



ELEVATION 'A'



ELEVATION 'B'

UNIT 2204-CORNER - T4

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1	SPACE HEATING FUEL		
	<input type="checkbox"/> GAS	<input type="checkbox"/> OIL	
	<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE	
	<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL	
BUILDING COMPONENT	REQUIRED	PROPOSED	
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)	
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)	
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)	
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)	
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *	
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)			
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-	
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)	
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6	
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8	
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)	96%	96%	
HRV EFFICIENCY (%)	75%	75%	
DHW HEATER (EF)	0.8	0.8	

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A'
- 3 - GROUND FLOOR PLAN, EL. 'A'
- 4 - SECOND FLOOR PLAN, EL. 'A'
- 5 - OPTIONAL SECOND FLOOR PLAN, EL. 'A'
- 6 - BASEMENT PLAN, EL. 'B'
- 7 - GROUND FLOOR PLAN, EL. 'B'
- 8 - SECOND FLOOR PLAN, EL. 'B'
- 9 - OPTIONAL SECOND FLOOR PLAN, EL. 'B'
- 10 - FLANKAGE ELEVATION 'A'
- 11 - FRONT ELEVATION 'A'
- 12 - REAR ELEVATION 'A'
- 13 - FLANKAGE ELEVATION 'B'
- 14 - FRONT ELEVATION 'B'
- 15 - REAR ELEVATION 'B'
- 16 - LOOK OUT DECK CONDITION
- 17 - CROSS SECTION 'A-A'
- 18 - CONSTRUCTION NOTES 1
- 19 - CONSTRUCTION NOTES 2

AREA CALCULATIONS	EL. 'A'	EL. 'B'
	STD. PLAN	STD. PLAN
GROUND FLOOR AREA	1165.65 sq. ft.	1172.62 sq. ft.
SECOND FLOOR AREA	1336.18 sq. ft.	1336.18 sq. ft.
SUBTOTAL	2502 sq. ft.	2509 sq. ft.
DEDUCT ALL OPEN AREAS	0 sq. ft.	0 sq. ft.
TOTAL NET AREA	2502 sq. ft. (232.43 sq. m.)	2509 sq. ft. (233.08 sq. m.)
FINISHED BASEMENT	0 sq. ft.	0 sq. ft.
COVERAGE W/OUT PORCH	1383.80sq. ft. (128.56 sq. m.)	1390.77 sq. ft. (129.21 sq. m.)
COVERAGE W/ PORCH	1440.80 sq. ft. (133.85 sq. m.)	1447.77 sq. ft. (134.50 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. A	EL. B
	STD. PLAN	STD. PLAN
GROSS WALL AREA	3393.90sq. ft. (315.30 sq. m.)	3393.90sq. ft. (315.30 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	448.81 sq. ft. (41.70 sq. m.)	471.24 sq. ft. (43.78 sq. m.)
TOTAL WINDOW %	13.22 %	13.88 %



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

REVISIONS	DATE (YYYY/MM/DD)	BY
7. ISSUED FOR FINAL APPROVAL	2019/05/17	DS
6. REVISED AS PER STRUCTURAL ENGINEER COMMENTS	2018/08/08	MM
5. COORDINATED PLANS W/ FLOOR LAYOUTS AS PER MANUF.	2019/04/25	BB
4. COORDINATED PLANS W/ ROOF TRUSS LAYOUTS AS PER MANUF.	2019/04/25	BB
3. REVISED AS PER ARCHITECTURAL CONTROL COMMENTS	2019/04/25	BB
2. REVISED AS PER CLIENT COMMENTS	2018/02/13	MM
1. ISSUED FOR CLIENT REVIEW & PRICING	2018/01/17	MM

TITLE PAGE

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By	Checked By	Scale	File Number	Page Number
NS	MM/DS	3/16"=1'-0"	215044WS2204.T4.DWG	1 of 19

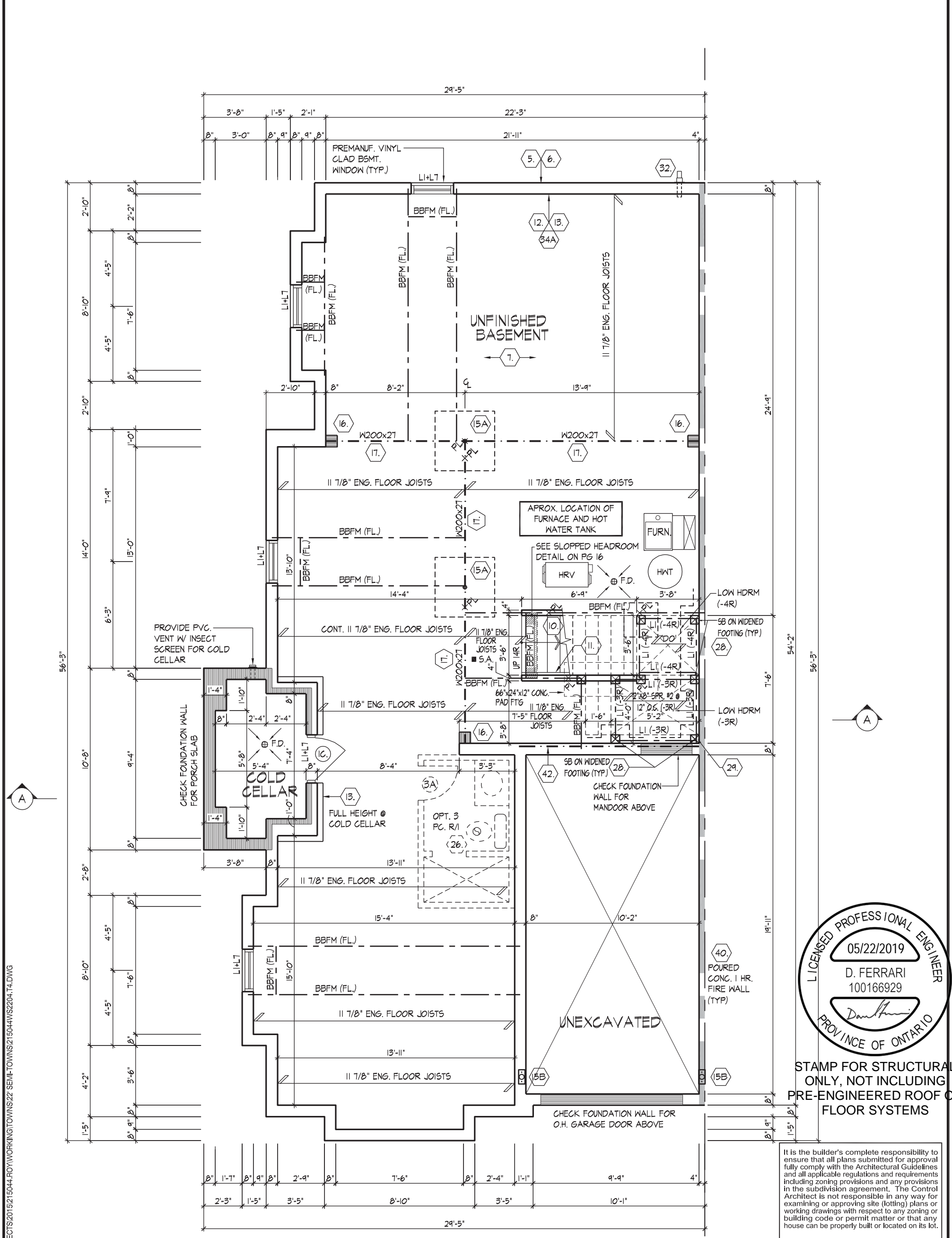
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

