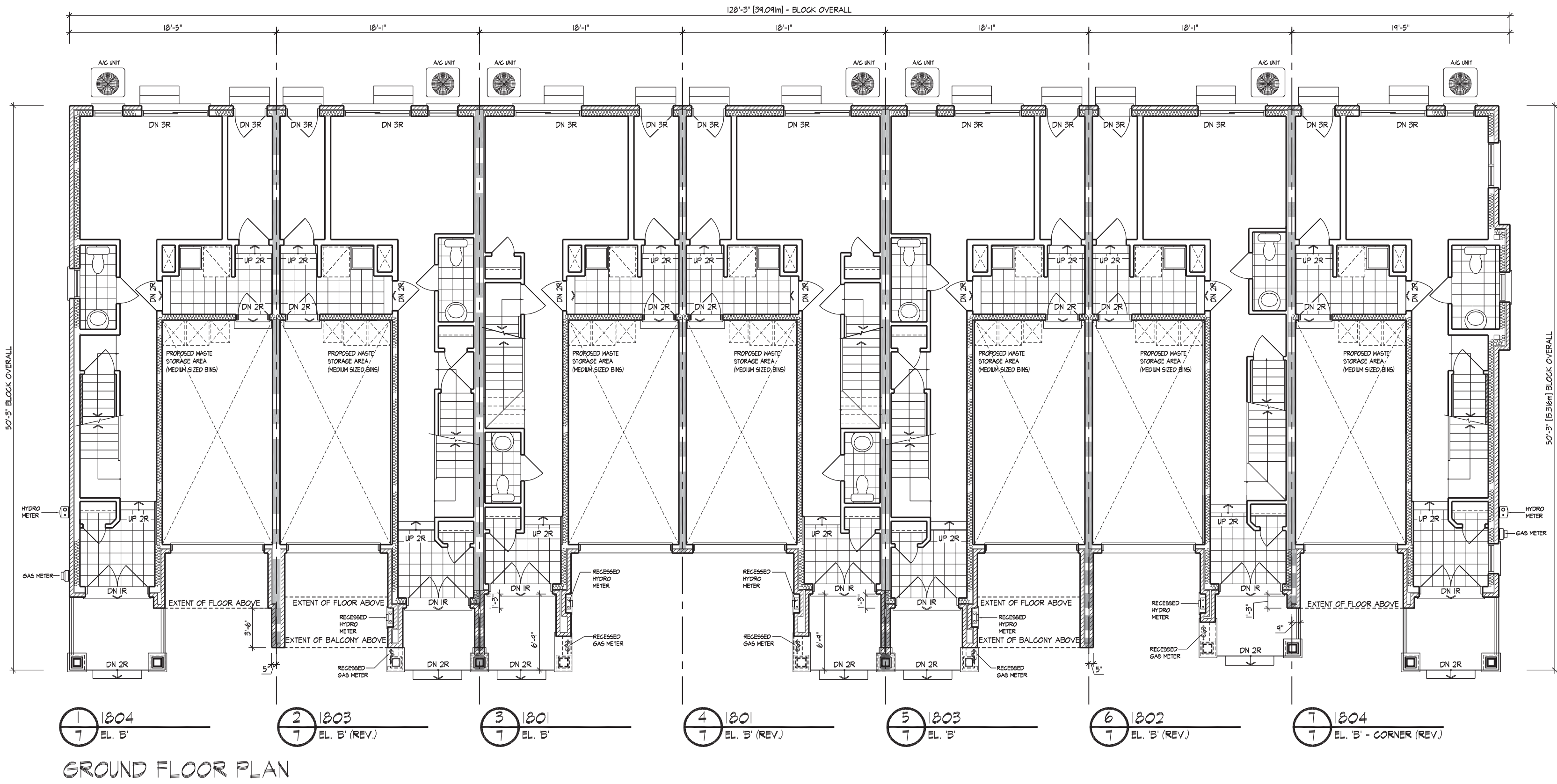
