



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'

UNIT 4505

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PERFORMANCE COMPLIANCE SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A

PACKAGE A1

SPACE HEATING FUEL	
<input type="checkbox"/> GAS	<input type="checkbox"/> OIL
<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)+1.5ci
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DOMESTIC HOT WATER HEATER (EF)	0.8	0.9
DWHR UNIT (%) (SEE O.B.C. 3.1.1.12 FOR RULES & EXCEPTIONS)	53.3% ON 1 SHOWERS MIN.	

AREA CALCULATIONS	EL. 'A'	EL. 'B'	EL. 'C'					
	STD/OPT PLAN	STD/OPT PLAN	STD/OPT PLAN					
GROUND FLOOR AREA	1722 sq. ft.	1722 sq. ft.	1722 sq. ft.					
SECOND FLOOR AREA	2130 sq. ft.	2130 sq. ft.	2113 sq. ft.					
SUBTOTAL	3852 sq. ft.	3852 sq. ft.	3835 sq. ft.					
DEDUCT ALL OPEN AREAS	8 sq. ft.	8 sq. ft.	8 sq. ft.					
TOTAL NET AREA	3844 sq. ft.	3844 sq. ft.	3827 sq. ft.					
	(357.12 sq. m.)	(357.12 sq. m.)	(355.54 sq. m.)					
FINISHED BASEMENT AREA	0 sq. ft.	0 sq. ft.	0 sq. ft.					
COVERAGE W/OUT PORCH	2156 sq. ft.	2156 sq. ft.	2157 sq. ft.					
	(200.30 sq. m.)	(200.30 sq. m.)	(200.39 sq. m.)					
COVERAGE W/PORCH	2203 sq. ft.	2200 sq. ft.	2276 sq. ft.					
	(204.67 sq. m.)	(204.39 sq. m.)	(211.45 sq. m.)					
WINDOW / WALL AREA CALCULATIONS								
	EL. 'A'	EL. 'A'	EL. 'A'	EL. 'B'	EL. 'B'	EL. 'B'	EL. 'C'	EL. 'C'
	OPT. KIT & 2ND	OPT. SEC	OPT. GRD&SEC	OPT. KIT & 2ND	OPT. SEC	OPT. GRD&SEC	OPT. KIT & 2ND	OPT. SEC
GROSS WALL AREA	4362.18 sq. ft.	4362.18 sq. ft.	4362.18 sq. ft.	4360.40 sq. ft.	4360.40 sq. ft.	4360.40 sq. ft.	4375.18 sq. ft.	4375.18 sq. ft.
	(405.26 sq. m.)	(405.26 sq. m.)	(405.26 sq. m.)	(405.09 sq. m.)	(405.09 sq. m.)	(405.09 sq. m.)	(406.47 sq. m.)	(406.47 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	486.80 sq. ft.	501.47 sq. ft.	499.97 sq. ft.	466.66 sq. ft.	518.66 sq. ft.	479.33 sq. ft.	532.78 sq. ft.	575.45 sq. ft.
	(45.23 sq. m.)	(46.59 sq. m.)	(46.45 sq. m.)	(43.35 sq. m.)	(48.19 sq. m.)	(44.53 sq. m.)	(49.50 sq. m.)	(53.46 sq. m.)
TOTAL WINDOW %	11.16 %	11.50 %	11.46 %	10.70 %	11.89 %	10.99 %	12.18 %	13.15 %

- TITLE PAGE
- BASEMENT PLAN, ELEV. 'A'
- GROUND FLOOR PLAN, ELEV. 'A'
- PART. OPT. GROUND FLOOR PLAN, ELEV. 'A' - OPT. IN-LAW SUITE
- PARTIAL OPTIONAL GROUND FLOOR PLANS
- OPTIONAL SECOND FLOOR PLAN, ELEV. 'A'
- PART. BASEMENT PLANS, ELEV. 'B'
- PART. GROUND FLOOR PLANS, ELEV. 'B'
- PART. SECOND FLOOR PLAN, ELEV. 'B'
- PART. BASEMENT PLAN, ELEV. 'C'
- PART. GROUND FLOOR PLAN, ELEV. 'C'
- PART. SECOND FLOOR PLAN, ELEV. 'C'
- FRONT ELEVATION 'A'
- LEFT SIDE ELEVATION 'A'
- PARTIAL OPTIONAL LEFT SIDE ELEVATION 'A'
- RIGHT SIDE ELEVATION 'A'
- REAR ELEVATION 'A', 'B' & 'C'
- PARTIAL OPTIONAL REAR ELEVATION 'A', 'B' & 'C'
- FRONT ELEVATION 'B'
- LEFT SIDE ELEVATION 'B'
- PARTIAL OPTIONAL LEFT SIDE ELEVATION 'B'
- RIGHT SIDE ELEVATION 'B'
- FRONT ELEVATION 'C'
- LEFT SIDE ELEVATION 'C'
- PARTIAL OPTIONAL LEFT SIDE ELEVATION 'C'
- RIGHT SIDE ELEVATION 'C'
- CROSS SECTION 'A-A'
- WALK-UP BASEMENT CONDITION
- CONSTRUCTION NOTES
- CONSTRUCTION NOTES 2



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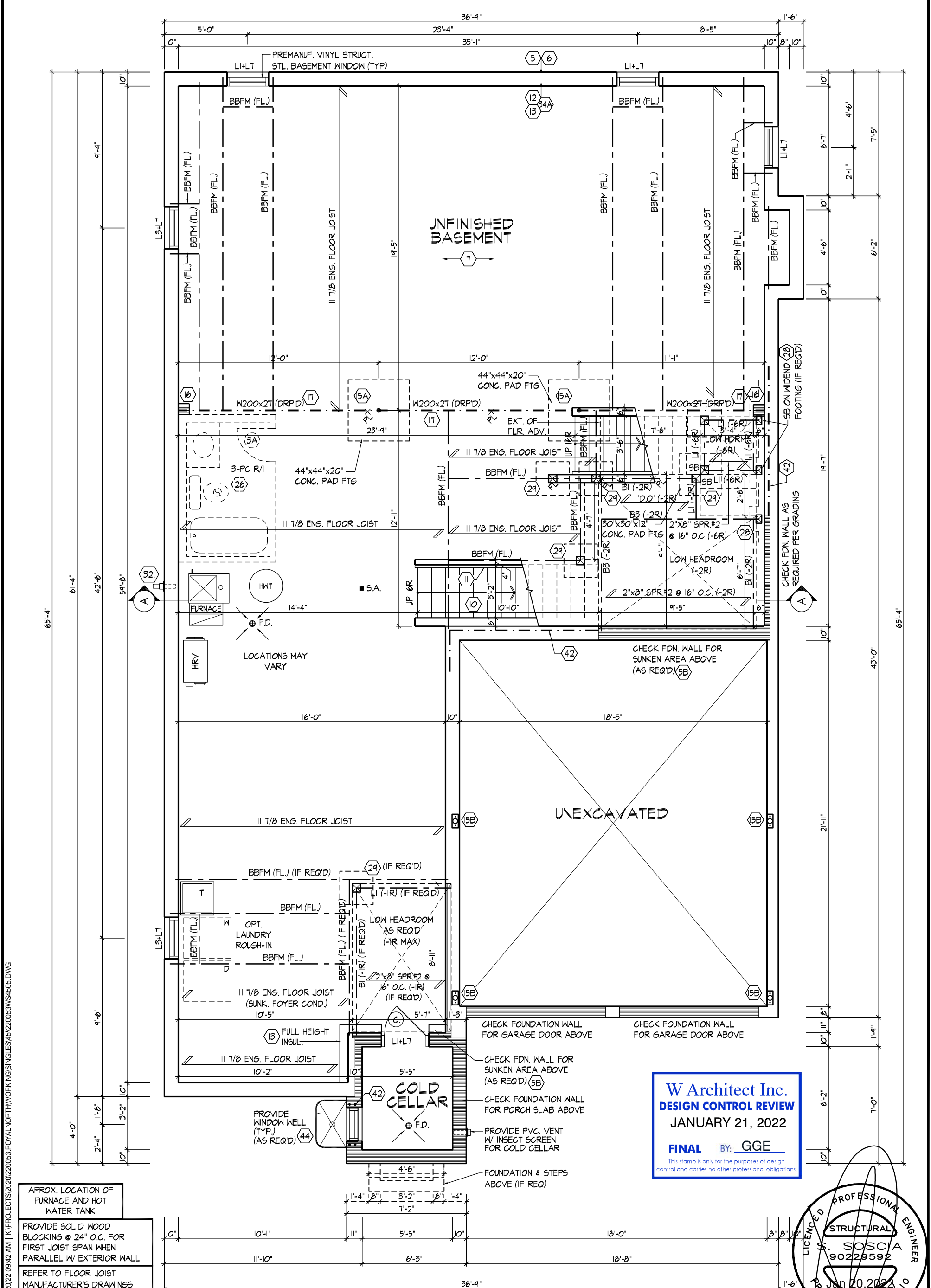
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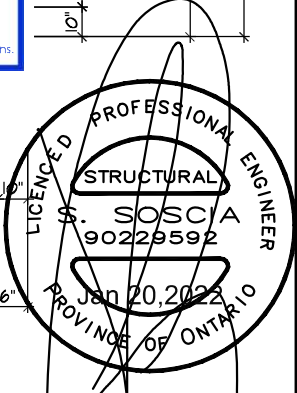
ROYAL PINE HOMES - 220053
 VALES OF HUMBER 'NORTH', BRAMPTON, ON.
 Drawn By MM Checked By JL Scale 3/16"=1'-0" File Number 220053WS4505
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

TITLE PAGE
UNIT - 4505
 REV.2022.01.20
 Page Number 1 of 30

7. ISSUED FOR PERMIT	-	-
6. ISSUED FOR FINAL APPROVAL	2022/01/20	MM
5. REVISED AS PER ARCHITECTURAL CONTROL COMMENTS	-	-
4. REVISED AS PER ENGINEER COMMENTS	2022.01.13	JLT
3. REVISED AS PER ROOF TRUSS & FLOOR MANUFACTURE PLANS	2021/09/17	DSI
2. REVISED AS PER CLIENT'S COMMENTS	2021/12/07	JLT
1. ISSUED FOR CLIENT REVIEW & PRICING	2021/04/20	MM
REVISIONS	DATE (YYYY/MM/DD)	BY



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APPROX. LOCATION OF FURNACE AND HOT WATER TANK

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

BASEMENT PLAN EL. 'A'

BASEMENT PLAN, ELEV. 'A'

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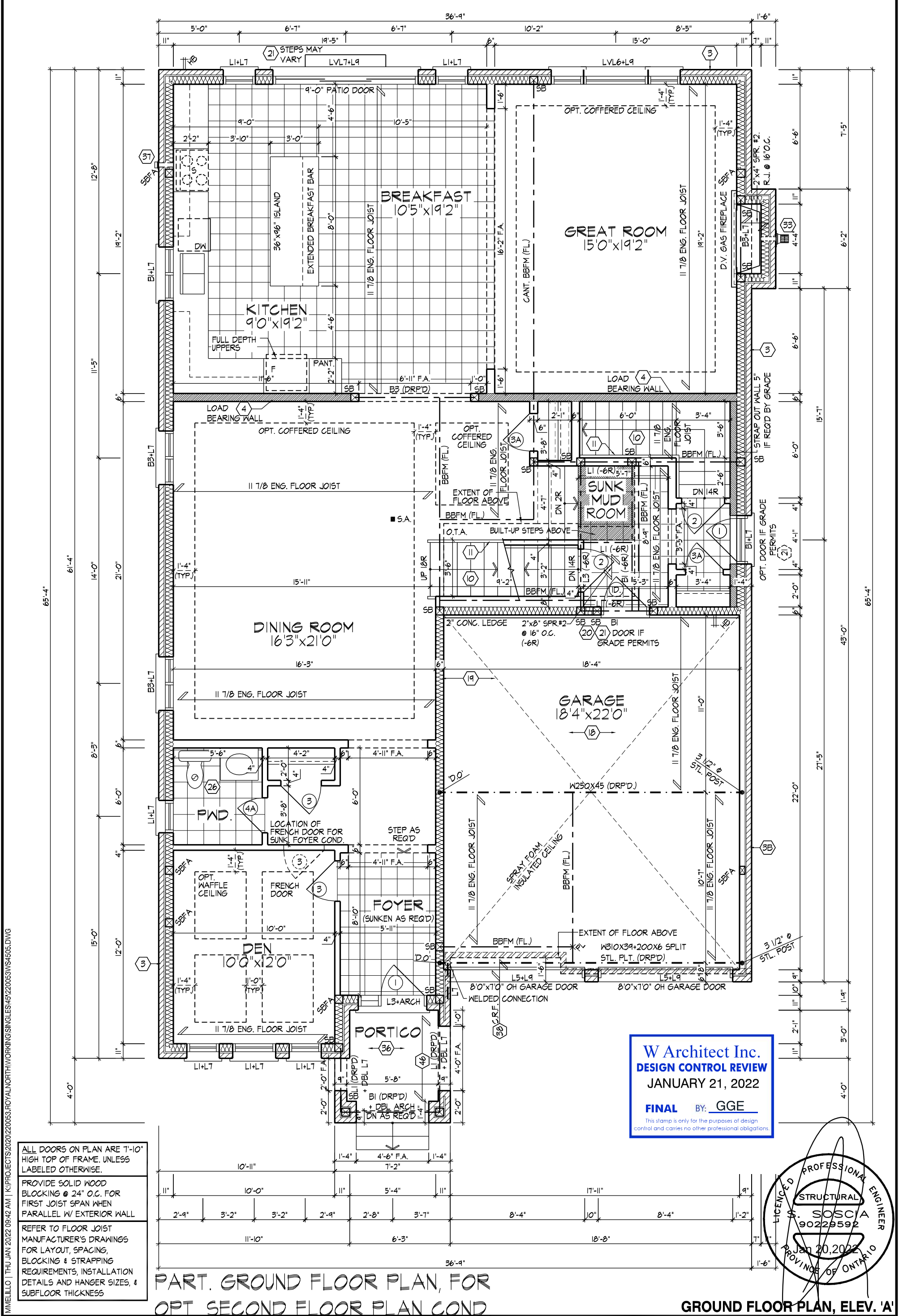
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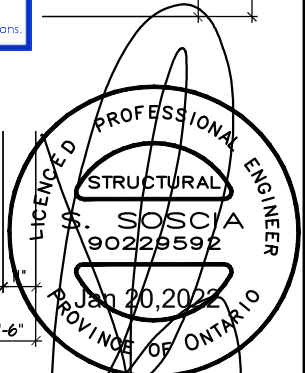
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UNIT - 4505
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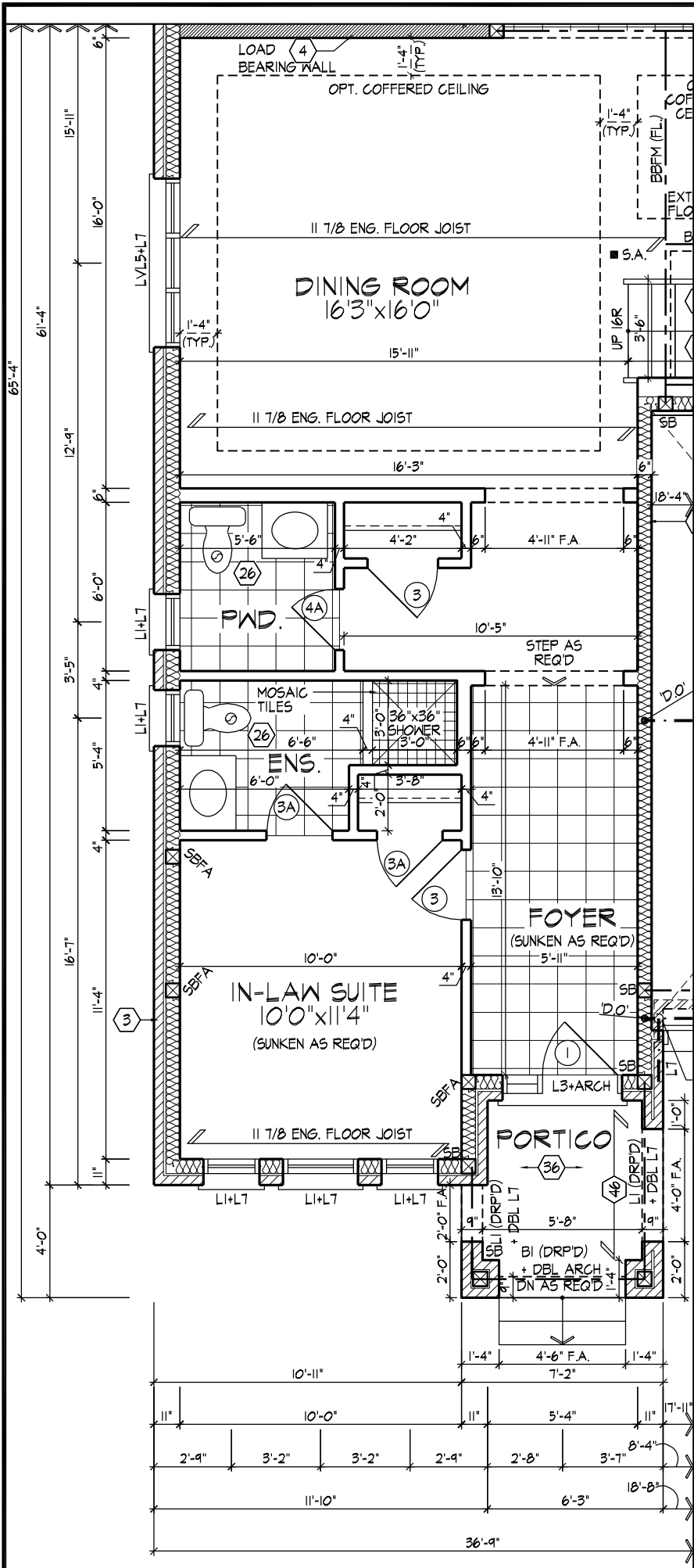


ALL DOORS ON PLAN ARE 7'-10" HIGH TOP OF FRAME, UNLESS LABELED OTHERWISE.
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PART. GROUND FLOOR PLAN, FOR
 OPT SECOND FLOOR PLAN COND

GROUND FLOOR PLAN, ELEV. 'A'

