

ELEVATION A
(4 BEDROOM)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	8	72	0	4.00	0.37
	1	26	41	0	7.40	0.69
PWDR.	1	24	52	2.69	11.36	1.06
	1	36	52	4.02	17.02	1.58
HOME OFFICE	1	72	52	8.01	34.01	3.16
DINING / LIVING ROOM	2	24	68	0	22.67	2.11
	2	23	56	0	17.89	1.66
	1	62	8	0	3.44	0.32
FAMILY ROOM	2	24	52	2.69	22.71	2.11
	2	72	52	8.01	68.02	6.32
BREAKFAST	1	76	96	0	50.67	4.71
	1	36	48	0	12.00	1.11
MUDROOM	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
DRESSING ROOM	1	24	48	0	8.00	0.74
ENSUITE NO.2	1	24	48	0	8.00	0.74
BEDROOM NO.2	1	48	52	5.34	22.67	2.11
W.I.CL.	1	24	56	0	9.33	0.87
BEDROOM NO.3	1	36	56	4.02	18.02	1.67
	1	24	56	0	9.33	0.87
	1	36	56	0	14.00	1.30
	1	24	56	2.69	12.02	1.12
SHARED BATH	2	24	56	2.69	24.05	2.23
BEDROOM NO.4	2	36	56	0	28.00	2.60
MASTER ENSUITE	3	24	56	2.69	36.07	3.35
	1	72	56	8.01	36.01	3.35
TOTAL	41	-	-	-	560.03	52.03
WALL AREA	-	-	-	-	4281.78	397.79
RATIO	-	-	-	-	13.08	13.08

ELEVATION A
(5 BEDROOM)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	48	8	0	2.67	0.25
	1	8	72	0	4.00	0.37
	1	26	41	0	7.40	0.69
PWDR.	1	24	52	2.69	11.36	1.06
	1	36	52	4.02	17.02	1.58
HOME OFFICE	1	72	52	8.01	34.01	3.16
DINING / LIVING ROOM	2	24	68	0	22.67	2.11
	2	23	56	0	17.89	1.66
	1	62	8	0	3.44	0.32
FAMILY ROOM	2	24	52	2.69	22.71	2.11
	2	72	52	8.01	68.02	6.32
BREAKFAST	1	76	96	0	50.67	4.71
	1	36	48	0	12.00	1.11
MUDROOM	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	62	0	20.67	1.92
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	48	52	5.34	22.67	2.11
W.I.CL.	1	24	56	0	9.33	0.87
BEDROOM NO.4	1	36	56	4.02	18.02	1.67
	1	24	56	0	9.33	0.87
	1	36	56	0	14.00	1.30
	1	24	56	2.69	12.02	1.12
	2	24	56	2.69	24.05	2.23
SHARED BATH	2	24	56	2.69	24.05	2.23
BEDROOM NO.5	2	36	56	0	28.00	2.60
MASTER ENSUITE	3	24	56	2.69	36.07	3.35
	1	72	56	8.01	36.01	3.35
TOTAL	41	-	-	-	571.37	53.08
WALL AREA	-	-	-	-	4281.78	397.79
RATIO	-	-	-	-	13.34	13.34

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-4 NATASHA

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ELEVATION A(4 BEDROOM)
WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	30	24	0	5.00	0.46
FOYER	1	48	8	0	2.67	0.25
	1	8	72	0	4.00	0.37
	1	26	41	0	7.40	0.69
PWDR.	1	24	52	2.69	11.36	1.06
	1	36	52	4.02	17.02	1.58
HOME OFFICE	1	72	52	8.01	34.01	3.16
DINING / LIVING ROOM	2	24	68	0	22.67	2.11
	2	23	56	0	17.89	1.66
	1	62	8	0	3.44	0.32
FAMILY ROOM	2	24	52	2.69	22.71	2.11
	2	72	52	8.01	68.02	6.32
BREAKFAST	1	76	96	0	50.67	4.71
	1	36	48	0	12.00	1.11
MUDROOM	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
DRESSING ROOM	1	24	48	0	8.00	0.74
ENSUITE NO.2	1	24	48	0	8.00	0.74
BEDROOM NO.2	1	48	52	5.34	22.67	2.11
W.I.CL.	1	24	56	0	9.33	0.87
BEDROOM NO.3	1	36	56	4.02	18.02	1.67
	1	24	56	0	9.33	0.87
	1	36	56	0	14.00	1.30
	1	24	56	2.69	12.02	1.12
SHARED BATH	2	24	56	2.69	24.05	2.23
BEDROOM NO.4	2	36	56	0	28.00	2.60
MASTER ENSUITE	3	24	56	2.69	36.07	3.35
	1	72	56	8.01	36.01	3.35
TOTAL	41	-	-	-	561.70	52.18
WALL AREA	-	-	-	-	4407.29	409.45
RATIO	-	-	-	-	12.74	12.74

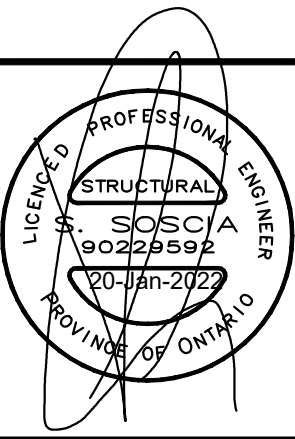
ELEVATION A(5 BEDROOM)
WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	30	24	0	5.00	0.46
FOYER	1	48	8	0	2.67	0.25
	1	8	72	0	4.00	0.37
	1	26	41	0	7.40	0.69
PWDR.	1	24	52	2.69	11.36	1.06
	1	36	52	4.02	17.02	1.58
HOME OFFICE	1	72	52	8.01	34.01	3.16
DINING / LIVING ROOM	2	24	68	0	22.67	2.11
	2	23	56	0	17.89	1.66
	1	62	8	0	3.44	0.32
FAMILY ROOM	2	24	52	2.69	22.71	2.11
	2	72	52	8.01	68.02	6.32
BREAKFAST	1	76	96	0	50.67	4.71
	1	36	48	0	12.00	1.11
MUDROOM	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	62	0	20.67	1.92
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	48	52	5.34	22.67	2.11
W.I.CL.	1	24	56	0	9.33	0.87
BEDROOM NO.4	1	36	56	4.02	18.02	1.67
	1	24	56	0	9.33	0.87
	1	36	56	0	14.00	1.30
	1	24	56	2.69	12.02	1.12
SHARED BATH	2	24	56	2.69	24.05	2.23
BEDROOM NO.5	2	36	56	0	28.00	2.60
MASTER ENSUITE	3	24	56	2.69	36.07	3.35
	1	72	56	8.01	36.01	3.35
TOTAL	41	-	-	-	573.03	53.24
WALL AREA	-	-	-	-	4407.29	409.45
RATIO	-	-	-	-	13.00	13.00

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

MODEL 40-4 NATASHA

3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO.
ARCHITECTURAL DESIGN

SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME:
INSULATED WALL & WINDOW
OPENINGS AREA CALCULATIONS-A

DATE PLOTTED:
DEC. 08/21

DRAWN BY:
M.H./J.LAM

AREA:
3239 sq.ft.

DATE:
OCT. 23/20

TYPE:

PAGE No:

02

SCALE:
3/16" = 1'-0"

PROJECT No:
20-104

PROJECT NAME:

MODEL NAME:
MODEL 40-4 NATASHA

ELEVATION A(4 BEDROOM)
WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	8	72	0	4.00	0.37
	1	26	41	0	7.40	0.69
PWDR.	1	24	52	2.69	11.36	1.06
	1	36	52	4.02	17.02	1.58
HOME OFFICE	1	72	52	8.01	34.01	3.16
DINING / LIVING ROOM	2	24	68	0	22.67	2.11
	2	23	56	0	17.89	1.66
	1	62	8	0	3.44	0.32
FAMILY ROOM	2	24	52	2.69	22.71	2.11
	2	72	52	8.01	68.02	6.32
BREAKFAST	1	76	96	0	50.67	4.71
	1	36	48	0	12.00	1.11
MUDROOM	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
DRESSING ROOM	1	24	48	0	8.00	0.74
ENSUITE NO.2	1	24	48	0	8.00	0.74
BEDROOM NO.2	1	48	52	5.34	22.67	2.11
W.I.CL.	1	24	56	0	9.33	0.87
BEDROOM NO.3	1	36	56	4.02	18.02	1.67
	1	24	56	0	9.33	0.87
	1	36	56	0	14.00	1.30
	1	24	56	2.69	12.02	1.12
SHARED BATH	2	24	56	2.69	24.05	2.23
BEDROOM NO.4	2	36	56	0	28.00	2.60
MASTER ENSUITE	3	24	56	2.69	36.07	3.35
	1	72	56	8.01	36.01	3.35
TOTAL	42	-	-	-	564.48	52.44
WALL AREA	-	-	-	-	4377.05	406.64
RATIO	-	-	-	-	12.90	12.90

ELEVATION A(5 BEDROOM)
WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	48	8	0	2.67	0.25
	1	8	72	0	4.00	0.37
	1	26	41	0	7.40	0.69
PWDR.	1	24	52	2.69	11.36	1.06
	1	36	52	4.02	17.02	1.58
HOME OFFICE	1	72	52	8.01	34.01	3.16
DINING / LIVING ROOM	2	24	68	0	22.67	2.11
	2	23	56	0	17.89	1.66
	1	62	8	0	3.44	0.32
FAMILY ROOM	2	24	52	2.69	22.71	2.11
	2	72	52	8.01	68.02	6.32
BREAKFAST	1	76	96	0	50.67	4.71
	1	36	48	0	12.00	1.11
MUDROOM	1	24	40	0	6.67	0.62
MASTER BEDROOM	2	48	56	0	37.33	3.47
BEDROOM NO.2	1	48	62	0	20.67	1.92
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	48	52	5.34	22.67	2.11
W.I.CL.	1	24	56	0	9.33	0.87
BEDROOM NO.4	1	36	56	4.02	18.02	1.67
	1	24	56	0	9.33	0.87
	1	36	56	0	14.00	1.30
	1	24	56	2.69	12.02	1.12
	2	24	56	2.69	24.05	2.23
BEDROOM NO.5	2	36	56	0	28.00	2.60
MASTER ENSUITE	3	24	56	2.69	36.07	3.35
	1	72	56	8.01	36.01	3.35
TOTAL	42	-	-	-	575.81	53.49
WALL AREA	-	-	-	-	4377.05	406.64
RATIO	-	-	-	-	13.16	13.16

W Architect Inc.
DESIGN CONTROL REVIEW
JANUARY 21, 2022
FINAL
RECERT BY: GGE
This stamp is only for the purposes of design
control and carries no other professional obligations.

MODEL 40-4 NATASHA

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ELEVATION B
(4 BEDROOM)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	62	8	0	3.44	0.32
	2	11	80	0	12.22	1.14
PWDR.	1	24	70	0	11.67	1.08
	1	48	70	0	23.33	2.17
HOME OFFICE	1	60	70	0	29.17	2.71
DINING / LIVING ROOM	1	64	8	0	3.56	0.33
	1	24	70	0	11.67	1.08
	2	23	55	0	17.57	1.63
FAMILY ROOM	3	24	70	0	35.00	3.25
	1	36	70	0	17.50	1.63
	1	72	70	0	35.00	3.25
BREAKFAST	1	76	96	0	50.67	4.71
	1	48	48	0	16.00	1.49
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	74	0	37.00	3.44
	1	48	74	0	24.67	2.29
DRESSING ROOM	1	24	48	0	8.00	0.74
ENSUITE NO.2	1	24	48	0	8.00	0.74
BEDROOM NO.2	1	72	78	0	39.00	3.62
W.I.CL.	1	30	74	0	15.42	1.43
BEDROOM NO.3	1	60	92	0	38.33	3.56
	1	24	74	0	12.33	1.15
	1	48	74	0	24.67	2.29
SHARED BATH	1	60	92	0	38.33	3.56
BEDROOM NO.4	1	60	74	0	30.83	2.86
	1	24	74	0	12.33	1.15
MASTER ENSUITE	1	24	74	0	12.33	1.15
	1	36	74	0	18.50	1.72
	1	72	74	0	37.00	3.44
TOTAL	38	-	-	-	646.88	60.10
WALL AREA	-	-	-	-	4251.12	394.94
RATIO	-	-	-	-	15.22	15.22

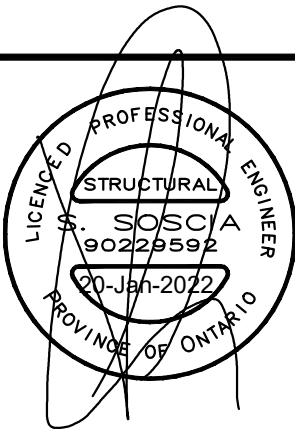
ELEVATION B
(5 BEDROOM)

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
FOYER	1	62	8	0	3.44	0.32
	2	11	80	0	12.22	1.14
PWDR.	1	24	70	0	11.67	1.08
	1	48	70	0	23.33	2.17
HOME OFFICE	1	60	70	0	29.17	2.71
DINING / LIVING ROOM	1	64	8	0	3.56	0.33
	1	24	70	0	11.67	1.08
	2	23	55	0	17.57	1.63
FAMILY ROOM	3	24	70	0	35.00	3.25
	1	36	70	0	17.50	1.63
	1	72	70	0	35.00	3.25
BREAKFAST	1	76	96	0	50.67	4.71
	1	48	48	0	16.00	1.49
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	74	0	37.00	3.44
	1	48	74	0	24.67	2.29
BEDROOM NO.2	1	48	62	0	20.67	1.92
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	78	0	39.00	3.62
W.I.CL.	1	30	74	0	15.42	1.43
BEDROOM NO.4	1	60	92	0	38.33	3.56
	1	24	74	0	12.33	1.15
	1	48	74	0	24.67	2.29
	1	60	92	0	38.33	3.56
SHARED BATH	1	60	74	0	30.83	2.86
BEDROOM NO.5	1	24	74	0	12.33	1.15
MASTER ENSUITE	1	24	74	0	12.33	1.15
	1	36	74	0	18.50	1.72
	1	72	74	0	37.00	3.44
TOTAL	38	-	-	-	658.21	61.15
WALL AREA	-	-	-	-	4251.12	394.94
RATIO	-	-	-	-	15.48	15.48



