



REVIEWED ONLY AS TO GENERAL COMPLIANCE WITH THE INTENT OF THE GRADING AND SERVICING DRAWINGS. THE ENGINEER DOES NOT WARRANT THAT THE INFORMATION CONTAINED ON THIS PLAN IS EITHER ACCURATE OR CORRECT. SOLE RESPONSIBILITY FOR CORRECT DESIGN, DETAILS AND DIMENSIONS WILL REMAIN WITH THE PARTY SUBMITTING THE DRAWNG.

REVIEWED

☐ REVIEWED AS NOTED

☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

→ STREET LIGHT

TRAFFIC SIGNAL POWER PEDESTAL

Date: June 1 2021

VALVE & BOX

HYDRANT

CATCH BASIN

DOUBLE / SINGLE STM & SAN CONNE

By: Cli

O- HYDRO POLE GUY

COMMUNITY MAILBOX

O STREET SIGN

ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR THW ON SITING AND GRADING PLAN, THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED. DS 2021.05.31 DS 2021.04.21

EXTERIOR DOOR LOCATION

EXTERIOR DOOR LOCATION IF GRADE PERMITS

UPGRADE ELEVATION

FENCE AND GATE

PRIVACY FENCE

ACOUSTIC FENCE

CHAIN LINK FENCE

BOILDER TO VERIFY ELEV. OF STM. AND SAN, LATERALS IN RELATION TO BASEMENT U/S OF FOOTING

APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE SITING AND GRADING PLAN, BUILDER TO VERIFY BUILDING ENVELOPE ON SITE

PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING

CONCRETE. IT THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES,

ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

FF FINISHED FLOOR
TFW TOP OF FOUNDATION WALL
BE BASEMENT FLOOR
UF UNDERSIDE OF FOOTING
WOD WALKOUT DECK
WOB WALKOUT BASEMENT
MOD MODIFIED
REV REVERSED
REV REVERSED
ND NO DOOR
WXXXXX HIGHLIGHTED GRADE SUMP PUMP AND SURFACE DISCHARGE LOCATION

ISSUED FOR FINAL APPROVAL ISSUED FOR PRELIMINARY APPROVAL SANITARY MANHOLE -W-WATER SERVICE SANITARY LINE ENGINEERED FILL LOTS B BELL PEDESTAL — STV — STORM WATER LINE

— WATERLINE WINDOWS PERMITTED PADMOUNTED MOTOR HYDRO SERVICE CABLE PEDESTAL 45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1,2m TO LOT LINE, (NO WINDOWS PERMITTED) STORM MANHOLE 189.65 EXISTING GRADES SHEET DRAINAGE HYDRO POLE — G — GAS LINE
— CABLE LINE RETAINING WALL ∨ALVE & CHAMBER 190.10 PROPOSED GRADES STREET LIGHT PEDESTAL

2.0% SWALE DIRECTION

SITING AND GRADING PLAN

DEREK R. SANTOS NAME REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

RECERT

FINAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

W Architect Inc.

DESIGN CONTROL REVIEW

This stamp is only for the purposes of design strol and carries no other professional obligation

JUN. 10, 2021

BY: <u>M</u>MI

19695

DESIGN ASSOCIATES INC.

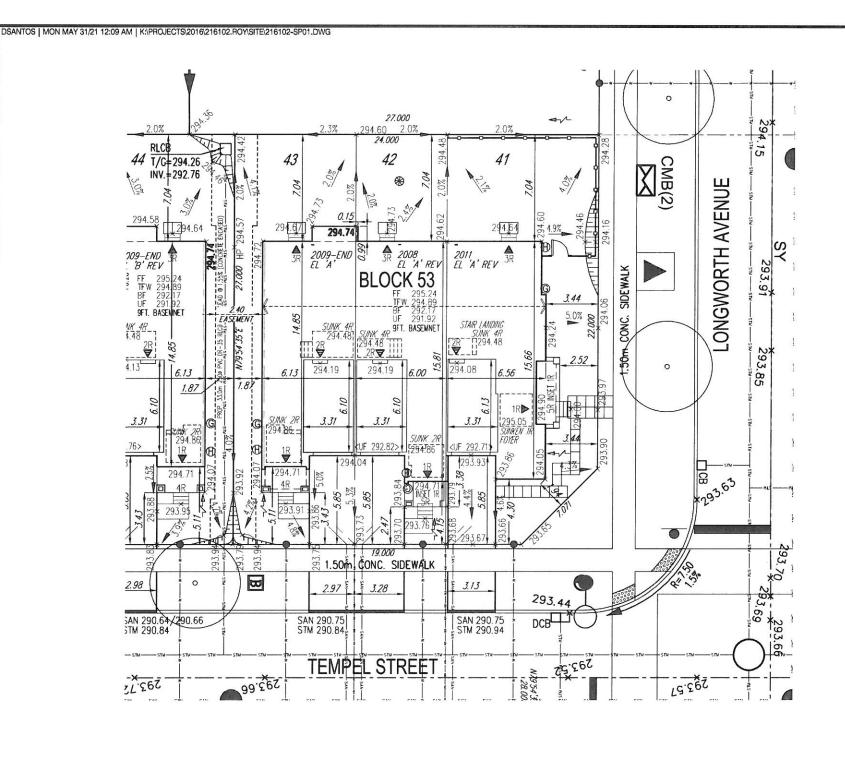
BLOCK 52 TEMPEL STREET Royal Pine Homes / Centerfield Properties Inc - 216102 "OĂKRIDGE MEADOWS", RICHMOND HILL, ON