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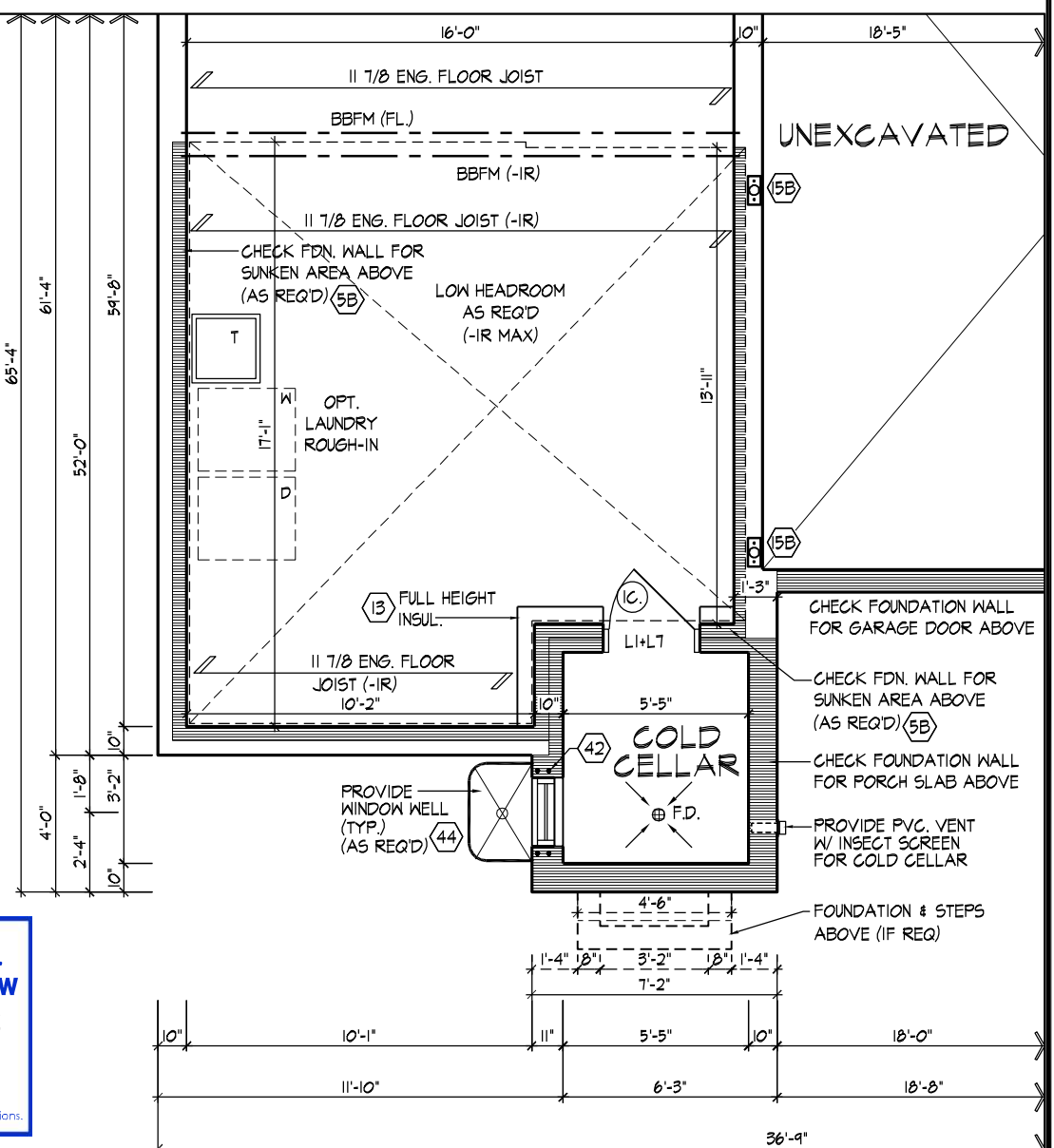
PART. GROUND FLOOR PLAN,
EL. 'A' W/ IN-LAW SUITE

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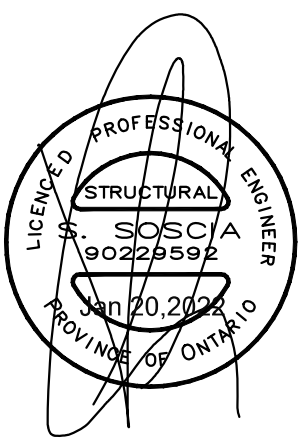
REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS



PART. BASEMENT PLAN, EL. 'A' W/
IN-LAW SUITE SUNKEN CONDITION

PART. OPT. GROUND FLOOR PLAN, ELEV. 'A' - OPT. IN-LAW SUITE

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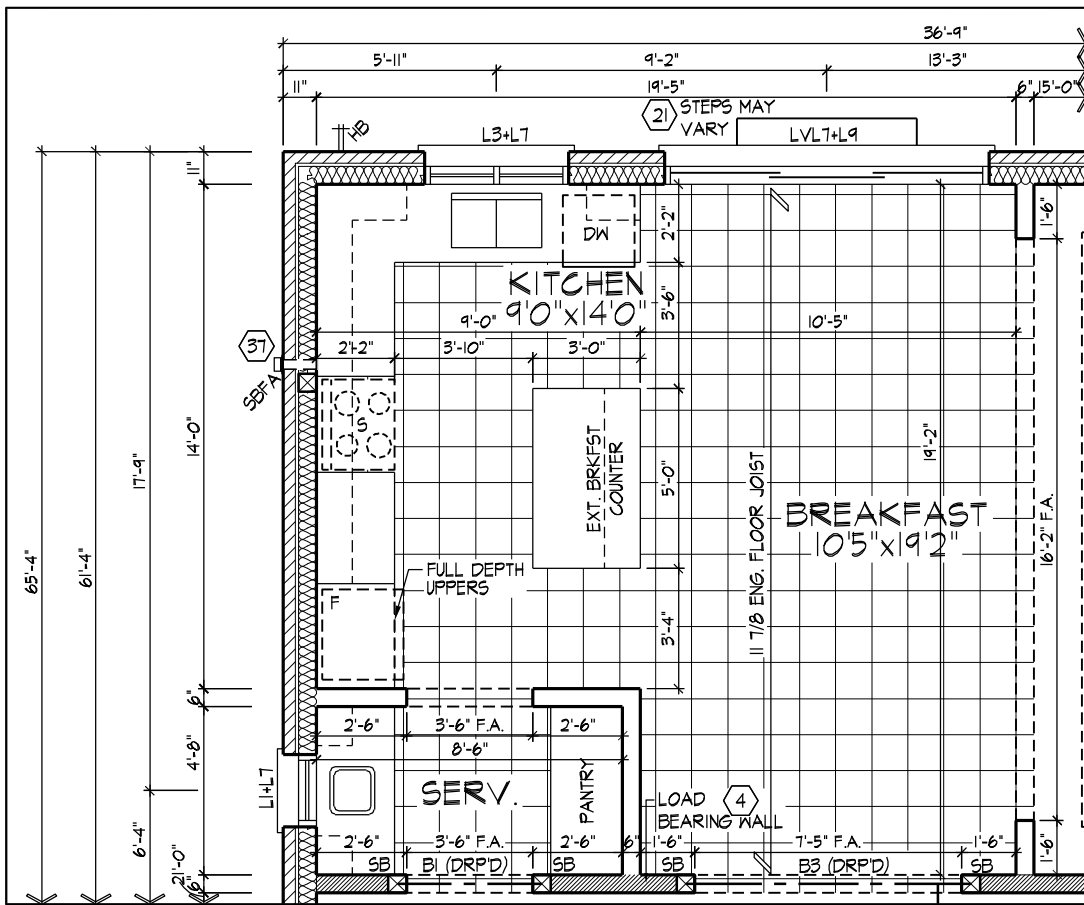
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VALES OF HUMBER 'NORTH', BRAMPTON, ON. UNIT - 4505
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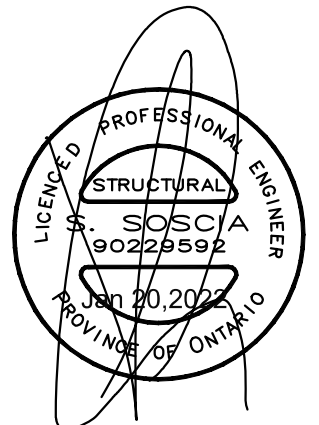
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PART. GROUND FLOOR PLAN,
OPT. KITCHEN LAYOUT

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PARTIAL OPTIONAL GROUND FLOOR PLANS

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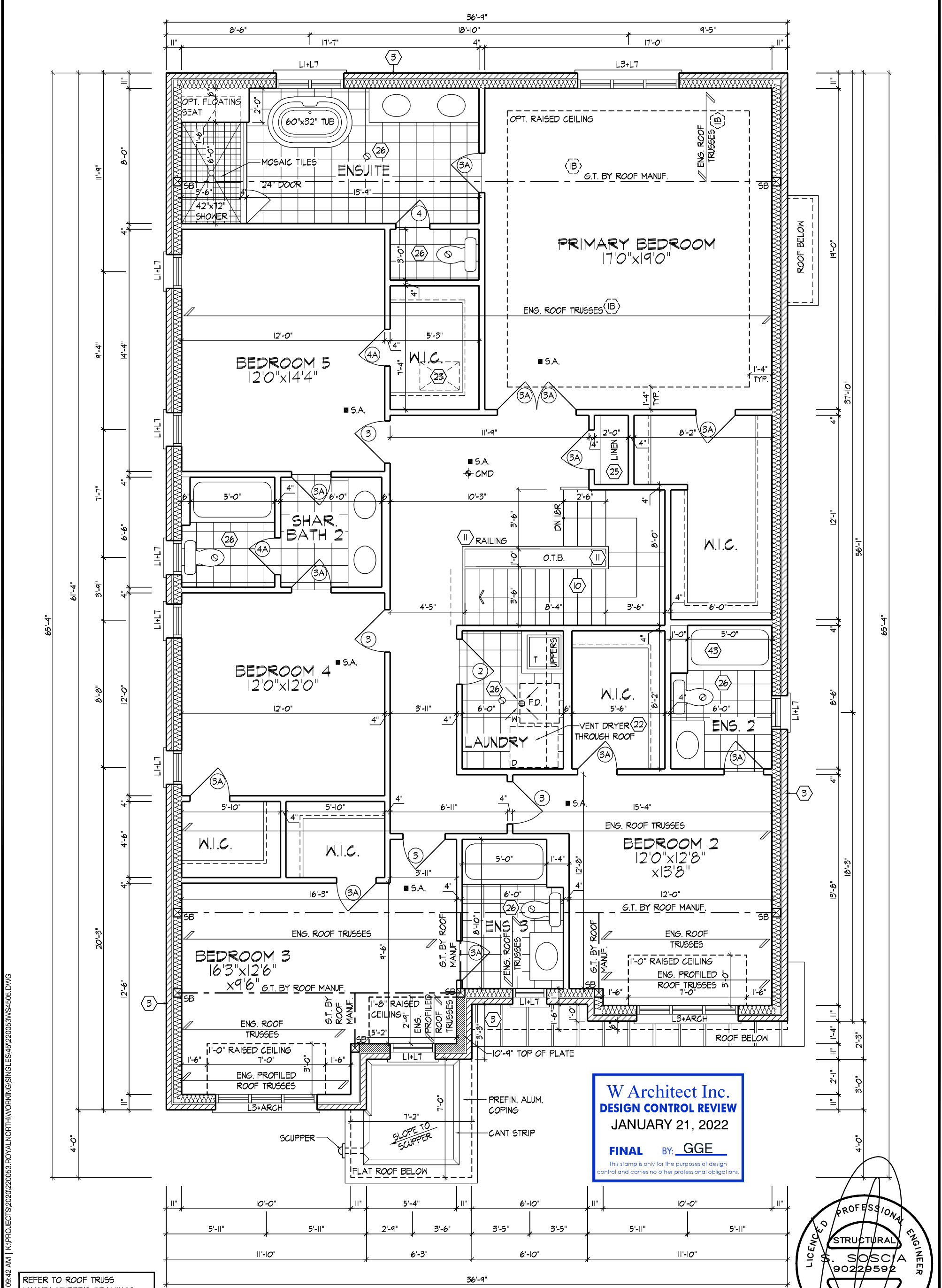
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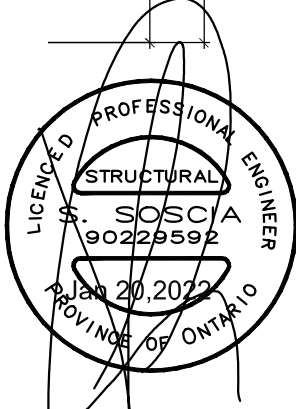


OPT. SECOND FLOOR PLAN, EL. 'A'

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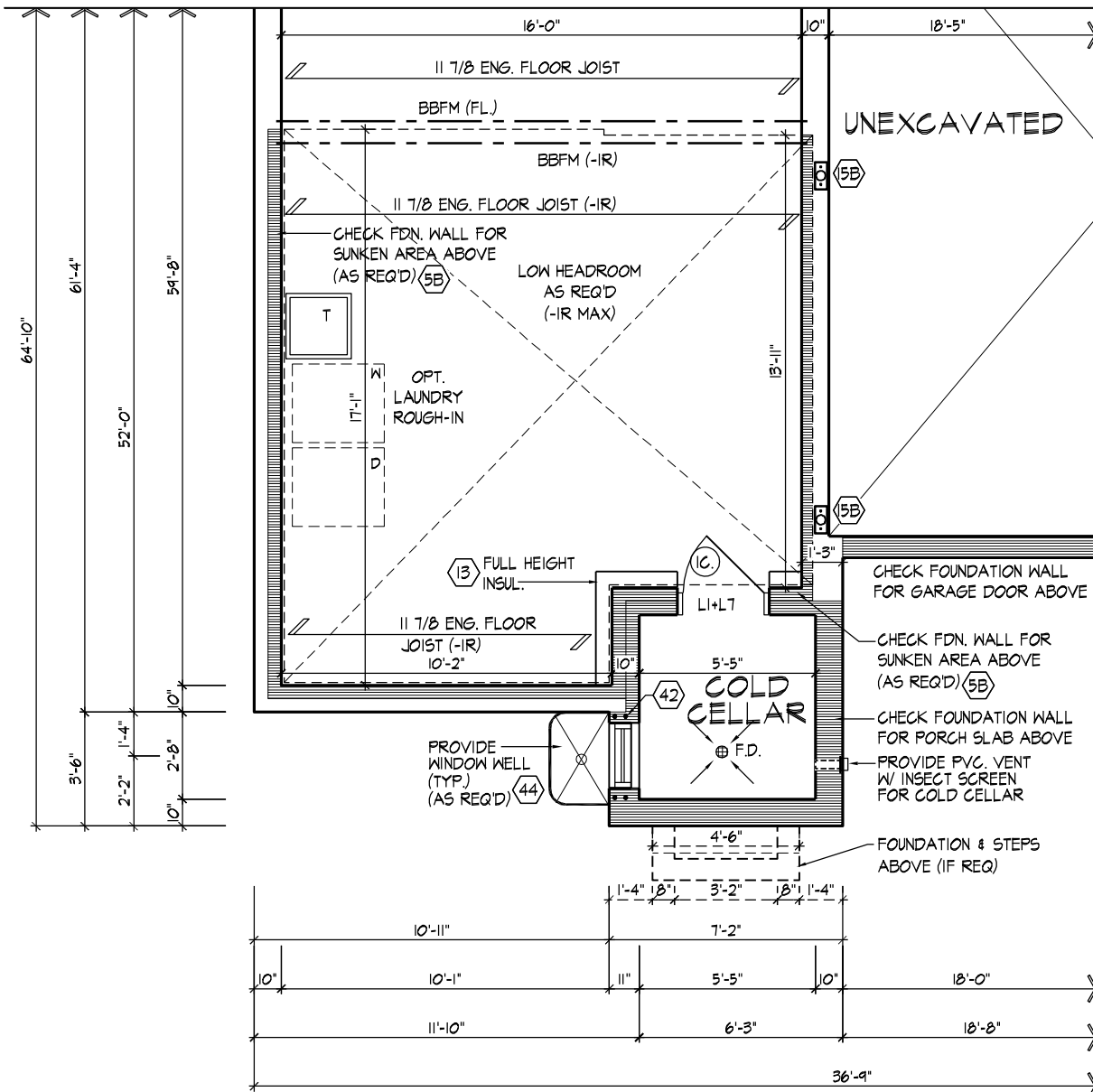
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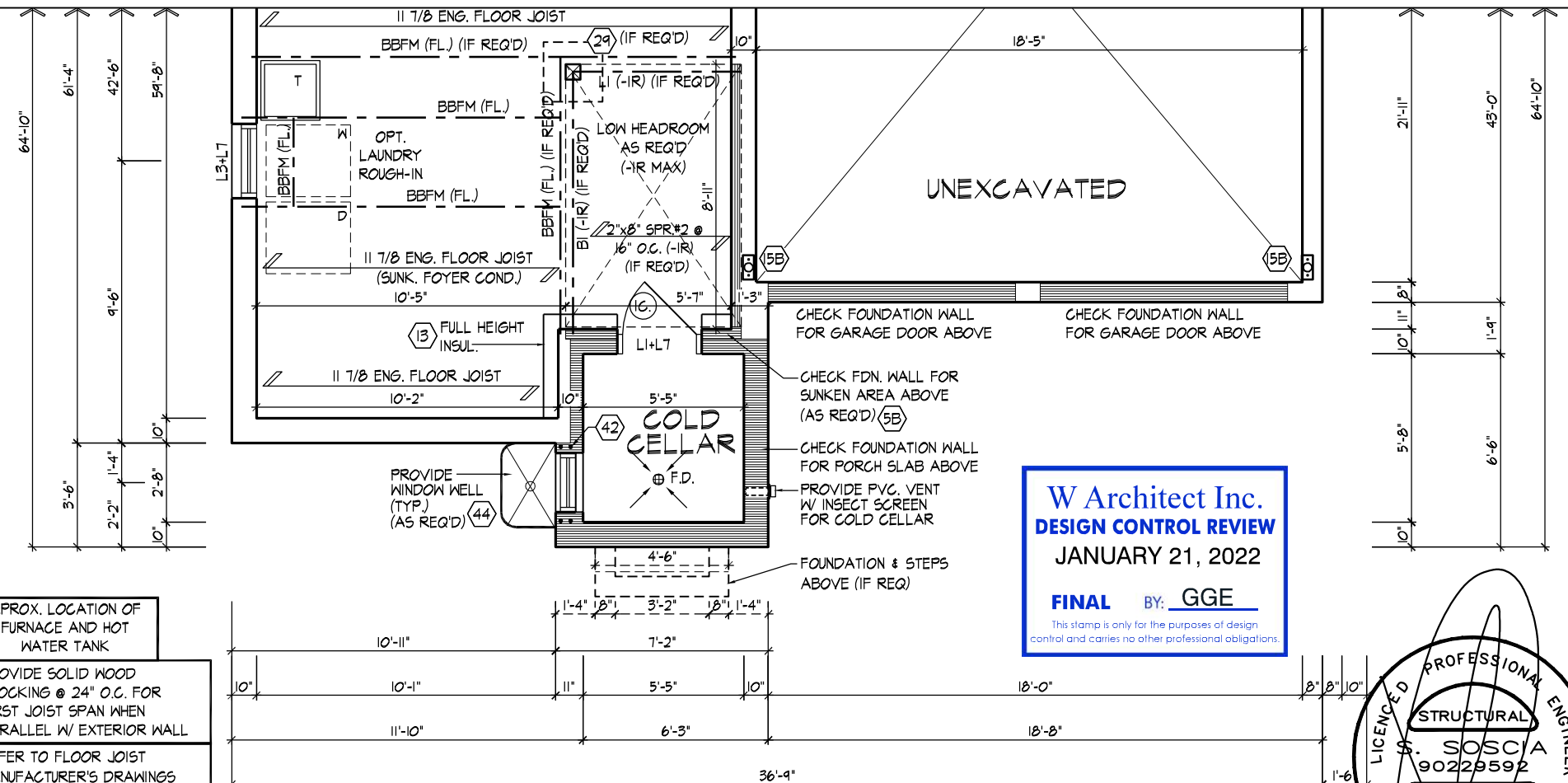
OPTIONAL SECOND FLOOR PLAN, ELEV. 'A'