DSANTOS | FRI MAY 17 11:02:54 PM | K:\PROJECTS\2015\215044\ROYAL-PINE\WORKING\TOWNSHIP-SEMI-TOWNSHIP\215044WS2204.T4.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME SIGNATURE BCIN
 HUNT DESIGN ASSOCIATES INC. 19695

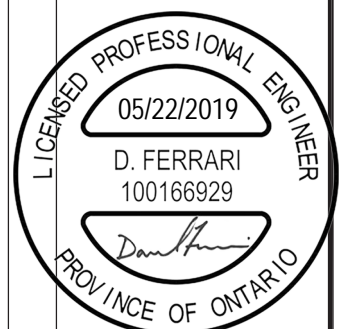




BASEMENT PLAN, EL. 'A'

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*
DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

DSANTOS | FRI MAY 17 11:02:54 PM | K:\PROJECTS\20151215044\ROY\WORKING\TOWNS22\SEMI-TOWNS215044\WS2204.T4.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
DEREK SANTOS 37308
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

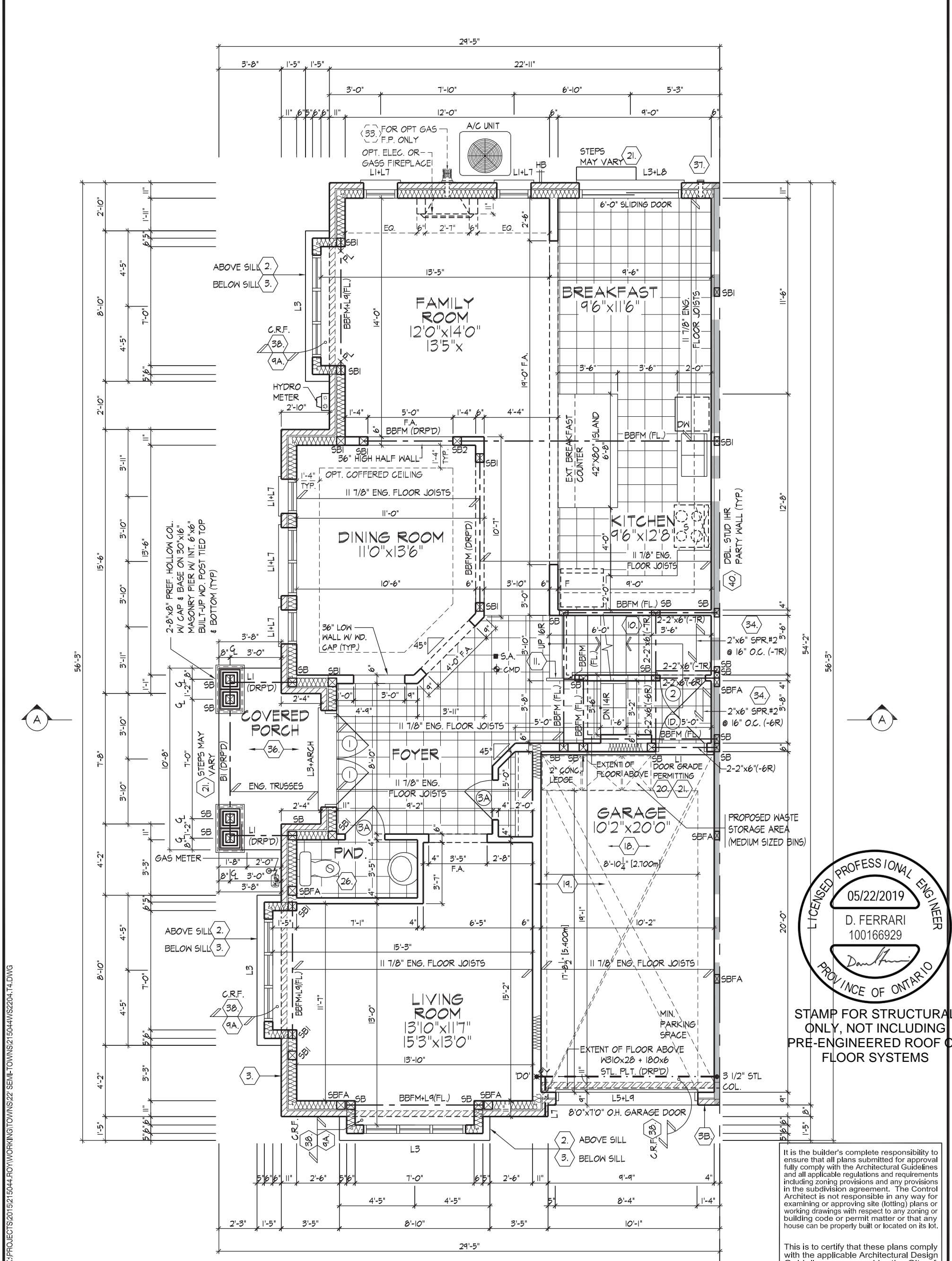
HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By: NS Checked By: MM/DS Scale: 3/16"=1'-0" File Number: 215044WS2204.T4.DWG Page Number: 2 of 19

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

GROUND FLOOR PLAN, EL. 'A'

ALL POSTS NOTED AS "SB" SHALL BE MIN. 2 1/2"x4" OR 2 1/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
 SB1 - MIN. 3/2"x4" OR 3/2"x6"
 SB2 - MIN. 4/2"x4" OR 4/2"x6"
 SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
 ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.