MODEL 40-4 NATASHA

3.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
2.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
1.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
No:	DATE:	REVISION/ISSUED:	BY:



SHEET NAME: INSULATED WALL & WINDOW OPENINGS AREA CALCULATIONS-B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H./J.LAM	AREA: 3239 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: 04
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-104	
SURIANO. ARCHITECTURAL DESIGN		
SURIANO DESIGN CONSULTANTS INC. 51 Reysun Road, Unit 1 Vaughan, Ontario L4L 8P9 T: 905-264-0924		

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-4 NATASHA	

ELEVATION B(4 BEDROOM)
WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO—O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	30	24	0	5.00	0.46
FOYER	1	62	8	0	3.44	0.32
	2	11	80	0	12.22	1.14
PWDR.	1	24	70	0	11.67	1.08
	1	48	70	0	23.33	2.17
HOME OFFICE	1	60	70	0	29.17	2.71
DINING / LIVING ROOM	1	64	8	0	3.56	0.33
	1	24	70	0	11.67	1.08
	2	23	55	0	17.57	1.63
FAMILY ROOM	3	24	70	0	35.00	3.25
	1	36	70	0	17.50	1.63
	1	72	70	0	35.00	3.25
BREAKFAST	1	76	96	0	50.67	4.71
	1	48	48	0	16.00	1.49
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	74	0	37.00	3.44
	1	48	74	0	24.67	2.29
DRESSING ROOM	1	24	48	0	8.00	0.74
ENSUITE NO.2	1	24	48	0	8.00	0.74
BEDROOM NO.2	1	72	78	0	39.00	3.62
W.I.C.L.	1	30	74	0	15.42	1.43
BEDROOM NO.3	1	60	92	0	38.33	3.56
	1	24	74	0	12.33	1.15
	1	48	74	0	24.67	2.29
SHARED BATH	1	60	92	0	38.33	3.56
BEDROOM NO.4	1	60	74	0	30.83	2.86
	1	24	74	0	12.33	1.15
MASTER ENSUITE	1	24	74	0	12.33	1.15
	1	36	74	0	18.50	1.72
	1	72	74	0	37.00	3.44
TOTAL	38	-	-	-	648.54	60.25
WALL AREA	-	-	-	-	4376.63	406.60
RATIO	-	-	-	-	14.82	14.82

ELEVATION B(5 BEDROOM)
WITH WOOD DECK CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO--O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	4	30	16	0	13.33	1.24
	1	30	24	0	5.00	0.46
FOYER	1	62	8	0	3.44	0.32
	2	11	80	0	12.22	1.14
PWDR.	1	24	70	0	11.67	1.08
	1	48	70	0	23.33	2.17
HOME OFFICE	1	60	70	0	29.17	2.71
DINING / LIVING ROOM	1	64	8	0	3.56	0.33
	1	24	70	0	11.67	1.08
	2	23	55	0	17.57	1.63
FAMILY ROOM	3	24	70	0	35.00	3.25
	1	36	70	0	17.50	1.63
	1	72	70	0	35.00	3.25
BREAKFAST	1	76	96	0	50.67	4.71
	1	48	48	0	16.00	1.49
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	74	0	37.00	3.44
	1	48	74	0	24.67	2.29
BEDROOM NO.2	1	48	62	0	20.67	1.92
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	78	0	39.00	3.62
W.I.CL.	1	30	74	0	15.42	1.43
BEDROOM NO.4	1	60	92	0	38.33	3.56
	1	24	74	0	12.33	1.15
	1	48	74	0	24.67	2.29
	1	60	92	0	38.33	3.56
SHARED BATH	1	60	74	0	30.83	2.86
BEDROOM NO.5	1	24	74	0	12.33	1.15
MASTER ENSUITE	1	24	74	0	12.33	1.15
	1	36	74	0	18.50	1.72
	1	72	74	0	37.00	3.44
TOTAL	38	-	-	-	659.88	61.30
WALL AREA	-	-	-	-	4376.63	406.60
RATIO	-	-	-	-	15.08	15.08



MODEL 40-4 NATASHA

[illegible]

ELEVATION B(4 BEDROOM)
WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO—O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	62	8	0	3.44	0.32
	2	11	80	0	12.22	1.14
PWDR.	1	24	70	0	11.67	1.08
	1	48	70	0	23.33	2.17
HOME OFFICE	1	60	70	0	29.17	2.71
DINING / LIVING ROOM	1	64	8	0	3.56	0.33
	1	24	70	0	11.67	1.08
	2	23	55	0	17.57	1.63
FAMILY ROOM	3	24	70	0	35.00	3.25
	1	36	70	0	17.50	1.63
	1	72	70	0	35.00	3.25
BREAKFAST	1	76	96	0	50.67	4.71
	1	48	48	0	16.00	1.49
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	74	0	37.00	3.44
	1	48	74	0	24.67	2.29
DRESSING ROOM	1	24	48	0	8.00	0.74
ENSUITE NO.2	1	24	48	0	8.00	0.74
BEDROOM NO.2	1	72	78	0	39.00	3.62
W.I.C.L.	1	30	74	0	15.42	1.43
BEDROOM NO.3	1	60	92	0	38.33	3.56
	1	24	74	0	12.33	1.15
	1	48	74	0	24.67	2.29
	1	60	92	0	38.33	3.56
SHARED BATH	1	60	92	0	38.33	3.56
BEDROOM NO.4	1	60	74	0	30.83	2.86
	1	24	74	0	12.33	1.15
MASTER ENSUITE	1	24	74	0	12.33	1.15
	1	36	74	0	18.50	1.72
	1	72	74	0	37.00	3.44
	1	36	74	0	18.50	1.72
TOTAL	39	-	-	-	651.32	60.51
WALL AREA	-	-	-	-	4346.39	403.79
RATIO	-	-	-	-	14.99	14.99

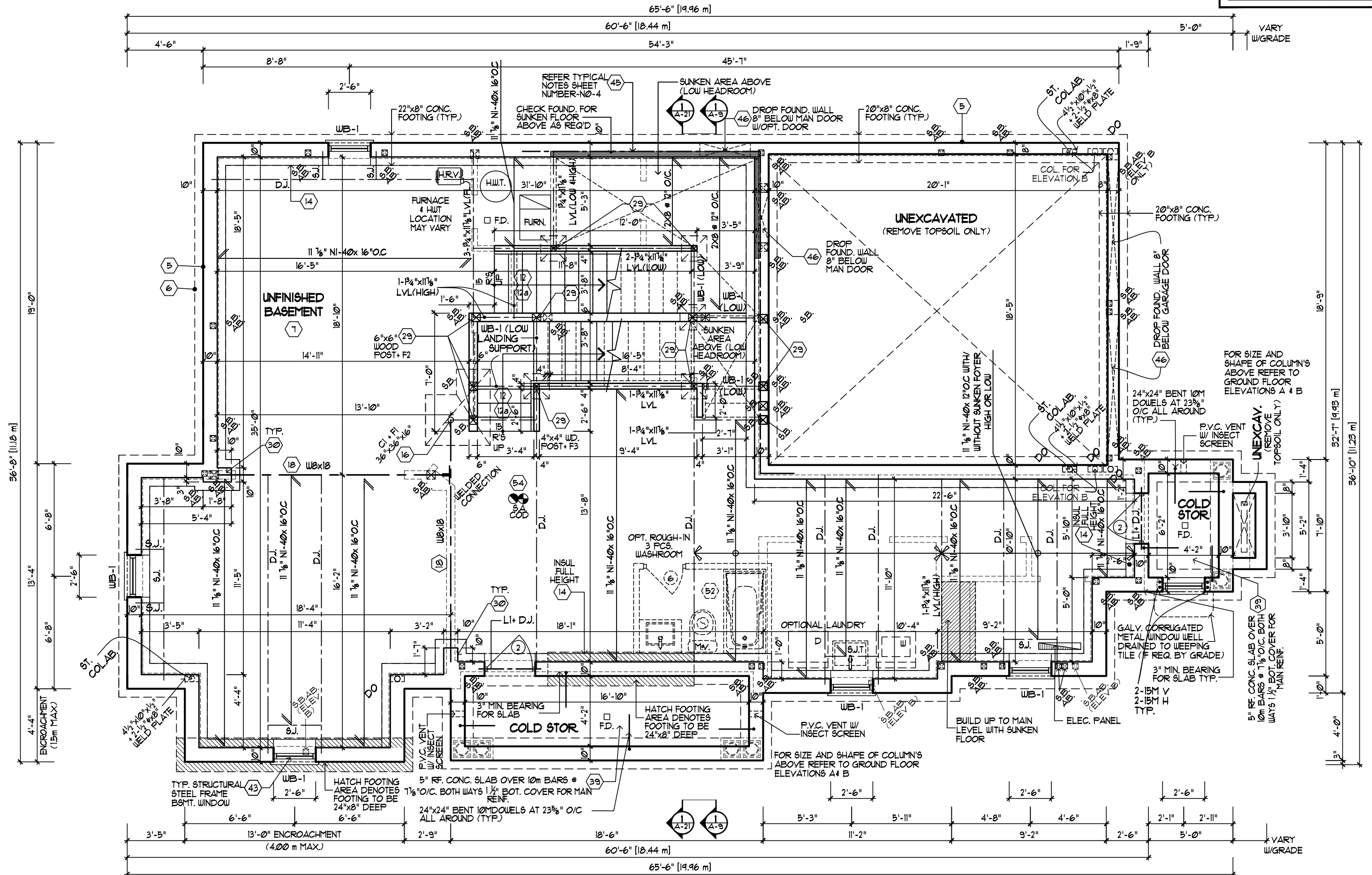
ELEVATION B(5 BEDROOM)
WITH WALK-UP BASEMENT CONDITION

DOOR & WINDOWS GLASS AREA TO PERIPHERAL INSULATED WALLS RATIO-O.B.C. SB-12 ART. 3.1.1.2(1) ELEVATION A						
ROOM	QUANTITY	WIDTH(IN.)	HEIGHT(IN.)	ARCH AREA	WINDOW / DOOR R.S.O. (SQ.FT.)	WINDOW / DOOR R.S.O. (SQ.M.)
BASEMENT	5	30	16	0	16.67	1.55
	1	20	32	0	4.44	0.41
FOYER	1	62	8	0	3.44	0.32
	2	11	80	0	12.22	1.14
PWDR.	1	24	70	0	11.67	1.08
	1	48	70	0	23.33	2.17
HOME OFFICE	1	60	70	0	29.17	2.71
DINING / LIVING ROOM	1	64	8	0	3.56	0.33
	1	24	70	0	11.67	1.08
	2	23	55	0	17.57	1.63
FAMILY ROOM	3	24	70	0	35.00	3.25
	1	36	70	0	17.50	1.63
	1	72	70	0	35.00	3.25
BREAKFAST	1	76	96	0	50.67	4.71
	1	48	48	0	16.00	1.49
MUDROOM (SUNKEN)	1	24	40	0	6.67	0.62
MASTER BEDROOM	1	72	74	0	37.00	3.44
	1	48	74	0	24.67	2.29
BEDROOM NO.2	1	48	62	0	20.67	1.92
SHARED BATH	1	24	40	0	6.67	0.62
BEDROOM NO.3	1	72	78	0	39.00	3.62
W.I.CL.	1	30	74	0	15.42	1.43
BEDROOM NO.4	1	60	92	0	38.33	3.56
	1	24	74	0	12.33	1.15
	1	48	74	0	24.67	2.29
	1	60	92	0	38.33	3.56
	1	60	92	0	38.33	3.56
SHARED BATH	1	60	74	0	30.83	2.86
BEDROOM NO.5	1	24	74	0	12.33	1.15
MASTER ENSUITE	1	24	74	0	12.33	1.15
	1	36	74	0	18.50	1.72
	1	72	74	0	37.00	3.44
TOTAL	39	-	-	-	662.65	61.56
WALL AREA	-	-	-	-	4346.39	403.79
RATIO	-	-	-	-	15.25	15.25

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MODEL 40-4 NATASHA

[illegible]



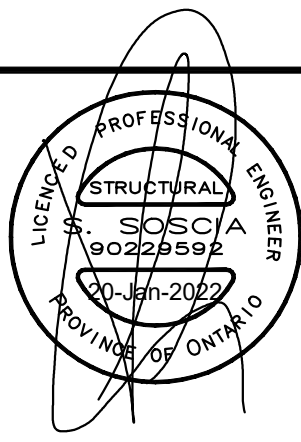
BASEMENT FLOOR PLAN
ELEVATION A & B

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JANUARY 21, 2022
FINAL
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FOR SIZE AND SHAPE OF COLUMNS & PIERS ABOVE REFER TO GROUND FLOOR ELEVATIONS A & B

MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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SURIANO DESIGN CONSULTANTS INC.
51 Raysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: BASEMENT FLOOR PLAN FOR ELEVATION A & B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3239 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-1
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

ROYAL PINE
HOMES

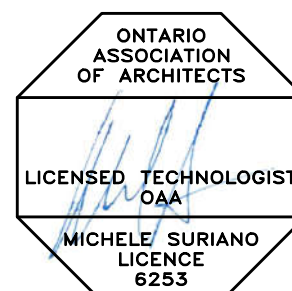
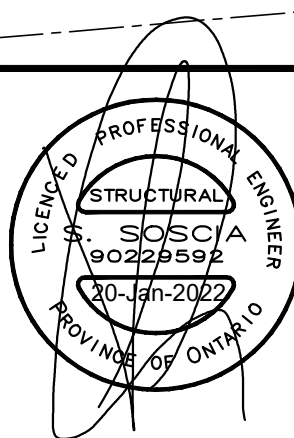
PROJECT NAME:
MODEL NAME:
MODEL 40-4 NATASHA



