21	M.H./J.LAM	3438 sq.ft.	HOMES
ATE:	TYPE:	PAGE No:	PROJECT NAME:
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CALE:	PROJECT No:		MODEL NAME:
3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA

### ELEVATION B STANDARD (4 BEDROOMS OPT.)

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) **ELEVATION A**

LLEVATIONA								
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)		
BASEMENT	6	30	16	0	20.00	1.86		
FOYER	1	68	8	0	3.78	0.35		
TOTER	2	14	80	0	15.56	1.45		
PDWR.	1	24	40	0	6.67	0.62		
DINING & LIVING ROOM	1	48	56	0	18.67	1.73		
KITCHEN	1	36	48	0	12.00	1.11		
BREAKFAST	1	76	96	0	50.67	4.71		
FAMILY ROOM	2	24	68	0	22.67	2.11		
TAMILITACOM	2	24	32	0	10.67	0.99		
DEN	1	48	56	0	18.67	1.73		
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62		
MASTER BEDROOM	2	48	56	0	37.33	3.47		
BEDROOM NO.2	1	48	56	0	18.67	1.73		
SHARED BATH	1	24	40	0	6.67	0.62		
BEDROOM NO.3	1	72	74	0	37.00	3.44		
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42		
UPPER DEN	2	24	72	0	24.00	2.23		
OFFLIX DLIN	1	64	8	0	3.56	0.33		
O.T.B. STAIRS	1	36	68	0	17.00	1.58		
SHARED BATH	1	24	40	0	6.67	0.62		
BEDROOM NO.4	2	24	52	0	17.33	1.61		
DRESSING ROOM	1	24	40	0	6.67	0.62		
MASTER ENSUITE	1	24	40	0	6.67	0.62		
WASTER ENSOTTE	1	48	56	0	18.67	1.73		
TOTAL	35	-	-	-	401.56	37.31		
WALL AREA	-	-	-	-	4269.06	396.61		
RATIO		-	-	-	9.41	9.41		

### ELEVATION B STANDARD (5 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIOO.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A							
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)	
BASEMENT	6	30	16	0	20.00	1.86	
FOVED	1	68	8	0	3.78	0.35	
FOYER	2	14	80	0	15.56	1.45	
PDWR.	1	24	40	0	6.67	0.62	
DINING & LIVING ROOM	1	48	56	0	18.67	1.73	
KITCHEN	1	36	48	0	12.00	1.11	
BREAKFAST	1	76	96	0	50.67	4.71	
FAMILY ROOM	2	24	68	0	22.67	2.11	
PAIVILT ROOM	2	24	32	0	10.67	0.99	
DEN	1	48	56	0	18.67	1.73	
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62	
MASTER BEDROOM	2	48	56	0	37.33	3.47	
BEDROOM NO.2	1	48	56	0	18.67	1.73	
SHARED BATH	1	24	40	0	6.67	0.62	
BEDROOM NO.3	1	72	74	0	37.00	3.44	
W.I.CL.	1	24	92	0	15.33	1.42	
BEDROOM NO.4	2	24	72	0	24.00	2.23	
BEDROOM NO.4	1	64	8	0	3.56	0.33	
O.T.B. STAIRS	1	36	68	0	17.00	1.58	
SHARED BATH	1	24	40	0	6.67	0.62	
BEDROOM NO.5	2	24	52	0	17.33	1.61	
DRESSING ROOM	1	24	40	0	6.67	0.62	
MASTER ENSUITE	1	24	40	0	6.67	0.62	
WAOTEN ENOUTE	1	48	56	0	18.67	1.73	
TOTAL	35	-	-	-	401.56	37.31	
WALL AREA	-	-	-	-	4269.06	396.61	



9.41

MODEL 40-6 ISABELLA

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3.	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS	
2.	NOV. Ø5/21	ISSUED FOR BUILDING PERMIT	MS	
I.	OCTØ5/21	199UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	
No:	DATE:	REVISION/ISSUED:	BY:	





SURIANO. ARCHITECTURAL DESIGN SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

RATIO

SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-B						
DATE PLOTTED:	DRAWN BY:	AREA:	l			
DEC. Ø8/21	M.H./J.LAM	3438 sq.ft.				
DATE:	TYPE:	PAGE No:	r			
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SCALE:	PROJECT No:		Г			
3/16"=1'-0"	20-108		h			

ROYAL PINE HOMES

PROJECT NAME:

### ELEVATION B OPTGRND FLR (4 BEDROOMS OPT.)

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) FI EVATION A

		E	ELEVAT <b>I</b> ON A			
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
TOTER	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
1 AMILT ROOM	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42
UPPER DEN	2	24	72	0	24.00	2.23
OIT LIV DLIV	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
WWW.OTEN ENOUTE	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	412.22	38.30
WALL AREA	-	-	-	-	4269.06	396.61
RATIO	-	-	-	-	9.66	9.66

### ELEVATION B OPTGRND FLR (5 BEDROOMS OPT.)

DOO		ALLS RATIO		PERIPHERAL II ART. 3.1.1.2(1		
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOVED	1	68	8	0	3.78	0.35
FOYER	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.CL.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
	1 4		10		0.07	0.00

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18.67

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4269.06

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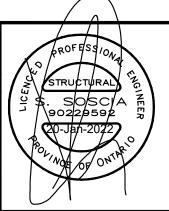
1.73

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396.61

MODEL 40-6 ISABELLA

3.	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. Ø5/21	199UED FOR BUILDING PERMIT	MS
I.	OCT.Ø5/21	199UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



ONTARIO ASSOCIATION OF ARCHITECTS LICENSED TECHNOLOGIST MICHELE SURIANO LICENCE 6253

SURIANO. ARCHITECTURAL DESIGN

MASTER ENSUITE

TOTAL

RATIO

WALL AREA

SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

	D WALL & AREA CALCI		
DATE PLOTTED:	DRAWN BY:	AREA:	
DEC. Ø8/21	M.H./J.LAM	3438 sq.ft.	
DATE:	TYPE:	PAGE No:	PR
OCT. 23/2Ø			
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SCALE:	PROJECT No:	<b>V</b> 2	МО
3/16"=1'-Ø"	20-108		▶

ROYAL PINE HOMES

PROJECT NAME:

### ELEVATION B STANDARD (4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) FI EVATION A

		E	ELEVATION A			
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
DASEIVIENT	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
TOTER	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
PAIVILT ROOM	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42
UPPER DEN	2	24	72	0	24.00	2.23
	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
WASTER ENSUITE	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	404.89	37.62
WALL AREA	-	-	-	-	4410.87	409.78
RATIO	-	-	-	-	9.18	9.18

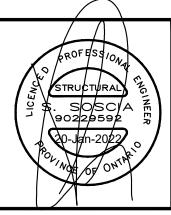
### ELEVATION B STANDARD (5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

			ELEVATION A			
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
DASEIVIEINI	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
FUTER	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
EAMILY DOOM	2	24	68	0	22.67	2.11
FAMILY ROOM	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.CL.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
BEDROOM NO.4	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
WIAGTER ENGUITE	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	404.89	37.62
WALL AREA	-	-	-	-	4410.87	409.78
RATIO	-	-	-	-	9.18	9.18



MODEL 40-6 ISABELLA

3.	DEC . Ø8/21	RE-199UED FOR BUILDING PERMIT	MS
2.	NOV. Ø5/21	188UED FOR BUILDING PERMIT	MS
1.	OCTØ5/21	186UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:





SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L44, 8P9
T. 905-264-0924

ROYAL PINE HOMES

PROJECT NAME:

#### ELEVATION B OPTGRND FLR (4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1)

		E	ELEVATION A			
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
DASEIVIENT	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
FUTER	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
FAMILY ROOM	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
MAIN LAUNDRY.RM	1	24	92	0	15.33	1.42
LIDDED DEN	2	24	72	0	24.00	2.23
UPPER DEN	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MACTED ENGLITE	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	415.56	38.61
WALL AREA	-	-	-	-	4410.87	409.78
RATIO	-		-	-	9.42	9.42

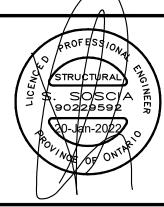
#### ELEVATION B OPTGRND FLR (5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOO		ALLS RATIO-		PERIPHERAL II ART. 3.1.1.2(1		
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
DASEMENT	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
FUTER	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
PAIVILT ROOM	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.CL.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
BEDROOM NO.4	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MACTED ENGLUTE	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	415.56	38.61
WALL AREA	-	-	-	-	4410.87	409.78
RATIO	-	-	-	-	9.42	9.42



MODEL 40-6 ISABELLA

3.	DEC . 08/21	RE-189UED FOR BUILDING PERMIT	MS	\
2.	NOV. Ø5/21	199UED FOR BUILDING PERMIT	Ms	
I.	OCT.Ø5/21	ISSUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	
No:	DATE:	REVISION/ISSUED:	BY:	





SURIANO. ARCHITECTURAL DESIGN SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-B DATE PLOTTED: DEC. Ø8/21 M.H./J.L.AM 3438 sq.ft. PAGE No: DATE: TYPE: OCT. 23/20 Ø4 PROJECT No: SCALE:

20-108

3/16"=1'-0"

ROYAL PINE HOMES PROJECT NAME:

#### ELEVATION B STANDARD (4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) **ELEVATION A** | WINDOW / DOOR | WINDOW / DOOR QUANTITY | WIDTH(IN.) | HEIGHT(IN.) | ARCH AREA ROOM R.S.O. (SQ.FT.) R.S.O. (SQ.M.) 16.67 1.55 5 30 16 0 BASEMENT 32 0.41 20 0 4.44 68 3.78 0.35 8 0 **FOYER** 2 80 15.56 1.45 14 0 PDWR. 24 40 6.67 0.62 0 DINING & LIVING ROOM 48 56 0 18.67 1.73 KITCHEN 48 1.11 36 0 12.00 BREAKFAST 76 4.71 96 0 50.67 2 24 68 2.11 0 22.67 FAMILY ROOM 32 2 24 0 10.67 0.99 DEN 56 1.73 48 0 18.67 MUD RM OPT.LAUNDRY 24 40 0 6.67 0.62 MASTER BEDROOM 2 48 56 0 37.33 3.47 BEDROOM NO.2 48 56 0 18.67 1.73 SHARED BATH 24 40 0 6.67 0.62 BEDROOM NO.3 72 74 0 37.00 3.44 MAIN LAUNDRY.RM 24 92 0 15.33 1.42 2 24 72 24.00 2.23 0 **UPPER DEN** 64 8 0 3.56 0.33 O.T.B. STAIRS 36 68 17.00 1.58 1 0 SHARED BATH 1 24 40 0 6.67 0.62 BEDROOM NO.4 2 17.33 24 52 0 1.61 DRESSING ROOM 24 40 6.67 0.62 0 24 40 0 6.67 0.62 MASTER ENSUITE 1 48 18.67 1.73 56 0 35 TOTAL 402.67 37.41 --WALL AREA 4357.97 404.87

#### ELEVATION B STANDARD (5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

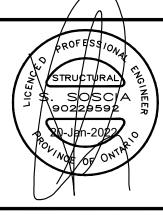
		ALLS RATIO-		ERIPHERAL IN ART. 3.1.1.2(1		
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
DASEMENT	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
FUTER	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
FAMILT ROOM	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.CL.	1	24	92	0	15.33	1.42
DEDDOOM NO 4	2	24	72	0	24.00	2.23
BEDROOM NO.4	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MACTED ENGLUTE	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	402.67	37.41
WALL AREA	-	-	-	-	4357.97	404.87
RATIO	-	-	_	-	9.24	9.24



MODEL 40-6 ISABELLA

3.	DEC . Ø8/21	RE-166UED FOR BUILDING PERMIT	MS	
2.	NOV. Ø5/21	199UED FOR BUILDING PERMIT	MS	
1.	OCT.Ø5/21	198UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	
No:	DATE:	REVISION/ISSUED:	BY:	

RATIO



9.24

9.24



SURIANO. ARCHITECTURAL DESIGN SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

SHEET NAME:		
INSULATE	D WALL #	IIINDOIII
	AREA CALCI	
OF ENINGS A	ANEA CALC	ALA HONO-L
DATE PLOTTED:	DRAWN BY:	AREA:
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.
		•
DATE:	TYPE:	PAGE No:
OCT. 23/2Ø		
SCALE:	PROJECT No:	Ø5

20-108

3/16"=1'-0"

ROYAL PINE HOMES PROJECT NAME:

### ELEVATION B OPTGRND FLR (4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) **ELEVATION A** QUAN WIDTH(IN.) HEIGHT(IN.) ARCH AREA | WINDOW / DOOR | WINDOW / DOOR ROOM R.S.O. (SQ.FT.) R.S.O. (SQ.M.) TITY 5 16.67 1.55 30 16 0 BASEMENT 32 0.41 1 20 0 4.44 68 3.78 0.35 8 0 **FOYER** 2 80 15.56 1.45 14 0 PDWR. 24 40 6.67 0.62 0 DINING & LIVING ROOM 2 36 56 0 28.00 2.60 2 32 0.99 24 0 10.67 FAMILY ROOM 2 68 2.11 24 0 22.67 BREAKFAST 76 96 0 50.67 4.71 KITCHEN 36 48 0 12.00 1.11 MASTER BEDROOM (GRND) 56 1.73 48 0 18.67 MASTER ENSUITE (GRND) 0.74 24 48 0 8.00 MASTER BEDROOM 48 56 0 37.33 3.47 BEDROOM NO.2 48 56 0 18.67 1.73 SHARED BATH 24 40 0 6.67 0.62 BEDROOM NO.3 72 74 0 37.00 3.44 MAIN LAUNDRY.RM 24 92 0 15.33 1.42 2 24 72 0 24.00 2.23 UPPER DEN 64 3.56 0.33 O.T.B. STAIRS 36 68 0 17.00 1.58 SHARED BATH 24 40 0 6.67 0.62 BEDROOM NO.4 2 24 52 0 17.33 1.61 DRESSING ROOM 24 40 0 6.67 0.62 24 40 0 6.67 0.62 MASTER ENSUITE 48 56 0 18.67 1.73 TOTAL 36 413.33 38.40 WALL AREA 4357.97 404.87

#### ELEVATION B OPTGRND FLR (5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOO		ALLS RATIO-		ERIPHERAL IN ART. 3.1.1.2(1		
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
DASEMENT	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
TOTER	2	14	80	0	15.56	1.45
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
FAMILY ROOM	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	74	0	37.00	3.44
W.I.CL.	1	24	92	0	15.33	1.42
BEDROOM NO.4	2	24	72	0	24.00	2.23
DEDROOM NO.4	1	64	8	0	3.56	0.33
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
WIAGTER ENGULIE	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	413.33	38.40
WALL AREA	-	-	-	-	4357.97	404.87
RATIO	-	-	-	-	9.48	9.48



MODEL 40-6 ISABELLA

	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS
1.	NOV. Ø5/21  OCT Ø5/21  DATE:	188UED FOR BUILDING PERMIT 188UED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS REVISION/ISSUED:	MS MS BY:



9.48

9.48



SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME:							
INSULATE	INSULATED WALL & WINDOW						
OPENINGS A	AREA CALCI	JLATIONS-E					
DATE PLOTTED:	DRAWN BY:	AREA:					
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.					
		·					
DATE:	TYPE:	PAGE No:					
OCT. 23/20							
		06					
SCALE:	PROJECT No:						
3/16"=1'-Ø"	20-108						

ROYAL PINE HOMES

PROJECT NAME:

DEL NAME:

### ELEVATION C STANDARD (4 BEDROOMS OPT.)

# DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A

	ELEVATIONA					
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
FOTER	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
PAIVILT ROOM	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
DEDICOOM NO.3	1	48	62	5.34	26.01	2.42
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81
UPPER DEN	1	72	52	0	26.00	2.42
OPPER DEN	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
WASTER LINSUITE	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	403.32	37.47
WALL AREA	-	-	-	-	4268.28	396.54
RATIO	-	_	-	-	9.45	9.45

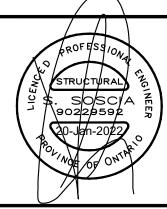
### ELEVATION C STANDARD (5 BEDROOMS OPT.)

		ALLS RATIO		ERIPHERAL II ART. 3.1.1.2(1		
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOVED	1	68	8	0	3.78	0.35
FOYER	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
EANULY BOOM	2	24	68	0	22.67	2.11
FAMILY ROOM	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
DEDDOOM NO 2	1	24	52	0	8.67	0.81
BEDROOM NO.3	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
DEDDOOM NO 4	1	72	52	0	26.00	2.42
BEDROOM NO.4	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MACTED ENGLUTE	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	403.32	37.47
WALL AREA	-	-	-	-	4268.28	396.54
RATIO	_	_	_	_	9.45	9.45



MODEL 40-6 ISABELLA

3.	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. Ø5/21	199UED FOR BUILDING PERMIT	MS
I.	OCT.Ø5/21	ISSUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:





SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L41, 8P9
T. 905-264-0924

	D WALL & AREA CALCI	
DATE PLOTTED:	DRAWN BY:	AREA:
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.
DATE:	TYPE:	PAGE No:
OCT. 23/2Ø		
		Ø1
SCALE:	PROJECT No:	
3/16"=1'-@"	20-108	

ROYAL PINE HOMES

PROJECT NAME:

#### ELEVATION C OPT.GRND FLR (4 BEDROOMS OPT.)

# DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A

	ELEVATION A					
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
TOTER	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
TAWILT NOOW	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
BEDROOM NO.3	1	48	62	5.34	26.01	2.42
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81
UPPER DEN	1	72	52	0	26.00	2.42
OFFER DEN	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
WASTER ENSOITE	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	413.99	38.46
WALL AREA	-	-	-	-	4268.28	396.54
RATIO	-	-	-	-	9.70	9.70

### ELEVATION C OPT.GRND FLR (5 BEDROOMS OPT.)

# DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A

ELLYAHONA						
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	6	30	16	0	20.00	1.86
FOYER	1	68	8	0	3.78	0.35
FUTER	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
PAWILT ROOM	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
BEDROOM NO.3	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
BEDROOM NO.4	1	72	52	0	26.00	2.42
DEDROOM NO.4	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
WAOTEN ENOUTE	1	48	56	0	18.67	1.73
TOTAL	36	ı	-	-	413.99	38.46
WALL AREA	-	-	-	-	4268.28	396.54
RATIO	-	-	-	-	9.70	9.70

W Architect Inc.

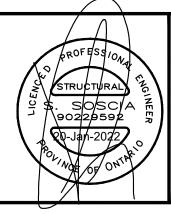
DESIGN CONTROL REVIEW
JANUARY 21, 2022

FINAL
RECERT BY: GGE

This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-6 ISABELLA

3.	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. Ø5/21	199UED FOR BUILDING PERMIT	MS
١.	OCT.Ø5/21	ISSUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:





SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-C					
DATE PLOTTED:	DRAWN BY:	AREA:			
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.			
		•			
DATE:	TYPE:	PAGE No:			
OCT. 23/2Ø					
		Ø2			
SCALE:	PROJECT No:				
3/16"=1'-0"	20-108				

ROYAL PINE HOMES

PROJECT NAME:

MODEL NAME:

### ELEVATION C STANDARD (4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) **ELEVATION A**

ELEVATION A							
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)	
BASEMENT	4	30	16	0	13.33	1.24	
DAGLIVILINI	2	30	24	0	10.00	0.93	
FOYER	1	68	8	0	3.78	0.35	
TOTER	2	26	55	0	19.86	1.85	
PDWR.	1	24	40	0	6.67	0.62	
DINING & LIVING ROOM	1	48	56	0	18.67	1.73	
KITCHEN	1	36	48	0	12.00	1.11	
BREAKFAST	1	76	96	0	50.67	4.71	
FAMILY ROOM	2	24	68	0	22.67	2.11	
TAMILT ROOM	2	24	32	0	10.67	0.99	
DEN	1	48	56	0	18.67	1.73	
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62	
MASTER BEDROOM	2	48	56	0	37.33	3.47	
BEDROOM NO.2	1	48	56	0	18.67	1.73	
SHARED BATH	1	24	40	0	6.67	0.62	
BEDROOM NO.3	1	24	52	0	8.67	0.81	
BEDROOM NO.3	1	48	62	5.34	26.01	2.42	
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81	
UPPER DEN	1	72	52	0	26.00	2.42	
OIT EN DEN	1	0	0	8.01	8.01	0.74	
O.T.B. STAIRS	1	36	68	0	17.00	1.58	
SHARED BATH	1	24	40	0	6.67	0.62	
BEDROOM NO.4	2	24	52	0	17.33	1.61	
DRESSING ROOM	1	24	40	0	6.67	0.62	
MASTER ENSUITE	1	24	40	0	6.67	0.62	
WAGTER ENOUTE	1	48	56	0	18.67	1.73	
TOTAL	35	-	-	-	406.66	37.78	
WALL AREA	•	-	-	-	4410.09	409.71	
RATIO	-	-	-	-	9.22	9.22	

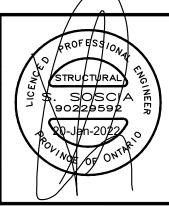
### ELEVATION C STANDARD (5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIOO.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A							
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)	
DACEMENT	4	30	16	0	13.33	1.24	
BASEMENT	2	30	24	0	10.00	0.93	
FOYER	1	68	8	0	3.78	0.35	
FUTER	2	26	55	0	19.86	1.85	
PDWR.	1	24	40	0	6.67	0.62	
DINING & LIVING ROOM	1	48	56	0	18.67	1.73	
KITCHEN	1	36	48	0	12.00	1.11	
BREAKFAST	1	76	96	0	50.67	4.71	
FAMILY ROOM	2	24	68	0	22.67	2.11	
PAIVILT ROOM	2	24	32	0	10.67	0.99	
DEN	1	48	56	0	18.67	1.73	
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62	
MASTER BEDROOM	2	48	56	0	37.33	3.47	
BEDROOM NO.2	1	48	56	0	18.67	1.73	
SHARED BATH	1	24	40	0	6.67	0.62	
DEDDOOM NO 2	1	24	52	0	8.67	0.81	
BEDROOM NO.3	1	48	62	5.34	26.01	2.42	
W.I.CL.	1	24	52	0	8.67	0.81	
DEDDOOM NO 4	1	72	52	0	26.00	2.42	
BEDROOM NO.4	1	0	0	8.01	8.01	0.74	
O.T.B. STAIRS	1	36	68	0	17.00	1.58	
SHARED BATH	1	24	40	0	6.67	0.62	
BEDROOM NO.5	2	24	52	0	17.33	1.61	
DRESSING ROOM	1	24	40	0	6.67	0.62	
MASTER ENSUITE	1	24	40	0	6.67	0.62	
THOORIER ENOUTE	1	48	56	0	18.67	1.73	
TOTAL	35	-	-	-	406.66	37.78	
WALL AREA	-	-	-	-	4410.09	409.71	
RATIO	-	-	-	-	9.22	9.22	



MODEL 40-6 ISABELLA

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				l /
				1 (
3.	DEC . Ø8/21	RE-199UED FOR BUILDING PERMIT	MS	
2.	NOV. Ø5/21	199UED FOR BUILDING PERMIT	MS	
I.	OCT.Ø5/21	188UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	
No:	DATE:	REVISION/ISSUED:	BY:	





SURIANO. SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-C							
DATE PLOTTED:	DRAWN BY:	AREA:					
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.					
		'					
DATE:	TYPE:	PAGE No:					
OCT. 23/2Ø							
		<i>Ø</i> 3					
SCALE:	PROJECT No:						
3/16"=1'-0"	20-108						

ROYAL PINE HOMES

PROJECT NAME:

#### ELEVATION C OPTGRND FLR (4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

## DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A

		ŀ	ELEVATION A			
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
DASEMENT	4	30	16	0	13.33	1.24
BASEMENT	2	30	24	0	10.00	0.93
FOYER	1	68	8	0	3.78	0.35
TOTEN	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
1 AMILT ROOM	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
DEDITOON NO.3	1	48	62	5.34	26.01	2.42
MAIN LAUNDRY.RM	1	24	52	0	8.67	0.81
UPPER DEN	1	72	52	0	26.00	2.42
OIT EIN DEIN	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.4	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
WAOTEN ENOUTE	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	417.32	38.77
WALL AREA	-		-	-	4410.09	409.71
RATIO	-	-	-	-	9.46	9.46

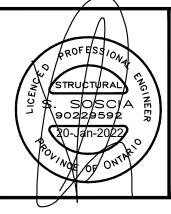
### ELEVATION C OPTGRND FLR (5 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOO		ALLS RATIO-		ERIPHERAL II ART. 3.1.1.2(1		
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
DACEMENT	4	30	16	0	13.33	1.24
BASEMENT	2	30	24	0	10.00	0.93
FOVED	1	68	8	0	3.78	0.35
FOYER	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
FAMILT ROOM	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
DEDDOOM NO 3	1	24	52	0	8.67	0.81
BEDROOM NO.3	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
DEDDOOM NO 4	1	72	52	0	26.00	2.42
BEDROOM NO.4	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MA OTED ENOUGE	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	417.32	38.77
WALL AREA	-	-	-	-	4410.09	409.71
RATIO	-	-	-	-	9.46	9.46



MODEL 40-6 ISABELLA

3.	DEC . Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. Ø5/21	198UED FOR BUILDING PERMIT	MS
1.	OCT.Ø5/21	198UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:





SURIANO.

ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-C							
DATE PLOTTED:	DRAWN BY:	AREA:					
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.					
		,					
DATE:	TYPE:	PAGE No:					
OCT. 23/20							
SCALE:	PROJECT No:	Ø4					
3/16"=1'-0"	20-108						

ROYAL PINE HOMES

PROJECT NAME:

MODEL NAME:

#### ELEVATION C STANDARD (4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) **ELEVATION A** | WINDOW / DOOR | WINDOW / DOOR QUANTITY | WIDTH(IN.) | HEIGHT(IN.) | ARCH AREA ROOM R.S.O. (SQ.FT.) R.S.O. (SQ.M.) 16.67 1.55 5 30 0 BASEMENT 32 0.41 20 4.44 0 68 0.35 8 0 3.78 **FOYER** 2 26 55 1.85 0 19.86 PDWR. 24 40 0.62 0 6.67 DINING & LIVING ROOM 48 56 0 18.67 1.73 KITCHEN 48 1.11 36 0 12.00 BREAKFAST 76 96 0 50.67 4.71 2.11 2 24 68 0 22.67 FAMILY ROOM 2 24 32 0 10.67 0.99 DEN 1.73 48 56 0 18.67 MUD RM OPT.LAUNDRY 40 0.62 24 0 6.67 MASTER BEDROOM 48 56 37.33 3.47 2 0 BEDROOM NO.2 48 56 0 18.67 1.73 SHARED BATH 24 40 0 6.67 0.62 24 52 0 8.67 0.81 BEDROOM NO.3 1 48 62 5.34 26.01 2.42 MAIN LAUNDRY.RM 24 52 0 8.67 0.81 52 72 0 26.00 2.42 UPPER DEN 1 8.01 8.01 0.74 0 0 O.T.B. STAIRS 1 36 68 0 17.00 1.58 SHARED BATH 24 40 6.67 0.62 0 BEDROOM NO.4 2 24 52 17.33 0 1.61 DRESSING ROOM 24 40 0 6.67 0.62 0.62 24 40 0 6.67 MASTER ENSUITE 48 18.67 1.73 56 0 35 TOTAL 37.57 -404.43 WALL AREA 4357.19 404.80 RATIO

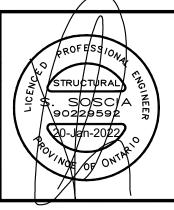
#### ELEVATION C STANDARD (5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

		ALLS RATIO		ERIPHERAL II ART. 3.1.1.2(1		
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
DACEMENT	5	30	16	0	16.67	1.55
BASEMENT	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
TOTEN	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	1	48	56	0	18.67	1.73
KITCHEN	1	36	48	0	12.00	1.11
BREAKFAST	1	76	96	0	50.67	4.71
FAMILY ROOM	2	24	68	0	22.67	2.11
TAMILT ROOM	2	24	32	0	10.67	0.99
DEN	1	48	56	0	18.67	1.73
MUD RM OPT.LAUNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
BEDROOM NO.3	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
BEDROOM NO.4	1	72	52	0	26.00	2.42
BEDROOM NO.4	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
W// OTEN LINGUITE	1	48	56	0	18.67	1.73
TOTAL	35	-	-	-	404.43	37.57
WALL AREA	-	-	-		4357.19	404.80
RATIO	-	-	-	-	9.28	9.28



MODEL 40-6 ISABELLA

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	DEC . Ø8/21 NOV. Ø5/21	RE-199UED FOR BUILDING PERMIT 199UED FOR BUILDING PERMIT	MS MS	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
I.	OCTØ5/21	199UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	
No:	DATE:	REVISION/ISSUED:	BY:	



9.28

9.28



SURIANO. SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-C							
O1 E1111100 /							
DATE PLOTTED:	DRAWN BY:	AREA:					
DEC. Ø8/21	M.H./J.L.AM	3438 sq.ft.					
		•					
DATE:	TYPE:	PAGE No:	F				
OCT. 23/2Ø							
		<b> </b>					
SCALE:	PROJECT No:	Ø5	м				
3/16"=1'-0"	20-108						

ROYAL PINE HOMES PROJECT NAME:

### ELEVATION C OPTGRND FLR (4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

#### DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) **ELEVATION A** | WINDOW / DOOR | WINDOW / DOOR QUAN WIDTH(IN.) HEIGHT(IN.) ARCH AREA ROOM R.S.O. (SQ.FT.) R.S.O. (SQ.M.) TITY 5 16.67 1.55 30 16 0 BASEMENT 32 0.41 20 0 4.44 68 3.78 0.35 8 0 **FOYER** 2 26 55 19.86 1.85 0 PDWR. 24 40 6.67 0.62 0 DINING & LIVING ROOM 2 36 56 0 28.00 2.60 2 24 32 10.67 0.99 0 FAMILY ROOM 2 68 2.11 24 0 22.67 BREAKFAST 4.71 76 96 0 50.67 KITCHEN 1.11 36 48 0 12.00 MASTER BEDROOM (GRND) 56 18.67 1.73 48 0 MASTER ENSUITE (GRND) 0.74 24 48 0 8.00 MASTER BEDROOM 48 56 0 37.33 3.47 BEDROOM NO.2 48 56 0 18.67 1.73 SHARED BATH 24 40 0 6.67 0.62 24 52 0 8.67 0.81 BEDROOM NO.3 48 62 5.34 26.01 2.42 MAIN LAUNDRY.RM 24 52 0 8.67 0.81 72 52 0 26.00 2.42 UPPER DEN 0 0 8.01 8.01 0.74 O.T.B. STAIRS 36 68 0 17.00 1.58 SHARED BATH 24 40 0 6.67 0.62 BEDROOM NO.4 2 24 52 0 17.33 1.61 DRESSING ROOM 24 40 0 6.67 0.62 24 40 0 6.67 0.62 MASTER ENSUITE 48 56 0 18.67 1.73 TOTAL 36 415.10 38.56 WALL AREA 4357.19 404.80

RATIO

### ELEVATION C OPTGRND FLR (5 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

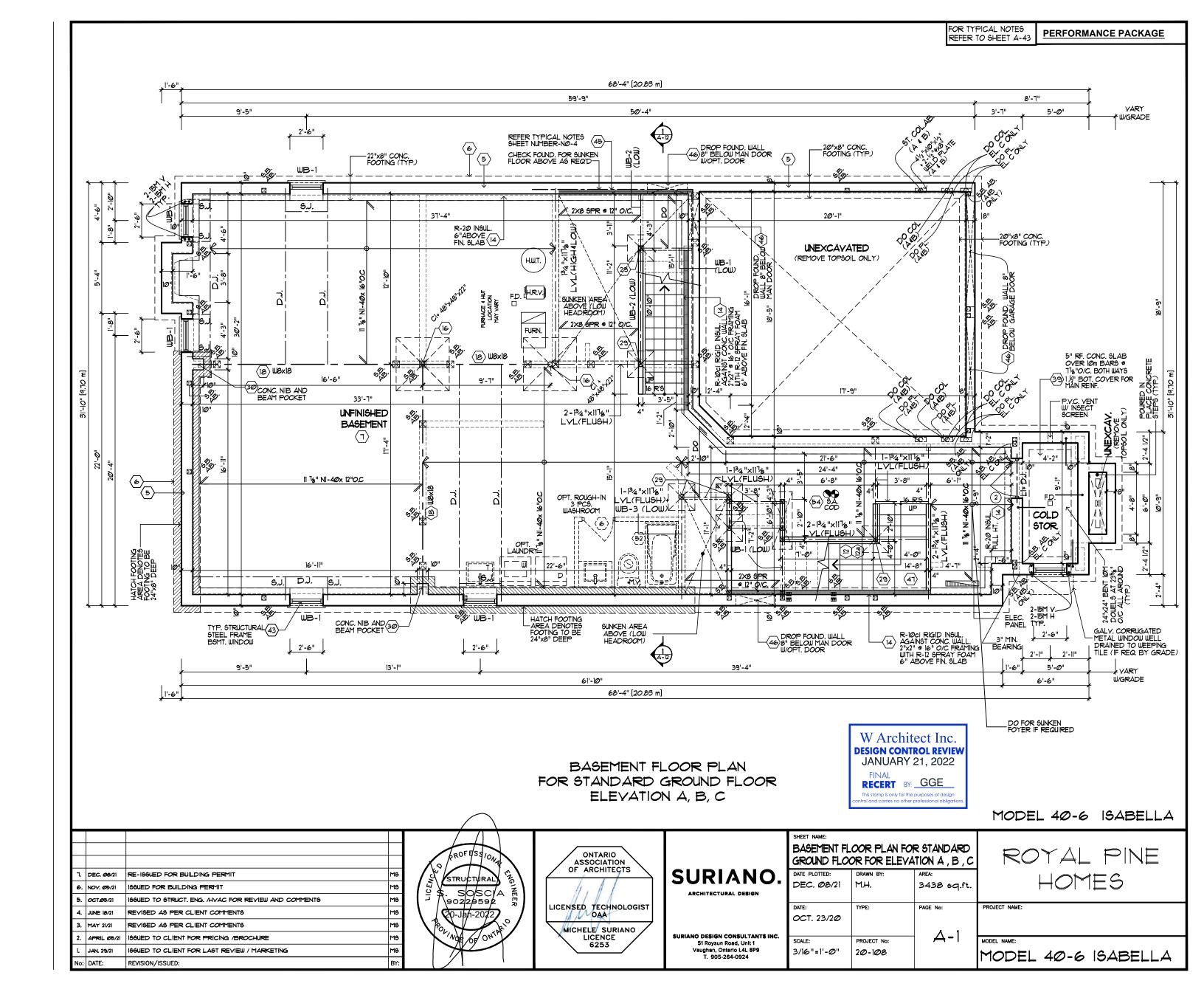
DOO		ALLS RATIO		ERIPHERAL IN ART. 3.1.1.2(1		
ROOM	QUAN TITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
DAGEIVIENT	1	20	32	0	4.44	0.41
FOYER	1	68	8	0	3.78	0.35
TOTER	2	26	55	0	19.86	1.85
PDWR.	1	24	40	0	6.67	0.62
DINING & LIVING ROOM	2	36	56	0	28.00	2.60
FAMILY ROOM	2	24	32	0	10.67	0.99
TAMILT ROOM	2	24	68	0	22.67	2.11
BREAKFAST	1	76	96	0	50.67	4.71
KITCHEN	1	36	48	0	12.00	1.11
MASTER BEDROOM (GRND)	1	48	56	0	18.67	1.73
MASTER ENSUITE (GRND)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	56	0	18.67	1.73
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
DEDROOM NO.3	1	48	62	5.34	26.01	2.42
W.I.CL.	1	24	52	0	8.67	0.81
BEDROOM NO.4	1	72	52	0	26.00	2.42
DEDROOM NO.4	1	0	0	8.01	8.01	0.74
O.T.B. STAIRS	1	36	68	0	17.00	1.58
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.5	2	24	52	0	17.33	1.61
DRESSING ROOM	1	24	40	0	6.67	0.62
MASTER ENSUITE	1	24	40	0	6.67	0.62
ININO I EL ENOULTE	1	48	56	0	18.67	1.73
TOTAL	36	-	-	-	415.10	38.56
WALL AREA	-	-	-	-	4357.19	404.80
RATIO	-	-	-	-	9.53	9.53

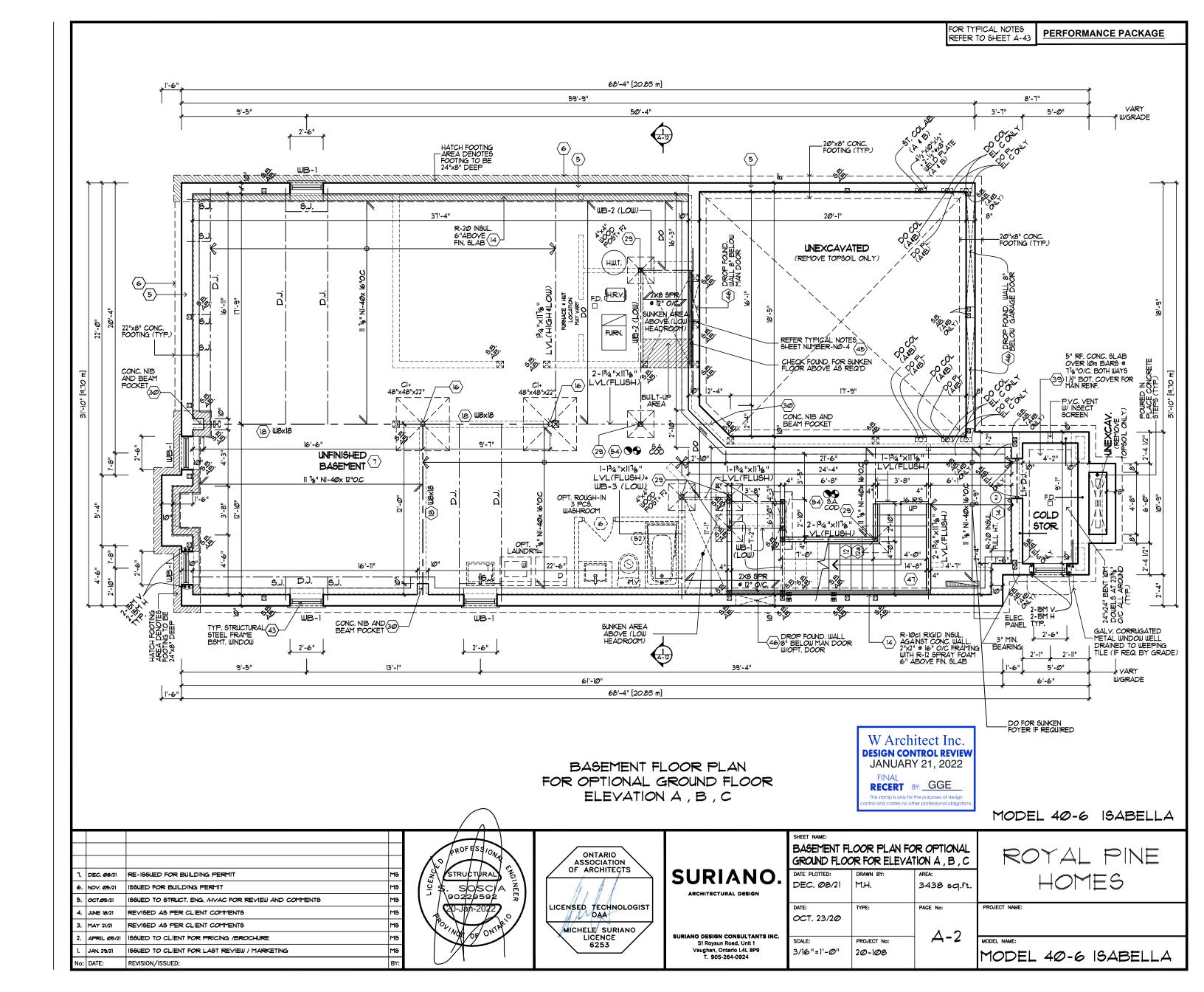


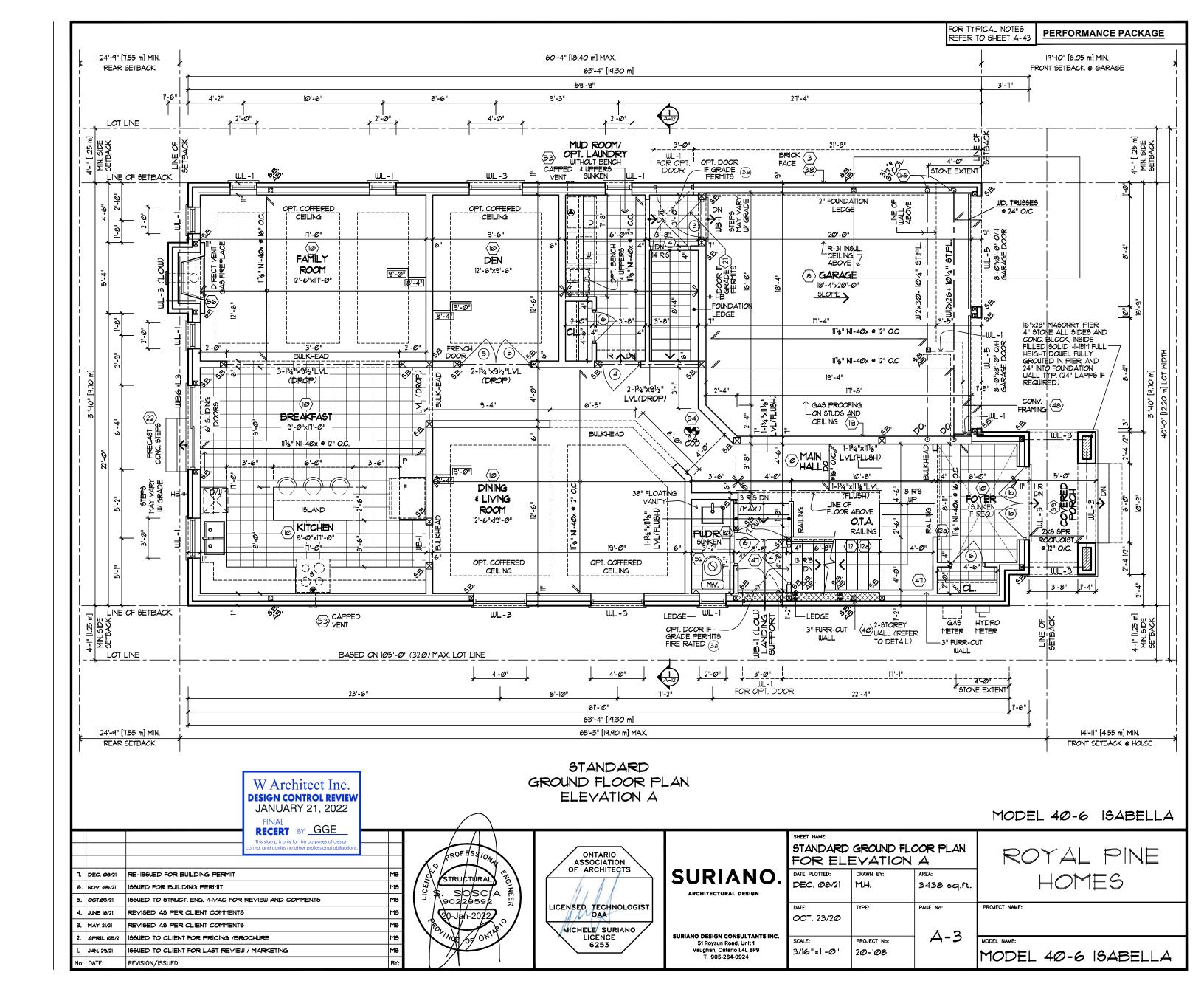
MODEL 40-6 ISABELLA

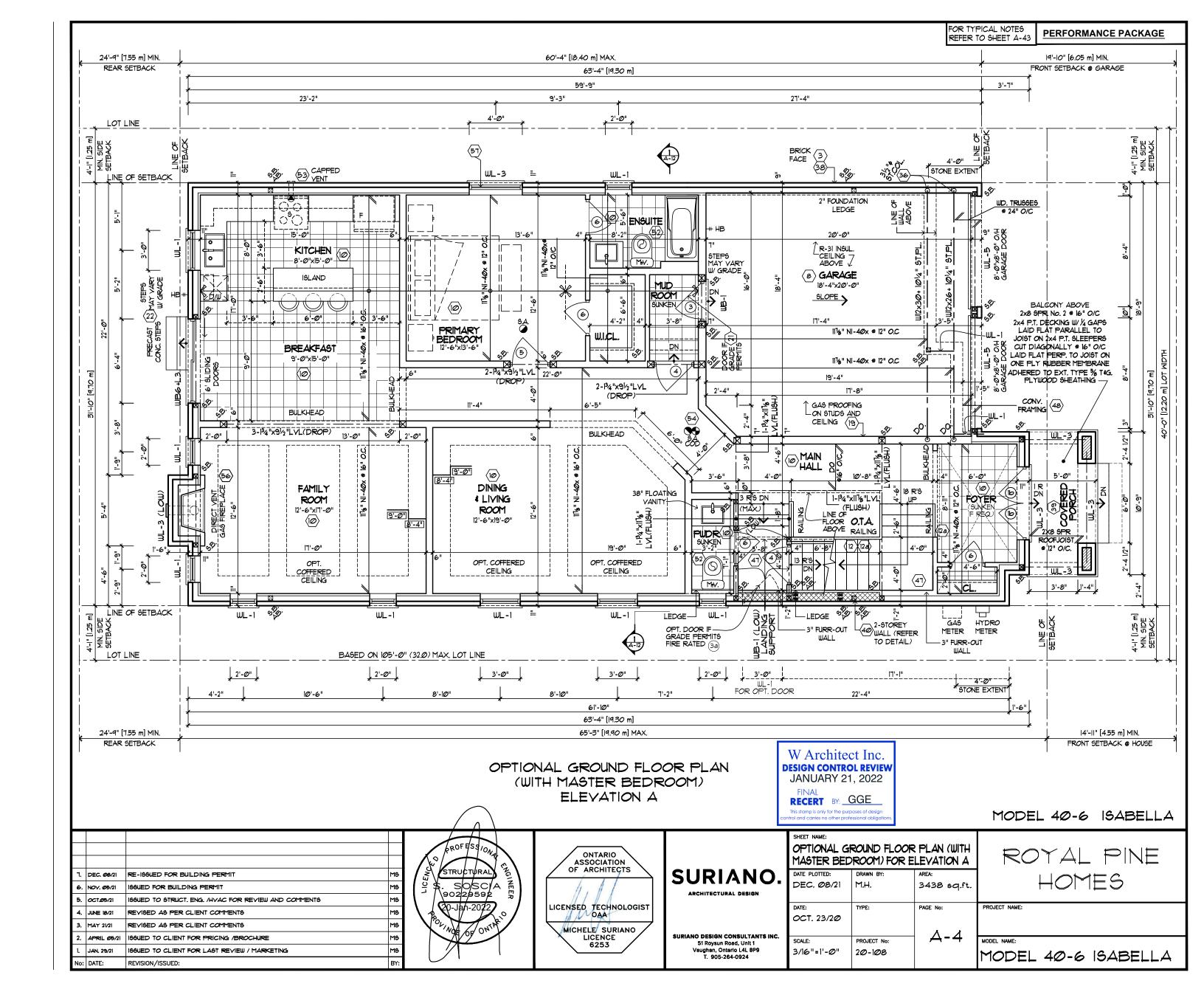
E			ROFFSSION	ONTARIO ASSOCIATION		SHEET NAME: INSULATE OPENINGS		¢ WINDOW CULATIONS-C	ROYAL PINE
			STRUCTURAL 26	OF ARCHITECTS	SURIANO.  ARCHITECTURAL DESIGN	DEC. Ø8/21	DRAWN BY: M.H./J.LAM	area: 3438 sq.ft.	HOMES
3		RE-199UED FOR BUILDING PERMIT MS	90229592 5 20-Jan-2022	MICHELE SURIANO		DATE: OCT. 23/2Ø	TYPE:	PAGE No:	PROJECT NAME:
1. N	OCT.Ø5/21	199UED FOR BUILDING PERMIT   M9   199UED TO STRUCT, ENG. /HYAC FOR REVIEW AND COMMENTS   M9   REVISION/ISSUED:   BY:	LOTINO OF OULTR	LICENCE 6253	SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924	SCALE: 3/16"=1'-0"	PROJECT No: 20-108	06	MODEL 40-6 ISABELLA

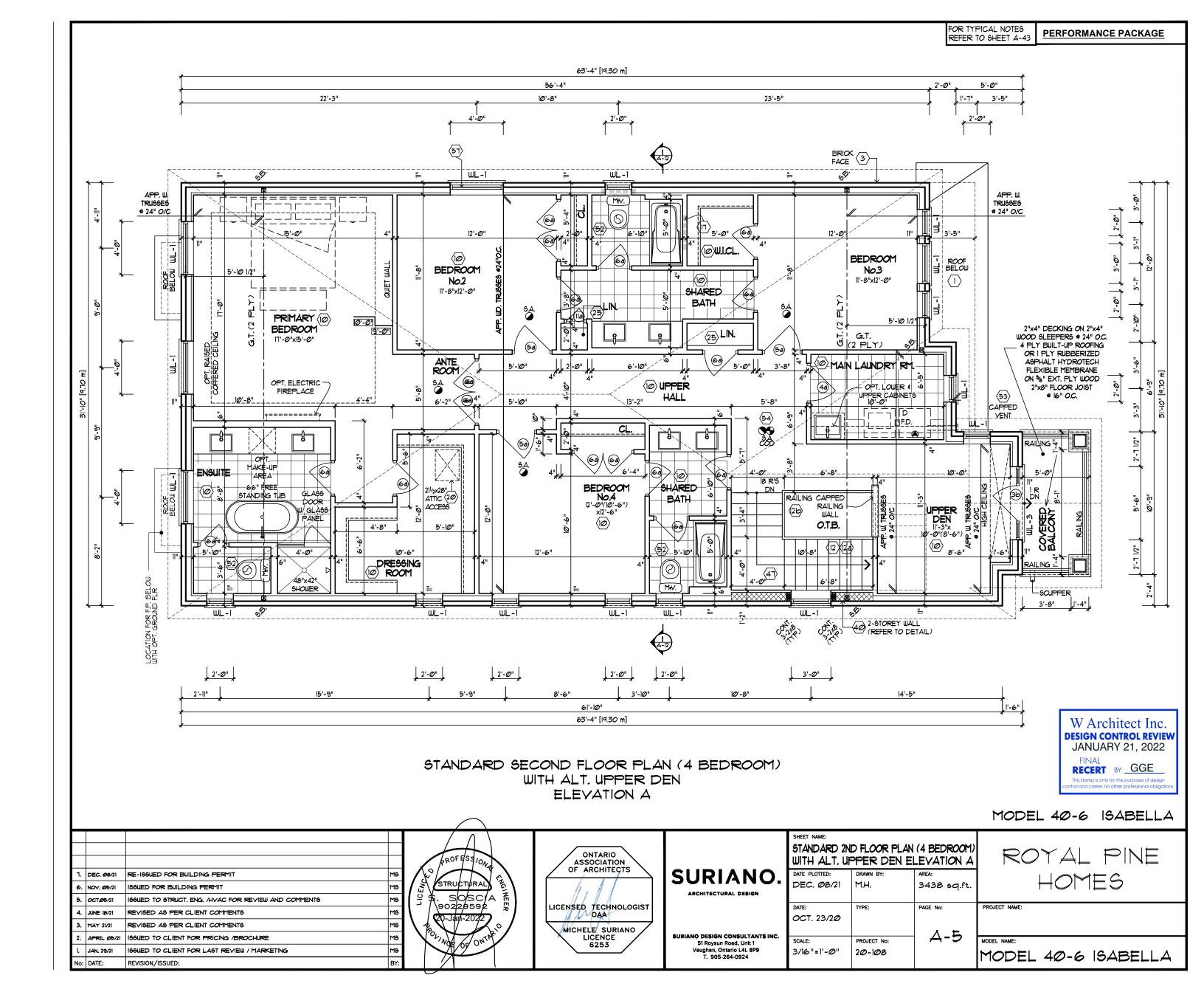
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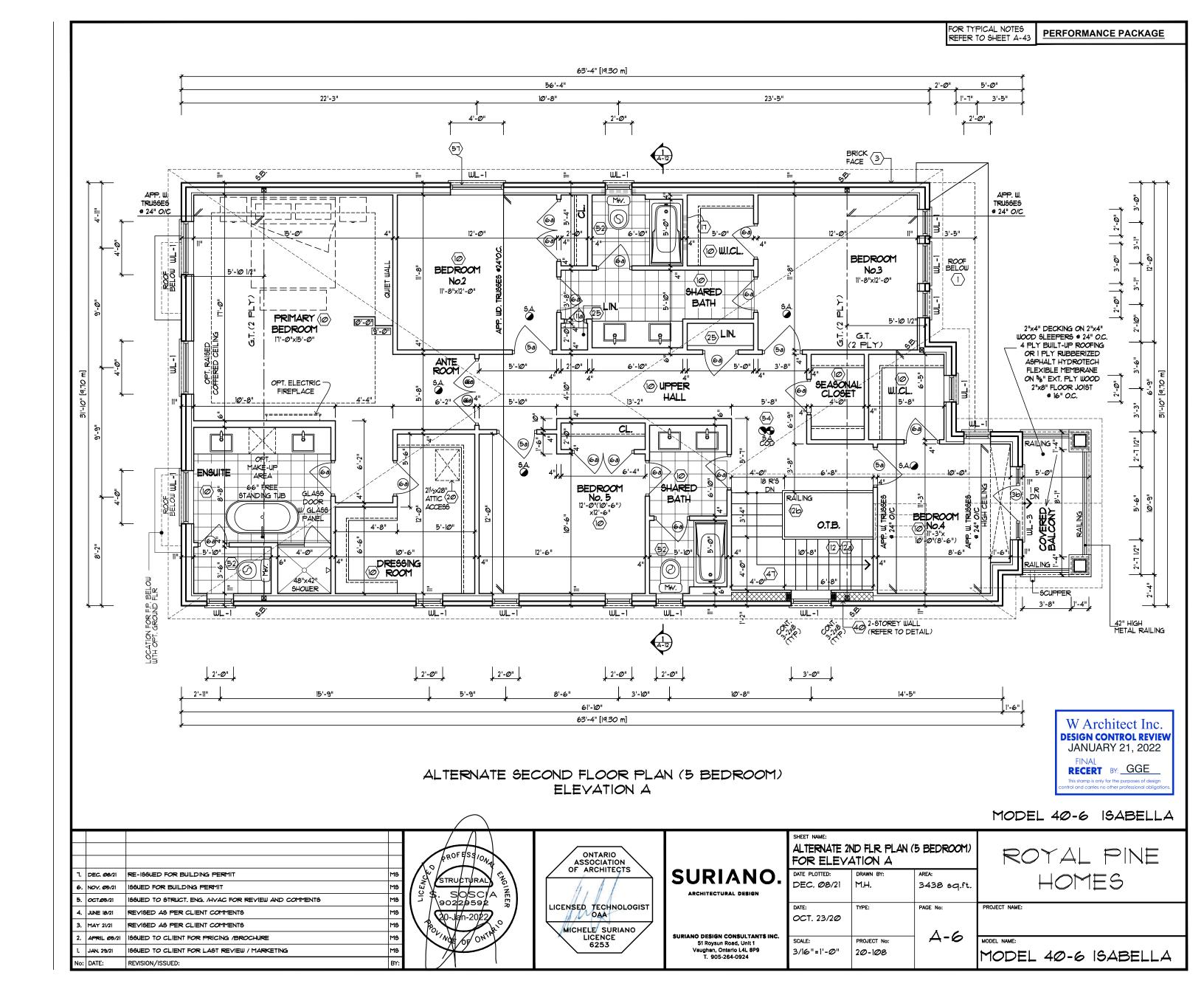


