

ELEVATION A STANDARD
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY / UPPER HALL	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	404.69	37.60
WALL AREA	-	-	-	-	3936.50	365.71
RATIO	-	-	-	-	10.28	10.28

ELEVATION A OPT. BSNT & GRND FLR
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY / UPPER HAL	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	0.00	0.00
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	395.36	36.73
WALL AREA	-	-	-	-	3936.50	365.71
RATIO	-	-	-	-	10.04	10.04



MODEL 40-5 ALEXIE

[illegible]

ELEVATION A STANDARD
(5 BEDROOM OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	418.03	38.84
WALL AREA	-	-	-	-	3936.50	365.71
RATIO	-	-	-	-	10.62	10.62

ELEVATION A OPT. BSNT & GRND FLR
(5 BEDROOM OPT)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	33	-	-	-	416.69	38.71
WALL AREA	-	-	-	-	3936.50	365.71
RATIO	-	-	-	-	10.59	10.59

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
 FINAL
RECERT BY: GGE
 This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-5 ALEXIE

[illegible]

ELEVATION A STANDARD
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY / UPPER HALL	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	408.03	37.91
WALL AREA	-	-	-	-	4074.26	378.51
RATIO	-	-	-	-	10.01	10.01

ELEVATION A OPT. BSNT & GRND FLR
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY / UPPER HAL	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	0.00	0.00
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	398.69	37.04
WALL AREA	-	-	-	-	4074.26	378.51
RATIO	-	-	-	-	9.79	9.79

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-5 ALEXIE

						SHEET NAME: INSULATED WALL & WINDOWS OPENING AREA CALCULATION (A)		ROYAL PINE HOMES	
3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT				DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H/J.LAM	AREA: 3146 sq.ft.	
2.	NOV. 05/21	ISSUED FOR BUILDING PERMIT				DATE: OCT. 23/20	TYPE:	PAGE No: 03	
1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS				SCALE: 3/16" = 1' - 0"	PROJECT No: 20-107		
No:	DATE:	REVISION/ISSUED:	BY:						MODEL NAME: MODEL 40-5 ALEXIE

ELEVATION A STANDARD
(5 BEDROOM OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	421.36	39.15
WALL AREA	-	-	-	-	4074.26	378.51
RATIO	-	-	-	-	10.34	10.34

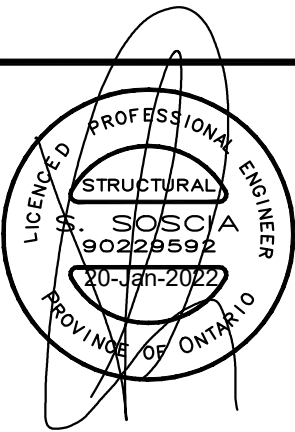
ELEVATION A OPT. BSNT & GRND FLR
(5 BEDROOM OPT) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	33	-	-	-	420.03	39.02
WALL AREA	-	-	-	-	4074.26	378.51
RATIO	-	-	-	-	10.31	10.31

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECEIVED BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-5 ALEXIE

3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: INSULATED WALL & WINDOWS OPENING AREA CALCULATION (A)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H/J.LAM	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: 04
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-107	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-5 ALEXIE	

ELEVATION A STANDARD (4 BEDROOMS OPT.)
WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY / UPPER HALL	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	405.81	37.70
WALL AREA	-	-	-	-	4028.16	374.23
RATIO	-	-	-	-	10.07	10.07

ELEVATION A OPT. BSNT & GRND FLR
(4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY / UPPER HAL	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	0.00	0.00
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	396.47	36.83
WALL AREA	-	-	-	-	4028.16	374.23
RATIO	-	-	-	-	9.84	9.84

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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MODEL 40-5 ALEXIE

									SHEET NAME: INSULATED WALL & WINDOWS OPENING AREA CALCULATION (A)		ROYAL PINE HOMES	
									DATE PLOTTED: DEC. 08/21		DRAWN BY: M.H./J.L.A.M	
									AREA: 3146 sq.ft.			
									DATE: OCT. 23/20		TYPE:	
									PAGE No:		PROJECT NAME:	
									SCALE: 3/16" = 1'-0"		PROJECT No: 20-107	
									05		MODEL NAME: MODEL 40-5 ALEXIE	
3. DEC. 08/21			RE-ISSUED FOR BUILDING PERMIT		MS							
2. NOV. 08/21			ISSUED FOR BUILDING PERMIT		MS							
1. OCT. 08/21			ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS		MS							
No:			REVISION/ISSUED:		BY:							

ELEVATION A STANDARD(5 BEDROOM OPT.)
WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO-O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	419.14	38.94
WALL AREA	-	-	-	-	4028.16	374.23
RATIO	-	-	-	-	10.41	10.41

ELEVATION A OPT. BSNT & GRND FLR (5 BEDROOM OPT) WITH
WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO–O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	26	54	0	9.75	0.91
	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	24	52	0	8.67	0.81
	1	48	70	0	23.33	2.17
LAUNDRY	1	24	52	0	8.67	0.81
STAIR (O.T.B)	1	48	58	0	19.33	1.80
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	33	-	-	-	417.81	38.82
WALL AREA	-	-	-	-	4028.16	374.23
RATIO	-	-	-	-	10.37	10.37

W Architect Inc.
DESIGN CONTROL REVIEW
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RECERT BY: GGE
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MODEL 40-5 ALEXIE

[illegible]

ELEVATION B STANDARD
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	92	0	53.67	4.99
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	30	-	-	-	432.06	40.14
WALL AREA	-	-	-	-	3958.71	367.78
RATIO	-	-	-	-	10.91	10.91

ELEVATION B OPT. BSNT & GRND FLR
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	92	0	53.67	4.99
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	0.00	0.00
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	422.72	39.27
WALL AREA	-	-	-	-	3958.71	367.78
RATIO	-	-	-	-	10.68	10.68



MODEL 40-5 ALEXIE

[illegible]

ELEVATION B STANDARD
(5 BEDROOM OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
	1	24	66	0	11.00	1.02
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	82	0	47.83	4.44
LAUNDRY	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	450.56	41.86
WALL AREA	-	-	-	-	3958.71	367.78
RATIO	-	-	-	-	11.38	11.38

ELEVATION B OPT. BSNT & GRND FLR
(5 BEDROOM OPT)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	82	0	47.83	4.44
LAUNDRY	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	33	-	-	-	449.22	41.73
WALL AREA	-	-	-	-	3958.71	367.78
RATIO	-	-	-	-	11.35	11.35

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MODEL 40-5 ALEXIE

[illegible]

ELEVATION B STANDARD
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

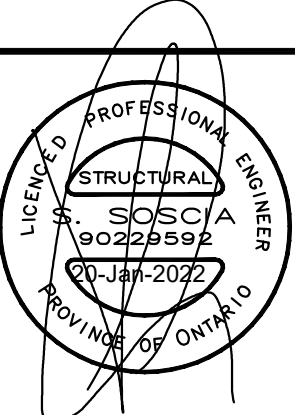
DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	92	0	53.67	4.99
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	30	-	-	-	435.39	40.45
WALL AREA	-	-	-	-	4096.47	380.57
RATIO	-	-	-	-	10.63	10.63

ELEVATION B OPT. BSNT & GRND FLR
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	92	0	53.67	4.99
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	0.00	0.00
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	426.06	39.58
WALL AREA	-	-	-	-	4096.47	380.57
RATIO	-	-	-	-	10.40	10.40

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
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MODEL 40-5 ALEXIE

 			 SURIANO. ARCHITECTURAL DESIGN SURIANO DESIGN CONSULTANTS INC. 51 Reysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T: 905-264-0924			SHEET NAME: INSULATED WALL & WINDOWS OPENING AREA CALCULATION (B) <table border="1"> <tr> <td>DATE PLOTTED: DEC. 08/21</td> <td>DRAWN BY: M.H/J.LAM</td> <td>AREA: 3146 sq.ft.</td> </tr> <tr> <td>DATE: OCT. 23/20</td> <td>TYPE:</td> <td>PAGE No: 03</td> </tr> <tr> <td>SCALE: 3/16" = 1' - 0"</td> <td>PROJECT No: 20-107</td> <td></td> </tr> </table>			DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H/J.LAM	AREA: 3146 sq.ft.	DATE: OCT. 23/20	TYPE:	PAGE No: 03	SCALE: 3/16" = 1' - 0"	PROJECT No: 20-107		ROYAL PINE HOMES PROJECT NAME: MODEL NAME: MODEL 40-5 ALEXIE			
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H/J.LAM	AREA: 3146 sq.ft.																			
DATE: OCT. 23/20	TYPE:	PAGE No: 03																			
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-107																				
<table border="1"> <tr> <td>No:</td> <td>DATE:</td> <td>REVISION/ISSUED:</td> <td>BY:</td> </tr> <tr> <td>3.</td> <td>DEC. 08/21</td> <td>RE-ISSUED FOR BUILDING PERMIT</td> <td>MS</td> </tr> <tr> <td>2.</td> <td>NOV. 05/21</td> <td>ISSUED FOR BUILDING PERMIT</td> <td>MS</td> </tr> <tr> <td>1.</td> <td>OCT. 05/21</td> <td>ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS</td> <td>MS</td> </tr> </table>			No:	DATE:	REVISION/ISSUED:	BY:	3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS	2.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS	1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS			
No:	DATE:	REVISION/ISSUED:	BY:																		
3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS																		
2.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS																		
1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS																		

ELEVATION B STANDARD
(5 BEDROOM OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	82	0	47.83	4.44
LAUNDRY	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	453.89	42.17
WALL AREA	-	-	-	-	4096.47	380.57
RATIO	-	-	-	-	11.08	11.08

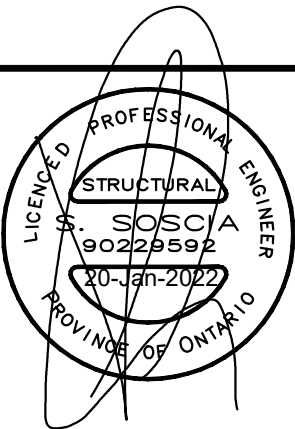
ELEVATION B OPT. BSNT & GRND FLR
(5 BEDROOM OPT) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	82	0	47.83	4.44
LAUNDRY	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	33	-	-	-	452.56	42.04
WALL AREA	-	-	-	-	4096.47	380.57
RATIO	-	-	-	-	11.05	11.05

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design
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MODEL 40-5 ALEXIE

3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: INSULATED WALL & WINDOWS OPENING AREA CALCULATION (B)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H/J.LAM	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: 04
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:
MODEL 40-5 ALEXIE

ELEVATION B STANDARD (4 BEDROOMS OPT.)
WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	92	0	53.67	4.99
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	30	-	-	-	433.17	40.24
WALL AREA	-	-	-	-	4050.37	376.29
RATIO	-	-	-	-	10.69	10.69

ELEVATION B OPT. BSNT & GRND FLR
(4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	92	0	53.67	4.99
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	0.00	0.00
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	423.83	39.38
WALL AREA	-	-	-	-	4050.37	376.29
RATIO	-	-	-	-	10.46	10.46

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
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 This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-5 ALEXIE

[illegible]

ELEVATION B STANDARD(5 BEDROOM OPT.)
WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	82	0	47.83	4.44
LAUNDRY	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	451.67	41.96
WALL AREA	-	-	-	-	4050.37	376.29
RATIO	-	-	-	-	11.15	11.15

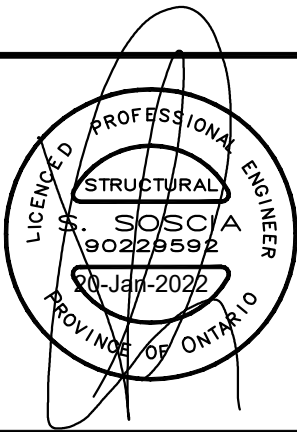
ELEVATION B OPT. BSNT& GRND FLR (5 BEDROOM
OPT) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	10	80	0	5.56	0.52
	1	24	66	0	11.00	1.02
FOYER STAIR	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	84	82	0	47.83	4.44
LAUNDRY	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	36	74	0	18.50	1.72
	1	24	74	0	12.33	1.15
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	33	-	-	-	450.33	41.84
WALL AREA	-	-	-	-	4050.37	376.29
RATIO	-	-	-	-	11.12	11.12

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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MODEL 40-5 ALEXIE

3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: INSULATED WALL & WINDOWS OPENING AREA CALCULATION (B)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H/J.LAM	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: 06
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:
MODEL 40-5 ALEXIE

ELEVATION C STANDARD
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	30	-	-	-	420.03	39.02
WALL AREA	-	-	-	-	3939.25	365.97
RATIO	-	-	-	-	10.66	10.66

ELEVATION C OPT. BSNT & GRND FLR
(4 BEDROOMS OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	0.00	0.00
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	410.69	38.15
WALL AREA	-	-	-	-	3939.25	365.97
RATIO	-	-	-	-	10.43	10.43

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
 FINAL
RECERT BY: GGE
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MODEL 40-5 ALEXIE

[illegible]

ELEVATION C STANDARD
(5 BEDROOM OPT.)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	433.36	40.26
WALL AREA	-	-	-	-	3939.25	365.97
RATIO	-	-	-	-	11.00	11.00

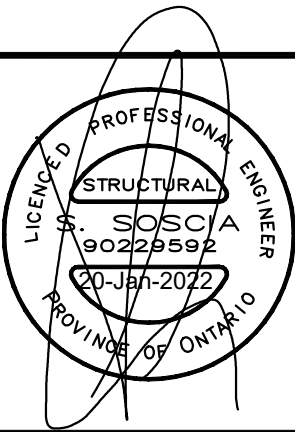
ELEVATION C OPT. BSNT & GRND FLR
(5 BEDROOM OPT)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	432.03	40.14
WALL AREA	-	-	-	-	3939.25	365.97
RATIO	-	-	-	-	10.97	10.97

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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MODEL 40-5 ALEXIE

3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 06/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: INSULATED WALL & WINDOWS OPENING AREA CALCULATION (C)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H/J.LAM	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: 02
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:
MODEL 40-5 ALEXIE

ELEVATION C STANDARD(4 BEDROOMS OPT.)
WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	30	-	-	-	423.36	39.33
WALL AREA	-	-	-	-	4077.01	378.77
RATIO	-	-	-	-	10.38	10.38

ELEVATION C OPT. BSNT & GRND FLR
(4 BEDROOMS OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	0.00	0.00
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	414.03	38.46
WALL AREA	-	-	-	-	4077.01	378.77
RATIO	-	-	-	-	10.16	10.16

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
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MODEL 40-5 ALEXIE

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ELEVATION C STANDARD
(5 BEDROOM OPT.) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	436.69	40.57
WALL AREA	-	-	-	-	4077.01	378.77
RATIO	-	-	-	-	10.71	10.71

ELEVATION C OPT. BSNT & GRND FLR
(5 BEDROOM OPT) WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	3	30	16	0	10.00	0.93
	2	30	24	0	10.00	0.93
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	435.36	40.45
WALL AREA	-	-	-	-	4077.01	378.77
RATIO	-	-	-	-	10.68	10.68

W Architect Inc.
DESIGN CONTROL REVIEW
 JANUARY 21, 2022
 FINAL
RECERT BY: GGE
 This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-5 ALEXIE

[illegible]

ELEVATION C STANDARD(4 BEDROOMS OPT.)
WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	30	-	-	-	421.14	39.13
WALL AREA	-	-	-	-	4030.91	374.48
RATIO	-	-	-	-	10.45	10.45

ELEVATION C OPT. BSNT & GRND FLR
(4 BEDROOMS OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	52	0	17.33	1.61
ENSUITE NO.2	1	24	40	0	6.67	0.62
DRESSING ROOM	1	24	48	0	8.00	0.74
MASTER ENSUITE	1	24	48	0	0.00	0.00
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	411.81	38.26
WALL AREA	-	-	-	-	4030.91	374.48
RATIO	-	-	-	-	10.22	10.22



MODEL 40-5 ALEXIE

[illegible]

ELEVATION C STANDARD
(5 BEDROOM OPT.) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
LIVING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
DINING ROOM	1	48	56	0	18.67	1.73
MUD .RM / OPT LNDRY	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	31	-	-	-	434.47	40.36
WALL AREA	-	-	-	-	4030.91	374.48
RATIO	-	-	-	-	10.78	10.78

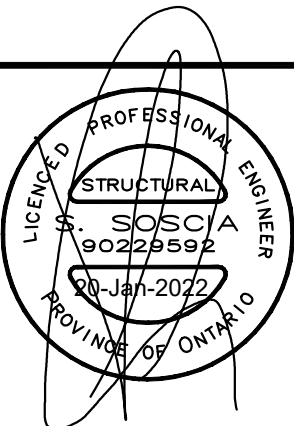
ELEVATION C OPT. BSNT & GRND FLR
(5 BEDROOM OPT) WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	10	76	0	5.28	0.49
	1	26	54	0	9.75	0.91
FOYER STAIRS	1	24	66	0	11.00	1.02
PWDR (SUNKEN)	1	24	40	0	6.67	0.62
DINING ROOM	1	48	56	0	18.67	1.73
BREAKFAST	1	108	96	0	72.00	6.69
FAMILY ROOM	2	48	68	0	45.33	4.21
MASTER BEDROOM (GROUND FLOOR)	2	24	48	0	16.00	1.49
MASTER ENSUITE (GROUND FLOOR)	1	24	48	0	8.00	0.74
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	52	0	17.33	1.61
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	52	0	26.00	2.42
LAUNDRY / UPPER HALL	1	24	74	0	12.33	1.15
STAIR (O.T.B)	1	72	74	0	37.00	3.44
	1	24	68	0	11.33	1.05
BEDROOM NO.4	2	24	56	0	18.67	1.73
SHARED BATH	1	24	48	0	8.00	0.74
BEDROOM NO.5	2	24	56	0	18.67	1.73
MASTER ENSUITE	1	24	48	0	8.00	0.74
	1	48	56	0	18.67	1.73
TOTAL	32	-	-	-	433.14	40.24
WALL AREA	-	-	-	-	4030.91	374.48
RATIO	-	-	-	-	10.75	10.75