GROUND FLOOR PLAN
ELEVATION A

MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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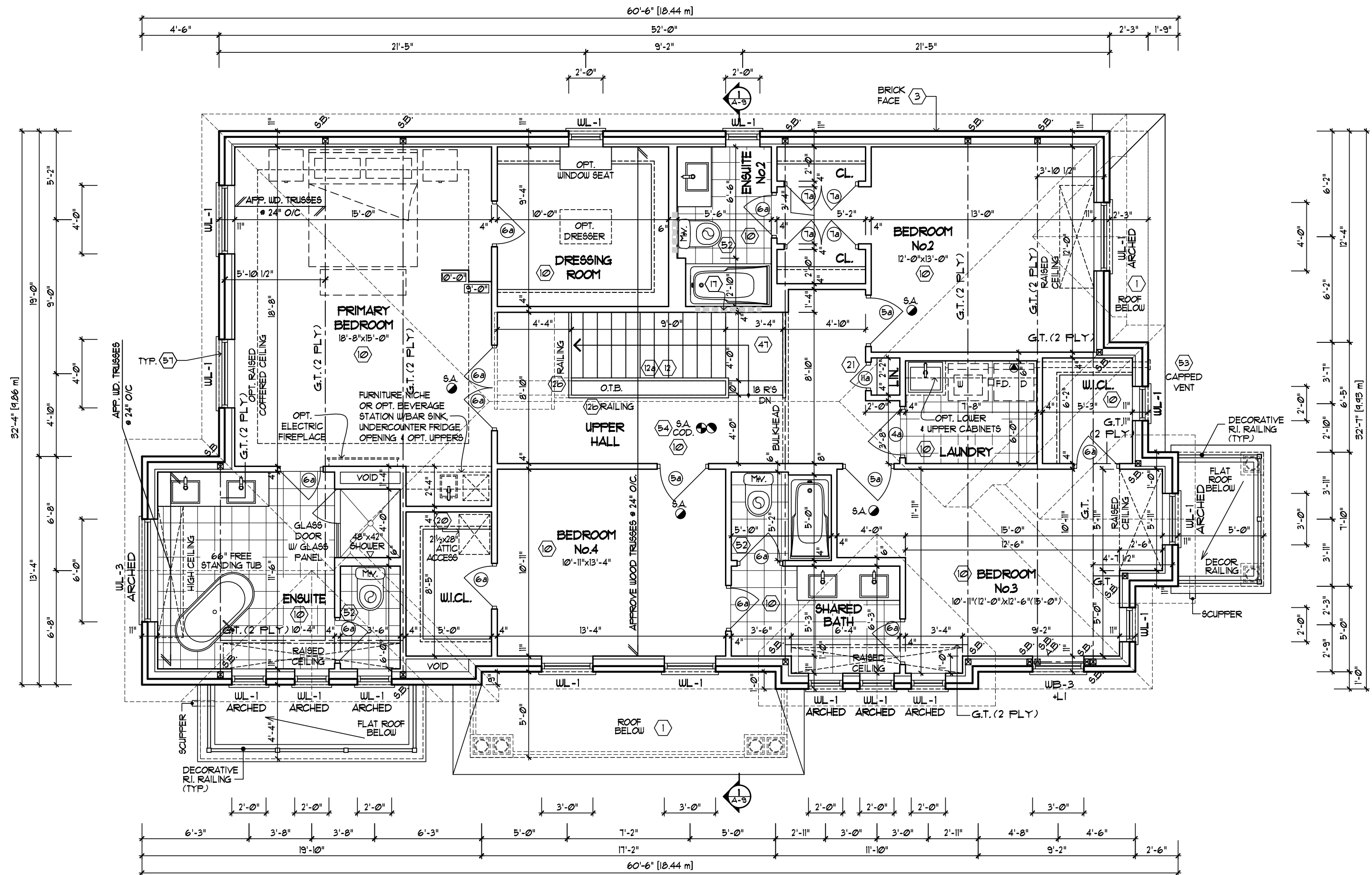
SHEET NAME:		
GROUND FLOOR PLAN FOR ELEVATION A		
DATE PLOTTED:	DRAWN BY:	AREA:
DEC. 08/21	M.H.	3239 sq.ft
DATE:	TYPE:	PAGE No: A-2
OCT. 23/20		
SCALE:	PROJECT No:	
3/16" = 1'-0"	20-104	

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:

MODEL 40-4 NATASHA

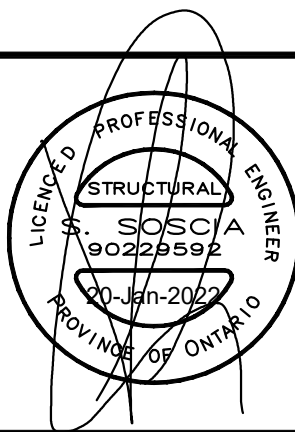


SECOND FLOOR PLAN
ELEVATION A (4 BEDROOM)

MODEL 40-4 NATASHA

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JANUARY 21, 2022
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5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No.	DATE:	REVISION/ISSUED:	BY:



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SHEET NAME: SECOND FLOOR PLAN FOR ELEVATION A (4 BEDROOM)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3239 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No:
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

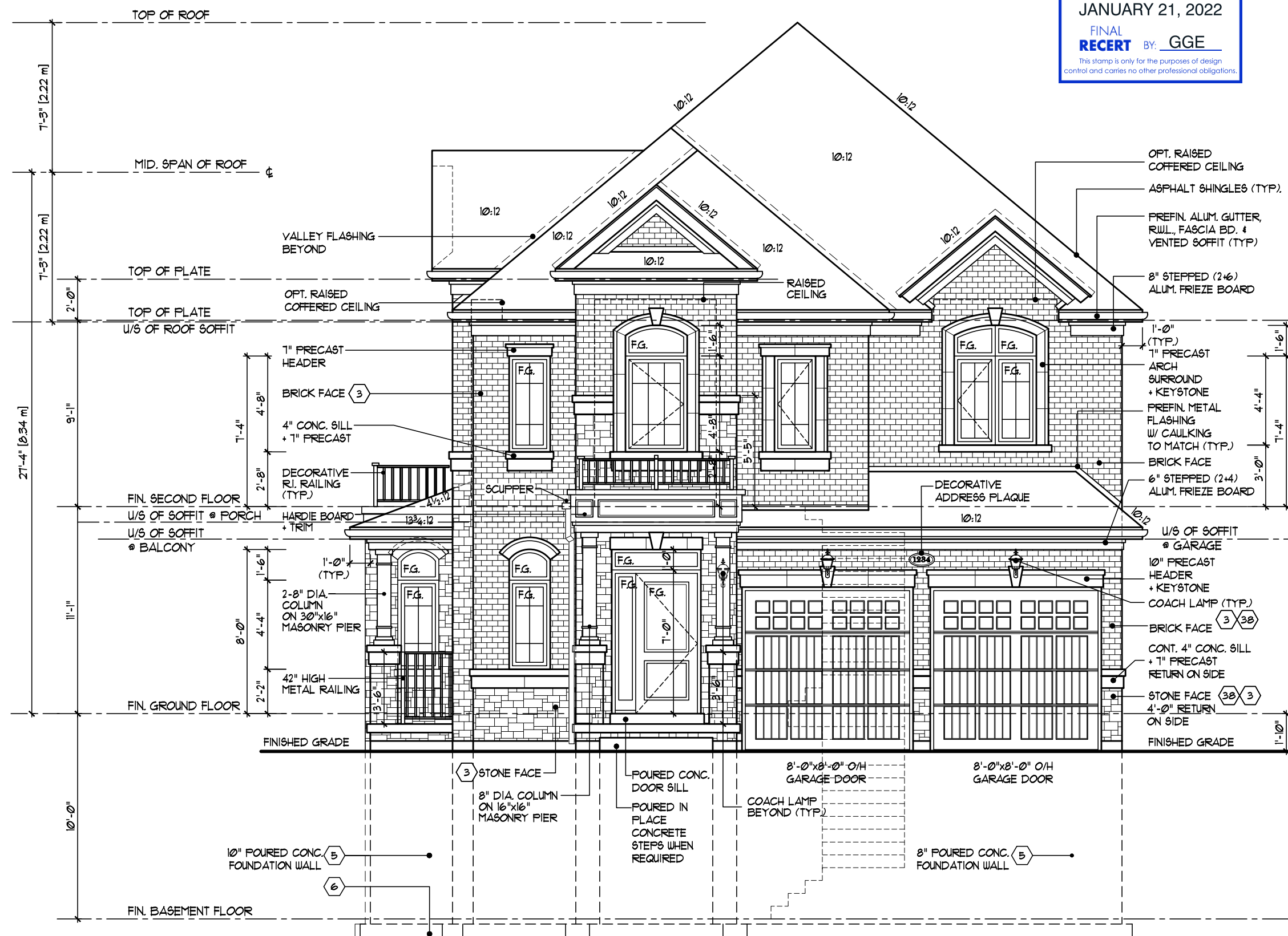
ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-4 NATASHA

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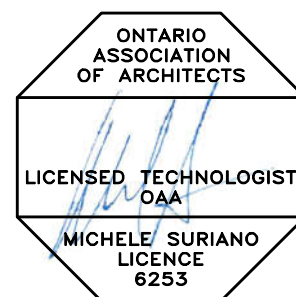
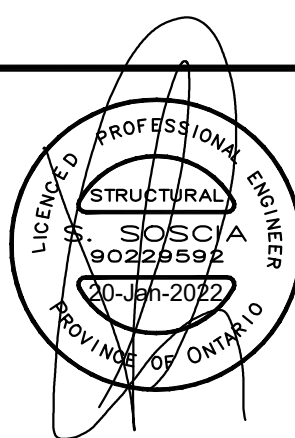
<u>AREA CALCULATION ELEVATION A</u>		
FINISHED BSMT. AREA	0	SQ. FT.
GROUND FLOOR AREA	1467	SQ. FT.
SECOND FLOOR AREA	1779	SQ. FT.
SUBTOTAL	3246	SQ. FT.
	30156	M2
DEDUCT ALL OPEN AREAS	7	SQ. FT.
TOTAL NET AREA	3239	SQ. FT.
	300.91	M2
COVERAGE W/O PORCH	1863	SQ. FT.
	173.08	M2
COVERAGE W/PORCH	1902	SQ. FT.
	176.70	M2
COVERED BALCONY	91	SQ. FT.
	8.45	M2



FRONT ELEVATION A

MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T 905-264-0924

SHEET NAME: FRONT ELEVATION A		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3239 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A - 4
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-104	

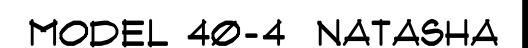
ROYAL PINE HOMES

PROJECT NAME:

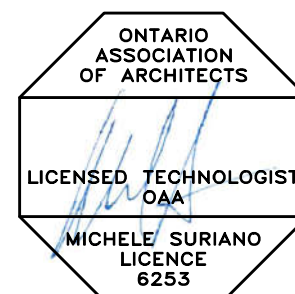
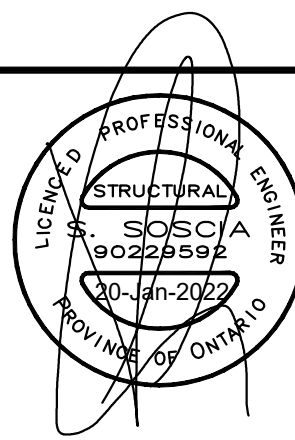
MODEL NAME:

MODEL 40-4 NATASHA

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5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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T. 905-264-0924

SHEET NAME: FLANKAGE SIDE ELEVATION A FOR 4 AND 5 BEDROOM		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3239 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-5
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-104	

PROJECT NAME:

MODEL NAME:

MODEL 40-4 NATASHA

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

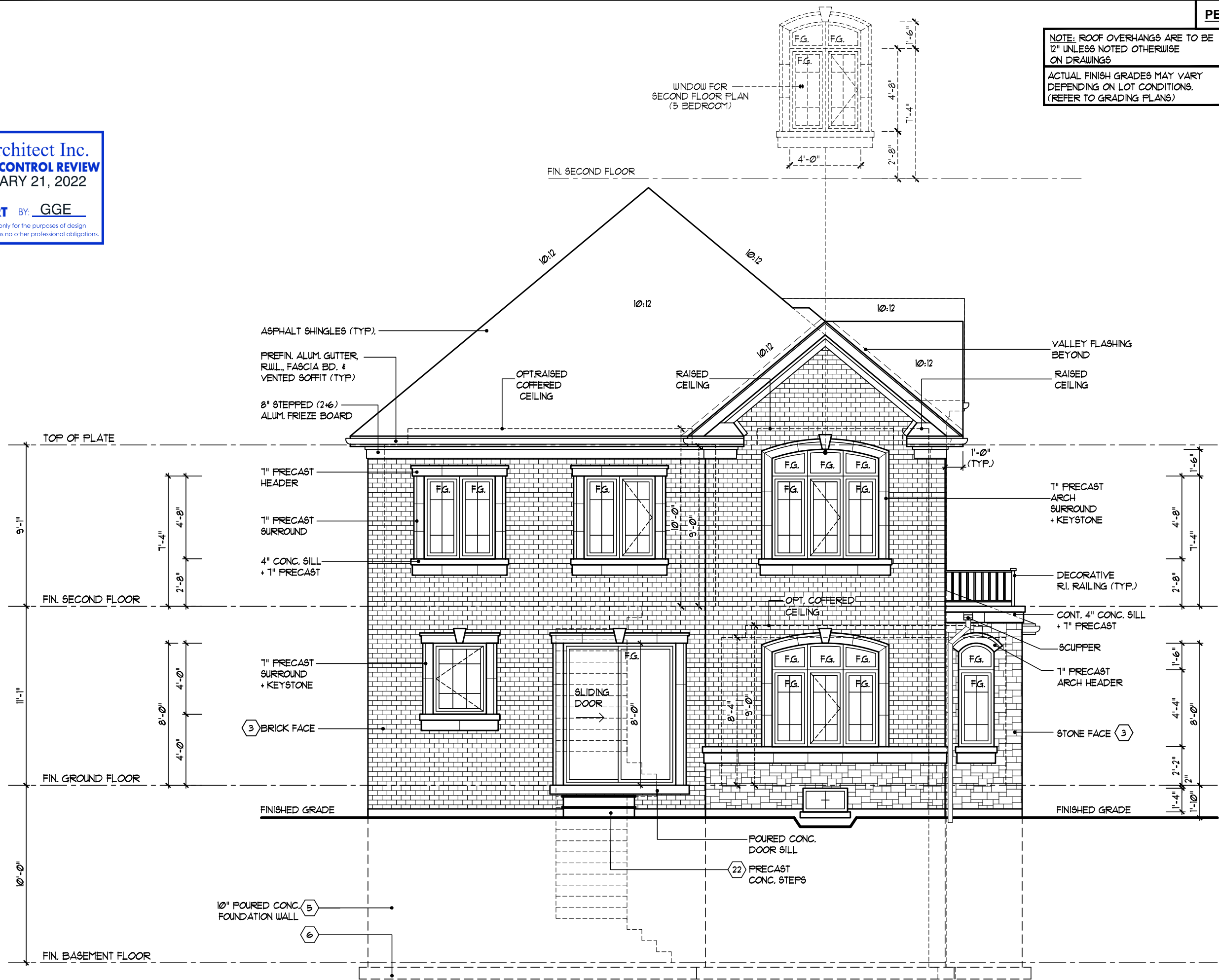
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

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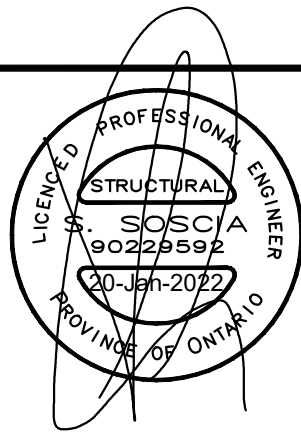
This stamp is only for the purposes of design control and carries no other professional obligations.