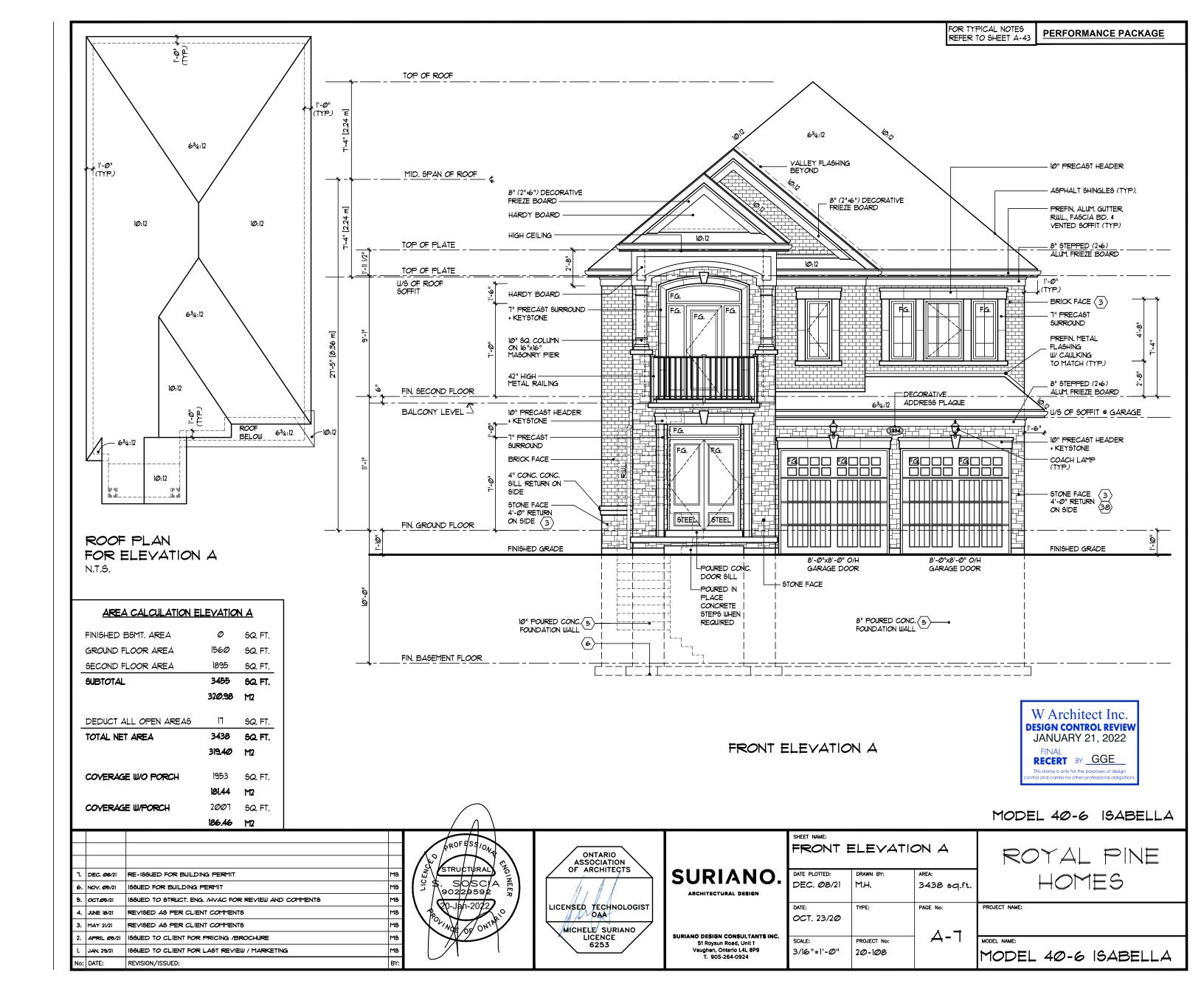


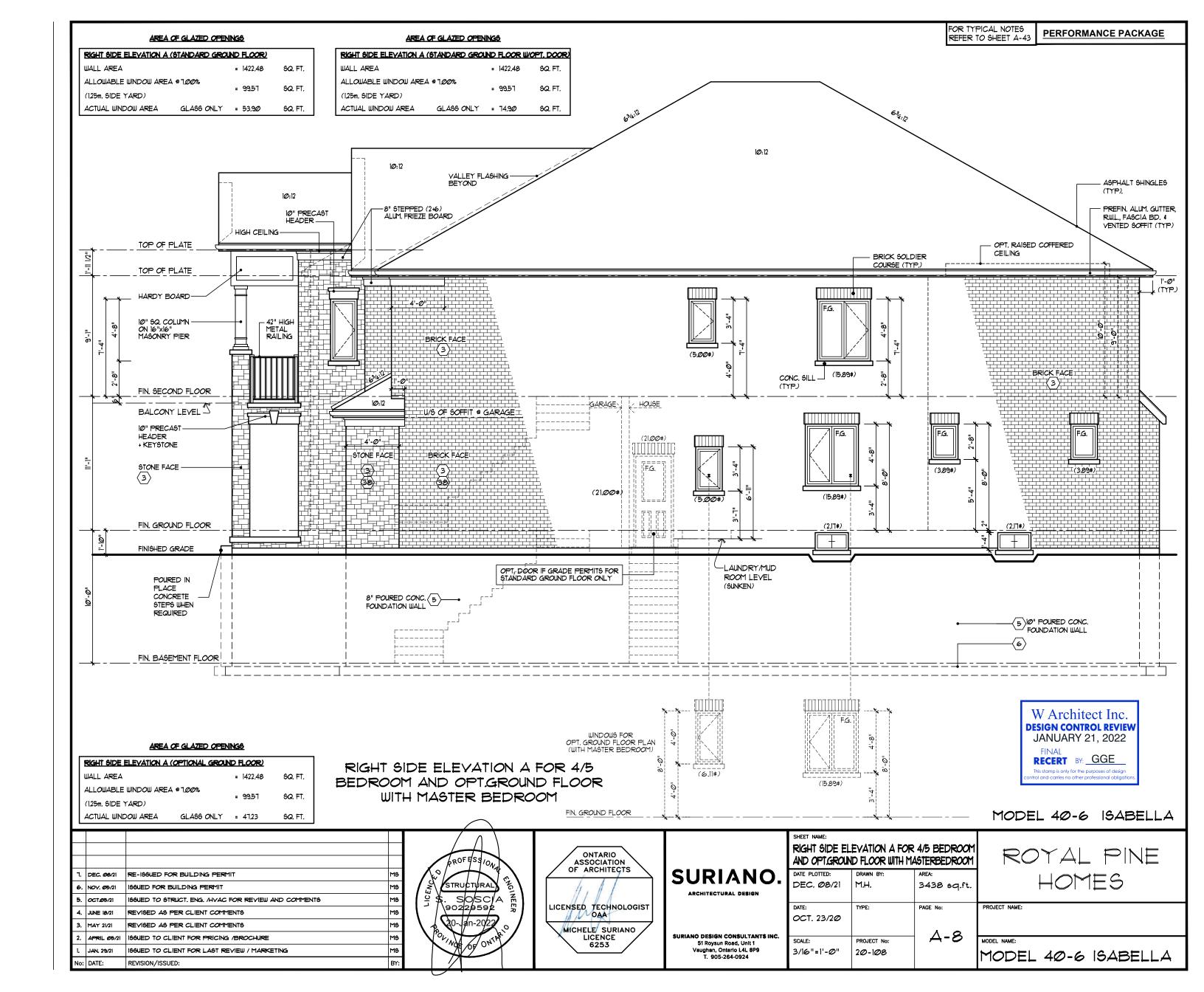


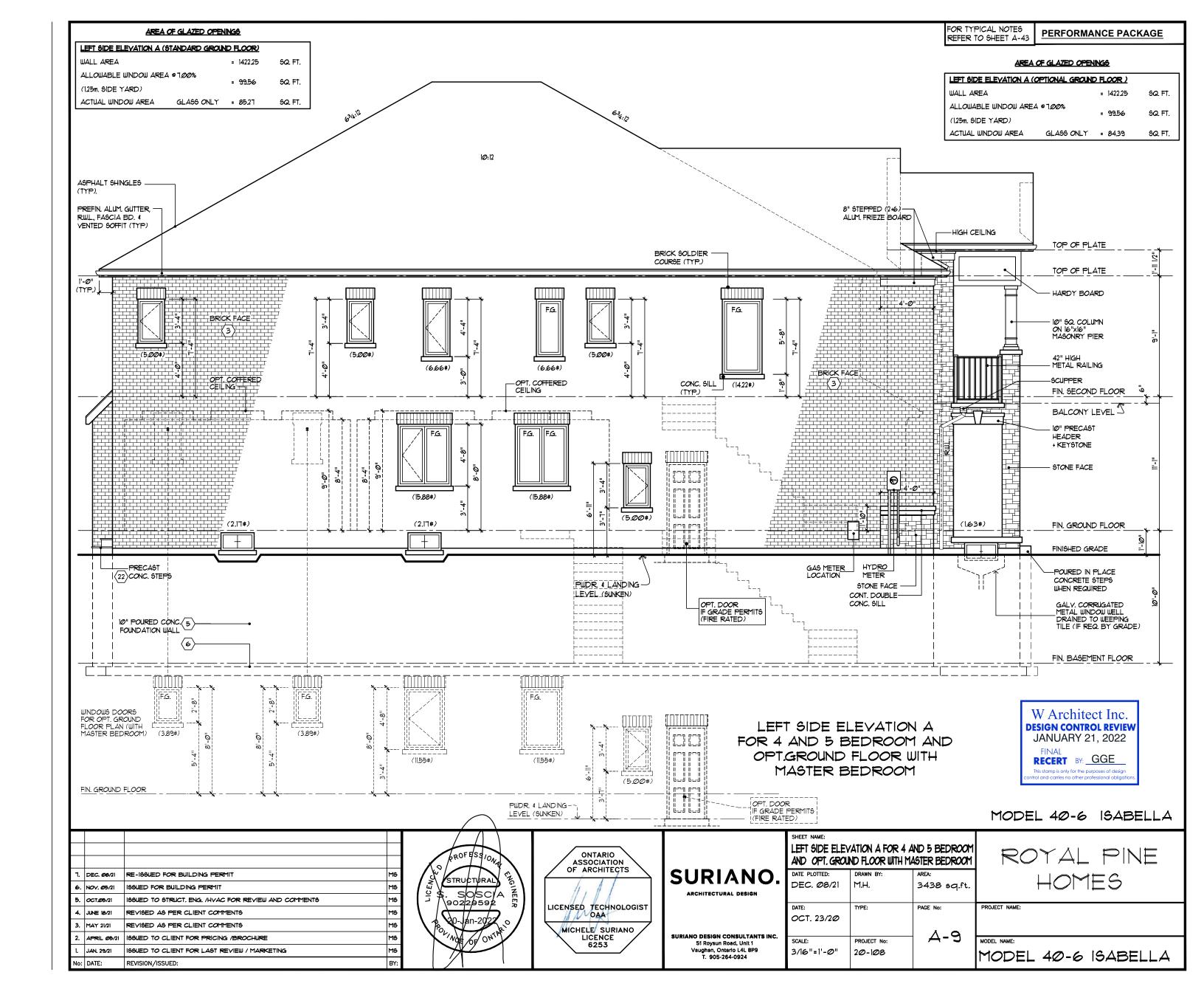


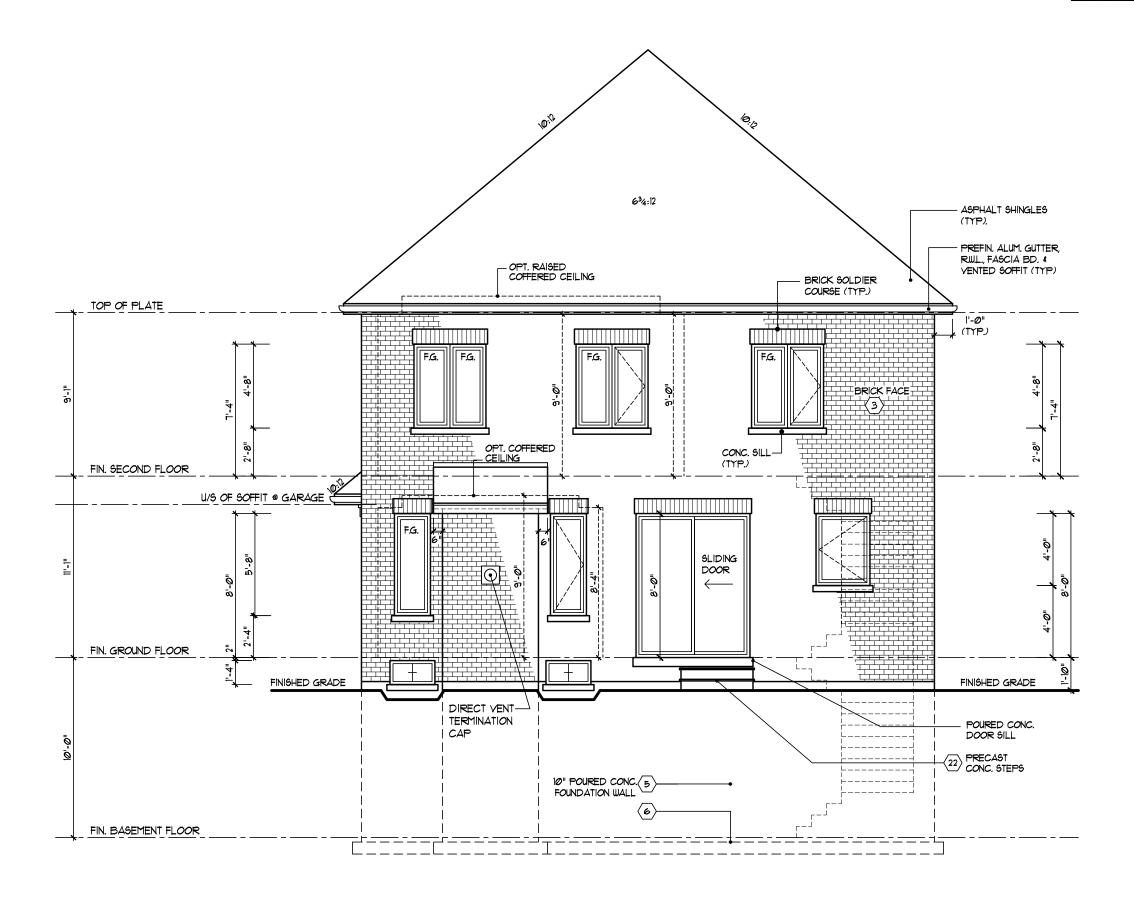












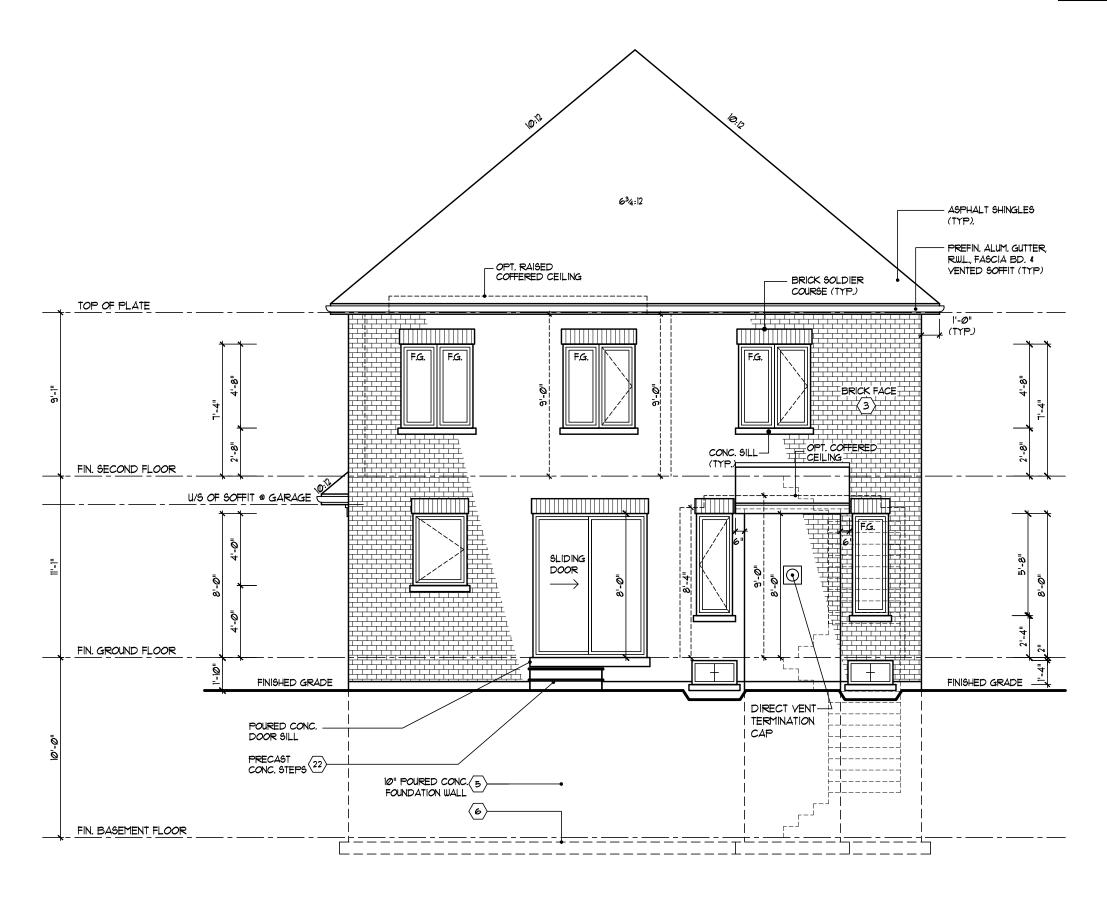


### REAR ELEVATION A & C (WITH STANDARD GROUND FLOOR PLAN)

					ROFESSIONA	ONTARIO ASSOCIATION OF ARCHITECTS		SHEET NAME: REAR ELE (WITH STAND)		& C FLOOR PLAN)	ROYAL PINE
٦	1. D	EC. Ø8/21	RE-199UED FOR BUILDING PERMIT	MS	STRUCTURAL	OF ARCHITECTS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
6	б. N	IOV. Ø5/21	ISSUED FOR BUILDING PERMIT	MS	S. SOSCIA	11.11	ARCHITECTURAL DESIGN	DEC. Ø8/21	M.H.	3438 sq.ft.	
5	5. O	OCTØ5/21	169UED TO STRUCT. ENG. /HYAC FOR REVIEW AND COMMENTS	MS	90229592		ARCHITECTURAL DESIGN				
4	4. JU	UNE 18/21	REVISED AS PER CLIENT COMMENTS	MS	<b>80</b> -Jan-2022	LICENSED TECHNOLOGIST		DATE: OCT, 23/20	TYPE:	PAGE No:	PROJECT NAME:
3	3. M	1AY 21/21	REVISED AS PER CLIENT COMMENTS	MS	Po.	MICHELE SURIANO		001. 25/20			
2.	2. A	APRIL <i>0</i> 5/21	169UED TO CLIENT FOR PRICING /BROCHURE	MS	OLING OF ONLY	LICENCE	SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1	SCALE:	PROJECT No:	<i>A-10</i>	MODEL NAME:
1.	l. J⊿	AN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS		6253	Vaughan, Ontario L4L 8P9	3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
No	lo: D	DATE:	REVISION/ISSUED:	BY:			T. 905-264-0924				I ODEL 40-0 IDADELLA

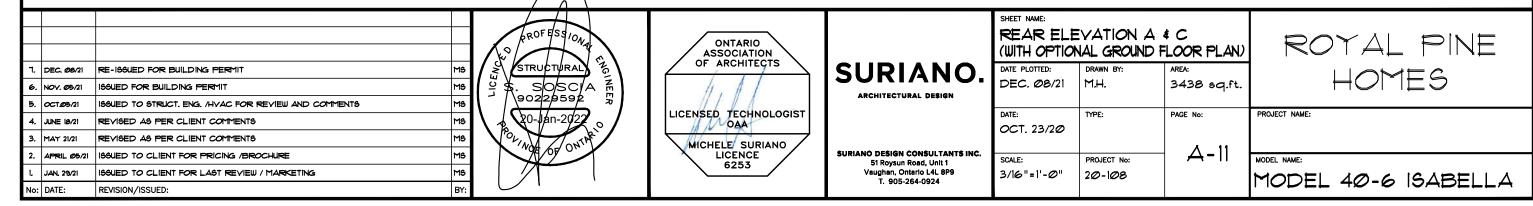


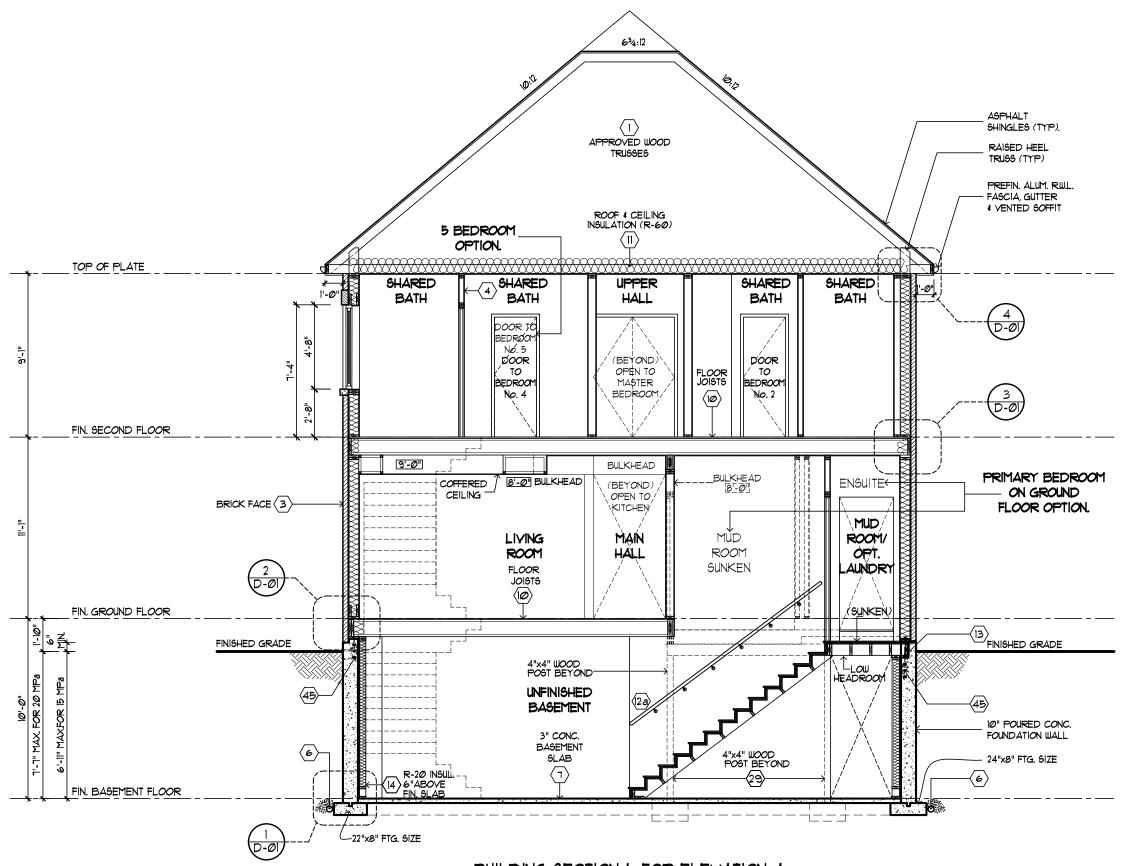






### REAR ELEVATION A & C (WITH OPTIONAL GROUND FLOOR PLAN)

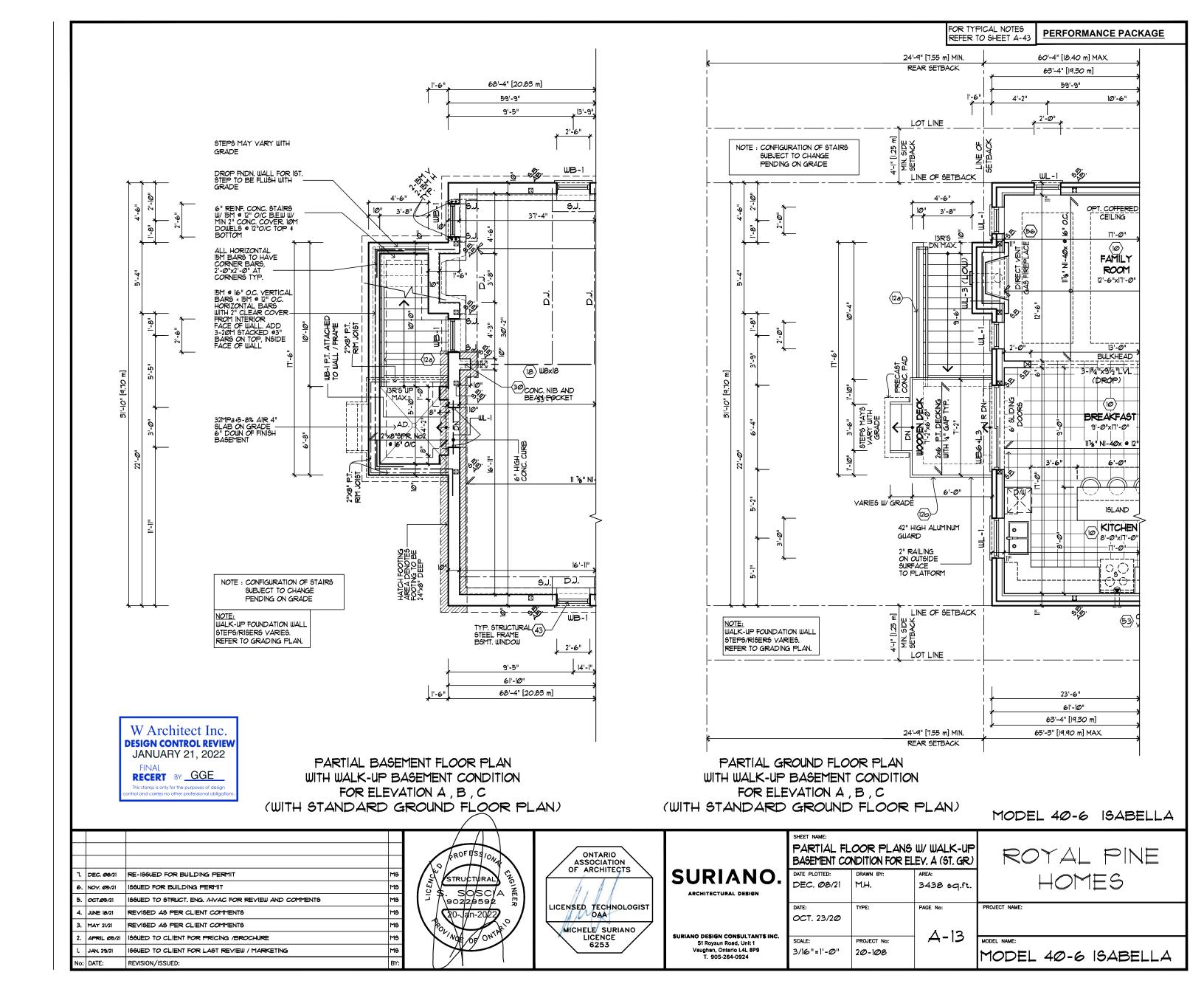


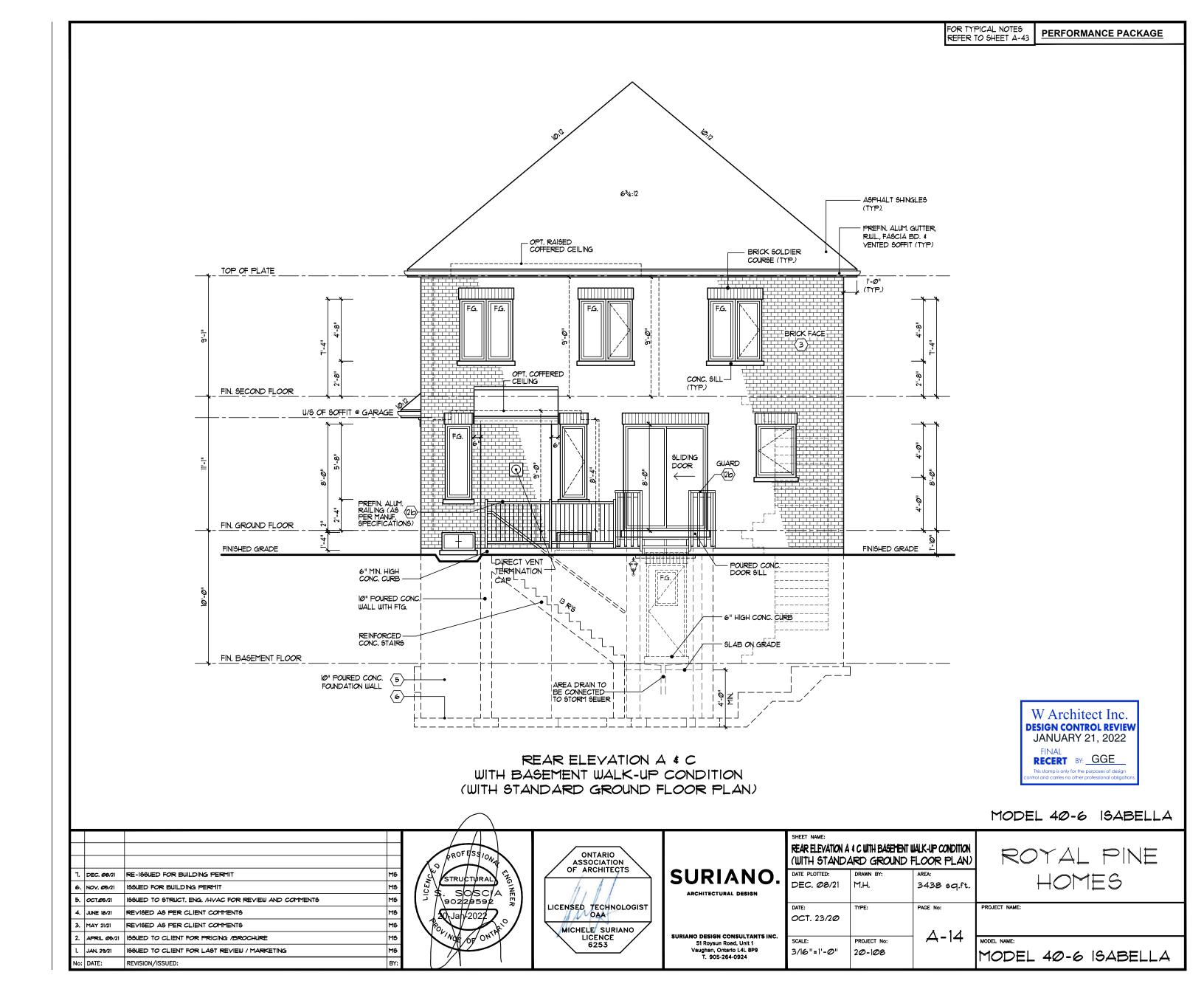


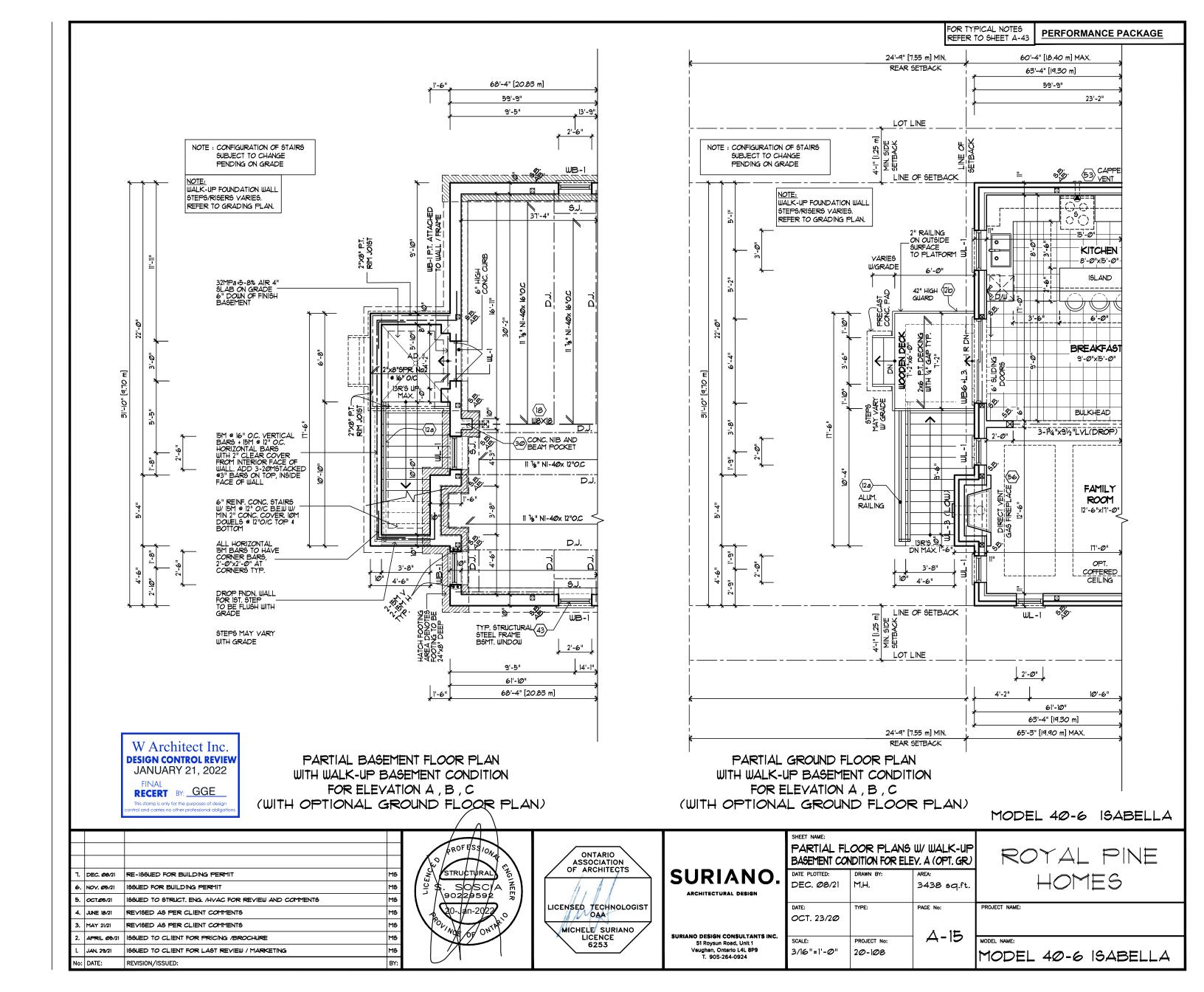
BUILDING SECTION I FOR ELEVATION A FOR 4/5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM

