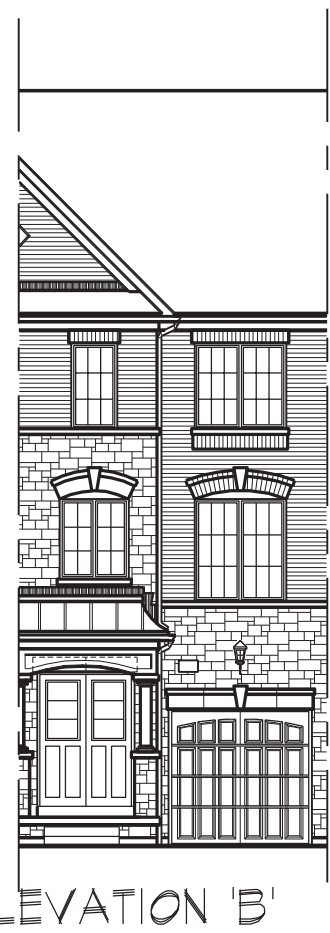




ELEVATION 'A'



ELEVATION 'B'

'ANGELICA' - 1801

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

| PRESCRIPTIVE COMPLIANCE | | SB-12 (SECTION 3.1.1) TABLE 3.1.1.3.A | |
|---|-----------------------------------|---------------------------------------|--|
| PACKAGE A1 | SPACE HEATING FUEL | | |
| | <input type="checkbox"/> GAS | <input type="checkbox"/> OIL | |
| | <input type="checkbox"/> ELECTRIC | <input type="checkbox"/> PROPANE | |
| | <input type="checkbox"/> EARTH | <input type="checkbox"/> SOLID FUEL | |
| BUILDING COMPONENT | REQUIRED | PROPOSED | |
| INSULATION RSI (R) VALUE | | | |
| CEILING W/ ATTIC SPACE | 10.56 (R60) | 10.56 (R60) | |
| CEILING W/O ATTIC SPACE | 5.46 (R31) | 5.46 (R31) | |
| EXPOSED FLOOR | 5.46 (R31) | 5.46 (R31) | |
| WALLS ABOVE GRADE | 3.87 (R22) | 3.87 (R22) | |
| BASEMENT WALLS | 3.52 ci | 3.52 ci | |
| * PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci) | (R20 ci) * | (R20 ci) * | |
| BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE | - | - | |
| EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE | 1.76 (R10) | 1.76 (R10) | |
| HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE | 1.76 (R10) | 1.76 (R10) | |
| WINDOWS & DOORS | | | |
| WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE) | 1.6 | 1.6 | |
| SKYLIGHTS (MAX. U-VALUE) | 2.8 | 2.8 | |
| APPLIANCE EFFICIENCY | | | |
| SPACE HEATING EQUIP. (AFUE%) | 96% | 96% | |
| HRV EFFICIENCY (%) | 75% | 75% | |
| DHW HEATER (EF) | 0.8 | 0.8 | |

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A' & 'B'
- 3 - GROUND FLOOR PLAN, EL. 'A'
- 4 - MAIN FLOOR PLAN, ELEV. 'A'
- 5 - THIRD FLOOR PLAN, EL. 'A' & 'B'
- 6 - GROUND FLOOR PLAN, EL. 'B'
- 7 - MAIN FLOOR PLAN, EL. 'B'
- 8 - FRONT ELEVATION 'A' & 'B'
- 9 - REAR ELEVATION 'A' & 'B'
- 10 - 1 RISER SUNKEN CONDITION 'A' & 'B'
- 11 - CROSS SECTION 'A-A'
- 12 - PARTIAL RIGHT SECTION 'A' & 'B'
- 13 - CONSTRUCTION NOTES 1 OF 2
- 14 - CONSTRUCTION NOTES 2 OF 2
- 15 - HYDRO ONE BRAMPTON DETAIL 27-07

| AREA CALCULATIONS | EL. 'A' | EL. 'B' | |
|---|-----------------|-----------------|---|
| THIRD FLOOR AREA | 750 sq. ft. | 750 sq. ft. | AREA BREEZEWAY AND LAUNDRY: EL. 'A' - 118 sq. ft. EL. 'B' - 118 sq. ft. |
| MAIN FLOOR AREA | 750 sq. ft. | 750 sq. ft. | |
| GROUND FLOOR AREA | 416 sq. ft. | 416 sq. ft. | |
| SUBTOTAL | 1916 sq. ft. | 1916 sq. ft. | |
| DEDUCT ALL OPEN AREAS | 12 sq. ft. | 12 sq. ft. | |
| TOTAL NET AREA | 1904 sq. ft. | 1904 sq. ft. | |
| | (176.89 sq. m.) | (176.89 sq. m.) | |
| FINISHED BASEMENT AREA | 0 sq. ft. | 0 sq. ft. | |
| COVERAGE W/OUT PORCH | 750 sq. ft. | 750 sq. ft. | |
| | (69.68 sq. m.) | (69.68 sq. m.) | |
| COVERAGE W/ PORCH | 795 sq. ft. | 805 sq. ft. | |
| | (73.86 sq. m.) | (74.79 sq. m.) | |
| WINDOW / WALL AREA CALCULATIONS | EL. 'A' | EL. 'B' | |
| STANDARD PLAN | 3546 sq. ft. | 3546 sq. ft. | |
| GROSS WALL AREA | (329.43 sq. m.) | (329.43 sq. m.) | |
| GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS) | 232.94 sq. ft. | 232.94 sq. ft. | |
| | (21.64 sq. m.) | (21.64 sq. m.) | |
| TOTAL WINDOW % | 6.57 % | 6.57 % | |



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| REVISIONS | DATE (YYYY/MM/DD) | BY |
|---|-------------------|----|
| 7. ISSUED FOR FINAL APPROVAL | 2019/05/17 | DS |
| 6. REVISED FOR OPTIONAL ROUGH-IN BASEMENT WASHROOM | 2019/04/25 | BB |
| 5. REVISED AS PER STRUCTURAL ENGINEER COMMENTS | 2018/08/08 | MM |
| 4. COORDINATE AS PER ROOF TRUSS & FLOOR MANUFACTURE PLANS | 2019/03/25 | BB |
| 3. REVISED AS PER CLIENT'S COMMENTS | 2018.04.23 | SZ |
| 2. REVISED AS PER CLIENT'S COMMENTS | 2018/02/09 | MM |
| 1. ISSUED FOR CLIENT REVIEW | 2017/09/18 | MM |

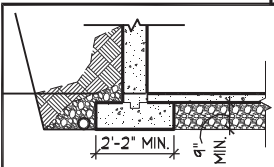
TITLE PAGE

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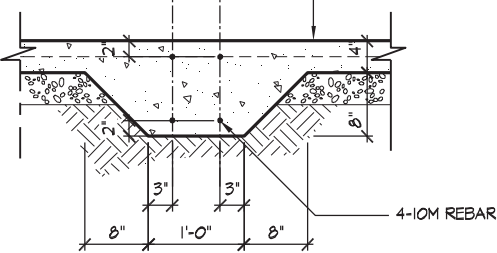
PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL
 REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



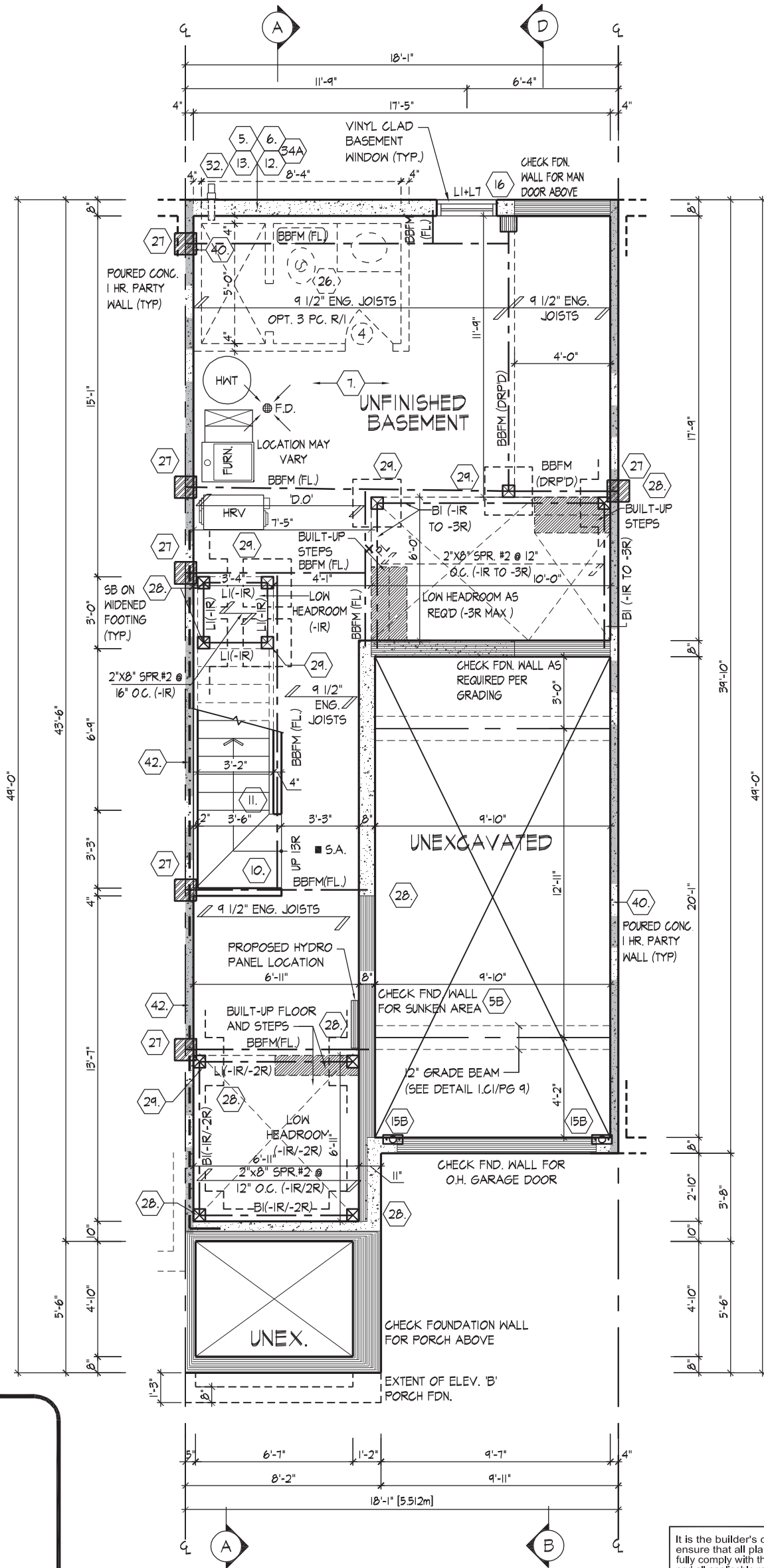
TYPICAL EXTERIOR WALL FOOTINGS

ALL EXTERIOR STRIP FOOTINGS SHALL BE 26"X9" D CONCRETE (UNLESS NOTED OTHERWISE)

MIN. 4" CONCRETE SLAB ON GRADE ON 4" COARSE GRANULAR FILL, REINFORCED WITH 6x6xM2.9xM2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONG. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.



1.C1 GARAGE GRADE BEAM N.T.S.