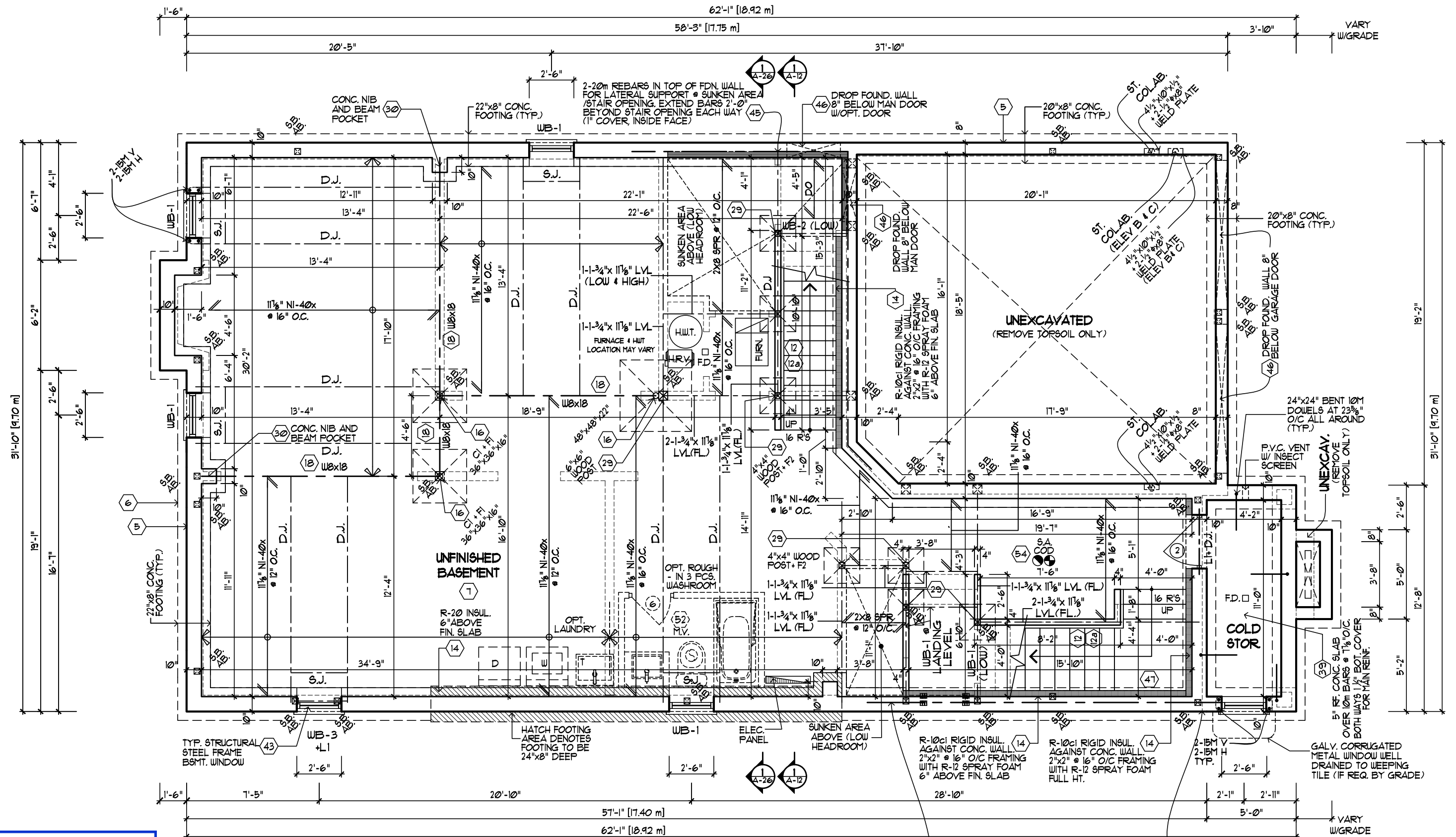
W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
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MODEL 40-5 ALEXIE

3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO. ARCHITECTURAL DESIGN SURIANO DESIGN CONSULTANTS INC. 51 Reysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T: 905-264-0924	SHEET NAME: INSULATED WALL & WINDOWS OPENING AREA CALCULATION (C)			ROYAL PINE HOMES PROJECT NAME: MODEL NAME: MODEL 40-5 ALEXIE
	DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H/J.LAM	AREA: 3146 sq.ft.	
	DATE: OCT. 23/20	TYPE:	PAGE No: 06	
	SCALE: 3/16" = 1' - 0"	PROJECT No: 20-107		

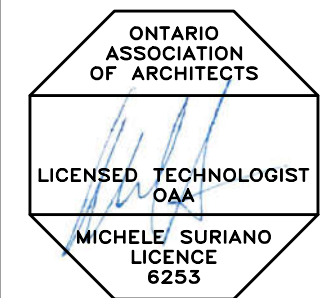
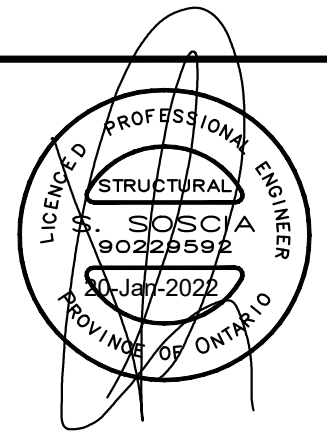


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BASEMENT FLOOR PLAN
FOR STANDARD GROUND FLOOR
ELEVATION A, B, C

MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:

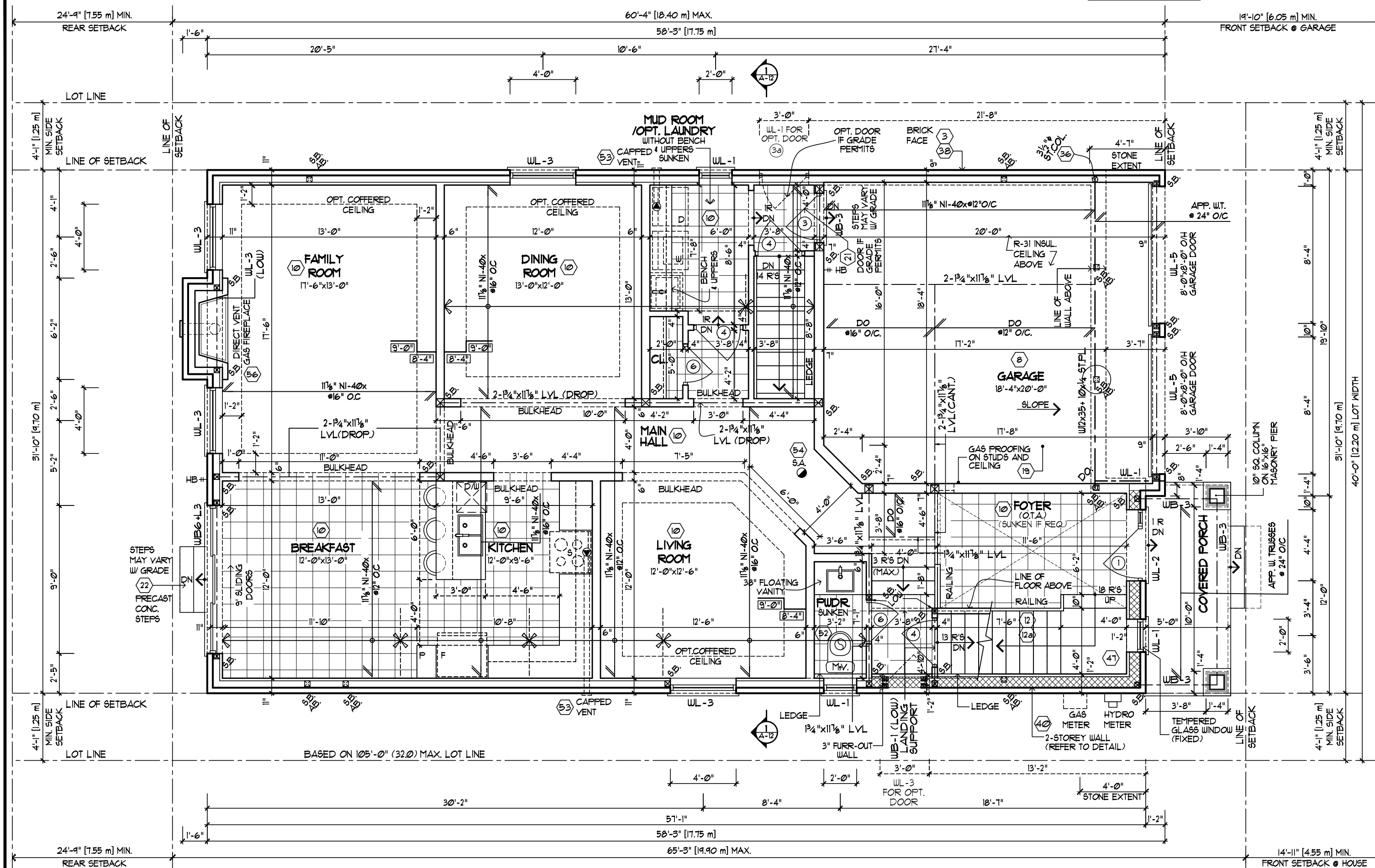


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51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: BASEMENT FLOOR PLAN FOR STANDARD GROUND FLOOR FOR ELEVATION A, B, C,		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-1
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-5 ALEXIE	



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DESIGN CONTROL REVIEW
JANUARY 21, 2022

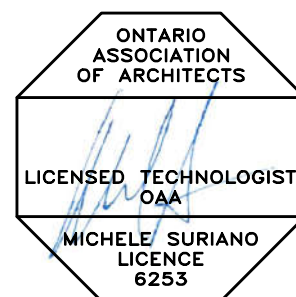
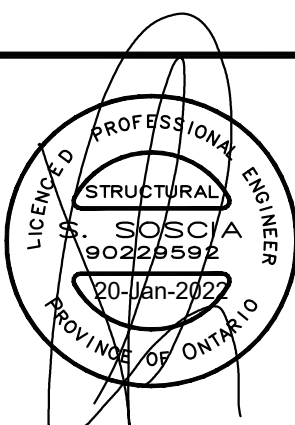
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STANDARD GROUND FLOOR PLAN
ELEVATION A

MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



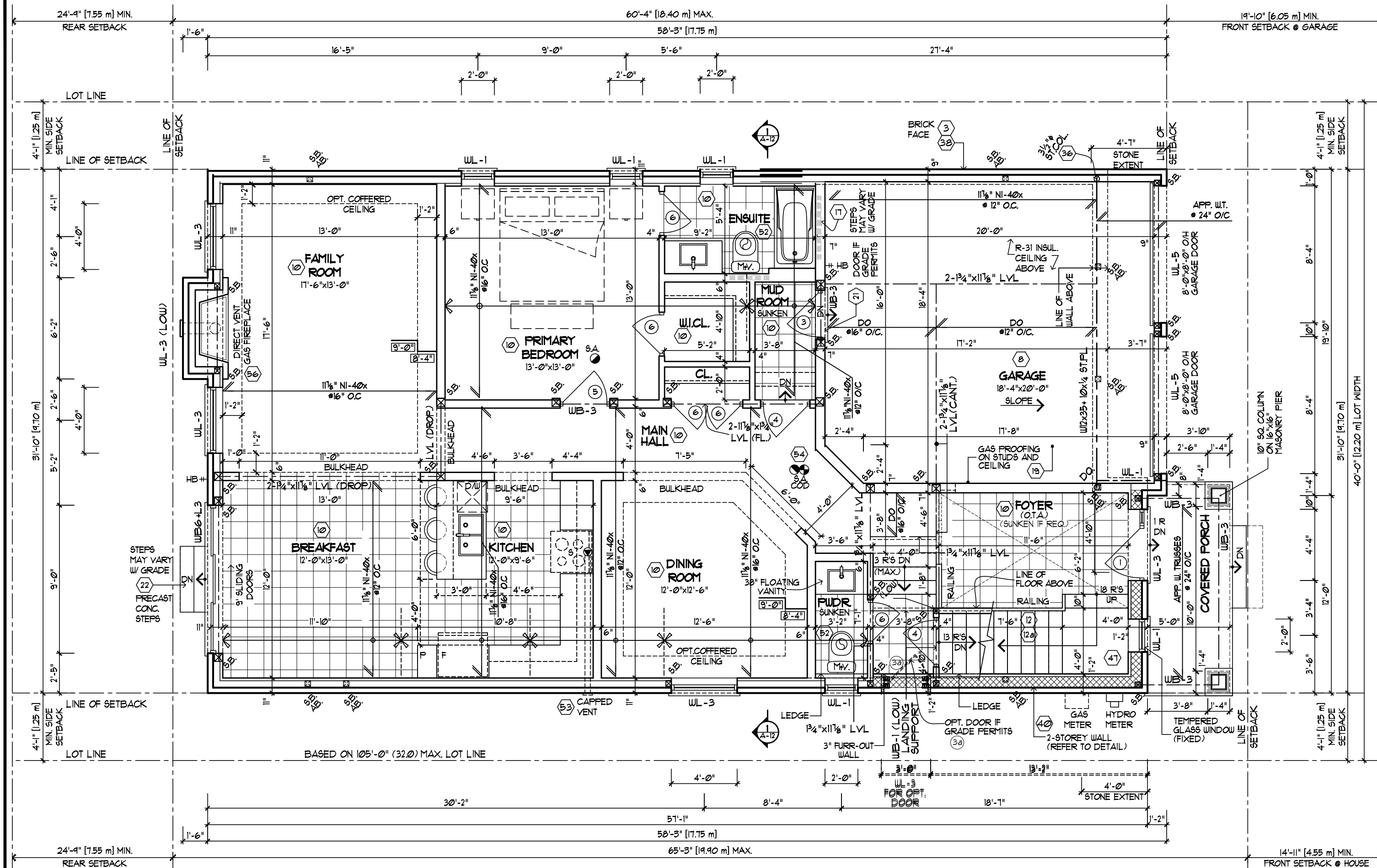
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51 Royson Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD GROUND FLOOR PLAN FOR ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-3
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE



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DESIGN CONTROL REVIEW
JANUARY 21, 2022

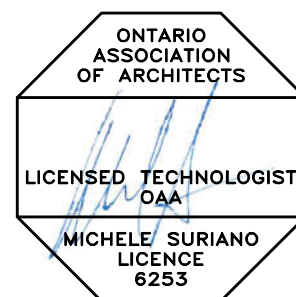
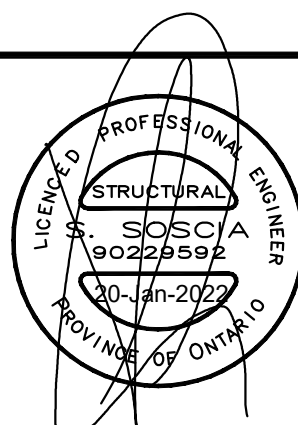
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OPTIONAL GROUND FLOOR PLAN
(WITH MASTER BEDROOM)
ELEVATION A

MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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51 Raysun Road, Unit 1
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T. 905-264-0924

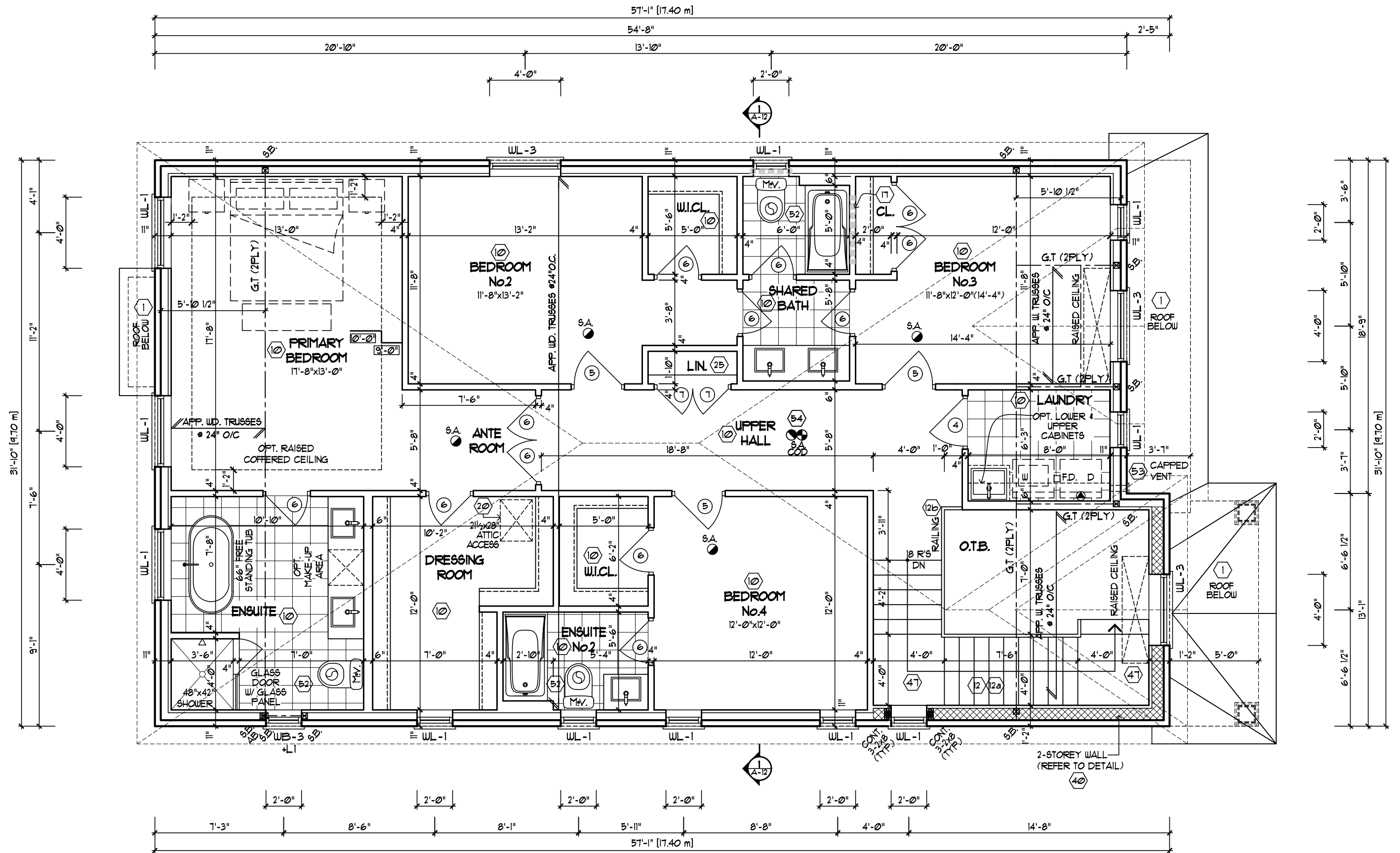
SHEET NAME: OPTIONAL GROUND FLOOR PLAN (WITH MASTER BEDROOM) ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-4
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:

MODEL 40-5 ALEXIE



AREA CALCULATION ELEVATION A

FINISHED BSMT. AREA	0	SQ. FT.
GROUND FLOOR AREA	1455	SQ. FT.
SECOND FLOOR AREA	1772	SQ. FT.
SUBTOTAL	3227	SQ. FT.
	293.80	M2

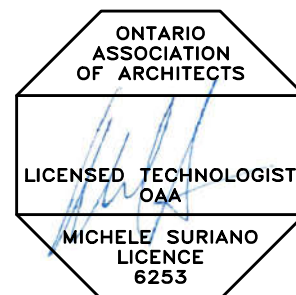
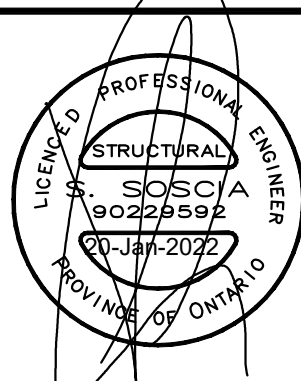
DEDUCT ALL OPEN AREAS	81	SQ. FT.
TOTAL NET AREA	3146	SQ. FT.
	292.27	M2
COVERAGE W/O PORCH	1848	SQ. FT.
	171.68	M2
COVERAGE W/PORCH	1911	SQ. FT.
	177.54	M2