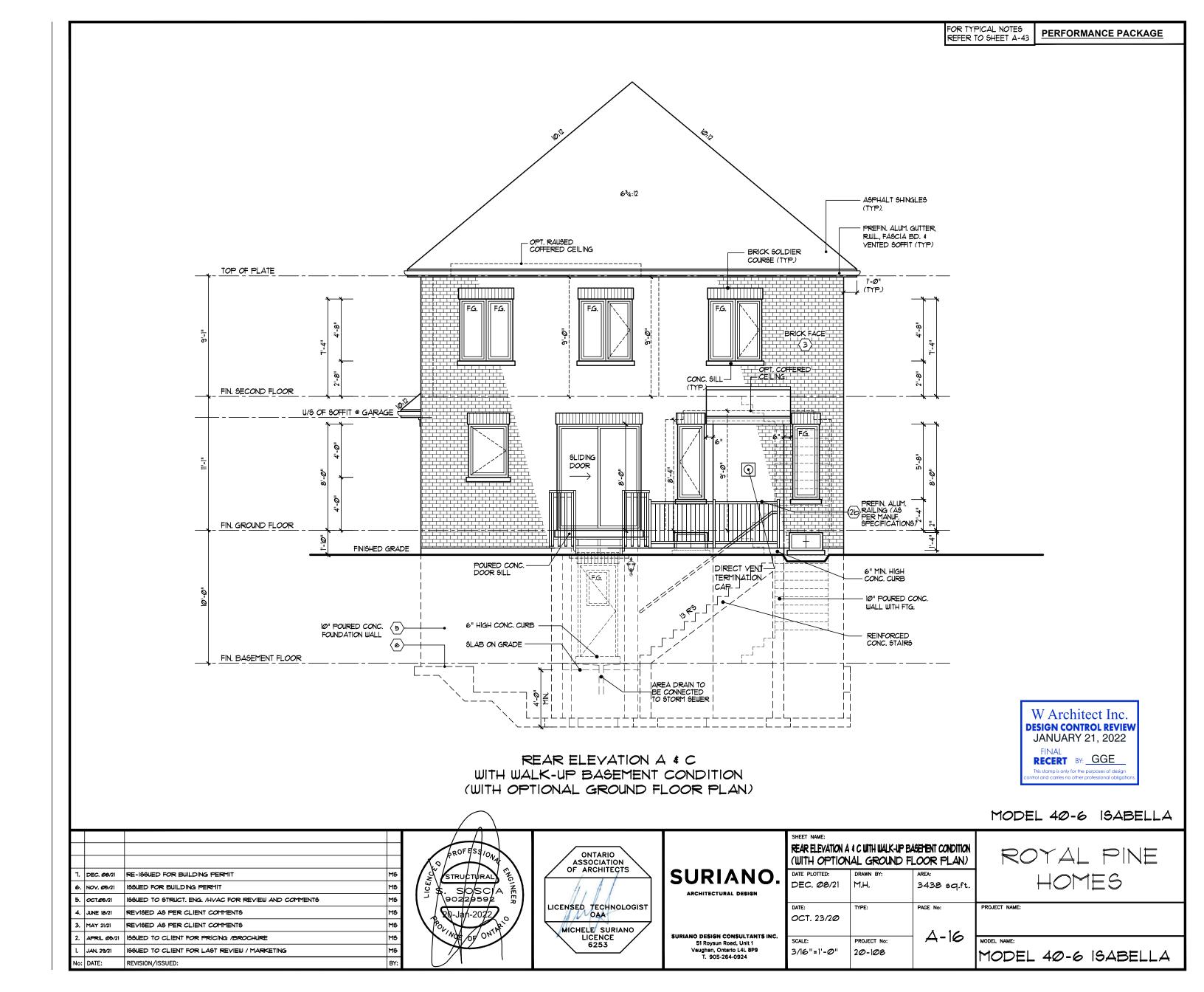


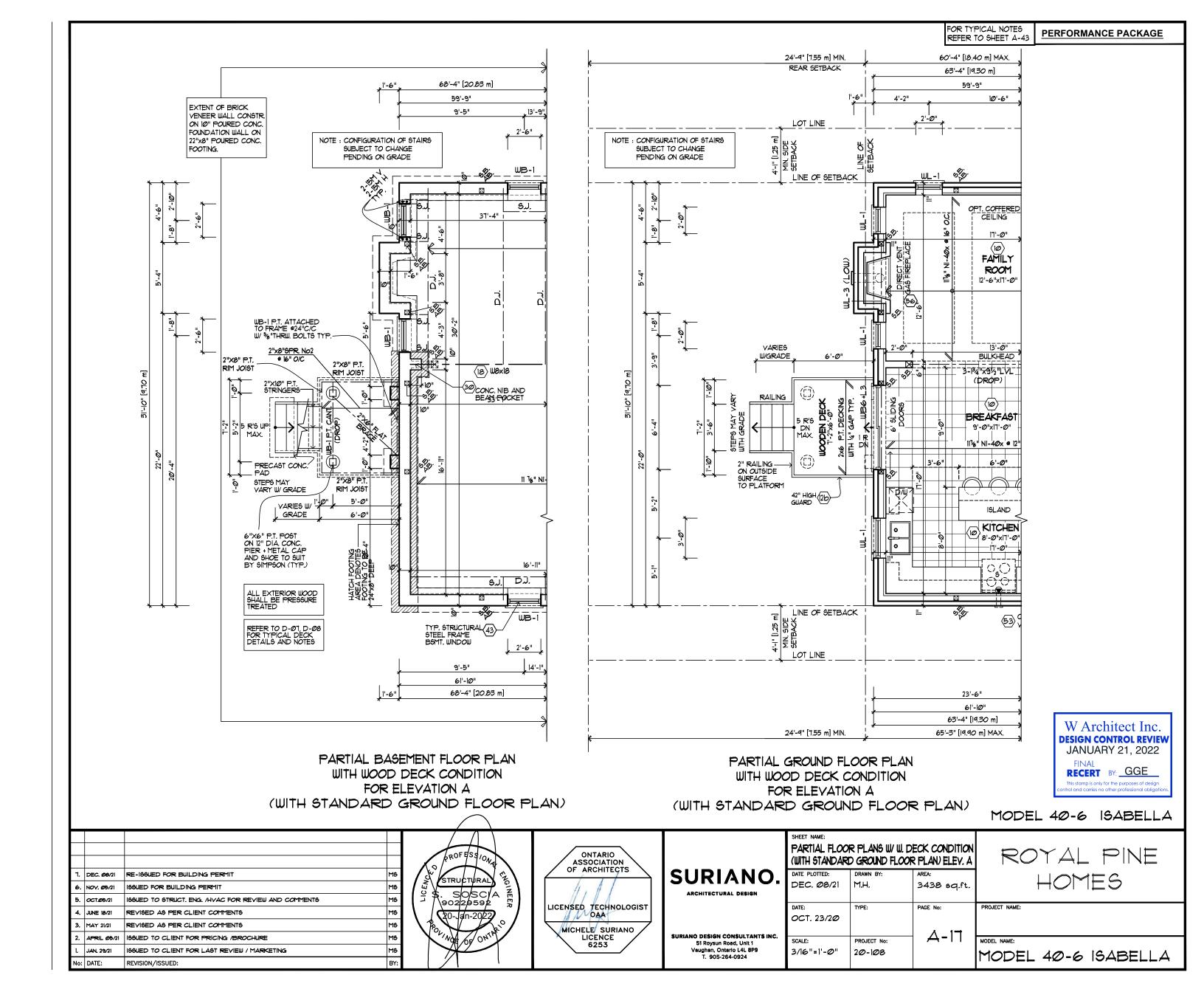
					PROFESSION A	ONTARIO ASSOCIATION		AND OPT. GROU		FOR 4/5 BEDROOM ASTER BEDROOM	
	7. D	DEC. Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS	STRUCTURAL	OF ARCHITECTS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
4	6. N	10v. <i>0</i> 5/21	168UED FOR BUILDING PERMIT	MS		11. 11	ARCHITECTURAL DESIGN	DEC. Ø8/21	F.K-S	3438 sq.ft.	
٤	Б. О	OCT#5/21	168UED TO STRUCT, ENG. /HYAC FOR REVIEW AND COMMENTS	MS	의 \$. SOSC/A # 90229592 중		ARCHITECTORAL DESIGN			<del></del>	
- [-	4. JL	JUNE 18/21	REVISED AS PER CLIENT COMMENTS	MS	~ /	LICENSED TECHNOLOGIST		DATE: OCT, 23/20	TYPE:	PAGE No:	PROJECT NAME:
3	3. M	1AY 21/21	REVISED AS PER CLIENT COMMENTS	MS	20-Jan-2022	MICHELE SURIANO		001. 25/29			
2	2. A	APRIL 05/	199UED TO CLIENT FOR PRICING /BROCHURE	MS	ON ON ON ON	LICENCE	SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1	SCALE:	PROJECT No:	<del> </del>	MODEL NAME:
1.	l. Ja	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS		6253	Vaughan, Ontario L4L 8P9 T. 905-264-0924	3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
N	lo: D	DATE:	REVISION/ISSUED:	BY:	/		1. 300-204-0924				I OPEL 40-0 ISADELLA





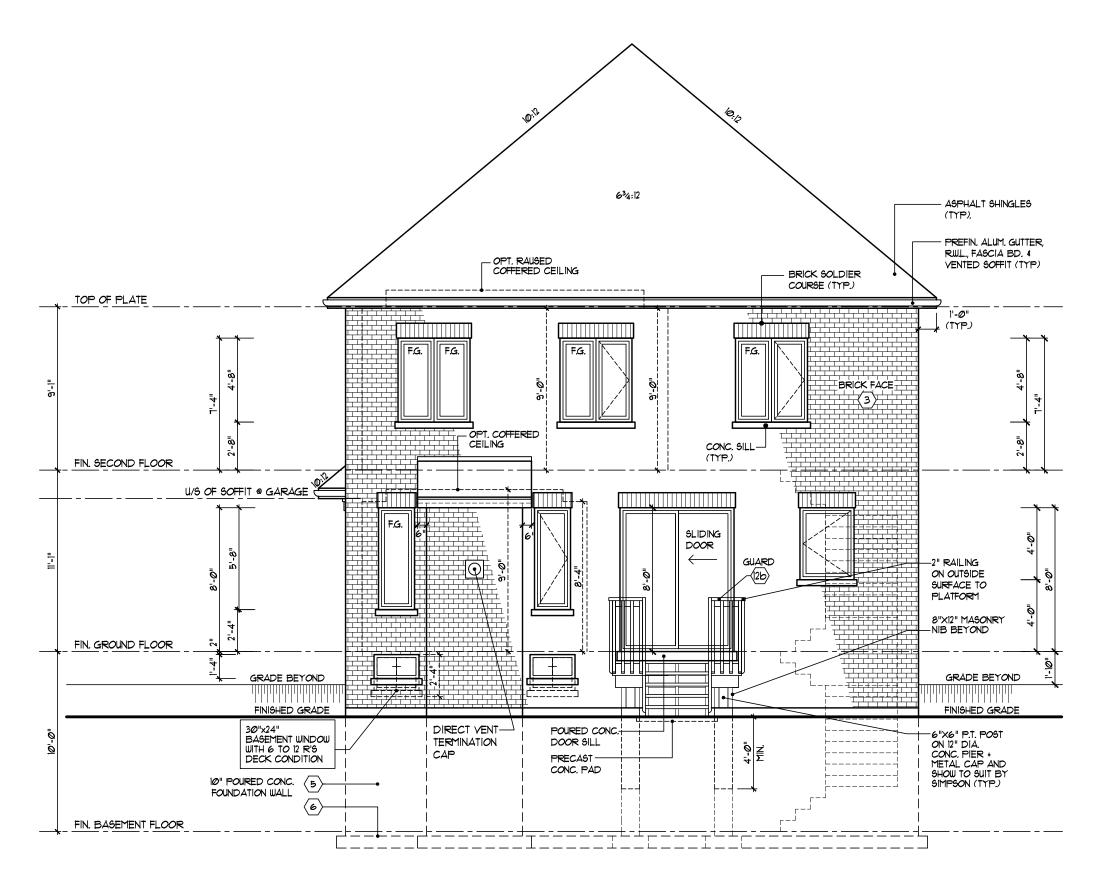








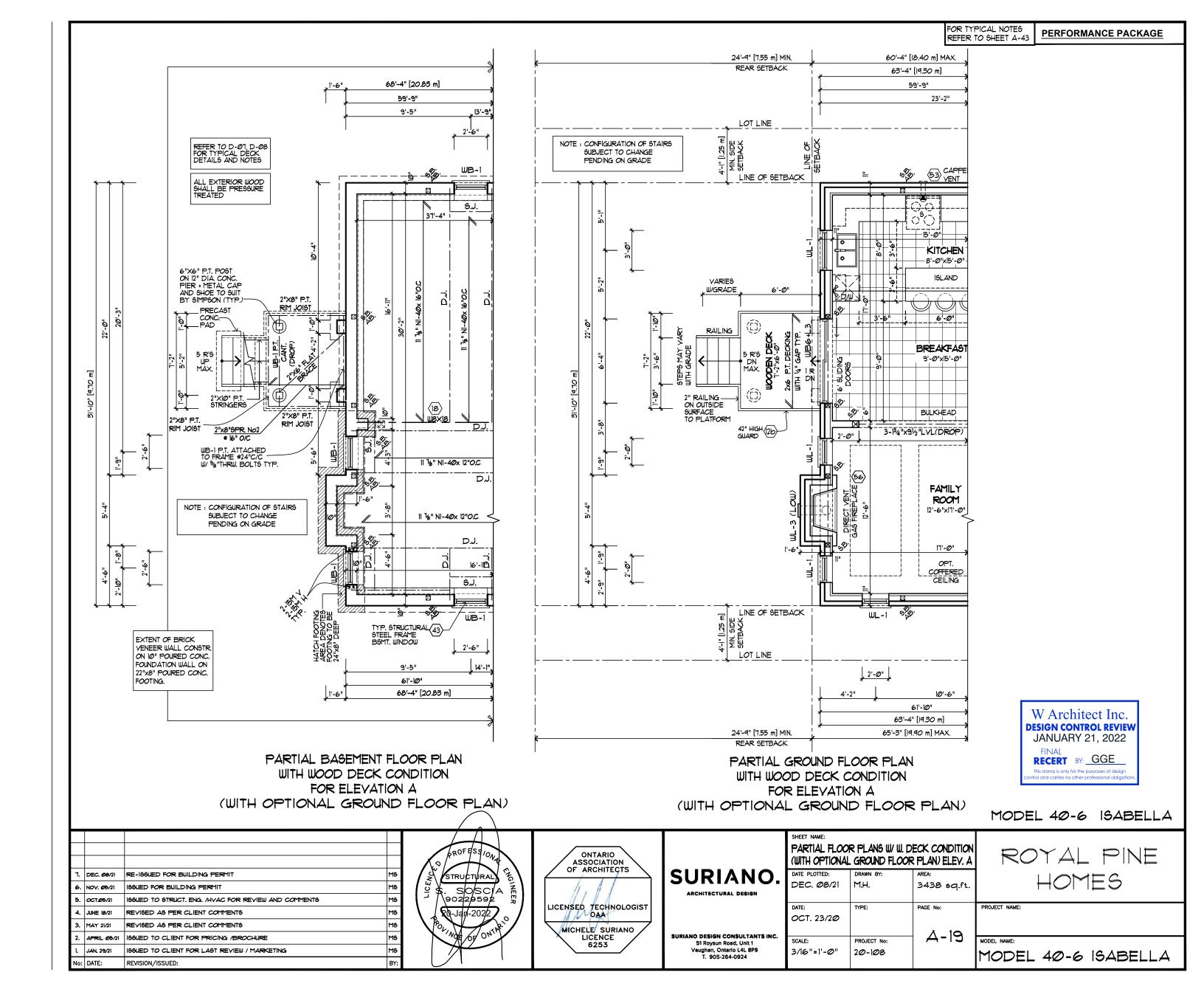


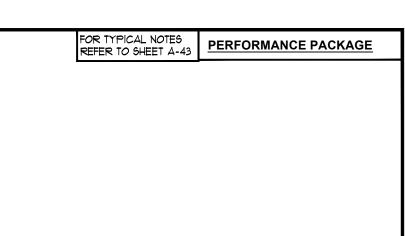


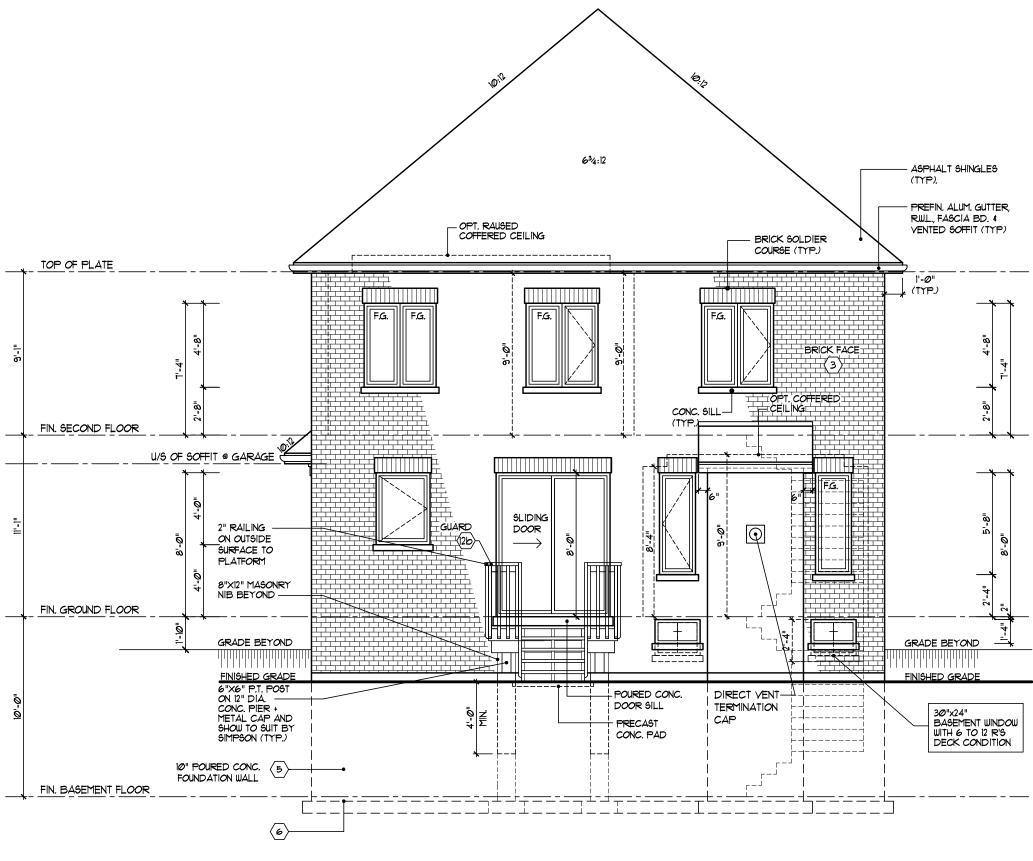




			ROF ESSIONA	ONTARIO ASSOCIATION				OD DECK CONDITION D FLOOR PLAN)	
7. DEC. Ø8/21	RE-198UED FOR BUILDING PERMIT	MS	STRUCTURAL E	OF ARCHITECTS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
6. NOV. Ø5/21	169UED FOR BUILDING PERMIT	MS	S SOSCIA	11.1	ARCHITECTURAL DESIGN	DEC. Ø8/21	M.H.	3438 sq.ft.	
5. OCTØ5/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS	7 \902 2 959 2 5		ARCHITECTORAL DESIGN				
4. JUNE 18/21	REVISED AS PER CLIENT COMMENTS	MS	20-Jan-2022	LICENSED TECHNOLOGIST		DATE: OCT, 23/20	TYPE:	PAGE No:	PROJECT NAME:
3. MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS	Por	MICHELE SURIANO		001.25/20			
2. APRIL Ø5/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS	NOT OF ONLY	LICENCE	SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1	SCALE:	PROJECT No:	– A-18	MODEL NAME:
1. JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS		6253	Vaughan, Ontario L4L 8P9	3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
No: DATE:	REVISION/ISSUED:	BY:			T. 905-264-0924				I IODEL 40-0 ISADELLA







REAR ELEVATION A & C
WITH WOOD DECK CONDITION
(WITH OPTIONAL GROUND FLOOR PLAN)

W Architect Inc.