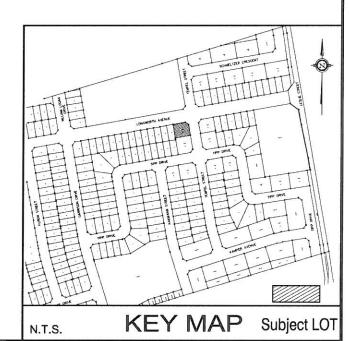
216102-SP01.DWG 1:250 DS DS 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

HYDRO, GAS, BELL, CABLE LIN

B--- BELL

BLOCK 52





REVIEWED ONLY AS TO GENERAL COMPLIANCE WITH THE INTENT OF THE GRADING AND SERVICING DRAWINGS. THE ENGINEER DOES NOT WARRANT THAT THE INFORMATION CONTAINED ON THIS PLAN IS EITHER ACCURATE OR CORRECT. SOLE RESPONSIBILITY FOR CORRECT DESIGN, DETAILS AND DIMENSIONS WILL REMAIN WITH THE PARTY SUBMITTING THE DRAWNG.

REVIEWED

☐ REVIEWED AS NOTED

☐ REVISE AND RESUBMIT

The MUNICIPAL INFRASTRUCTURE Group Ltd.

VALVE & BOX

HYDRANT

CATCH BASIN

19695

DOUBLE / SINGLE STM & SAN CONNECTION

DS 2021.05.31 DS 2021.04.21

BUILDER TO VERIFY ELEV. OF STM. AND SAN, LATERALS IN RELATION TO BASEMENT U/S OF FOOTING

CONJUNCTION WITH THE SITING AND GRADING PLAN, BUILDER TO VERIFY BUILDING ENVELOPE ON SITE

ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION, APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN

PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF HUNT DESIGN ASSOCIATES INC.

UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES.

ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TPW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED.

SUMP PUMP AND SURFACE DISCHARGE LOCATION

CHAIN LINK FENCE

UPGRADE ELEVATION

FENCE AND GATE

PRIVACY FENCE

ACOUSTIC FENCE

BUILDER TO VERIFY LOCATION OF UTILITIES AND OTHER SERVICE MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.

TOP OF FOUNDATION WAI BASEMENT FLOOR UNDERSIDE OF FOOTING

WOD WALKOUT DECK
WOB WALKOUT BASEMENT
MOD MODIFIED
REV REVERSED
ND NO DOOR
XXXXXX HIGHLIGHTED GRADE

Date: June 2021 ISSUED FOR FINAL APPROVAL ISSUED FOR PRELIMINARY APPROVAL HYDRO TRANSFORMER — 5AN— SANITARY LINE

PADMOUNTED MOTOR — 5TW — STORM WATER LINE

A SC — W— WATERLINE B BELL PEDESTAL WINDOWS PERMITTED HYDRO SERVICE STREET TREE CABLE PEDESTAL 45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1.2m TO LOT LINE, (NO WINDOWS PERMITTED) STORM MANHOLE 189.65 EXISTING GRADES SHEET DRAINAGE HYDRO POLE RETAINING WALL ∨ALVE & CHAMBER STREET LIGHT PEDESTAL O- HYDRO POLE GUY x190.10 PROPOSED GRADES — g — GAS LINE — c — CABLE LINE

STREET SIGN

COMMUNITY MAILBOX

SITING AND GRADING PLAN

HUNT DESIGN ASSOCIATES INC.

RECERT

FINAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

W Architect Inc.