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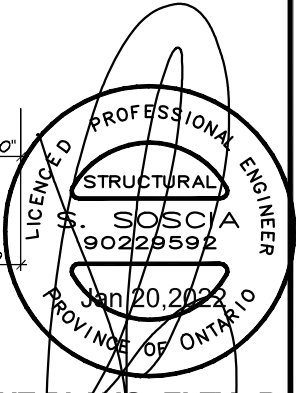
PART. BASEMENT PLAN, EL. 'B' W/
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PART. BASEMENT PLAN EL. 'B'

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PART. BASEMENT PLANS, ELEV. 'B'

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APPROX. LOCATION OF FURNACE AND HOT WATER TANK

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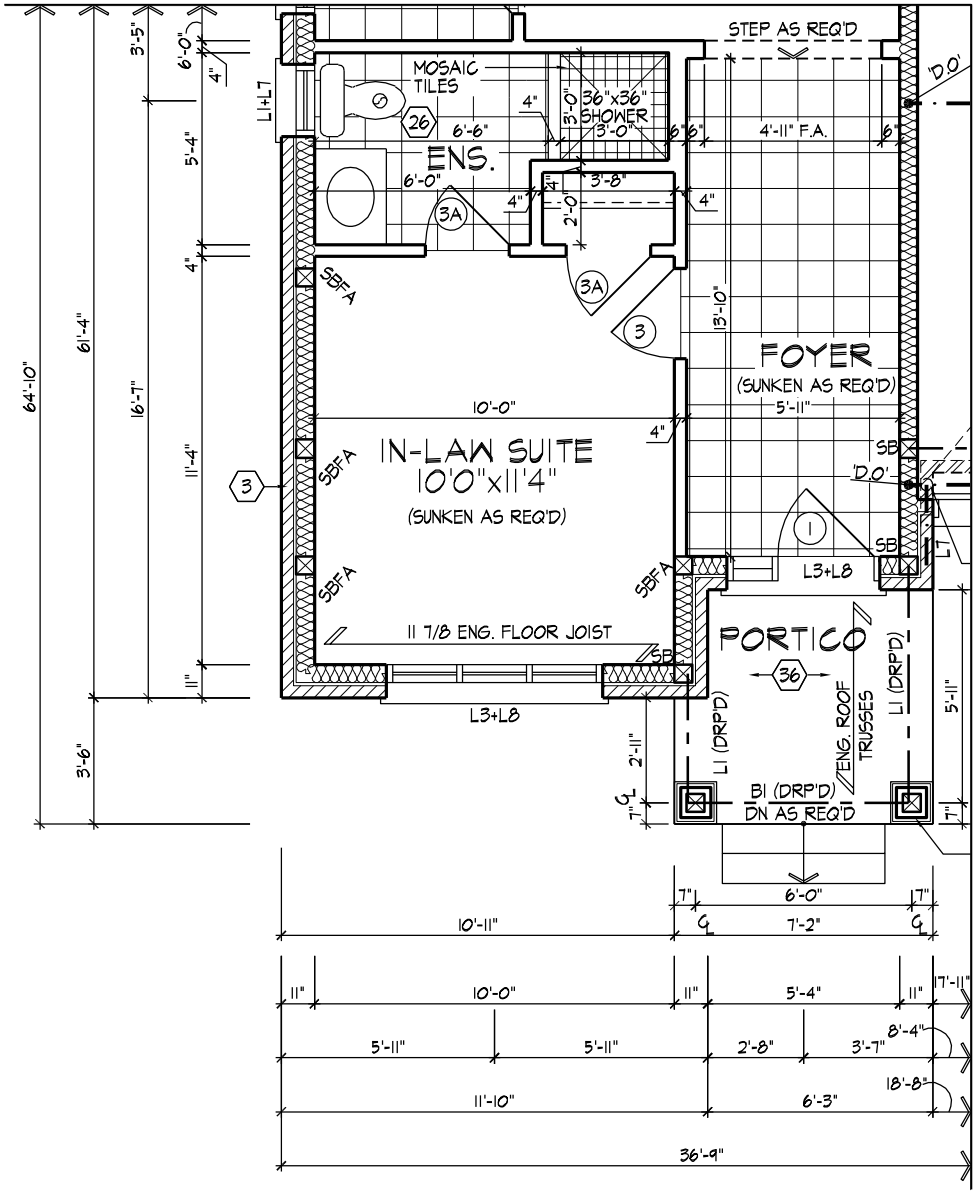
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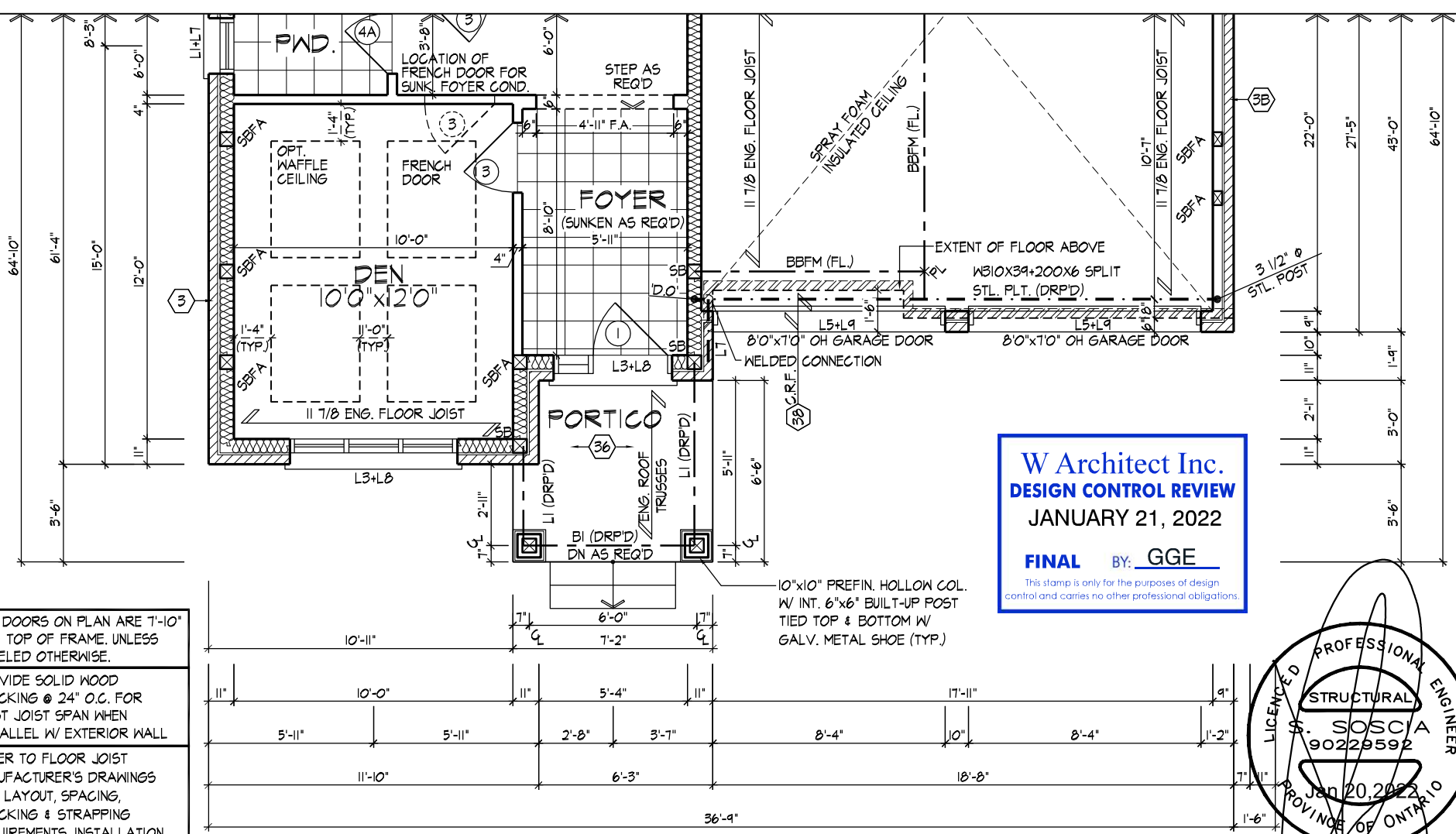
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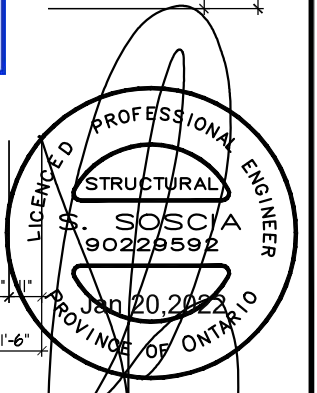
PART. GROUND FLOOR PLAN,
EL. 'B' W/ IN-LAW SUITE

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PART. GROUND FLOOR PLAN, EL. 'B'

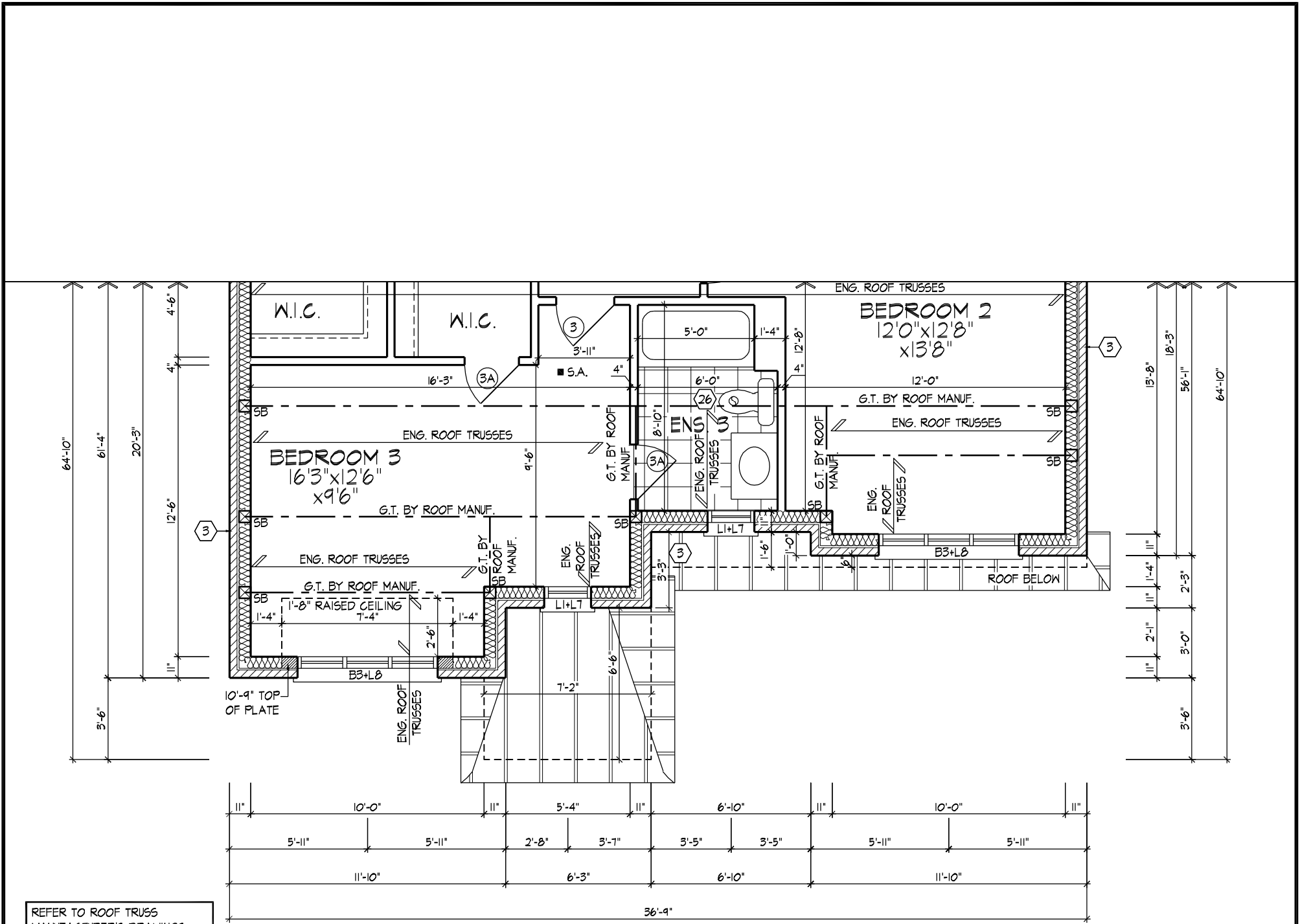
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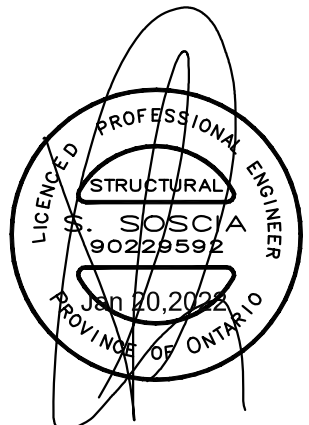
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NOTE: STEP TRUSSES @ RAISED / COFFERED CEILINGS

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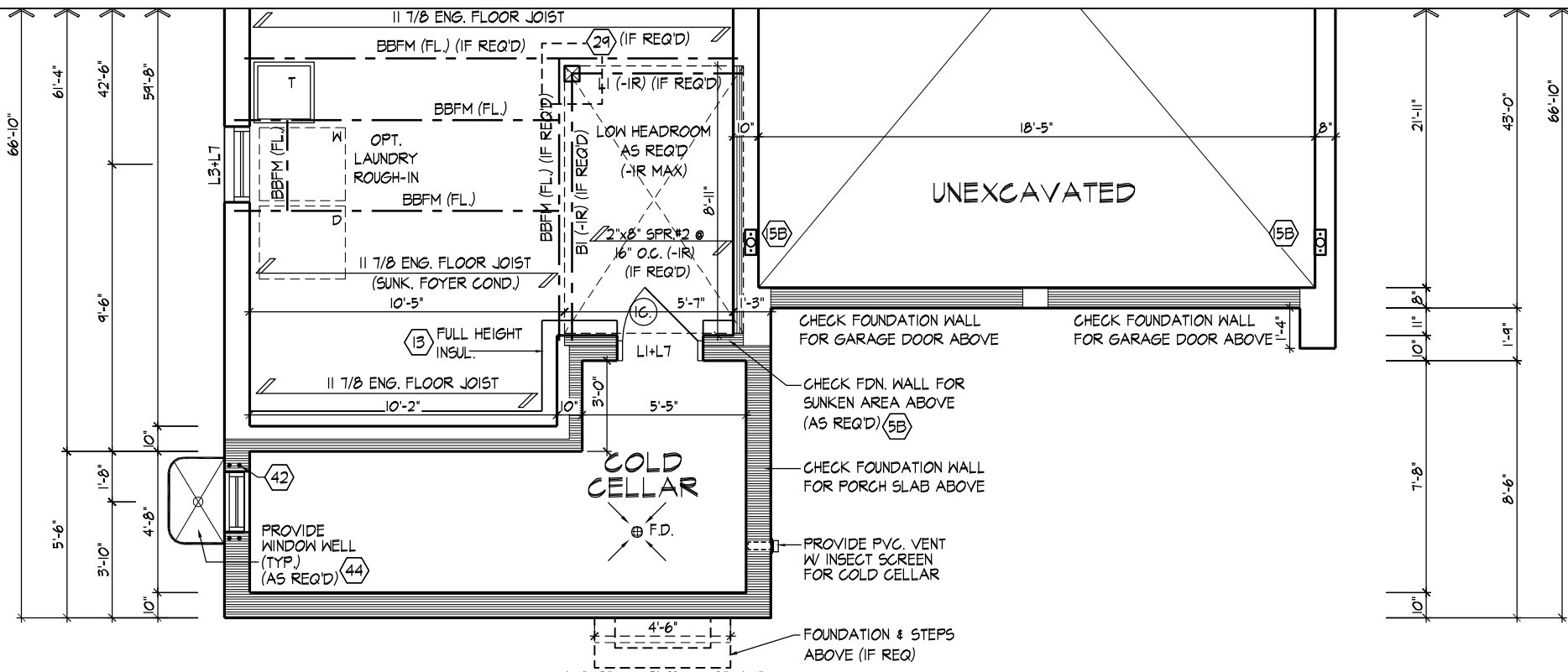
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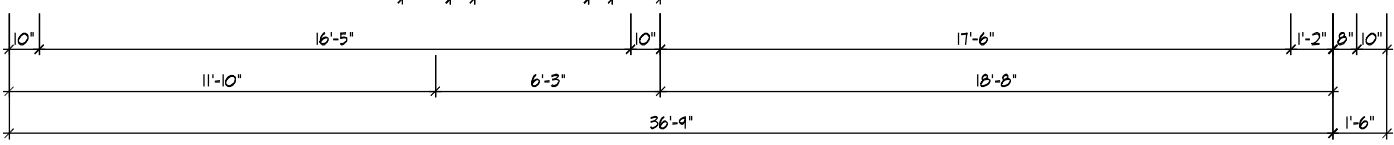
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PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

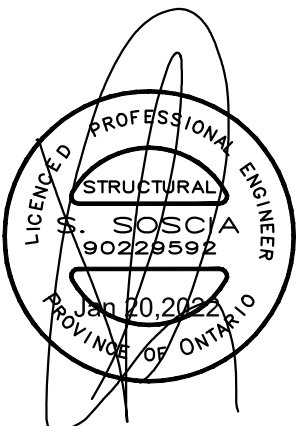
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PART. BASEMENT PLAN EL. 'C'

APPROX. LOCATION OF FURNACE AND HOT WATER TANK

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PART. BASEMENT PLAN, ELEV. 'C'