DESIGN CONTROL REVIEW

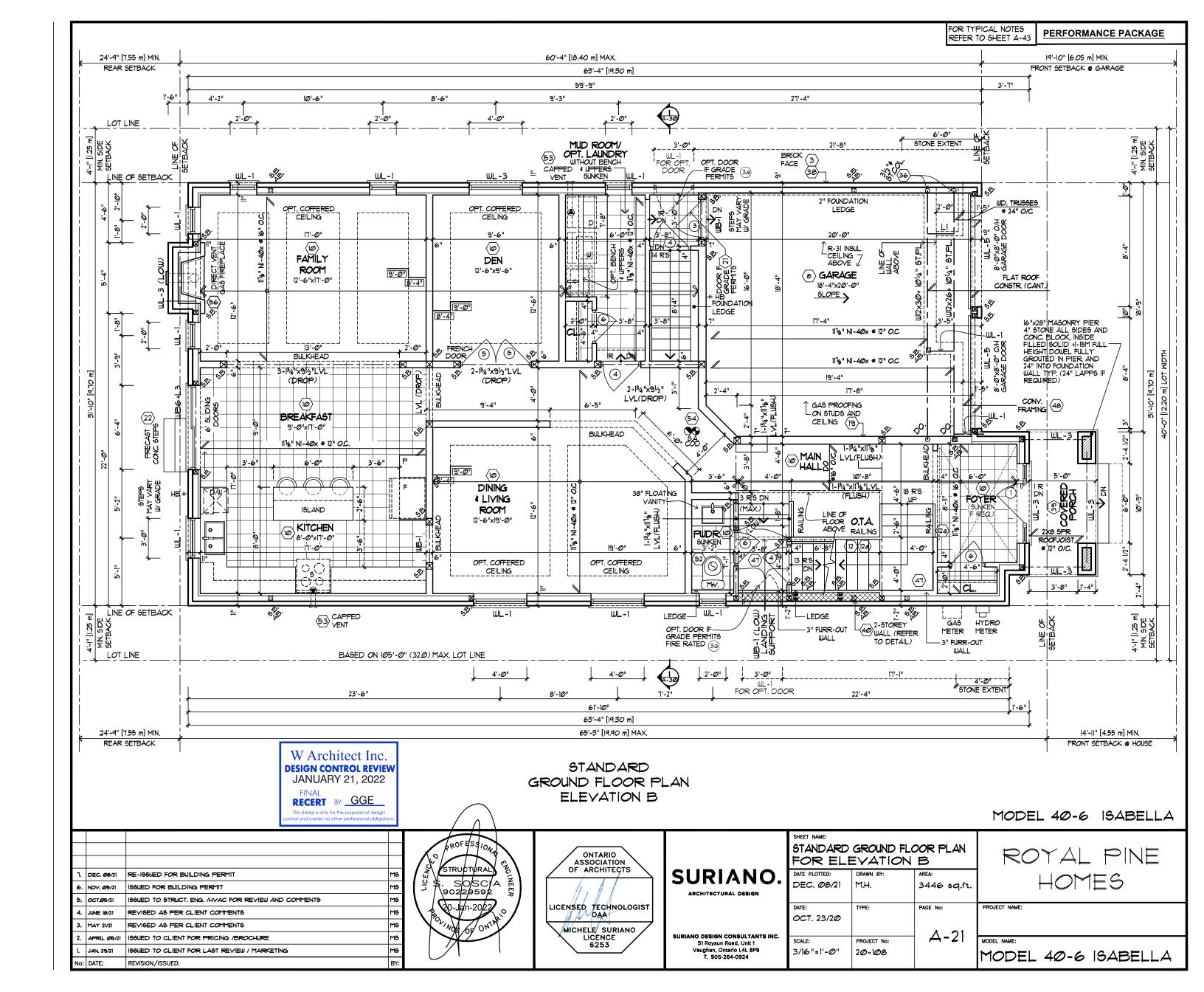
JANUARY 21, 2022

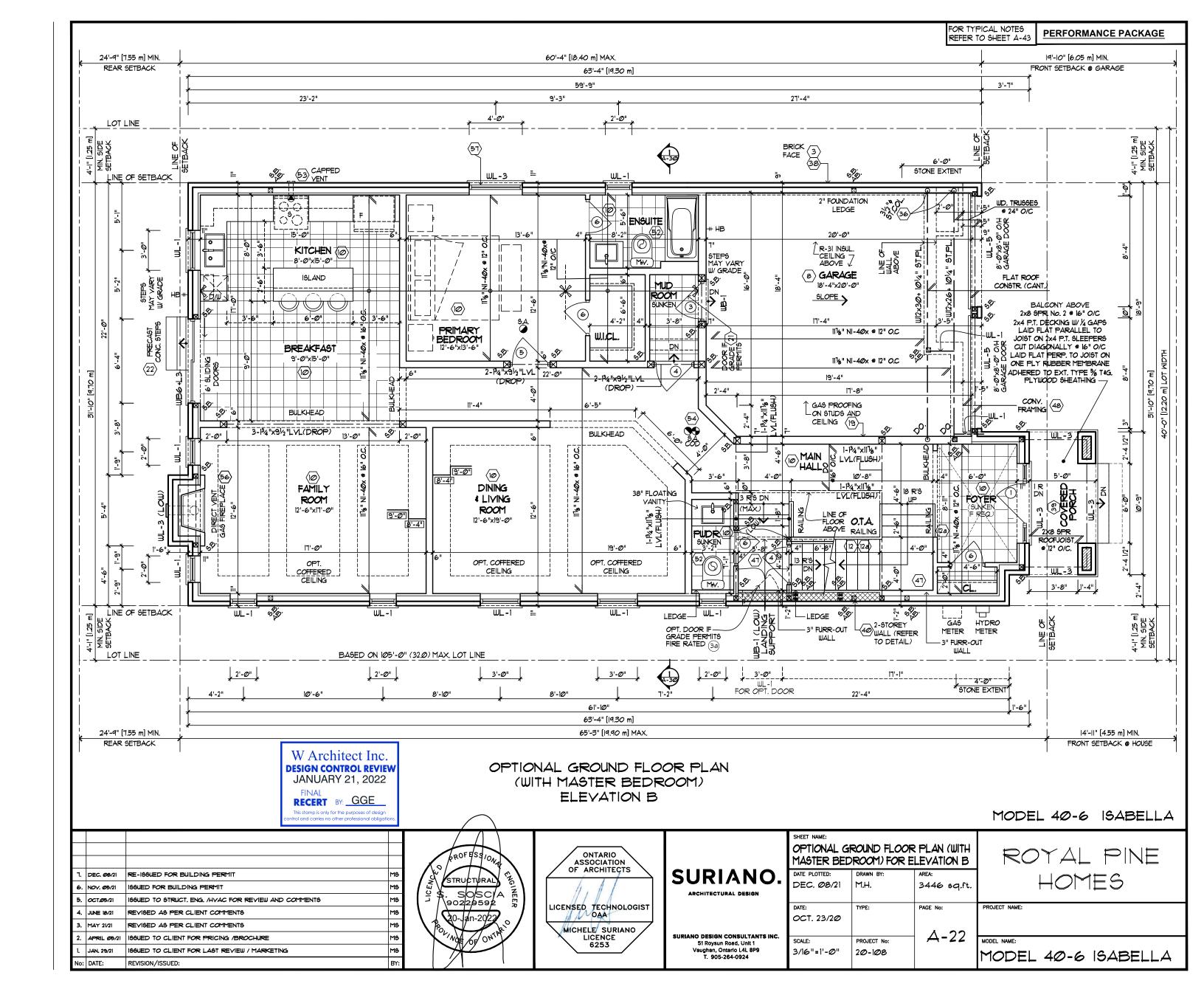
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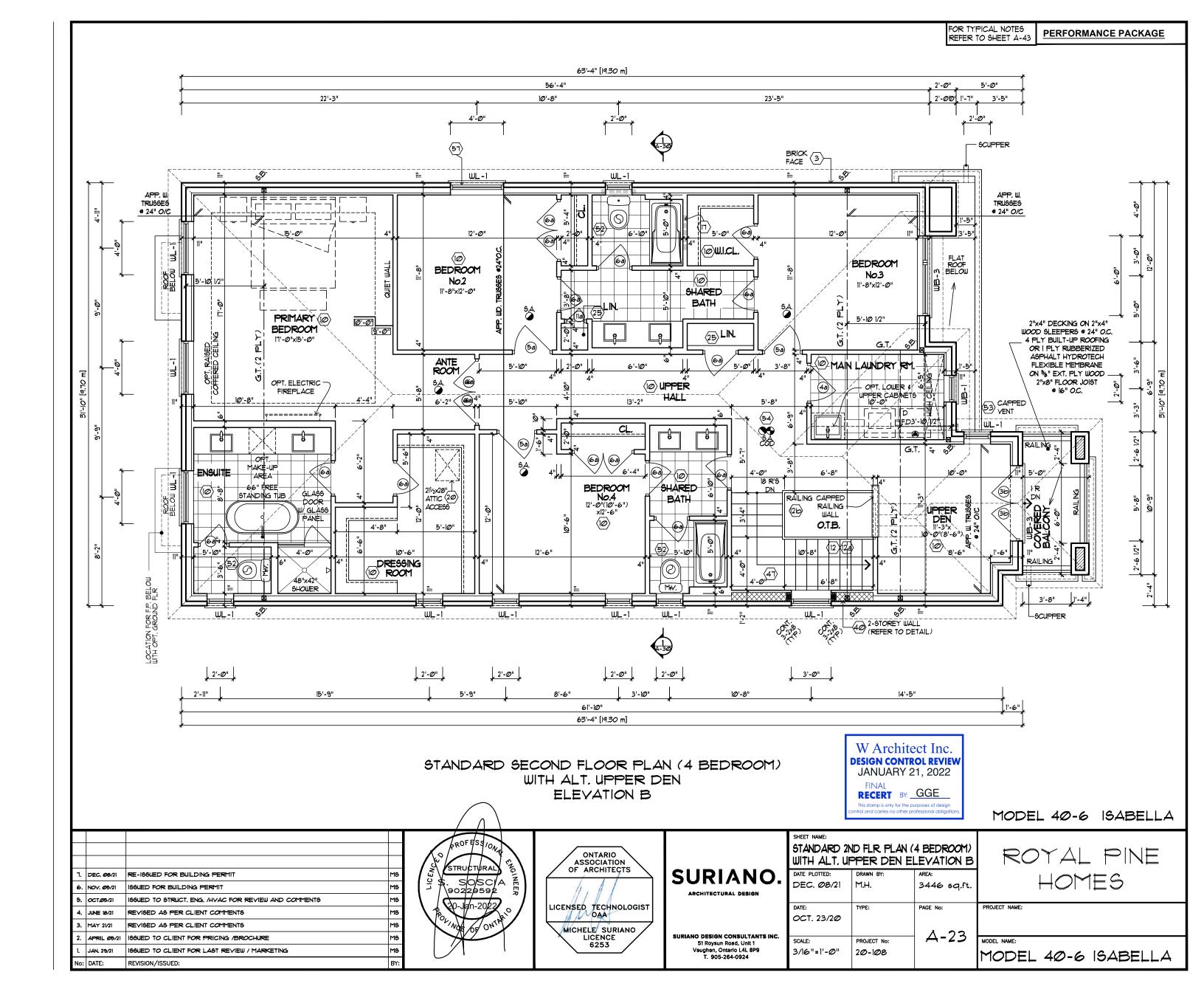
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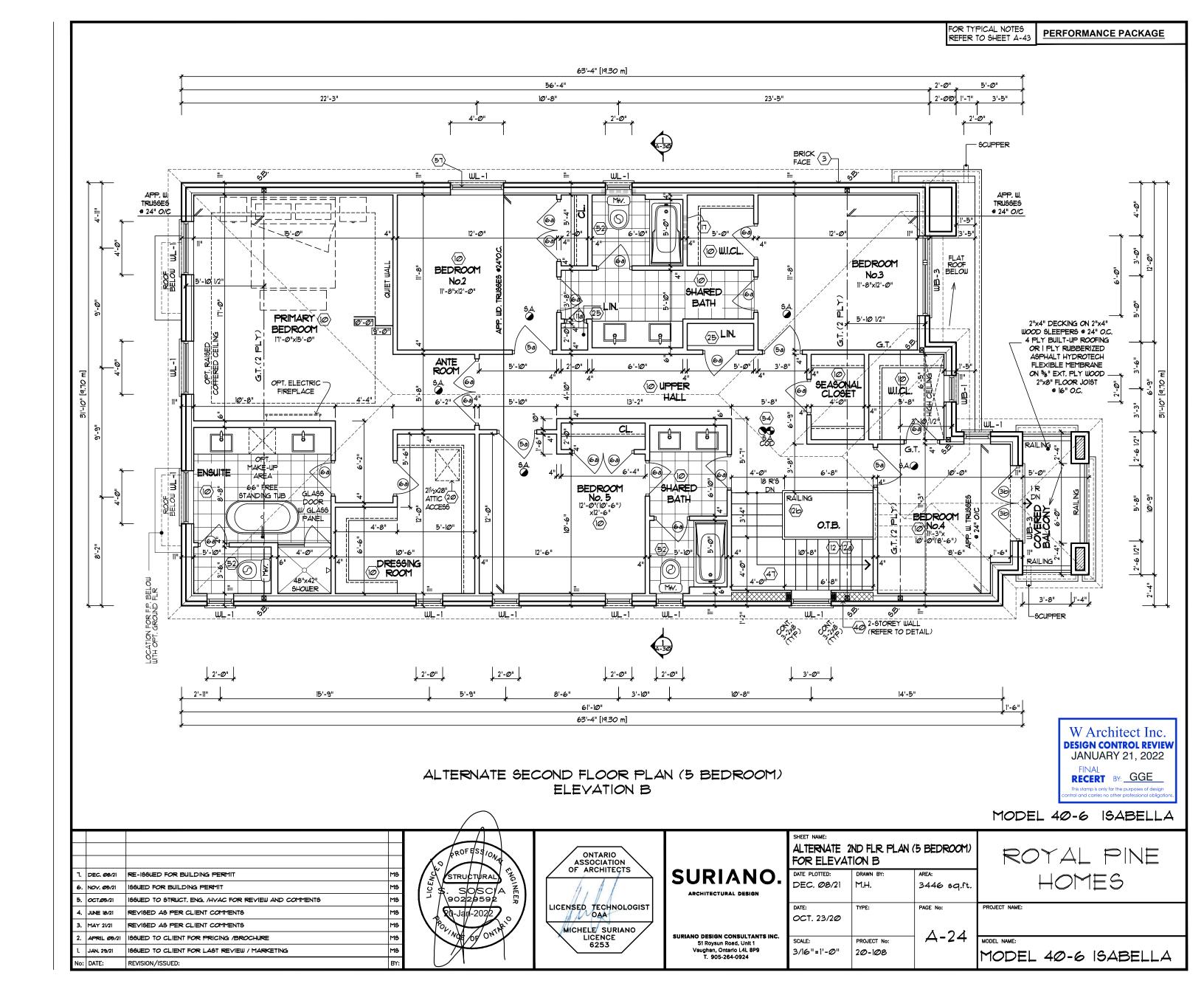
This stamp is only for the purposes of design control and carries no other professional obligations.

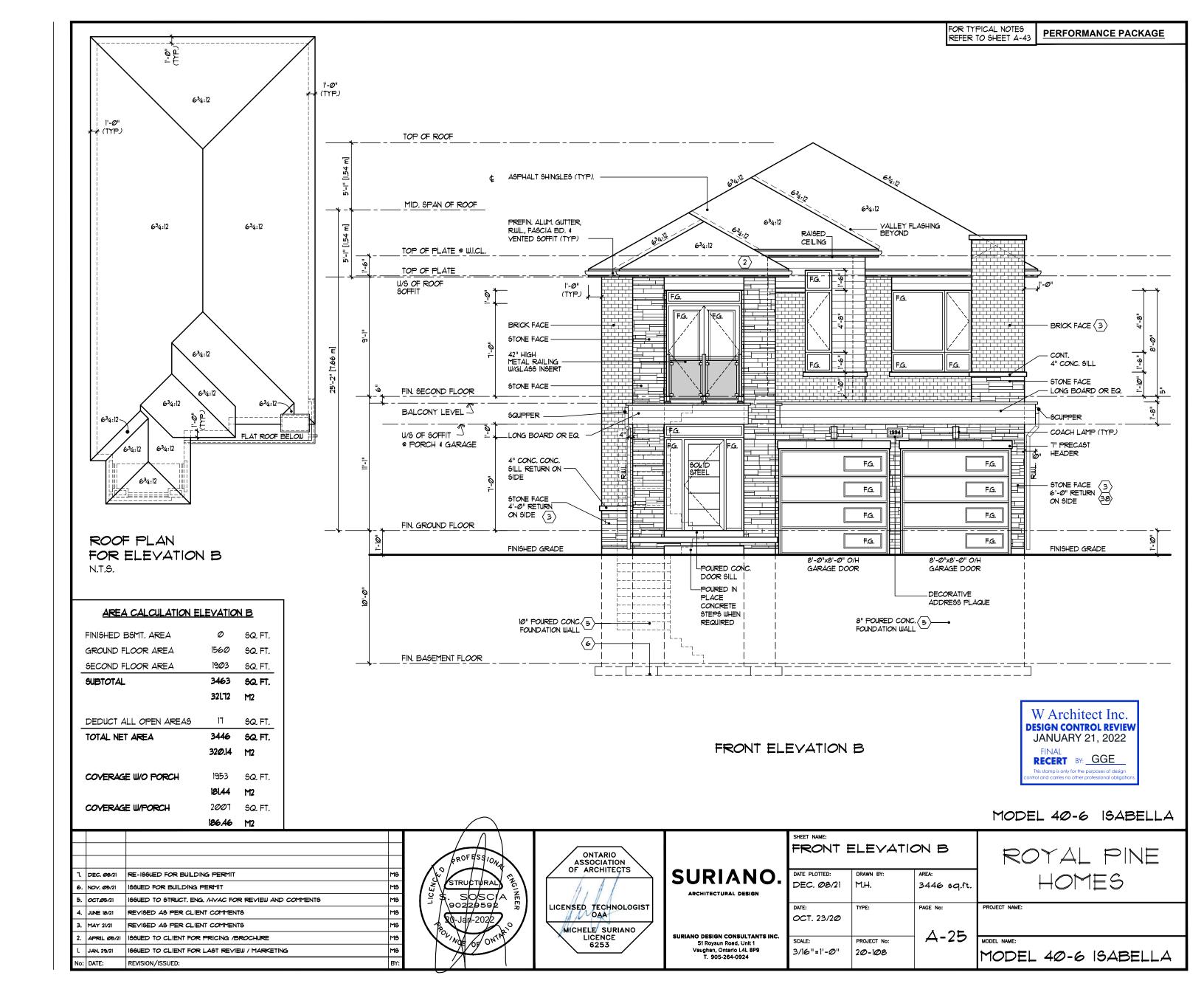
					OROF ESSIONAL	ONTARIO ASSOCIATION OF ARCHITECTS		SHEET NAME: REAR ELEVATION (WITH OPTION		DECK CONDITION LOOR PLAN)	ROYAL PINE
L	DEC	C. Ø8/21	RE-188UED FOR BUILDING PERMIT	MS	STRUCTURAL E	OF ARCHITECTS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
6	. NO	ov. <i>0</i> 5/21	199UED FOR BUILDING PERMIT	MS	S SOSCIA F	1. 1	ARCHITECTURAL DESIGN	DEC. Ø8/21	M.H.	3438 sq.ft.	
E	. oc	T.Ø5/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS	7 (90229592 F)	//_/ /	ARCHITECTURAL DESIGN				
	JUN	VE 18/21	REVISED AS PER CLIENT COMMENTS	MS	20-Jan-2022	LICENSED TECHNOLOGIST		DATE:	TYPE:	PAGE No:	PROJECT NAME:
3	MA	Y 21/21	REVISED AS PER CLIENT COMMENTS	MS	120-3411-292			OCT. 23/2Ø			
2	API	RIL <i>0</i> 5/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS	ON ON ON THE	MICHELE SURIANO LICENCE	SURIANO DESIGN CONSULTANTS INC.	SCALE:	PROJECT No:	⊢ A-2Ø	MODEL NAME:
	JAN	N. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS	1 7 7	6253	51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9	3/16"=1'-0"	20-108		
N	: DAT		REVISION/ISSUED:	BY:			T. 905-264-0924	J/IU -1-U	20-100		MODEL 40-6 ISABELLA

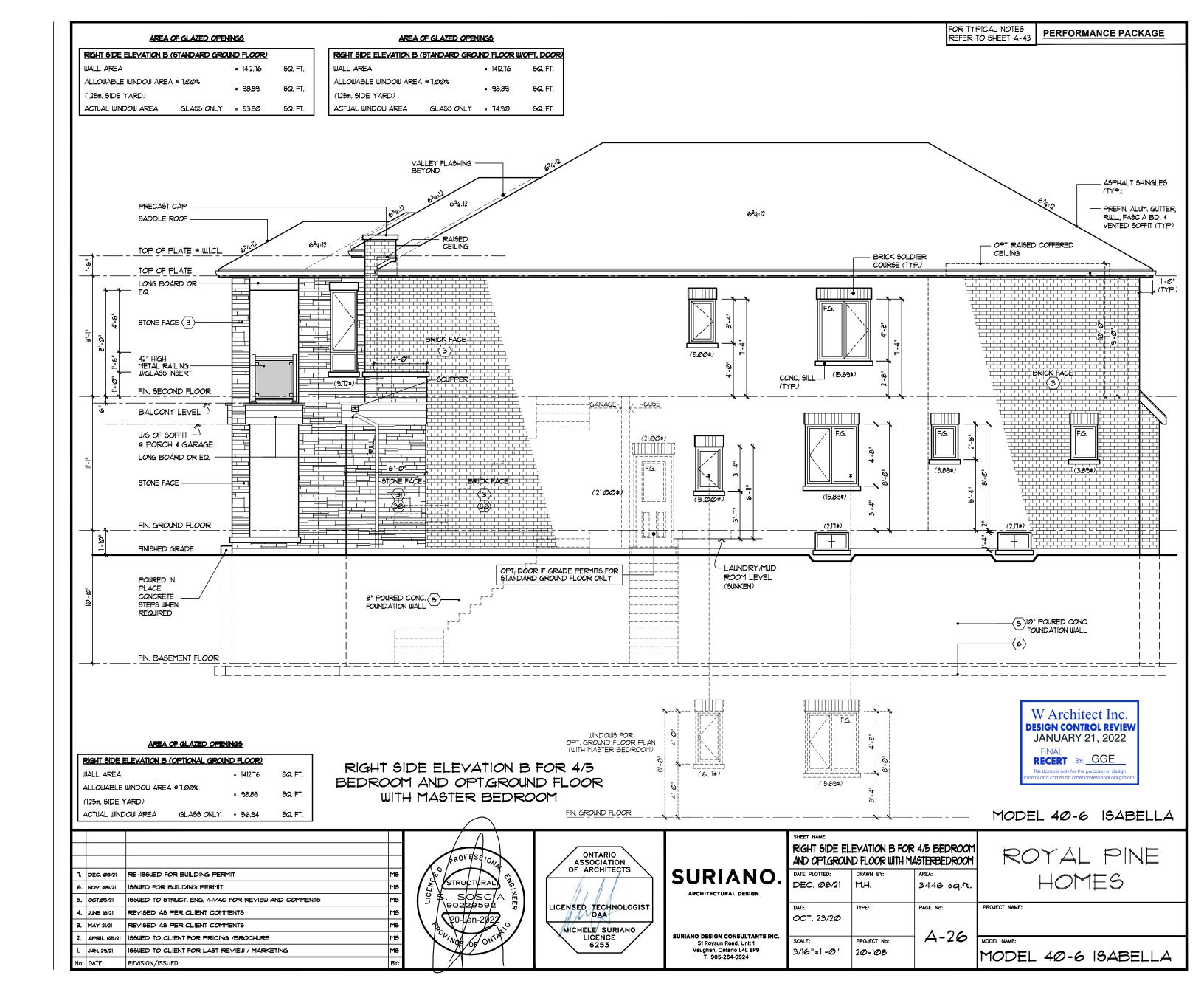


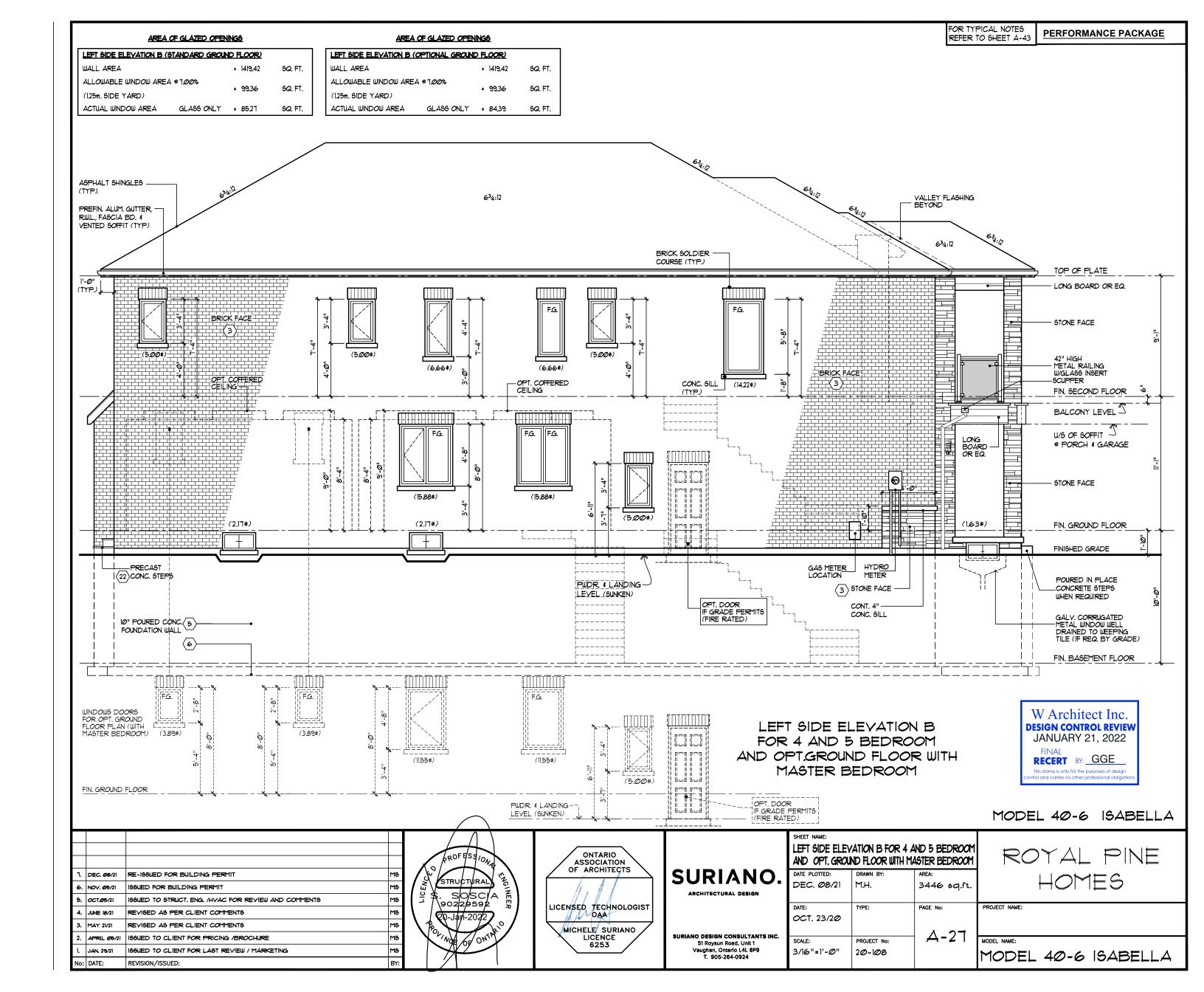


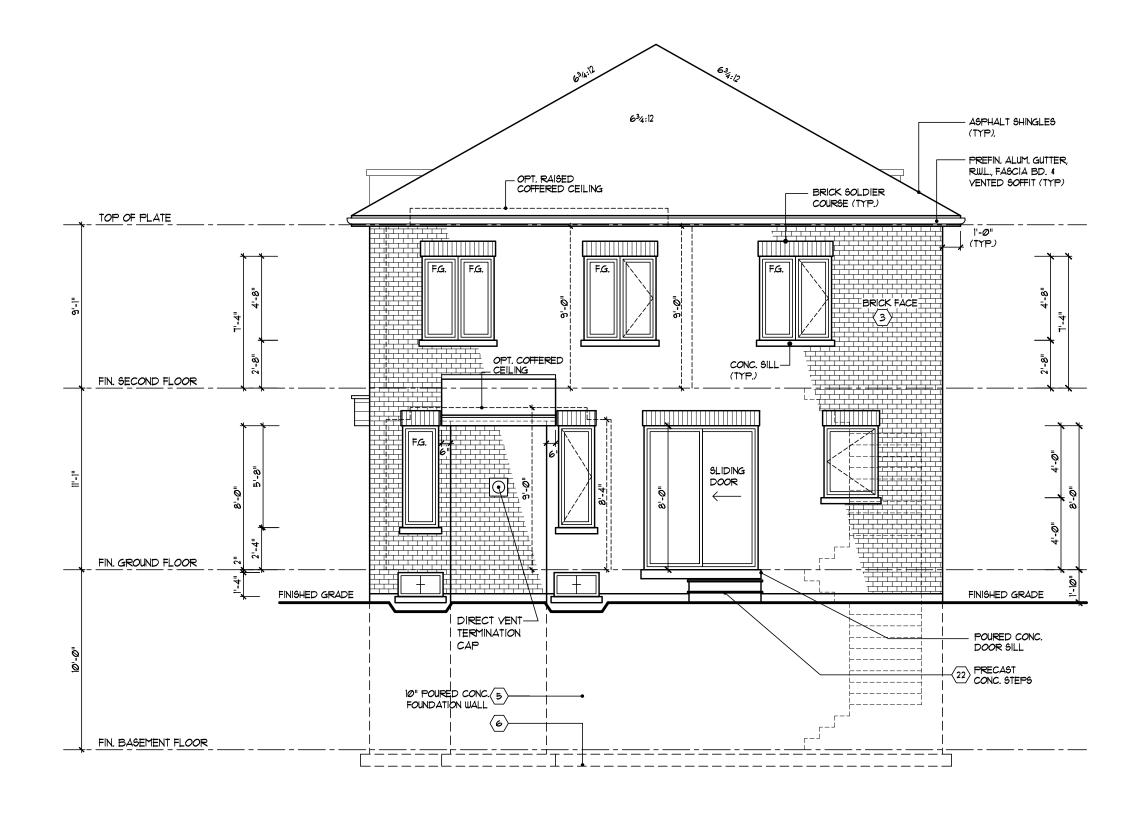








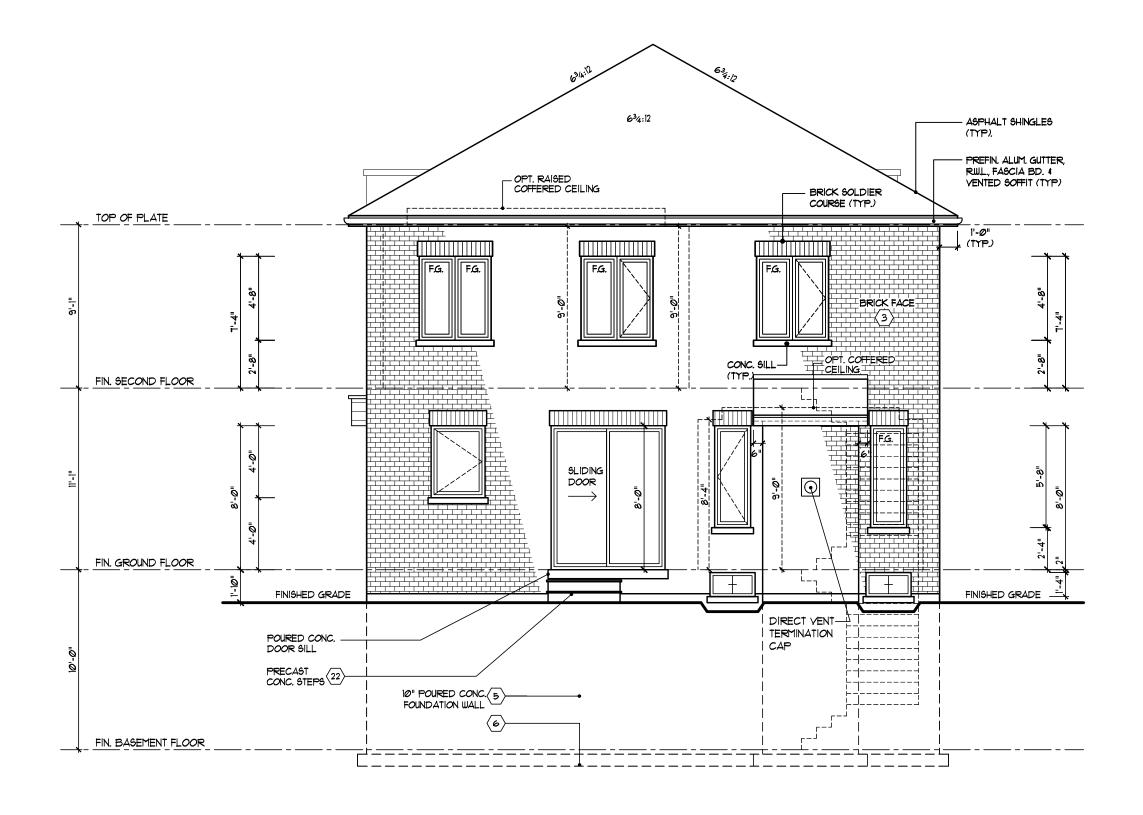






# REAR ELEVATION B (WITH STANDARD GROUND FLOOR PLAN)

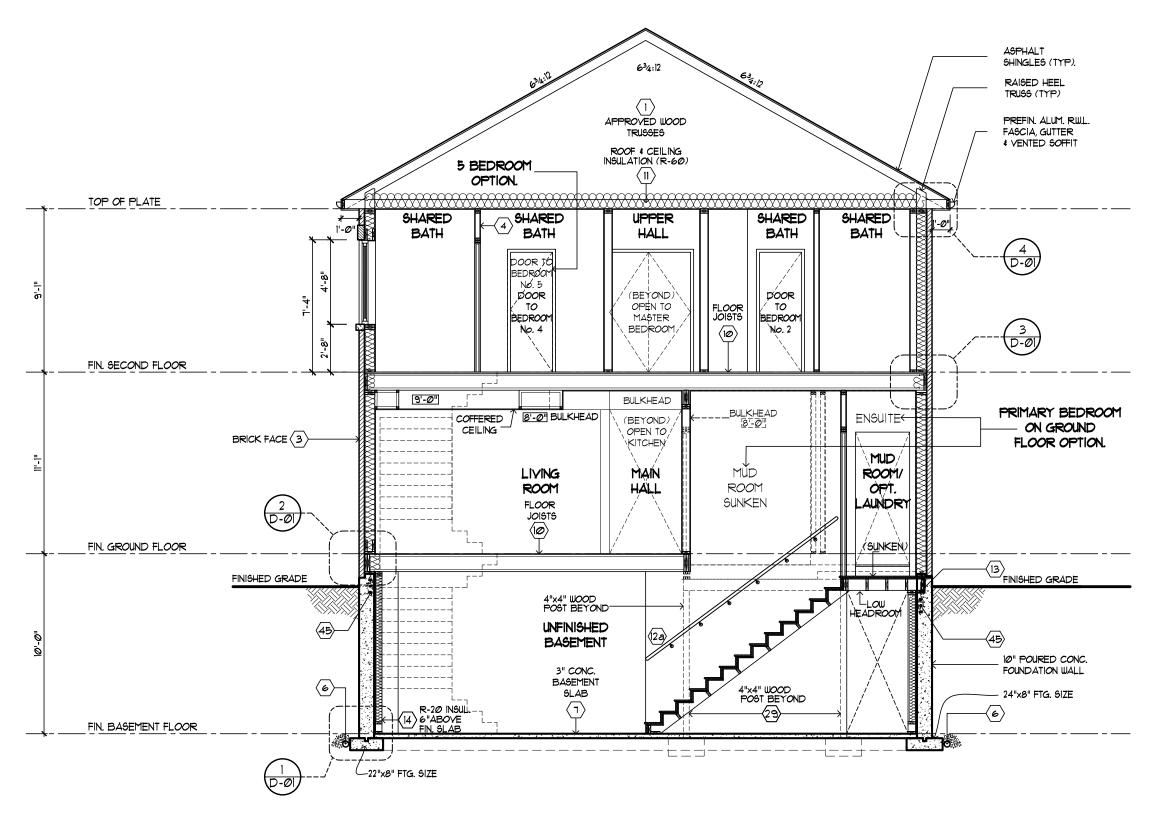
					PROFESSION	ONTARIO ASSOCIATION OF ARCHITECTS		SHEET NAME: REAR EL (WITH STANDA		B FL <i>oo</i> r Pl <i>a</i> n)	ROYAL PINE
	7. DE	EC. Ø8/21	RE-188UED FOR BUILDING PERMIT	MS		OF ARCHITECTS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	
	6. NO	OV. Ø5/21	ISSUED FOR BUILDING PERMIT	MS	STRUCTURAL	1,11	ARCHITECTURAL DESIGN	DEC. Ø8/21	M.H.	3446 sq.ft.	HOMES
	5. O	CT.Ø5/21	199UED TO STRUCT, ENG. /HYAC FOR REVIEW AND COMMENTS	MS	【약券. S O/SC/A 🖺 】 ▮	♀\$. S O SC A 点       // / / /					
	4. Ju	JNE 18/21	REVISED AS PER CLIENT COMMENTS	MS	90229592	LICENSED TECHNOLOGIST		DATE: OCT, 23/20	TYPE:	PAGE No:	PROJECT NAME:
	3. M4	AY 21/21	REVISED AS PER CLIENT COMMENTS	MS	20-Jan-2022	MICHELE SURIANO		001.25/20		_	
	2. AF	PRIL <i>0</i> 5/21	199UED TO CLIENT FOR PRICING /BROCHURE	MS	POLING ONTH	LICENCE	SURIANO DESIGN CONSULTANTS INC.	SCALE:	PROJECT No:	A-28	MODEL NAME:
	1. JA	AN. 29/21	166UED TO CLIENT FOR LAST REVIEW / MARKETING	MS	100 OF ON	6253	51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924	3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
١	No: DA	ATE:	REVISION/ISSUED:	BY:			1. 300-264-0924				I IODEL 40-0 ISABELLA