DESIGN CONTROL REVIEW

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JUN. 10, 2021

BY: MMI

DEREK R. SANTOS NAME REGISTRATION INFORMATION



→ STREET LIGHT

TRAFFIC SIGNAL POWER PEDESTAL

BLOCK 53 TEMPEL STREET Royal Pine Homes / Centerfield Properties Inc - 216102 "OĂKRIDGE MEADOWS", RICHMOND HILL, ON

EXTERIOR DOOR LOCATION

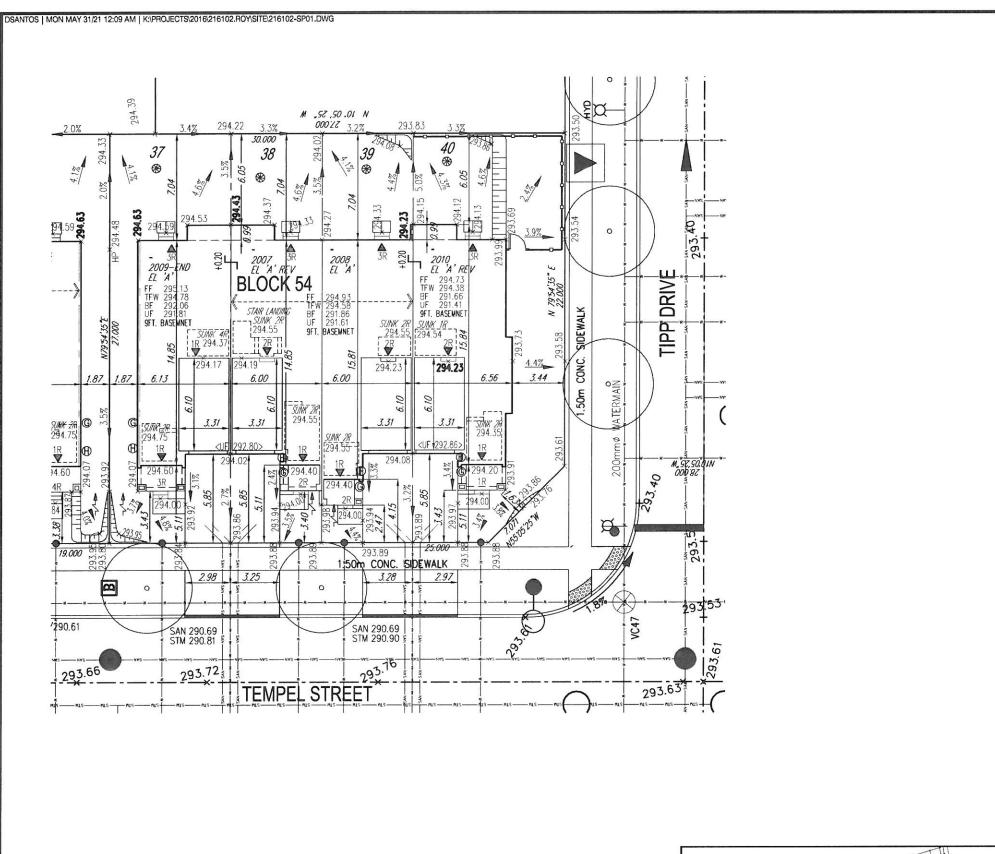
EXTERIOR DOOR LOCATION
IF GRADE PERMITS

216102-SP01.DWG DS DS 1:250 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

-B- BELL

BLOCK 53

2.0% SWALE DIRECTION





REVIEWED ONLY AS TO GENERAL COMPLIANCE WITH THE INTENT OF THE GRADING AND SERVICING DRAWINGS. THE ENGINEER DOES NOT MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE. BUILDER TO VERIFY ELEV. OF STM. AND SAN. LATERALS IN RELATION TO BASEMENT U/S OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION. WARRANT THAT THE INFORMATION CONTAINED ON THIS PLAN IS EITHER ACCURATE OR CORRECT. SOLE RESPONSIBILITY FOR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES MUST BE REVIEWED AND FOLLOWED IN CONJUNCTION WITH THE STING AND GRADING PLAN, BUILDER TO VERIFY BUILDING ENVELOPE ON SITE PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING CONCRETE, IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE BROUGHT TO THE ATTENTION OF CORRECT DESIGN, DETAILS AND DIMENSIONS WILL REMAIN WITH THE PARTY SUBMITTING THE DRAWING. HUNT DESIGN ASSOCIATES INC. UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES, ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN. THE EXTERIOR OF THE FOUNDATION WALL TO BE REVIEWED ☐ REVIEWED AS NOTED PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED. ☐ REVISE AND RESUBMIT

W Architect Inc. **DESIGN CONTROL REVIEW** JUN. 10, 2021 RECERT BY: <u>MM</u>I **FINAL** is only for the purposes of design