REAR ELEVATION A
FOR 4 AND 5
BEDROOM

MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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SHEET NAME: REAR ELEVATION A FOR 4 & 5 BEDROOM		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3239 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-7
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

ROYAL PINE
HOMES

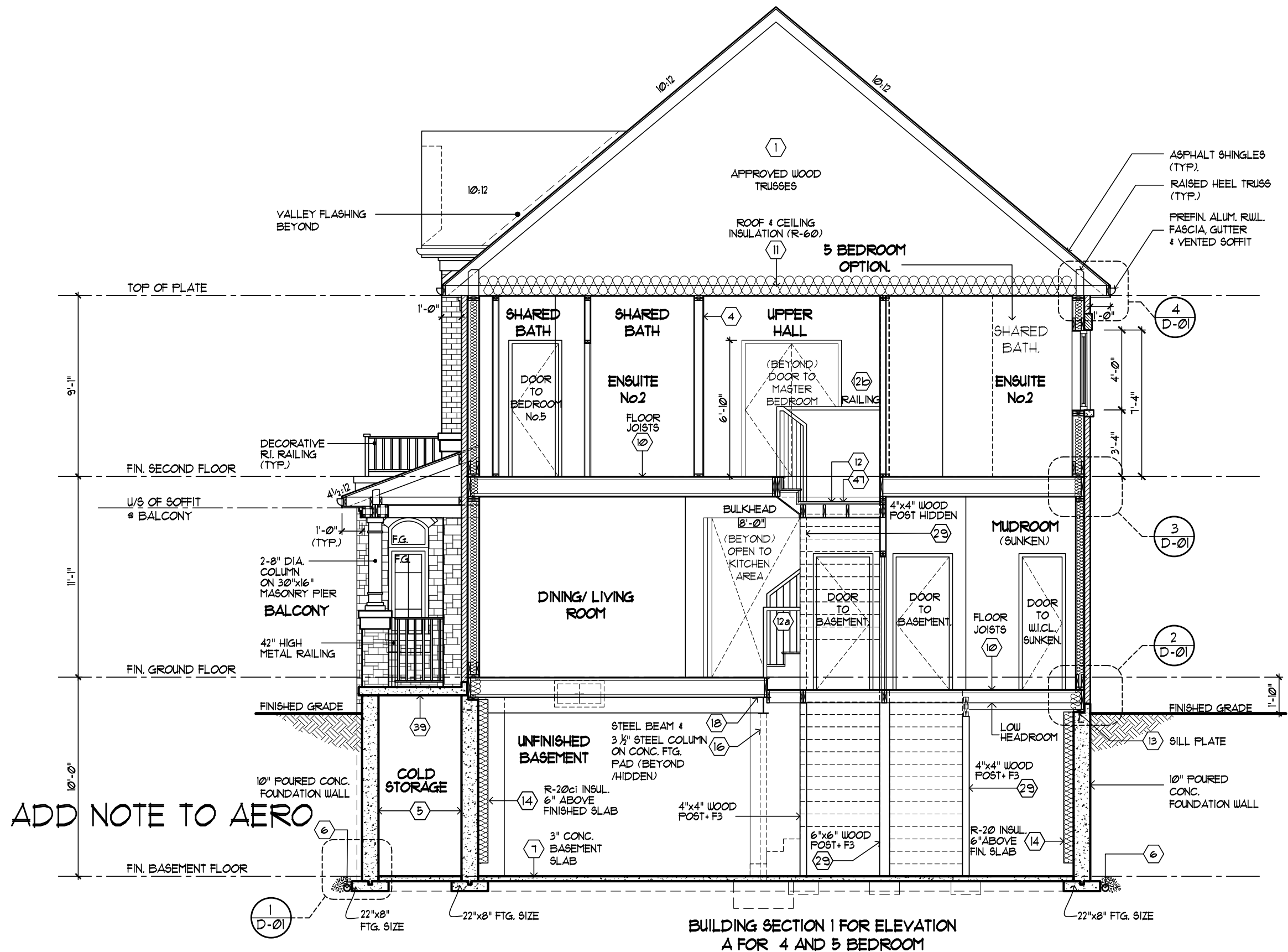
PROJECT NAME:
MODEL NAME:
MODEL 40-4 NATASHA

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

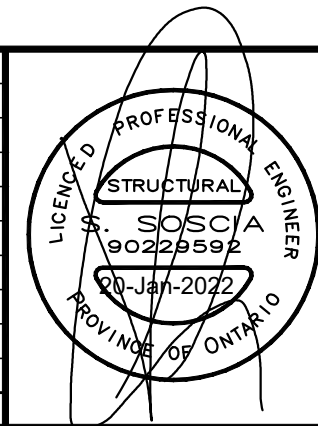
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS



MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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T. 905-264-0924

SHEET NAME: BUILDING SECTION I FOR ELEVATION A FOR 4 AND 5 BEDROOM		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3239 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-8
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

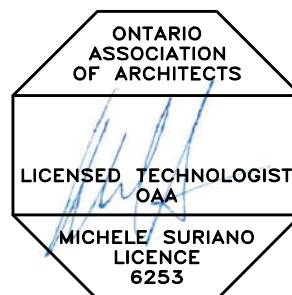
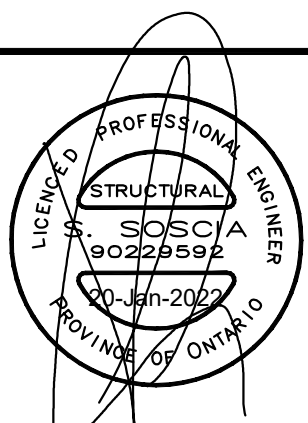
ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:
MODEL 40-4 NATASHA



5.	DEC. 05/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME:		
PARTIAL FLOOR PLANS W/ WALK-UP BASEMENT CONDITION FOR ELEV. A & B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA:
DATE: OCT. 23/20	TYPE:	PAGE No:
SCALE: 3/16" = 1' - 0"	PROJECT No: 20-104	A-9

MODEL 40-4 NATASHA

ROYAL PINE HOMES

PROJECT NAME:

MODEL NAME:

MODEL 40-4 NATASHA

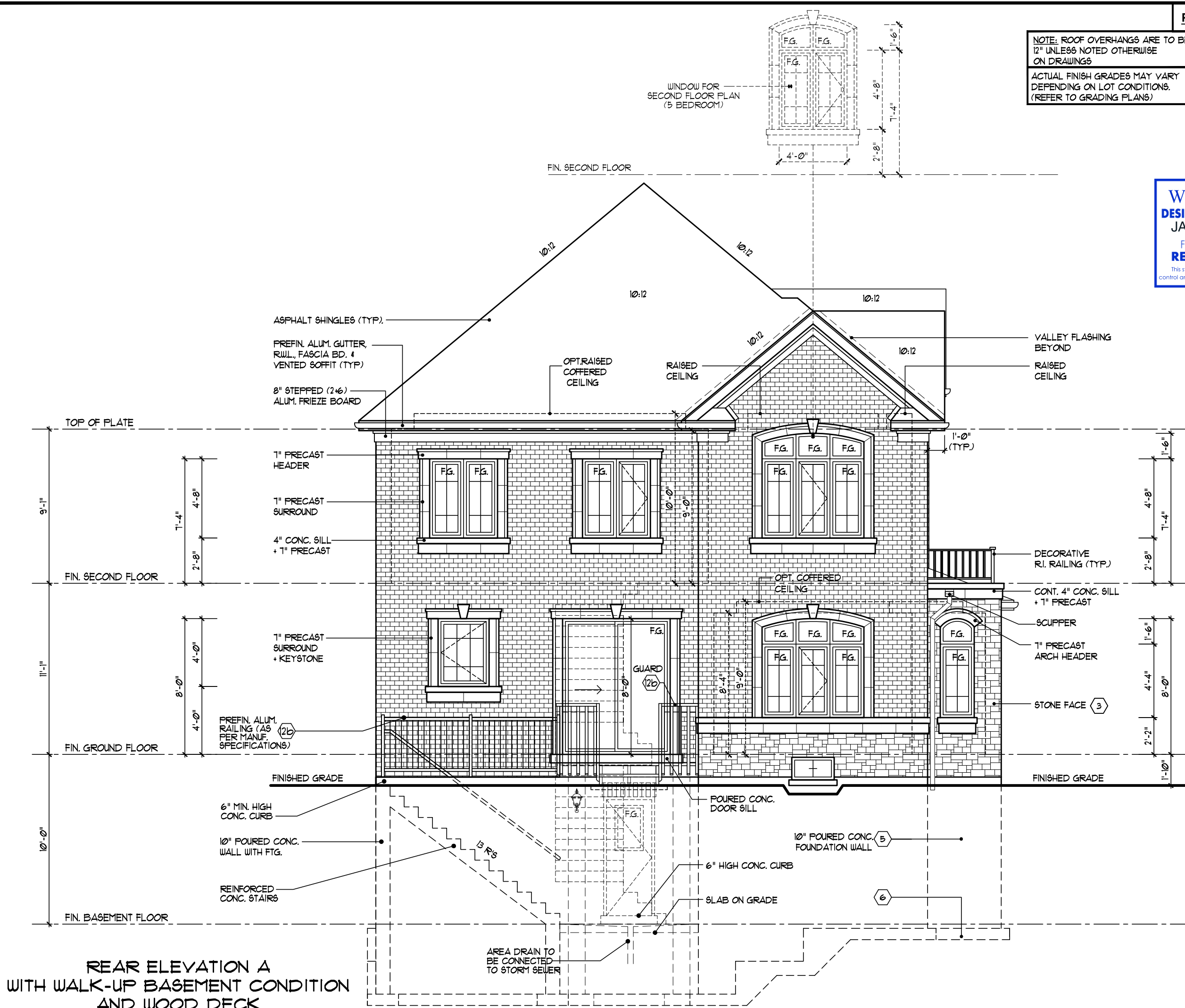
NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

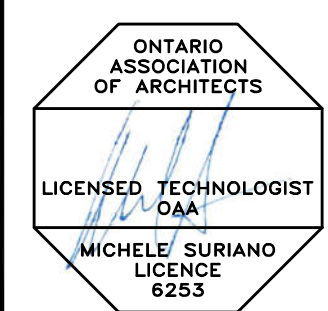
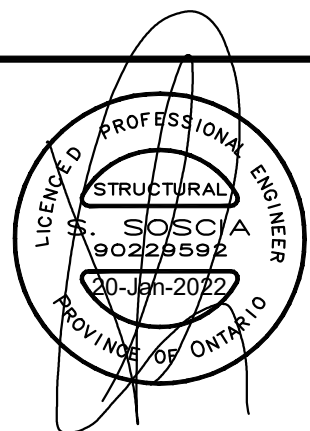
REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

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JANUARY 21, 2022
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MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	716
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	716
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	716
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	716
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	716
No:	DATE:	REVISION/ISSUED:	BY:



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T. 905-264-0924

SHEET NAME: REAR ELEVATION A WITH WALK-UP CONDITION AND WITH WOOD DECK		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3239 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-10
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

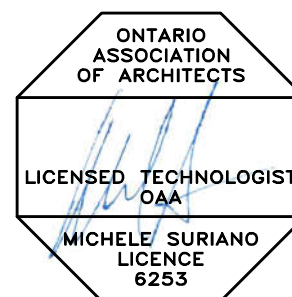
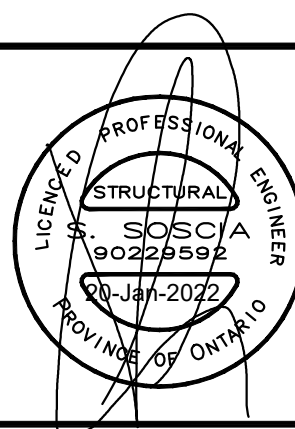
ROYAL PINE
HOMES

PROJECT NAME:	
MODEL NAME:	MODEL 40-4 NATASHA

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5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