STANDARD SECOND FLOOR PLAN (4 BEDROOM)
ELEVATION A

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JANUARY 21, 2022
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MODEL 40-5 ALEXIE

No.	DATE:	REVISION/ISSUED:	BY:
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS



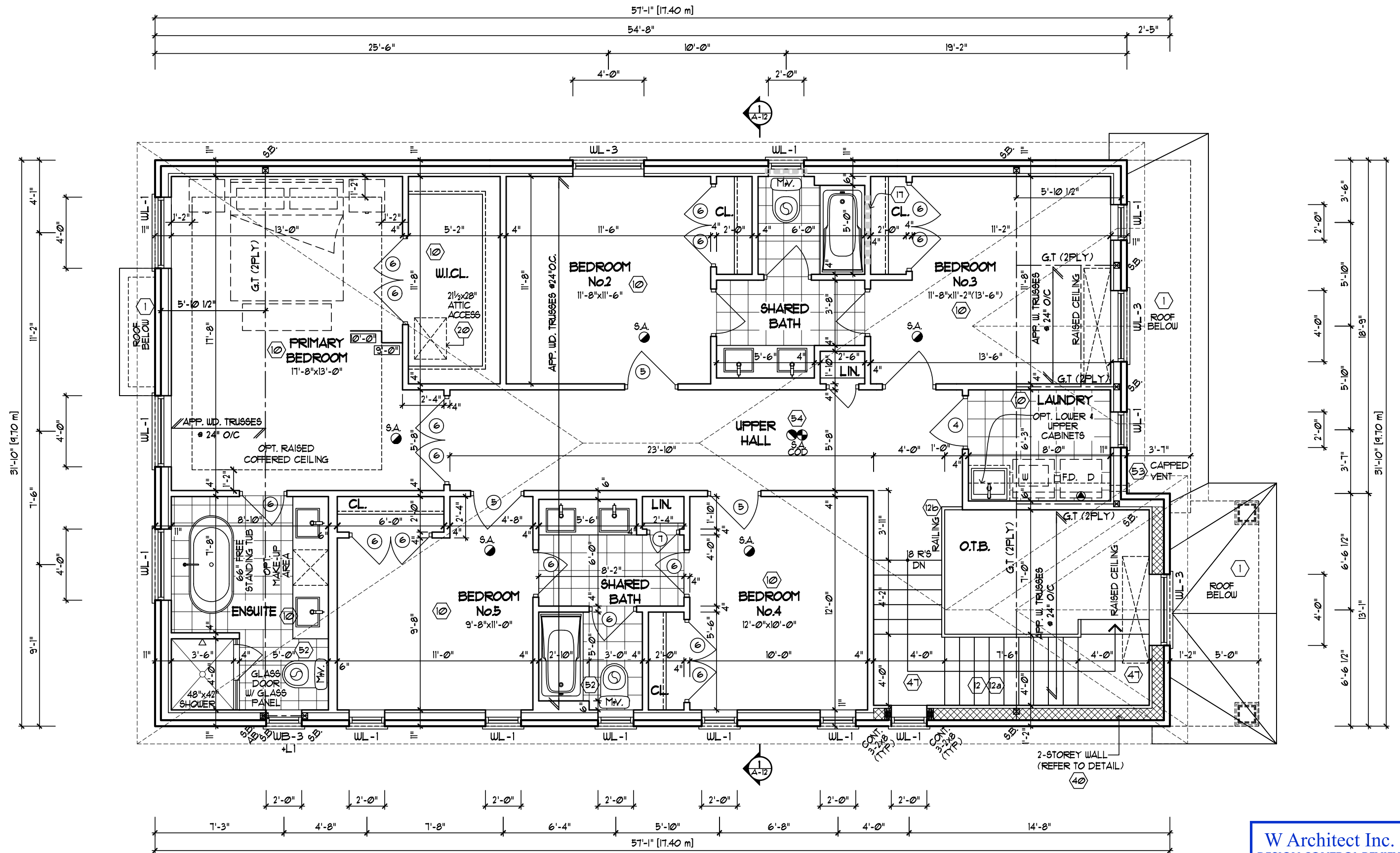
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ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD SECOND FLOOR PLAN (4 BEDROOM) FOR ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-5
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE

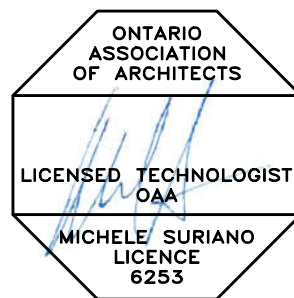
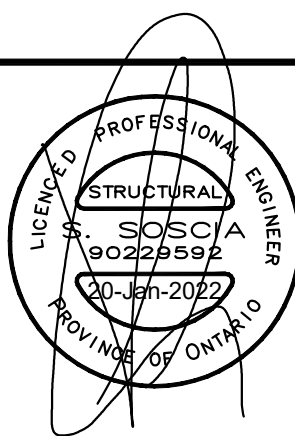


ALTERNATE SECOND FLOOR PLAN (5 BEDROOM)
ELEVATION A

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JANUARY 21, 2022
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MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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SURIANO DESIGN CONSULTANTS INC.
51 Raysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: ALTERNATE 2ND FLR PLAN (5 BEDRM.) FOR ELEV. A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-6
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

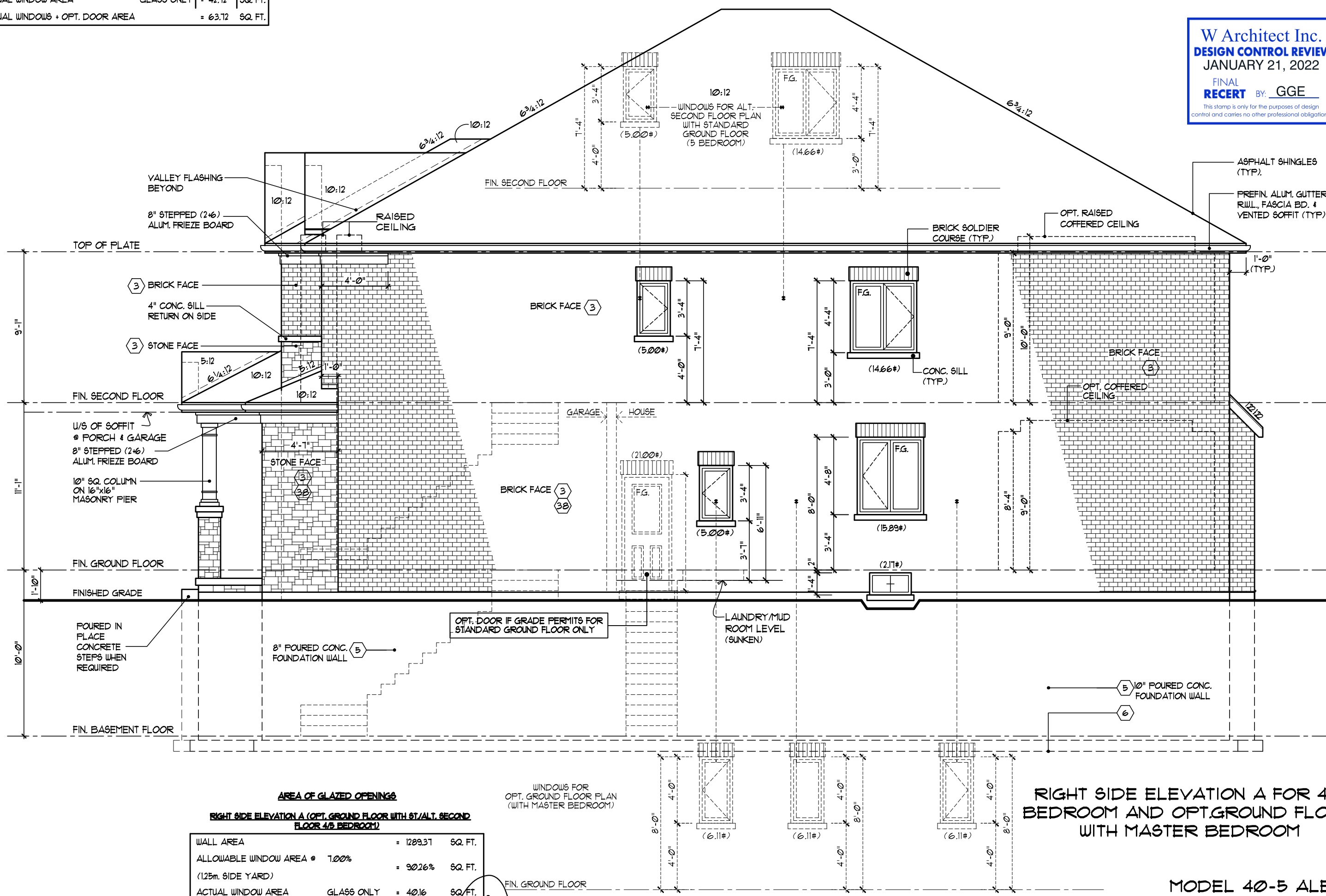
PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE

PERFORMANCE PACKAGE

WALL AREA		= 1289.37	SQ. FT.
ALLOWABLE WINDOW AREA @ (125m. SIDE YARD)	7.00%	= 90.26	SQ. FT.
ACTUAL WINDOW AREA	GLASS ONLY	= 42.72	SQ. FT.
ACTUAL WINDOWS + OPT. DOOR AREA		= 63.72	SQ. FT.

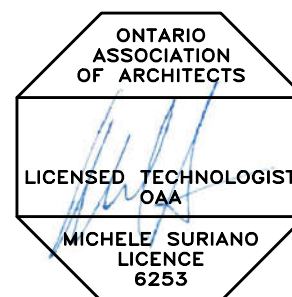
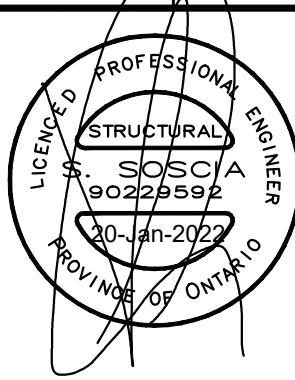
REFER TRUSS SHOP DWGS. FOR
COMPLETE TRUSS LAYOUT AND
SPECIFICATIONS

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MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 18/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-8
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:

MODEL 40-5 ALEXIE

WINDOWS FOR ALT.
SECOND FLOOR PLAN
(5 BEDROOM)

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JANUARY 21, 2022
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FOR TYPICAL NOTES
REFER TO SHEET A-21

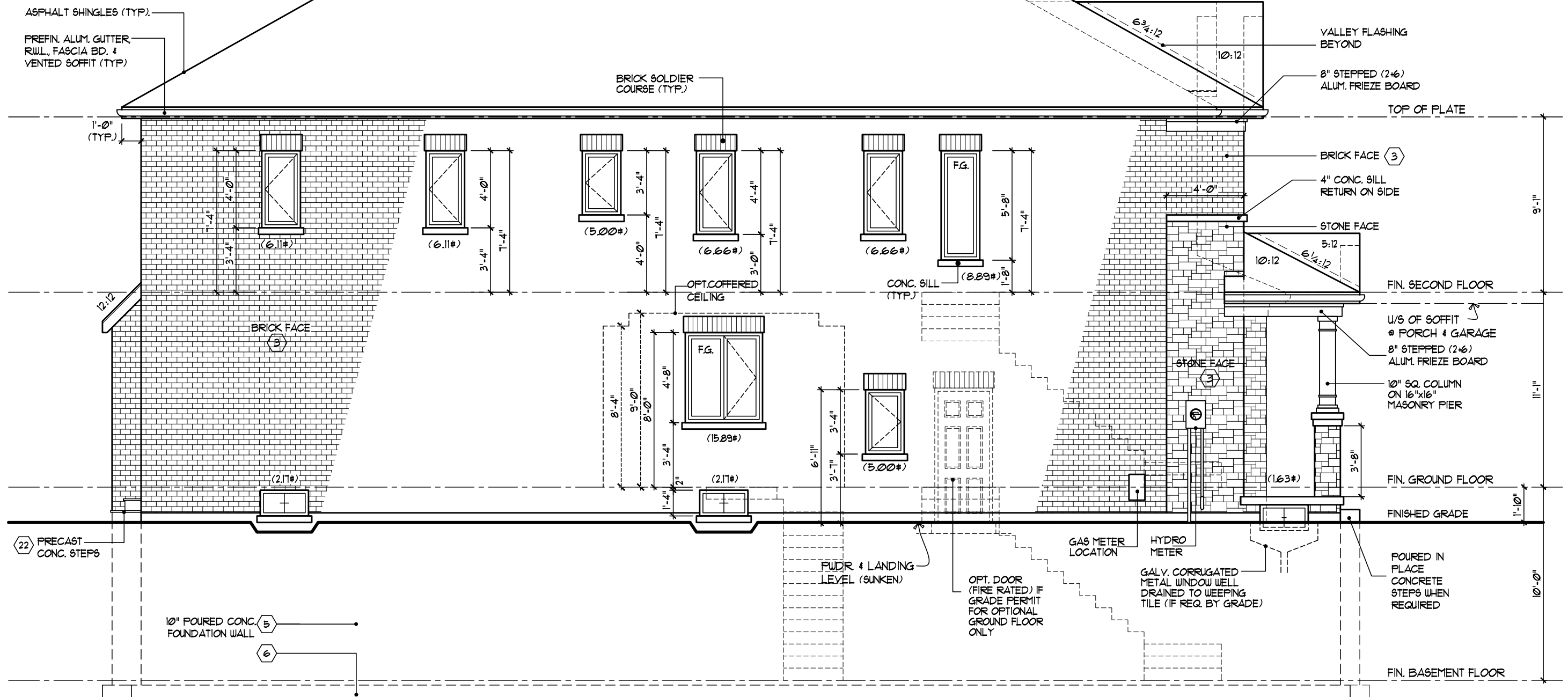
PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE
12" UNLESS NOTED OTHERWISE
ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO
GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY
DEPENDING ON LOT CONDITIONS.
(REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR
COMPLETE TRUSS LAYOUT AND
SPECIFICATIONS



AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION A (4 BEDROOM)

WALL AREA	= 1296.06	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00% (125m. SIDE YARD)	= 90.12	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 66.29	SQ. FT.

AREA OF GLAZED OPENINGS

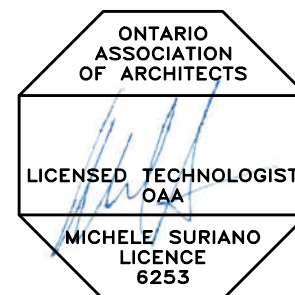
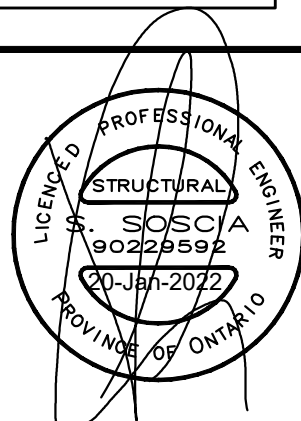
LEFT SIDE ELEVATION A (5 BEDROOM)

WALL AREA	= 1296.06	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00% (125m. SIDE YARD)	= 90.12	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 16.84	SQ. FT.

LEFT SIDE ELEVATION A
FOR 4 AND 5 BEDROOM

MODEL 40-5 ALEXIE

1.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 18/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 RAYSUN ROAD, UNIT 1
VAUGHAN, ONTARIO L4L 8P9
T. 905-264-0924

SHEET NAME:
LEFT SIDE ELEVATION A FOR 4 AND 5 BEDROOM

DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-9
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE

FOR TYPICAL NOTES
REFER TO SHEET A-21

PERFORMANCE PACKAGE

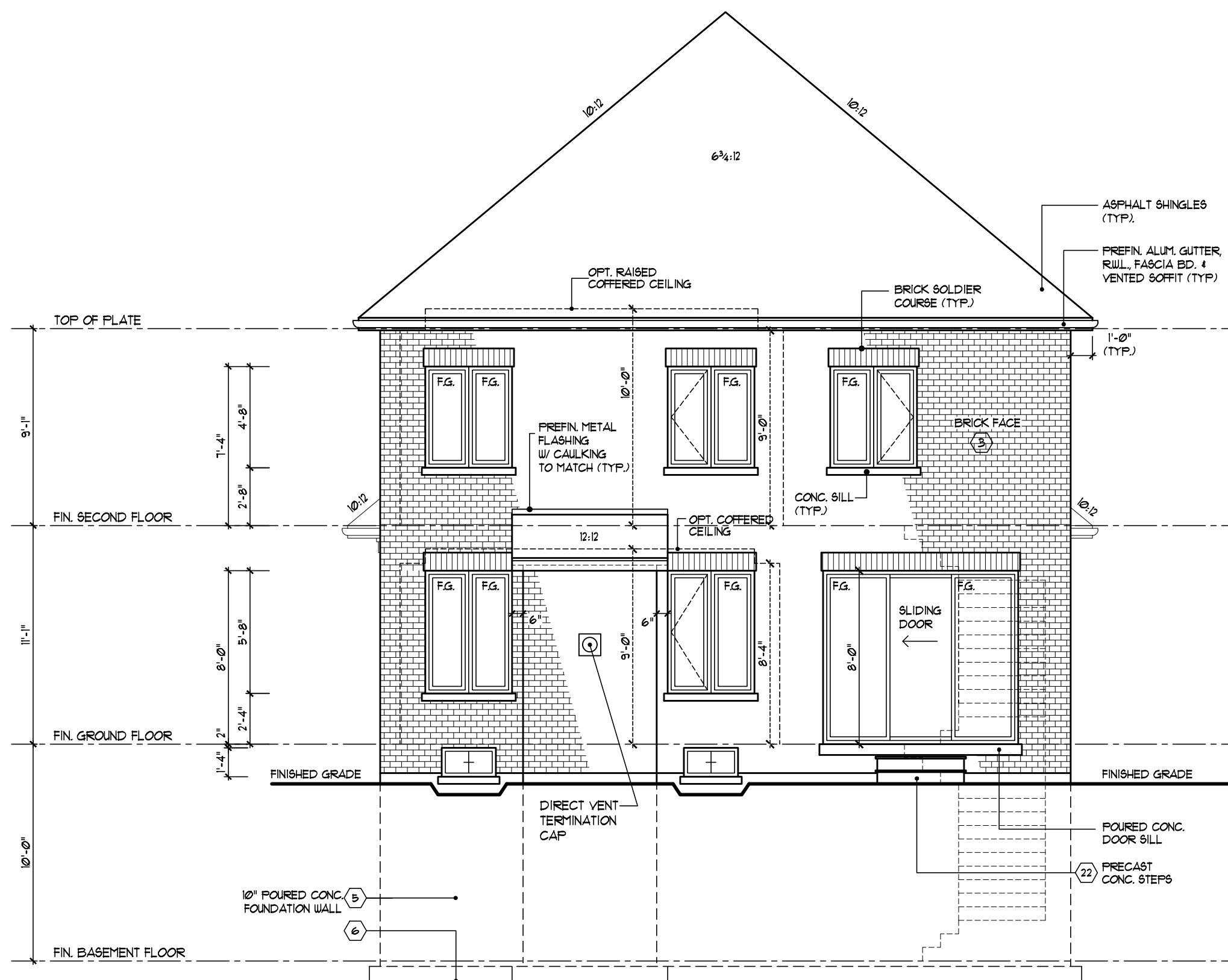
NOTE: ROOF OVERHANGS ARE TO BE
12" UNLESS NOTED OTHERWISE
ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO
GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY
DEPENDING ON LOT CONDITIONS.
(REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR
COMPLETE TRUSS LAYOUT AND
SPECIFICATIONS

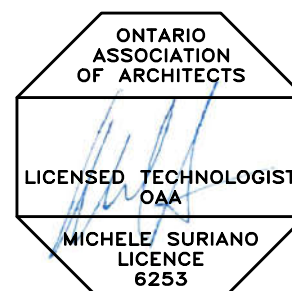
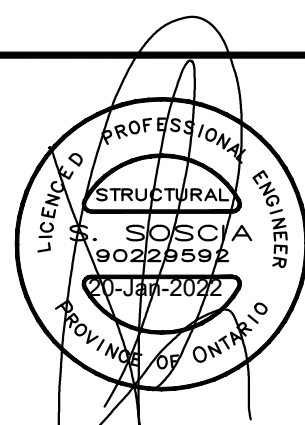
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DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECEIVED BY: GGE
This stamp is only for the purposes of design
control and carries no other professional obligations.