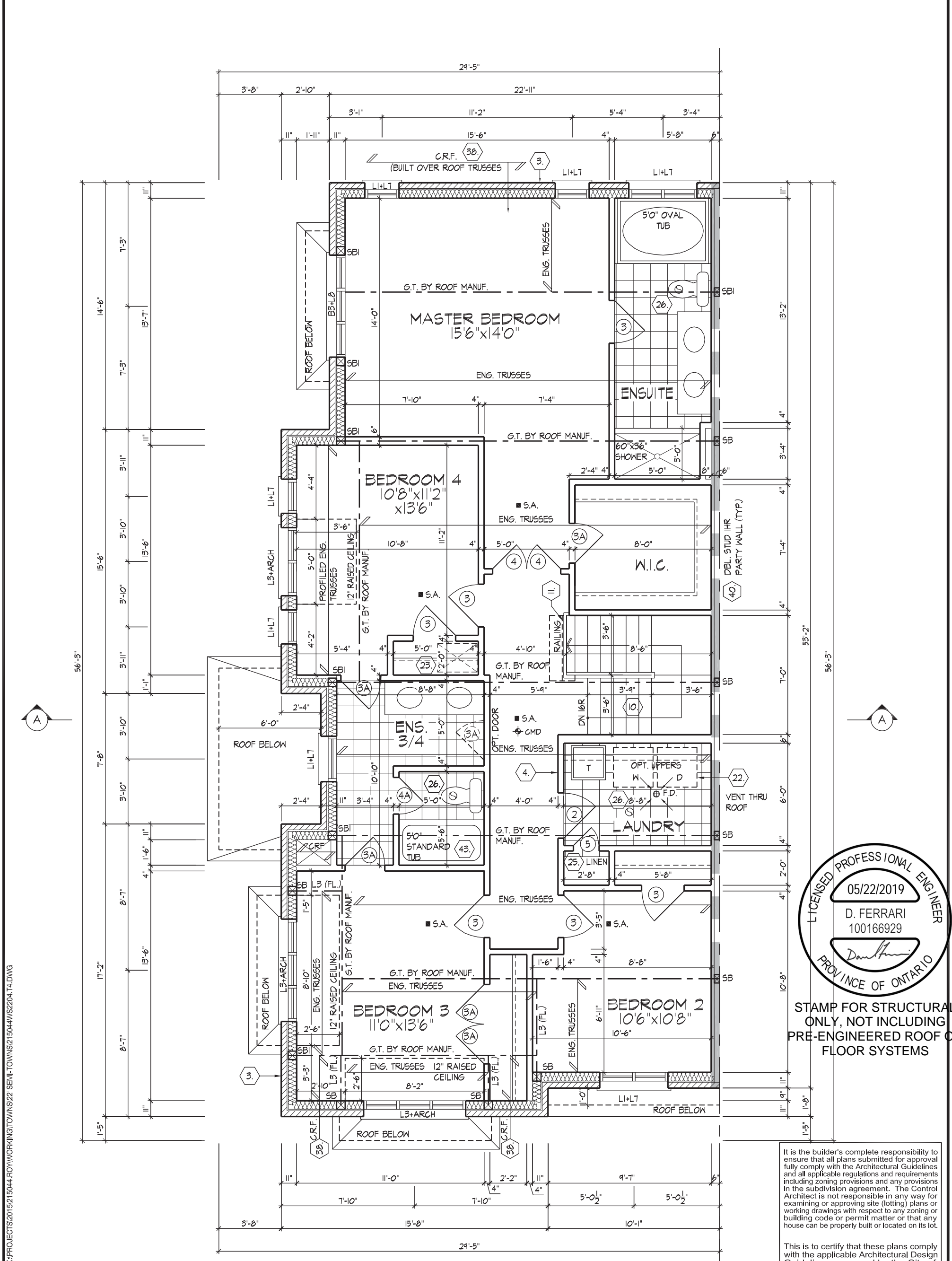
STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

GROUND FLOOR PLAN, EL. 'A'



SECOND FLOOR PLAN, EL. 'A'

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

ALL POSTS NOTED AS "SB" SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
 SB1 - MIN. 3/2"x4" OR 3/2"x6"
 SB2 - MIN. 4/2"x4" OR 4/2"x6"
 SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
 ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

SECOND FLOOR PLAN, EL. 'A'

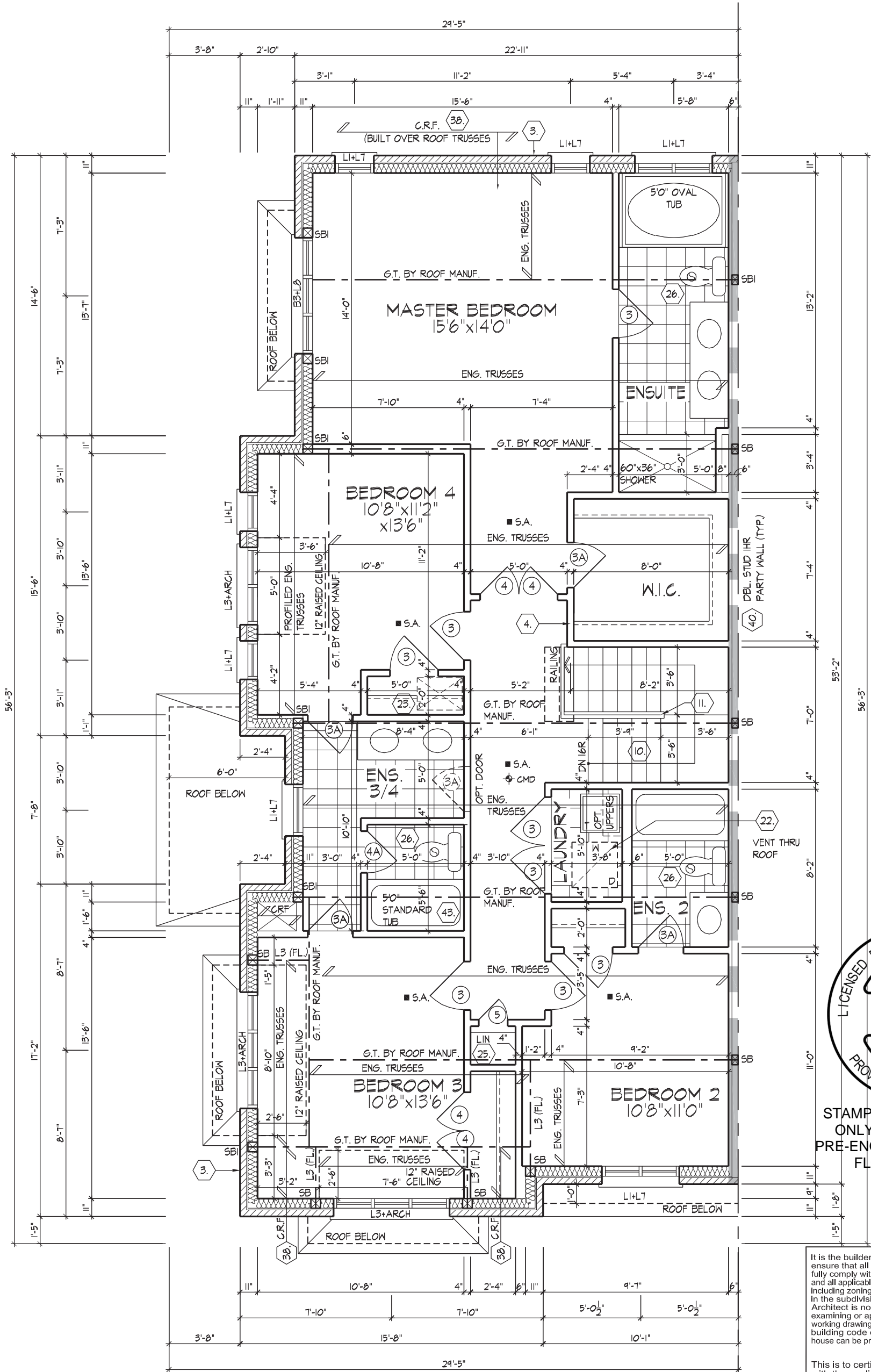
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By NS Checked By MM/DS Scale 3/16"=1'-0" File Number 215044WS2204.T4.DWG Page Number 4 of 19
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

DSANTOS | FRI MAY 17 10:02:54 PM | K:\PROJECTS\20151215044\ROY\WORKING\TOWNS22 SEMI-TOWNS215044\WS2204.T4.DWG

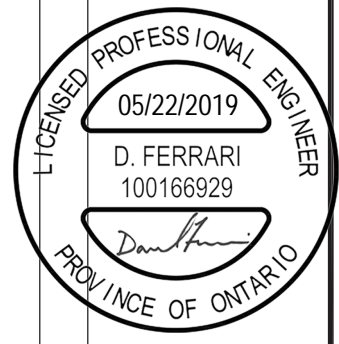


OPTIONAL SECOND FLOOR PLAN, EL. 'A'