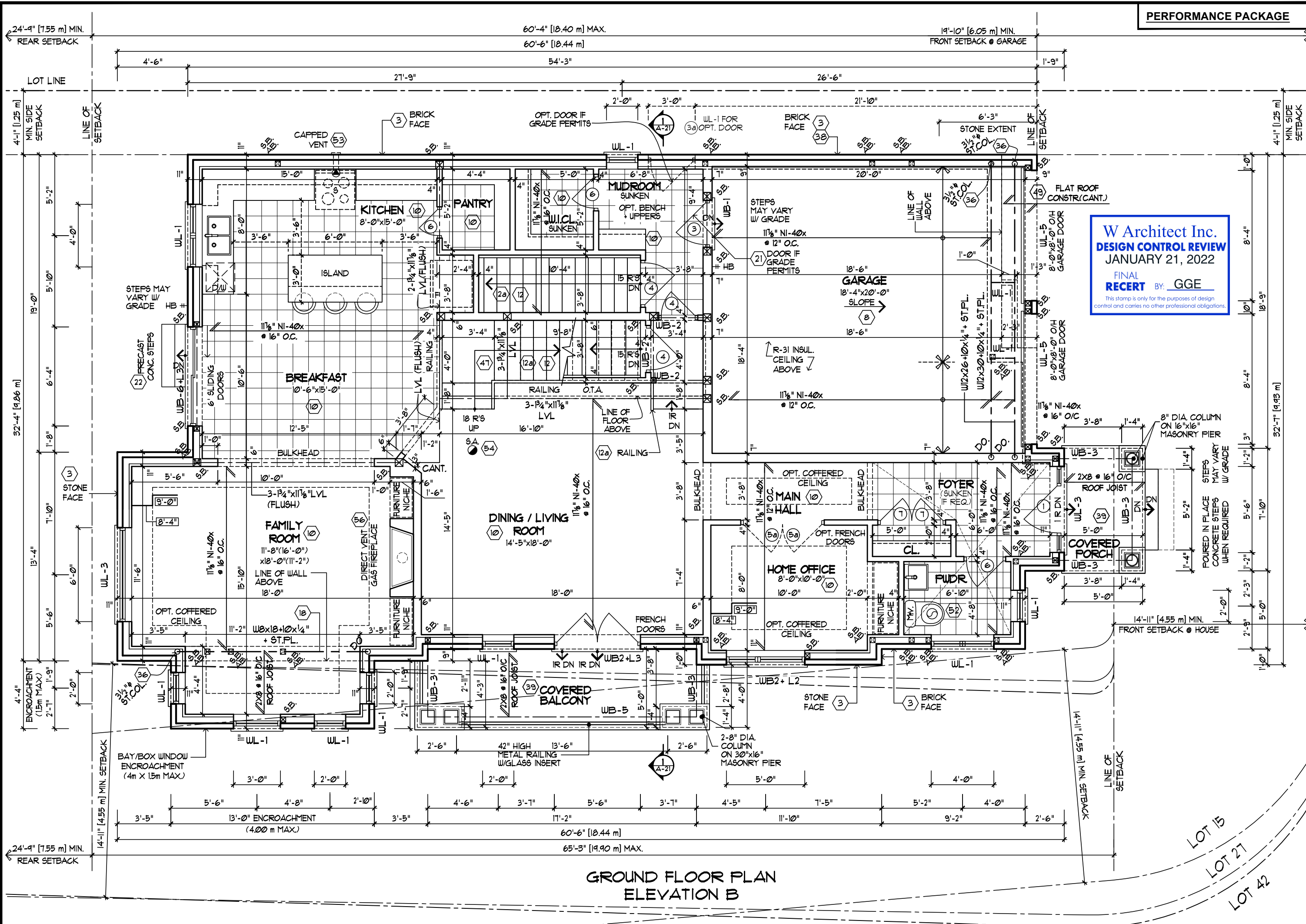
SURIANO DESIGN CONSULTANTS INC.
51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME:		
<h1>REAR ELEVATION A</h1> <h2>W/ WOOD DECK CONDITION</h2>		
DATE PLOTTED:	DRAWN BY:	AREA:
DEC. 08/21	M.H.	3239 sq.ft.
DATE:	TYPE:	PAGE No:
OCT. 23/20		A-12
SCALE:	PROJECT No:	
3/16" = 1' - 0"	20-104	

PROJECT NAME:

MODEL NAME:

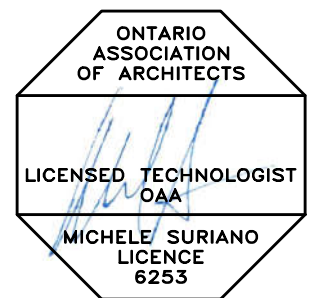
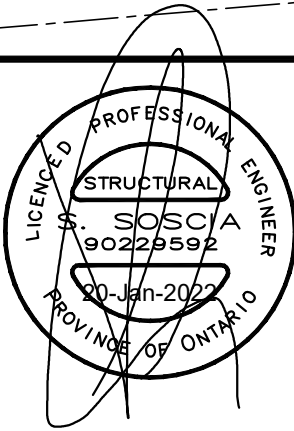
MODEL 40-4 NATASHA



GROUND FLOOR PLAN
ELEVATION B

MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	716
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	716
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	716
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	716
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	716
NO.	DATE:	REVISION/ISSUED:	BY:

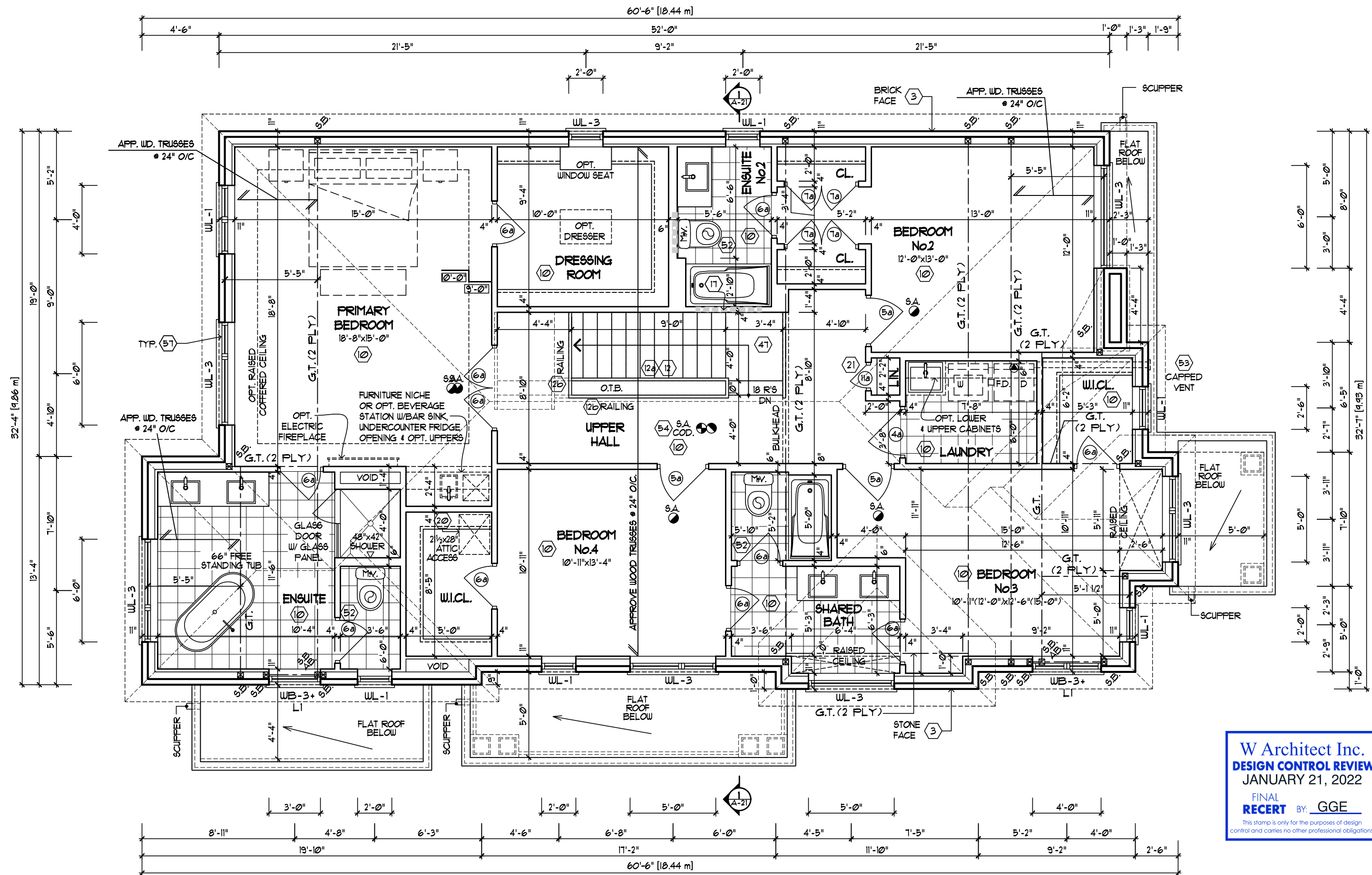


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51 Roysun Road, Unit 1
Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: GROUND FLOOR PLAN FOR ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3243 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-13
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-4 NATASHA	

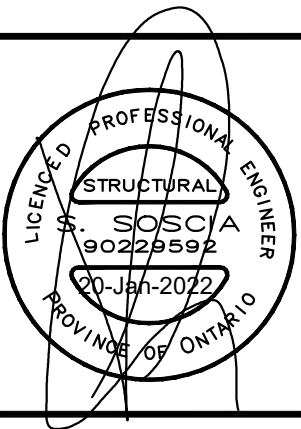


SECOND FLOOR PLAN
ELEVATION B
(4 BEDROOM)

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FINAL
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MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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SURIANO DESIGN CONSULTANTS INC.
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Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: SECOND FLOOR PLAN FOR ELEVATION B (4 BEDROOM)		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3243 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-14
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-4 NATASHA

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

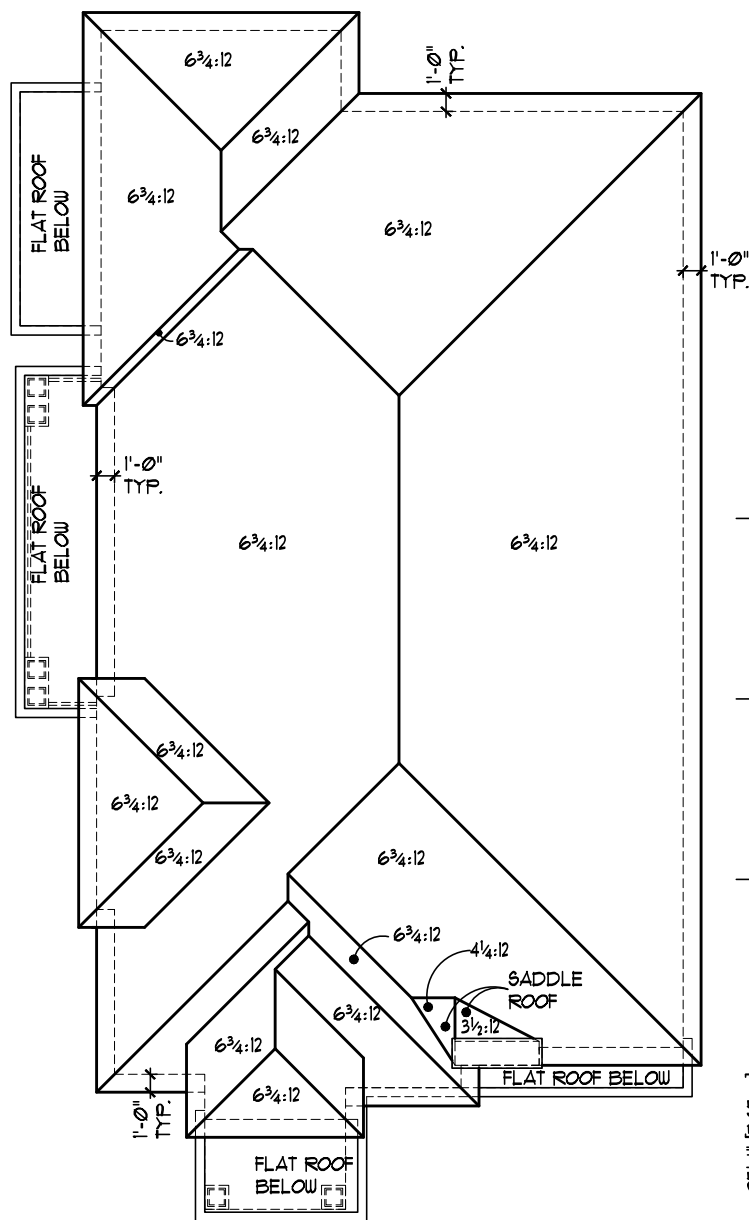
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

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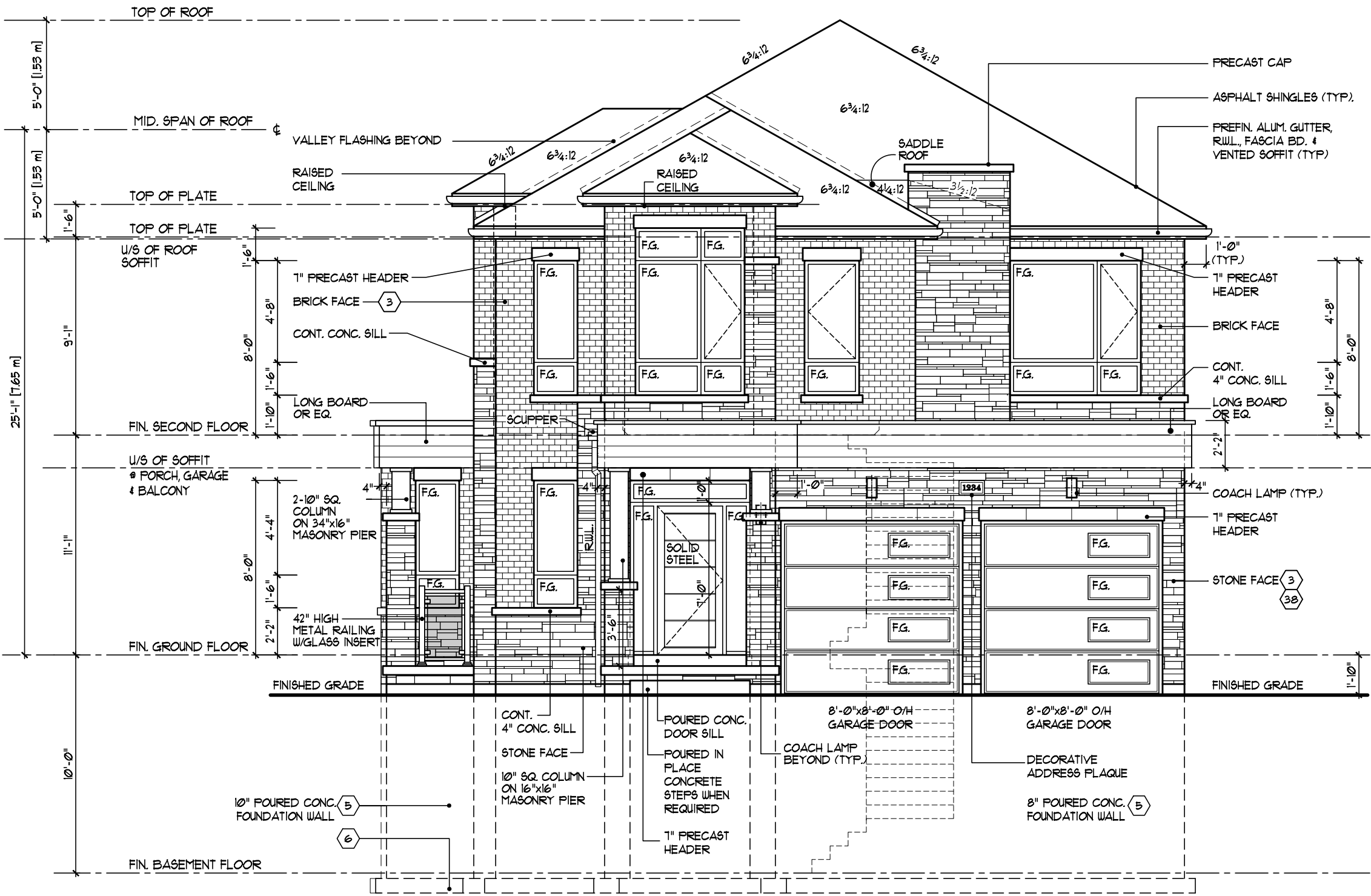
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ROOF PLAN
FOR ELEVATION B
N.T.S.