REAR ELEVATION A

MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: REAR ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-10
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE

control and carries no other professional obligations.



A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. Inside the ring, the words "LICENCED" and "STRUCTURAL" are positioned on the left and right respectively. The center of the seal features the name "S. SOSCIA", the license number "90229592", and the expiration date "20-Jan-2022". The entire seal is overlaid with a large, stylized signature.



SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

A-12

PROJECT NAME:

MODEL NAME:

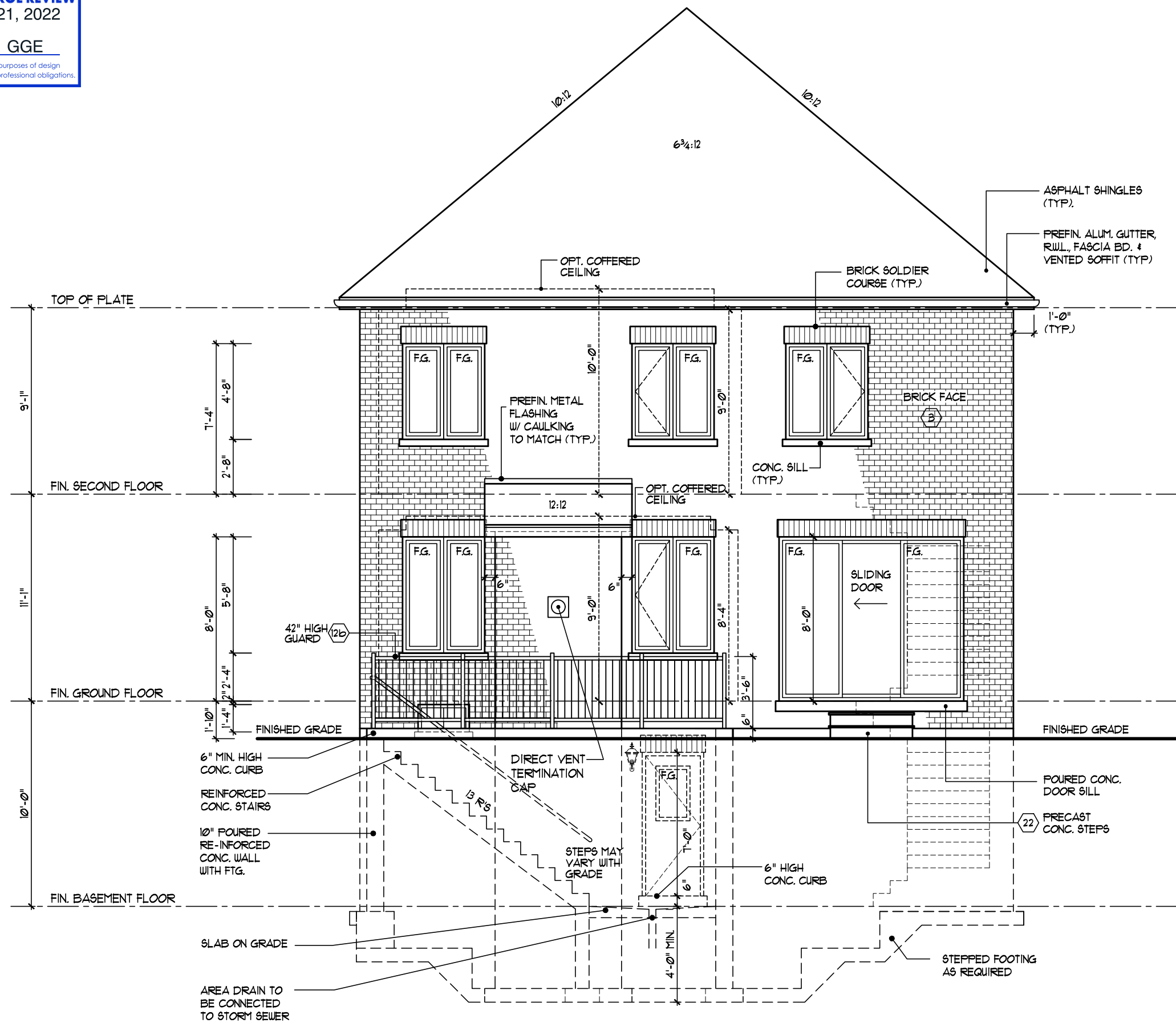
MODEL 40-5 ALEXIE

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
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PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS
RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

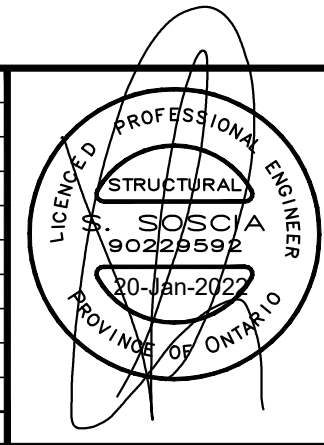
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)
REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS



REAR ELEVATION A AND C
WITH WALK-UP CONDITION

MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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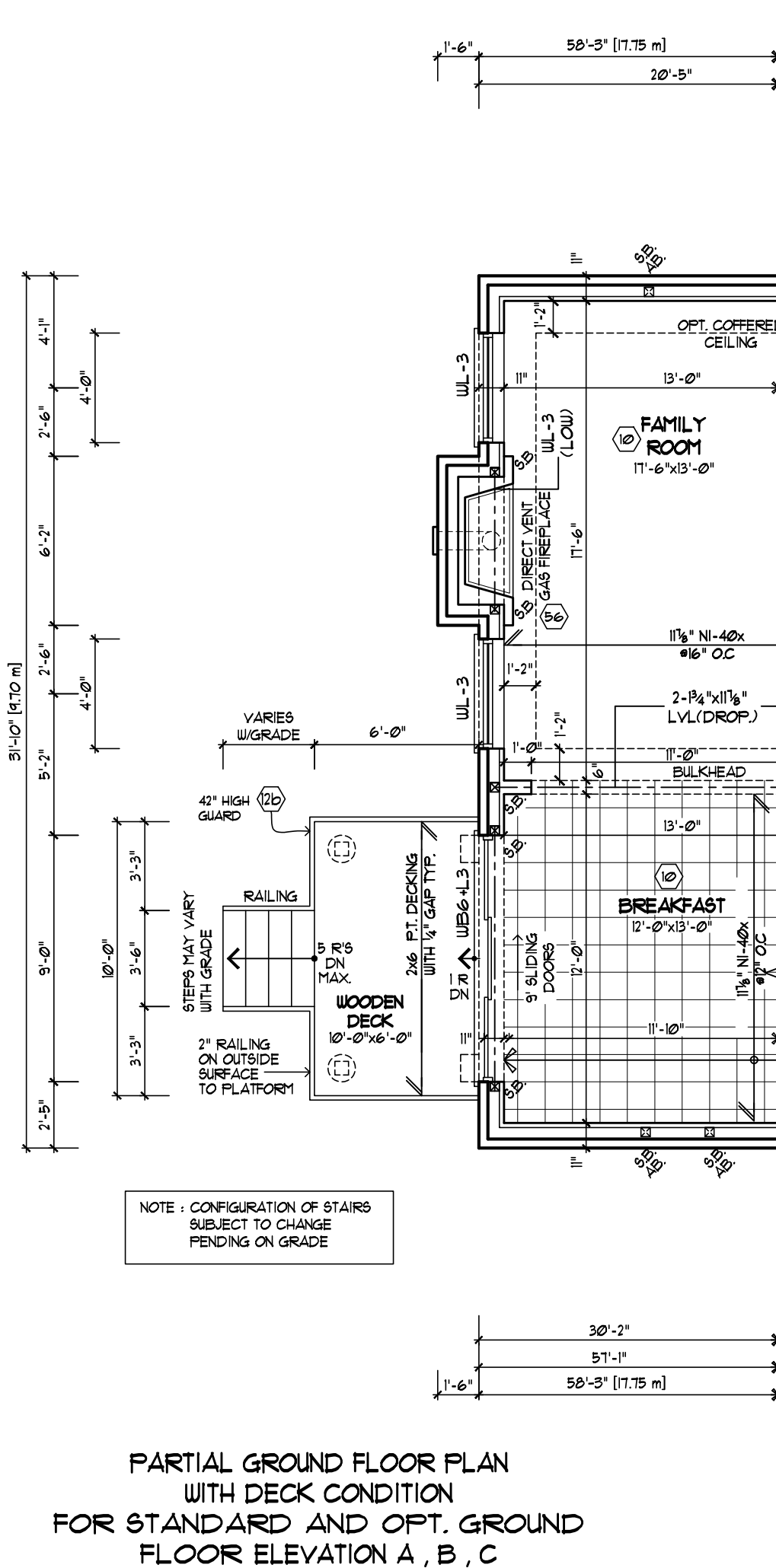
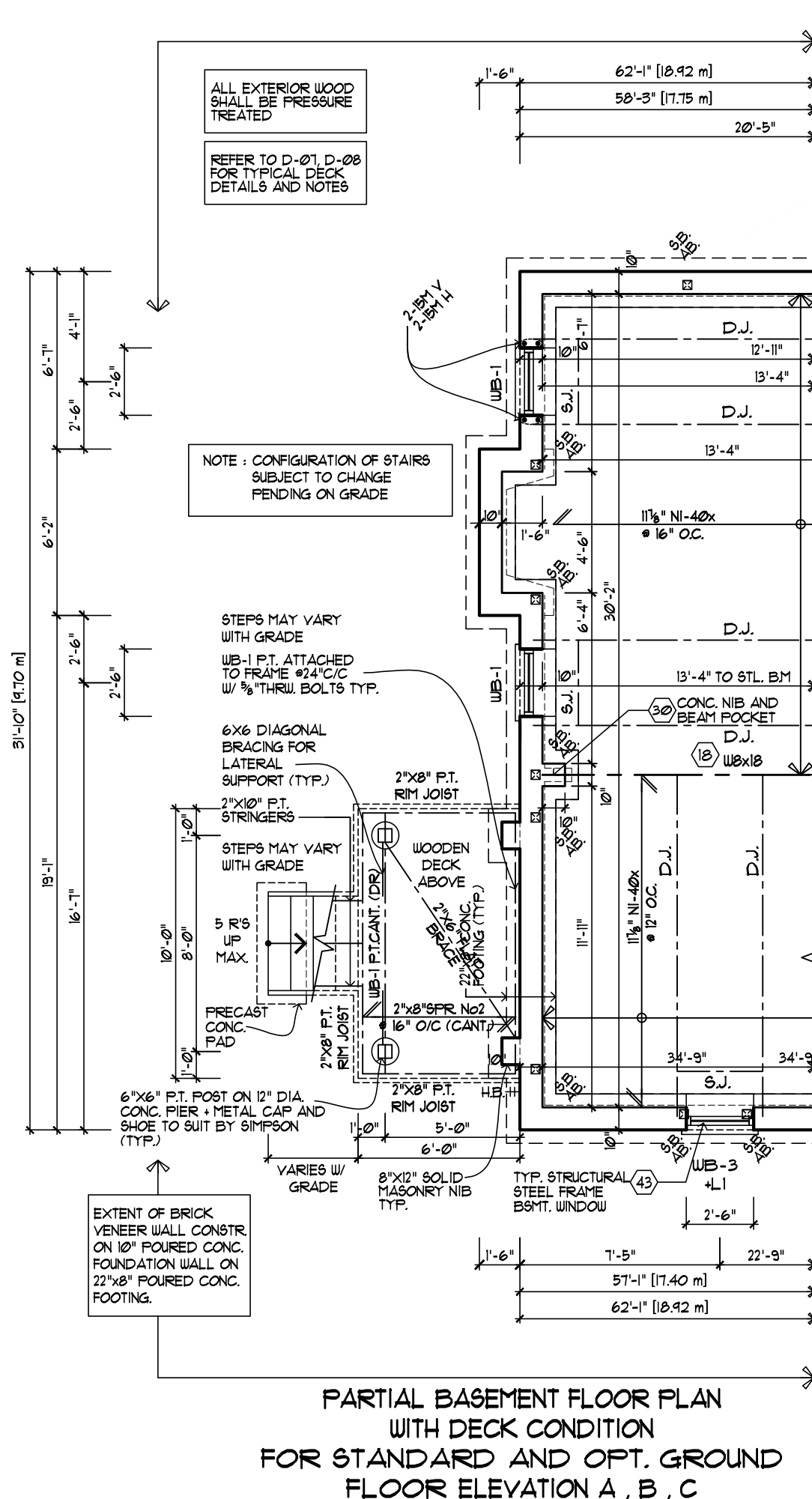
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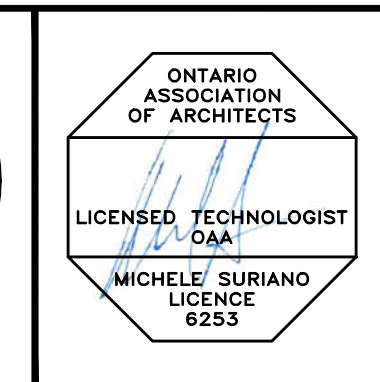
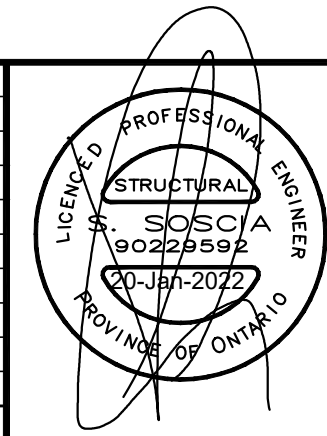
SHEET NAME: REAR ELEVATION A AND C WITH WALK-UP BASEMENT CONDITION		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-13
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-5 ALEXIE	

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
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51 Rysun Road, Unit 1
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T. 905-264-0924

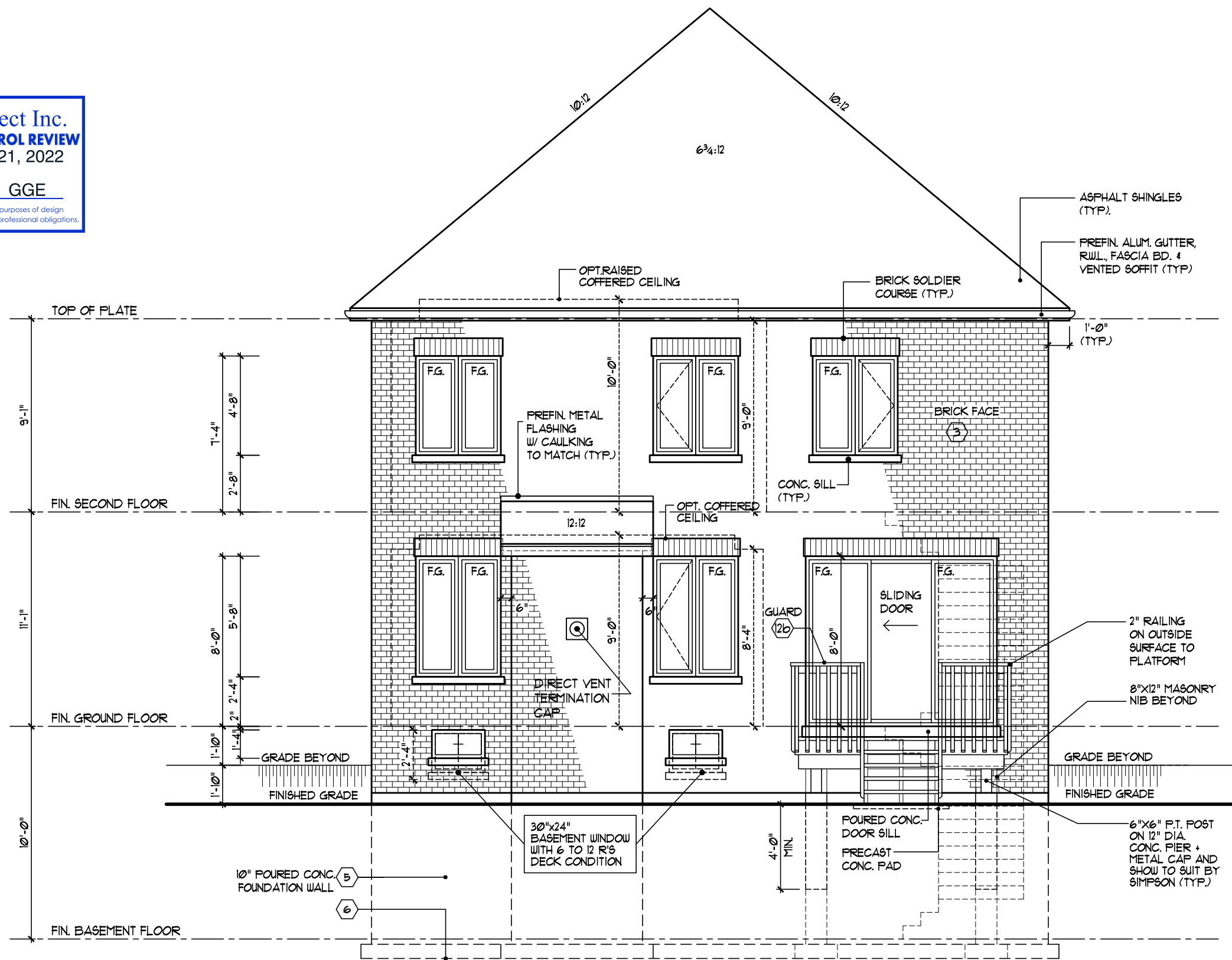
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DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-14
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