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

ALL POSTS NOTED AS "SB" SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
SB1 - MIN. 3/2"x4" OR 3/2"x6"
SB2 - MIN. 4/2"x4" OR 4/2"x6"
SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE.
OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 21, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

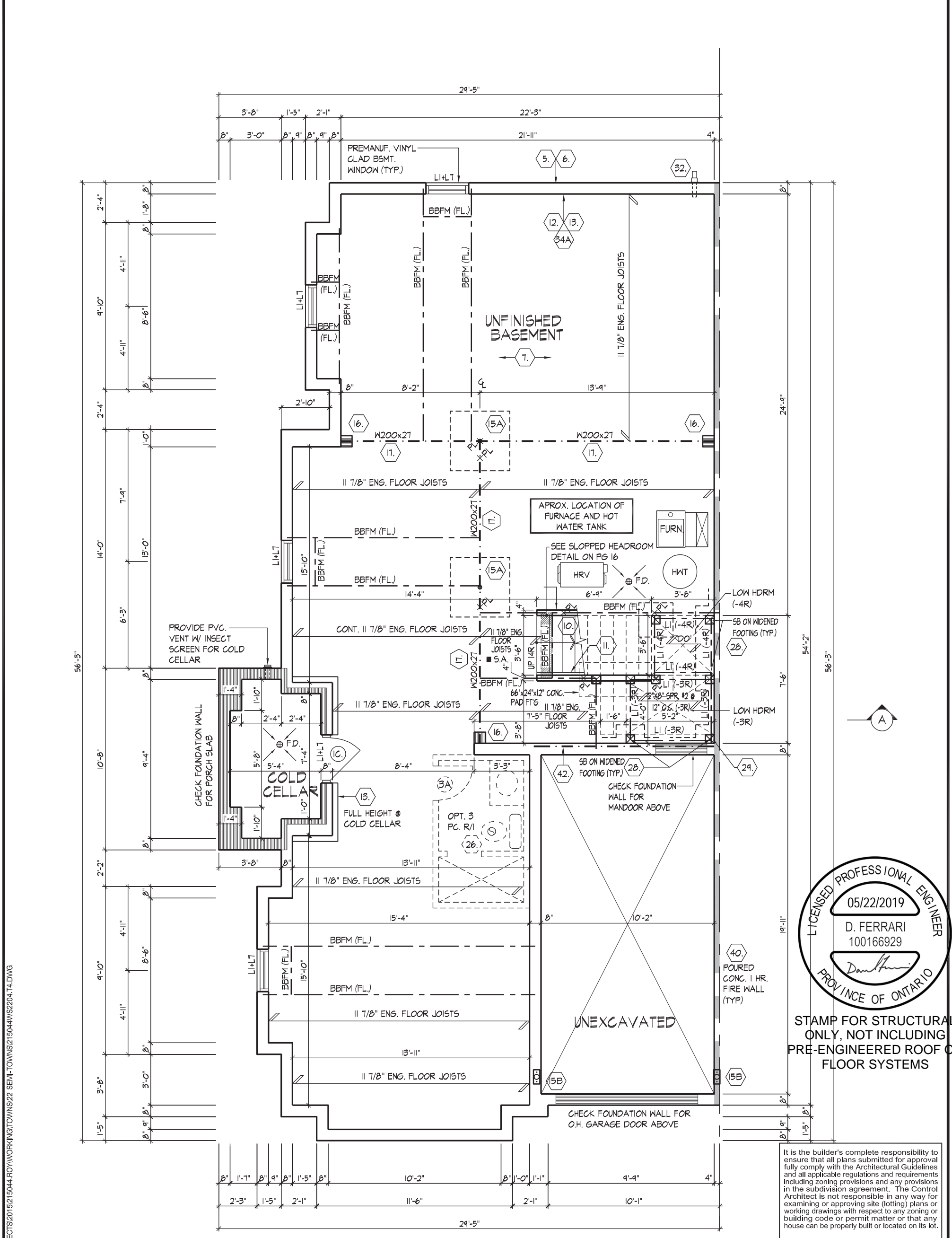
OPTIONAL SECOND FLOOR PLAN, EL. 'A'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
DEREK SANTOS 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
Drawn By NS Checked By MM/DS Scale 3/16"=1'-0" File Number 215044WS2204.T4.DWG Page Number 5 of 19
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



BASEMENT PLAN, EL. 'B'

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
DEREK SANTOS 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

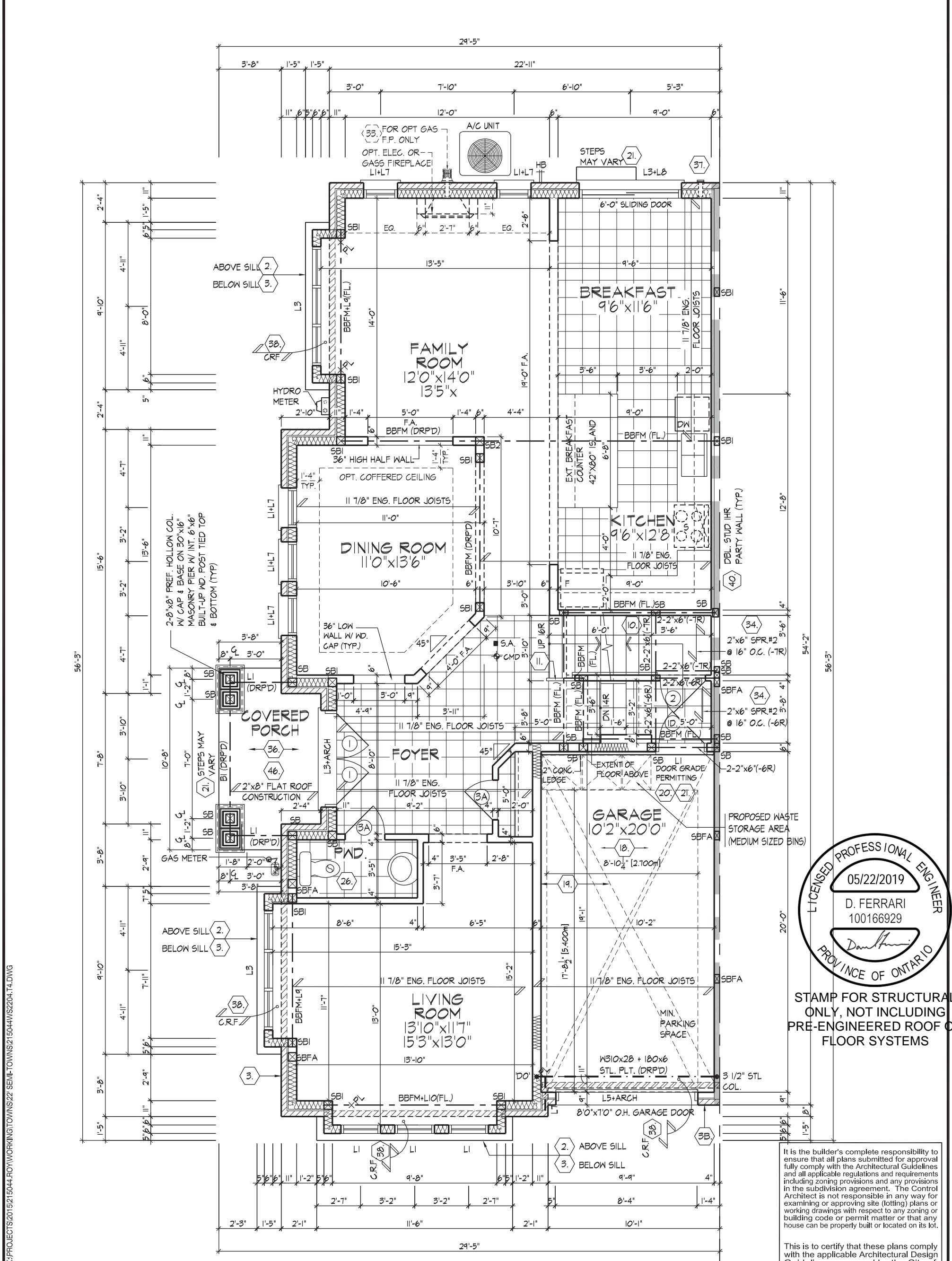
HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By: NS
Checked By: MM/DS
Scale: 3/16"=1'-0"
File Number: 215044WS2204.T4.DWG
Page Number: 6 of 19