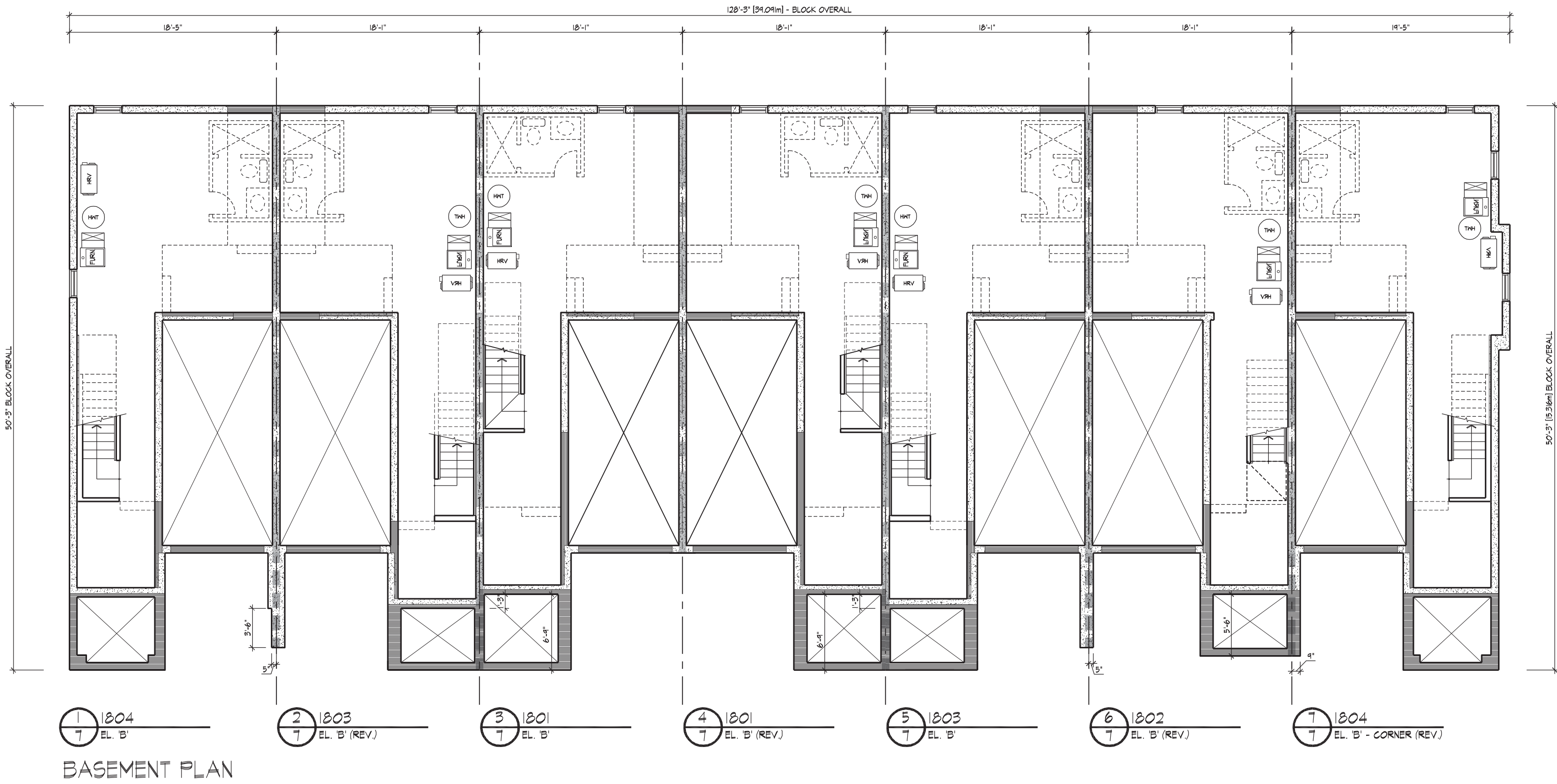