AREA CALCULATION ELEVATION B

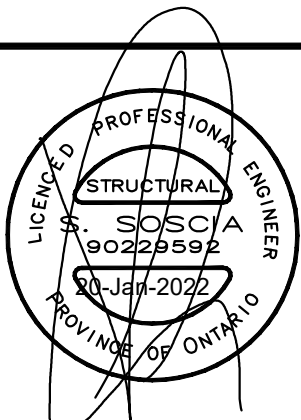
FINISHED BSMT. AREA	0	SQ. FT.
GROUND FLOOR AREA	1467	SQ. FT.
SECOND FLOOR AREA	1783	SQ. FT.
SUBTOTAL	3250	SQ. FT.
	301.93	M2
DEDUCT ALL OPEN AREAS	7	SQ. FT.
TOTAL NET AREA	3243	SQ. FT.
	301.28	M2
COVERAGE W/O PORCH	1863	SQ. FT.
	173.08	M2
COVERAGE W/PORCH	1902	SQ. FT.
	176.70	M2
COVERED BALCONY	91	SQ. FT.
	8.45	M2



FRONT ELEVATION B

MODEL 40-4 NATASHA

No.	DATE:	REVISION/ISSUED:	BY:
5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	MS
1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS



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T. 905-264-0924

SHEET NAME: FRONT ELEVATION B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3243 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-15
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

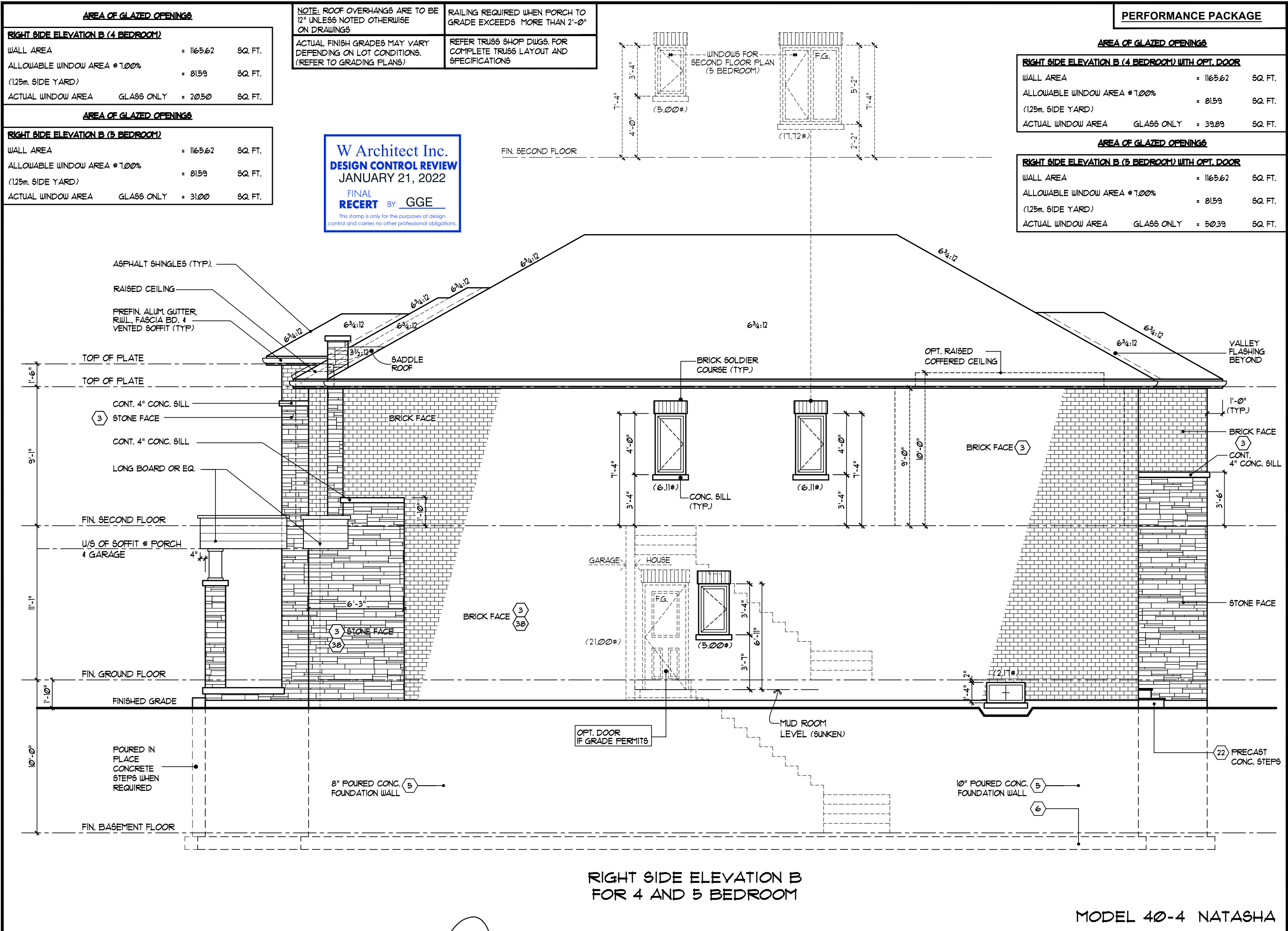
ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-4 NATASHA

[illegible]

MODEL 40-4 NATASHA

[illegible]



PERFORMANCE PACKAGE

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

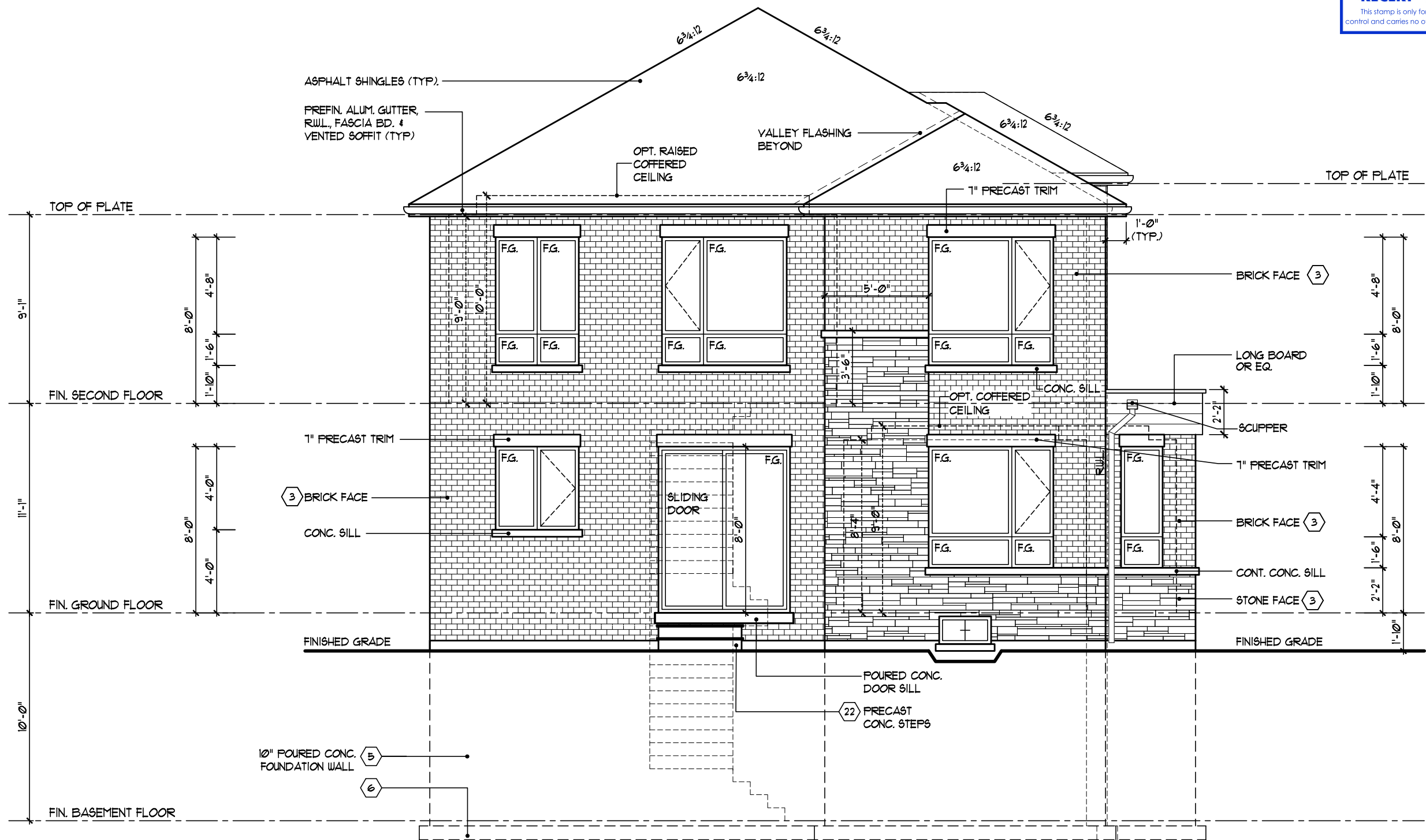
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

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JANUARY 21, 2022

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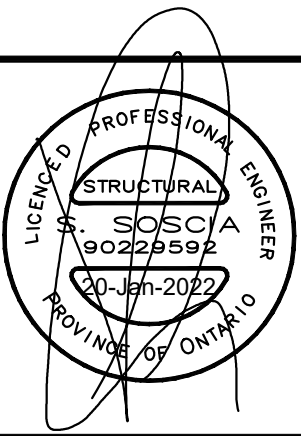
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REAR ELEVATION B
FOR 4 AND 5 BEDROOM

MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS		
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS		
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS		
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No:	DATE:	REVISION/ISSUED:	BY:		



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SHEET NAME:
REAR ELEVATION B FOR 4 AND 5 BEDROOM

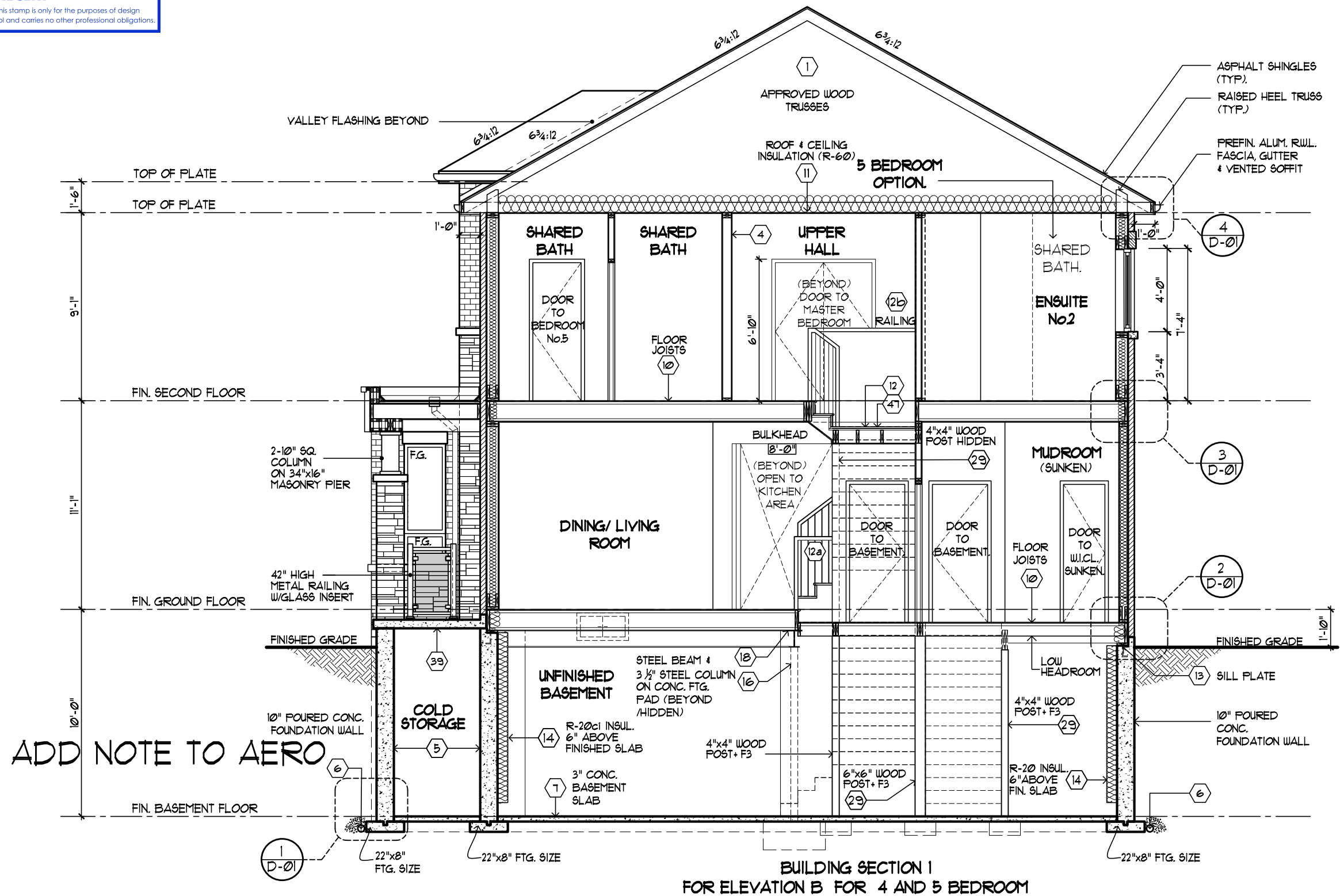
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DATE: OCT. 23/20	TYPE:	PAGE No: A-18
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-4 NATASHA

NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS	RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)	REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

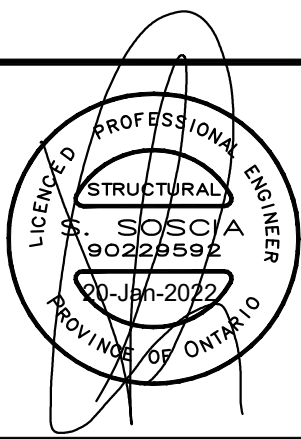
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BUILDING SECTION 1
FOR ELEVATION B FOR 4 AND 5 BEDROOM

MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	MS
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	MS
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1.	JAN. 29/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	MS
No:	DATE:	REVISION/ISSUED:	BY:



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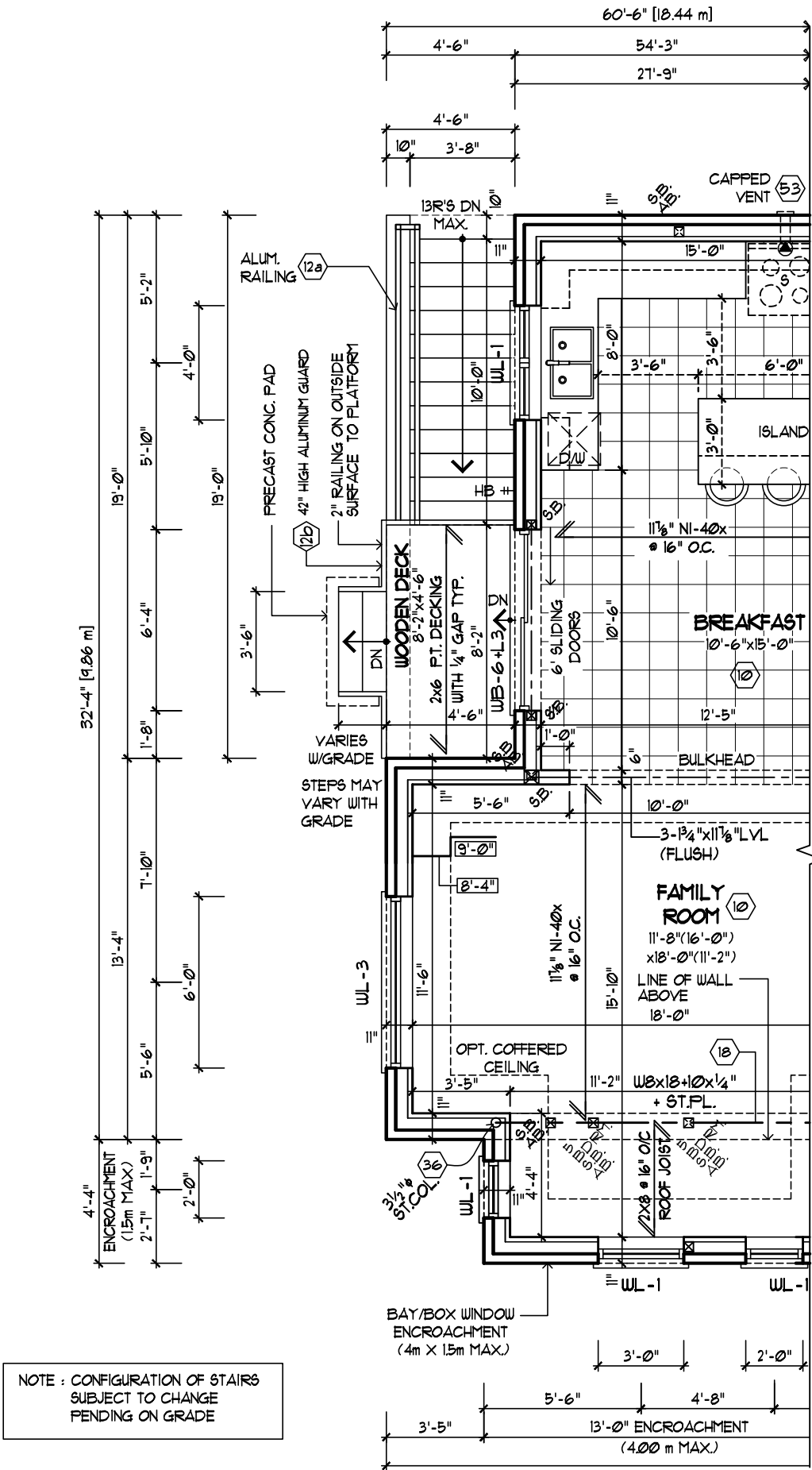
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Vaughan, Ontario L4L 8P9
T. 905-264-0924

SHEET NAME: BUILDING SECTION 1 FOR ELEVATION B FOR 4 AND 5 BEDROOM		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3243 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-19
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

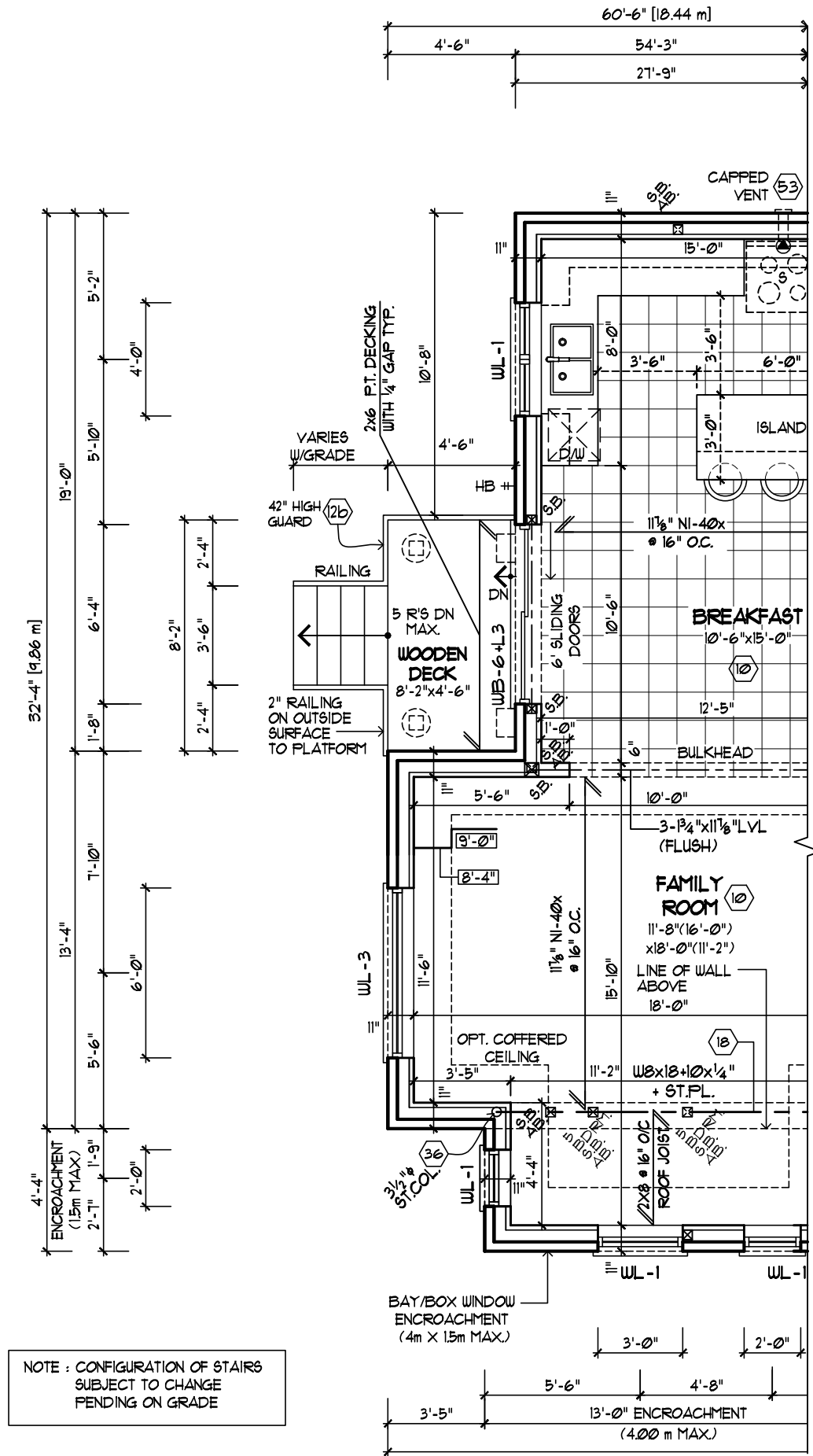
ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-4 NATASHA

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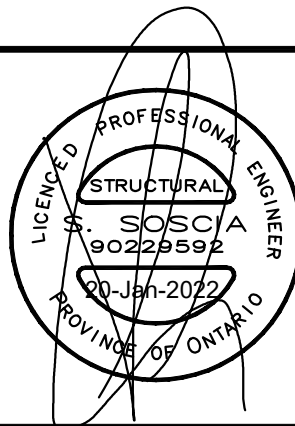
PARTIAL GROUND FLOOR PLAN
WITH WALK-UP BASEMENT CONDITION
FOR ELEVATION B



PARTIAL GROUND FLOOR PLAN
WITH WOOD DECK CONDITION
FOR ELEVATION B

MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	716
4.	NOV. 05/21	ISSUED FOR BUILDING PERMIT	716
3.	OCT. 05/21	ISSUED TO STRUCT. ENG. /HVAC FOR REVIEW AND COMMENTS	716
2.	APRIL 05/21	ISSUED TO CLIENT FOR PRICING /BROCHURE	716
1.	JAN. 23/21	ISSUED TO CLIENT FOR LAST REVIEW / MARKETING	716
No:	DATE:	REVISION/ISSUED:	BY:



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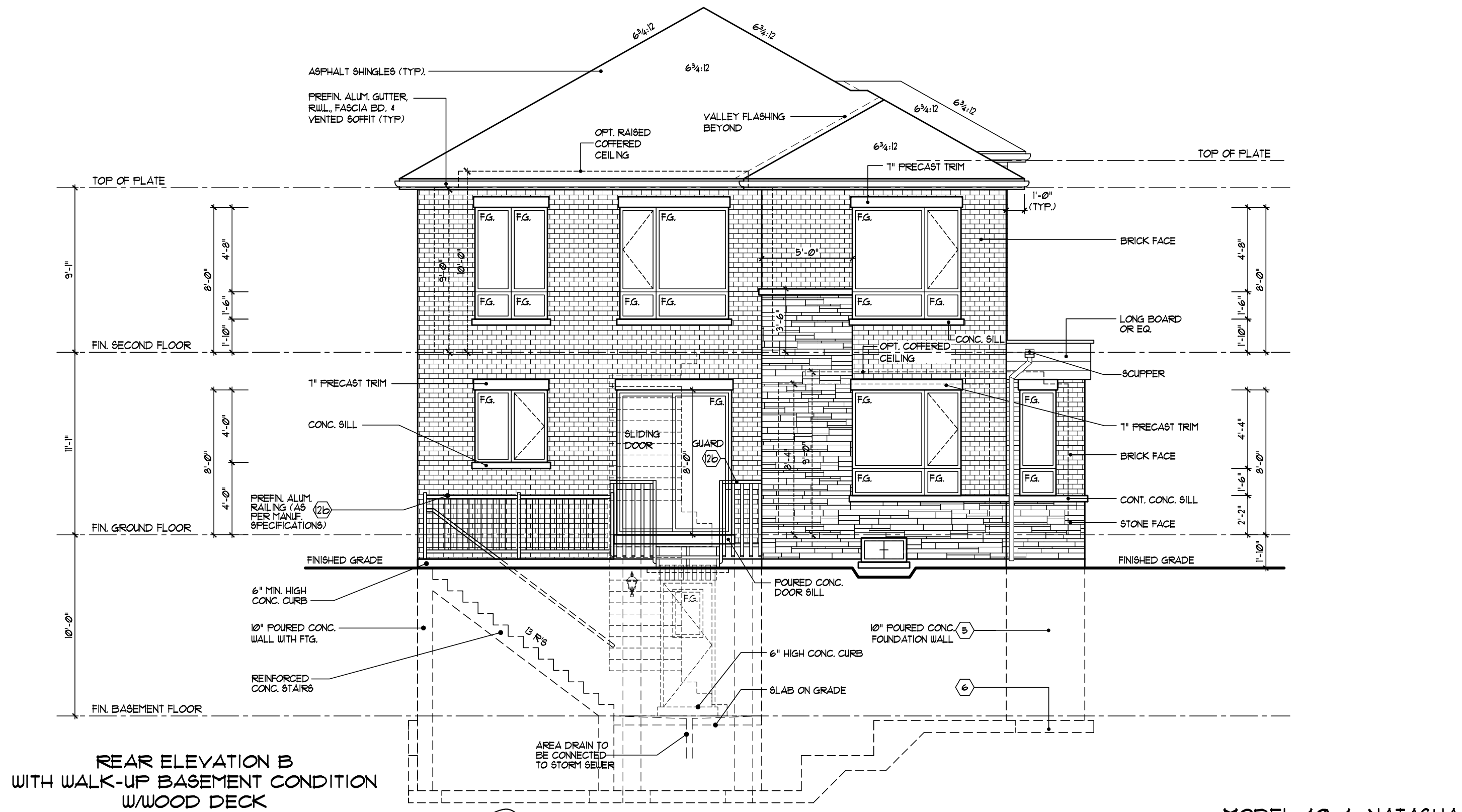
SHEET NAME: PARTIAL FLOOR PLANS W/ WALK-UP BASEMENT CONDITION FOR ELEV. B		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3243 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-20
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-4 NATASHA