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

GROUND FLOOR PLAN, EL. 'B'

ALL POSTS NOTED AS "SB" SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
 SB1 - MIN. 3/2"x4" OR 3/2"x6"
 SB2 - MIN. 4/2"x4" OR 4/2"x6"
 SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
 ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

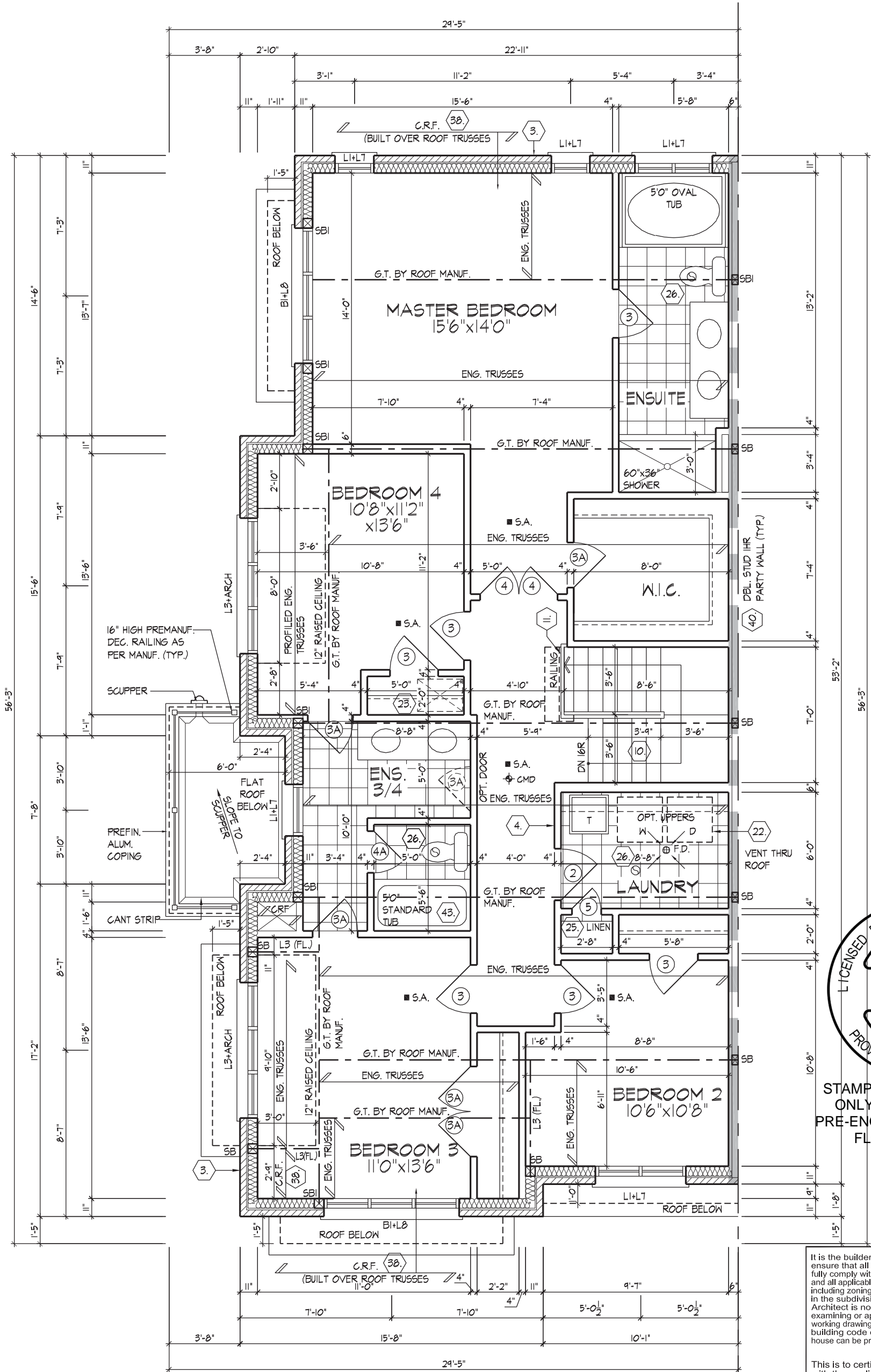
APPROVED BY: [Signature]
 DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

GROUND FLOOR PLAN, EL. 'B'

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

DSANTOS | FRI MAY 17 10:02:54 PM | K:\PROJECTS\20151215044\ROY\WORKING\TOWNS22 SEVI-TOWNS215044\WS2204.T4.DWG



SECOND FLOOR PLAN, EL. 'B'

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

ALL POSTS NOTED AS 'SB' SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
SBI - MIN. 3/2"x4" OR 3/2"x6"
SB2 - MIN. 4/2"x4" OR 4/2"x6"
SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 21, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