DESIGNED BY: R. SANTOS (P) MAY 17/18 (2545 P.M.) / C:\PROJECTS\2019\214042\ROYAL PINE HOMES\BLOCKS 7\BLOCKS 7.DWG



<b>BUILDING AREA</b>	5589.65 sq ft
<b>EXCLUDING PORCHES</b>	519.30 sq m

#### GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
3. REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I..
5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

#### LEGEND

- POURED IN PLACE STEPS WITH MASONRY VENEER ON SIDES.
- DROP OR RAISE BANDING BY AMOUNT INDICATED.
- ADD BANDING AND/OR TRIM AS INDICATED.
- ADDED CAMBERED HEADERS.
- 8'-0" X 8'-0" GARAGE DOORS.
- DROPPED OR RAISED SOFFIT AS INDICATED.
- ADJUSTED ROOF OVERHANG AS INDICATED ON ROOF PLAN.
- PROVIDE GUARD PER CONSTRUCTION NOTE 11.
- FOYER SUNKEN AS INDICATED
- LIGHT FIXTURE RELOCATED AS INDICATED.

#### WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 4 (BLOCK)
120 MIN		SECTION 5 (WOOD STUD)
		SECTION 10

#### DETAILS

No.	TITLE
01-1-1	MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION
01-1-2	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08-8-1	TYP. 1 HR PARTY WALL SECTION PARALLEL ROOF TRUSSES - P CONIC BLOCK
08-8-2	TYP. 1 HR PARTY WALL SECTION AT GARAGE PARALLEL ROOF TRUSSES - P CONIC BLOCK
08-8-3	TYP. 1/2 HR PROTECTION AT US 9' GARAGE CEILING SPACE TYP. BLOCK PARTIAL
08-8-4	TYP. 8' BLOCK PARTYWALL AT OPEN 2 STOREY CONDITION
08-8-5	8' BLOCK PARTYWALL, BRICK VENEER, FLUSH UNIT
08-8-6	8' BLOCK PARTYWALL, BRICK VENEER, STAGGERED UNIT
08-8-7	8' BLOCK PARTYWALL, FLUSH AT GARAGE, BRICK VENEER
08-8-8	8' BLOCK PARTYWALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-8-9	8' BLOCK PARTYWALL, STAGGERED GARAGES, BRICK VENEER
08-8-10	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-10-1	TYP. 2 HR FIREWALL SECTION PARALLEL ROOF TRUSSES - 4" FOUNDATION
10-10-2	TYP. 3 HR FIREWALL SECTION PARALLEL ROOF TRUSSES - 4" VARIOUS FLOOR LEVELS
10-10-3	TYP. 2 HR FIREWALL, BRICK VENEER, STAGGERED UNIT
10-10-4	TYP. 2 HR FIREWALL, BRICK VENEER AT PORCH
10-10-5	TYP. 2 HR FIREWALL, BRICK VENEER, FLUSH UNIT
10-10-6	TYP. 2 HR FIREWALL PROJECTION, BRICK VENEER, @ DECK PARINGS

<b>COMPLIANCE PACKAGE</b>	<b>58-12 (SECTION 211)</b>
<b>A1</b>	

5.	ISSUED FOR FINAL	2019.05.06	DS
4.	REVISED AS PER ENGINEER COMMENTS	.	.
3.	REVISED AS PER A/C COMMENTS	2019.04.25	BS
2.	REVISED AS PER CLIENT COMMENTS	2018.06.07	MM
1.	ISSUED FOR CLIENT REVIEW	2017.11.23	MM
NO.	DESCRIPTION	YYYY.MM.DD	BY

#### REVISIONS

THE UNDERSIGNED HEREBY RELEASES AND WAIVES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION		
NAME	DEREK R. SANTOS	37308
REGISTRATION INFORMATION		205
FIRM DESIGN ASSOCIATES INC.		19865

<b>HUNT</b>	<b>DESIGN ASSOCIATES INC.</b>
99565 Woodbine Ave., Markham, ON L3R 0J7	www.hunt-design.ca
T 905.737.5133 F 905.737.7326 email: hdsai@hunt-design.ca	

**ROYAL PINE HOMES**  
"MANOR OF CLAIREVILLE", BRAMPTON, ONT.

**BLOCK 7 (LOTS 1 to 7)**  
FORESTSIDE ESTATES PH1 - PRO# 214042

**BASEMENT & GROUND FLOOR PLAN**

REV.2019.05.01

Scale	1/8"=1'-0"	Drawn By	MM/BB	Checked By	DS
File Name	214042-BLOCKS 18	Page Number	1	of	3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY:   
DATE: MAY 21, 2019  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



## GENERAL NOTES

- ## LEGEND

- ## WALL TYPE LEGEND

## DETAILS

<b>COMPLIANCE PACKAGE</b>	58-12 (SECTION 2.1)
	<b>A1</b>

## REVISIONS

QUALIFICATION INFORMATION 

HUNT 

**ROYAL PINE HOMES**  
'MANOR OF CLAIREVILLE', BRAMPTON, ONT.

MAIN & THIRD FLOOR PLAN

214042-BLOCKS 18<sup>1</sup> 2 of 3

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

APPROVED BY: [Signature]  
DATE: MAY 21 2019

for this property unless it bears the appropriate BCIN number and original signature.