BASEMENT PLAN EL. 'A' & 'B'

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JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: _____
 DATE: MAY 21, 2019

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BASEMENT PLAN, EL. 'A' & 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

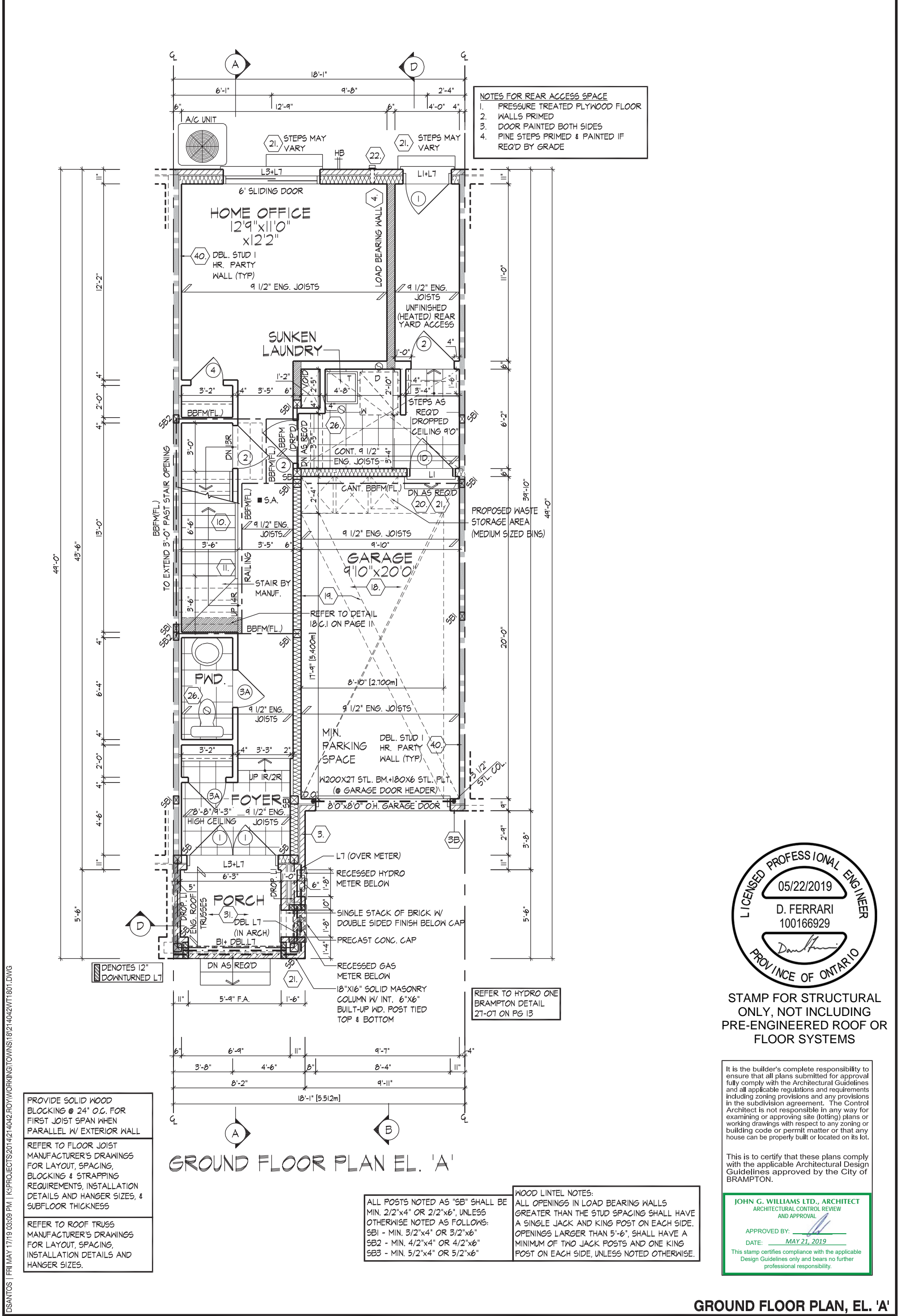
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 Derek R. Santos 37308
 NAME SIGNATURE BCIN
 HUNT DESIGN ASSOCIATES INC. 19695

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ROYAL PINE HOMES-FORESTSIDE ESTATES PH1 - 214042 'ANGELICA' - 1801 'MANOR OF CLAIREVILLE', BRAMPTON, ONT. REV.2019.05.17

Drawn By: RV/BB Checked By: DS Scale: 3/16"=1'-0" File Number: 214042WT1801 Page Number: 2 of 15
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NOTES FOR REAR ACCESS SPACE

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REFER TO HYDRO ONE BRAMPTON DETAIL 27-07 ON PG 13



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GROUND FLOOR PLAN EL. 'A'

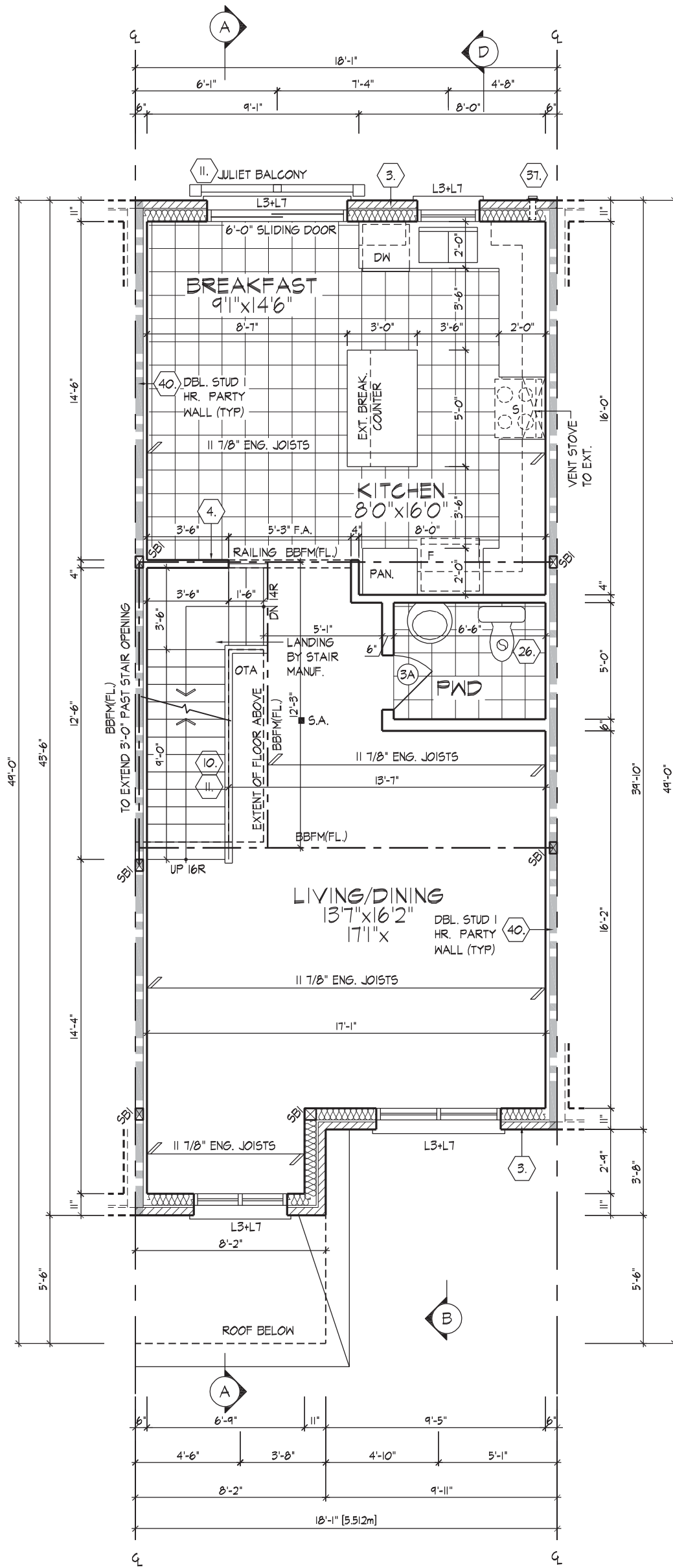
GROUND FLOOR PLAN, EL. 'A'

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MAIN FLOOR PLAN EL. 'A'

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MAIN FLOOR PLAN, ELEV. 'A'

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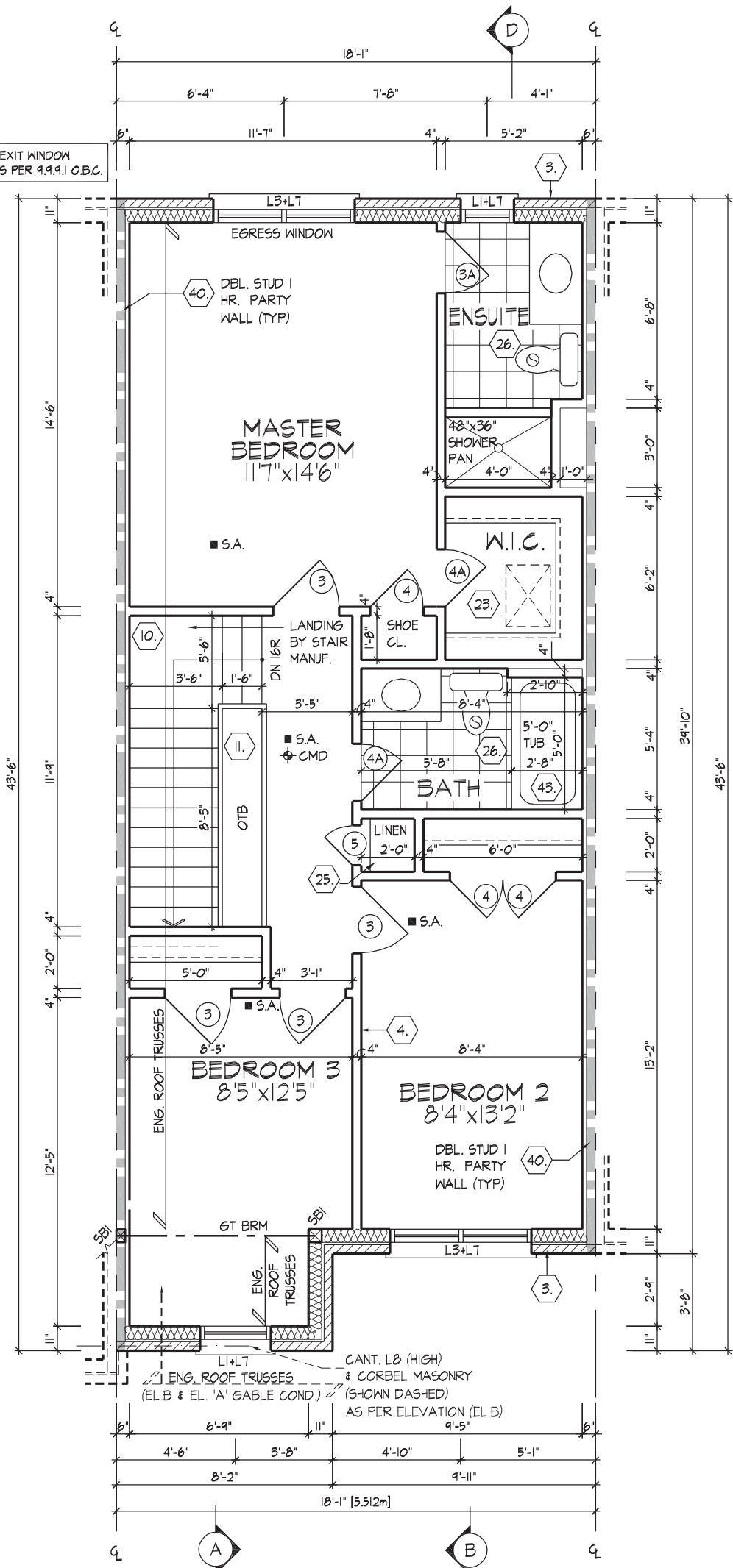
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Drawn By RV Checked By DS Scale 3/16"=1'-0" File Number 214042WT1801 Page Number 4 of 15

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* NOTE: ACCESS TO EXIT WINDOW FROM 3-STORY AS PER 9.9.9.1 O.B.C.