The MUNICIPAL INFRASTRUCTURE Group Ltd. Date: June 1 2021 ISSUED FOR FINAL APPROVAL ISSUED FOR PRELIMINARY APPROVAL B BELL PEDESTAL HYDRO TRANSFORMER -- SAN- SANITARY LINE -STW - STORM WATER LINE WINDOWS PERMITTED HYDRO SERVICE PADMOUNTED MOTOR STREET TREE CABLE PEDESTAL STORM MANHOLE 45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1,2m TO LOT LINE, (NO WINDOWS PERMITTED) SHEET DRAINAGE 189.65 EXISTING GRADES HYDRO POLE ∨ALVE & CHAMBER STREET LIGHT PEDESTAL 190.10 PROPOSED GRADES --- GAS LINE O- HYDRO POLE GUY ---- CABLE LINE CATCH BASIN VALVE & BOX ○-● STREET LIGHT 2.0% SWALE DIRECTION ▼ EXTERIOR DOOR LOCATION STREET SIGN

COMMUNITY MAILBOX

SITING AND GRADING PLAN

NAME REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION DEREK R, SANTOS 37308

NAME SECRETARION INFORMATION SIGNATURE BOIN

DOUBLE / SINGLE STM & SAN CONNE

19695

HYDRANT

HUND DESIGN ASSOCIATES INC.

TRAFFIC SIGNAL POWER PEDESTAL

TEMPEL STREET BLOCK 54 Royal Pine Homes / Centerfield Properties Inc - 216102 "OÅKRIDGE MEADOWS", RICHMOND HILL, ON

EXTERIOR DOOR LOCATION IF GRADE PERMITS

DS DS 1:250 216102-SP01.DWG 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