---

# BLOCK NUMBER 7






## GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.1.6
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND STEPPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
3. REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT OF THE INSPECTIONS TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I.
5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 100mm (3 1/8 in.) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 11/16 in.) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.24m (7 ft 10 in.) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5 (5)

## LEGEND

- ▲ POURED IN PLACE STEPS WITH MASONRY VENEER ON SIDES.
- ▲ DROP OR RAISE BANDING BY AMOUNT INDICATED.
- ▲ ADD BANDING AND/OR TRIM AS INDICATED.
- ▲ ADD CAMBERED HEADERS.
- ▲ 8'-0" X 8'-0" GARAGE DOORS.
- ▲ DROPPED OR RAISED SOFFIT AS INDICATED.
- ▲ ADJUSTED ROOF OVERHANG AS INDICATED ON ROOF PLAN.
- ▲ PROVIDE GUARD PER CONSTRUCTION NOTE 11.
- ▲ FOYER SUNKEN AS INDICATED
- ▲ LIGHT FIXTURE RELOCATED AS INDICATED.

### WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 8 (BLOCK) SECTION 9 (WOOD STUD)
120 MIN		SECTION 10

## DETAILS

NO.	CONFORMANCE	TITLE
01.1		MASONRY VENEER, 2ND+RD STS. 2 STOREY WALL SECTION
01.2		MASONRY VENEER, 2ND+RD STS. 1 STOREY GARAGE WALL SECTION
08.1		TP 1HR PARTIAL WALL SECTION PARALLEL ROOF TRUSSES + CONC. BLOCK
08.2		TP 1HR PARTIAL, SECTION 2 GARAGE PARALLEL ROOF TRUSSES TP CONC. BLOCK
08.3		TP 1/2H R/F PROTECTION 1/4 X 1/2 G/G GARG. ZELUS GARG. TP
08.4		TP 1P BLOCK PARTIAL WALL AT OPEN 1 STOREY CONDITION
08.5		IF BLOCK PARTIAL WALL, BRICK VENEER, FLUSH UNIT
08.6		IF BLOCK PARTIAL WALL, BRICK VENEER, STAGGERED UNIT
08.7		IF BLOCK PARTIAL WALL, FLUSH AT GARG. BRICK VENEER
08.8		IF BLOCK PARTIAL WALL, FLUSH UNIT AT GARG. BRICK VENEER
08.9		IF BLOCK PARTIAL WALL, STAGGERED GARG. BRICK VENEER
08.10		REQUIRED FIRE STOPPING AT SOFFIT'S SECTION
10.1		TP 2HR PREWALL SECTION PARALLEL ROOF TRUSSES + FLOOR
10.2		TP 2HR PREWALL SECTION PARALLEL ROOF TRUSSES + W/ARD FLOOR LEVELS
10.3		TP 2HR PREWALL, BRICK VENEER, STAGGERED UNIT
10.4		TP 2HR PREWALL, BRICK VENEER AT PORCH
10.5		TP 2HR PREWALL, BRICK VENEER, FLUSH UNIT
10.6		TP 2HR PREWALL, PROTECTION BLOCK VENEER @ DECK PARAPET

## COMPLIANCE PACKAGE

5.	ISSUED FOR FINAL	2019.05.06	DS
4.	REVISED AS PER ENGINEER COMMENTS	-	-
3.	REVISED AS PER A/C COMMENTS	2019.04.25	BS
2.	REVISED AS PER CLIENT COMMENTS	2018.06.07	MM
1.	ISSUED FOR CLIENT REVIEW	2017.11.23	MM
NO.	DESCRIPTION	YYYY.MM.DD	BY

## REVISIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

DEREK R. SANTOS	37308
APR 10 2014	ON

REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC.	19093
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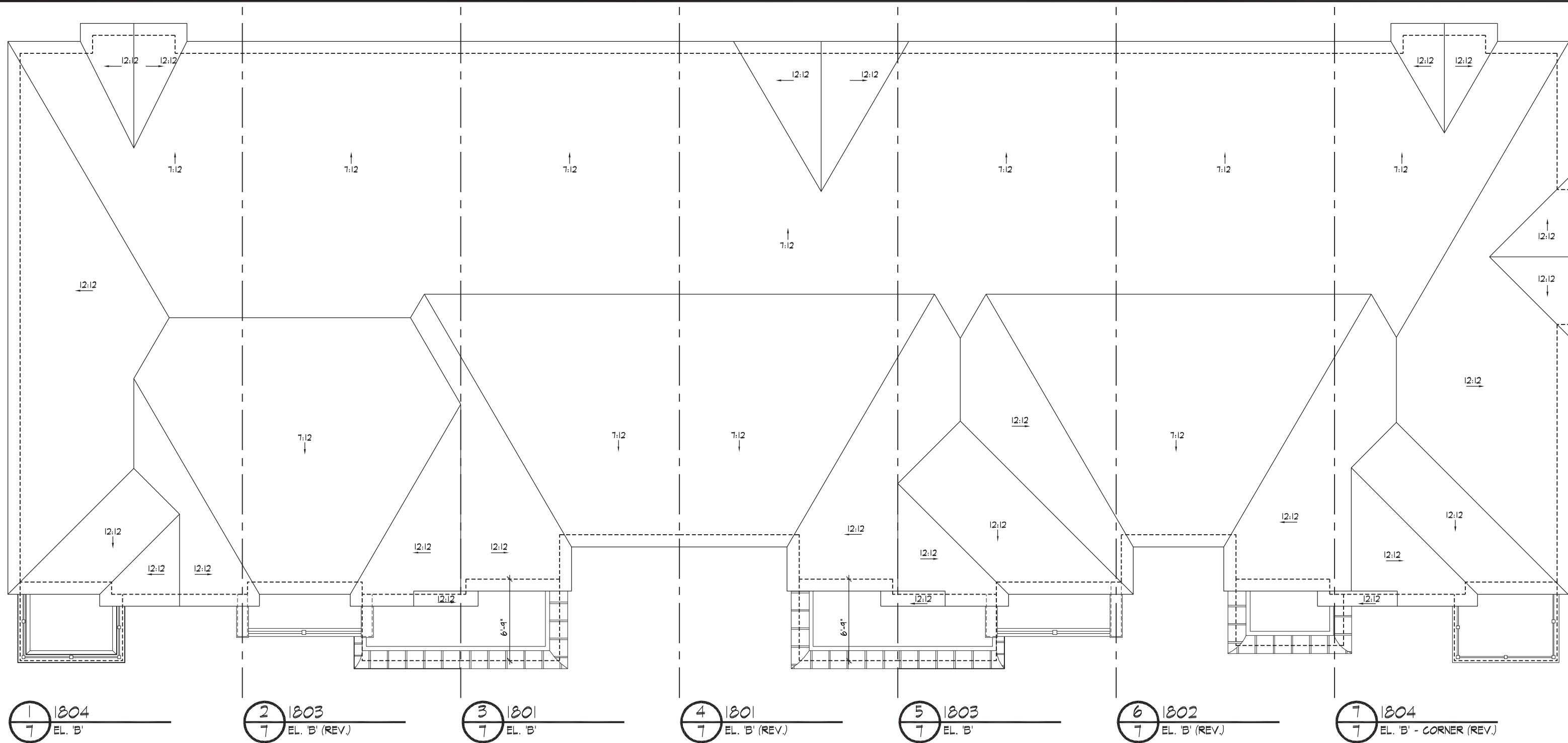


**ROYAL PINE HOMES**  
"MANOR OF CLAIREVILLE", BRAMPTON, ONT.

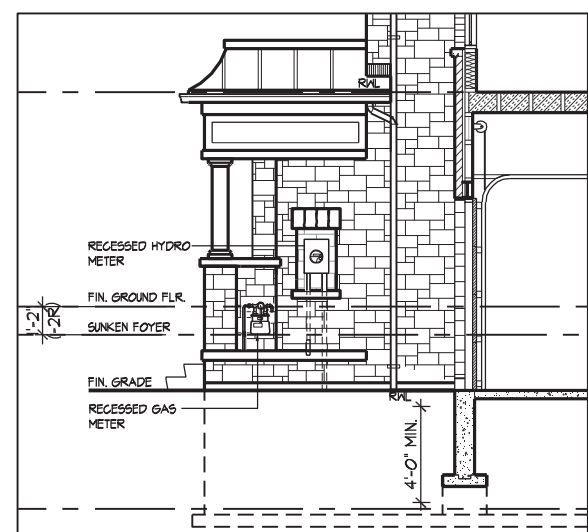
**BLOCK 7 (LOTS 1 to 7)**  
FORESTSIDE ESTATES PH1 - PRO# 214042