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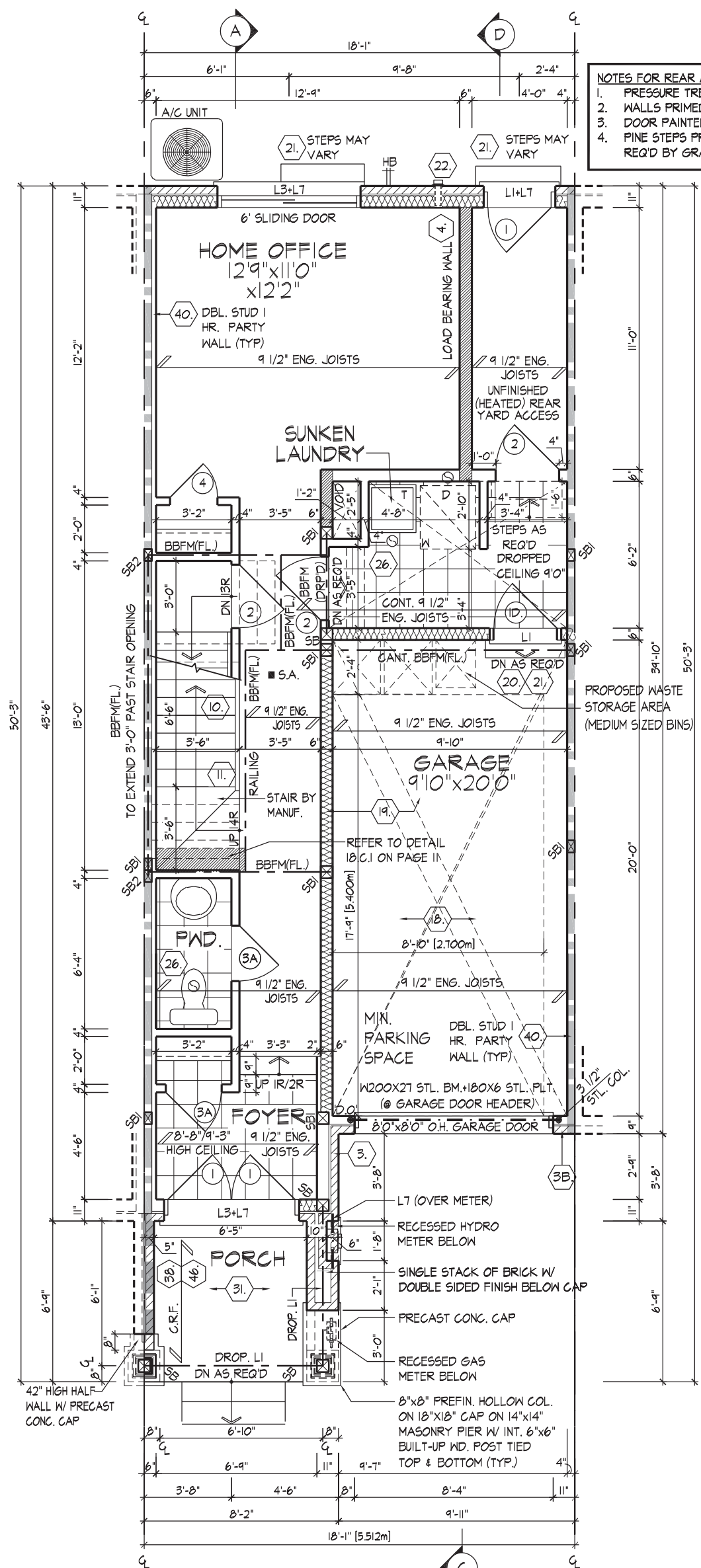
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GROUND FLOOR PLAN, EL. 'B'

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QUALIFICATION INFORMATION
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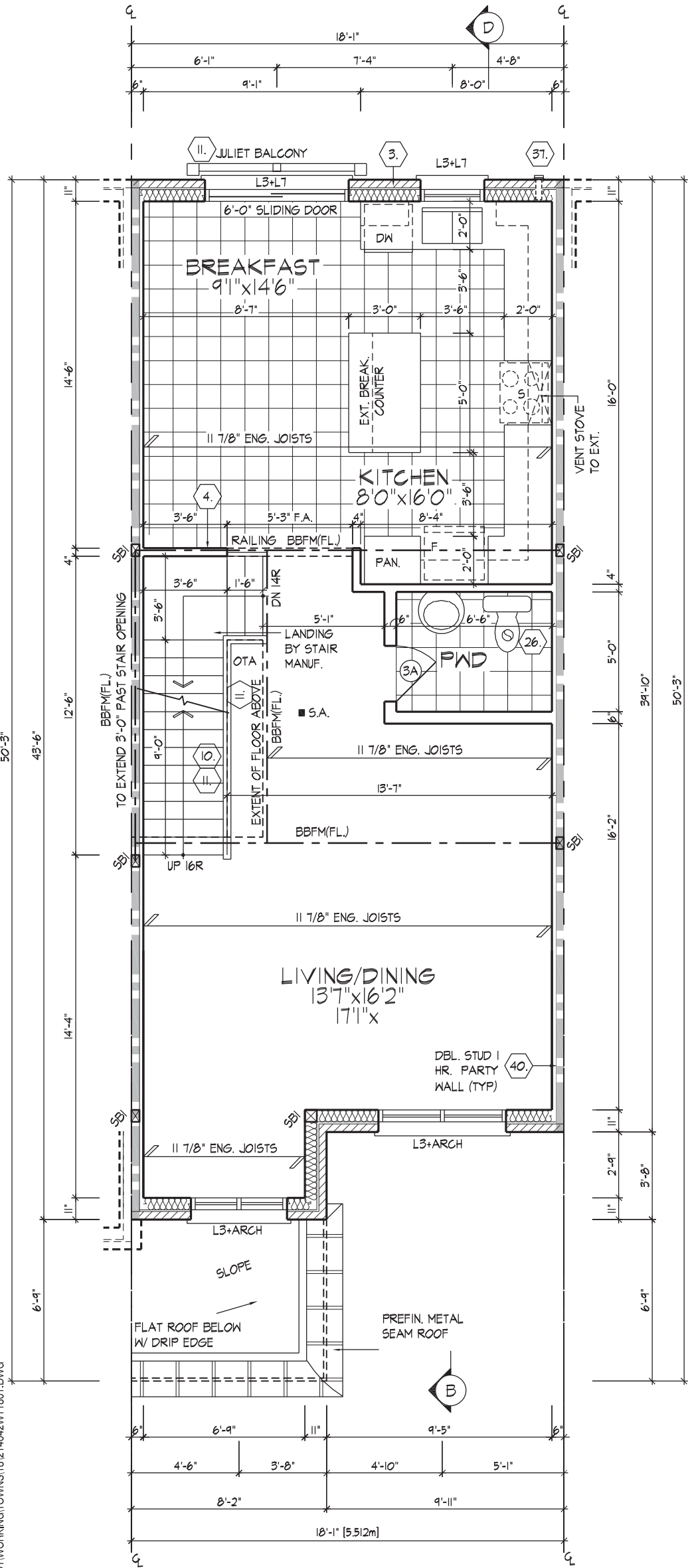


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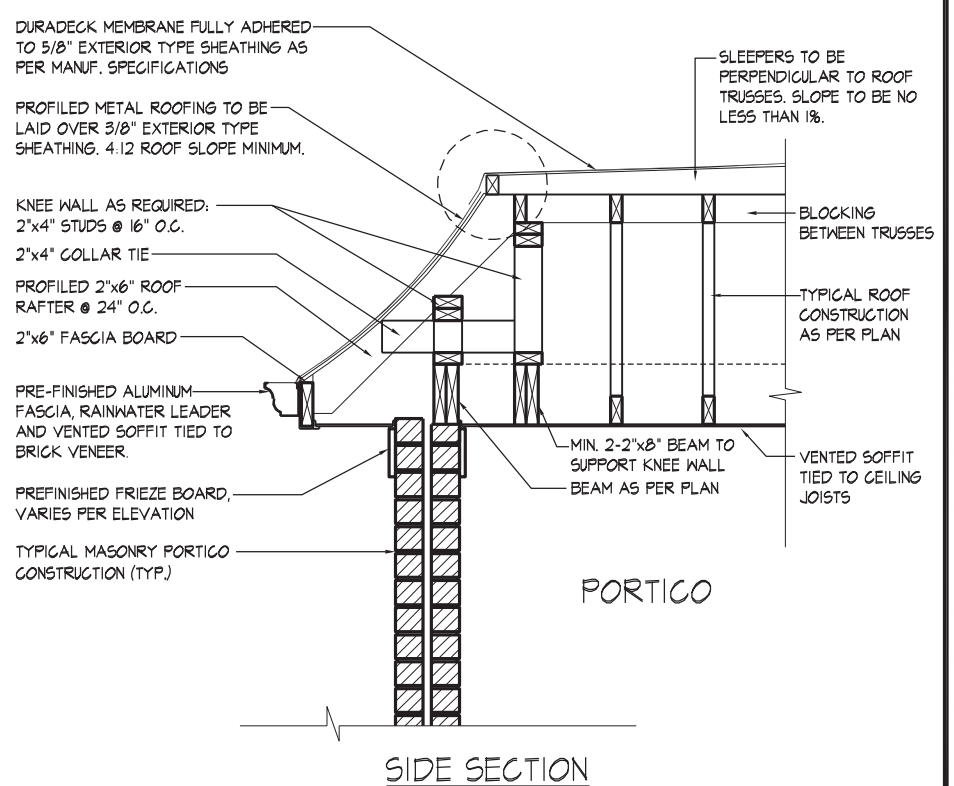
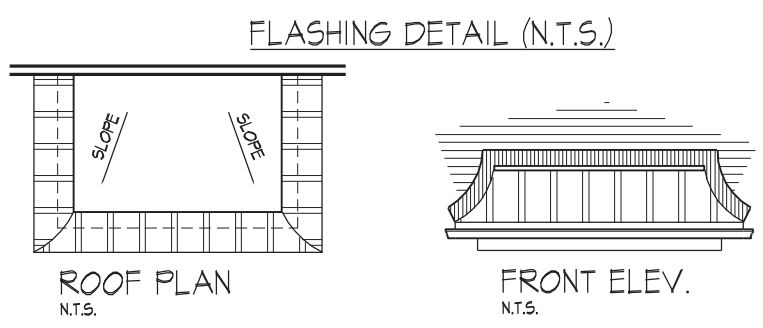
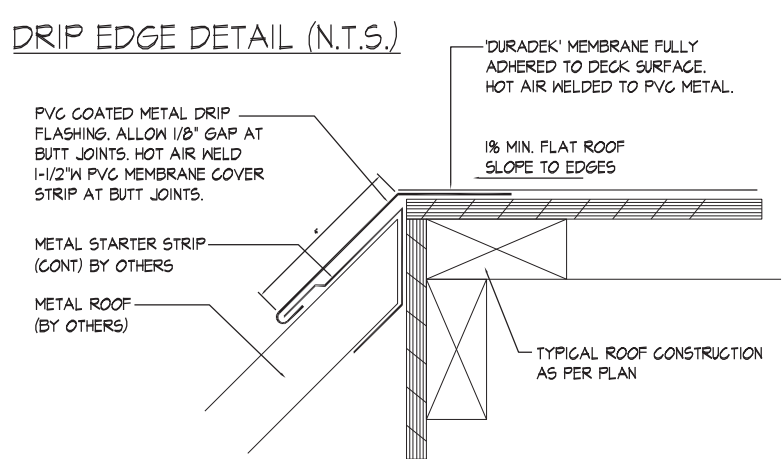
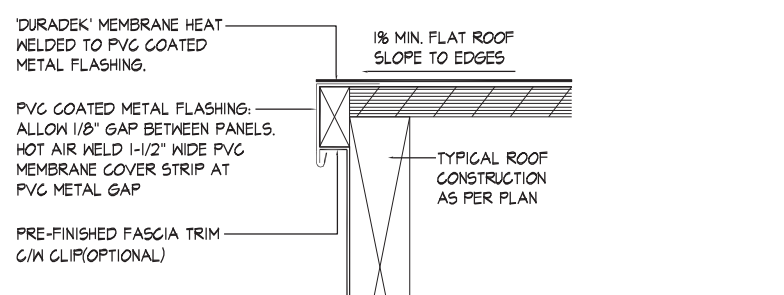
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TYPICAL FLAT ROOF WITH COPING DETAILS