MODEL 40-5 ALEXIE

W Architect Inc.
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JANUARY 21, 2022
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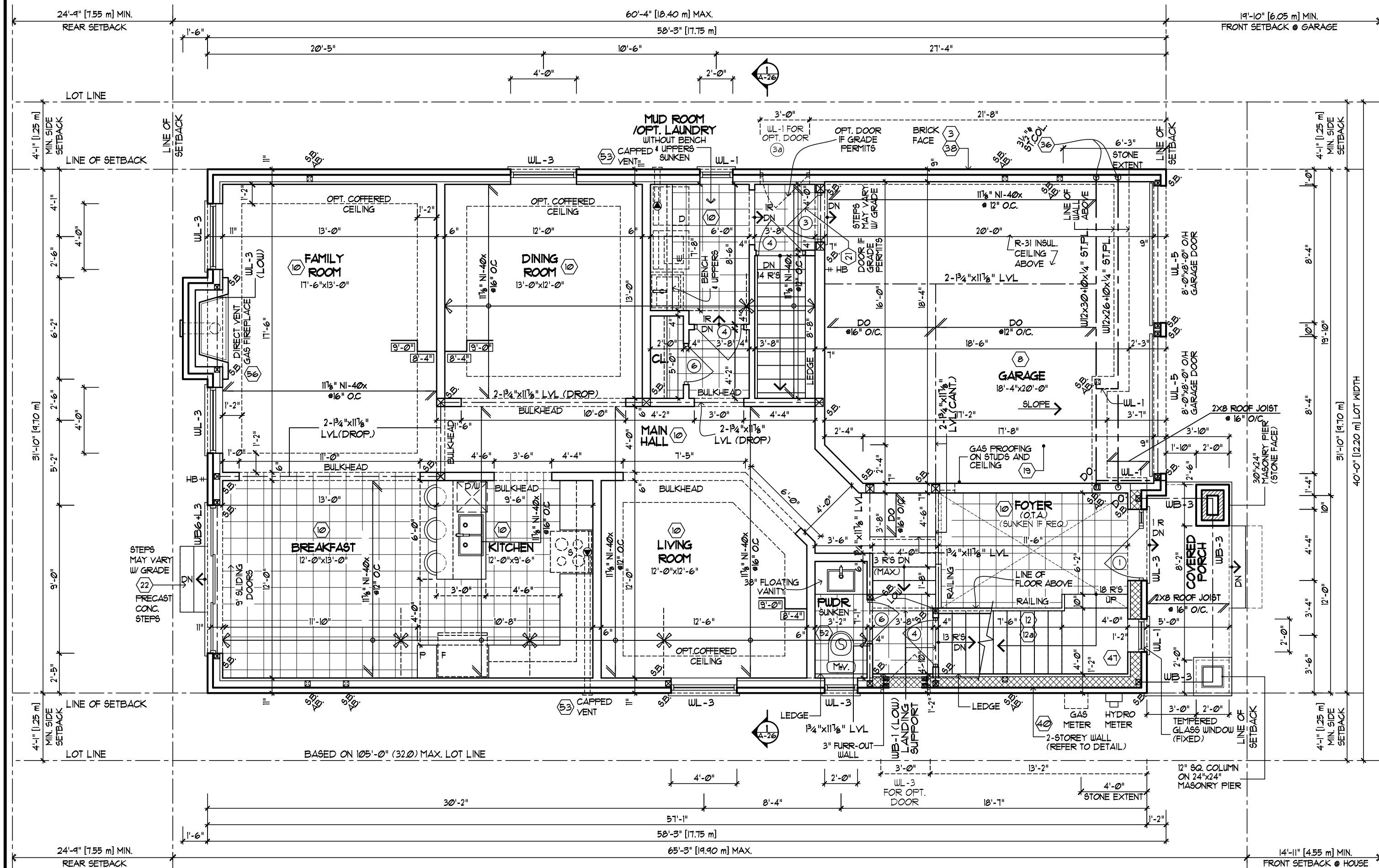
FOR TYPICAL NOTES REFER TO SHEET A-21	PERFORMANCE PACKAGE
NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS	RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)	REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS



REAR ELEVATION A AND C
WITH WOOD DECK CONDITION

MODEL 40-5 ALEXIE

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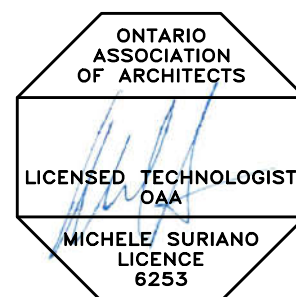
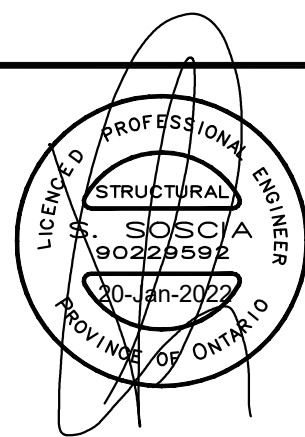


W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
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STANDARD GROUND FLOOR PLAN
ELEVATION B

MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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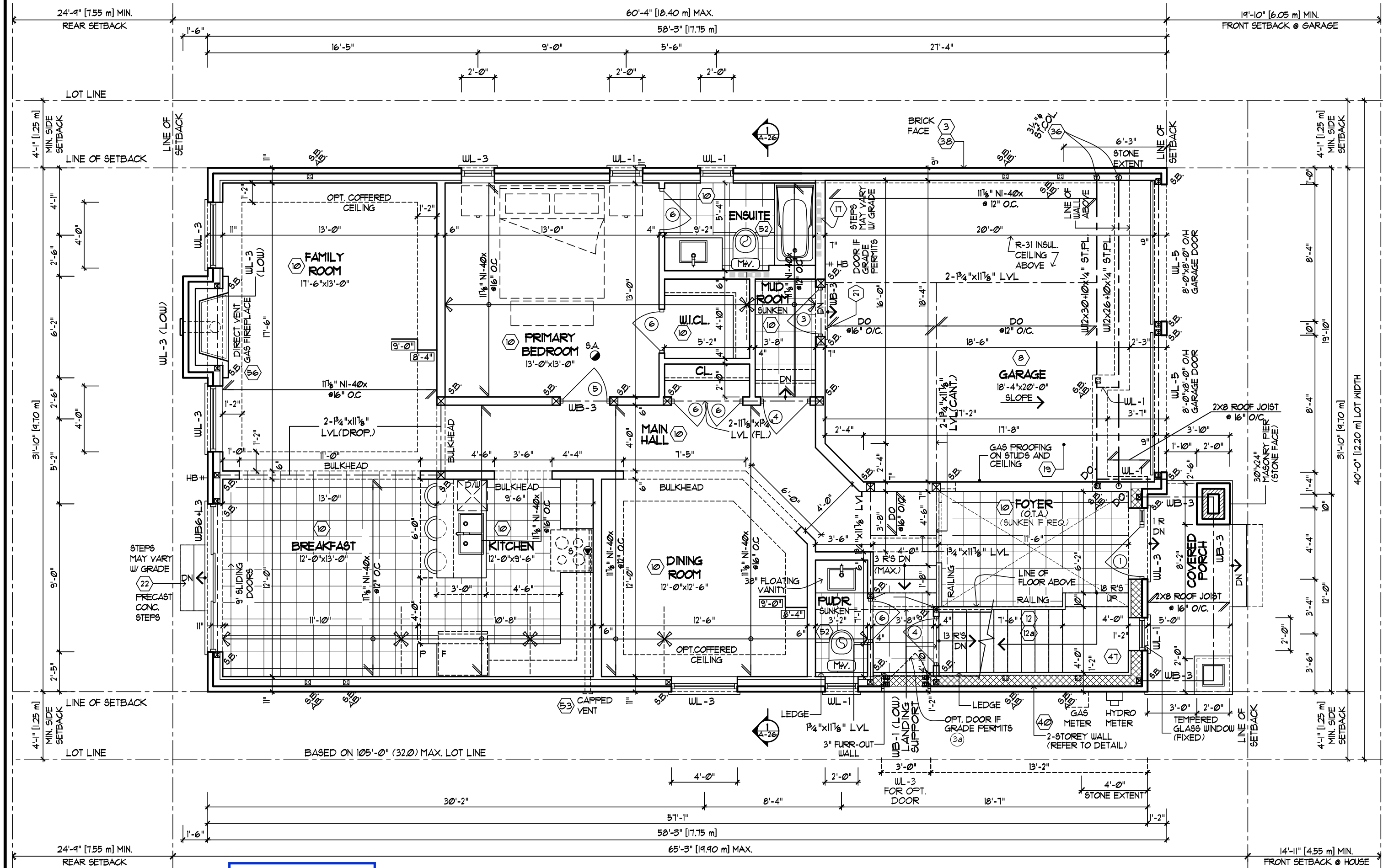
SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD GROUND FLOOR PLAN FOR ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3164 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-16
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE

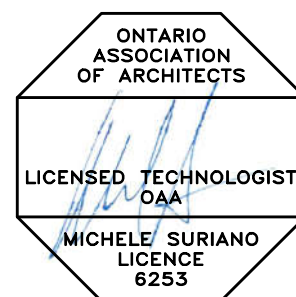
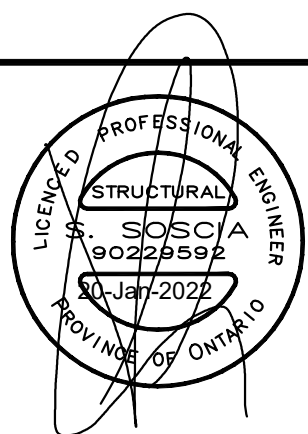


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OPTIONAL GROUND FLOOR PLAN
(WITH MASTER BEDROOM)
ELEVATION B

MODEL 40-5 ALEXIE

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T. 905-264-0924

SHEET NAME:
OPTIONAL GROUND FLOOR PLAN (WITH
MASTER BEDROOM) ELEVATION B

DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3164 sq.ft.
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DATE: OCT. 23/20	TYPE:	PAGE No:
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SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	A-17
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AREA:
3164 sq.ft.

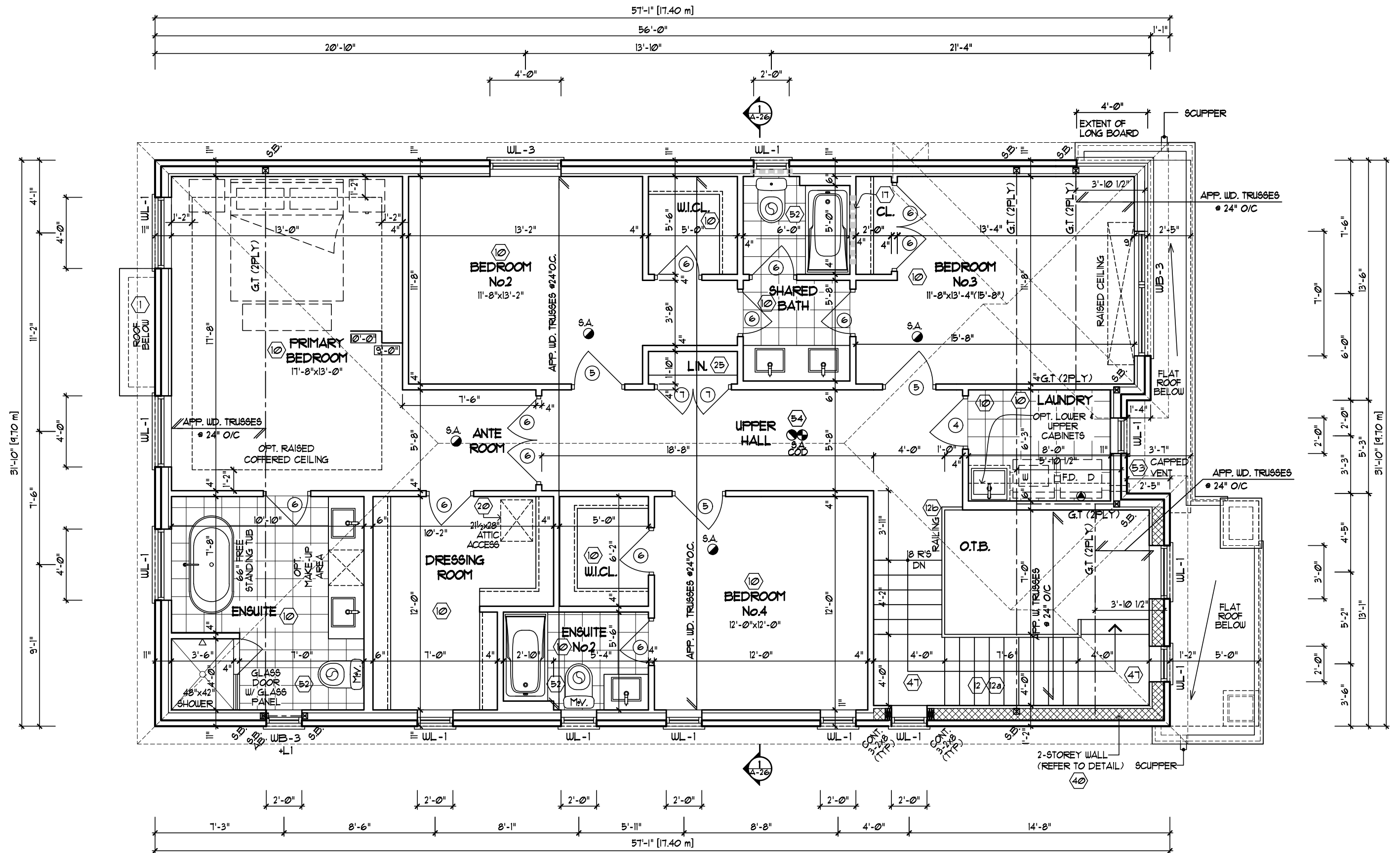
PAGE No:

~~A~~-17

HOMES

PROJECT NAME:

MODEL NAME: MODEL 10 E ALEXE



AREA CALCULATION ELEVATION B

FINISHED BSMT. AREA	0	SQ. FT.
GROUND FLOOR AREA	1455	SQ. FT.
SECOND FLOOR AREA	1790	SQ. FT.
SUBTOTAL	3245	SQ. FT.
	301.47	M2

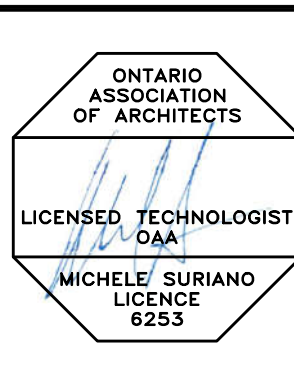
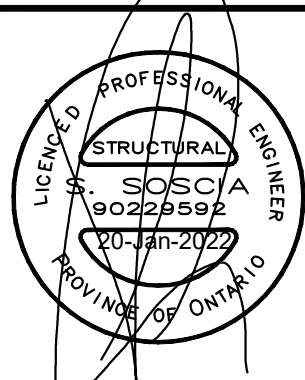
DEDUCT ALL OPEN AREAS	81	SQ. FT.
TOTAL NET AREA	3164	SQ. FT.
	293.95	M2
COVERAGE W/O PORCH	1848	SQ. FT.
	171.68	M2
COVERAGE W/PORCH	1911	SQ. FT.
	177.54	M2

STANDARD SECOND FLOOR PLAN (4 BEDROOM)
ELEVATION B

W Architect Inc.
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JANUARY 21, 2022
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ARCHITECTURAL DESIGN

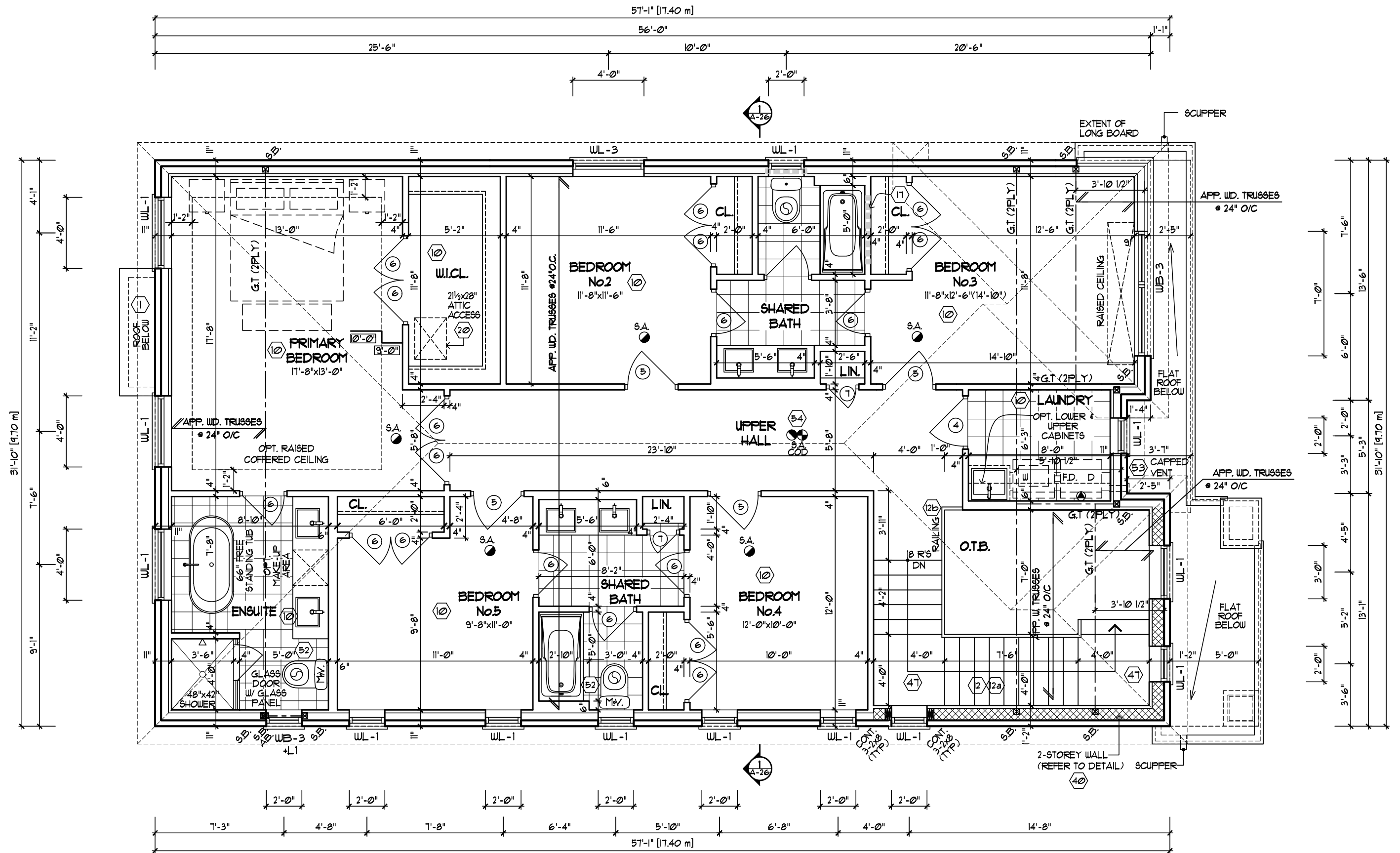
SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: STANDARD 2ND FLR PLAN (4 BEDRM.) FOR ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3164 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-18
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:
MODEL 40-5 ALEXIE