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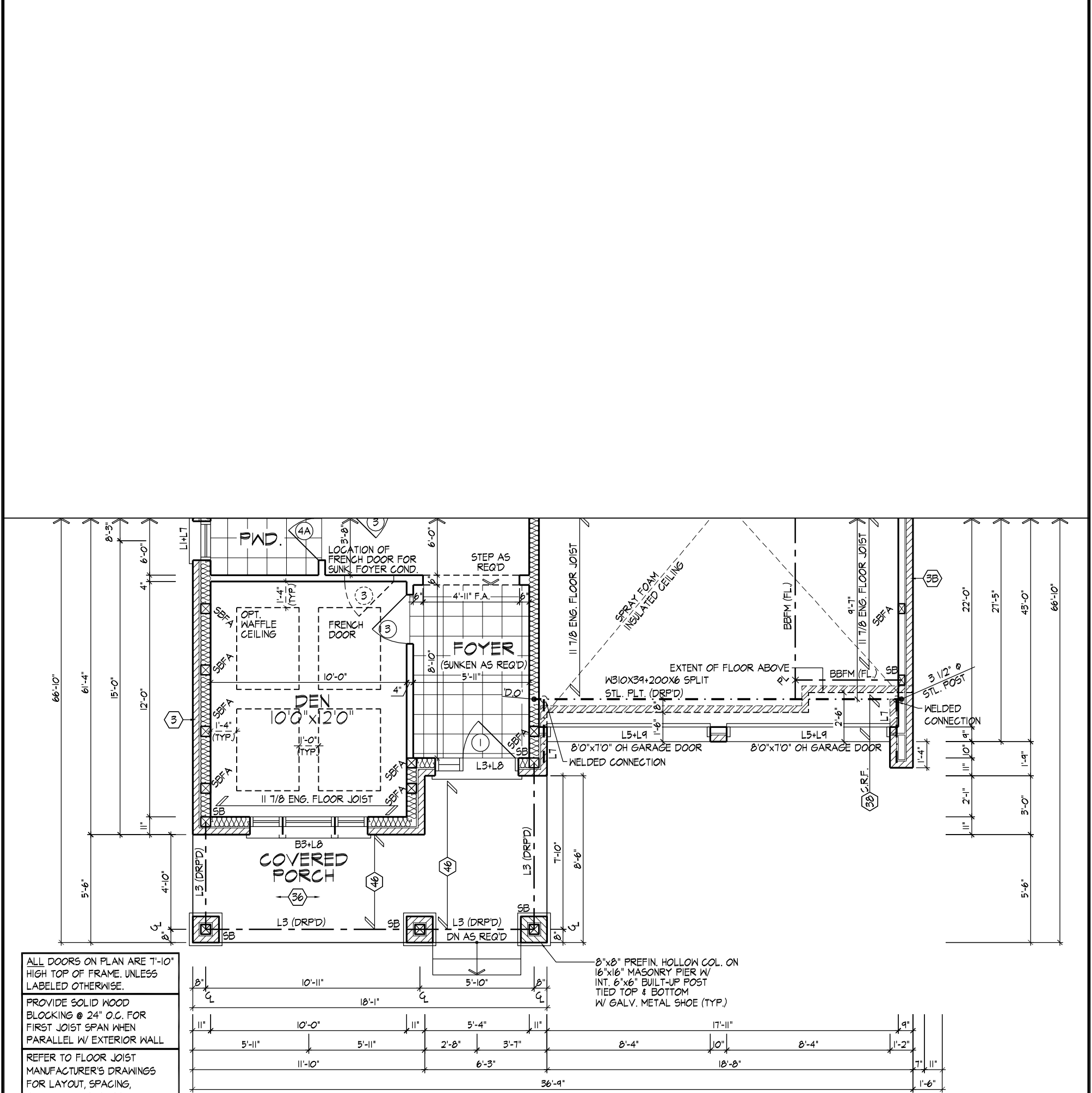
QUALIFICATION INFORMATION
 Derek R. Santos 37308
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

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ROYAL PINE HOMES - 220053
 VALES OF HUMBER 'NORTH', BRAMPTON, ON.
 Drawn By: MM Checked By: JL Scale: 3/16"=1'-0" File Number: 220053WS4505
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT - 4505
 REV.2022.01.20
 Page Number: 10 of 30

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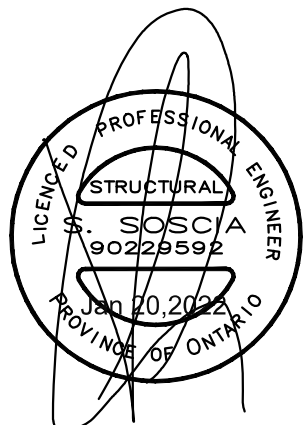
ALL DOORS ON PLAN ARE 7'-10" HIGH TOP OF FRAME. UNLESS LABELED OTHERWISE.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

PART. GROUND FLOOR PLAN, EL. 'C'

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PART. GROUND FLOOR PLAN, ELEV. 'C'

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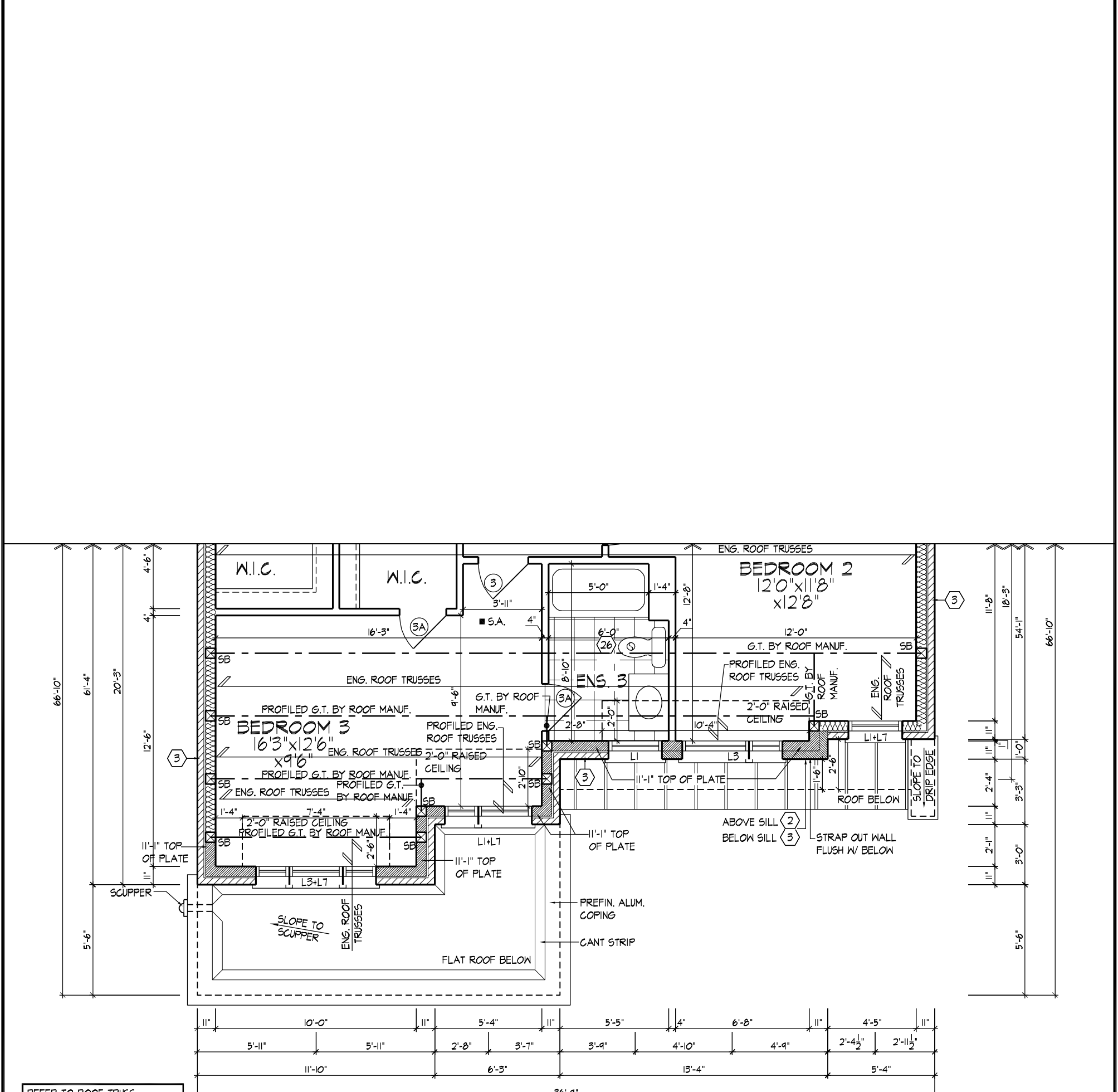
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PART. OPT. SECOND FLOOR PLAN, EL. 'C'

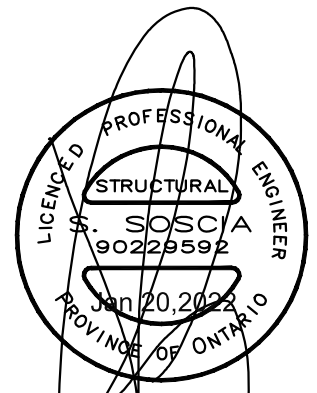
REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

NOTE:
STEP TRUSSES @ RAISED / COFFERED CEILINGS



REFER TO STANDARD PLAN FOR COMPLETE CONSTRUCTION NOTES & DIMENSIONS

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PART. SECOND FLOOR PLAN, ELEV. 'C'

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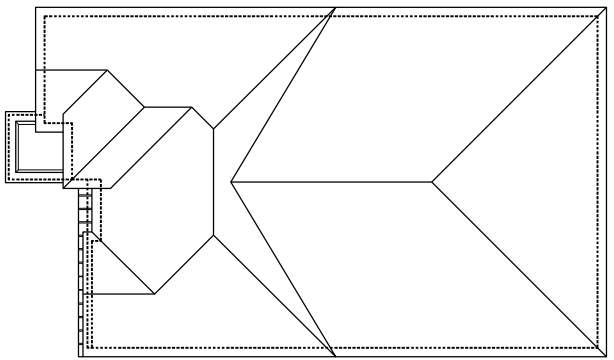
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ROYAL PINE HOMES - 220053
VALES OF HUMBER 'NORTH', BRAMPTON, ON.

Drawn By: MM Checked By: JL Scale: 3/16"=1'-0" File Number: 220053WS4505

UNIT - 4505
REV.2022.01.20

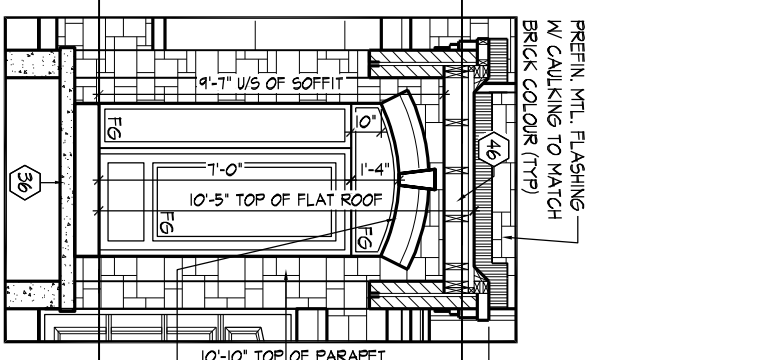
Page Number: 12 of 30



ROOF PLAN

EL. 'A'

N.T.S.

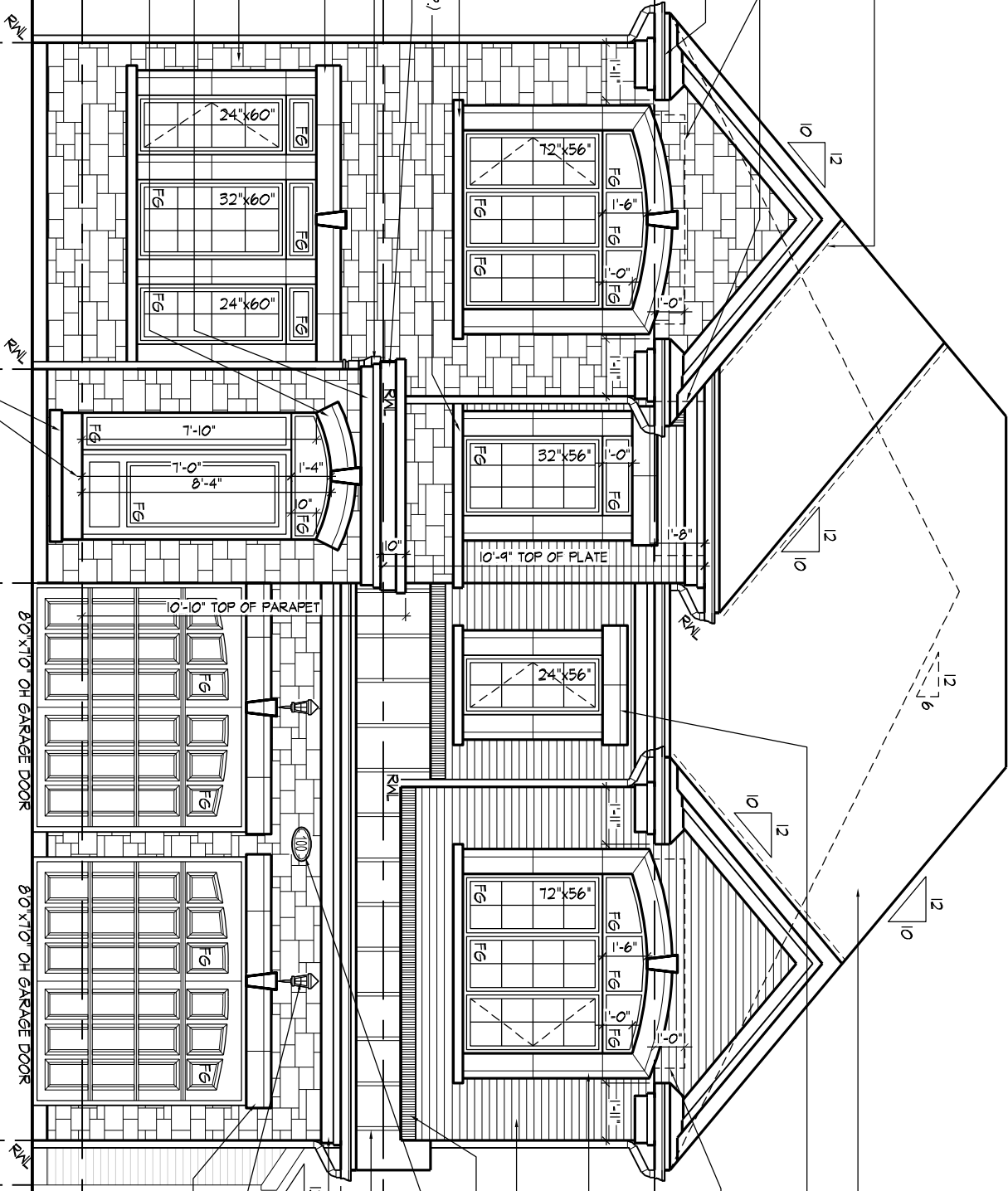


INT. PORTICO EL. 'A'

VALLEY FLASHING (TYP)
 OUTLINE OF RAISED CEILING BEYOND
 PREFIN. ALUM. GUTTER, RAIL, FASCIA BD. & VENTED SOFFIT (TYP)
 3.5" PRECAST CONC. SILL (TYP)
 CONT. 3.5" PRECAST CONC. SILL (TYP)
 4"x6" PROFILED PREFIN. ALUM. BAND W/ DRIPE EDGE (TYP) SCUPPER
 3"x1" PRECAST CONC. HEADER W/ KEYSTONE ON 3"x1" PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP)
 STONE VENEER (TYP)
 CONT. 3"x1" PRECAST CONC. BAND W/ 1/2" PROJ. (TYP)
 3"x1" SELF SUPPORTING PRECAST CONC. ARCH HEADER W/ KEYSTONE W/ 1/2" PROJ. (TYP)

POURED CONC. PORCH SLAB AND DOOR SILL
 POURED CONC. FOUNDATION WALLS AND FOOTING (TYP)

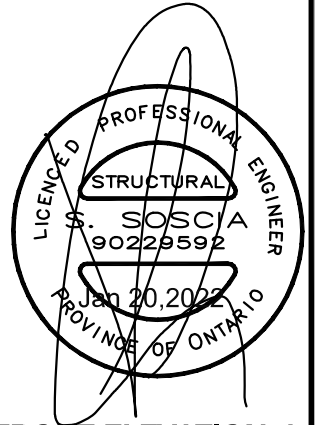
FRONT ELEVATION 'A'



ASPHALT SHINGLES (TYP)
 3"x1" PRECAST CONC. HEADER ON 3"x1" PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP)
 OUTLINE OF RAISED CEILING BEYOND
 3"x1" SELF SUPPORTING PRECAST CONC. ARCH HEADER ON 3"x1" PRECAST CONC. SURROUND W/ 1/2" PROJ. (TYP)
 FACE BRICK (TYP)
 PREFIN. MTL. FLASHING W/ CAULKING TO MATCH BRICK COLOUR (TYP)
 ADDRESS PLAQUE (TYP)
 PREFIN. SEAMED METAL ROOF
 1"x8"x1"x3" ON TOP ALUM. CLAD W/D FRIEZE BD. (TYP)
 COACH LAMP (TYP)
 3"x1" PRECAST CONC. HEADER W/ KEYSTONE W/ 1/2" PROJ. (TYP)
 8'-8" U/S OF SOFFIT
 STEPPED FOOTING (30)
 TOP OF PLATE
 TOP OF WINDOW
 TOP OF TRANSOM
 TOP OF WINDOW
 FIN SECOND FLOOR
 FIN GROUND FL.R.
 FIN GRADE
 U/S OF FOOTING
 4'-0" MIN.
 10'-1"

80"x10" OH GARAGE DOOR
 80"x10" OH GARAGE DOOR

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FRONT ELEVATION 'A'

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ROYAL PINE HOMES - 220053 UNIT - 4505
 VALES OF HUMBER 'NORTH', BRAMPTON, ON. REV.2022.01.20
 Drawn By: MM Checked By: JL Scale: 3/16"=1'-0" File Number: 220053WS4505 Page Number: 13 of 30
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

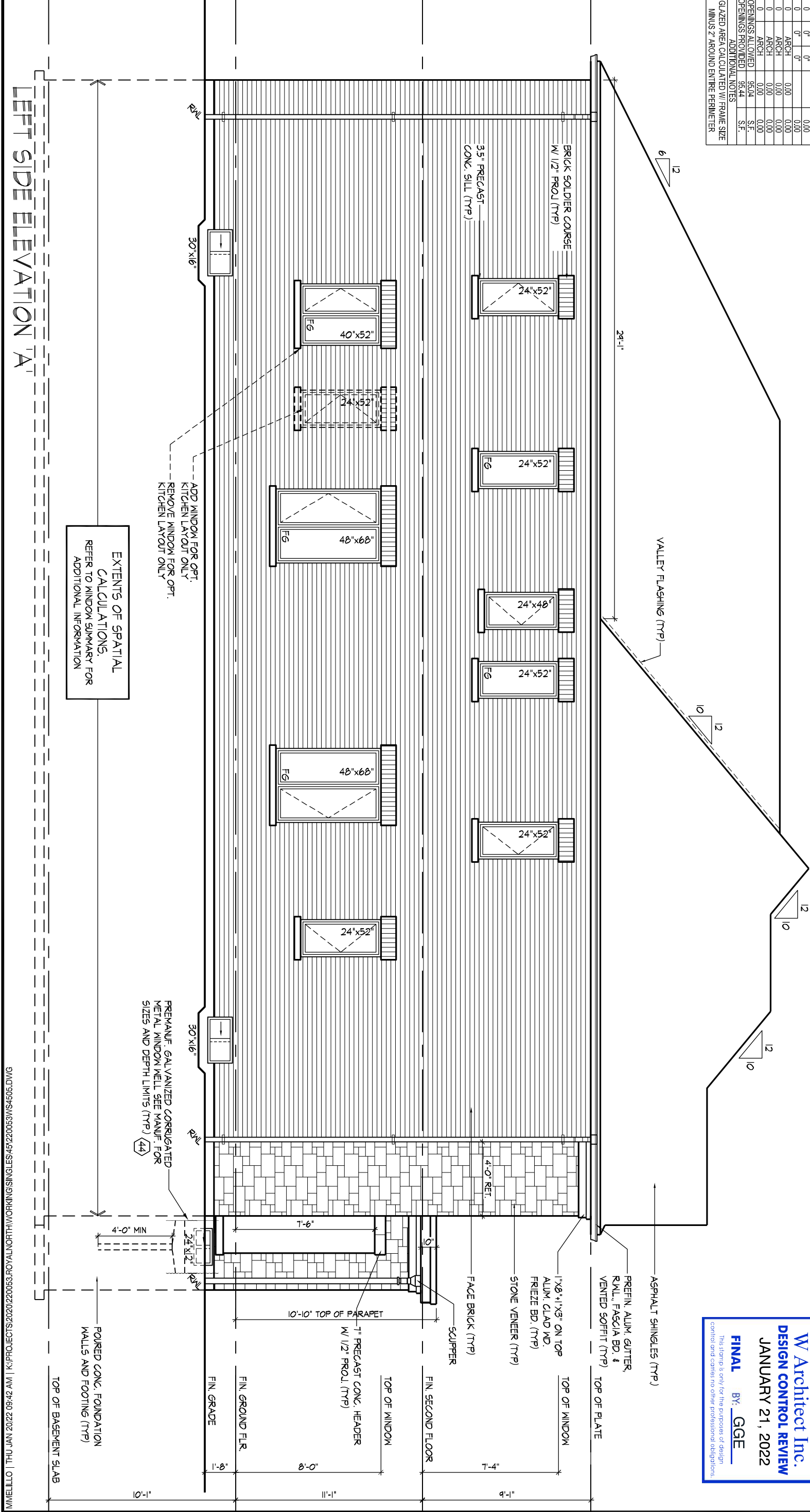
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SPATIAL CALCULATION			
PER O.B.C. TABLE 8.10.15.4			
LEFT SIDE ELEVATION A/W			
OPT. SEC. FLOOR			
EXPOSING BUILDING	1357.69	S.F.	
FACE AREA	126.13	S.M.	
PORTION WALL AREA	1357.69	S.F.	
LIMITING DISTANCE	126.13	S.M.	
MAX. % OPENINGS	7	%	
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
1	30"	16"	4.33
2	48"	62"	12.00
3	48"	82"	36.11
4	24"	52"	6.87
5	24"	52"	28.87
6	0"	0"	0.00
7	0"	0"	0.00
8	0"	0"	0.00
9	0"	0"	0.00
10	0"	0"	0.00
11	0"	0"	0.00
12	0"	0"	0.00
13	0"	0"	0.00
14	0"	0"	0.00
15	0"	0"	0.00
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96	0"	0"	0.00
97	0"	0"	0.00
98	0"	0"	0.00
99	0"	0"	0.00
100	0"	0"	0.00

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER



LEFT SIDE ELEVATION 'A'

EXTENTS OF SPATIAL CALCULATIONS. REFER TO WINDOW SUMMARY FOR ADDITIONAL INFORMATION

ADD WINDOW FOR OPT. KITCHEN LAYOUT ONLY. REMOVE WINDOW FOR OPT. KITCHEN LAYOUT ONLY.