HYDRO, GAS, BELL, CABLE LINE

BLOCK 54

DS 2021.05.31

DS 2021.04.21

SUMP PUMP AND SURFACE DISCHARGE LOCATION

UPGRADE ELEVATION

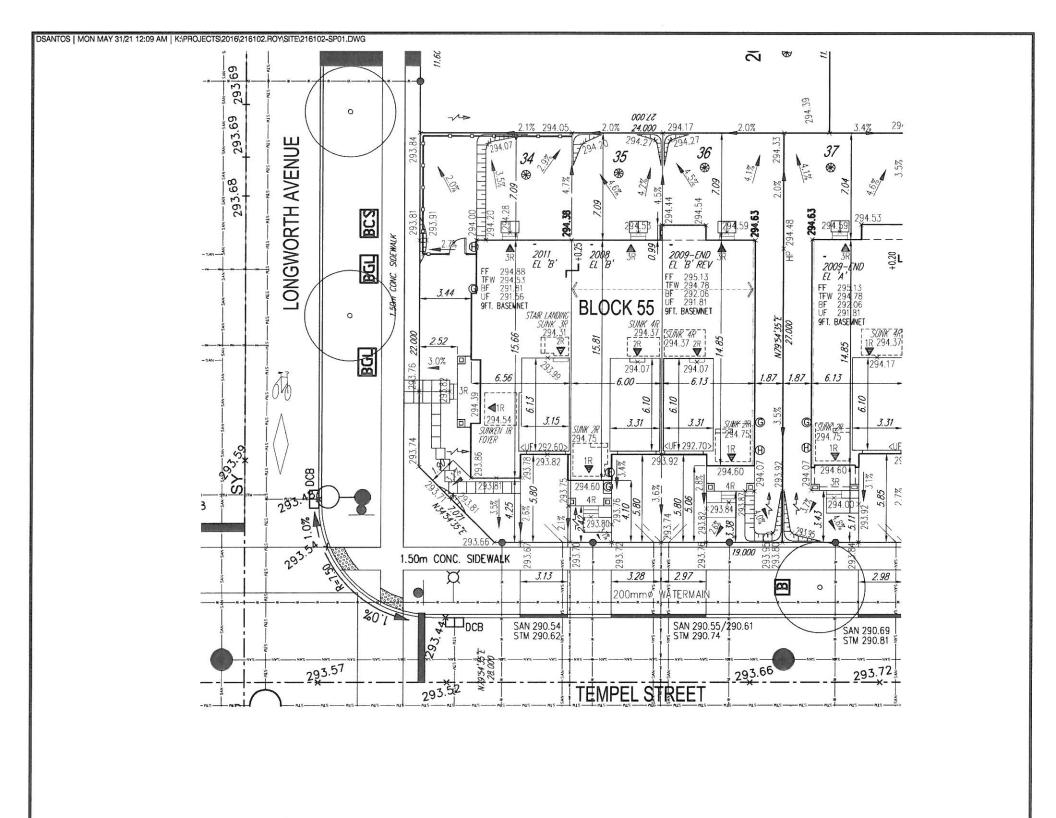
FENCE AND GATE

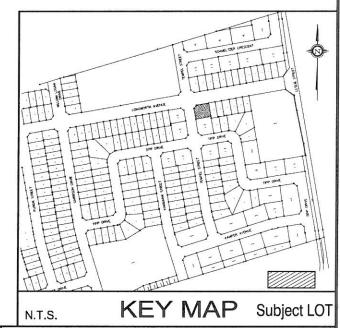
PRIVACY FENCE

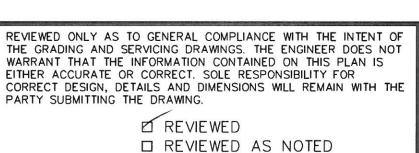
ACOUSTIC FENCE

CHAIN LINK FENCE

EMBANKMENT / BERM MAX 3:1 SLOPE







☐ REVISE AND RESUBMIT The MUNICIPAL INFRASTRUCTURE Group Ltd.

Date: June 1 2021

ALL TOP OF FOUNDATION WALLS INCLUDING GARAGE WALLS TO BE CONSISTENT WITH THE ELEVATION PROVIDED FOR TFW ON SITING AND GRADING PLAN, THE EXTERIOR OF THE FOUNDATION WALL TO BE PROVIDED WITH A REDUCTION OF THICKNESS FOR MASONRY VENEER AS REQUIRED. ISSUED FOR FINAL APPROVAL ISSUED FOR PRELIMINARY APPROVA DS 2021.04.21 SANITARY LINE DOWNSPOUTS FINISHED FLOOR TOP OF FOUNDATION WAL

UPGRADE ELEVATION

FENCE AND GATE

PRIVACY FENCE

ACOUSTIC FENCE

- CHAIN LINK FENCE

MAINTAINED, BUILDER IS TO RELOCATE AT BUILDER'S EXPENSE.

BUILDER TO VERIFY ELEV. OF STM. AND SAN, LATERALS IN RELATION TO BASEMENT U/S OF FOOTING ELEVATIONS FOR COMPLIANCE WITH MUNICIPAL STANDARDS PRIOR TO EXCAVATION.

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PLAN MATCHES APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES PRIOR TO POURING

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UNLESS NOTED ON BUILDING ENVELOPE OR APPROVED PERMIT DRAWINGS & CONSTRUCTION NOTES,

JUN. 10, 2021 BY: MMI This stamp is only for the purposes of design trol and carries no other professional obligation

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B BELL PEDESTAL PADMOUNTED MOTOR ·) STREET TREE CABLE PEDESTAL STORM MANHOLE SHEET DRAINAGE → HYDRO POLE RETAINING WALL VALVE & CHAMBER STREET LIGHT PEDESTAL O- HYDRO POLE GUY CATCH BASIN VALVE & BOX → STREET LIGHT O STREET SIGN TRAFFIC SIGNAL POWER PEDESTAL DOUBLE / SINGLE HYDRANT COMMUNITY MAILBOX

45 MINUTE FIRE RATED WALL SIDEYARD DISTANCE IS LESS THAN 1,2m TO LOT LINE, (NO WINDOWS PERMITTED) _\89.65 EXISTING GRADES — c — GAS LINE 190.10 PROPOSED GRADES 2.0% SWALE DIRECTION EXTERIOR DOOR LOCATION ---- BELL EMBANKMENT / BERM MAX 3:1 SLOPE EXTERIOR DOOR LOCATION
IF GRADE PERMITS HYDRO, GAS, BELL, CABLE LINE

BLOCK 55 TEMPEL STREET

SITING AND GRADING PLAN

HUNT DESIGN ASSOCIATES INC.

RECERT

FINAL

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION

W Architect Inc. **DESIGN CONTROL REVIEW**

DEREK R. SANTOS DESIGN ASSOCIATES INC. REGISTRATION INFORMATION

Royal Pine Homes / Centerfield Properties Inc - 216102 "OĂKRIDGE MEADOWS", RICHMOND HILL, ON

WINDOWS PERMITTED

1:250 216102-SP01.DWG DS DS 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

BLOCK 55

THE TOP OF FOUNDATION WAS BE BASEMENT FLOOR

UF UNDERSIDE OF FOOTING

WOD WALKOUT DECK

WOB WALKOUT BASEMENT

MOD MODIFIED

REV REVERSED

ND NO DOOR

(XXXXXX) HIGHLIGHTED GRADE