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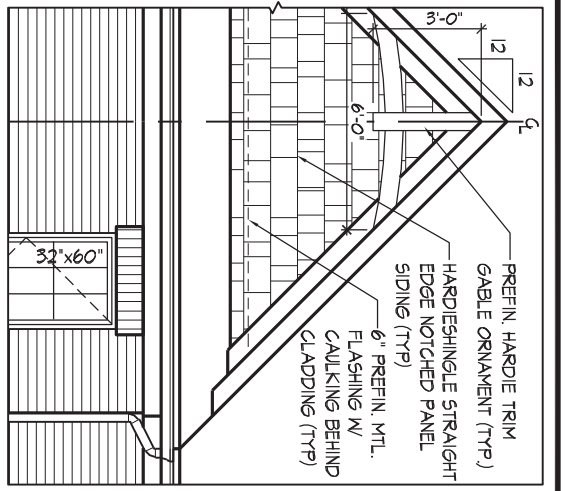
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MAIN FLOOR PLAN, EL. 'B'

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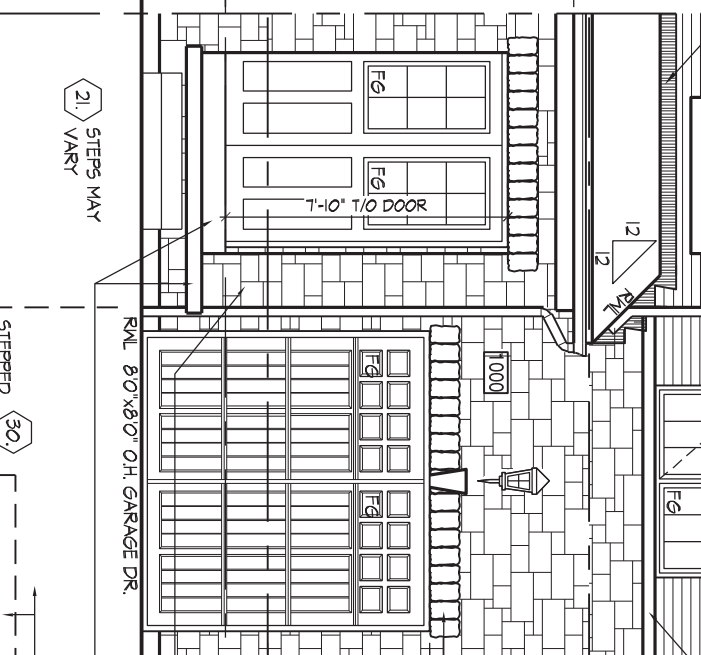
PART. FRONT EL. 'A'
GABLE CONDITION

6" PREFIN. ALUM. CLAD
WD FRIEZE BRD. (TYP)
FACE BRICK (TYP)
CONT. PRECAST CONC
BAND ON BRICK
SOLDER COURSE W/
1/2" PROJ. (TYP)

6" PREFIN. MTL. FLASHING
W/ CAULKING TO MATCH
MASONRY COLOUR (TYP)

INTERIOR PORCH
SECTION 'D'

4'-11" 2'-4" 1'-2" 8'-6" U/S OF SOFFIT

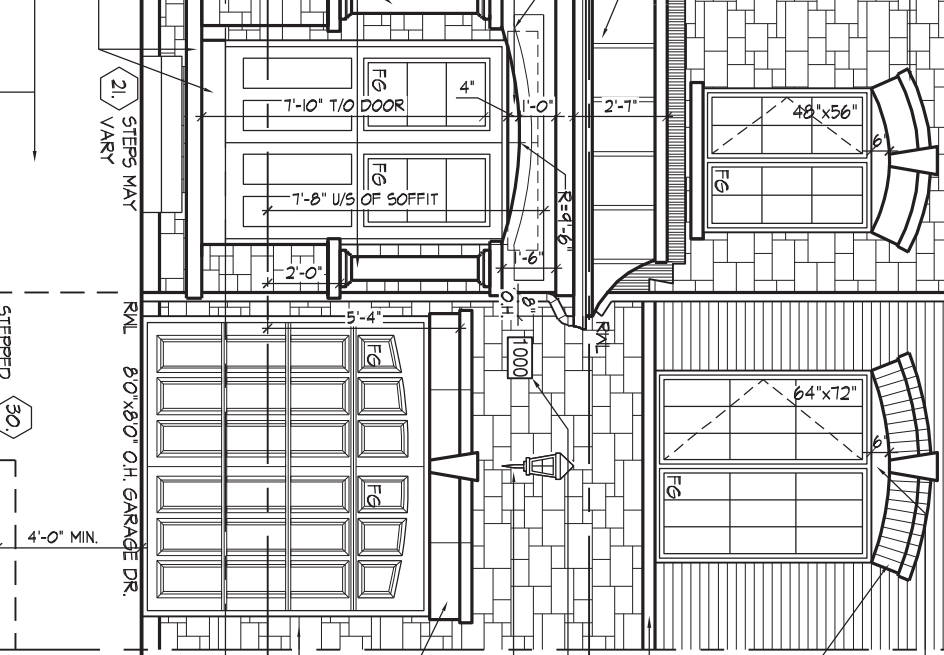


FRONT ELEVATION 'A'

34'-10" [12.3m] TOP OF ROOF
33'-5" [10.19m] MEAN OF ROOF

BRICK ROMLOCK ON SOLDIER COURSE W/ PRECAST CONC. KEYSTONE W/ 1/2" PROJ. (TYP)
4" 1/4" SELF-SUPPORTING PRECAST CONC. ARCH HEADER W/ KEYSTONE W/ 1/2" PROJ. (TYP)
CONT. PRECAST CONC. SILL W/ 1/2" PROJ. (TYP)
PREFIN. SEAM METAL ROOF W/ DRIP EDGE (TYP)
HARDIE BOARD W/ RAISED HARDIE TRIM OR EQ. (TYP)
PRECAST CONC. HEADER W/ 1/2" PROJ. (TYP)
STONE HEADER W/ PRECAST CONC. KEYSTONE (TYP)
8" x 8" PREFIN. HOLLOW COL. ON 1 1/2" x 1 1/2" CAP ON 1 1/4" x 1 1/4" MASONRY PIER W/ INT. 6" x 6" BUILT-UP WD. POST TIED TOP & BOTTOM (TYP)

1 1/2" x 1 1/2" STONE PIER W/ INT. 6" x 6" BUILT-UP WD. POST TIED TOP & BOTTOM (TYP)
POURED CONC. PORCH SLAB & DOOR SILL (TYP)
POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP)



FRONT ELEVATION 'B'

6" MTL. FLASHING W/ CAULKING TO MATCH MASONRY COLOUR (TYP)
BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP)
PRECAST CONC. BAND ON BRICK SOLDIER COURSE W/ 1/2" PROJ. (TYP)
HARDIE BOARD OR EQ. (TYP)
SELF-SUPPORTING BRICK ROMLOCK ON SOLDIER COURSE ARCH W/ PRECAST CONC. KEYSTONE W/ 1/2" PROJ. (TYP)
CONT. PRECAST CONC. SILL (TYP)
ADDRESS PLAQUE (TYP)
COACH LAMP (TYP)
4" 1/4" PRECAST CONC. HEADER W/ KEYSTONE W/ 1/2" PROJ. (TYP)
STONE VENEER (TYP)
SUNKEN FOYER

FIN. MAIN FLR.
FIN. THIRD FLR.
TOP OF WINDOW
TOP OF WINDOW
TOP OF PLATE
TOP OF WINDOW
TOP OF WINDOW
FIN. GROUND FLR.
FIN. GRADE
TOP OF BASEMENT SLAB

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with all applicable zoning, building and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAY 21, 2019

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FRONT ELEVATION 'A' & 'B'

Drawn By: DS
Checked By: DS
Scale: 3/16"=1'-0"
File Number: 214042WT1801
Page Number: 8 of 15

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QUALIFICATION INFORMATION
Derek R. Santos 37308 BCIN

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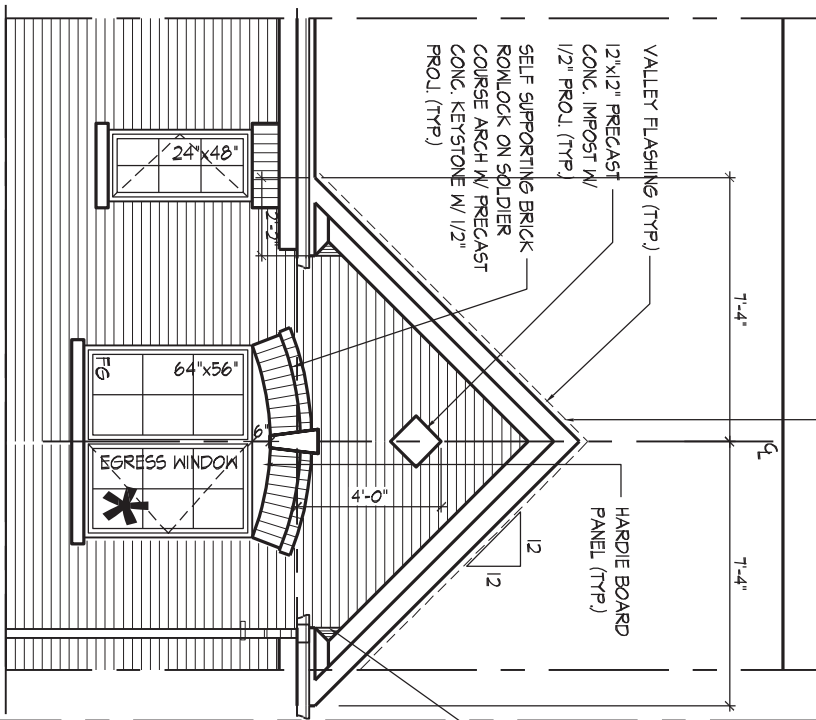
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"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

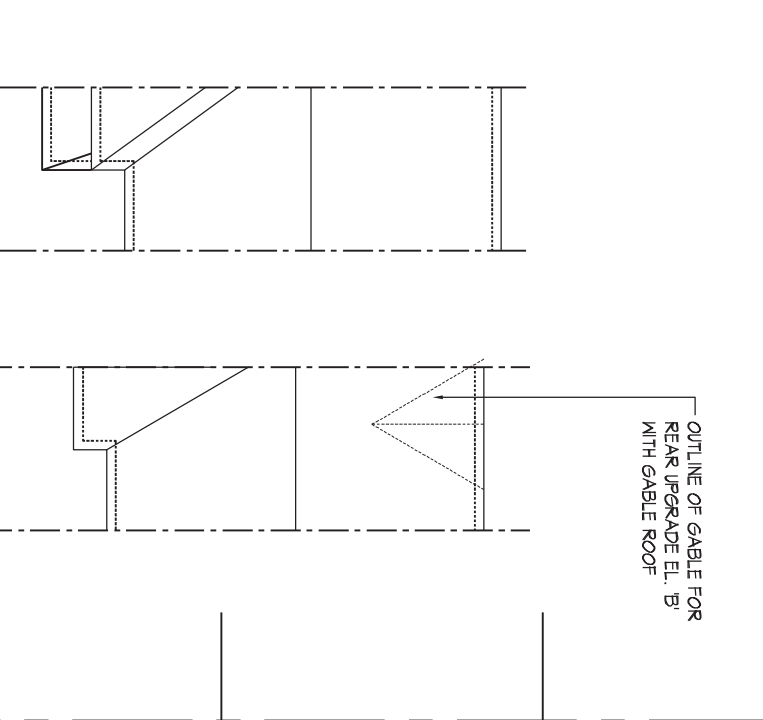
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C.R.F. (36)
BUILT-OVER TRUSS FOR GABLE