PREMANUF. GALVANIZED CORRUGATED METAL WINDOW WELL. SEE MANUF. FOR SIZES AND DEPTH LIMITS (TYP) (44)

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 JANUARY 21, 2022
FINAL BY: GGE

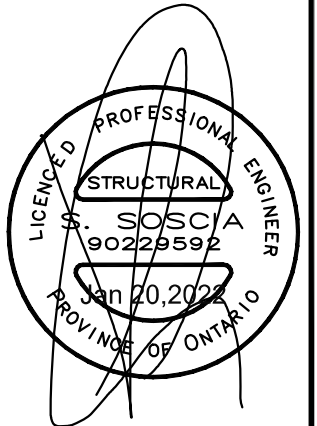
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PROFESSIONAL ENGINEER
 STRUCTURAL
 90229592
 Jan 20, 2022
 PROVINCE OF ONTARIO

LEFT SIDE ELEVATION 'A'

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SPATIAL CALCULATION				SPATIAL CALCULATION				SPATIAL CALCULATION			
PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4				PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE EL. A W/ OPT. SEC. FLR & OPT. KITCHEN LAYOUT				LEFT SIDE ELEVATION A W/ OPT. SEC. FLR & IN-LAW SUITE				LEFT SIDE EL. A W/ OPT. SEC. FLR, IN-LAW SUITE & KITCHEN			
EXPOSING BUILDING FACE AREA	1357.69	S.F.		EXPOSING BUILDING FACE AREA	1357.69	S.F.		EXPOSING BUILDING FACE AREA	1357.69	S.F.	
PORTION WALL AREA	126.13	S.M.		PORTION WALL AREA	126.13	S.M.		PORTION WALL AREA	126.13	S.M.	
LIMITING DISTANCE	1.2 m			LIMITING DISTANCE	1.2 m			LIMITING DISTANCE	1.2 m		
MAX. % OPENINGS	7	%		MAX. % OPENINGS	7	%		MAX. % OPENINGS	7	%	
QUAN.	2	QUAN.	2	QUAN.	2	QUAN.	2	QUAN.	2	QUAN.	2
FRAME SIZE (S.F.)	4.33	FRAME SIZE (S.F.)	4.33	FRAME SIZE (S.F.)	4.33	FRAME SIZE (S.F.)	4.33	FRAME SIZE (S.F.)	4.33	FRAME SIZE (S.F.)	4.33
ARCH	0.00	ARCH	0.00	ARCH	0.00	ARCH	0.00	ARCH	0.00	ARCH	0.00
OPENINGS ALLOWED	95.04	OPENINGS ALLOWED	95.04	OPENINGS ALLOWED	95.04	OPENINGS ALLOWED	95.04	OPENINGS ALLOWED	95.04	OPENINGS ALLOWED	95.04
ADDITIONAL NOTES	89.56	ADDITIONAL NOTES	91.56	ADDITIONAL NOTES	86.22	ADDITIONAL NOTES	86.22	ADDITIONAL NOTES	86.22	ADDITIONAL NOTES	86.22
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2' AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2' AROUND ENTIRE PERIMETER				GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2' AROUND ENTIRE PERIMETER			



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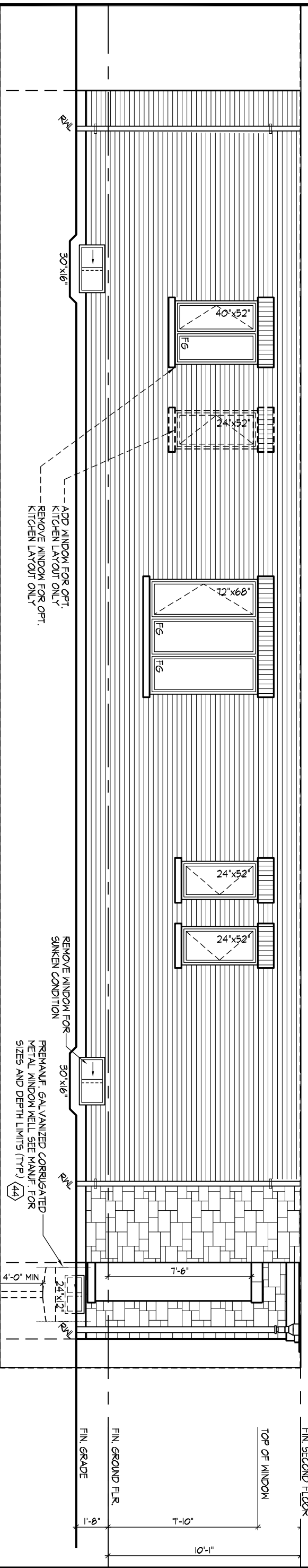
PARTIAL OPTIONAL LEFT SIDE ELEVATION 'A'

ROYAL PINE HOMES - 220053 **UNIT - 4505**
VALES OF HUMBER 'NORTH', BRAMPTON, ON. **REV.2022.01.20**

Drawn By: **MM** Checked By: **JL** Scale: **3/16"=1'-0"** File Number: **220053WS4505** Page Number: **15 of 30**
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PART. LEFT SIDE ELEVATION 'A' W/ IN-LAW SUITE



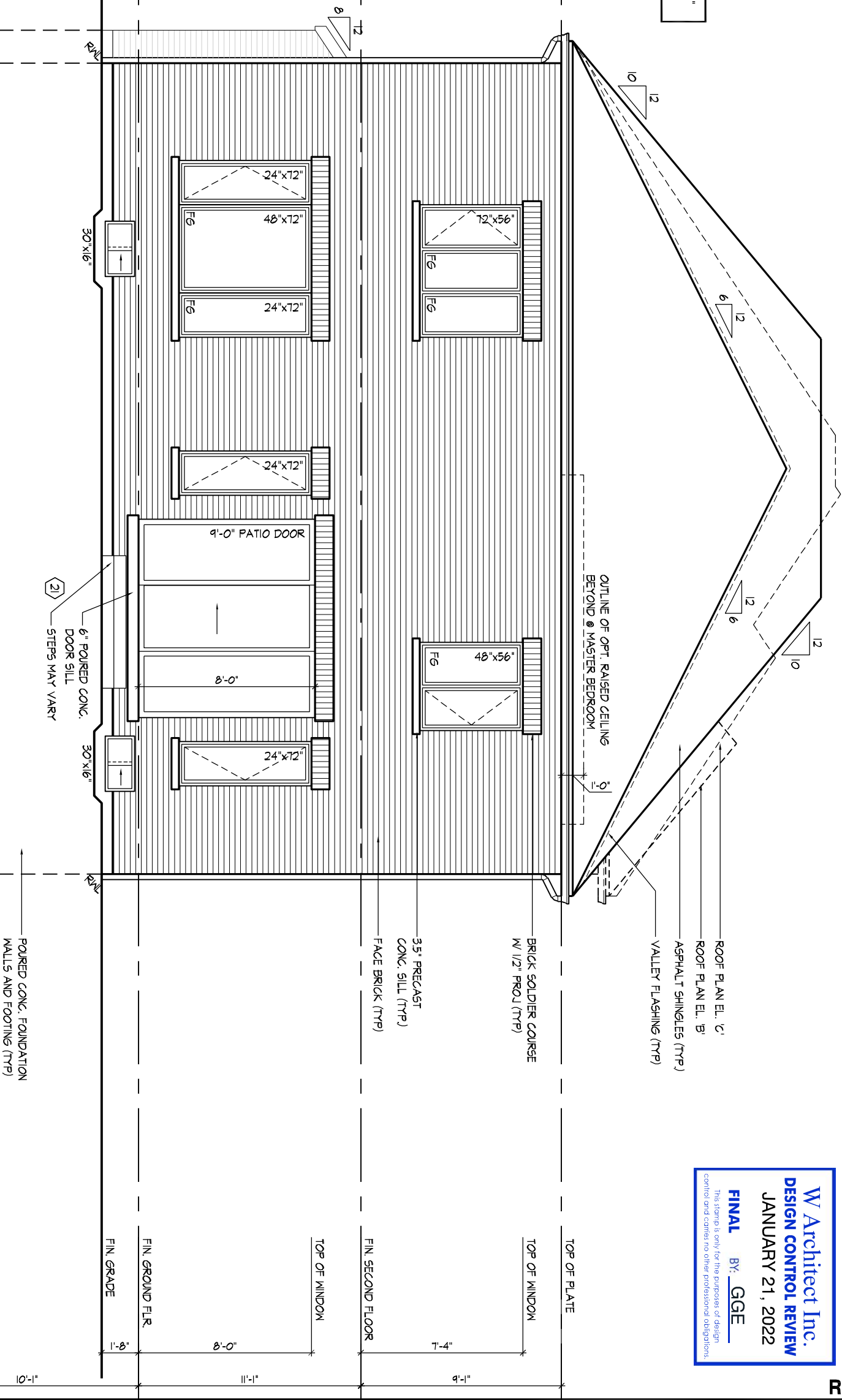
MMJLLO | THU JAN 20 2022 09:42 AM | K:\PROJECTS\2020\220053.ROYALNORTH\WORKING\SINGLES\45\220053WS4505.DWG

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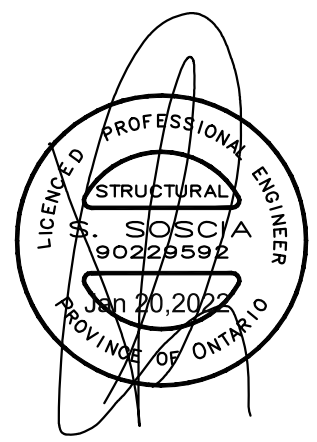
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REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION
 ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

REAR ELEVATION 'A', 'B' & 'C'



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REAR ELEVATION 'A', 'B' & 'C'

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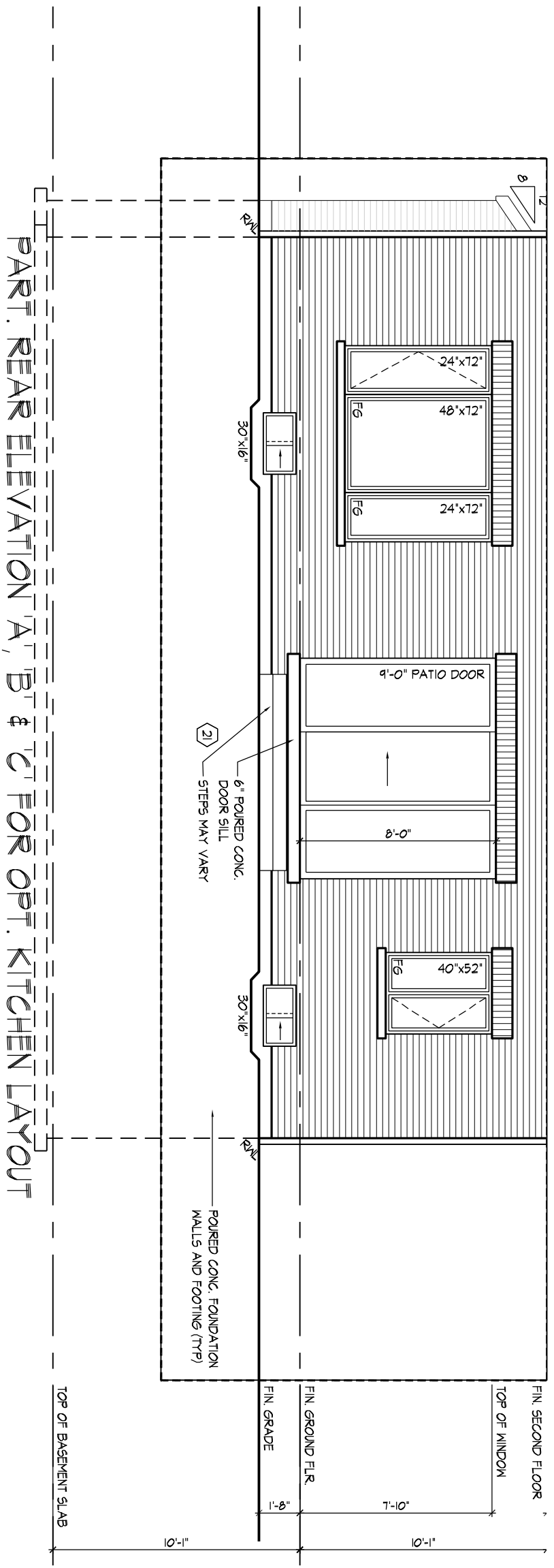
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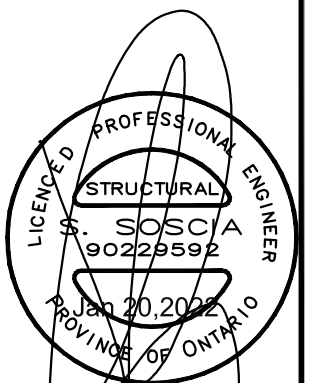
REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE



PART. REAR ELEVATION 'A', 'B' & 'C' FOR OPT. KITCHEN LAYOUT

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PARTIAL OPTIONAL REAR ELEVATION 'A', 'B' & 'C'

ROYAL PINE HOMES - 220053
VALES OF HUMBER 'NORTH', BRAMPTON, ON.

UNIT - 4505
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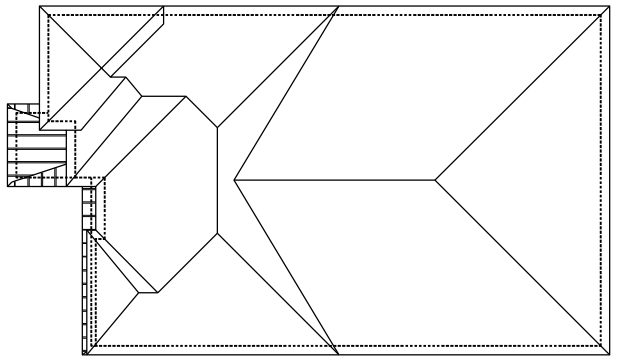
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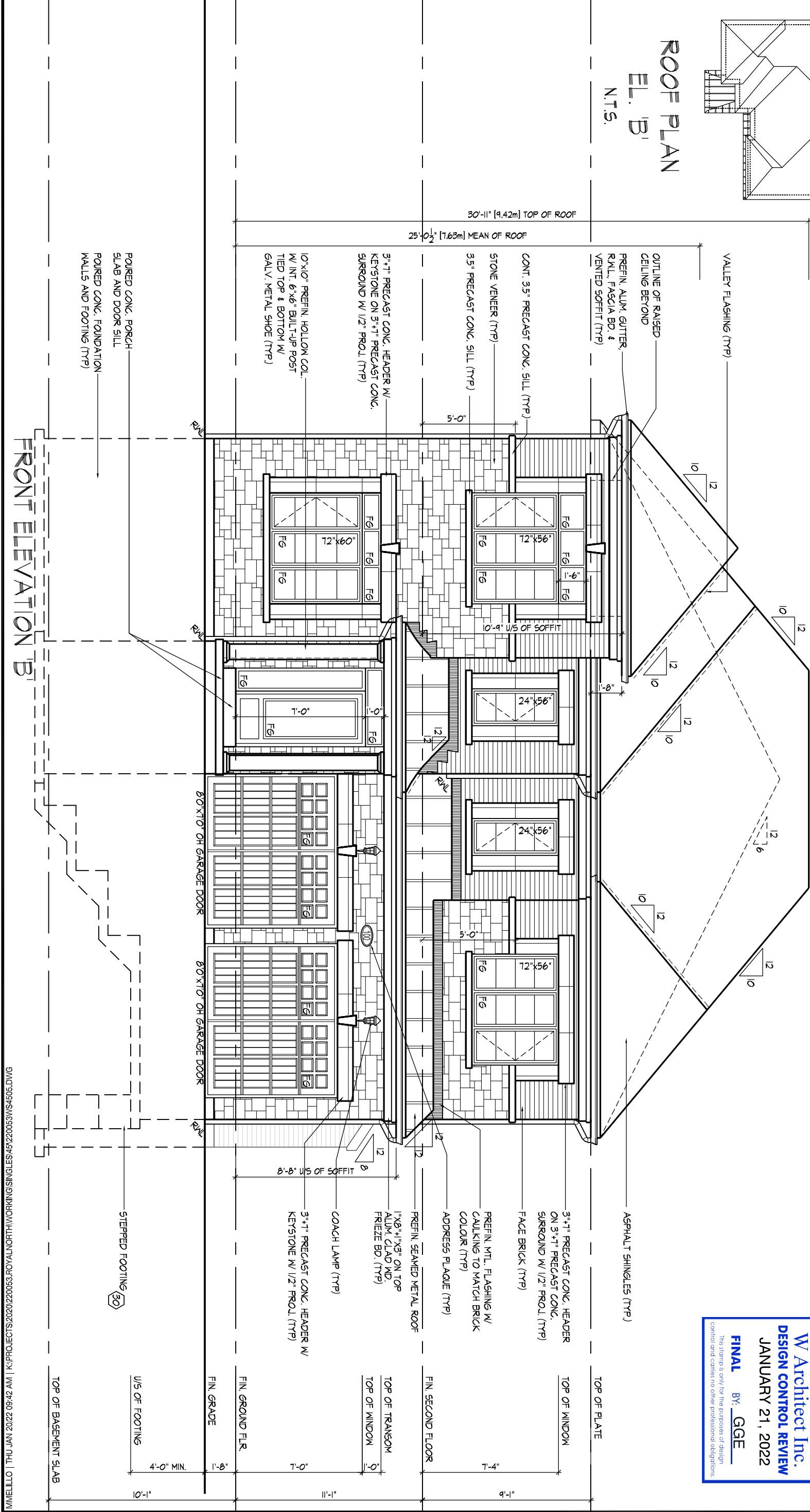
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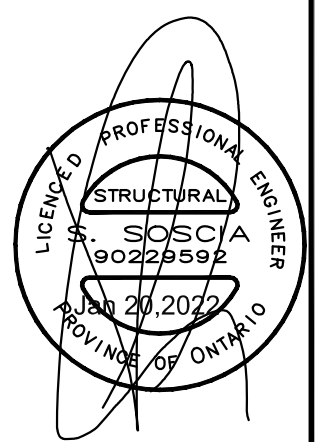
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ROOF PLAN
EL. 'B'
N.T.S.