ALTERNATE SECOND FLOOR PLAN (5 BEDROOM)
ELEVATION B

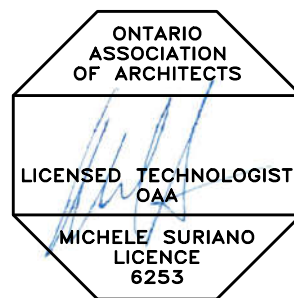
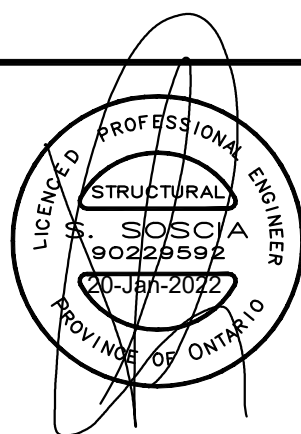
MODEL 40-5 ALEXIE

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5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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T. 905-264-0924

SHEET NAME: ALTERNATE 2ND FLR PLAN (5 BEDRM.) FOR ELEV. B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3164 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-19
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE

FOR TYPICAL NOTES
REFER TO SHEET A-21

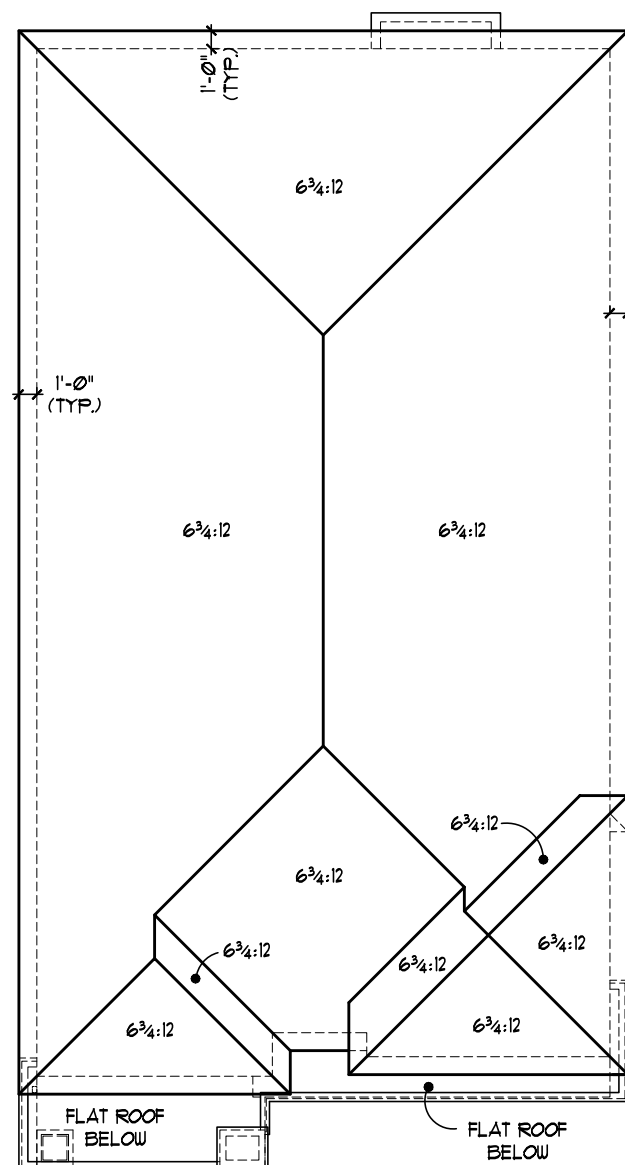
PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE
12" UNLESS NOTED OTHERWISE
ON DRAWINGS

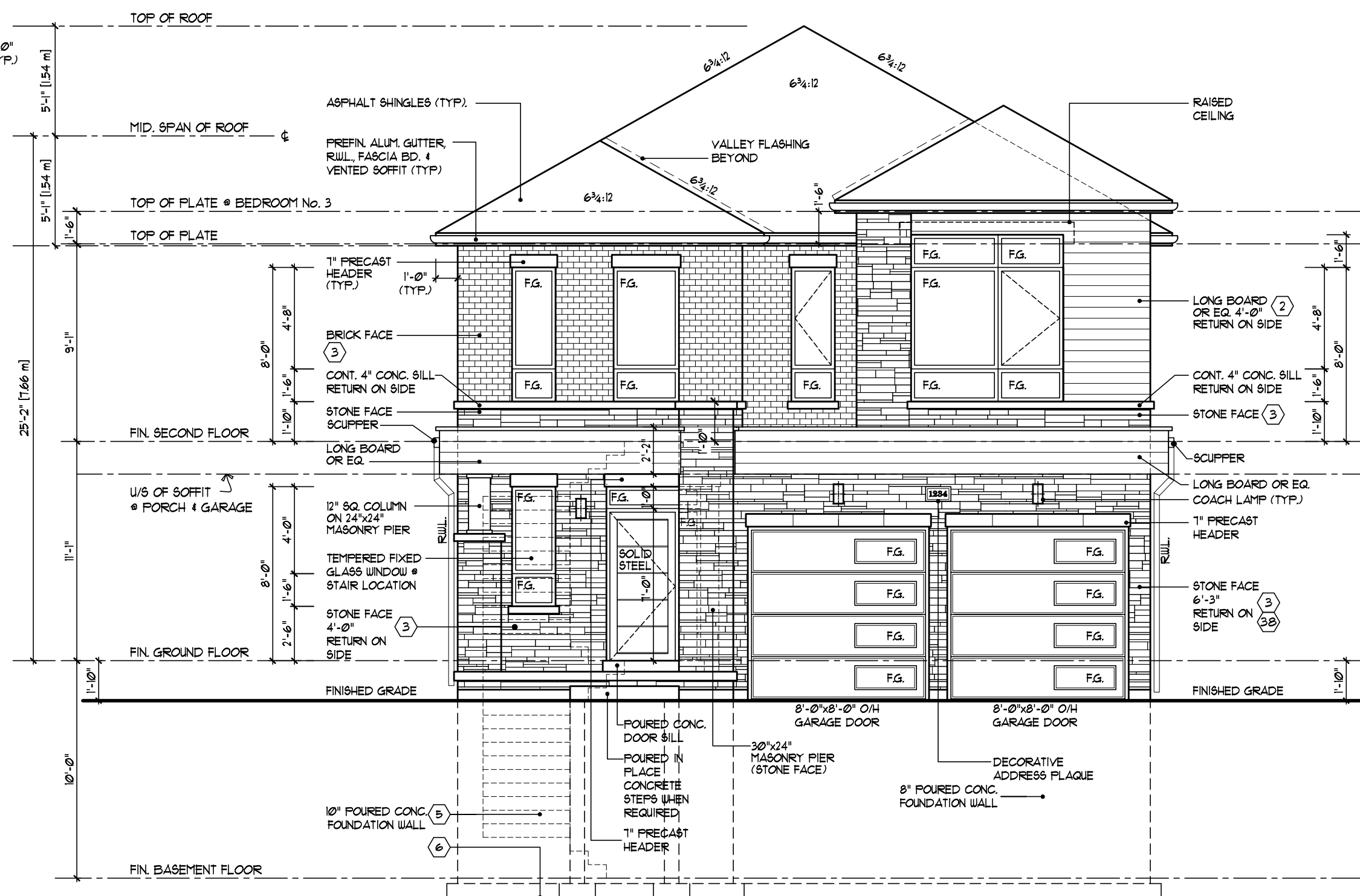
RAILING REQUIRED WHEN PORCH TO
GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY
DEPENDING ON LOT CONDITIONS.
(REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR
COMPLETE TRUSS LAYOUT AND
SPECIFICATIONS



ROOF PLAN
FOR ELEVATION B
N.T.S.

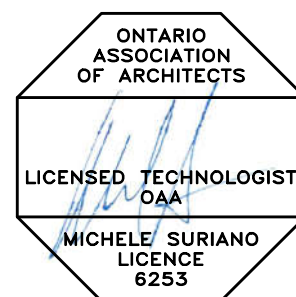
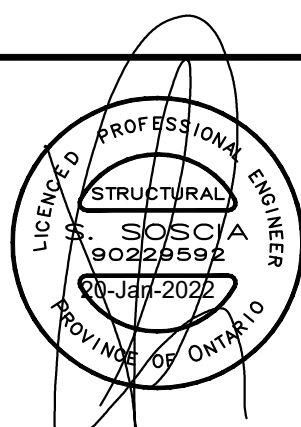


FRONT ELEVATION B

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MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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T: 905-264-0924

SHEET NAME: FRONT ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3164 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-20
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE

AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION B (ST. GROUND FLOOR WITH ST/ALT. SECOND FLOOR 4/5 BEDROOM)

WALL AREA		= 1287.81	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00% (125m. SIDE YARD)		= 90.15	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY		= 42.72	SQ. FT.
ACTUAL WINDOWS + OPT. DOOR AREA		= 63.72	SQ. FT.

FOR TYPICAL NOTES
REFER TO SHEET A-21

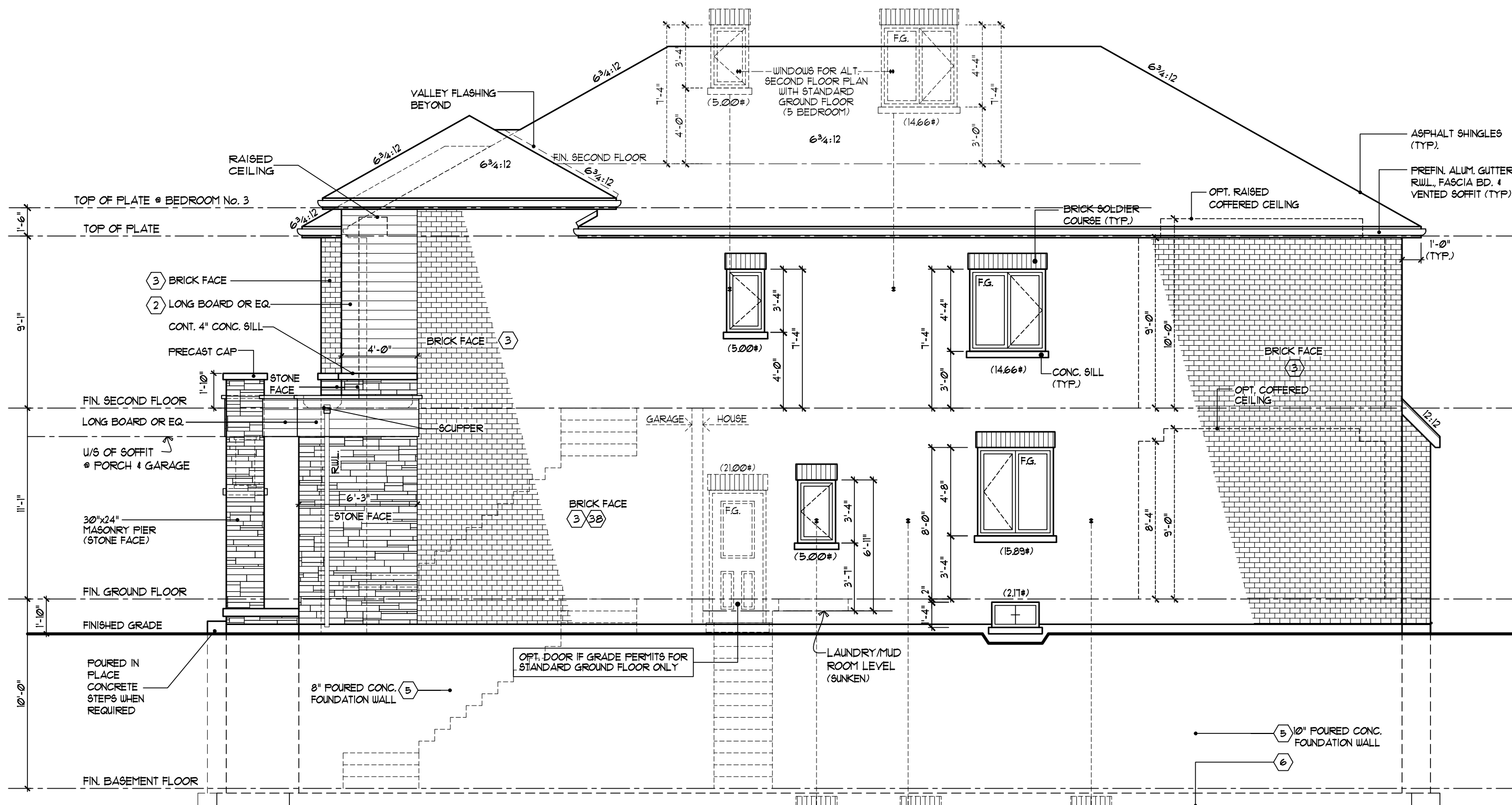
PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS



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AREA OF GLAZED OPENINGS

RIGHT SIDE ELEVATION B (OPT. GROUND FLOOR WITH ST/ALT. SECOND FLOOR 4/5 BEDROOM)

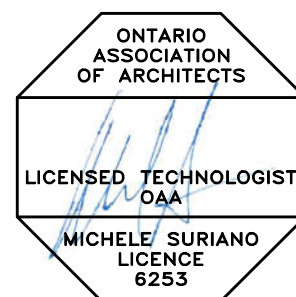
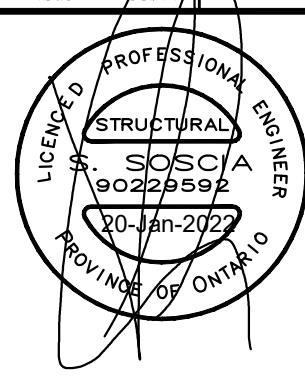
WALL AREA		= 1287.81	SQ. FT.
ALLOWABLE WINDOW AREA @ 1.00% (125m. SIDE YARD)		= 90.15	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY		= 40.16	SQ. FT.

WINDOWS FOR
OPT. GROUND FLOOR PLAN
(WITH MASTER BEDROOM)

RIGHT SIDE ELEVATION B FOR 4/5 BEDROOM AND OPT. GROUND FLOOR WITH MASTER BEDROOM

MODEL 40-5 ALEXIE

No.	DATE:	REVISION/ISSUED:	BY:
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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SHEET NAME:
RIGHT SIDE ELEVATION B FOR 4/5 BEDROOM
AND OPT. GROUND FLOOR WITH MASTER BEDROOM

DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3164 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No:
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE

WINDOWS FOR ALT.
SECOND FLOOR PLAN
(5 BEDROOM)

FOR TYPICAL NOTES
REFER TO SHEET A-21

PERFORMANCE PACKAGE

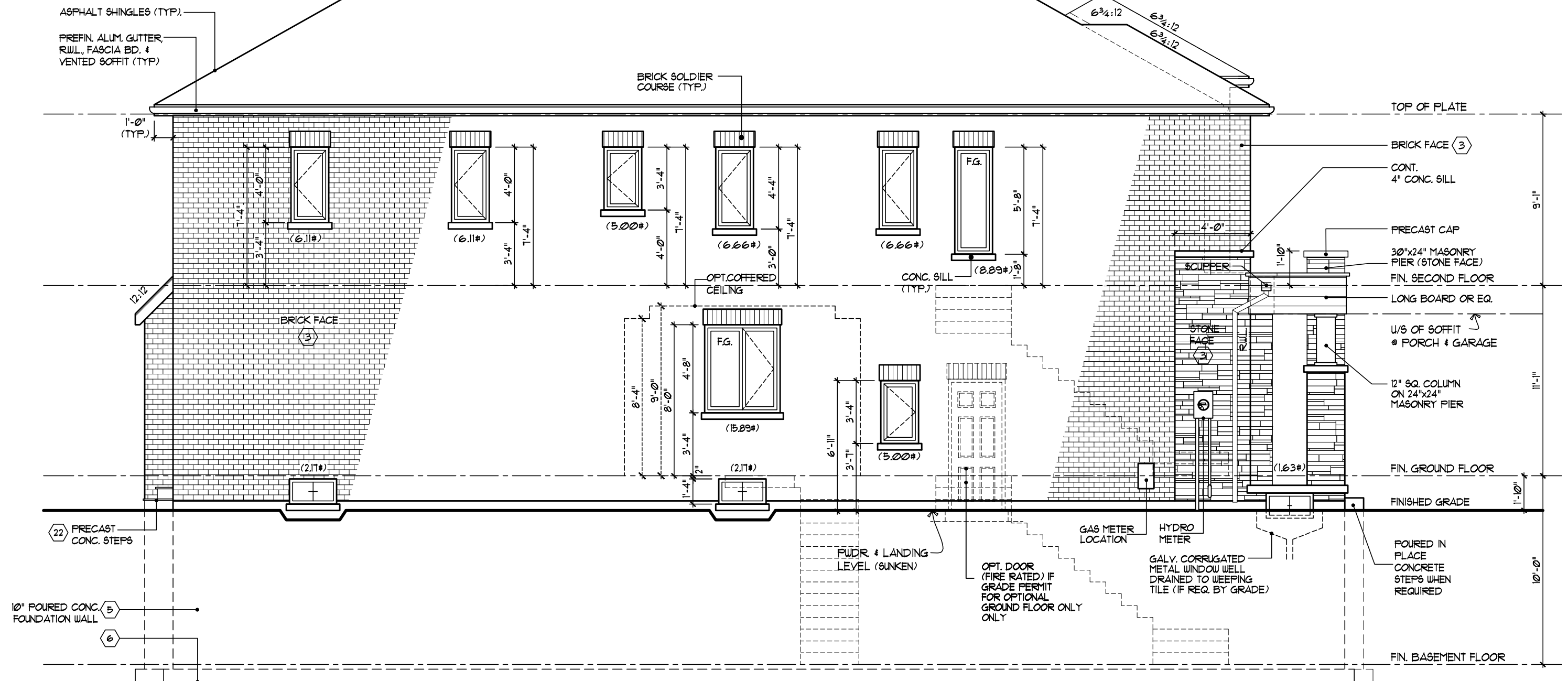
NOTE: ROOF OVERHANGS ARE TO BE
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(REFER TO GRADING PLANS)

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AREA OF GLAZED OPENINGS

LEFT SIDE ELEVATION B (4 BEDROOM)

WALL AREA	= 1294.51	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00% (125m. SIDE YARD)	= 90.62	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 66.29	SQ. FT.