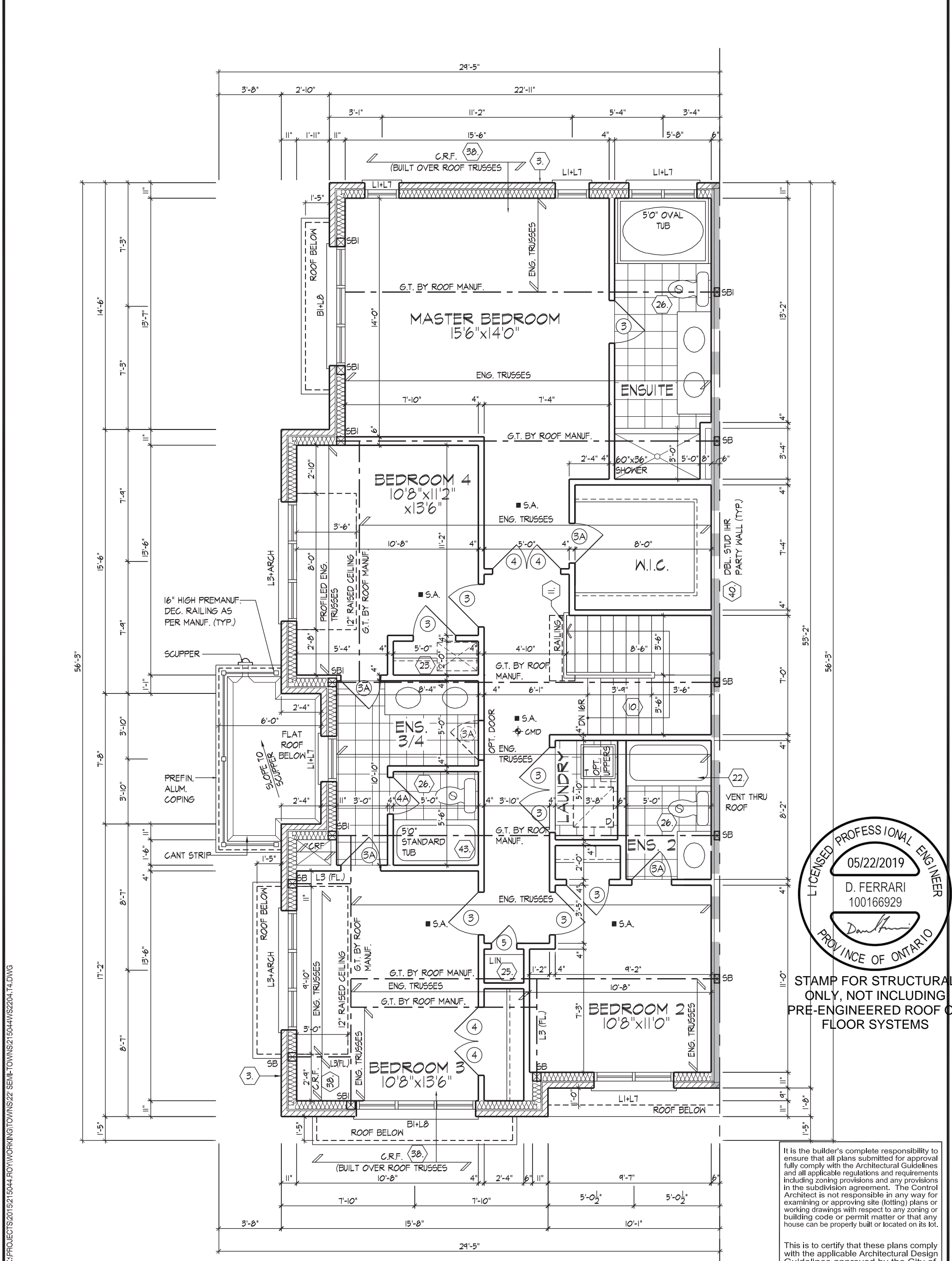
SECOND FLOOR PLAN, EL. 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
DEREK SANTOS
NAME: DEREK SANTOS
REGISTRATION INFORMATION: 37308 BCIN
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
Drawn By: MM/DS
Checked By: 3/16"=1'-0"
Scale: 215044WS2204.T4.DWG
File Number: 8 of 19
Page Number: 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



OPTIONAL SECOND FLOOR PLAN, EL. 'B'

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.

ALL POSTS NOTED AS "SB" SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
 SB1 - MIN. 3/2"x4" OR 3/2"x6"
 SB2 - MIN. 4/2"x4" OR 4/2"x6"
 SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
 ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: _____
 DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

OPTIONAL SECOND FLOOR PLAN, EL. 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

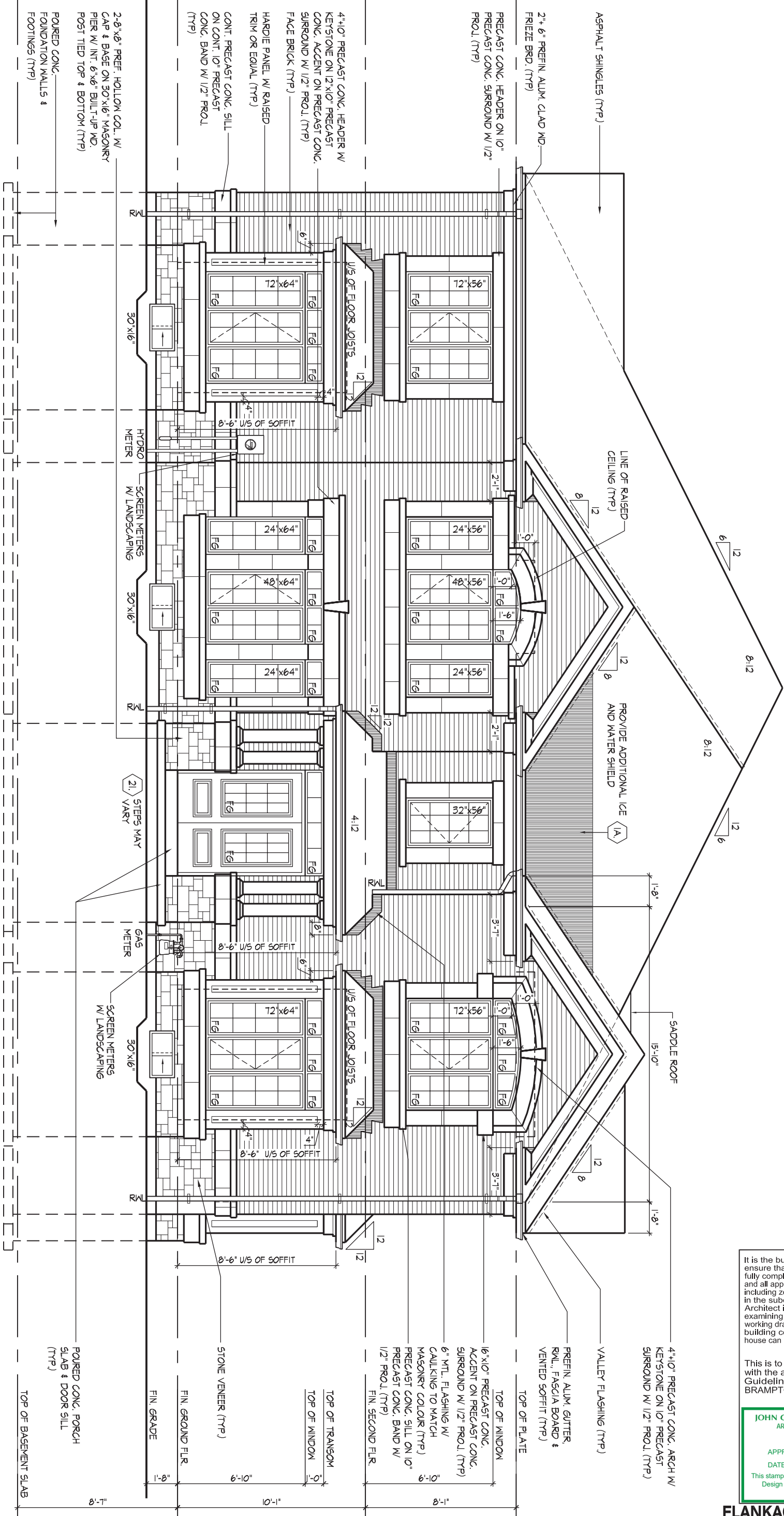
HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By NS Checked By MM/DS Scale 3/16"=1'-0" File Number 215044WS2204.T4.DWG Page Number 9 of 19
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