FRONT ELEVATION 'B'



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JANUARY 21, 2022
FINAL BY: GGE

FRONT ELEVATION 'B'

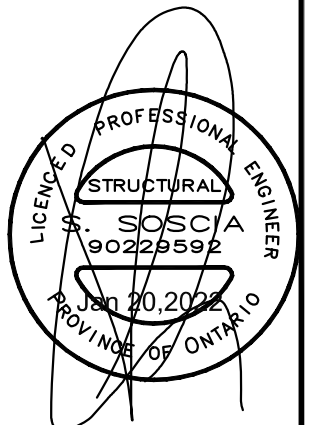
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ROYAL PINE HOMES - 220053
VALES OF HUMBER 'NORTH', BRAMPTON, ON.
Drawn By: MM
Checked By: JL
Scale: 3/16"=1'-0"
File Number: 220053WS4505
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

UNIT - 4505
REV.2022.01.20
Page Number: 19 of 30

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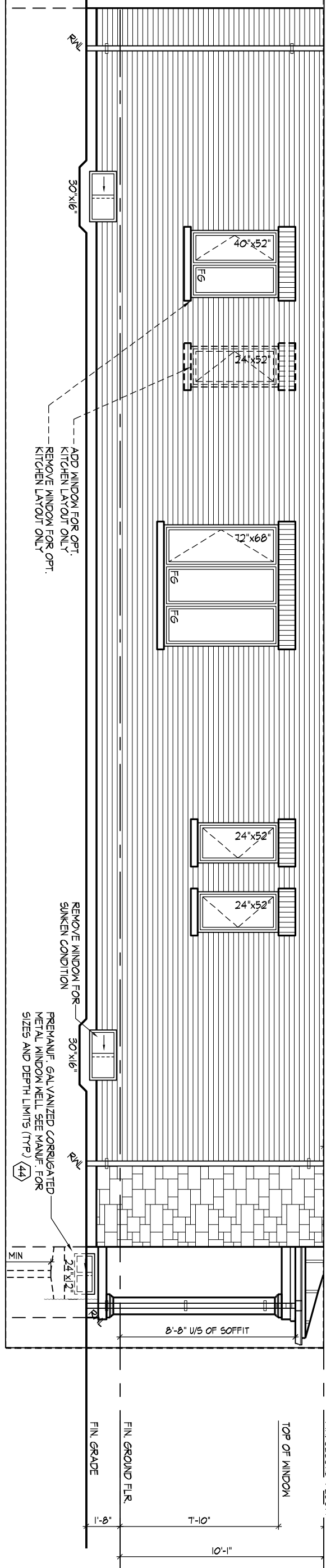


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PARTIAL OPTIONAL LEFT SIDE ELEVATION 'B'

SPATIAL CALCULATION					SPATIAL CALCULATION					SPATIAL CALCULATION				
PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4					PER O.B.C. TABLE 9.10.15.4				
LEFT SIDE EL. B W/ OPT. SEC. FLR & OPT. KITCHEN LAYOUT					LEFT SIDE ELEVATION B W/ OPT. SEC. FLR & IN-LAW SUITE					LEFT SIDE EL. B W/ OPT. SEC. FLR, IN-LAW SUITE & KITCHEN				
EXPOSING BUILDING FACE AREA	1367.99	S.F.	127.09	S.M.	EXPOSING BUILDING FACE AREA	1367.99	S.F.	127.09	S.M.	EXPOSING BUILDING FACE AREA	1367.99	S.F.	127.09	S.M.
PORTION WALL AREA	127.09	S.M.	127.09	S.M.	PORTION WALL AREA	127.09	S.M.	127.09	S.M.	PORTION WALL AREA	127.09	S.M.	127.09	S.M.
MAX. % OPENINGS	1.2 m	%	7	%	MAX. % OPENINGS	1.2 m	%	7	%	MAX. % OPENINGS	1.2 m	%	7	%
QUAN	2	30"	16"		QUAN	2	30"	16"		QUAN	2	30"	16"	
WIDTH	24"	52"			WIDTH	24"	48"			WIDTH	24"	48"		
DEPTH	48"	88"			DEPTH	40"	88"			DEPTH	40"	88"		
FRAME SIZE (S.F.)	3921		4.33	%	FRAME SIZE (S.F.)	3022		4.33	%	FRAME SIZE (S.F.)	3022		4.33	%
OPENINGS ALLOWED	0	ARCH	0.00	0.00	OPENINGS ALLOWED	0	ARCH	0.00	0.00	OPENINGS ALLOWED	0	ARCH	0.00	0.00
OPENINGS PROVIDED	0	ARCH	0.00	0.00	OPENINGS PROVIDED	0	ARCH	0.00	0.00	OPENINGS PROVIDED	0	ARCH	0.00	0.00
ADDITIONAL NOTES	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				ADDITIONAL NOTES	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER				ADDITIONAL NOTES	GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER			

PART. LEFT SIDE ELEVATION 'B' W/ IN-LAW SUITE



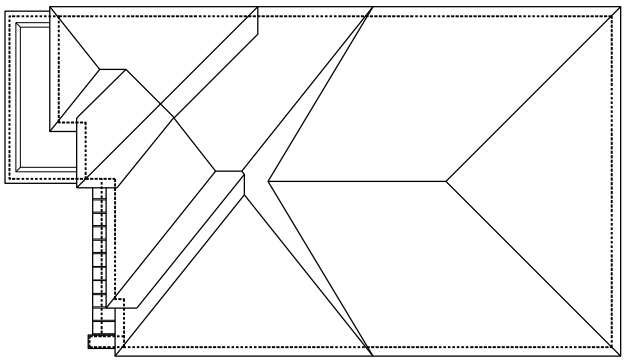
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ROYAL PINE HOMES - 220053
VALES OF HUMBER 'NORTH', BRAMPTON, ON.
 Drawn By MM Checked By JL Scale 3/16"=1'-0" File Number 220053WS4505 Page Number 21 of 30
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ROOF PLAN

EL. 'C'
N.T.S.

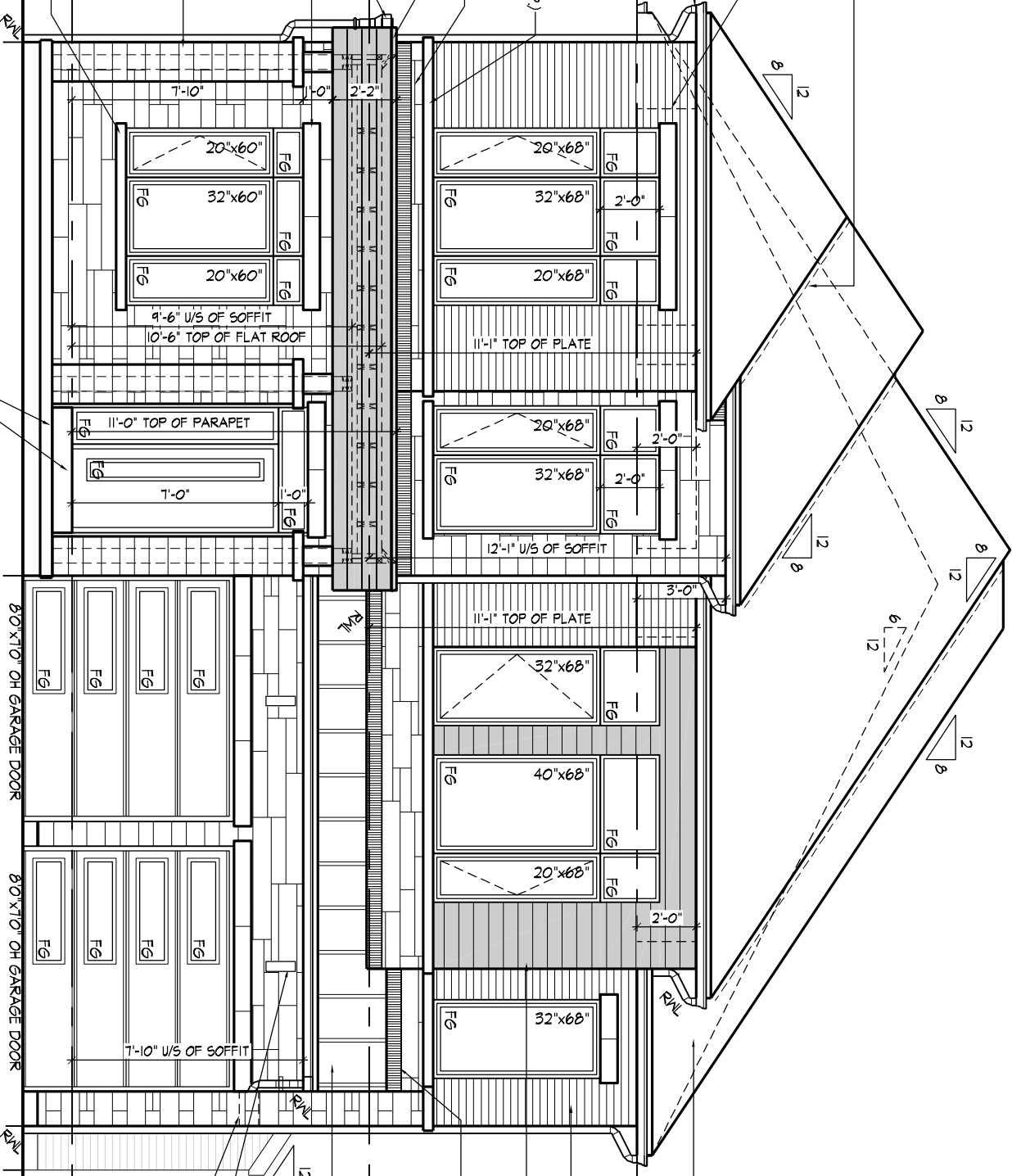
31'-4 1/2" [9.69m] TOP OF ROOF

25'-6" [7.77m] MEAN OF ROOF

VALLEY FLASHING (TYP)
 OUTLINE OF RAISED CEILING BEYOND
 PREFIN. ALUM. GUTTER, RAIL, FASCIA BD. & VENTED SOFFIT (TYP)
 CONT. 3.5" PRECAST CONG. SILL (TYP)
 LINEAR STONE VENEER (TYP)
 PROFILED PREFIN. ALUM. DRIP EDGE (TYP)
 SCUPPER
 7" PRECAST CONG. HEADER W/ 1/2" PROJ. (TYP)
 8"x8" PREFIN. HOLLOW COL. ON 16"x16" MASONRY PIER W/ INT. 6"x6" BUILT-UP POST TIED TOP & BOTTOM W/ GALV. METAL SHOE (TYP)
 3.5" PRECAST CONG. SILL (TYP)

POURED CONG. PORCH SLAB AND DOOR SILL
 POURED CONG. FOUNDATION WALLS AND FOOTING (TYP)

FRONT ELEVATION 'C'



80"x10" OH GARAGE DOOR
 80"x10" OH GARAGE DOOR

STEPPED FOOTING (30)

COACH LAMP (TYP)
 8"x8" SLEEVE FOR DOWN PIPE

PREFIN. SEALED METAL ROOF

PREFIN. MTL. FLASHING W/ CAULKING TO MATCH MASONRY COLOUR (TYP)

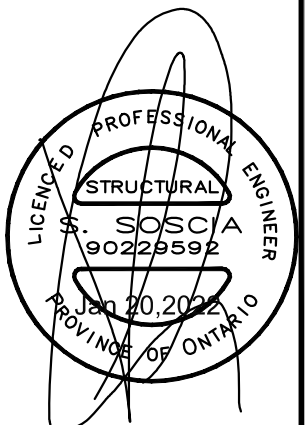
PREFIN. METAL HORIZONTAL SIDING (TYP)

FACE BRICK (TYP)

ASPHALT SHINGLES (TYP)

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FRONT ELEVATION 'C'

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VALES OF HUMBER 'NORTH', BRAMPTON, ON.
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SPATIAL CALCULATION

PER O.B.C. TABLE 9.10.15.4

LEFT SIDE ELEVATION C/W
OPT. SEC. FLOOR

EXPOSING BUILDING	1388.25	S.F.
FACE AREA	128.97	S.M.
PORTION WALL AREA	1388.25	S.F.
	128.97	S.M.

LIMITING DISTANCE	7	1.2m	%
MAX. % OPENINGS	7	1.2m	%

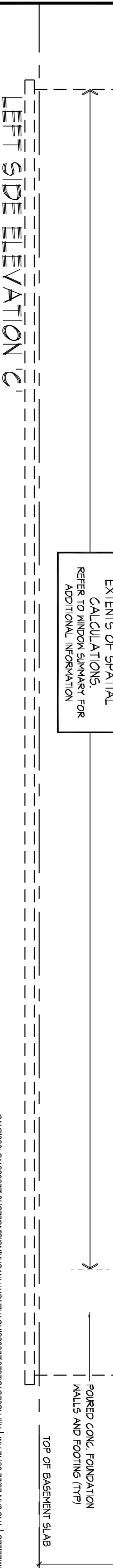
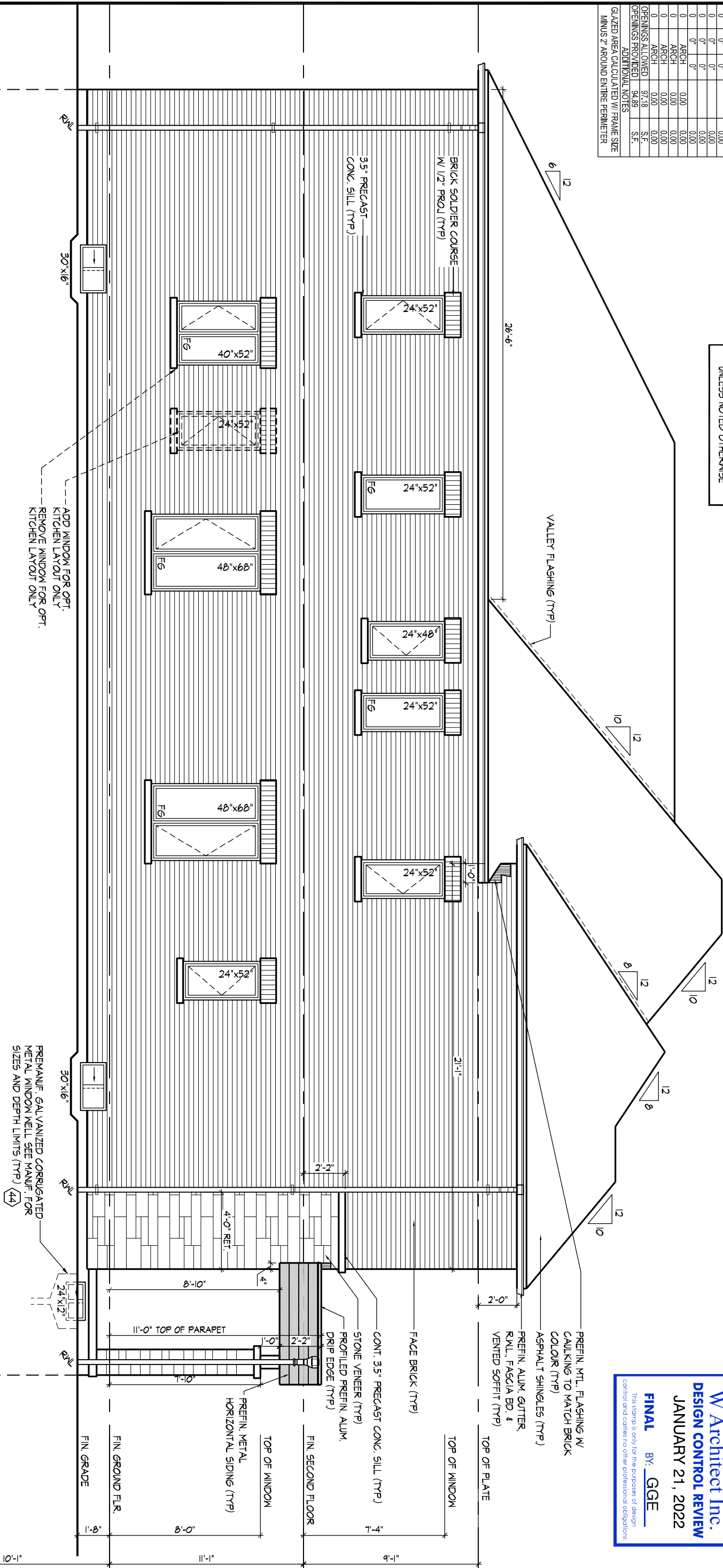
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
2	30"	6"	4.33
1	48"	6"	12.00
2	48"	68"	36.11
1	24"	52"	6.97
1	24"	52"	26.67
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
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0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00

ADDITIONAL NOTES

GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE



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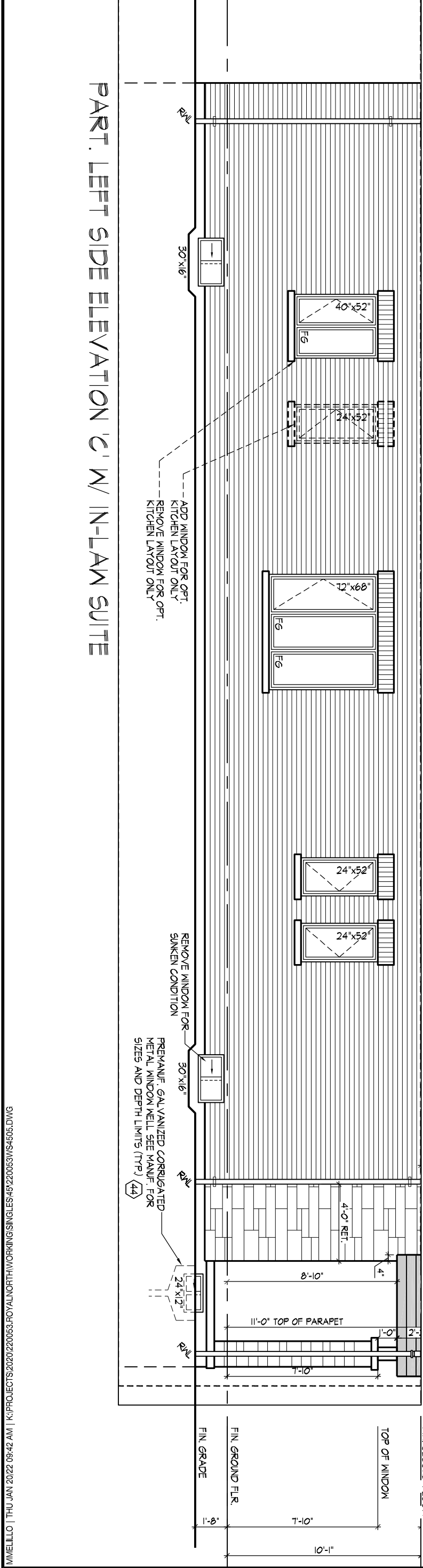
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ROYAL PINE HOMES - 220053 UNIT - 4505
VALES OF HUMBER 'NORTH', BRAMPTON, ON. REV.2022.01.20

Drawn By MM Checked By JL Scale = 3/16"=1'-0" File Number 220053WS4505 Page Number 24 of 30

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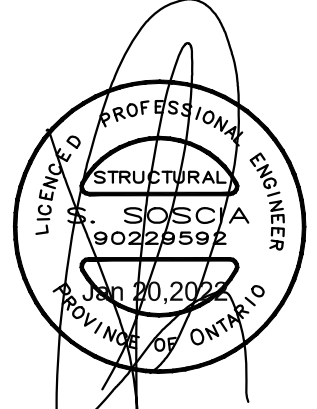


SPATIAL CALCULATION
PER O.B.C. TABLE 9.10.15.4

LEFT SIDE EL. C W/ OPT. SEC FLR & OPT. KITCHEN LAYOUT

EXPOSING BUILDING FACE AREA	1388.25	S.F.
PORTION WALL AREA	128.97	S.M.
MAX. % OPENINGS	128.97	S.M.
LIMITING DISTANCE	7	1.2 m %
QUAN		
WIDTH	30"	16"
DEPTH	24"	52"
	40"	88"
	24"	92"
	24"	32"
	24"	48"
	0"	0"
	0"	0"
	0"	0"
	0"	0"
	0"	0"
	0"	0"
	0"	0"
	0"	0"
ARCH	0.00	0.00
ARCH	0.00	0.00
ARCH	0.00	0.00
ARCH	0.00	0.00
OPENINGS ALLOWED	97.18	S.F.
OPENINGS PROVIDED	89.56	S.F.

ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER



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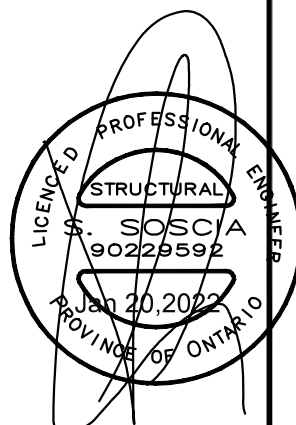
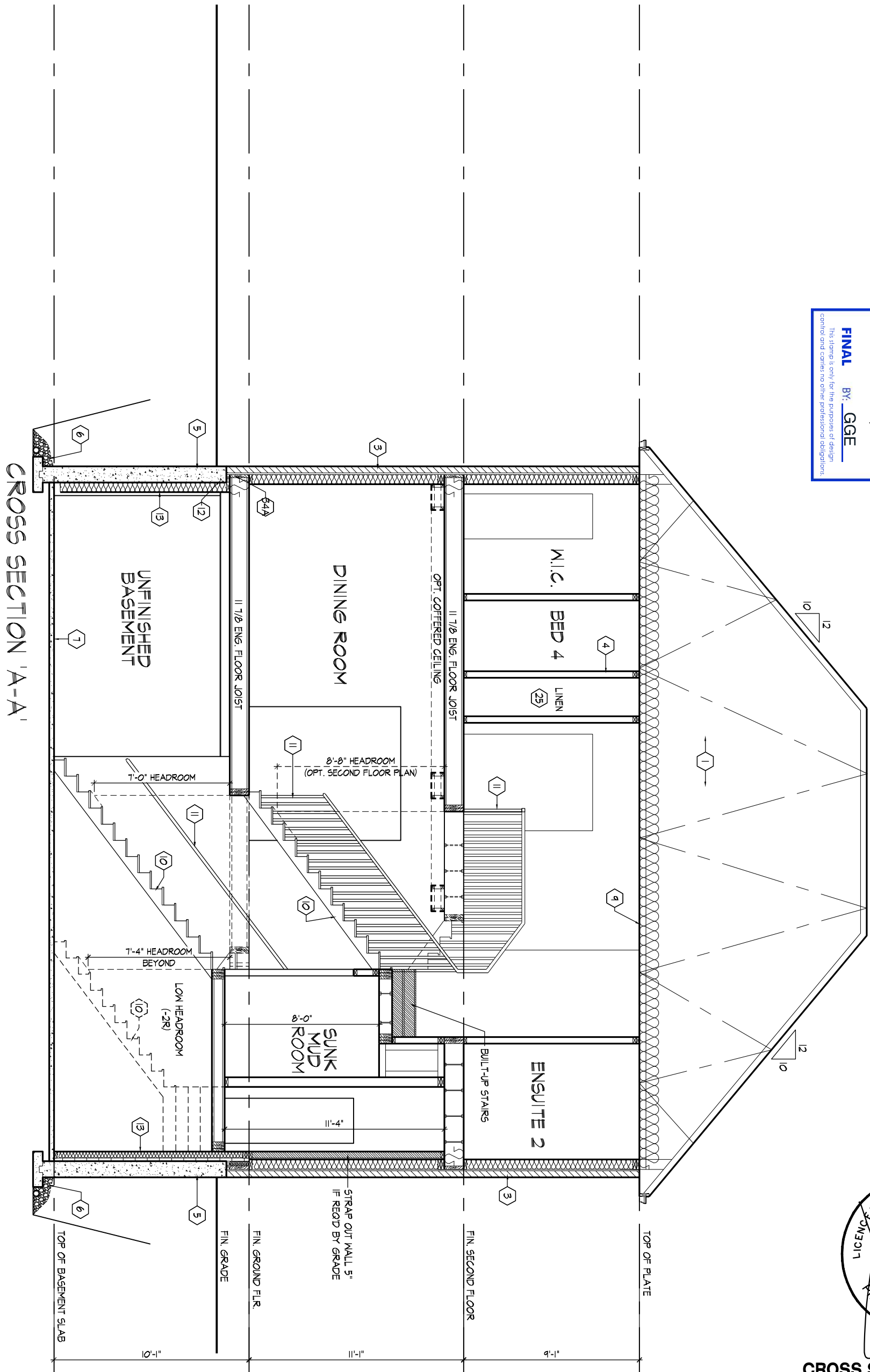
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CROSS SECTION 'A-A'

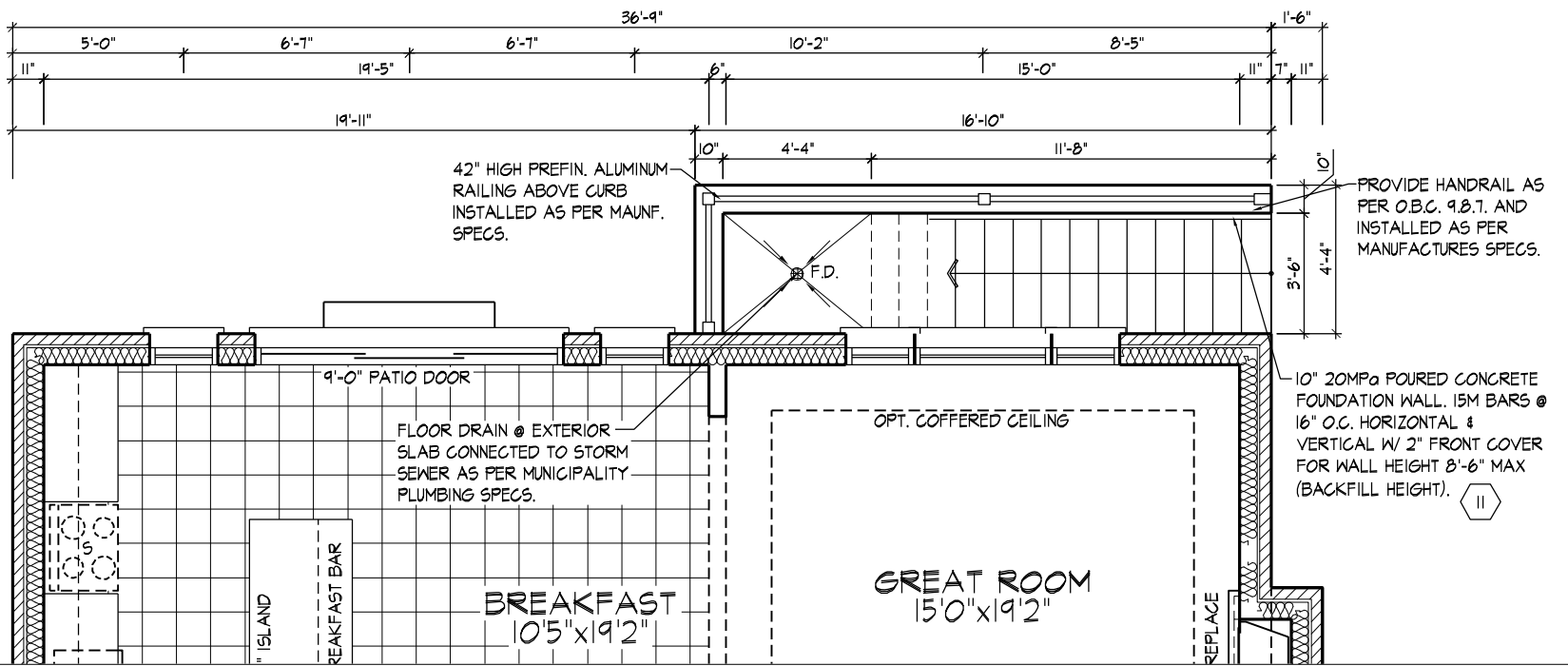
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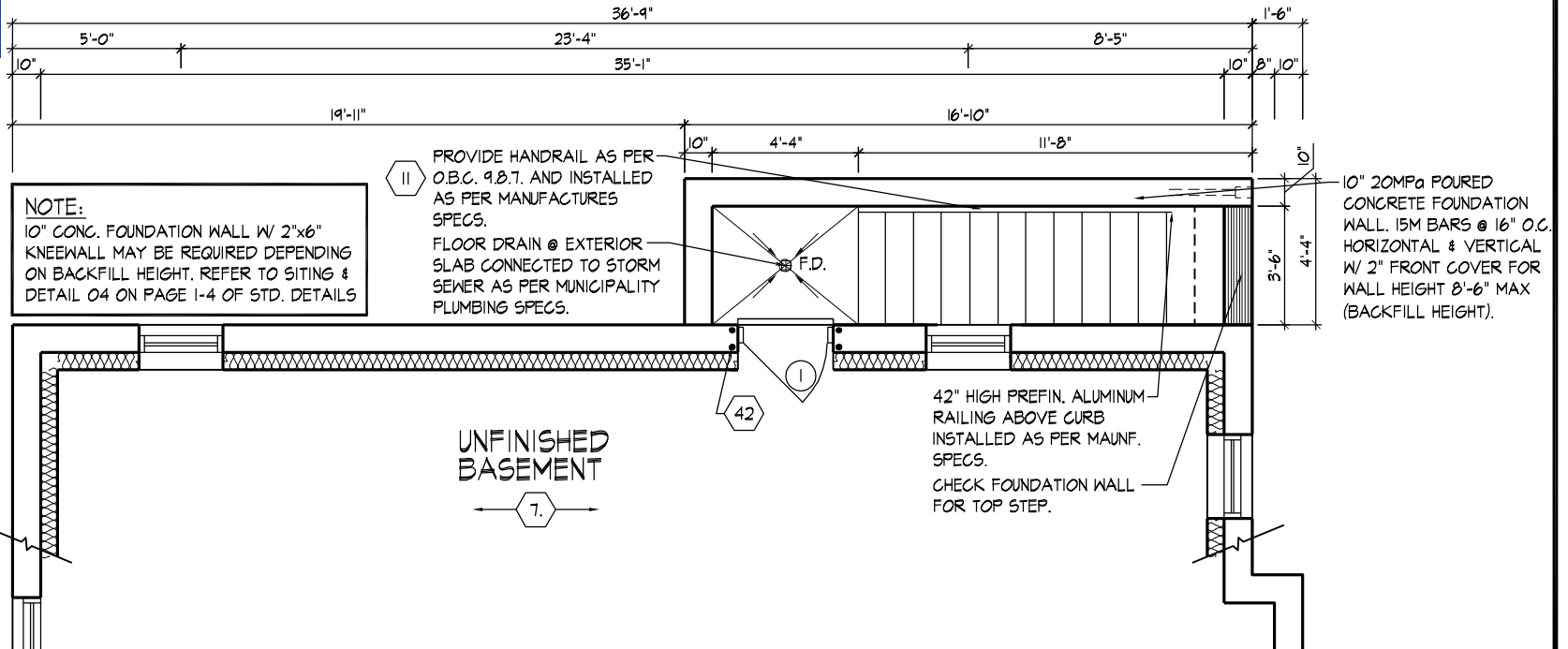
ROYAL PINE HOMES - 220053 **UNIT - 4505**
VALES OF HUMBER 'NORTH', BRAMPTON, ON. **REV.2022.01.20**
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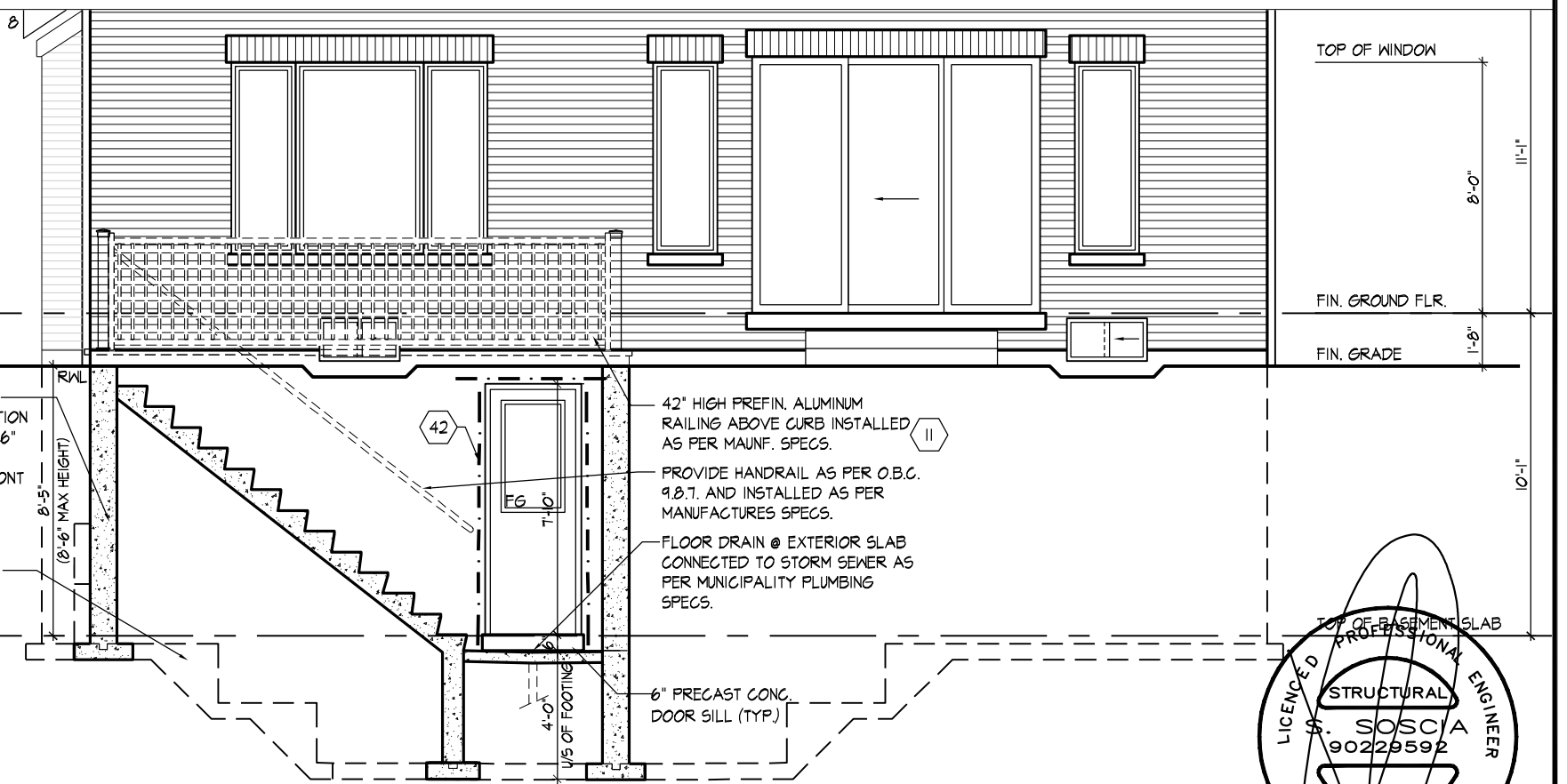


PART. GROUND FLOOR PLAN - W.U.B. CONDITION

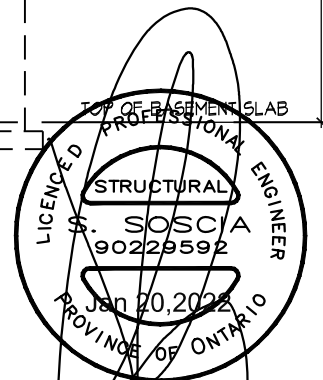
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PART. BASEMENT PLAN - W.U.B. CONDITION



PART. REAR ELEVATION - W.U.B. CONDITION



WALK-UP BASEMENT CONDITION

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Drawn By: JLT Checked By: DS Scale: 3/16"=1'-0" File Number: 220053WS4505
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UNIT - 4505
 REV.2022.01.20

Page Number: 28 of 30

cont. SECTION 1.0. CONSTRUCTION NOTES

Table with 2 columns: WALL ASSEMBLY and WIND LOADS. Sub-columns include EXTERIOR, STUDS, SPACING, and MAX HEIGHT for wind loads <= 0.5 kPa (q50) and > 0.5 kPa (q50). Rows include BRICK, SIDING, and BRICK with various dimensions and stud spacings.

STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C. VERTICALLY.
- FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

1 HR. PARTY WALL (CONC. BLOCK) ((SB-3) WALL TYPE 'B6e' & 'B1b')
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

1 HR. PARTY WALL (DOUBLE STUD) ((SB-3) WALL TYPE 'W13c')
5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C. MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE FILL AND SAND ALL GYPSUM JOINTS.

2 HR. FIREWALL ((SB-3) WALL TYPE 'B6e' & 'B1b')
1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

STUCCO WALL CONSTRUCTION (2"x6")
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL CONSTRUCTION (2"x6") W/ CONTIN. INSUL.
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

STUCCO WALL @ GARAGE CONST.
STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)
*** FOR DWELLINGS USING CONTIN. INSULATION CONSTRUCTION, PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.

UNSUPPORTED FOUNDATION WALLS (9.15.4.2.)
REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING)
3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING)
4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
- BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL
REINFORCING AT BASEMENT WINDOWS
2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING.
2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.
- BARS TO HAVE MIN. 1" (25) CONC. COVER
- BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

STUD WALL REINFORCEMENT
PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1)) (REFER TO DETAILS)

WINDOW WELLS
WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

SLOPED CEILING CONSTRUCTION ((SB-12) 3.1.1.8., 9.23.4.2.)
2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 MIL POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RS).