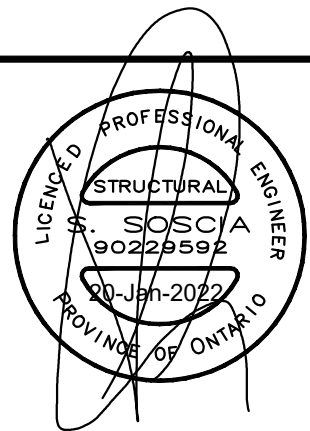
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PERFORMANCE PACKAGE	
NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS	RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)	REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS



MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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SHEET NAME: REAR ELEVATION B W/WALK -UP AND WOOD DECK CONDITION		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3243 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-21
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

ROYAL PINE HOMES	
PROJECT NAME:	
MODEL NAME: MODEL 40-4 NATASHA	

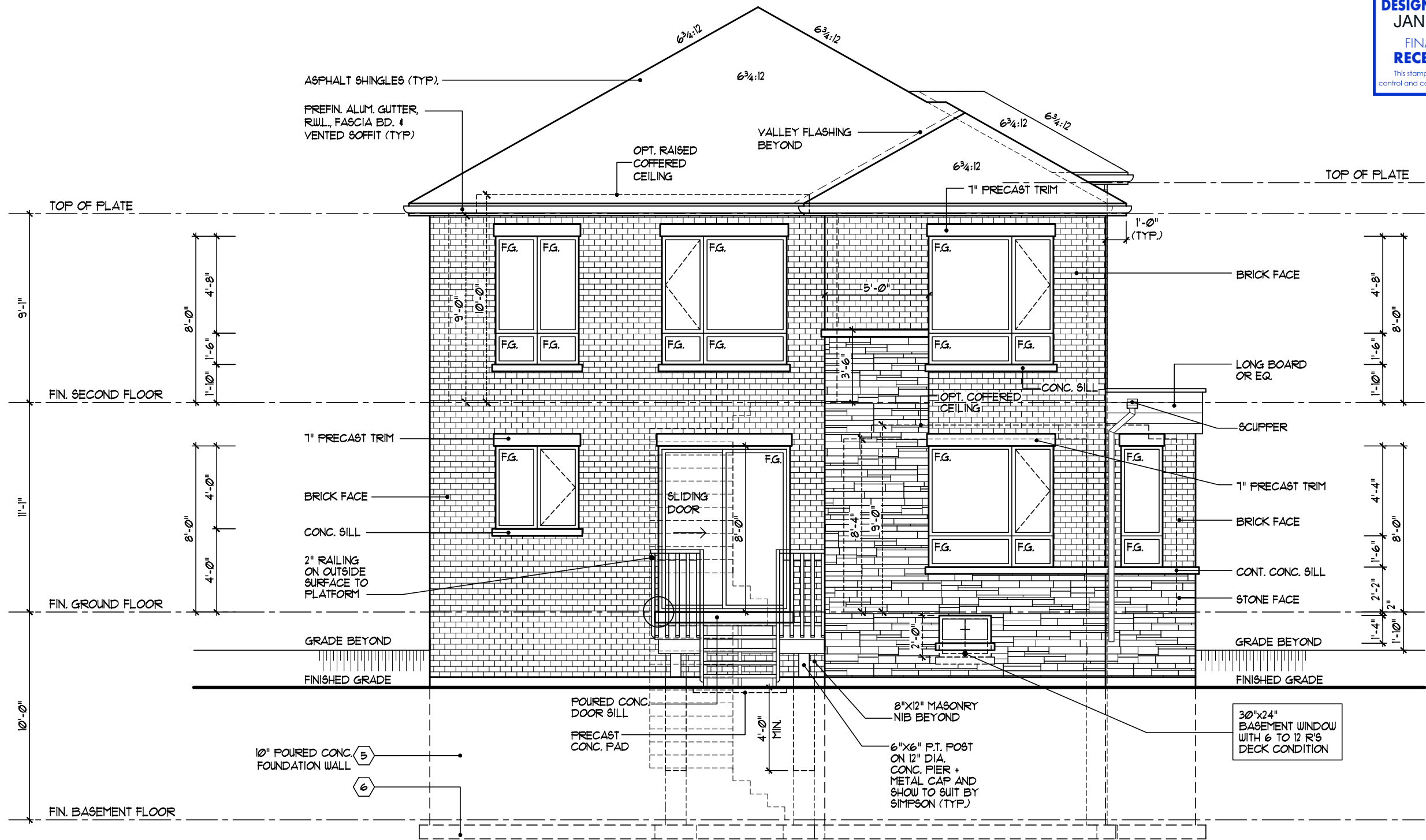
NOTE: ROOF OVERHANGS ARE TO BE 12" UNLESS NOTED OTHERWISE ON DRAWINGS

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

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REAR ELEVATION B
WITH WOOD DECK CONDITION

MODEL 40-4 NATASHA

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SHEET NAME: REAR ELEVATION B W/ WOOD DECK CONDITION		
DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA: 3243 sq.ft.
DATE: OCT. 23/20	TYPE:	PAGE No: A-22
SCALE: 3/16" = 1'-0"	PROJECT No: 20-104	

ROYAL PINE
HOMES

PROJECT NAME:
MODEL NAME:
MODEL 40-4 NATASHA

TYPICAL BASEMENT FLOOR PLAN NOTES:

TYPICAL NOTES:

ALL CONCRETE FOOTING SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 150 Kpa (3000 PSF) AND BE FOUNDED A MIN. OF 4'-0" BELOW FINISHED GRADE.

CONCRETE STRENGTH FOR FOOTINGS SHALL BE A MIN. OF **25 MPa** OR **3750 PSI**, AS PER OBC TABLE 9.15.4.2.A.

CONCRETE STRENGTH FOR GARAGE SLAB, CONCRETE PORCHES AND STEPS SHALL BE A MIN. **32 MPa**, WITH 5 - 8% ENTRAINMENT, UNLESS NOTED OTHERWISE.

CONCRETE STRIP FOOTING SIZE FOR 10" P. CONC. WALLS SHALL BE MIN. OF **8"x22"** UNREINFORCED FOR UP TO 16'-0" JOIST SPAN.

THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION, 2 FLOORS AND ROOF OF LIGHT WOOD FRAME CONSTRUCTION, WITH SPAN OF SUPPORTED JOIST THAT DO NOT EXCEED 4.9m (16'-1") AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 2.4 Kpa (50 PSF).

REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.

3/4" SUB FLOOR TO BE GLUED & NAILED (TYP.)

REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT.

ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DRAWINGS.

ALL LVL'S SHALL BE 1.8E/2.0E GRADE MICROLAM LVL OR BETTER U. S. O.

BRICK VENEER LINTELS

WL1	= 3 1/2" x 3 1/2" x 1/4"	(90x90x6)	+ 2- 2" x 8"	SFF
WL2	= 4" x 3 1/2" x 5/16"	(100x90x8)	+ 2- 2" x 8"	SFF
WL3	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 10"	SFF
WL4	= 6" x 3 1/2" x 3/8"	(150x90x10)	+ 2- 2" x 12"	SFF
WL5	= 6" x 4" x 3/8"	(150x100x10)	+ 2- 2" x 12"	SFF
WL6	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 2- 2" x 12"	SFF
WL7	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 10"	SFF
WL8	= 5" x 3 1/2" x 5/16"	(125x90x8)	+ 3- 2" x 12"	SFF
WL9	= 6" x 4" x 5/16"	(150x100x10)	+ 3- 2" x 12"	SFF

CI = 3 1/2" x 1/4" STEEL COL. ON CONC. FTG. + 6"x6"x1/2" BASE & CAP PLATE. WELD TO BM. ANCHOR TO FTG. W/ 2- 1/2"x6" AB

F1 = 36"x36"x16"

F2 = 24"x24"x12"

F3 = 18"x18"x8"

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

SOLID BEARING:

SB MINIMUM 3-2"x4" OR 3-2"x6" BUILT UP COLUMNS

BUILT UP COLUMNS:

- NAILED W/ 1 ROW FOR 2"x4" COLUMN
- NAILED W/ 2 ROW FOR 2"x6" COLUMN
- NAIL LENGTH TO MATCH TOTAL BUILT UP WIDTH
- NAILS SPACED @ 8" O/C
- PROVIDE SQUASH BLOCKS TO TRANSFER POINT LOADS BETWEEN FLOORS

STEEL LINTELS

L1	= 3 1/2" x 3 1/2" x 1/4"	(89x89x6.4)
L2	= 4" x 3 1/2" x 5/16"	(102x89x7.9)
L3	= 5" x 3 1/2" x 5/16"	(127x89x7.9)
L4	= 6" x 3 1/2" x 3/8"	(152x89x9.5)
L5	= 6" x 4" x 3/8"	(152x102x9.5)
L6	= 7" x 4" x 3/8"	(178x102x9.5)
L7	= 7" x 4" x 1/2"	(178x102x13)

WOOD LINTELS AND BEAMS

WB1	= 2- 2" x 8"	SFF
WB2	= 3- 2" x 8"	SFF
WB3	= 2- 2" x 10"	SFF
WB4	= 3- 2" x 10"	SFF
WB5	= 2- 2" x 12"	SFF
WB6	= 3- 2" x 12"	SFF
WB7	= 5- 2" x 12"	SFF
WB11	= 4- 2" x 10"	SFF
WB12	= 4- 2" x 12"	SFF

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM, INCLUDING BEAMS AND SUPPORT, REFER TO THE APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

TYPICAL ELEVATION NOTES:

REFER TO TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

NOTE: ELEVATIONS DO NOT REPRESENT ACTUAL FINISHED GRADES (REFER TO GRADING PLANS)

RAILING REQUIRED WHEN PORCH TO GRADE EXCEEDS MORE THAN 2'-0"

REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & INFO.

TYPICAL GROUND FLOOR PLAN NOTES:

ALL RETURN AIR PARTITIONS TO BE 6" - REFER TO HVAC DRAWINGS

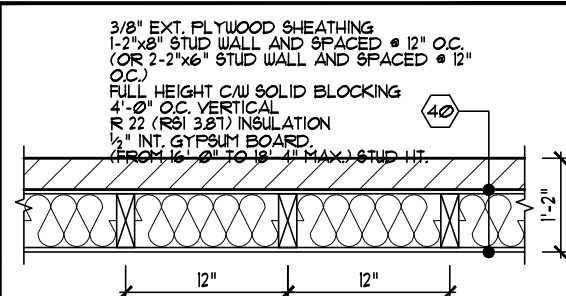
9'-0" DENOTES CEILING HEIGHT

TYPICAL GROUND FLOOR NOTES

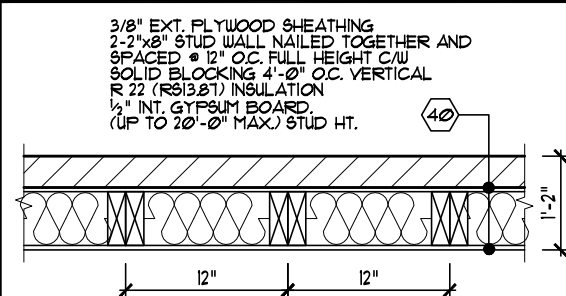
- REFER JOIST MANUFACTURER'S SPECIFICATIONS FOR ALL TECHNICAL DETAILS & LAYOUT
- 5/8" SUB-FLOOR TO BE GLUED & NAILED (TYP.)
- ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DWGS.
- ALL LVL'S SHALL BE 1.9E GRADE MICROLAM LVL OR BETTER U. S. O.

FOR APPROVED ENGINEERED FLOOR JOIST SYSTEM, INCLUDING BEAMS AND SUPPORT, REFER TO THE APPROVED ENGINEERED FLOOR LAY OUT ENCLOSED

ALL GARAGE DOORS INTO THE HOUSE SHALL BE GAS PROOFED AND HAVE SELF-CLOSING DEVICES. EACH DOOR SHALL HAVE STAIRS CONFORMING TO O.B.C. SECTION 9.8



2 STOREY WALL DETAIL FOR BRICK/STONE FINISH (FROM 16'-0" TO 18'-4" MAX.) STUD HT.



2 STOREY WALL DETAIL FOR BRICK/STONE FINISH (UP TO 20'-0" MAX.) STUD HT.

TYPICAL SECOND FLOOR PLAN NOTES:

REFER TRUSS SHOP DWGS. FOR COMPLETE TRUSS LAYOUT AND SPECIFICATIONS

ALL RETURN AIR PARTITIONS TO BE 6". REFER TO HVAC DRAWINGS

9'-0" DENOTES CEILING HEIGHT

17 DENOTES STUD WALL REINFORCED FOR FUTURE GRAB BARS. REFER TO DETAIL 3/D-10

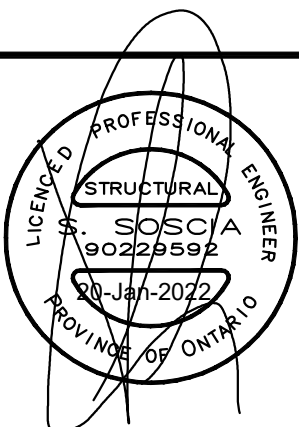
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DESIGN CONTROL REVIEW
JANUARY 21, 2022

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MODEL 40-4 NATASHA

5.	DEC. 08/21	RE-ISSUED FOR BUILDING PERMIT	MS
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T. 905-264-0924

SHEET NAME:
TYPICAL NOTES

DATE PLOTTED: DEC. 08/21	DRAWN BY: M.H.	AREA:
DATE: OCT. 23/20	TYPE:	PAGE No:
SCALE: 3/16" = 1'-0"	PROJECT No:	

A-23

ROYAL PINE
HOMES

PROJECT NAME:

MODEL NAME:

MODEL 40-4 NATASHA