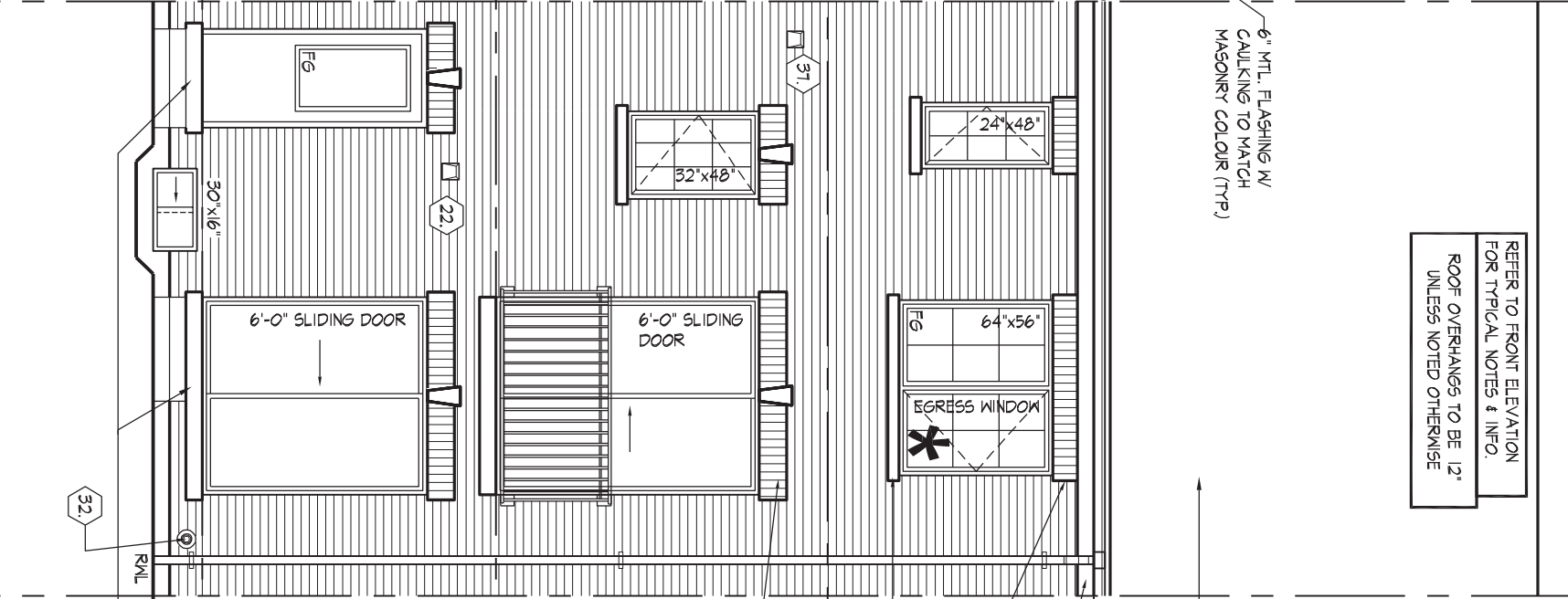


REAR UPGRADE ELEVATION 'B'
W/ GABLE ROOF

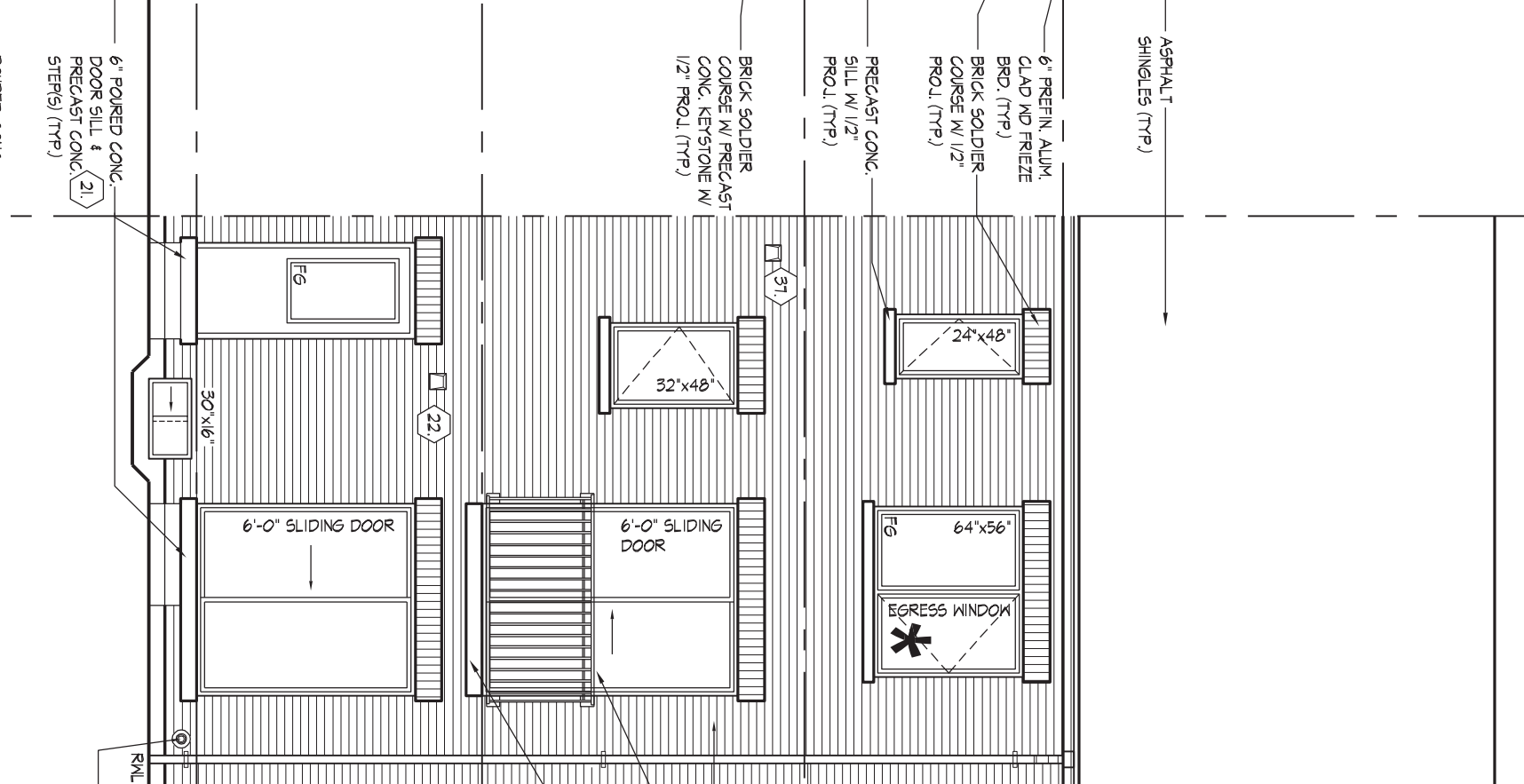


REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFO. ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

REAR UPGRADE ELEVATION 'A' & 'B'



REAR ELEVATION 'A' & 'B'

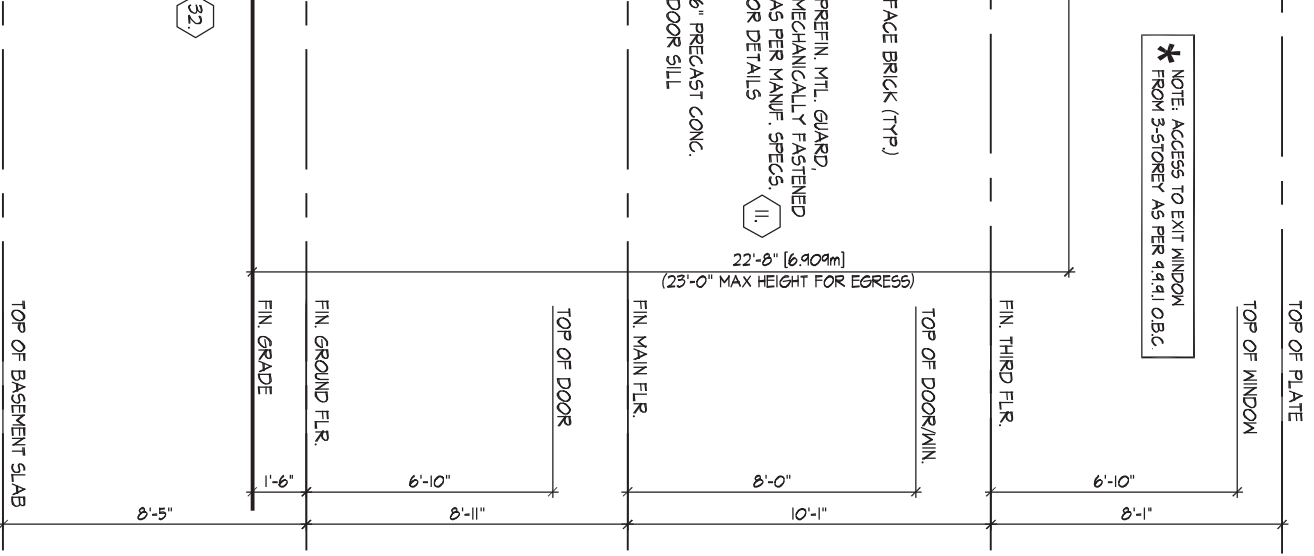


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APPROVED BY: _____
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* NOTE: ACCESS TO EXIT WINDOW FROM 3-STOREY AS PER 4.4.1 O.B.C.