## ROOF PLAN & ELEVATIONS

REV.2019.05.01  
 Scale: 1/8"=1'-0" Drawn By: MM Checked By: DS  
 File Number: 214042-BLOCKS 18' Page Number: 3 of 3



### ROOF PLAN



TYP. ELEVATION OF HYDRO  
& GASS METER @ PORCH  
EL. 'B'

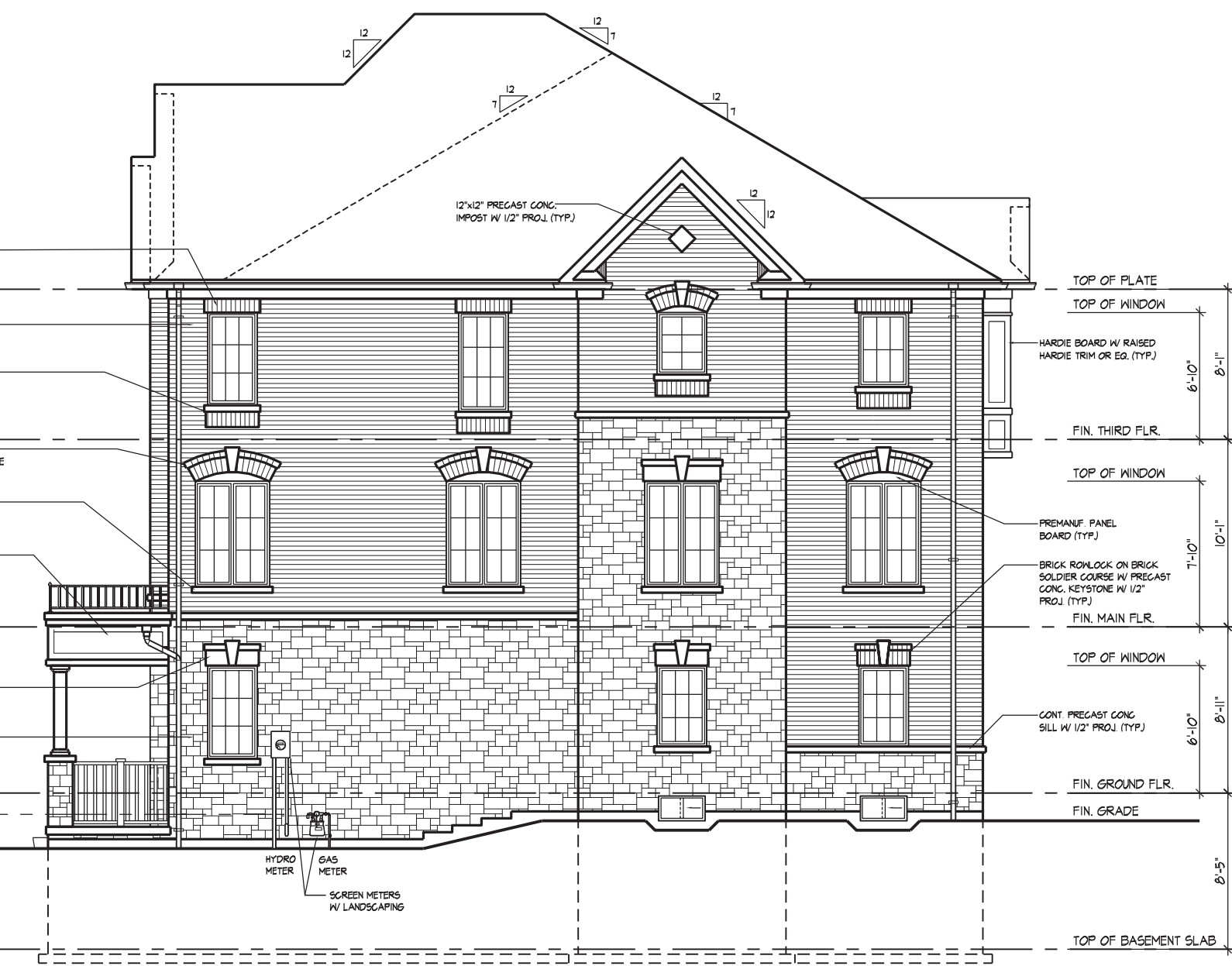


FRONT ELEVATION