FLANKAGE ELEVATION 'A'



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL

APPROVED BY: _____
 DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FLANKAGE ELEVATION 'A'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

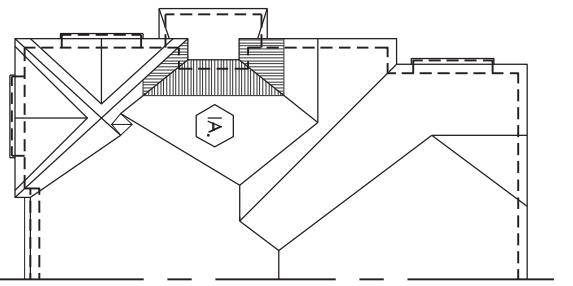
QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

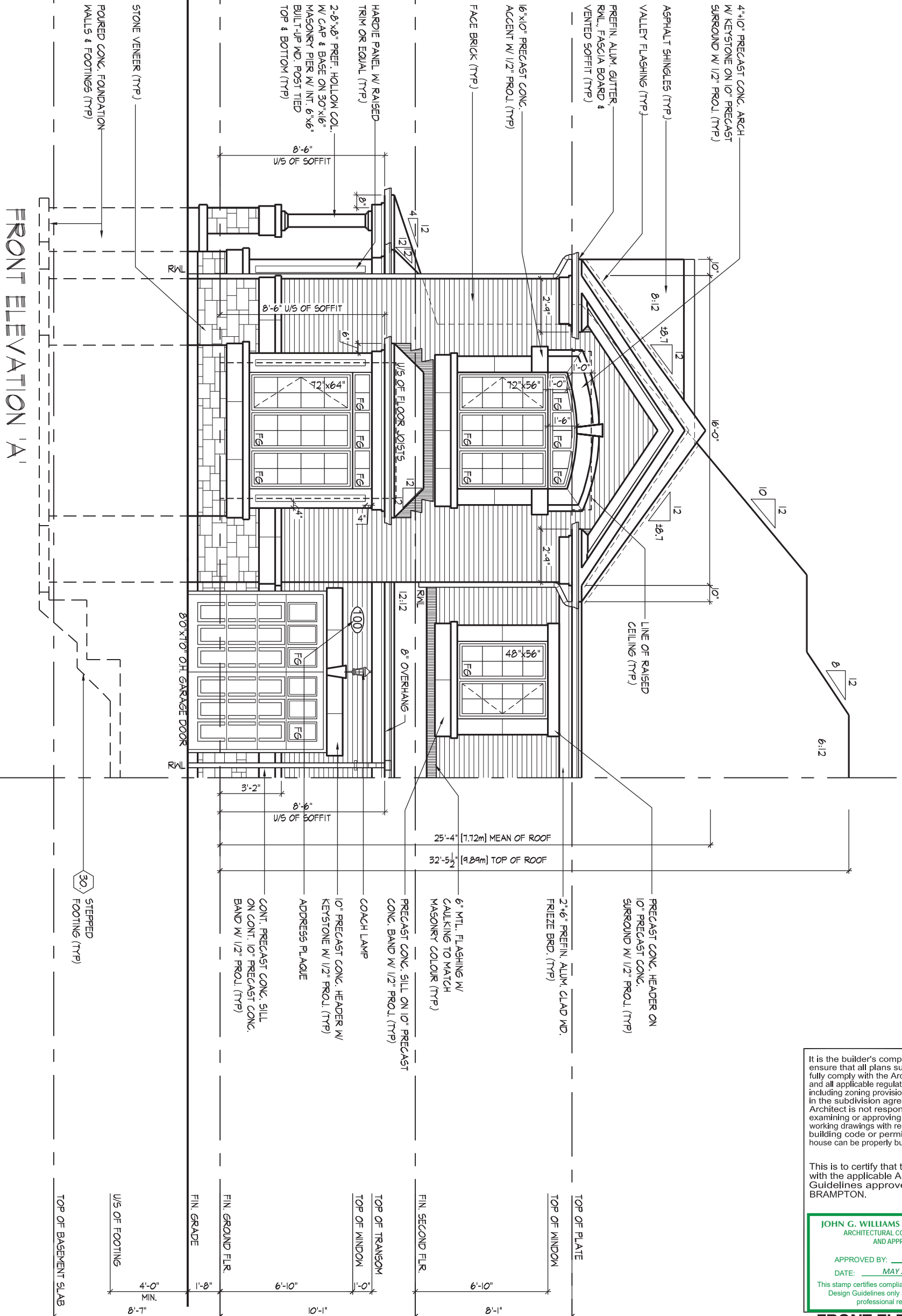
ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By: **MM/DS** Checked By: **Scale** 3/16"=1'-0"
 File Number: 215044WS2204.T4.DWG Page Number: 10 of 19
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



ROOF PLAN 'A'
N.T.S.



FRONT ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: _____
DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FRONT ELEVATION 'A'

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

DSANTOS | FRI MAY 17 11:02:54 PM | K:\PROJECTS\2015\215044\WORKING\TOWNSHIP\SEMI-TOWNSHIP\215044\WS2204.T4.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
DEREK SANTOS 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