FACE BRICK (TYP)
PREFIN. MTL. GUARD, MECHANICALLY FASTENED AS PER MANUF. SPECS. (11)
6" PRECAST CONC. DOOR SILL



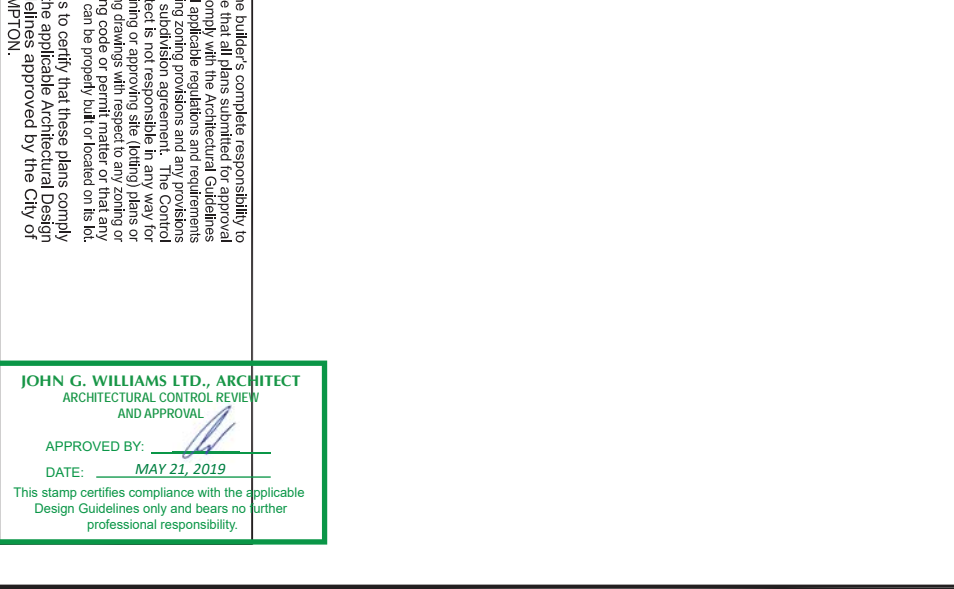
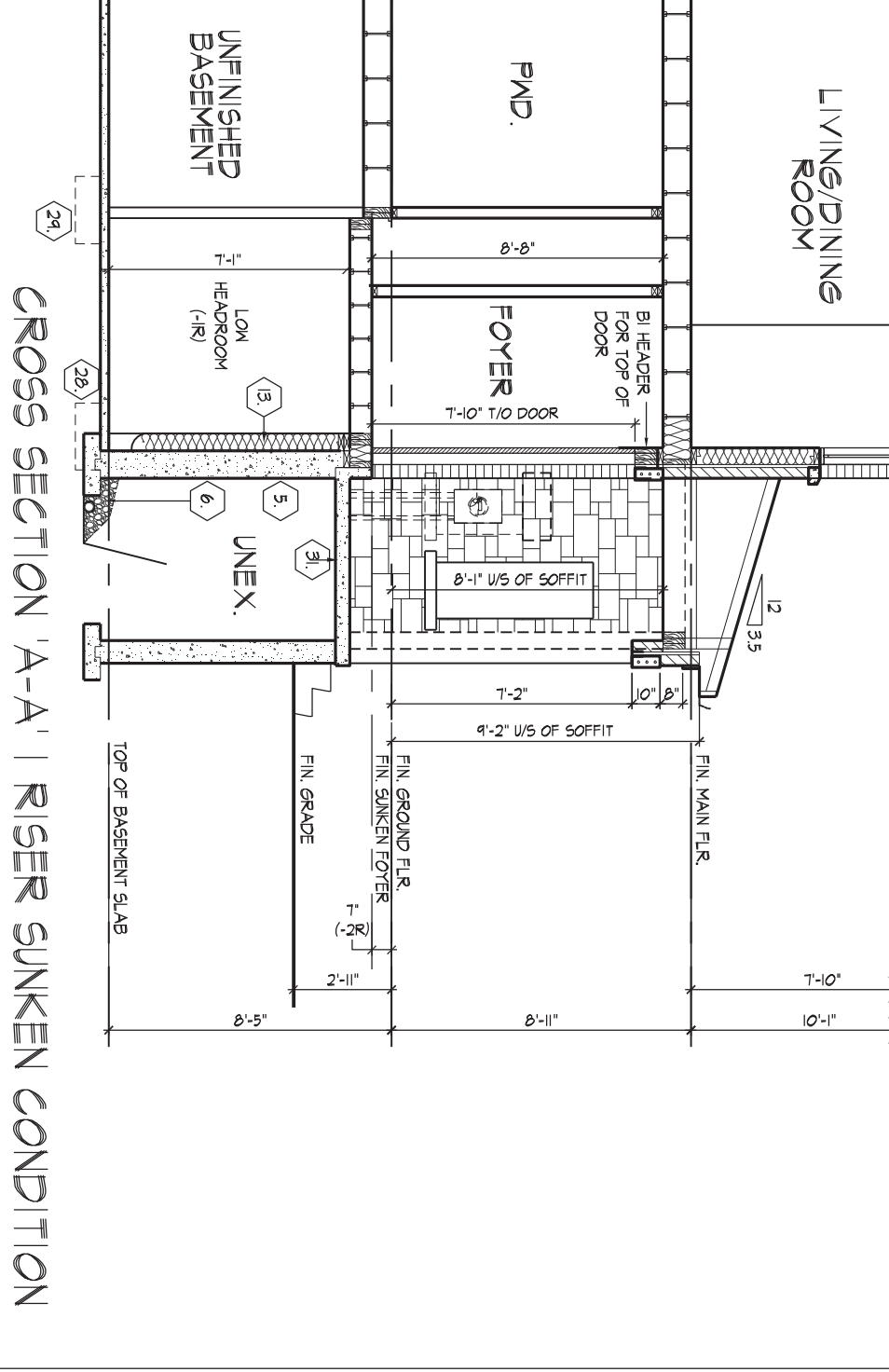
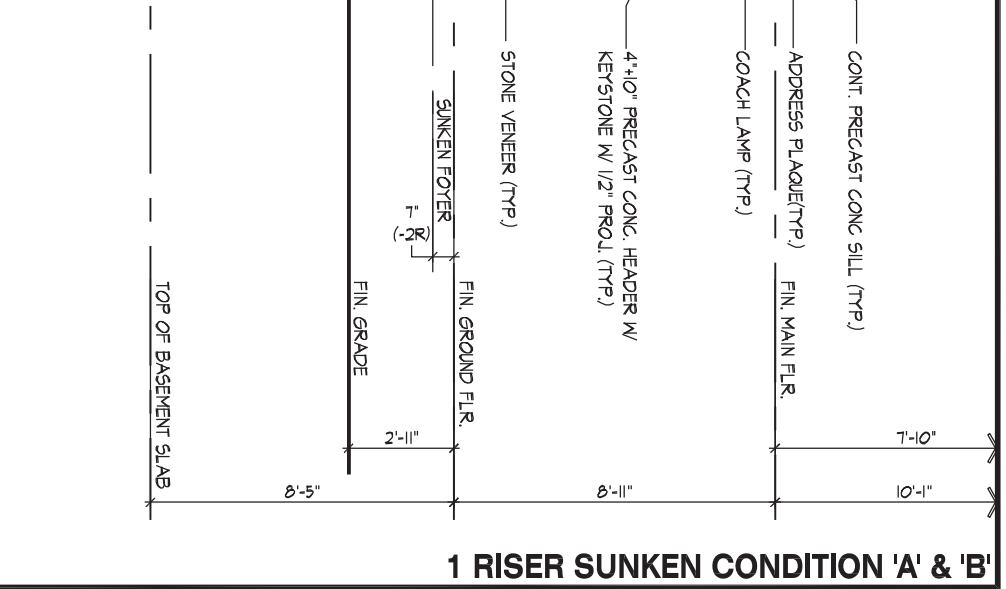
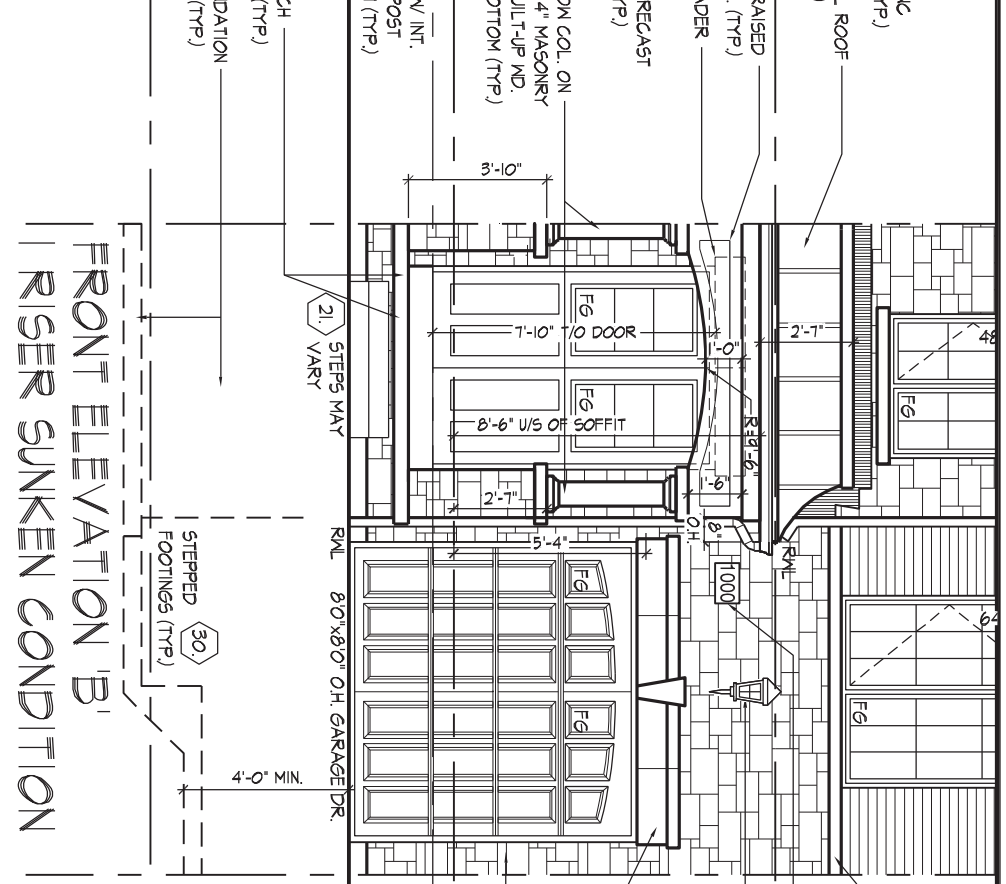
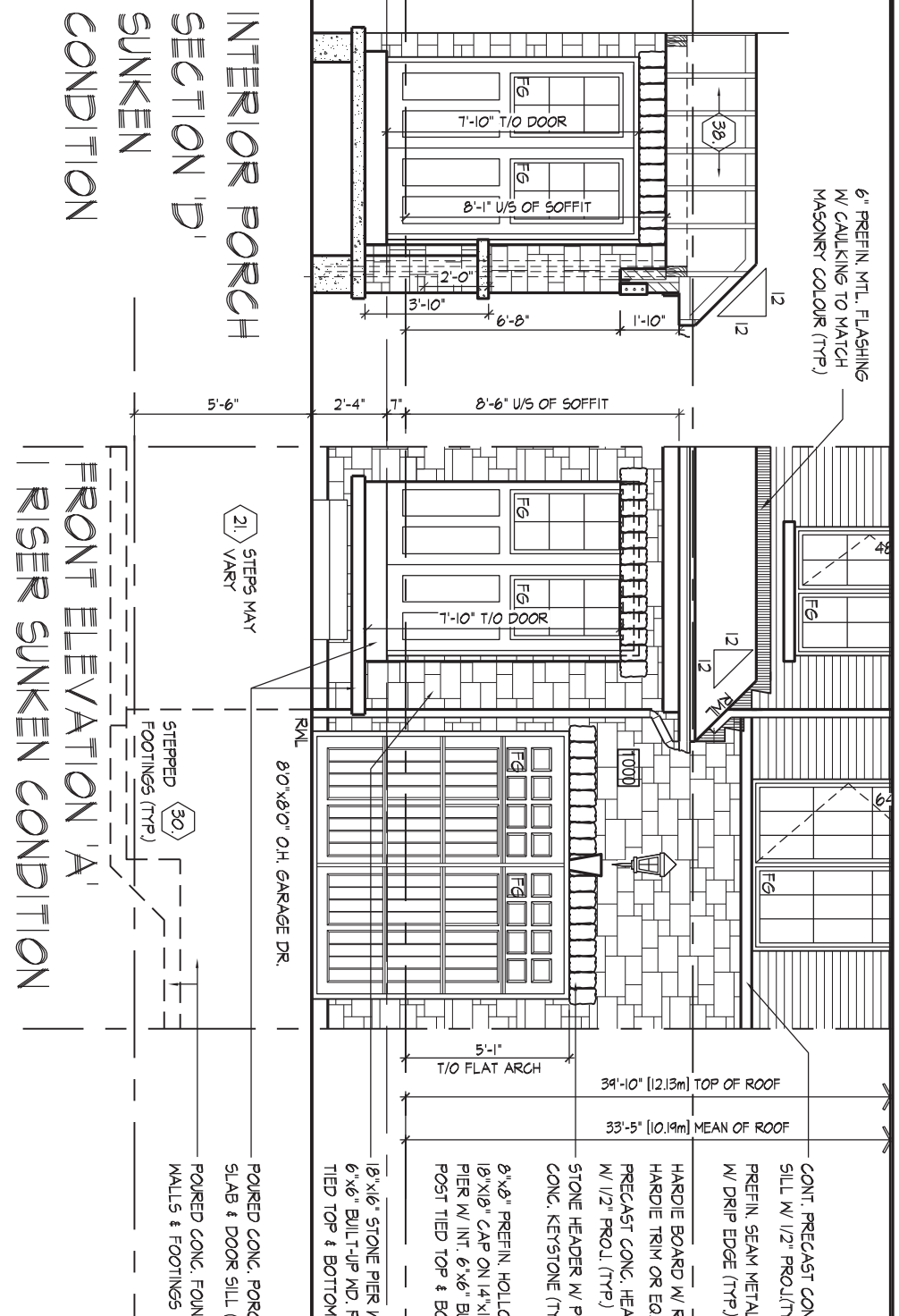
REAR ELEVATION 'A' & 'B'