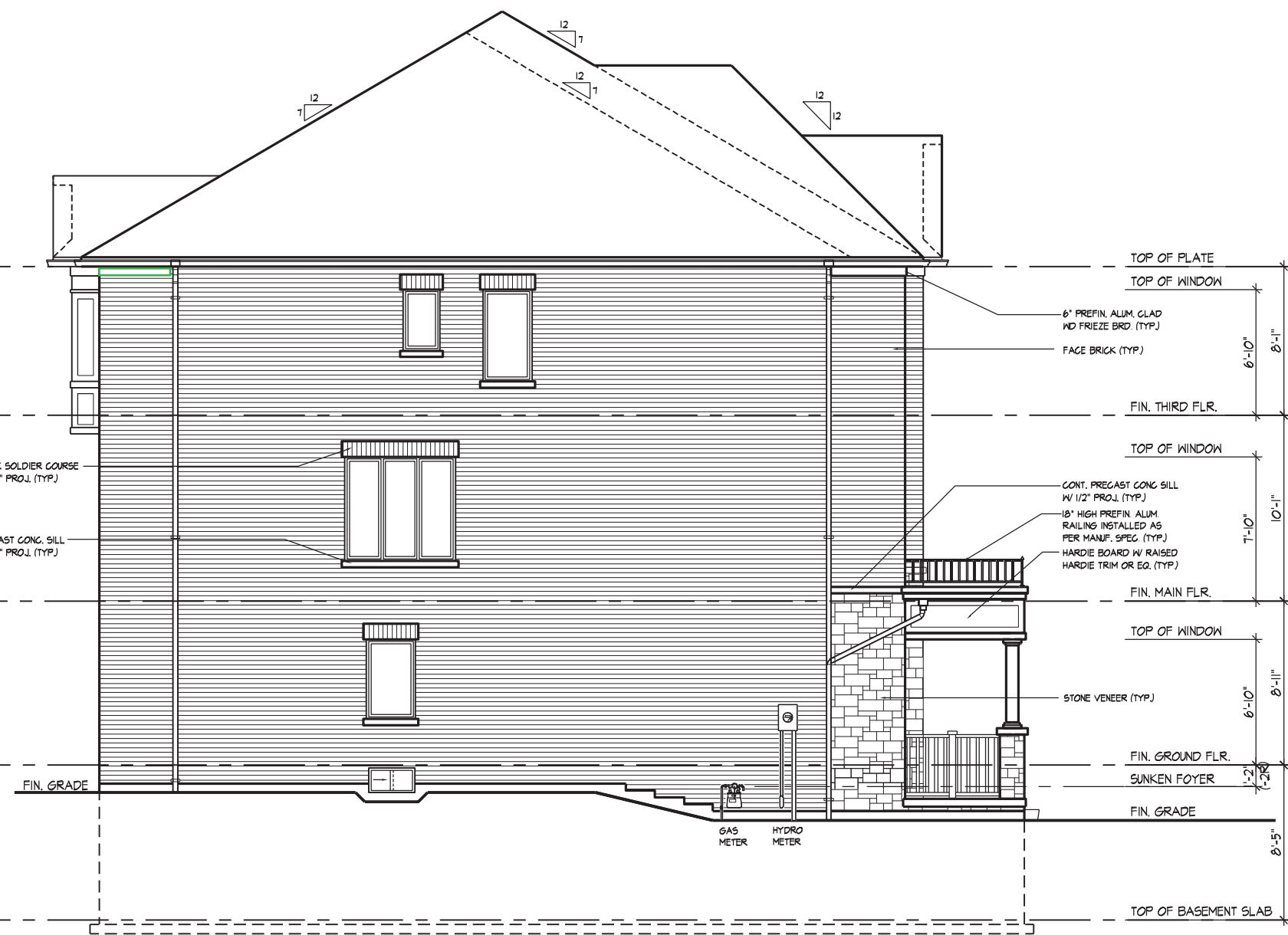
\* NOTE: ACCESS TO EXIT WINDOW FROM 3-STOREY AS PER 9.9.1 O.B.C.



### REAR ELEVATION



### FLANKAGE ELEVATION



LEFT SIDE ELEVATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

for this property unless it bears the appropriate BCIN number and original signature.