# REAR ELEVATION B (WITH OPTIONAL GROUND FLOOR PLAN)

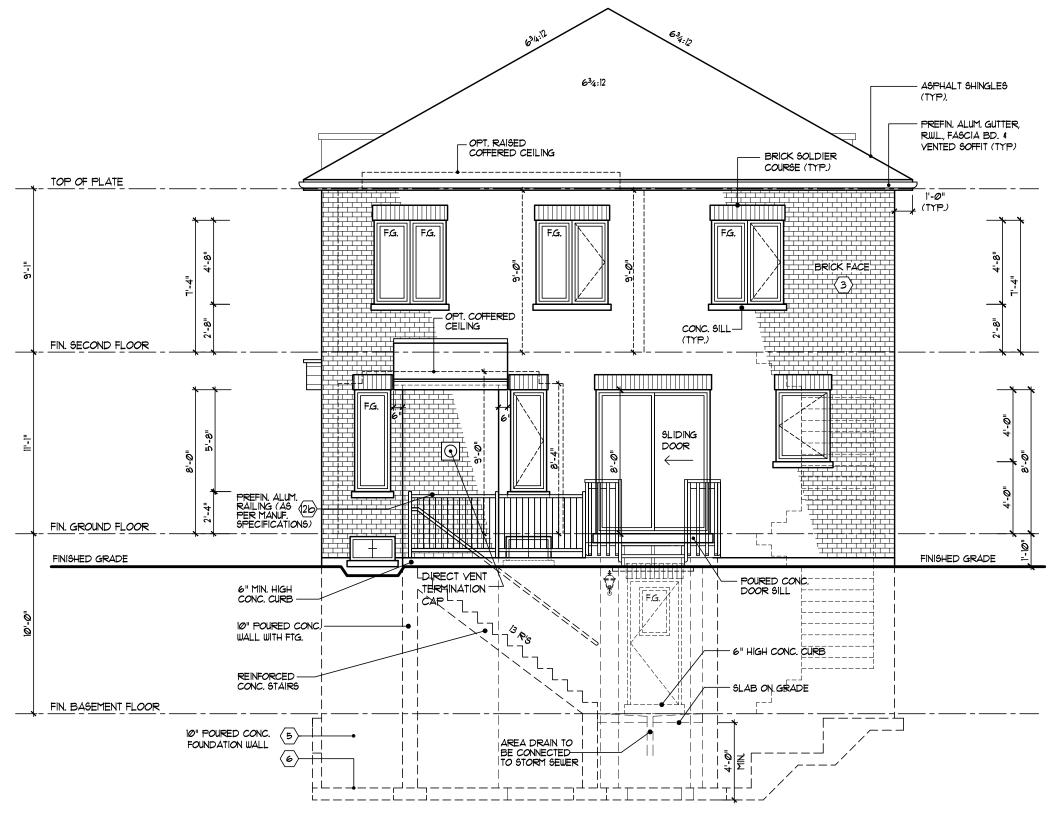
								MODEL 40-6 ISABELLA
7.	DEC. Ø8/21	RE-188UED FOR BUILDING PERMIT MS	ROFESSIONA STRUCTURAL S	ONTARIO ASSOCIATION OF ARCHITECTS	SURIANO.	SHEET NAME:  REAR ELEVATION (WITH OPTIONAL GROUND)  DATE PLOTTED: DRAWN BY:		
	NOV. Ø5/21 OCT.Ø5/21	ISSUED FOR BUILDING PERMIT  MS ISSUED TO STRUCT, ENG. /HYAC FOR REVIEW AND COMMENTS  MS	SOSCIA REER 90229592	1111	ARCHITECTURAL DESIGN	DEC. Ø8/21 M.H.	3446 sq.ft.	HOMES
4.	JUNE 18/21	REVISED AS PER CLIENT COMMENTS MS	20-Jan-2022	LICENSED TECHNOLOGIST		DATE: TYPE: OCT. 23/2Ø	PAGE No:	PROJECT NAME:
3. 2.		REVISED AS PER CLIENT COMMENTS  ISSUED TO CLIENT FOR PRICING /BROCHURE  MS	OF ONLY	MICHELE SURIANO LICENCE 6253	SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1	SCALE: PROJECT No:	A-29	MODEL NAME:
1. No	JAN. 29/21 DATE:	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING MS REVISION/ISSUED: BY:		0253	Vaughan, Ontario L4L 8P9 T. 905-264-0924	3/16"=1'-0" 20-108		MODEL 40-6 ISABELLA



BUILDING SECTION I FOR ELEVATION B FOR 4/5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM



					ROFESSION	ONTARIO ASSOCIATION				FOR 4/5 BEDROOM ASTER BEDROOM	
	7. DI	EC. Ø8/21	RE-188UED FOR BUILDING PERMIT	MS		OF ARCHITECTS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
	6. NO	OV. Ø5/21	ISSUED FOR BUILDING PERMIT	MS	STRUCTURAL 3	11.1	ARCHITECTURAL DESIGN	DEC. Ø8/21	FK-S	3446 sq.ft.	
	5. O	CT.Ø5/21	ISSUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	90229592 F	// / / /	ARCHITECTURAL DESIGN				
	4. Ju	INE 18/21	REVISED AS PER CLIENT COMMENTS	MS	\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \	LICENSED TECHNOLOGIST		DATE:	TYPE:	PAGE No:	PROJECT NAME:
3	3. M4	AY 21/21	REVISED AS PER CLIENT COMMENTS	MS	20-Jan-2022 o	MICHELE SURIANO		OCT. 23/2Ø			
- 7	2. AF	PRIL <i>0</i> 5/21	189UED TO CLIENT FOR PRICING /BROCHURE	MS	OL ON ON ON ON ON	LICENCE	SURIANO DESIGN CONSULTANTS INC.	SCALE:	PROJECT No:	A-3Ø	MODEL NAME:
1	l. JA	AN. 29/21	199UED TO CLIENT FOR LAST REVIEW / MARKETING	MS		6253	51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9	3/16"=1'-0"	20-108		
N	lo: D/	ATE:	REVISION/ISSUED:	BY:			T. 905-264-0924				MODEL 40-6 ISABELLA



W Architect Inc.

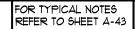
DESIGN CONTROL REVIEW
JANUARY 21, 2022

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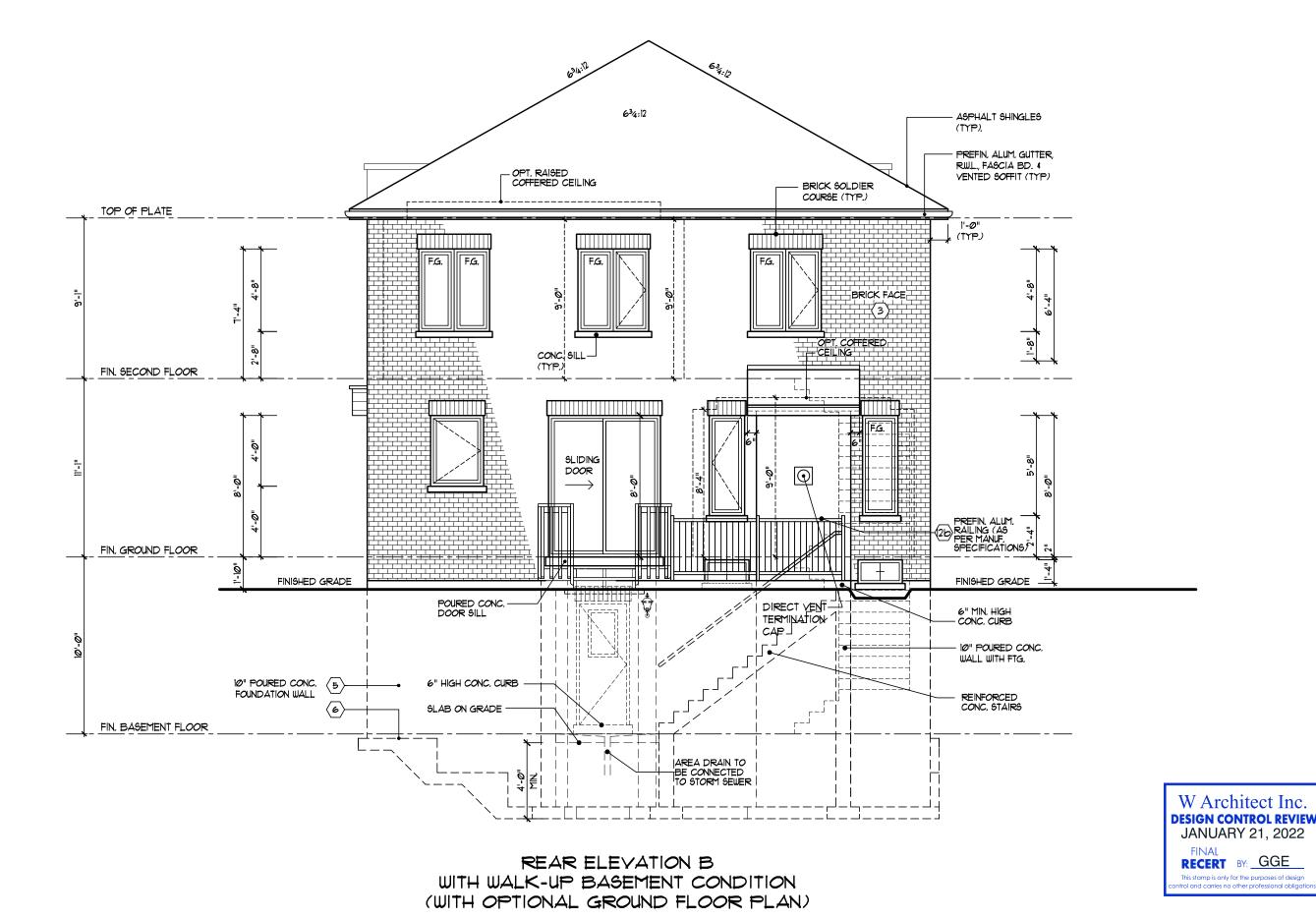
This stamp is only for the purposes of design control and carries no other professional obligations.

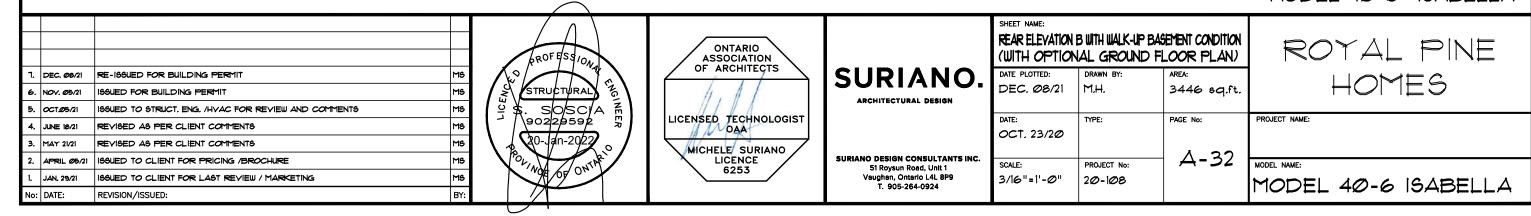
# REAR ELEVATION B WITH BASEMENT WALK-UP CONDITION (WITH STANDARD GROUND FLOOR PLAN)

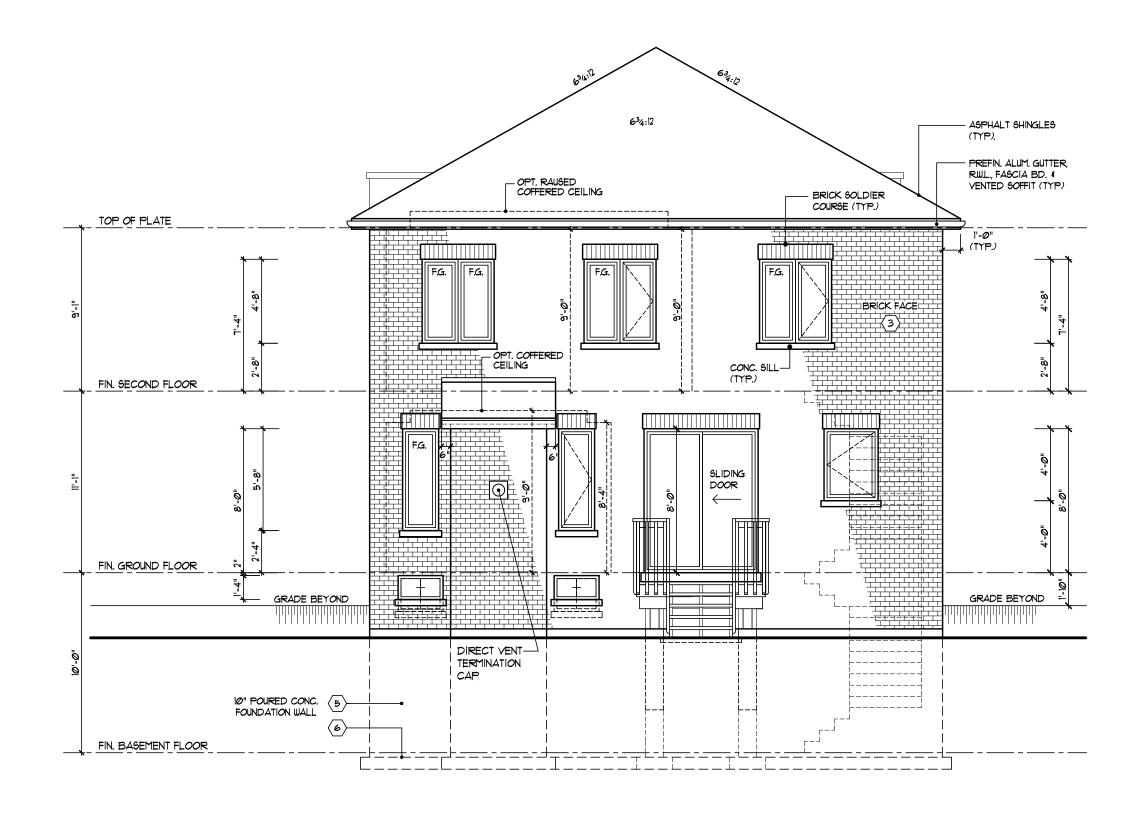
					ROF ESSIONA	ONTARIO ASSOCIATION OF ARCHITECTS				ALK-UP CONDITION FLOOR PLAN)	
	1. DEC	C. Ø8/21	RE-188UED FOR BUILDING PERMIT	MS	STRUCTURAL 25	7 % \	SURIANO.  ARCHITECTURAL DESIGN	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
e	5. NO	v. <i>0</i> 5/21	ISSUED FOR BUILDING PERMIT	MS	9 \$. SOSCIA F	11, 11		DEC. Ø8/21	M.H.	3446 sq.ft.	
5	5. OC	T.Ø5/21	199UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	~ / / ~ / / ~ / /	LICENSED TECHNOLOGIST					
4	4. JUN	NE 18/21	REVISED AS PER CLIENT COMMENTS	MS	0-Jan-2022			DATE: OCT, 23/20	TYPE:	PAGE No:	PROJECT NAME:
3	3. MA	Y 21/21	REVISED AS PER CLIENT COMMENTS	MS	OLINA ONINE	MICHELE SURIANO		001. 25/29			
2	?. API	RIL <i>0</i> 5/21	189UED TO CLIENT FOR PRICING /BROCHURE	MS		LICENCE	SURIANO DESIGN CONSULTANTS INC.	SCALE:	PROJECT No:	A-31	MODEL NAME:
1.	. JAN	N. 29/21	199UED TO CLIENT FOR LAST REVIEW / MARKETING:	MS		6253	51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924	3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
N	o: DAT	TE:	REVISION/ISSUED:	BY:			1. 505-264-0524				I OPEL TO BADELLA













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DESIGN CONTROL REVIEW

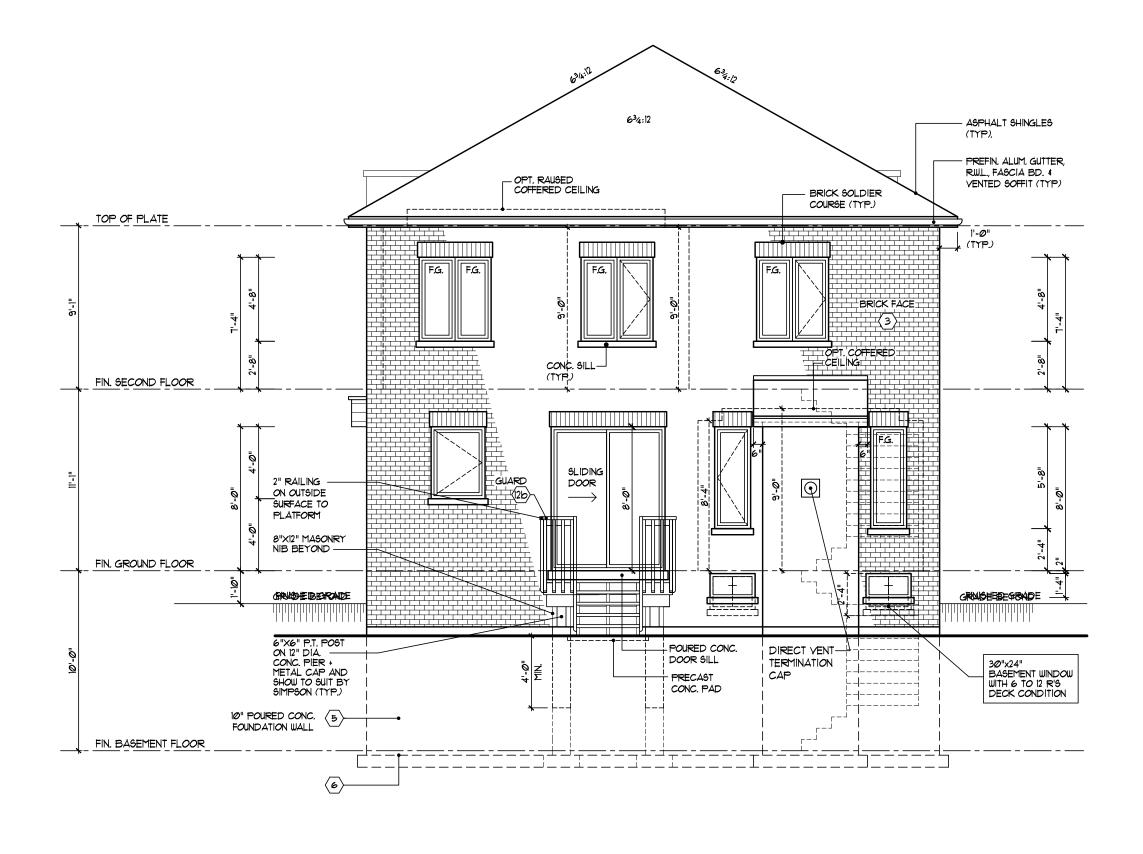
JANUARY 21, 2022

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					ROFESS 10N	ONTARIO ASSOCIATION OF ARCHITECTS				DECK CONDITION FLOOR PLAN)	
7.	DEC.	c. Ø8/21	RE-199UED FOR BUILDING PERMIT	MS	STRUCTURAL	OF ARCHITECIS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
6	. NOV.	<i>r. 0</i> 5/21	ISSUED FOR BUILDING PERMIT	MS	90229592 F	11, 11 1	ARCHITECTURAL DESIGN	DEC. Ø8/21	M.H.	3446 sq.ft.	
5	. ОСТ.	<b>.0</b> 5/21	199UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	an-2022 LICENSED TECHNOLOGIST					
4	. JUNE	E 18/21	REVISED AS PER CLIENT COMMENTS	MS	20-yan-2022 o			DATE: OCT. 23/20	TYPE:	PAGE No:	PROJECT NAME:
3	MAY	21/21	REVISED AS PER CLIENT COMMENTS	MS	OLINO OLINA	MICHELE SURIANO		001. 25/25			
2.	APRI	RIL <i>0</i> 5/21	199UED TO CLIENT FOR PRICING /BROCHURE	MS	3000	LICENCE	SURIANO DESIGN CONSULTANTS INC.	SCALE:	PROJECT No:	<i>-</i>	MODEL NAME:
l.	JAN.	. 29/21	199UED TO CLIENT FOR LAST REVIEW / MARKETING	MS		6253	51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924	3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
No	: DATE	E:	REVISION/ISSUED:	BY:	· ,		1. 500-204-0524				I OPEL 40-0 ISADELLA





W Architect Inc.

DESIGN CONTROL REVIEW

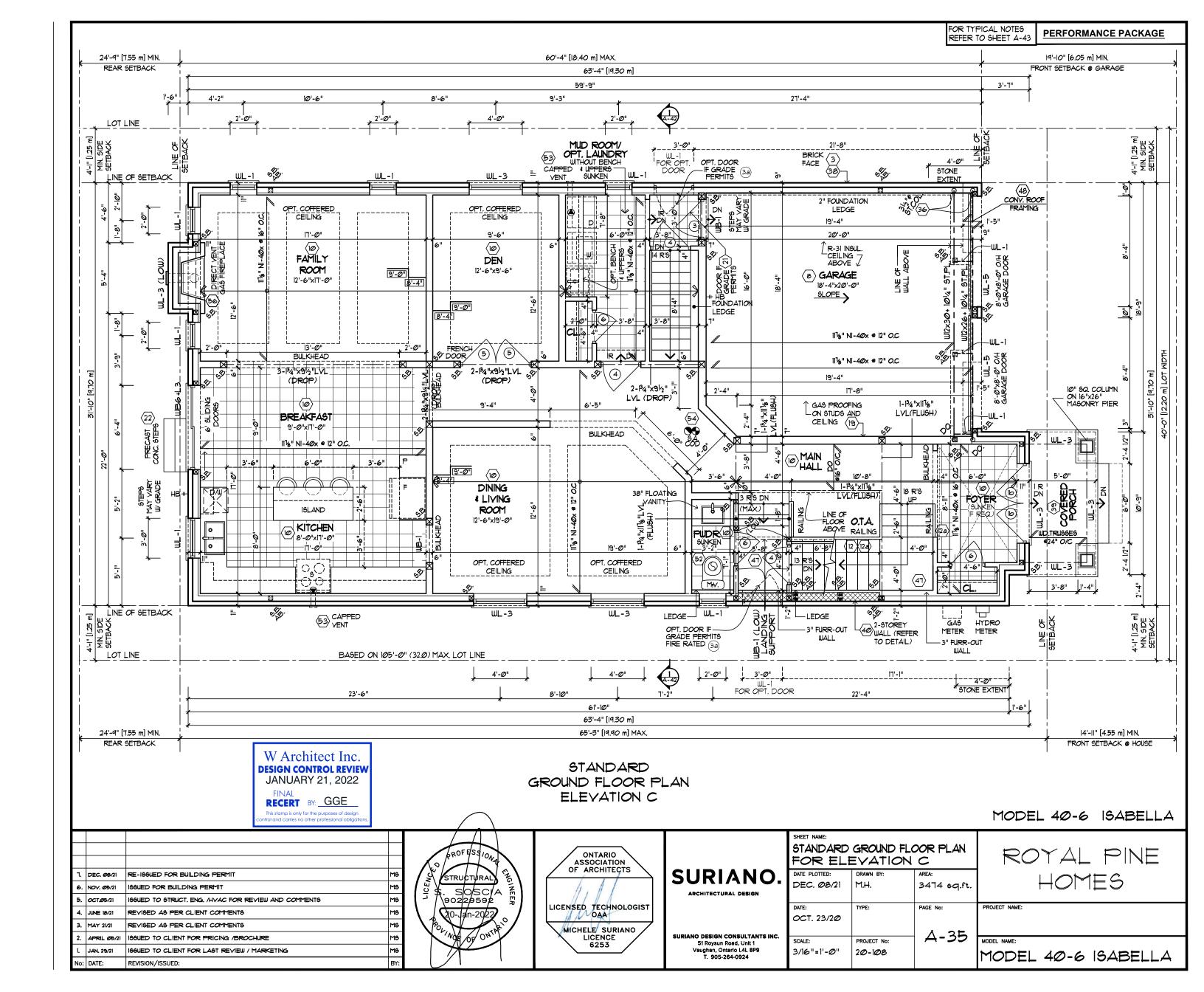
JANUARY 21, 2022

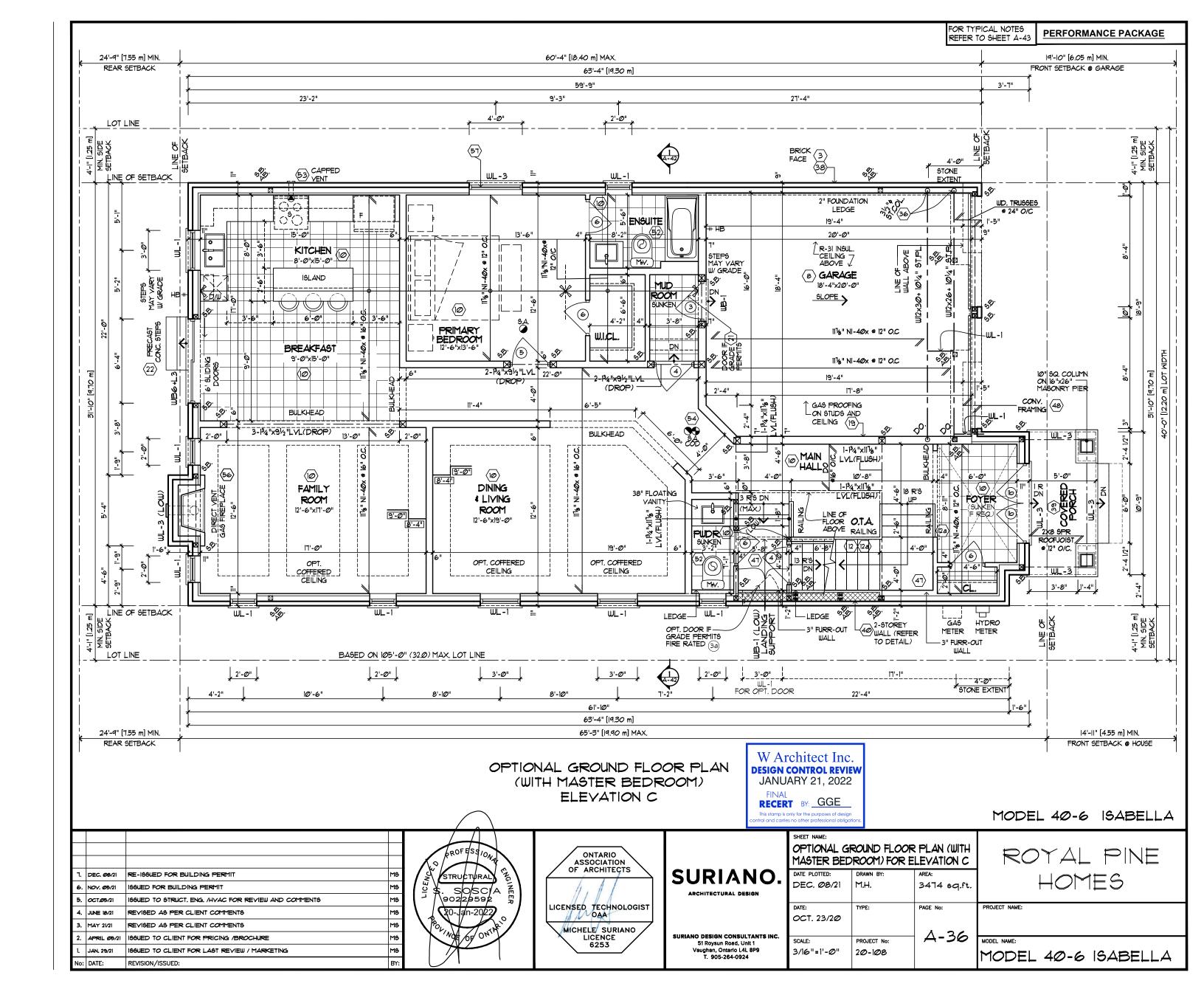
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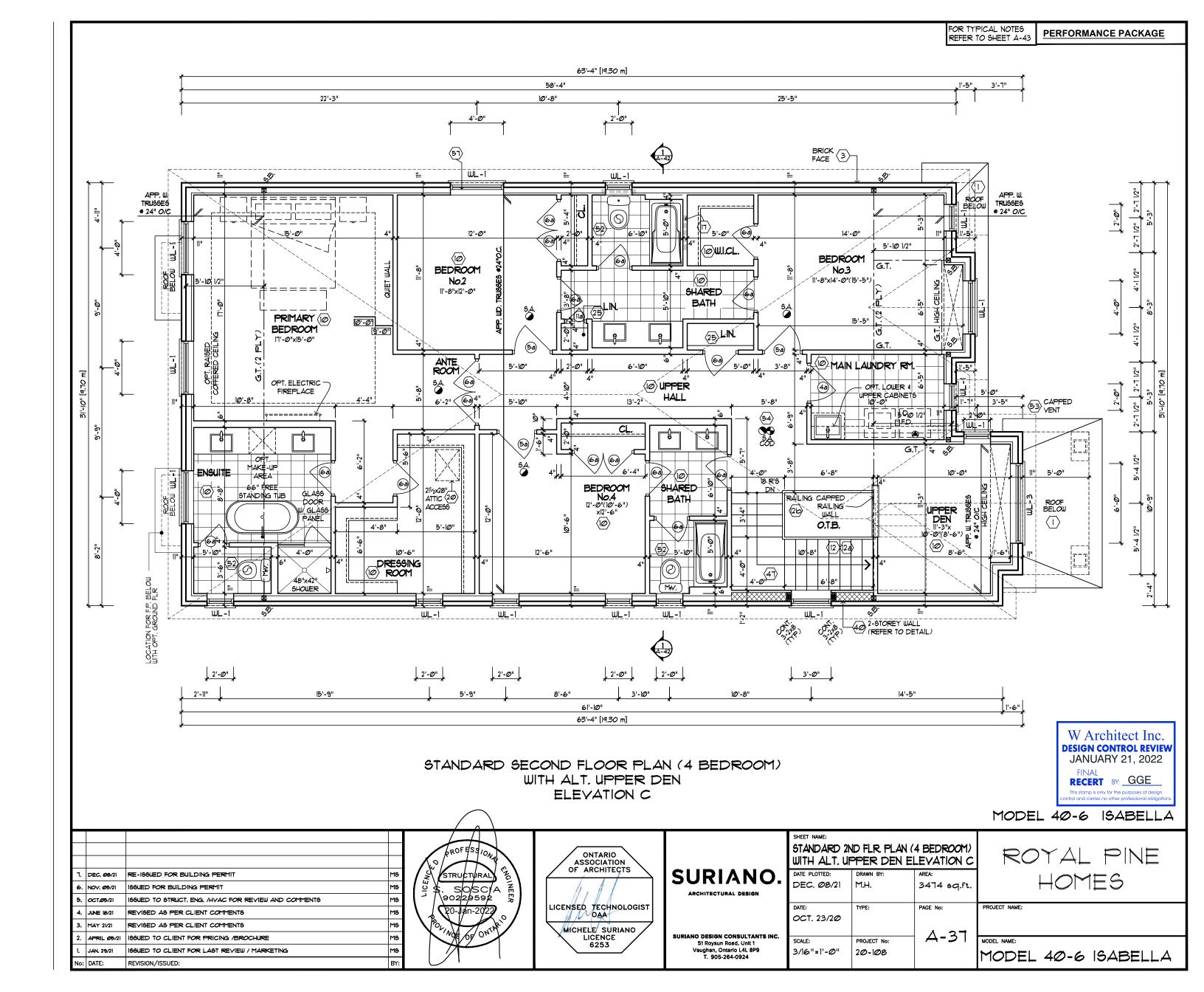
RECERT BY: GGE