AREA OF GLAZED OPENINGS

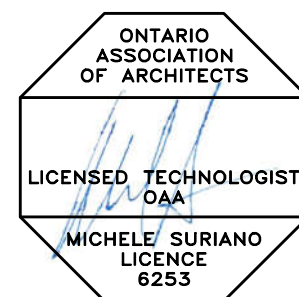
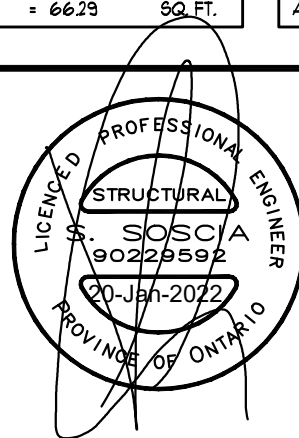
LEFT SIDE ELEVATION B (5 BEDROOM)

WALL AREA	= 1294.51	SQ. FT.
ALLOWABLE WINDOW AREA @ 7.00% (125m. SIDE YARD)	= 90.62	SQ. FT.
ACTUAL WINDOW AREA GLASS ONLY	= 76.84	SQ. FT.

LEFT SIDE ELEVATION A
FOR 4 AND 5 BEDROOM

MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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SHEET NAME:
LEFT SIDE ELEVATION B FOR 4 AND 5 BEDROOM

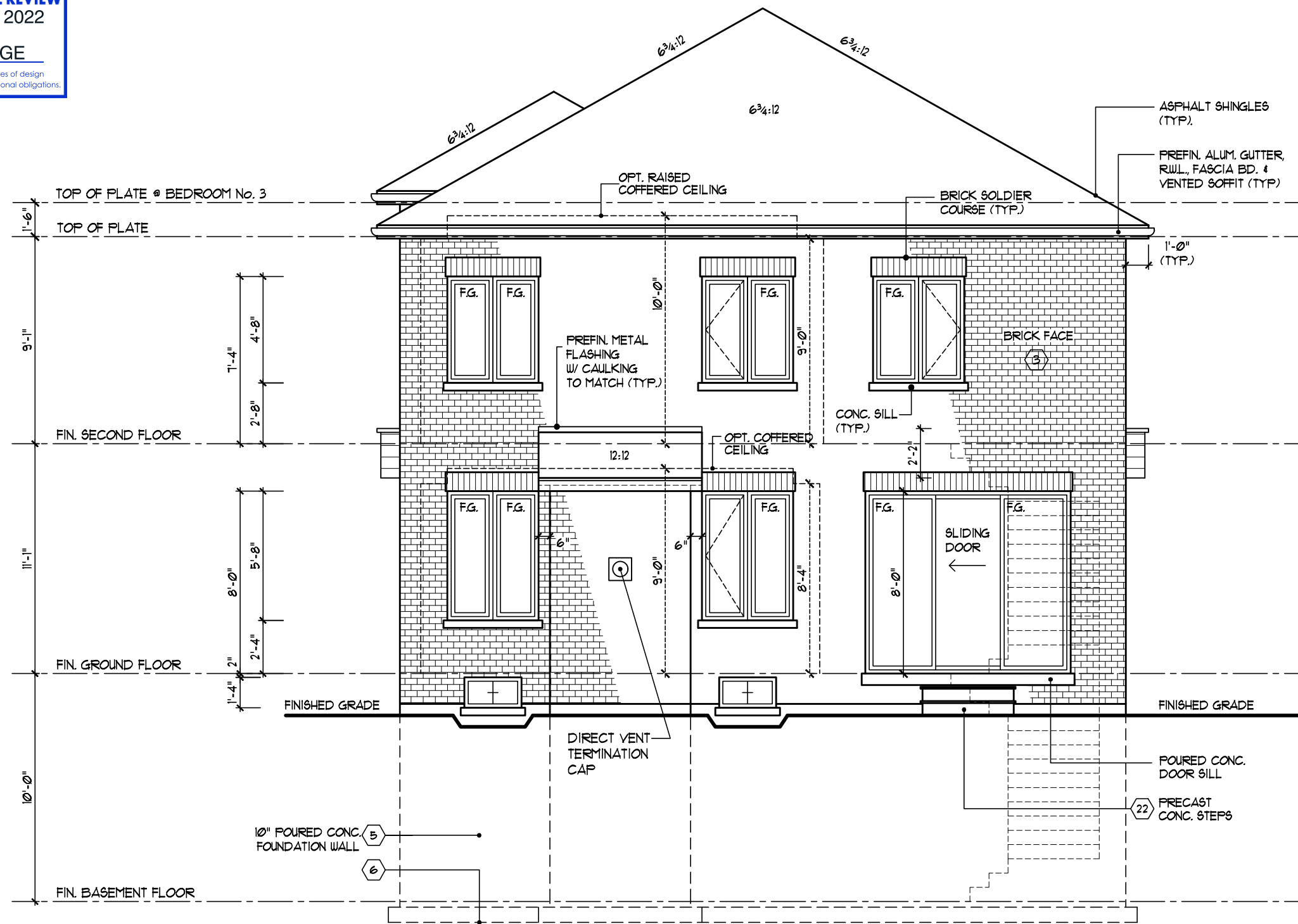
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DATE: OCT. 23/20	TYPE:	PAGE No: A-22
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE

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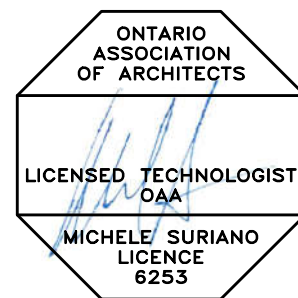
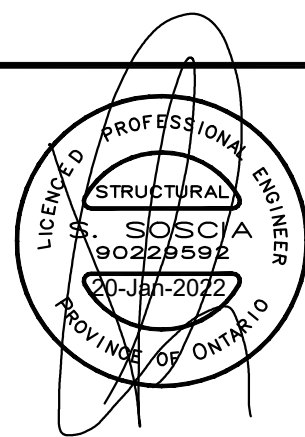
FOR TYPICAL NOTES REFER TO SHEET A-21	PERFORMANCE PACKAGE
NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS	RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"
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REAR ELEVATION B

MODEL 40-5 ALEXIE

No.	DATE:	REVISION/ISSUED:	BY:
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SHEET NAME: REAR ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3164 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-23
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME: MODEL 40-5 ALEXIE

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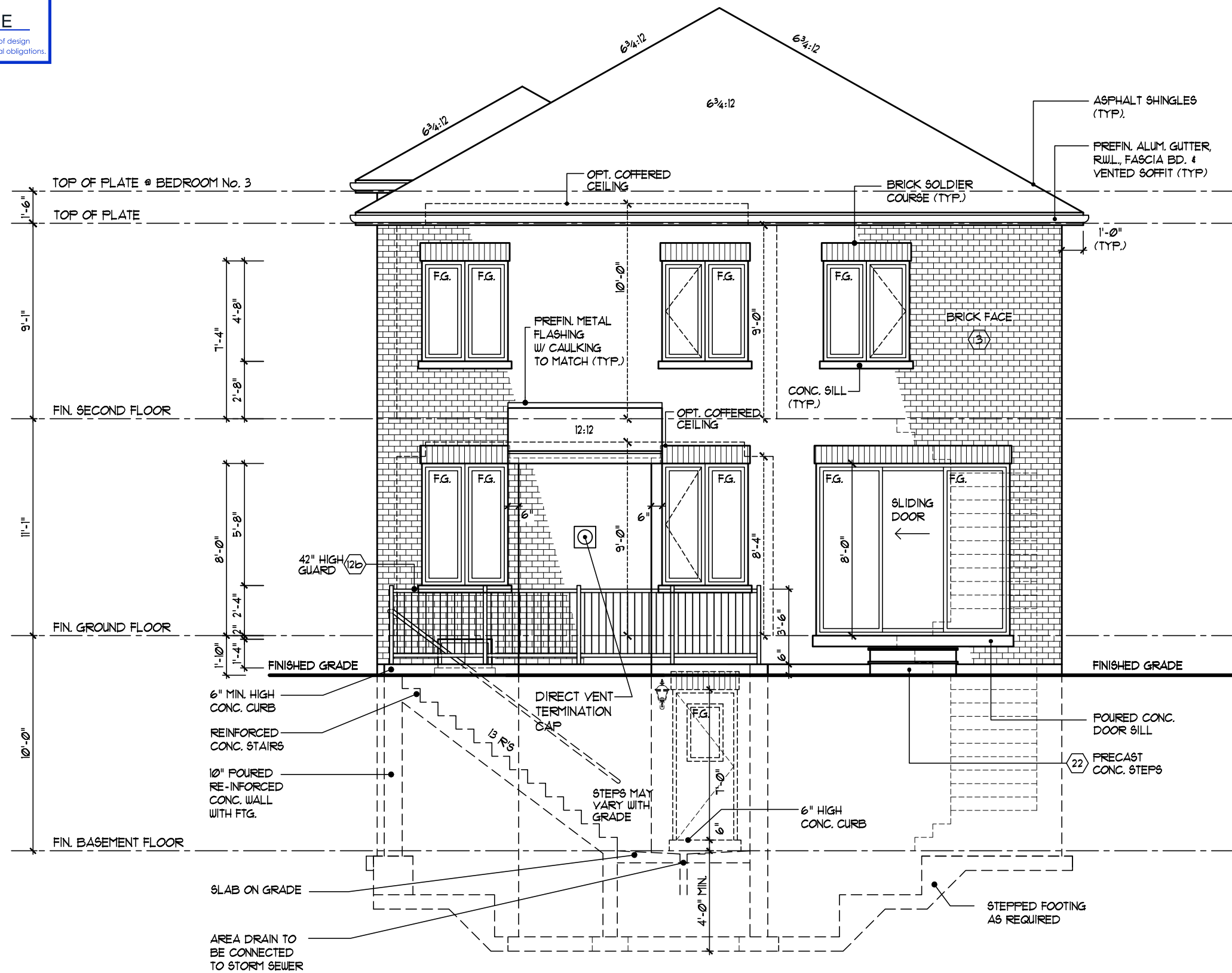


ROYAL PINE HOMES

[illegible]

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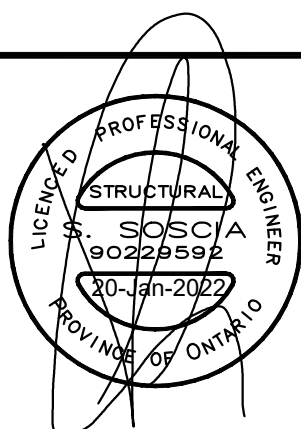
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REAR ELEVATION B
WITH WALK-UP CONDITION

MODEL 40-5 ALEXIE

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5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
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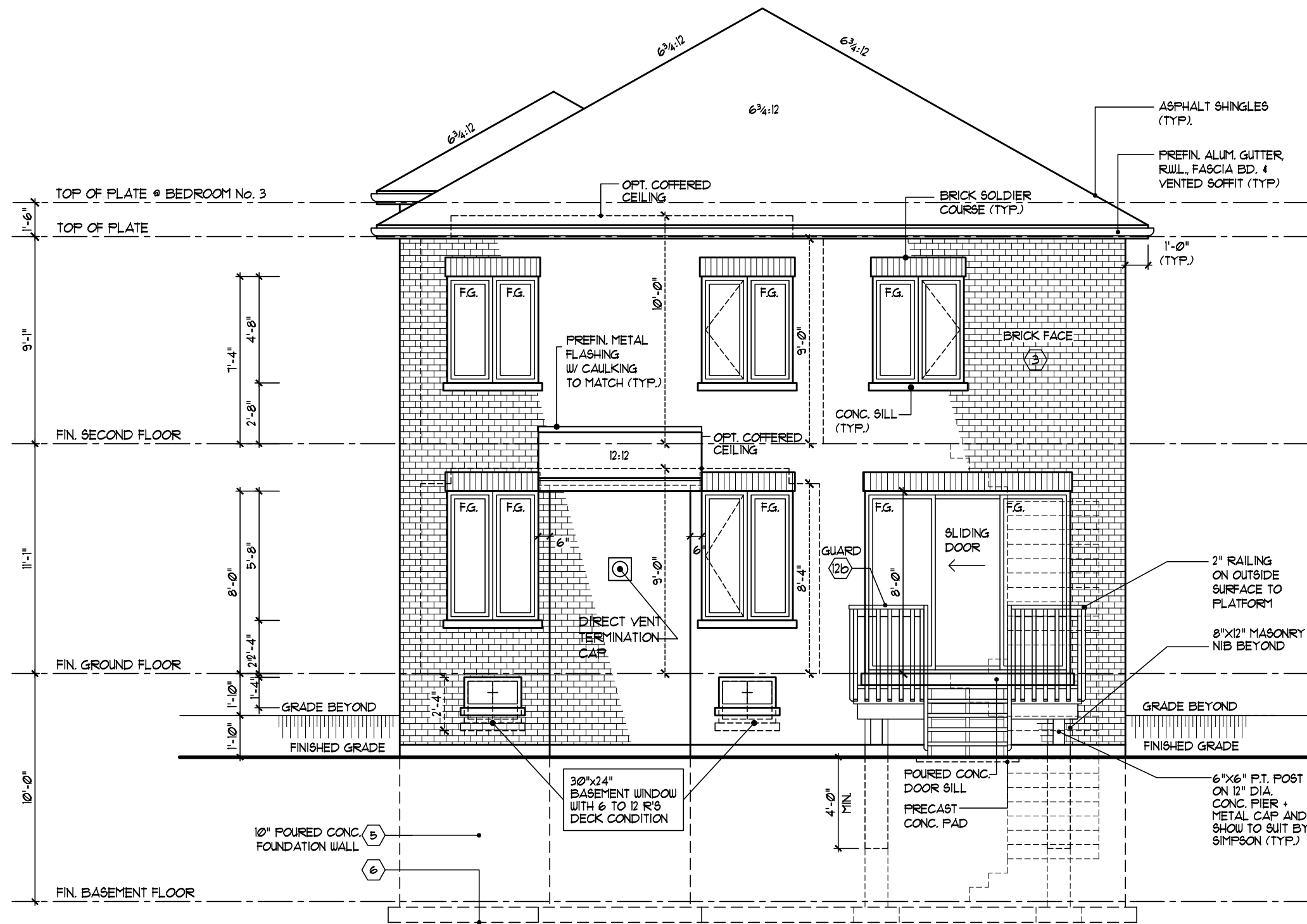
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SHEET NAME: REAR ELEVATION B WITH WALK-UP BASEMENT CONDITION		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3164 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-25
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME: MODEL 40-5 ALEXIE

FOR TYPICAL NOTES REFER TO SHEET A-21	PERFORMANCE PACKAGE
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REAR ELEVATION B
WITH WOOD DECK CONDITION

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MODEL 40-5 ALEXIE

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TYPICAL BASEMENT FLOOR PLAN NOTES:

TYPICAL NOTES:

ALL CONCRETE FOOTING SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 150 Kpa (3000 PSF) AND BE FOUNDED A MIN. OF 4'-0" BELOW FINISHED GRADE.

CONCRETE STRENGTH FOR FOOTINGS SHALL BE A MIN. OF **25 MPa**, OR **3750 PSI**, AS PER OBC TABLE 9.15.4.2.A.

CONCRETE STRENGTH FOR GARAGE SLAB, CONCRETE PORCHES AND STEPS SHALL BE A MIN. **32 MPa**, WITH 5 - 8% ENTRAINMENT, UNLESS NOTED OTHERWISE.

CONCRETE STRIP FOOTING SIZE FOR 10" P. CONC. WALLS SHALL BE MIN. OF **8"x22"** UNREINFORCED FOR UP TO 16'-0" JOIST SPAN.

THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION, 2 FLOORS AND ROOF OF LIGHT WOOD FRAME CONSTRUCTION, WITH SPAN OF SUPPORTED JOIST THAT DO NOT EXCEED 4.9m (16'-1") AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 2.4 Kpa (50 PSF).

REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.

3/4" SUB FLOOR TO BE GLUED & NAILED (TYP.)

REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT.

ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DRAWINGS.

ALL LVL'S SHALL BE 18E/20E GRADE MICROLLAM LVL OR BETTER U. S. O.

BRICK VENEER LINTELS

WL1	= 3 1/2" x 3 1/2" x 1/4"	(90x90x6)	+ 2- 2" x 8"	SFF
WL2	= 4" x 3 1/2" x 5/16"	(100x90x8)	+ 2- 2" x 8"	SFF
WL3	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 10"	SFF
WL4	= 6" x 3 1/2" x 3/8"	(150x90x10)	+ 2- 2" x 12"	SFF
WL5	= 6" x 4" x 3/8"	(150x100x10)	+ 2- 2" x 12"	SFF
WL6	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 12"	SFF
WL7	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 10"	SFF
WL8	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 12"	SFF
WL9	= 6" x 4" x 5/16"	(150x100x10)	+ 3- 2" x 12"	SFF

CI = 3 1/2" x 1/4" STEEL COL. ON CONC. FTG.
+ 6"x6"x1/2" BASE & CAP PLATE. WELD TO BM. ANCHOR TO FTG. W/ 2- 1/2"x6" AB

F1 = 36"x36"x16"

F2 = 24"x24"x12"

F3 = 18"x18"x8"

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

SOLID BEARING:

SB MINIMUM 3-2"x4" OR 3-2"x6" BUILT UP COLUMNS

BUILT UP COLUMNS:

- NAILED W/ 1 ROW FOR 2"x4" COLUMN
- NAILED W/ 2 ROW FOR 2"x6" COLUMN
- NAIL LENGTH TO MATCH TOTAL BUILT UP WIDTH
- NAILS SPACED @ 8" O/C
- PROVIDE SQUASH BLOCKS TO TRANSFER POINT LOADS BETWEEN FLOORS

STEEL LINTELS

L1	= 3 1/2" x 3 1/2" x 1/4"	(89x89x6.4)
L2	= 4" x 3 1/2" x 5/16"	(102x89x7.9)
L3	= 5" x 3 1/2" x 5/16"	(127x89x7.9)
L4	= 6" x 3 1/2" x 3/8"	(152x89x9.5)
L5	= 6" x 4" x 3/8"	(152x102x9.5)
L6	= 7" x 4" x 3/8"	(178x102x9.5)
L7	= 7" x 4" x 1/2"	(178x102x13)

WOOD LINTELS AND BEAMS

WB1	= 2- 2" x 8"	SFF
WB2	= 3- 2" x 8"	SFF
WB3	= 2- 2" x 10"	SFF
WB4	= 3- 2" x 10"	SFF
WB5	= 2- 2" x 12"	SFF
WB6	= 3- 2" x 12"	SFF
WB7	= 5- 2" x 12"	SFF
WB11	= 4- 2" x 10"	SFF
WB12	= 4- 2" x 12"	SFF

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM, INCLUDING BEAMS AND SUPPORT, REFER TO THE APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

FOR TYPICAL NOTES
REFER TO SHEET A-21

PERFORMANCE PACKAGE

TYPICAL ELEVATION NOTES:

REFER TO TRUSS SHOP DWGS.
FOR COMPLETE TRUSS LAYOUT
AND SPECIFICATIONS

NOTE: ELEVATIONS DO NOT REPRESENT
ACTUAL FINISHED GRADES (REFER TO
GRADING PLANS)

RAILING REQUIRED WHEN PORCH TO
GRADE EXCEEDS MORE THAN 2'-0"

REFER JOIST MANUFACTURER'S
SPECIFICATIONS FOR ALL
TECHNICAL DETAILS & INFO.