FLAT ROOF/BALCONY CONSTRUCTION
WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.
BALCONY CONDITION
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS
BALCONY OVER HEATED SPACE CONDITION
SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH

BARREL VAULT CONSTRUCTION
CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.
SIZE & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.)

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS
1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.
2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800), (9.8.8.1.)
3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2
4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS
2.2. CEILING HEIGHTS
THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

- 2.3. MECHANICAL / PLUMBING
1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.
2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF SB12 - 3.1.1.12. OF THE O.B.C.

- 2.4. LUMBER
1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 MIL POLYETHYLENE FILM. No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

- 2.5. STEEL (9.23.4.3.)
1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W, HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

- 2.6. FLAT ARCHES
1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

- 2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305), UNLESS NOTED OTHERWISE.

- 2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.)
1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

- 2.9. GRADING
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

- 2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2.(3), 9.23.4.2.(4), 9.23.12.3.(1),(3), 9.23.13.8.(2), 9.37.3.1.(1)

Table of Engineered Lumber Schedule with columns: CODE, SIZE, LVL1-LVL12, LVL3-LVL6, LVL7-LVL9, LVL10-LVL13. Includes sizes like 1 3/4" x 9 1/2" LVL, 1-1 3/4"x9 1/2", etc.

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.) FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3)

Table with 3 columns: CODE, SIZE, BRICK, STONE. Includes sizes like L7 (3 1/2" x 3 1/2" x 1 1/4"), L8 (4" x 3 1/2" x 1 1/4"), L9 (4 7/8" x 3 1/2" x 5/16"), etc.

3.3. DOOR SCHEDULE CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10
Table with columns: CODE, TYPE, SIZE, and DESCRIPTION. Includes EXTERIOR, INTERIOR doors with sizes like 2'-8" x 6'-8" x 1-3/4".

3.4. ACRONYMS
Table with columns: ABBREVIATION, FULL NAME. Includes AFF (ABOVE FINISHED FLOOR), BBFM (BEAM BY FLOOR MANUFACTURER), BG (FIXED GLASS W/ BLACK BACKING), etc.

3.5. SYMBOLS
Table with columns: SYMBOL, DESCRIPTION. Includes CLASS 'B' VENT, EXHAUST VENT, DUPLEX OUTLET (12" HIGH), HEAVY DUTY OUTLET, etc.

SA SMOKE ALARM (9.10.19)
PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72".
CMD CARBON MONOXIDE ALARM (9.33.4.)
** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS)
THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37, (9.17.4., 9.23.10.7.)

Two Storey Volume Space. See construction note 39.
Varying Plates, Built-out Floors, Bearing Walls, Ice & Water Shield
Exposed Building Face -O.B.C. 9.10.14, Or 9.10.15. REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL REFER TO HEX NOTE 40.
2 HR. FIREWALL REFER TO HEX NOTE 40A.

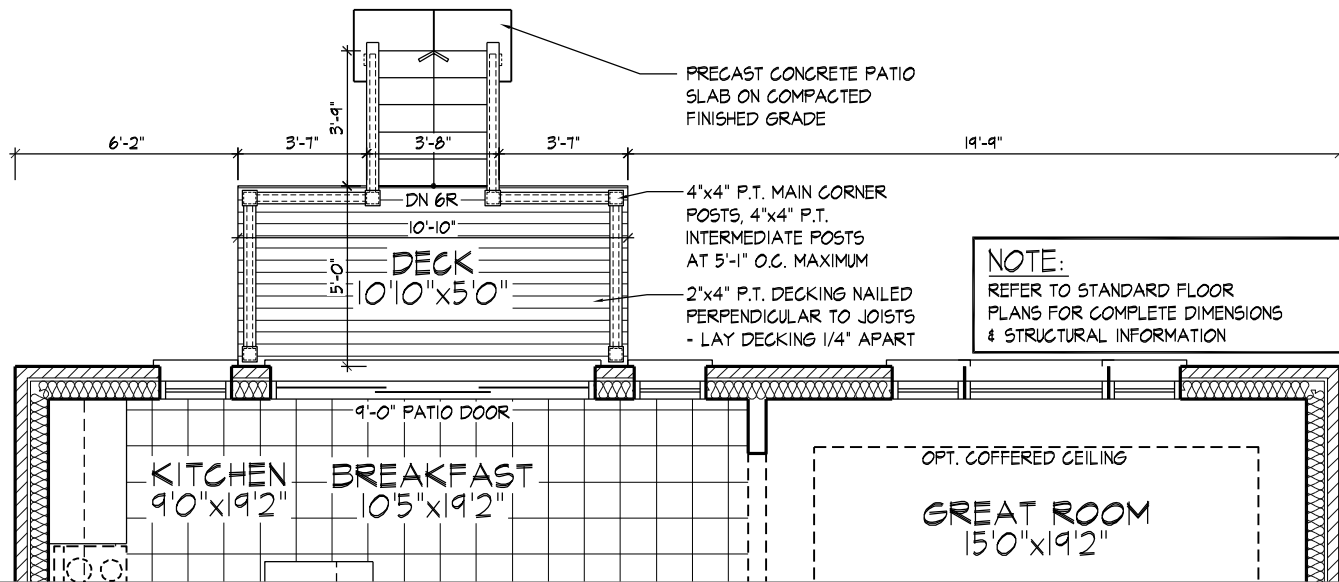
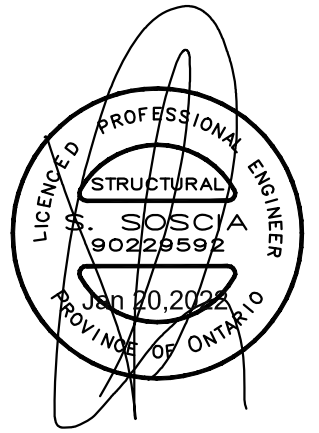
SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): 1.12 kPa
WIND PRESSURE (q50) (SB-1.2.): 0.44 kPa

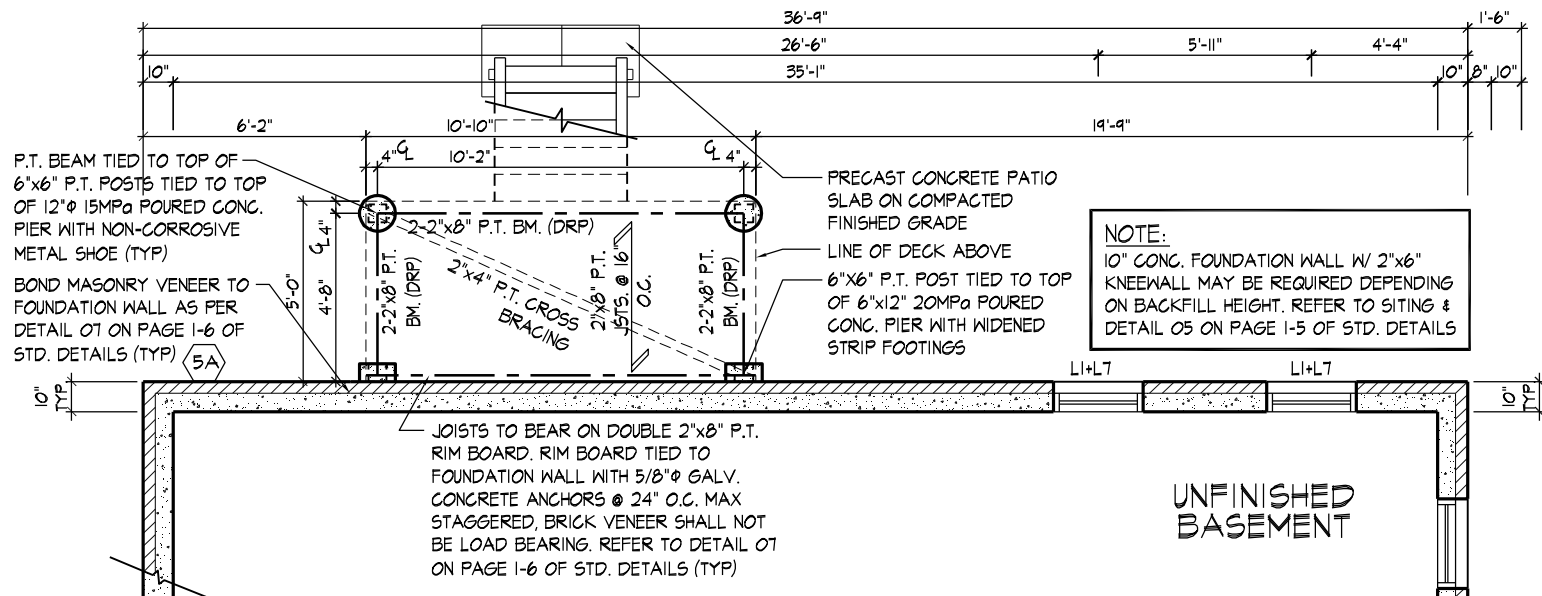
Professional Engineer Stamp for W Architect Inc. Design Control Review, dated JANUARY 21, 2022. Final by GGE. Includes Ontario Professional Engineer seal.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & SPECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A. ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12. CONSTRUCTION NOTE REVISION DATE: APRIL 15, 2020

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PART. GROUND FLOOR PLAN - W.O.D. CONDITION



PART. BASEMENT PLAN - W.O.D. CONDITION

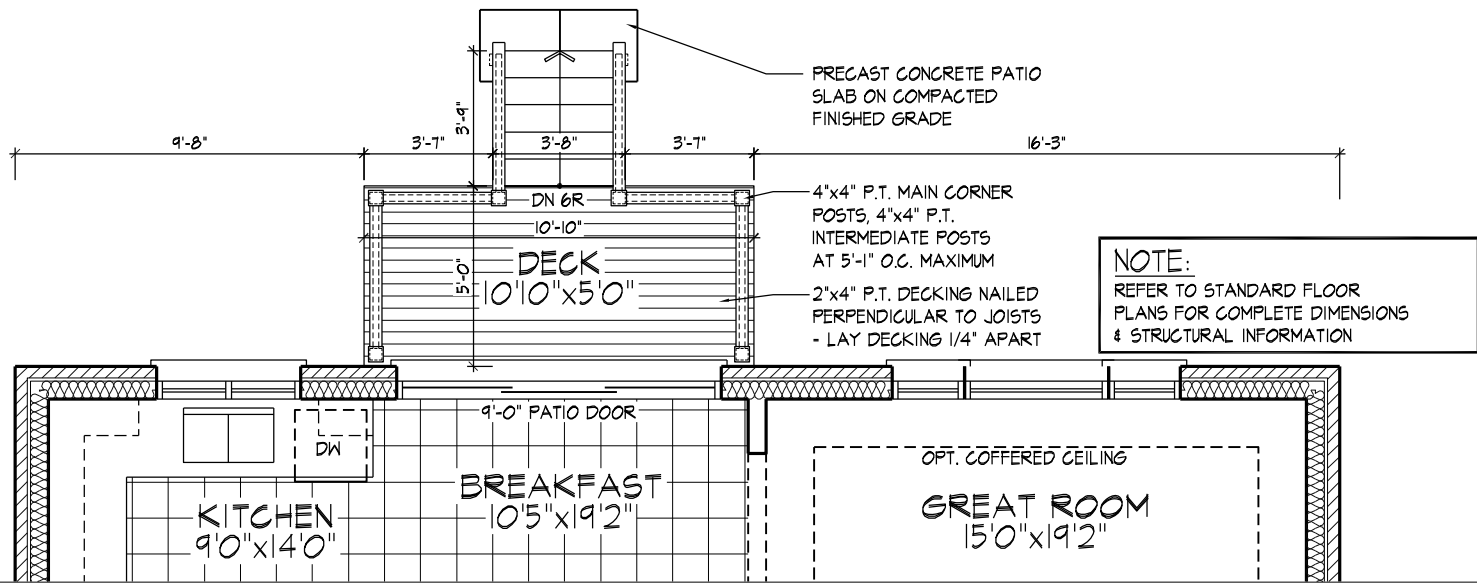


PART REAR ELEVATION

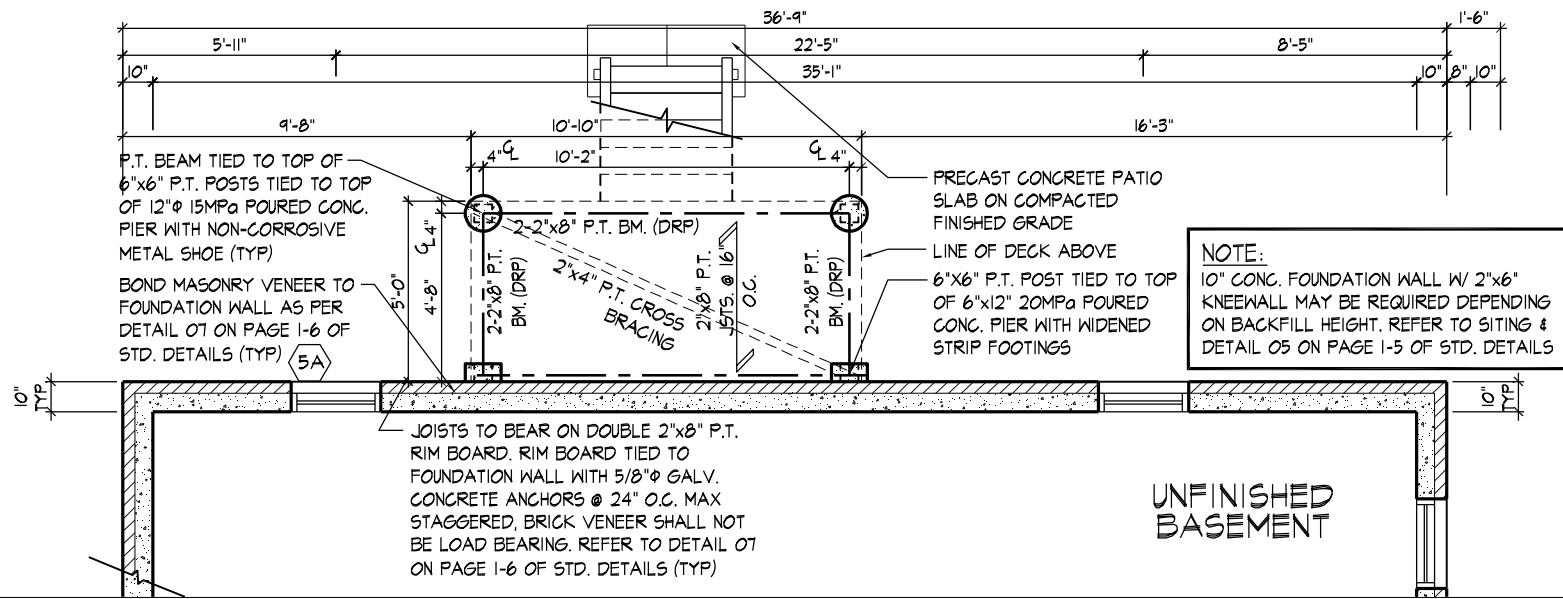
WINDOW SIZES FOR W.O.D. CONDITIONS: WINDOWS TO BE LOCATED WITHIN JOIST SPACE. IF GRADE PERMITS, TOP OF WINDOW TO BE 6'-10" A.F.F. REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

WALK-OUT DECK CONDITION

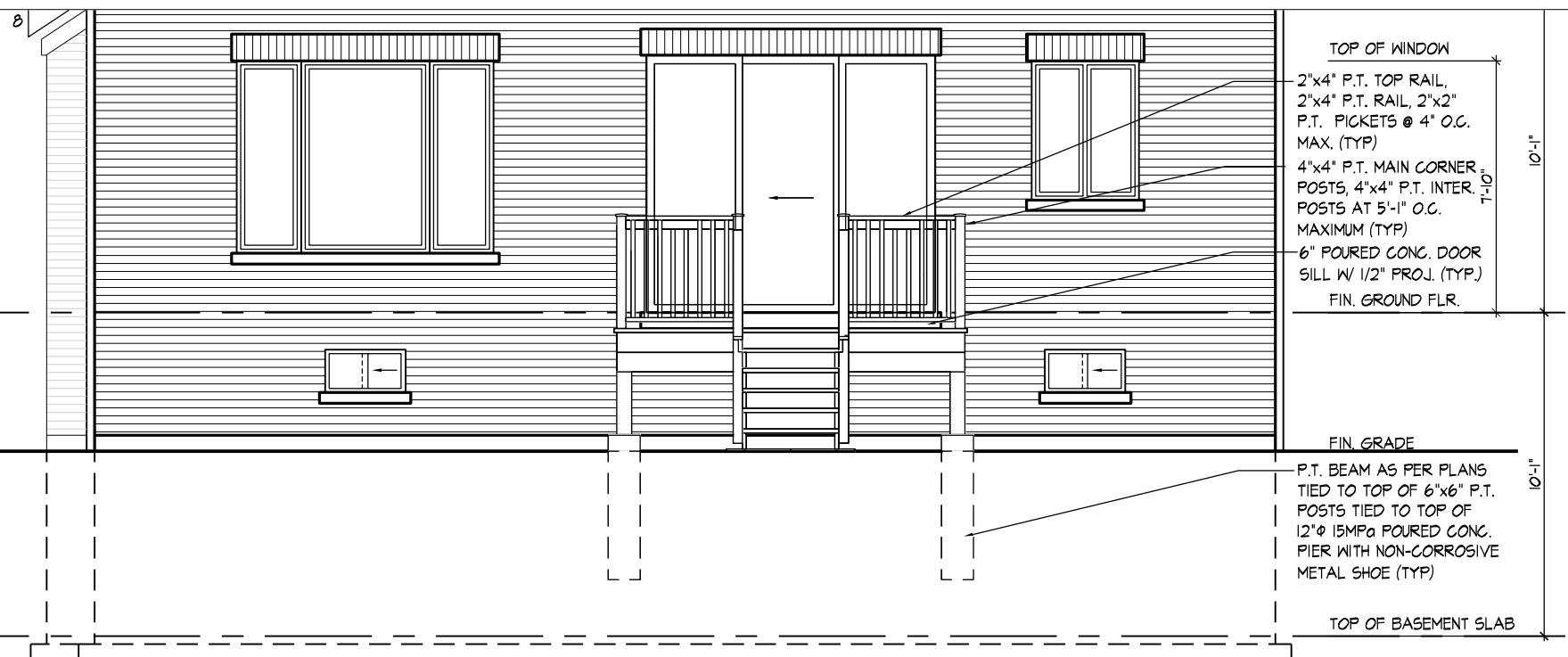
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PART. GROUND FLOOR PLAN - W.O.D. CONDITION



PART. BASEMENT PLAN - W.O.D. CONDITION



PART. OPT. REAR ELEVATION FOR OPT. KITCHEN LAYOUT

WINDOW SIZES FOR W.O.D. CONDITIONS:
 WINDOWS TO BE LOCATED WITHIN JOIST SPACE. IF GRADE PERMITS, TOP OF WINDOW TO BE 6'-10" A.F.F.
 REFER TO FRONT ELEVATION & STANDARD REAR FOR TYPICAL NOTES & INFO.

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 Derek R. Santos 37308
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

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 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

WALK-OUT DECK CONDITION FOR OPT, KITCHEN LAYOUT
ROYAL PINE HOMES - 220053
 VALES OF HUMBER 'NORTH', BRAMPTON, ON. UNIT - 4505
 REV.2022.01.26
 Drawn By JLT Checked By DS Scale 3/16"=1'-0" File Number 220053WS4505 Page Number WOD 2 of 2
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