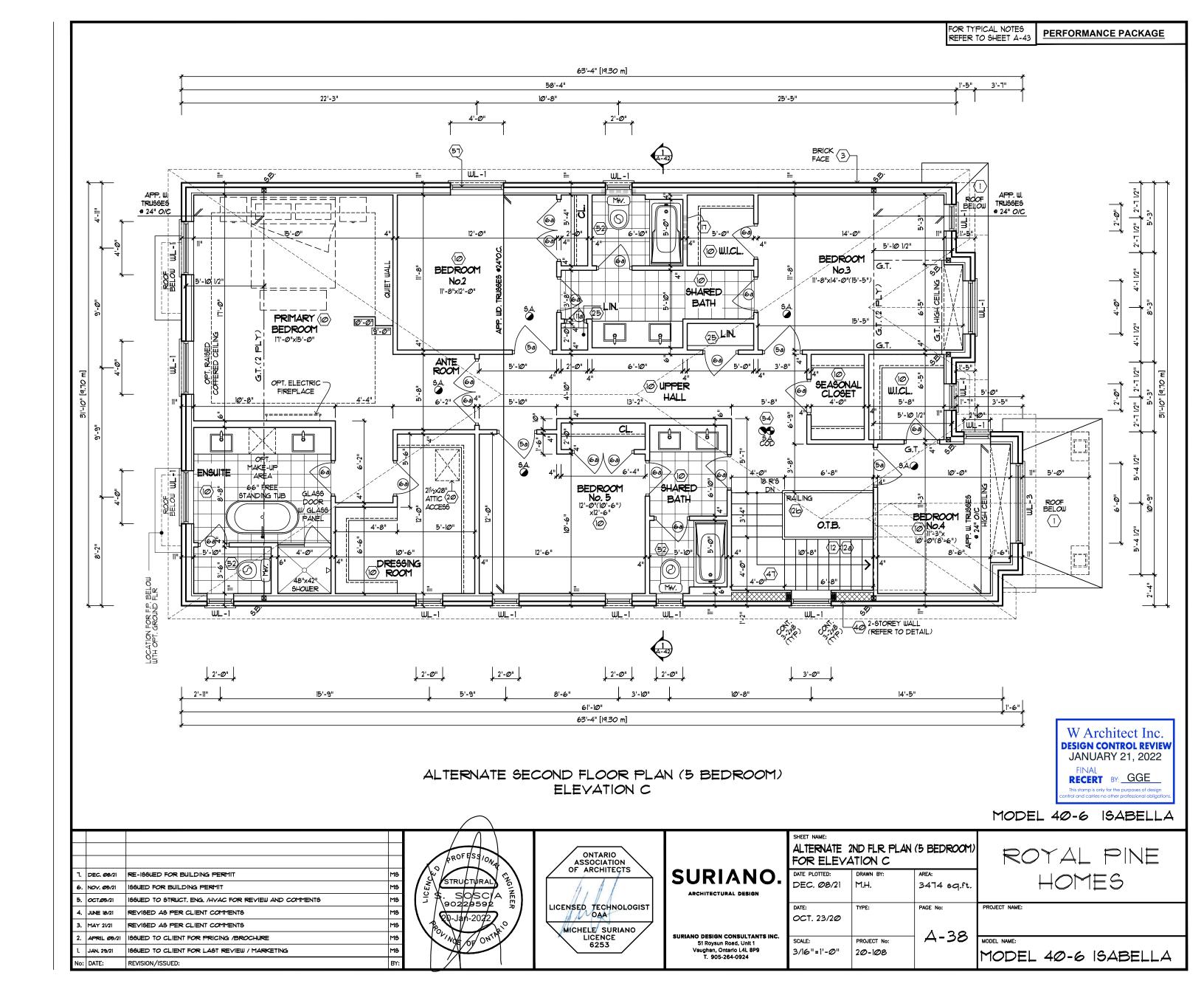
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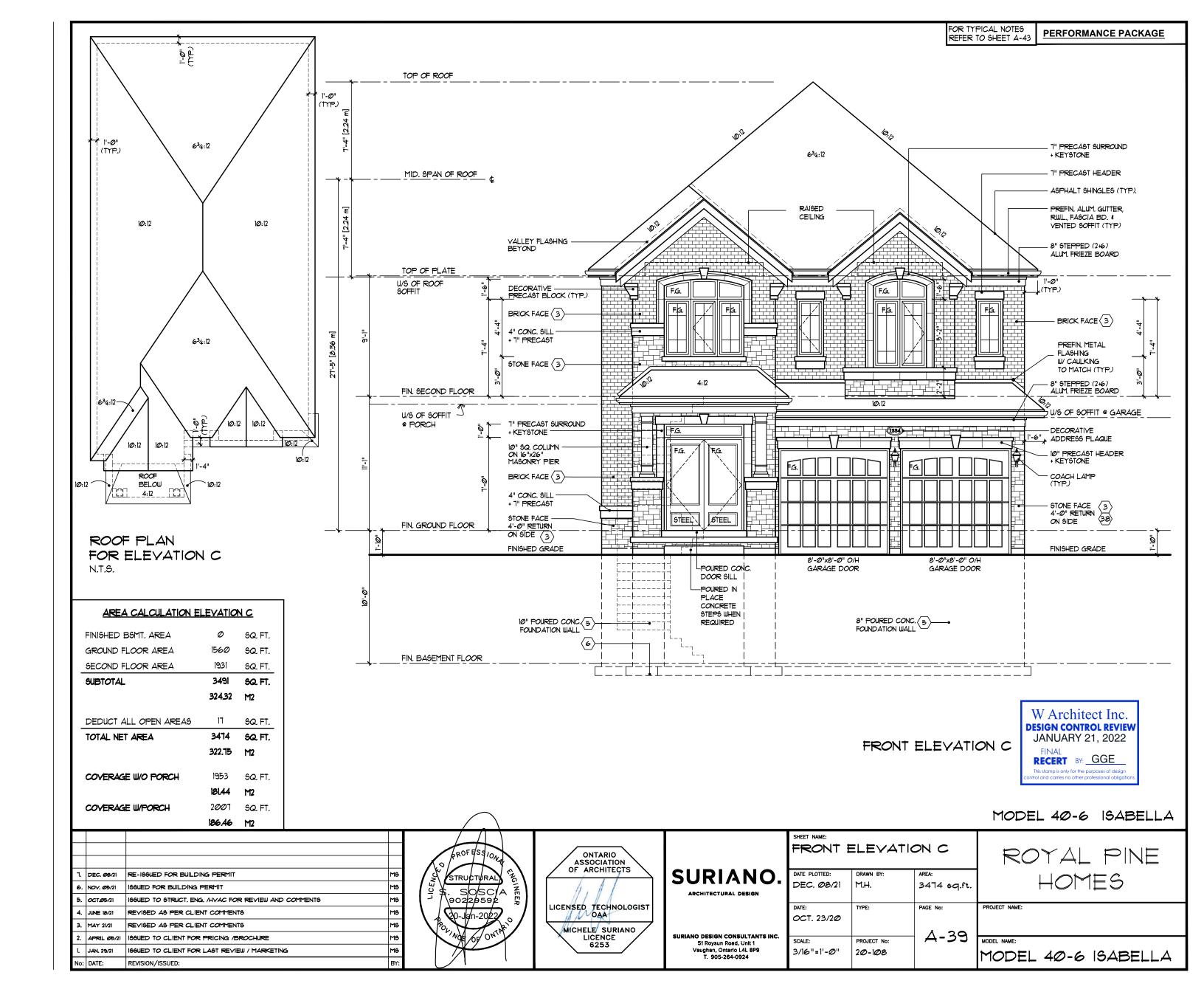
					ROFESS/ONA	ONTARIO ASSOCIATION OF ARCHITECTS		SHEET NAME: REAR ELEVATION (WITH OPTION			ROYAL PINE
L	1. DI	EC. Ø8/21	RE-166UED FOR BUILDING PERMIT			OF ARCHITECTS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
	6. NO	OV. Ø5/21	ISSUED FOR BUILDING PERMIT	'	STRUCTURAL)	11 , 11 1	ARCHITECTURAL DESIGN	DEC. Ø8/21	M.H.	3446 sq.ft.	
	5. O	CT.Ø5/21	16SUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS		SOSCIA É						
-	4. Ju	INE 18/21	REVISED AS PER CLIENT COMMENTS	1 / / -	90229592	LICENSED TECHNOLOGIST		DATE: OCT, 23/2Ø	TYPE:	PAGE No:	PROJECT NAME:
	3. M/	AY 21/21	REVISED AS PER CLIENT COMMENTS		0-Jan-2022 0	MICHELE SURIANO		001. 23/29			
	2. AF	PRIL <i>0</i> 5/21	199UED TO CLIENT FOR PRICING /BROCHURE	10/	NOT OF ONTAK	LICENCE	SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1	SCALE:	PROJECT No:	A-34	MODEL NAME:
	. JA	AN. 29/21	166UED TO CLIENT FOR LAST REVIEW / MARKETING			6253	Vaughan, Ontario L4L 8P9 T. 905-264-0924	3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
٨	lo: D/	ATE:	REVISION/ISSUED: E		//		1. 303-204-0924				I IODEL 40-0 IOADELLA

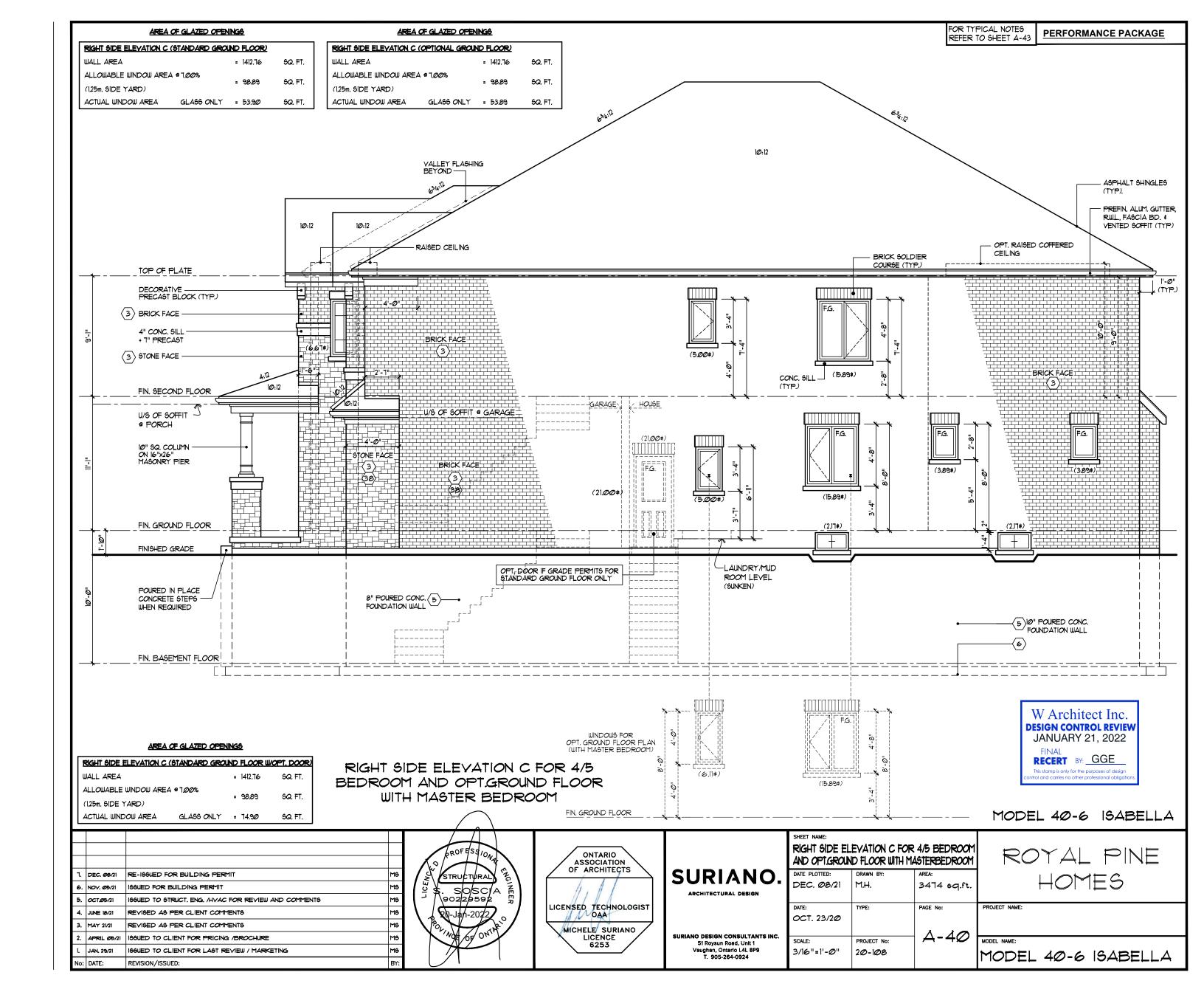


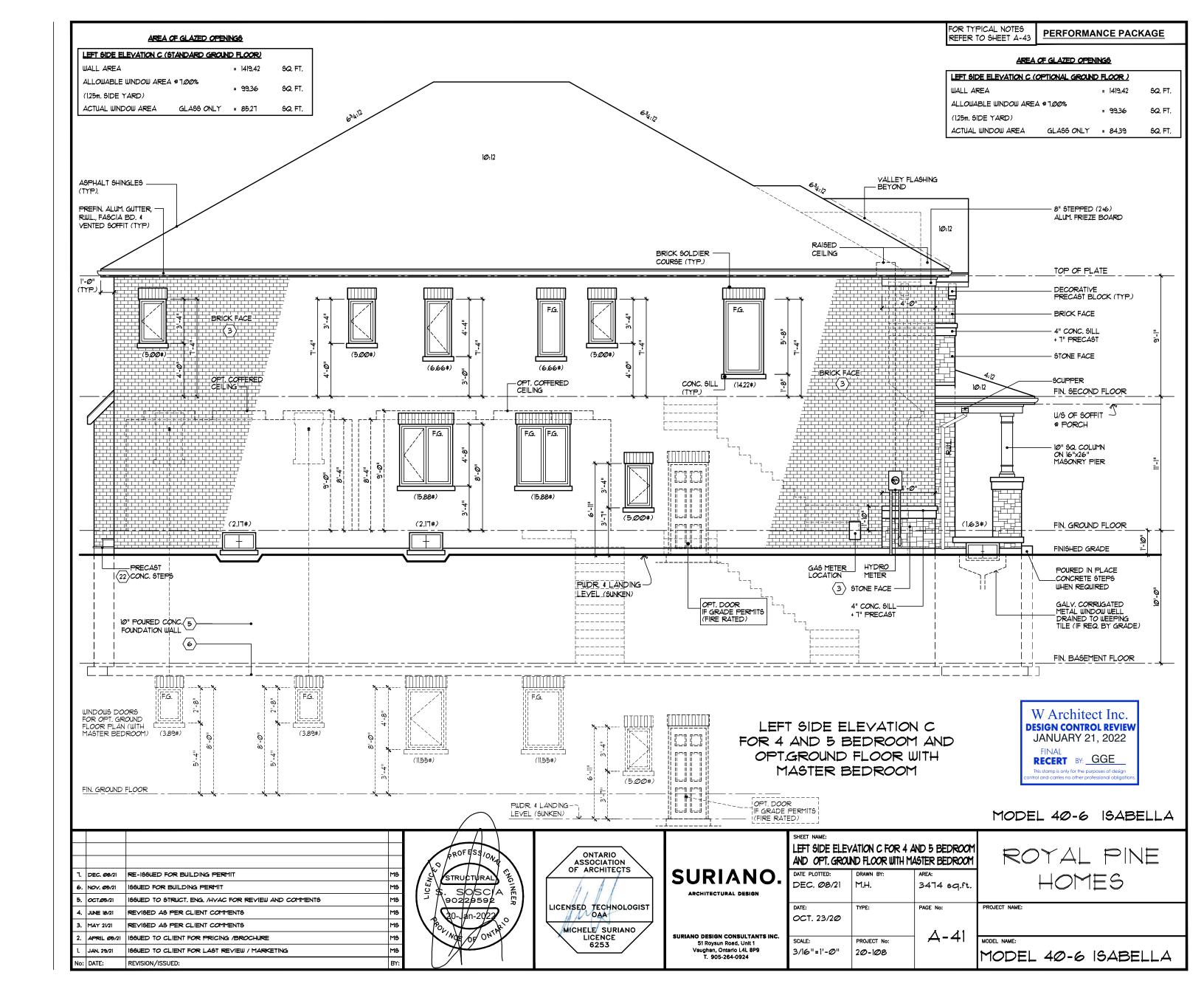


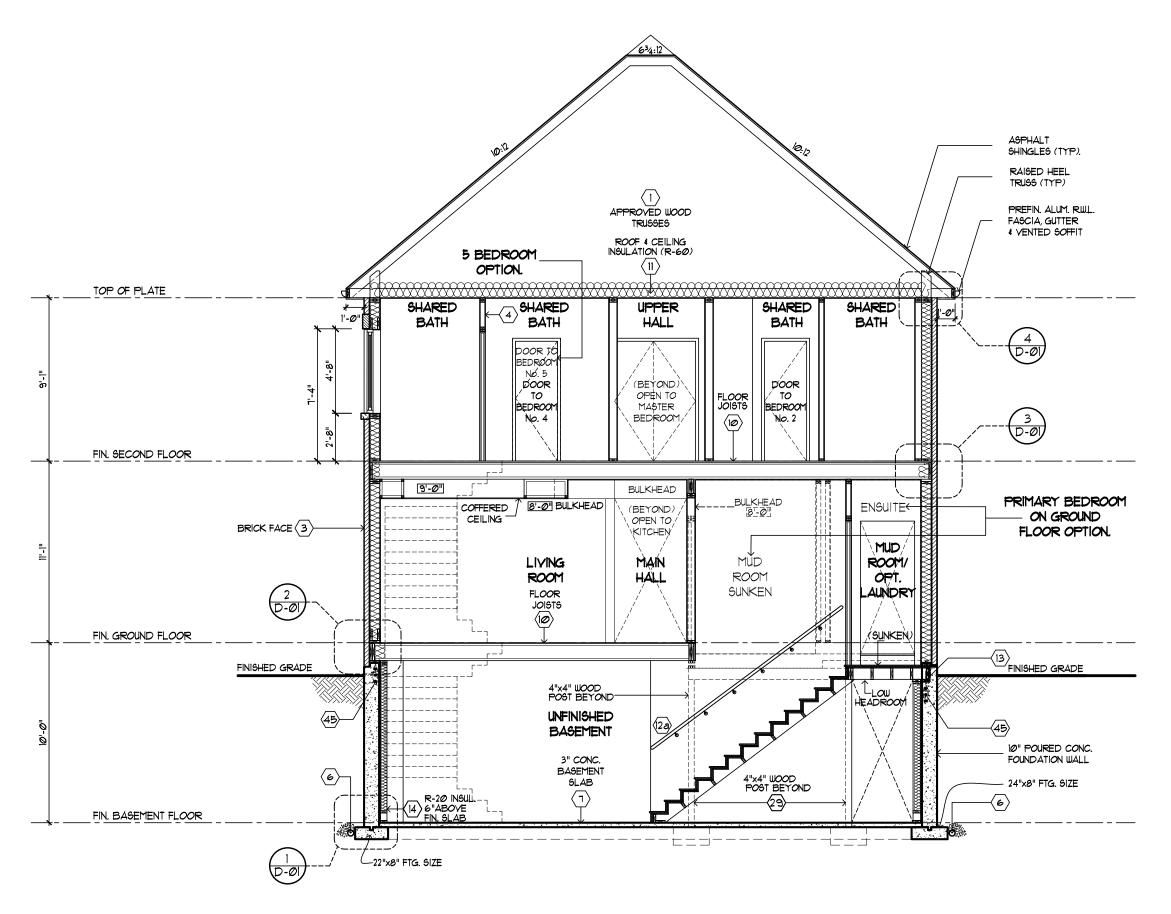












BUILDING SECTION 1 FOR ELEVATION C FOR 4/5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM W Architect Inc.

DESIGN CONTROL REVIEW
JANUARY 21, 2022

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					ROF ESSIONA	ONTARIO ASSOCIATION OF ARCHITECTS				FOR 4/5 BEDROOM ASTER BEDROOM	
	1. DI	EC. Ø8/21	RE-199UED FOR BUILDING PERMIT	MS	3	OF ARCHITECIS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
- 1	5. NO	OV. Ø5/21	199UED FOR BUILDING PERMIT	MS	STRUCTURAL	1. 1	ARCHITECTURAL DESIGN	DEC. Ø8/21	FK-S	3474 sq.ft.	
1	5. O	CT.Ø5/21	ISSUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	9 \$. SOSC/A R 1 \90229592 F	//_/ // /					
	4. Ju	UNE 18/21	REVISED AS PER CLIENT COMMENTS	MS	~ / ~ ~ / /		7164	DATE: OCT, 23/20	TYPE:	PAGE No:	PROJECT NAME:
	3. M/	IAY 21/21	REVISED AS PER CLIENT COMMENTS	MS	20-Jan-2022	MICHELE SURIANO		001. 25/20			
:	. AF	PRIL <i>0</i> 5/21	199UED TO CLIENT FOR PRICING /BROCHURE	MS	OLINO OF ONTAR	LICENCE	SURIANO DESIGN CONSULTANTS INC.	SCALE:	PROJECT No:	<b>⊢ △-42</b>	MODEL NAME:
	. JA	AN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS		6253	51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9	3/16"=1'-0"	20-108		
N	o: DA	ATE:	REVISION/ISSUED:	BY:	//		T. 905-264-0924				MODEL 40-6 ISABELLA

#### TYPICAL NOTES:

ALL CONCRETE FOOTING SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 150 Kpa (3000 PSF) AND BE FOUNDED A MIN. OF 4'-0" BELOW FINISHED GRADE.

CONCRETE STRENGTH FOR FOOTINGS SHALL BE A MIN. OF ISMPA. OR 20MPA. AS PER OBC TABLE 9.15.42.A.

CONCRETE STRENGTH FOR GARAGE SLAB CONCRETE PORCHES AND STEPS SHALL BE A MIN. 32 MPa. WITH 5 - 8% ENTRAINMENT, UNLESS NOTED OTHERWISE,

CONCRETE STRIP FOOTING SIZE FOR 10" P. CONC. WALLS SHALL BE MIN. OF 8"x22" UNREINFORCED FOR UP TO 16'-0" JOIST SPAN

THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION, 2 FLOORS AND ROOF OF LIGHT WOOD FRAME CONSTRUCTION, WITH SPAN OF SUPPORTED JOIST THAT DO NOT EXCEED 4.9m (16'-1") AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 2.4 Kpa (50 PSF)

REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.

3/4" SUB FLOOR TO BE GLUED & NAILED (TYP.)

REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT.

ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DRAWINGS.

ALL LYLS SHALL BE 1.8E/2.0E GRADE MICROLLAM LYL OR BETTER U. S. O.

## BRICK VENEER LINTELS

WL1	= 3 1/2" x 3 1/2" x 1/4"	(90x90x6)	+	2- 2" x 8"	SPF
WL2	= 4" x 3 1/2" x 5/16"	(100x90x8)	+	2- 2" x 8"	SPF
WL3	= 5" x 3 1/2" x 5/16"	(125×9Øx8)	+	2- 2" x 1Ø"	SPF
WL4	= 6" x 3 1/2" x 3/8"	(150x90x10)	+	2- 2" x 12"	SPF
WL5	= 6" × 4" × 3/8"	(150x100x10)	+	2- 2" x 12"	SPF
WL6	= 5" x 3 1/2" x 5/16"	(125x9Øx8)	+	2- 2" x 12"	SPF
WLT	= 5" × 3 1/2" × 5/16"	(125×9Øx8)	+	3- 2" x 10"	SPF
WL8	= 5" x 3 1/2" x 5/16"	(125×9Øx8)	+	3- 2" x 12"	SPF
WL9	= 6" × 4" × 5/16"	(150x100x10)	+	3- 2" x 12"	SPF

CI= 31/2" \$x1/4" STEEL COL. ON CONC. FTG. + 6"x6"x1/2" BASE & CAP PLATE. WELD TO BM. ANCHOR TO FTG. W/ 2- \$1/2"x6" AB

FI= 36"x36"x16"	F2= 24"x24"x12"
F3= 18"x18"x8"	

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO

#### SOLID BEARING:

5B MINIMUM 3-2"x4" OR 3-2"x6" BUILT UP COLUMNS

#### BUILT UP COLUMNS:

- NAILED W/ I ROW FOR 2"x4" COLUMN
- NAILED W/ 2 ROW FOR 2"x6" COLUMN NAIL LENGTH TO MATCH TOTAL BUILT UP WIDTH
- NAILS SPACED @ 8" O/C
- PROVIDE SQUASH BLOCKS TO TRANSFER POINT LOADS BETWEEN FLOORS

## STEEL LINTELS

L1	=	3 1/2" x 3 1/2" x 1/4"	(89x89x6.4)
L2	=	4" x 3 1/2" x 5/16"	(1Ø2x89x7.9)
L3	=	5" x 3 1/2" x 5/16"	(127x89xT.9)
L4	=	6" x 3 1/2" x 3/8"	(152x89x9.5)
L5	=	6" x 4" x 3/8"	(152x1Ø2x9.5)
L6	=	7" x 4" x 3/8"	(178x1Ø2x9.5)
L٦	=	7" ×4" × 1/2"	(178xlØ2xl3)

#### WOOD LINTELS AND BEAMS

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM.

INCLUDING BEAMS AND SUPPORT, REFER TO THE
APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

## LAMINATED VENEER LUMBER

LVLIA	= 1-1 3/4" x 7 1/4"	(1-45x184)
LVLI	= 2-1 3/4" x 7 1/4"	(2-45x184)
LVL2	= 3-1 3/4" x 7 1/4"	(3-45x184)
LVL3	= 4-1 3/4" x 7 1/4"	(4-45x184)
LVL4A	= 1-1 3/4" x 9 1/2"	(1-45x235)
LVL4	= 2-1 3/4" x 9 1/2"	(2-45x235)
LVL5	= 3-1 3/4" x 9 1/2"	(3-45x235)
LVL5A	= 4-1 3/4" x 9 1/2"	(4-45x235)
LVL6A	= 1-1 3/4" x 11 7/8"	(1-45x3 <i>00</i> )
LVL6	= 2-1 3/4" x 11 7/8"	(2-45x3ØØ)
LVLT	= 3-1 3/4" x 11 7/8"	(3-45x3 <i>00</i> )
LVLTA	= 4-1 3/4" x 11 7/8"	(4-45x3@@)

#### TYPICAL ELEVATION NOTES:

REFER TO TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

NOTE: ELEVATIONS DO NOT REPRESENT ACTUAL FINISHED GRADES (REFER TO GRADING PLANS)

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS 4 INFO.