TYPICAL GROUND FLOOR PLAN NOTES:

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

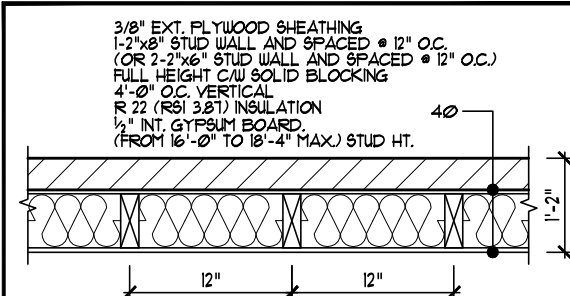
9'-0"
8'-4" DENOTES CEILING HEIGHT

TYPICAL GROUND FLOOR NOTES

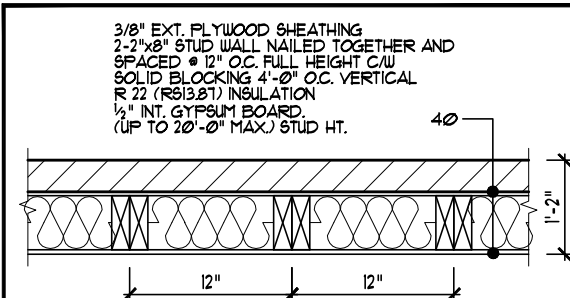
- REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT
- 5/8" SUB-FLOOR TO BE GLUED & NAILED (TYP.)
- ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DWGS.
- ALL LVL'S SHALL BE 18E GRADE MICROLLAM LVL OR BETTER U. S. O.

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM, INCLUDING BEAMS AND SUPPORT, REFER TO THE APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

ALL GARAGE DOORS INTO THE HOUSE SHALL BE GAS PROOFED AND HAVE SELF-CLOSING DEVICES. EACH DOOR SHALL HAVE STAIRS CONFORMING TO O.B.C. SECTION 9.8



2 STOREY WALL DETAIL FOR
BRICK/STONE FINISH
(FROM 16'-0" TO 18'-4" MAX.) STUD HT.



2 STOREY WALL DETAIL FOR
BRICK/STONE FINISH
(UP TO 20'-0" MAX.) STUD HT.

TYPICAL SECOND FLOOR PLAN NOTES:

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

ALL RETURN AIR PARTITIONS TO BE 6". REFER TO HVAC DRAWINGS

9'-0"
8'-0" DENOTES CEILING HEIGHT

17 DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 3/D-10

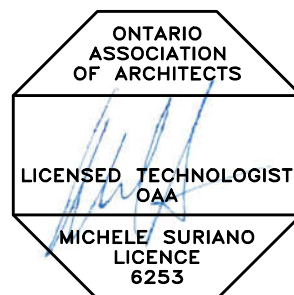
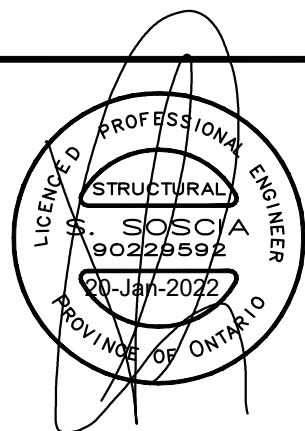
W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022

FINAL
RECERT BY: GGE

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MODEL 40-5 ALEXIE

7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Reysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME:
TYPICAL NOTES

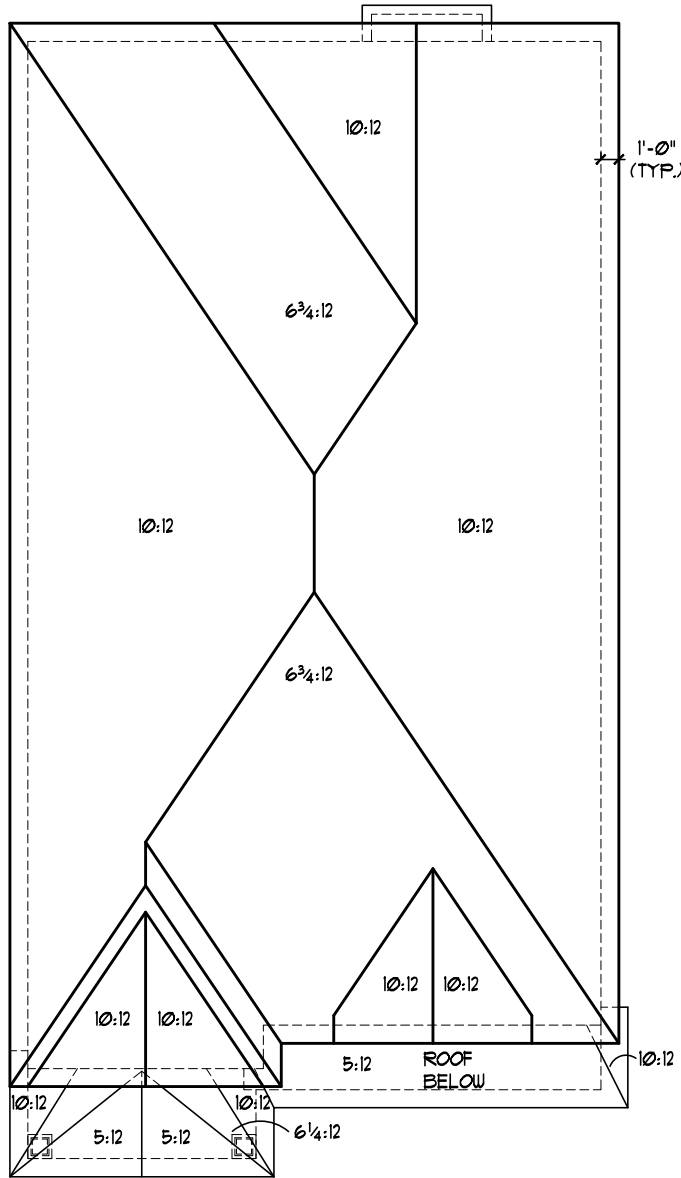
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DATE: OCT. 23/20	TYPE:	PAGE No: A-27
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

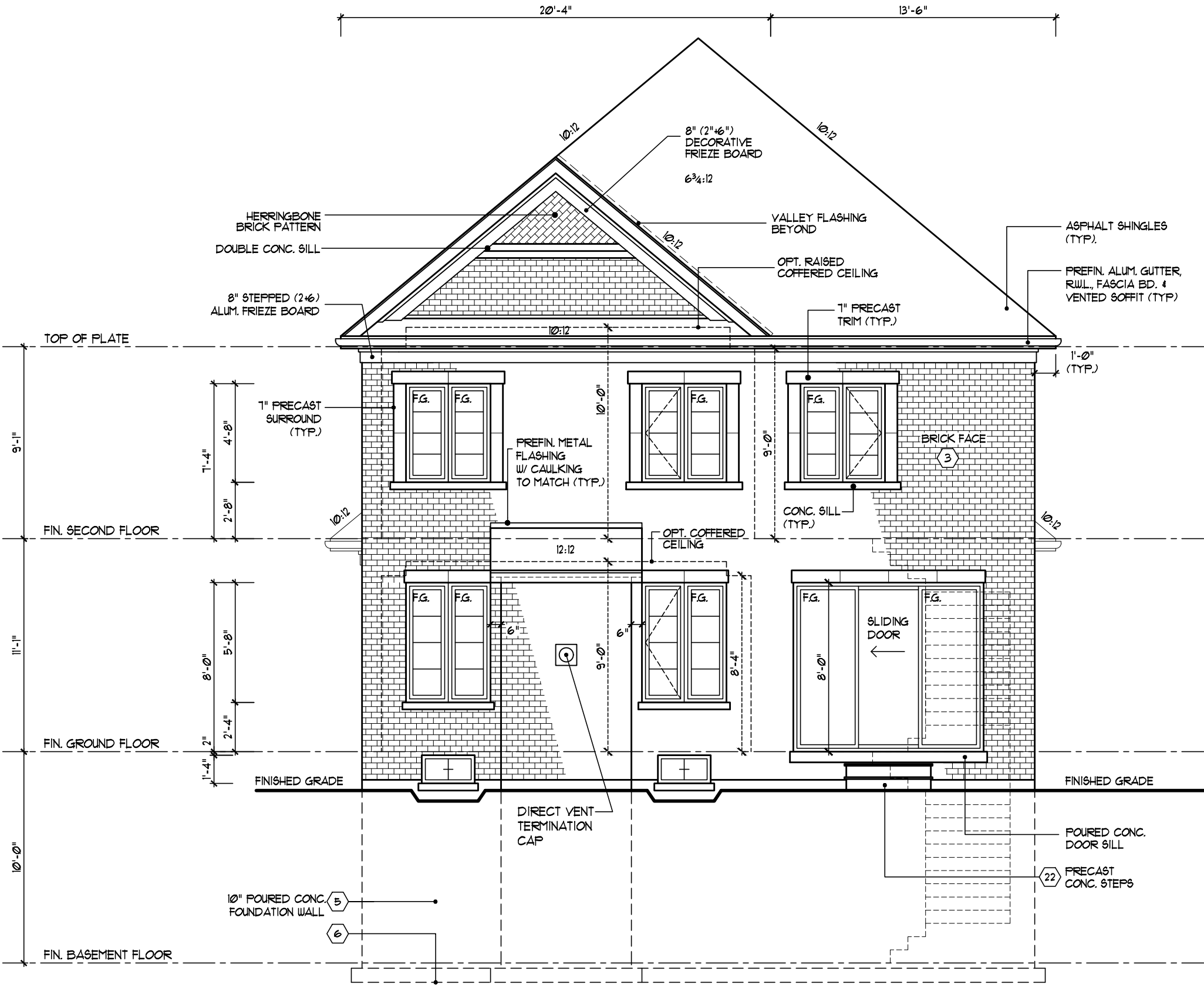
PROJECT NAME:

MODEL NAME:

MODEL 40-5 ALEXIE



UPGRADED ROOF
PLAN FOR
ELEVATION A
N.T.S.



UPGRADED REAR
ELEVATION A

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 17, 2022
FINAL
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LOT 49 UPGRADE
MODEL 40-5 ALEXIE

8.	FEB. 15/22	ISSUED FOR BUILDING PERMIT	MS
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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ARCHITECTURAL DESIGN

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T: 905-264-0924

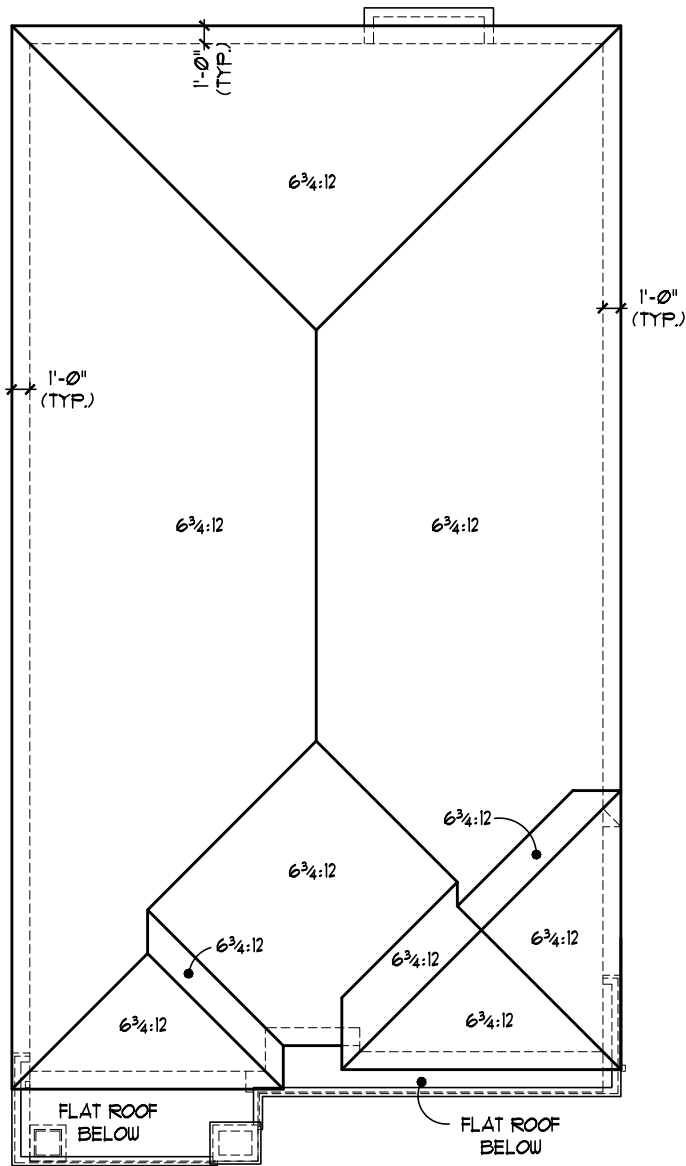
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DATE PLOTTED: FEB. 15/22	DRAWN BY: M.H./J.L.A.M	AREA: 3146 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-27
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

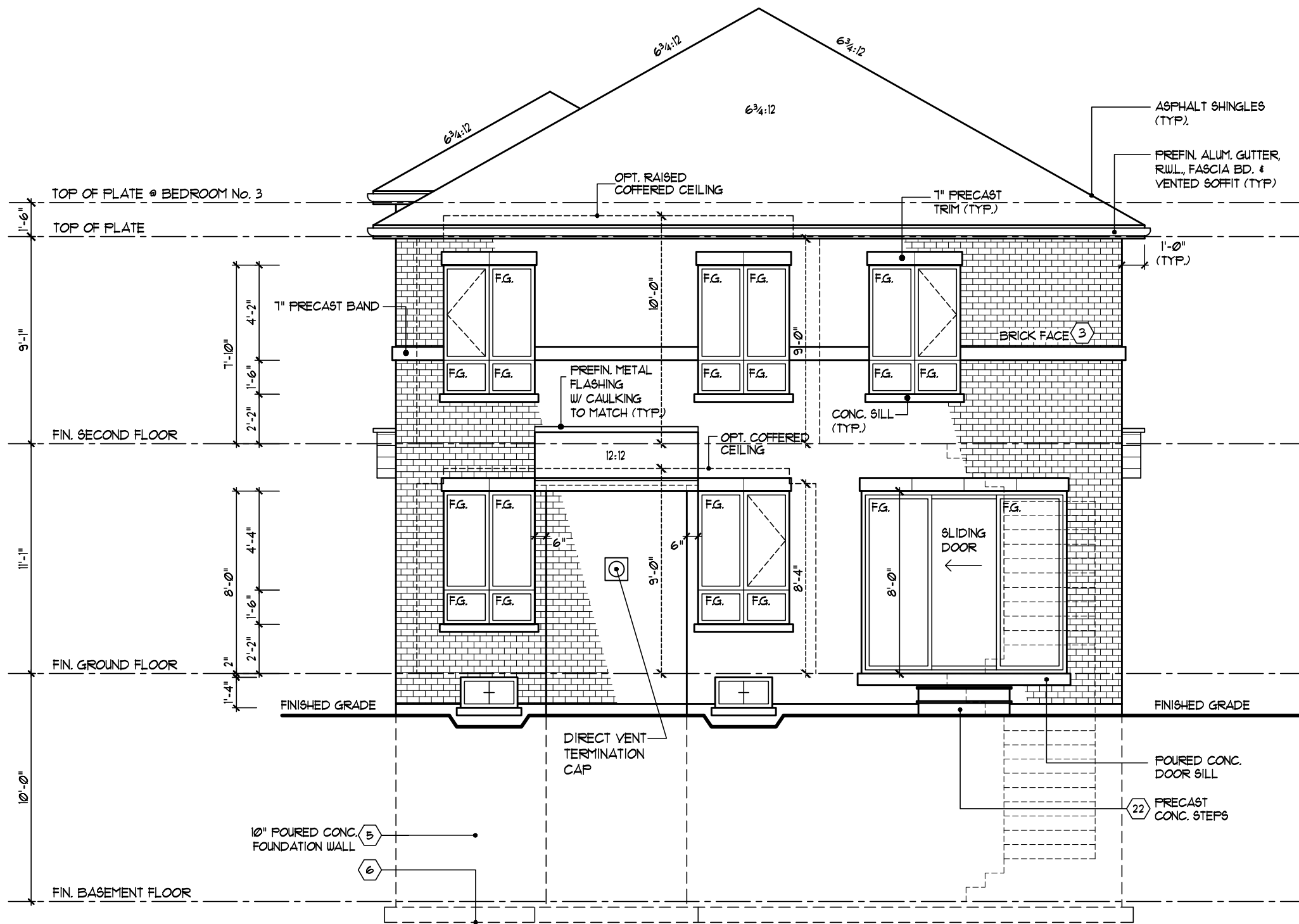
PROJECT NAME:

MODEL NAME:
MODEL 40-5 ALEXIE

FOR TYPICAL NOTES REFER TO SHEET A-29	PERFORMANCE PACKAGE
NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS	RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)	REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS



UPGRADED ROOF
PLAN FOR
ELEVATION B
N.T.S.

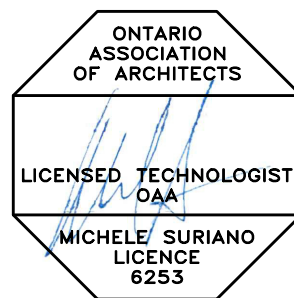


UPGRADED REAR
ELEVATION B

W Architect Inc.
DESIGN CONTROL REVIEW
FEBRUARY 17, 2022
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LOT 50 UPGRADE
MODEL 40-5 ALEXIE

8.	FEB. 15/22	ISSUED FOR BUILDING PERMIT	MS
7.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
6.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
5.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
4.	JUNE 10/21	REVISED AS PER CLIENT COMMENTS	MS
3.	MAY 21/21	REVISED AS PER CLIENT COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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ARCHITECTURAL DESIGN

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Vaughan, Ontario L4L 8P9
T: 905-264-0924

SHEET NAME: UPGRADED REAR ELEVATION B		
DATE PLOTTED: FEB. 15/22	DRAWN BY: M.H./J.L.A.M	AREA: 3164 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-28
SCALE: 3/16" = 1'-0"	PROJECT No: 20-107	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-5 ALEXIE