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QUALIFICATION INFORMATION
Derek R. Santos 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

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Drawn By RV Checked By DS Scale 3/16"=1'-0" File Number 214042WT1801 Page Number 9 of 15
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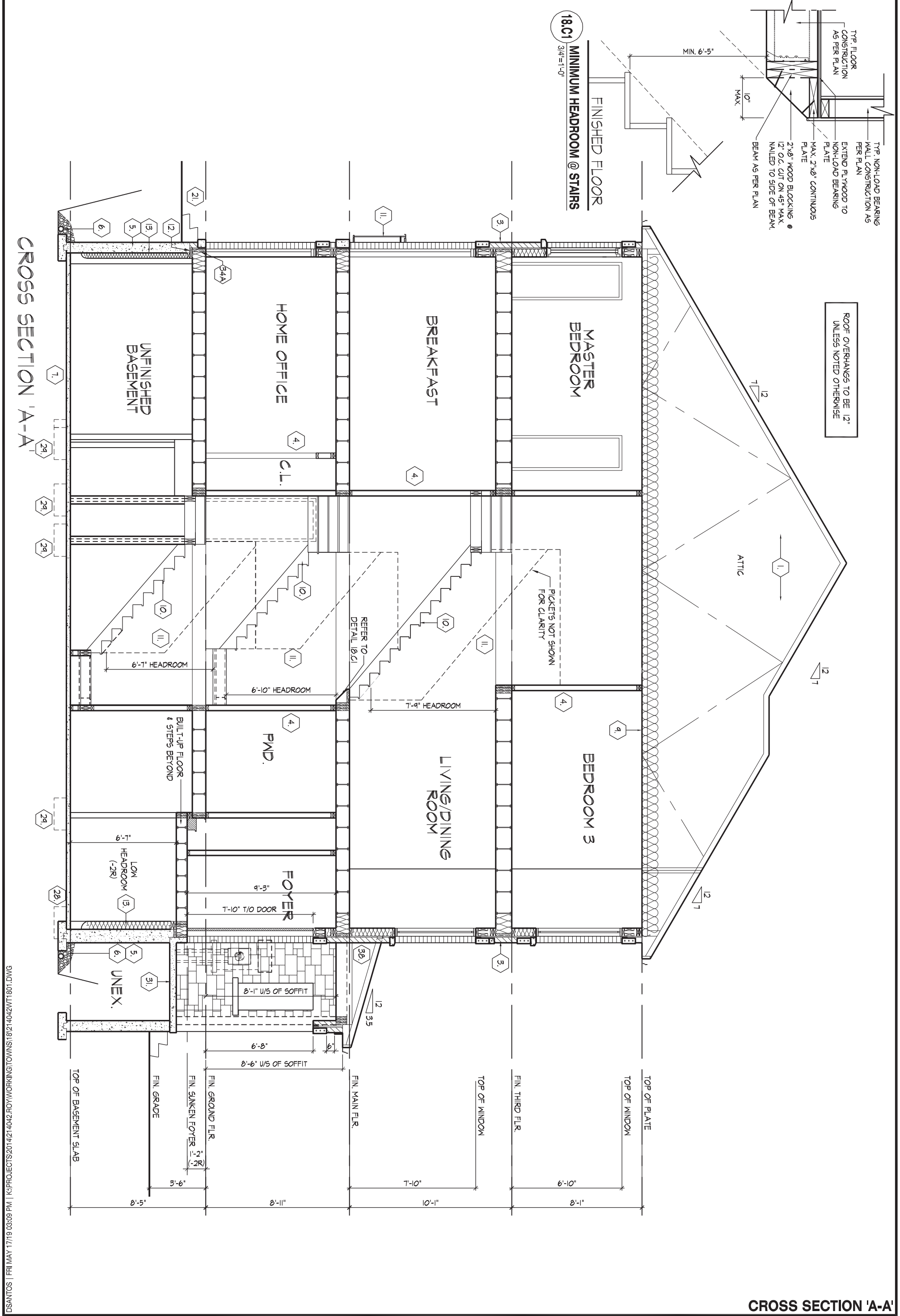
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DATE: MAY 21, 2019

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1 RISER SUNKEN CONDITION 'A' & 'B'

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CROSS SECTION 'A-A'

CROSS SECTION 'A-A'

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 QUALIFICATION INFORMATION
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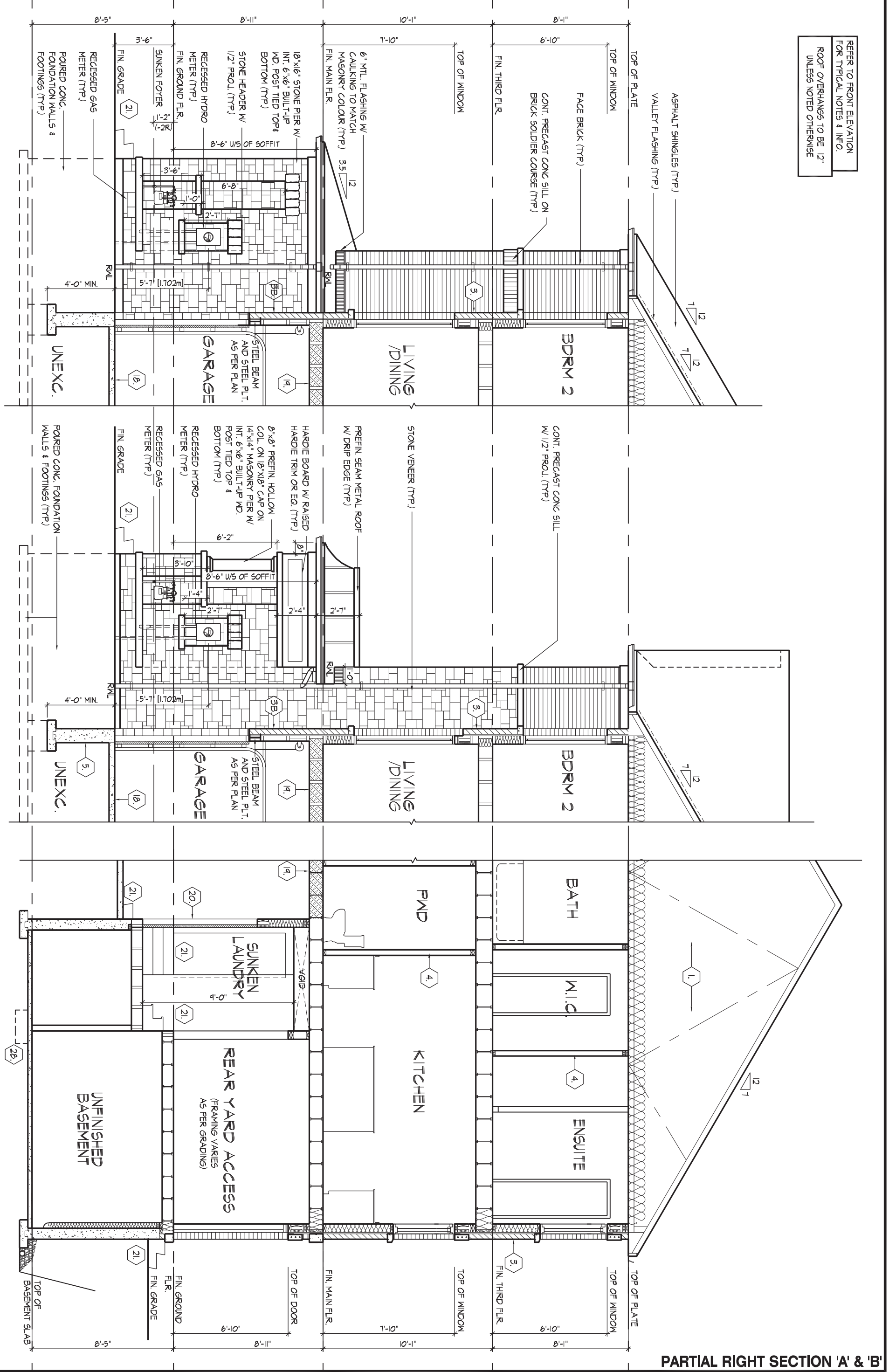
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PARTIAL SECTION 'B', EL. 'A'

PARTIAL SECTION 'C', EL. 'B'

PARTIAL SECTION 'D', EL. 'A' & 'B'



PARTIAL RIGHT SECTION 'A' & 'B'

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QUALIFICATION INFORMATION
 Derek R. Santos 37308
 NAME BCIN
 REGISTRATION INFORMATION

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cont. SECTION 1.0. CONSTRUCTION NOTES

- 40 1 HR. PARTY WALL (CONC. BLOCK) (SB-3) WALL TYPE 'B6e' & 'B1b' 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.
40 DEL. STUO 1 HR. PARTY WALL (DOUBLE STUD) (SB-3) WALL TYPE 'W13c' 5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.
40A 2 HR. FIREWALL (SB-3) WALL TYPE 'B6e' & 'B1b' 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS, TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)
41 STUCCO WALL CONSTRUCTION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARD ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
41A STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURERS SPECIFICATIONS, ON 7/16" EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)
41B STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.)
42 UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8'-0" TO 10'-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING) - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL
43 STUD WALL REINFORCEMENT PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)
44 WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)
45 SLOPED CEILING CONSTRUCTION (SB-12) 2.1.1.7., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).
46 FLAT ROOF/BALCONY CONSTRUCTION WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3). REMOVE CURB WHERE REQ.
BALCONY CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE. INCLUDE 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS
BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND INTERIOR FINISH
47 BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD. INTERIOR FIN. (REFER TO DETAILS)

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

Table with 5 columns: MIN. STUD SIZE, in (mm), SUPPORTED LOADS (EXTERIOR), ROOF w/ OR w/o ATTIC, ATTIC & 1 FLOOR, ATTIC & 2 FLOOR, ATTIC & 3 FLOOR. Rows include 2"x4" (38x89) and 2"x6" (38x140) studs.

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1.) 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2 4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS
2.2. CEILING HEIGHTS THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

Table with 2 columns: ROOM OR SPACE, MINIMUM HEIGHTS. Rows include Living Room, Dining Room and Kitchen, Bedroom, Basement, Bathroom, Laundry Area Above Grade, Finished Room Not Mentioned Above, Mezzanines, Storage Garage.