# TYPICAL GROUND FLOOR PLAN NOTES:

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HYAC DRAWINGS

DENOTES CEILING HEIGHT

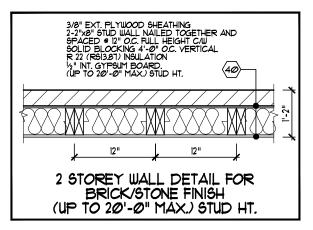
#### TYPICAL GROUND FLOOR NOTES

- REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT
- 5/8" SUB-FLOOR TO BE GLUED & NAILED (TYP.)
- ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DWG'S.
- ALL LYLS SHALL BE 1.9E GRADE MICROLLAM LYL OR BETTER U. S. O.

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM, INCLUDING BEAMS AND SUPPORT REFER TO THE APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

ALL GARAGE DOORS INTO THE HOUSE SHALL BE GAS PROOFED AND HAVE SELF-CLOSING DEVICES. EACH DOOR SHALL HAVE STAIRS CONFORMING TO O.B.C.





### TYPICAL SECOND FLOOR PLAN NOTES:

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

ALL RETURN AIR PARTITIONS TO BE 6". REFER TO HVAC DRAWINGS

10'-0" 9'-0"

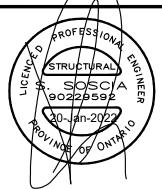
DENOTES CEILING HEIGHT

DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 3/D-10

W Architect Inc. **DESIGN CONTROL REVIEW** JANUARY 21, 2022 RECERT BY: GGE

MODEL 40-6 ISABELLA

				1
٦.	DEC. Ø8/21	RE-ISSUED FOR BUILDING PERMIT	MS	1
6.	NOV. Ø5/21	ISSUED FOR BUILDING PERMIT	MS	1 (
5.	OCT.Ø5/21	ISSUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS	ı١
4.	JUNE 18/21	REVISED AS PER CLIENT COMMENTS	MS	l '
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS	
2.	APRIL Ø5/21	199UED TO CLIENT FOR PRICING /BROCHURE	MS	i
1.	JAN. 29/21	188UED TO CLIENT FOR LAST REVIEW / MARKETING	MS	i
No:	DATE:	REVISION/ISSUED:	BY:	



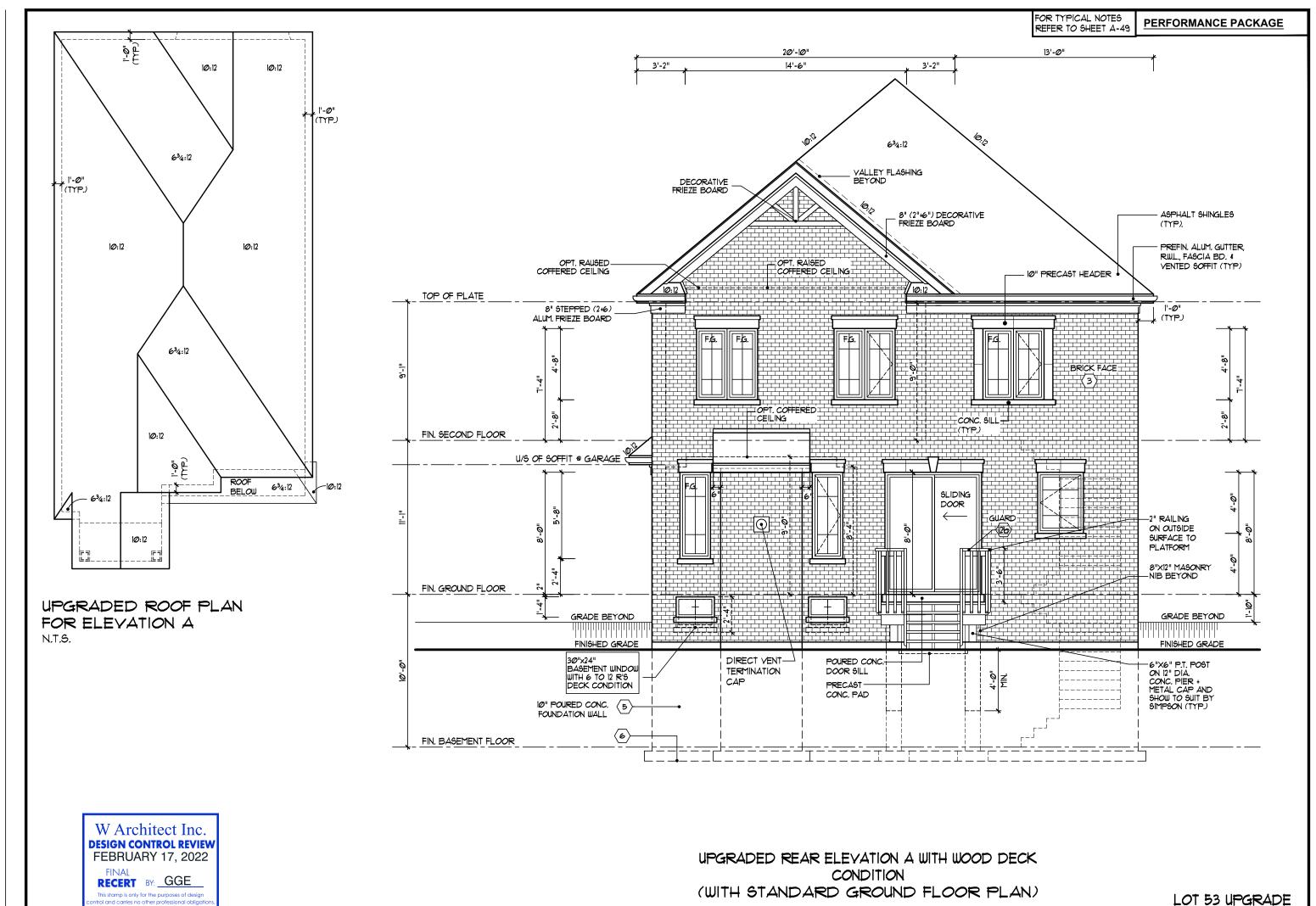




SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T. 905-264-0924

			TOPEL TOTALLE
SHEET NAME: TYPICAL	NOTES		ROYAL PINE
DEC. Ø8/21	DRAWN BY: M.H./N.D.	AREA:	HOMES
DATE: OCT. 23/2Ø	TYPE:	PAGE No:  A-43	PROJECT NAME:  VALES OF HUMBER
SCALE: 3/16"=1'-0"	PROJECT No: 20-102	A-45	MODEL 40-6 ISABELLA

ROYAL PINE HOMES
OJECT NAME:
ALES OF HUMBER
DEL NAME:



9. FEB. 15/22 ISSUED FOR BUILDING PERMIT 8. FEB. Ø1/22 ISSUED FOR REAR ELEVATION UPGRADE REVIEW RE-ISSUED FOR BUILDING PERMIT DEC. Ø8/21 ISSUED FOR BUILDING PERMIT NOV. Ø5/21 SSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS OCT.Ø5/21 REVISED AS PER CLIENT COMMENTS REVISED AS PER CLIENT COMMENTS APRIL Ø5/21 ISSUED TO CLIENT FOR PRICING /BROCHURE

ISSUED TO CLIENT FOR LAST REVIEW / MARKETING

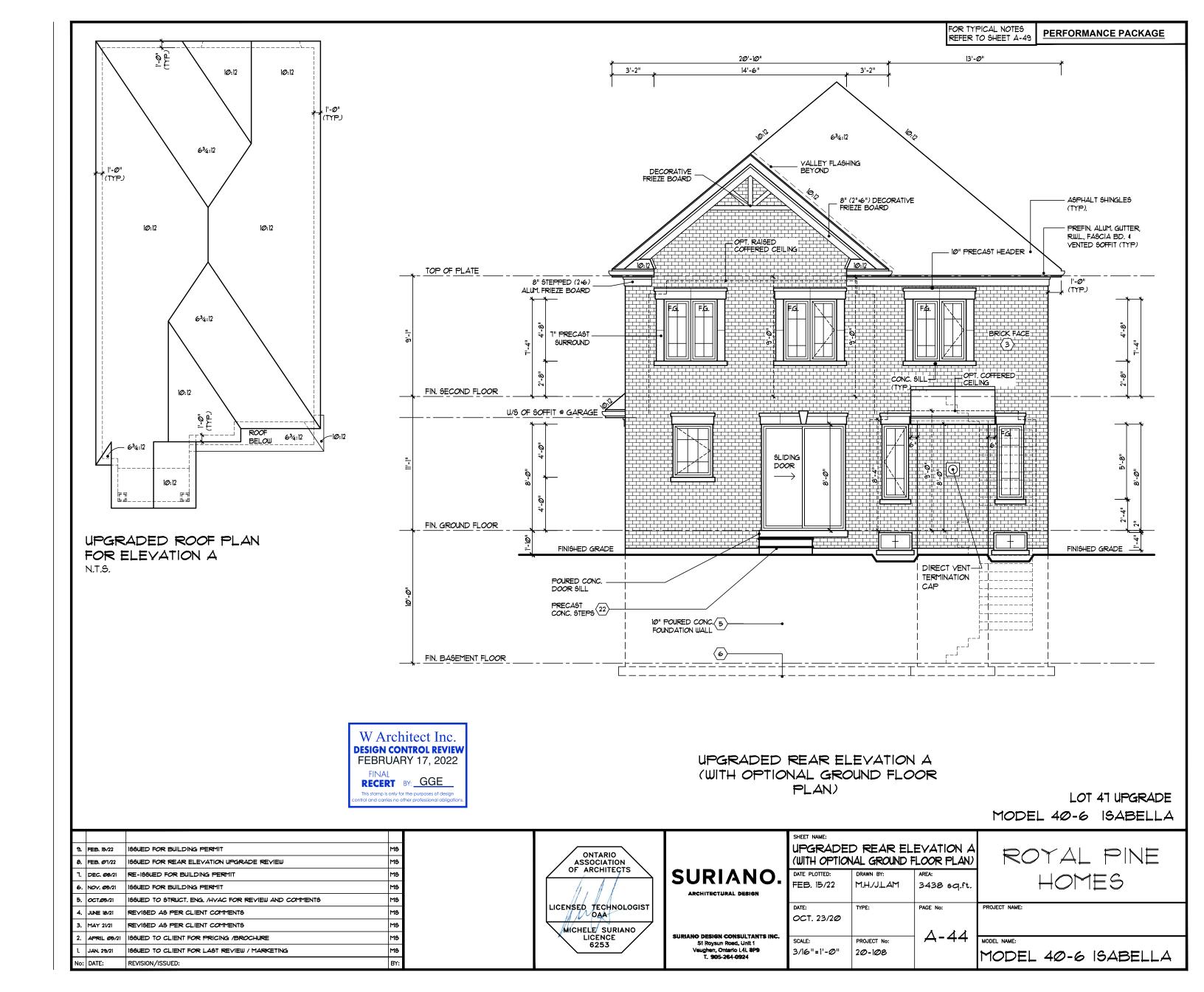
JAN, 29/21

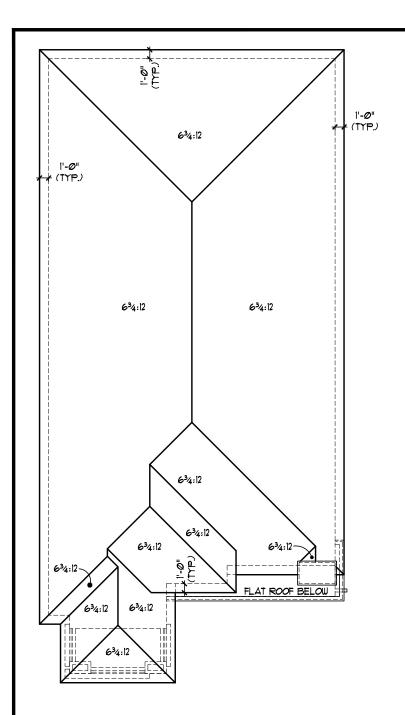
ONTARIO ASSOCIATION OF ARCHITECTS LICENSED TECHNOLOGIST MICHELE SURIANO LICENCE 6253

SURIANO

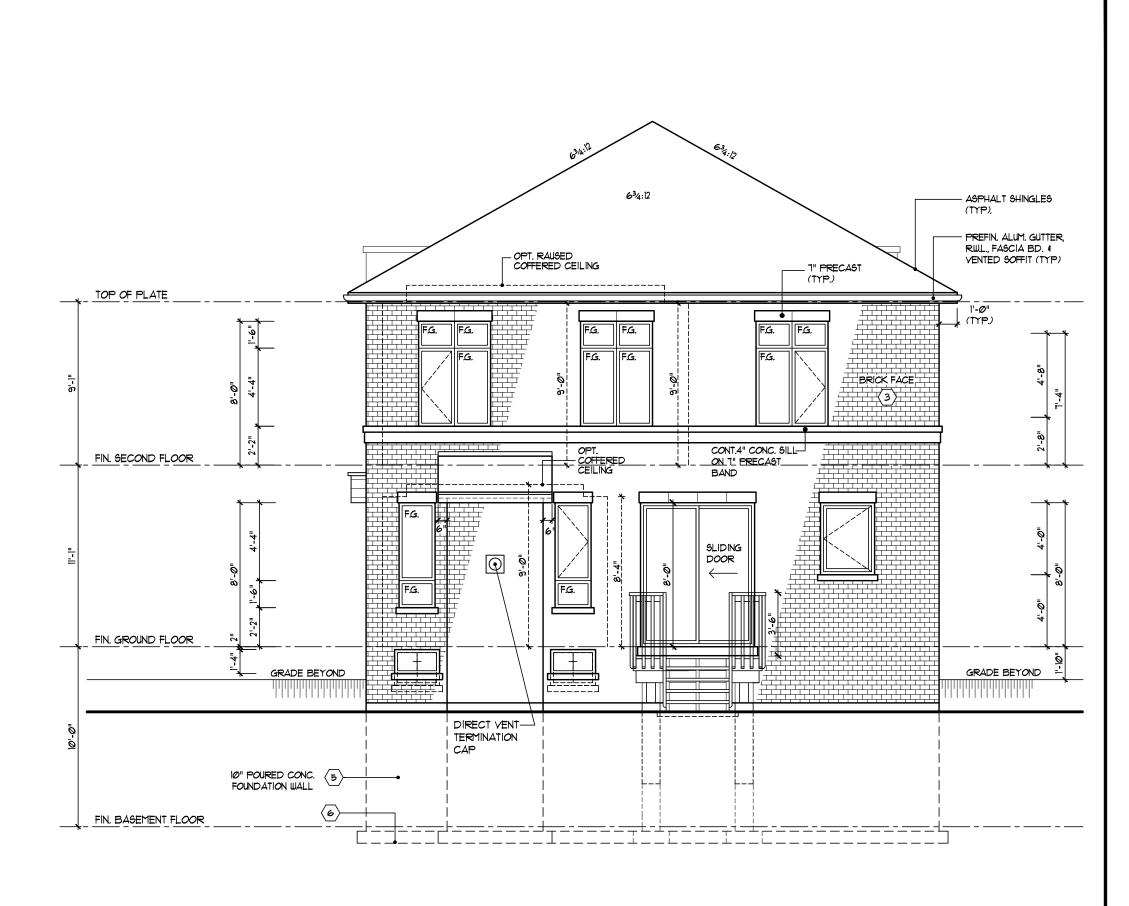
SHEET NAME:

		LEVATION A WITH WO ARD GROUND 1							
<b>O</b> .	DATE PLOTTED:	DRAWN BY:	AREA:	LOMES					
	FEB. 15/22	M.H./J.L.AM	3438 sq.ft.						
	DATE:	TYPE:	PAGE No:	PROJECT NAME:					
	OCT. 23/2Ø								
TS INC.	SCALE:	PROJECT No:	A-43	MODEL NAME:					
	3/16"=1'-0"	20-108	' ' ' '						
	3/10 -1 9	20-100		MODEL 40-6 ISABELLA					





UPGRADED ROOF PLAN FOR ELEVATION B N.T.S.



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FEBRUARY 17, 2022

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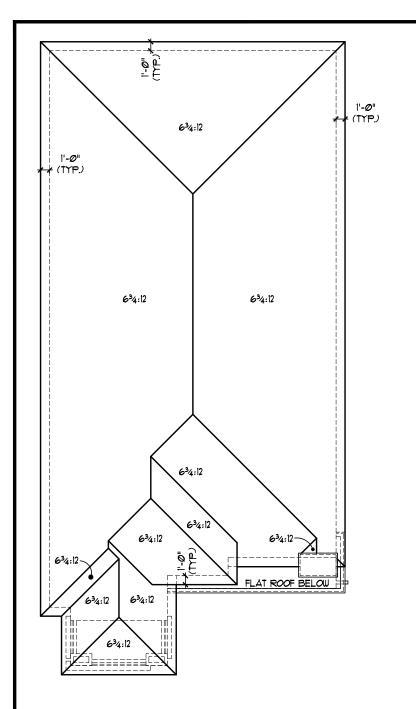
UPGRADED REAR ELEVATION B
WITH WOOD DECK CONDITION
(WITH STANDARD GROUND FLOOR PLAN)

LOT 54 UPGRADE MODEL 40-6 ISABELLA

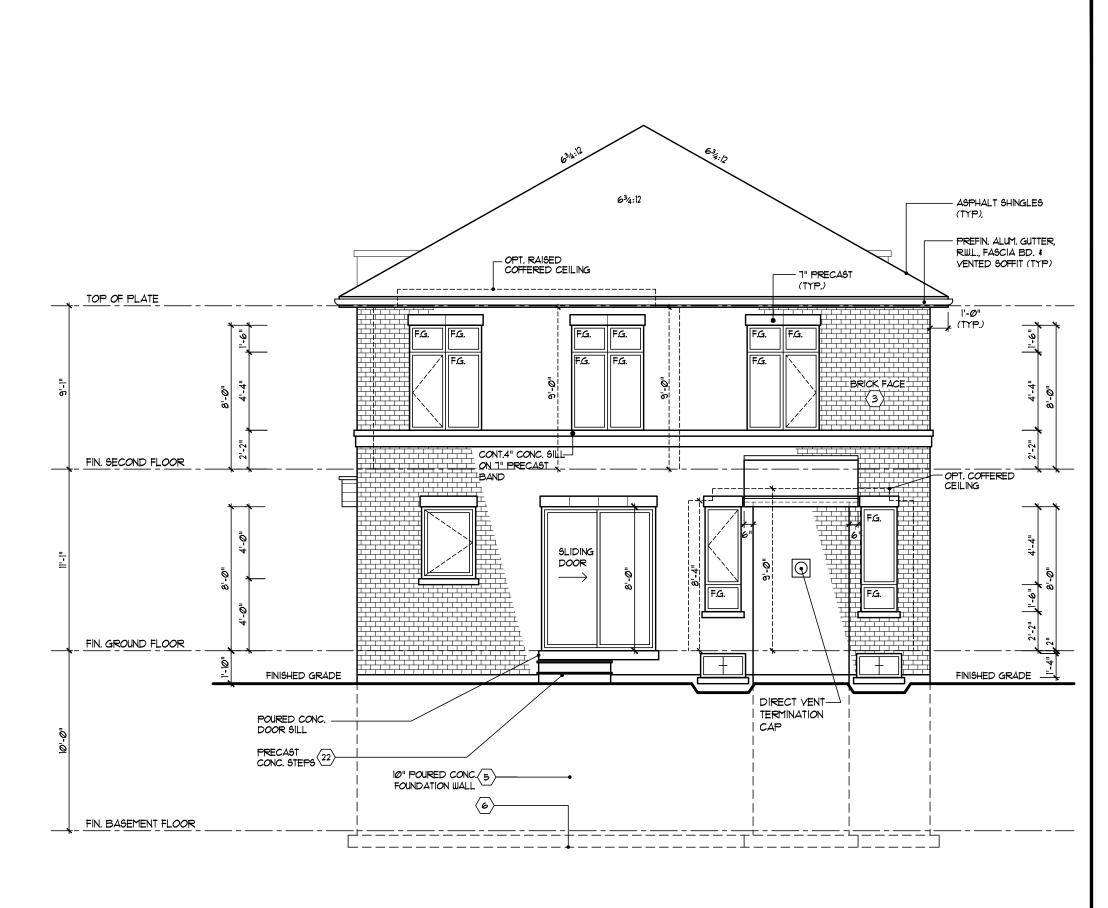
FOR TYPICAL NOTES REFER TO SHEET A-49

PERFORMANCE PACKAGE

	g ==	EB. 15/22	198UED FOR BUILDING PERMIT	MS			SHEET NAME:	ELEVATION BUILTHUID	OD DECK CONDITION	
			199UED FOR REAR ELEVATION UPGRADE REVIEW	MS	ONTARIO ASSOCIATION	(WITH STANDARD GROUND FLO				
	7. Þ	PEC. Ø8/21	RE-198UED FOR BUILDING PERMIT	MS	OF ARCHITECTS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
	6. N	OV. Ø5/21	ISSUED FOR BUILDING PERMIT	MS		ARCHITECTURAL DESIGN	FEB. 15/22	M.H./J.L.AM	3446 sq.ft.	
	5. O	CT.Ø5/21	ISSUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS						
	4. Ju	UNE 18/21	REVISED AS PER CLIENT COMMENTS	MS	LICENSED TECHNOLOGIST		DATE: OCT. 23/20	TYPE:	PAGE No:	PROJECT NAME:
	3. M	IAY 21/21	REVISED AS PER CLIENT COMMENTS	MS	MICHELE SURIANO		001.23/20			
	2. A	PRIL <i>0</i> 5/21	199UED TO CLIENT FOR PRICING /BROCHURE	MS	LICENCE	SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1	SCALE:	PROJECT No:	<i>A</i> -45	MODEL NAME:
	1. Ja	AN. 29/21	196UED TO CLIENT FOR LAST REVIEW / MARKETING:	MS	6253	Vaughan, Ontario L4L 8P9 T. 905-264-0924	3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
١	No: D	ATE:	REVISION/ISSUED:	BY:		1. 202204-0324				I OPEL TO BADELLA



UPGRADED ROOF PLAN FOR ELEVATION B N.T.S.



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## UPGRADED REAR ELEVATION B (WITH OPTIONAL GROUND FLOOR PLAN)

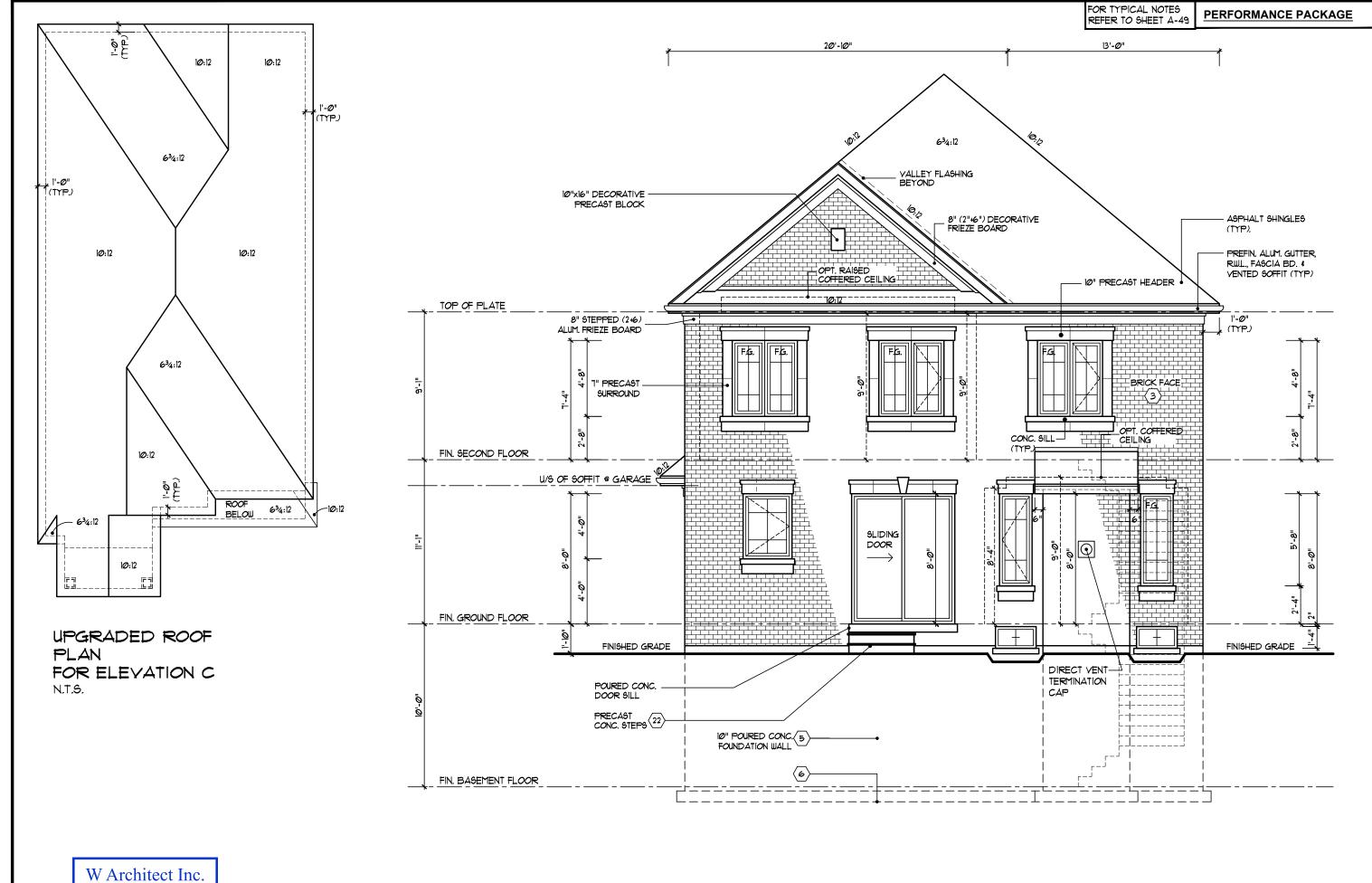
LOT 44 UPGRADE LOT 48 UPGRADE

MODEL 40-6 ISABELLA

FOR TYPICAL NOTES REFER TO SHEET A-49

PERFORMANCE PACKAGE

9	+		188UED FOR BUILDING PERMIT 188UED FOR REAR ELEVATION UPGRADE REVIEW	MS MS	ONTARIO ASSOCIATION			REAR ELEVA' NAL GROUND	TION B FLOOR PLAN)	ROYAL PINE
_ 1	. DE	EC. Ø8/21	RE-198UED FOR BUILDING PERMIT	MS	OF ARCHITECTS	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
é	. NO	OV. Ø5/21	ISSUED FOR BUILDING PERMIT	MS		ARCHITECTURAL DESIGN	FEB. 15/22	M.H./J.L.AM	3446 sq.ft.	
5	.  oc	CT.Ø5/21	189UED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	MS						
4	. Jun	NE 18/21	REVISED AS PER CLIENT COMMENTS	MS	LICENSED TECHNOLOGIST		DATE: OCT, 23/20	TYPE:	PAGE No:	PROJECT NAME:
3	. МА	AY 21/21	REVISED AS PER CLIENT COMMENTS	MS	MICHELE SURIANO		001.23/22			
2	. AP	PRIL <i>0</i> 5/21	189UED TO CLIENT FOR PRICING /BROCHURE	MS	LICENCE	SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1	SCALE:	PROJECT No:	A-46	MODEL NAME:
1.	JA	N. 29/21	168UED TO CLIENT FOR LAST REVIEW / MARKETING	MS	6253	Vaughan, Ontario L4L 8P9 T. 905-264-0924	3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
N	o: DA	ATE:	REVISION/ISSUED:	BY:		1. 300 201 0321				I OPEL TO OADELLA



W Architect Inc.

DESIGN CONTROL REVIEW
FEBRUARY 17, 2022

FINAL
RECERT BY: GGE

This stamp is only for the purposes of design control and carries no other professional obligations.

UPGRADED REAR ELEVATION C (WITH OPTIONAL GROUND FLOOR PLAN)

LOT 46 UPGRADE MODEL 40-6 ISABELLA

-	9. FEB. 15/22 8. FEB. Ø1/22	196UED FOR BUILDING PERMIT 196UED FOR REAR ELEVATION UPGRADE REVIEW	Ms Ms	ONTARIO ASSOCIATI	ON \		(WITH OPTION	REAR ELEVAT NAL GROUND I	TION C FLOOR PLAN)	ROYAL PINE
	7. DEC. Ø8/21	RE-188UED FOR BUILDING PERMIT	M	OF ARCHITE	.cis	SURIANO.	DATE PLOTTED:	DRAWN BY:	AREA:	HOMES
	6. NOV. Ø5/21	169UED FOR BUILDING PERMIT	Ms			ARCHITECTURAL DESIGN	FEB. 15/22	M.H./J.L.AM	3438 sq.ft.	
	5. OCT.Ø5/21	ISSUED TO STRUCT, ENG. /HVAC FOR REVIEW AND COMMENTS	M	T		ARCHITEC (DRAL DESIGN				
	4. JUNE 18/21	REVISED AS PER CLIENT COMMENTS	Ms	LICENSED TECHI	IOLOGIST		DATE: OCT, 23/20	TYPE:	PAGE No:	PROJECT NAME:
	3. MAY 21/21	REVISED AS PER CLIENT COMMENTS	Ms	MICHELE SU	RIANO		001. 23/20			
	2. APRIL <i>0</i> 5/21	189UED TO CLIENT FOR PRICING /BROCHURE	M	LICENCE		SURIANO DESIGN CONSULTANTS INC. 51 Roysun Road, Unit 1	SCALE:	PROJECT No:	<i> </i>	MODEL NAME:
	1. JAN. 29/21	199UED TO CLIENT FOR LAST REVIEW / MARKETING	Ms	6253	_/		3/16"=1'-0"	20-108		MODEL 40-6 ISABELLA
	lo: DATE:	REVISION/ISSUED:	B)			1. 303-204-0324				IODEL 40-0 IOADELLA