- 2.3. MECHANICAL / PLUMBING 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS, WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS. 2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6. 3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES. 4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF 3.1.1.12. OF THE O.B.C.
2.4. LUMBER 1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE. 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE. 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER. 5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE. IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM. No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

- 2.5. STEEL (9.23.4.3.) 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H". 2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

- 2.6. FLAT ARCHES 1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.
2.7. ROOF OVERHANGS 1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.
2.8. FLASHING (9.20.13., 9.26.4. & 9.27.3.) 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.
2.9. GRADING 1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.
2.10. ULC SPECIFIED ASSEMBLIES ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 3.0. LEGEND

Table with 3 columns: CODE, SIZE, BRICK, STONE. Includes sections for Wood Lintels and Built-up Wood, and Steel Lintels Supporting Masonry Veneer.

3.3. DOOR SCHEDULE

Table with 5 columns: ID, EXTERIOR/INTERIOR, SIZE, COMMENTS. Includes notes on door types and interior door requirements.

3.4. ACRONYMS

Table with 2 columns: ABBREVIATION, MEANING. Includes terms like AFF, BBFM, BG, BM, BBRM, CRF, C/W, DJ/TJ, DO, DRP, ENG, EST, FA, FD, FG, FL, FLR, GT, HB, HRV, HWT, etc.

3.5. SYMBOLS

Table with 2 columns: SYMBOL, DESCRIPTION. Includes symbols for Class 'B' Vent, Exhaust Vent, Duplex Outlet, Heavy Duty Outlet, Rough in for Electric Vehicle Charging Station, Pot Light, Light Fixture, Telephone Jack, Cable T.V. Jack, Central Vacuum Outlet, Smoke Alarm, Carbon Monoxide Alarm, Solid Bearing.

Table with 2 columns: SYMBOL, DESCRIPTION. Includes symbols for Two Storey Volume Space, Varying Plates, Exposed Building Face.

Table with 2 columns: SYMBOL, DESCRIPTION. Includes symbols for 1 HR. PARTY WALL and 2 HR. FIREWALL.

SECTION 4.0. CLIMATIC DATA

Table with 2 columns: DESIGN SNOW LOAD (9.4.2.2.): 1.12 kPa, WIND LOAD (q50) (SB-1.2.): 0.44 kPa

Table with 2 columns: STAMP, CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK.

CONSTRUCTION NOTES 2 OF 2

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STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
Derek R. Santos 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695



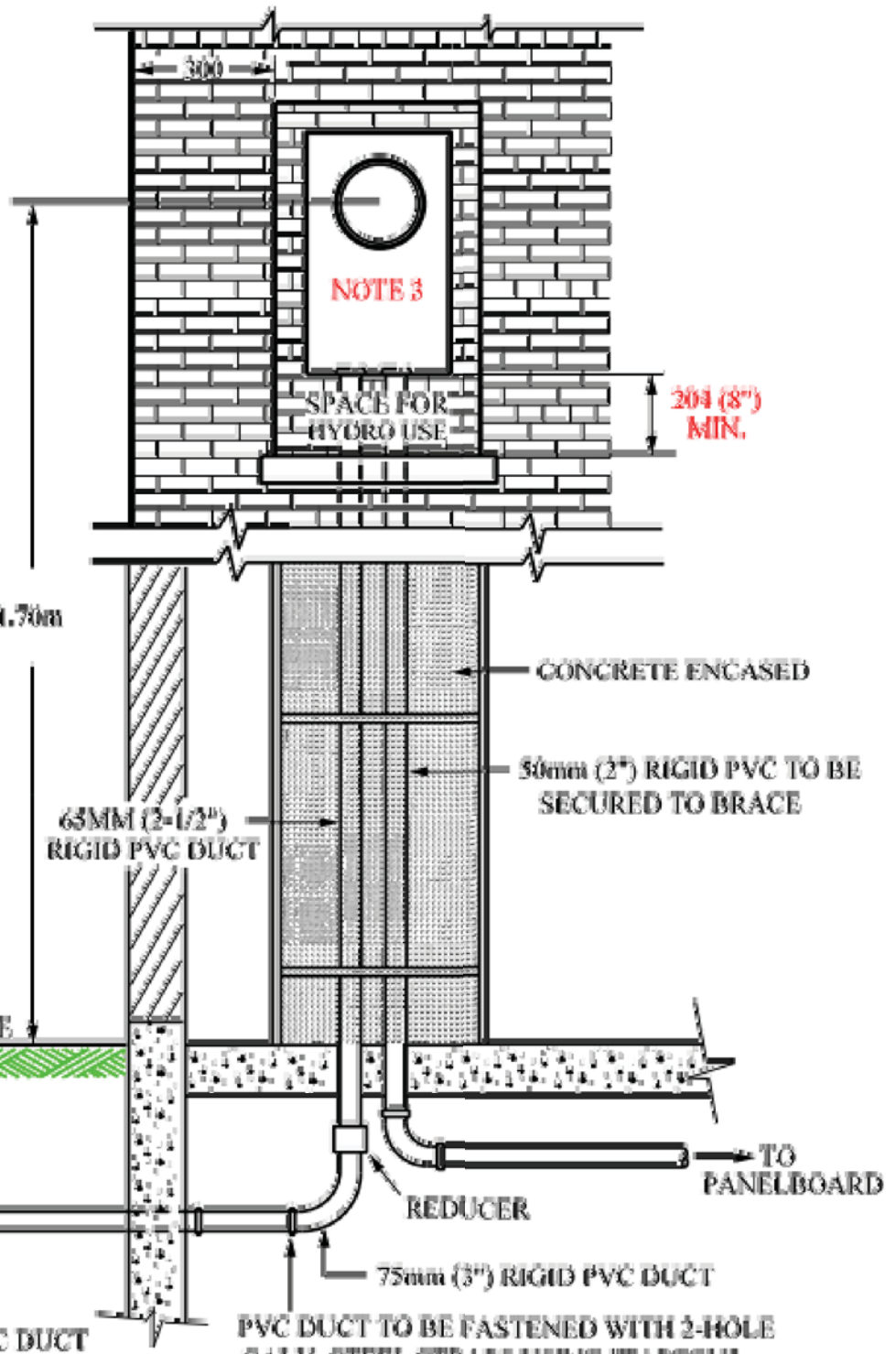
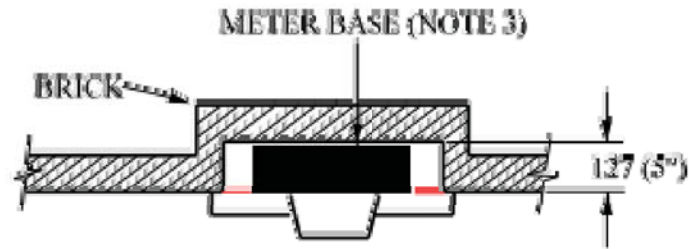
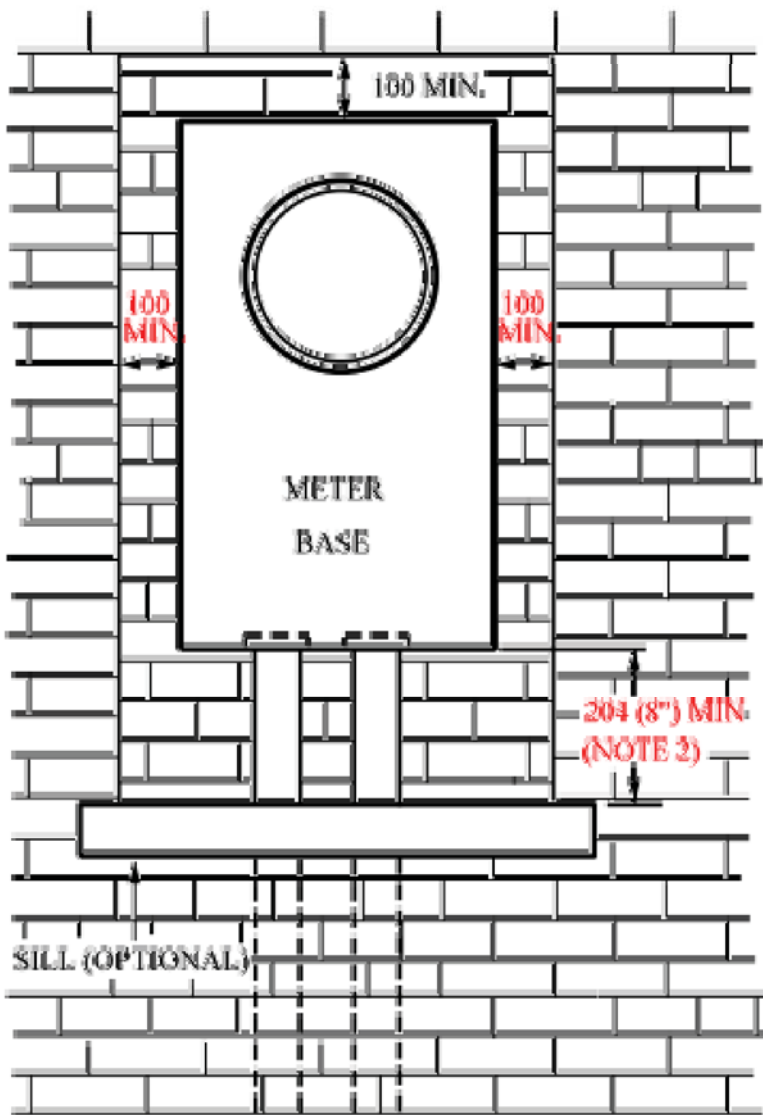
ROYAL PINE HOMES-FORESTSIDE ESTATES PH1 - 214042 'ANGELICA' - 1801 'MANOR OF CLAIREVILLE', BRAMPTON, ONT. REV.2019.05.17
Drawn By Checked By Scale File Number Page Number
RV DS 3/16"=1'-0" 214042WT1801 14 of 15
www.hunt-design.ca 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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CONCRETE COVER, MASONRY BRICK & SILL COVERING OVER THE CONDUITS LEADING INTO METER BASE ARE NOT REQUIRED - PLEASE FOLLOW ARCHITECTURAL DRAWINGS FOR ACTUAL ALCOVE CONDITION FOR EACH UNIT.



27-07
13-04-11-R2
CERTIFIED



BOX DETAIL

NOTE:

1. METER SOCKET MUST BE SECURED TO THE INSIDE WALL OF THE BOX OPENING.
2. MINIMUM 304mm CLEARANCE FOR HYDRO USE AND INCREASE SPACE REQUIRED FOR INSTALLATION OF OTHER UTILITY BOXES.
3. METER BASE BOX FACE MUST BE IN LINE WITH THE OUTSIDE BRICK WALL.
4. ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.

PVC DUCT TO BE FASTENED WITH 2-HOLE GALV. STEEL STRAPS USING "TAPCON" CONCRETE ANCHORS OR EQUIVALENT EVERY 2 FT. FOR THE ENTIRE LENGTH OF THE FOUNDATION WALL.

| REFERENCE MATERIAL | SECTION |
|--------------------|----------|
| UNDERGROUND | 15 37 |

CHECKED: *W. R.*

APPROVED: *[Signature]*

ORIGINAL ISSUE: APRIL 09, 2010

| APPROVED IN ACCORDANCE WITH REGULATION 633.04 | | |
|---|--|--------------------------------|
| DATE | REVISION | APPVD |
| 13-04-11 | CHGD METER BASE CLEARANCE FROM WALL TO 100 | <i>W.R.</i> <i>[Signature]</i> |

CONDOMINIUM TOWNHOUSES
RECESSED METER BASE

HYDRO ONE BRAMPTON DETAIL 27-07

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THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Derek R. Santos 37308
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REGISTRATION INFORMATION

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ROYAL PINE HOMES-FORESTSIDE ESTATES PH1 - 214042 'ANGELICA' - 1801 'MANOR OF CLAIREVILLE', BRAMPTON, ONT. REV.2019.05.17

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