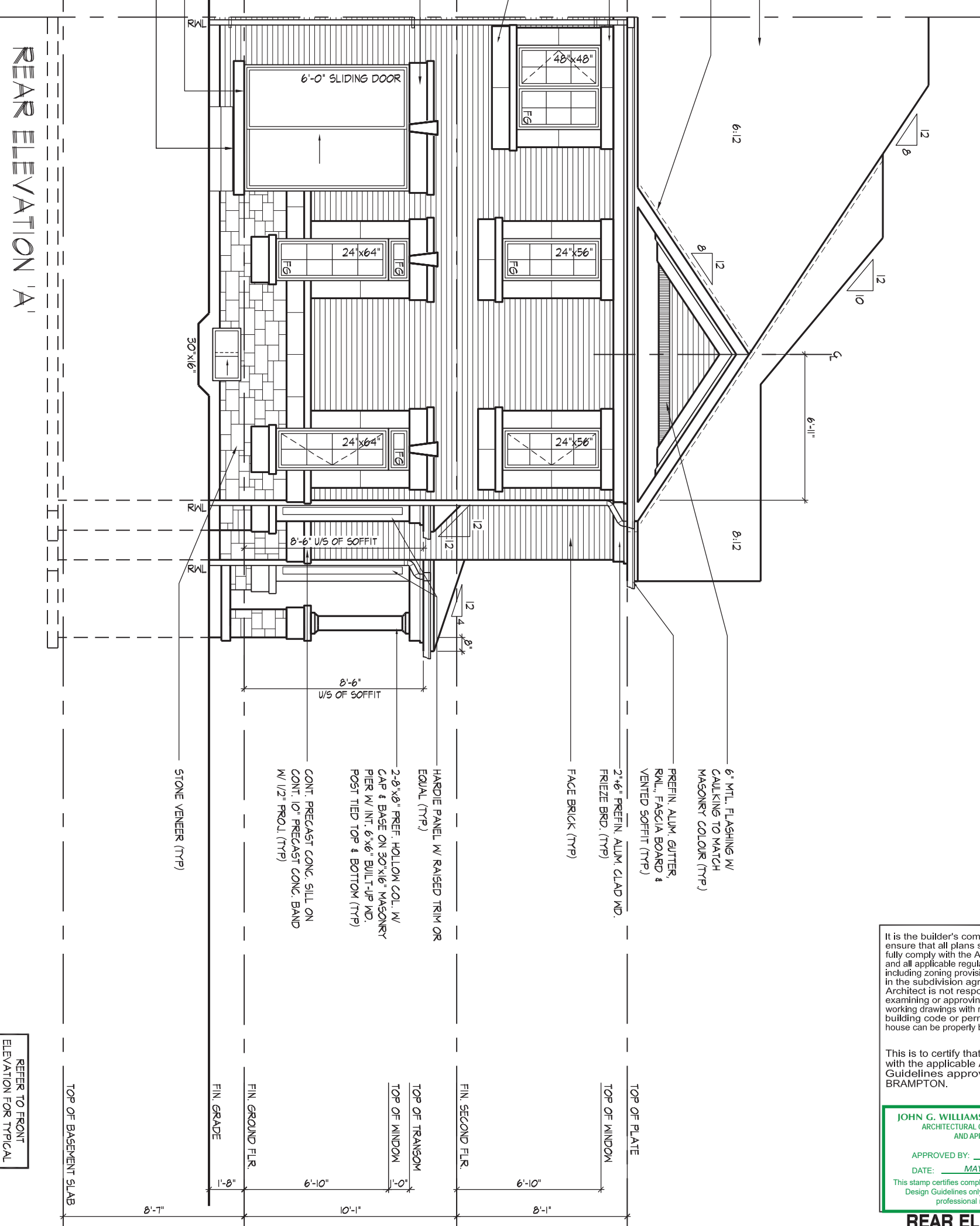
HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By NS Checked By MM/DS Scale 3/16"=1'-0" File Number 215044WS2204.T4.DWG Page Number 11 of 19

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



REAR ELEVATION 'A'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL

APPROVED BY:

DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REAR ELEVATION 'A'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

DSANTOS | FRI MAY 17 11:02:54 PM | K:\PROJECTS\2015\215044.FOV\WORKING\TOWNS22 SEVI-TOWNS215044WS2204.T4.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION

HUNT DESIGN ASSOCIATES INC. 19695

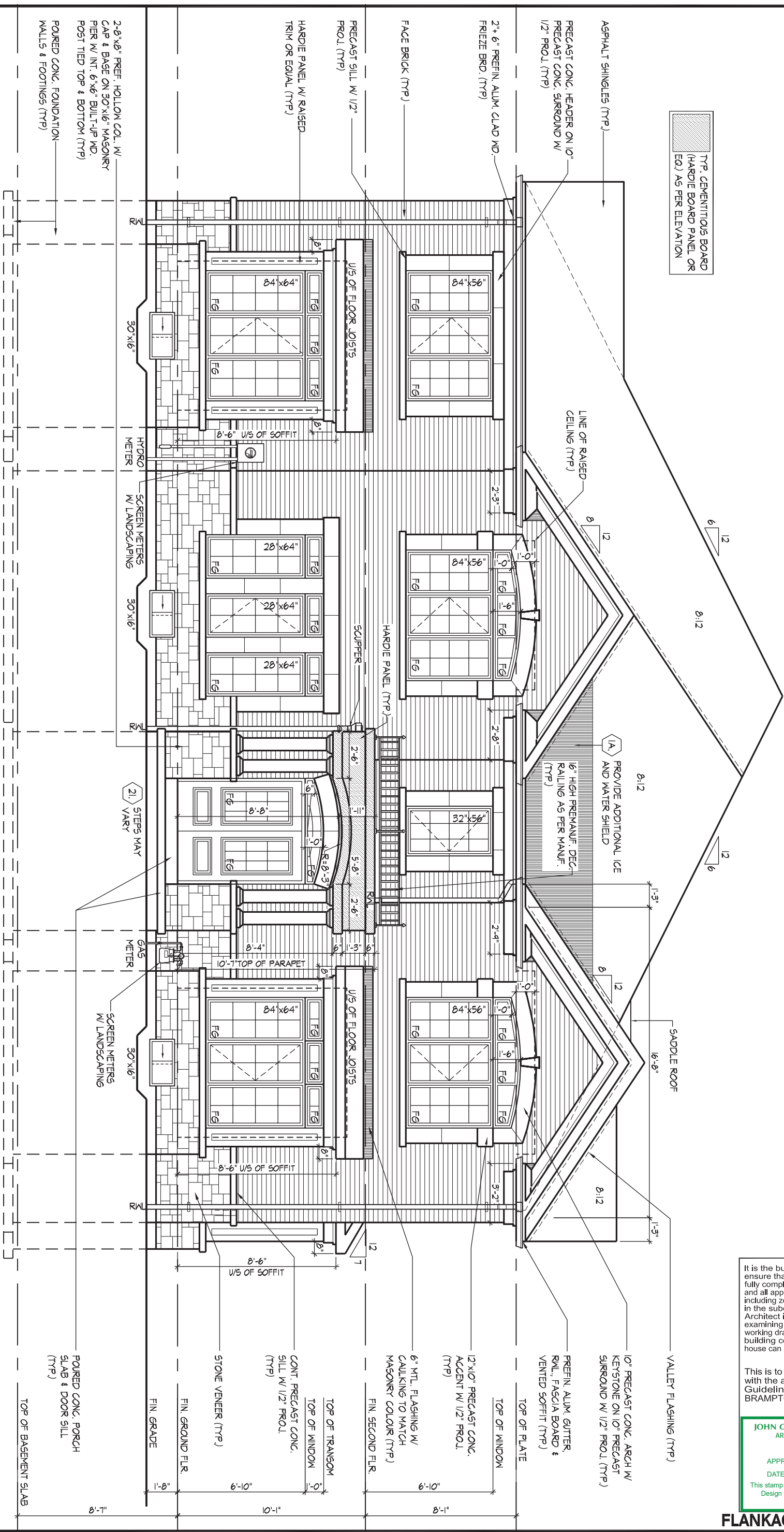
HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By MM/DS Checked By Scale 3/16"=1'-0" File Number 215044WS2204.T4.DWG Page Number 12 of 19
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

FLANKAGE ELEVATION 'B'



TYP. CEMENTITIOUS BOARD (HARDIE BOARD PANEL OR EQ.) AS PER ELEVATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: _____
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FLANKAGE ELEVATION 'B'

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION
 ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

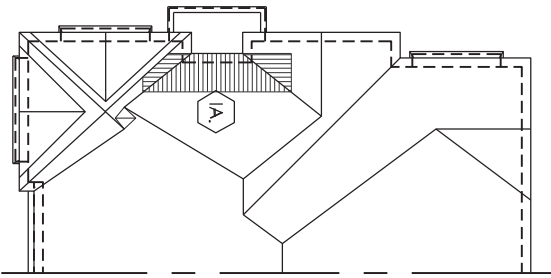
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME: DEREK SANTOS
 REGISTRATION INFORMATION: BCIN
 HUNT DESIGN ASSOCIATES INC. 19695

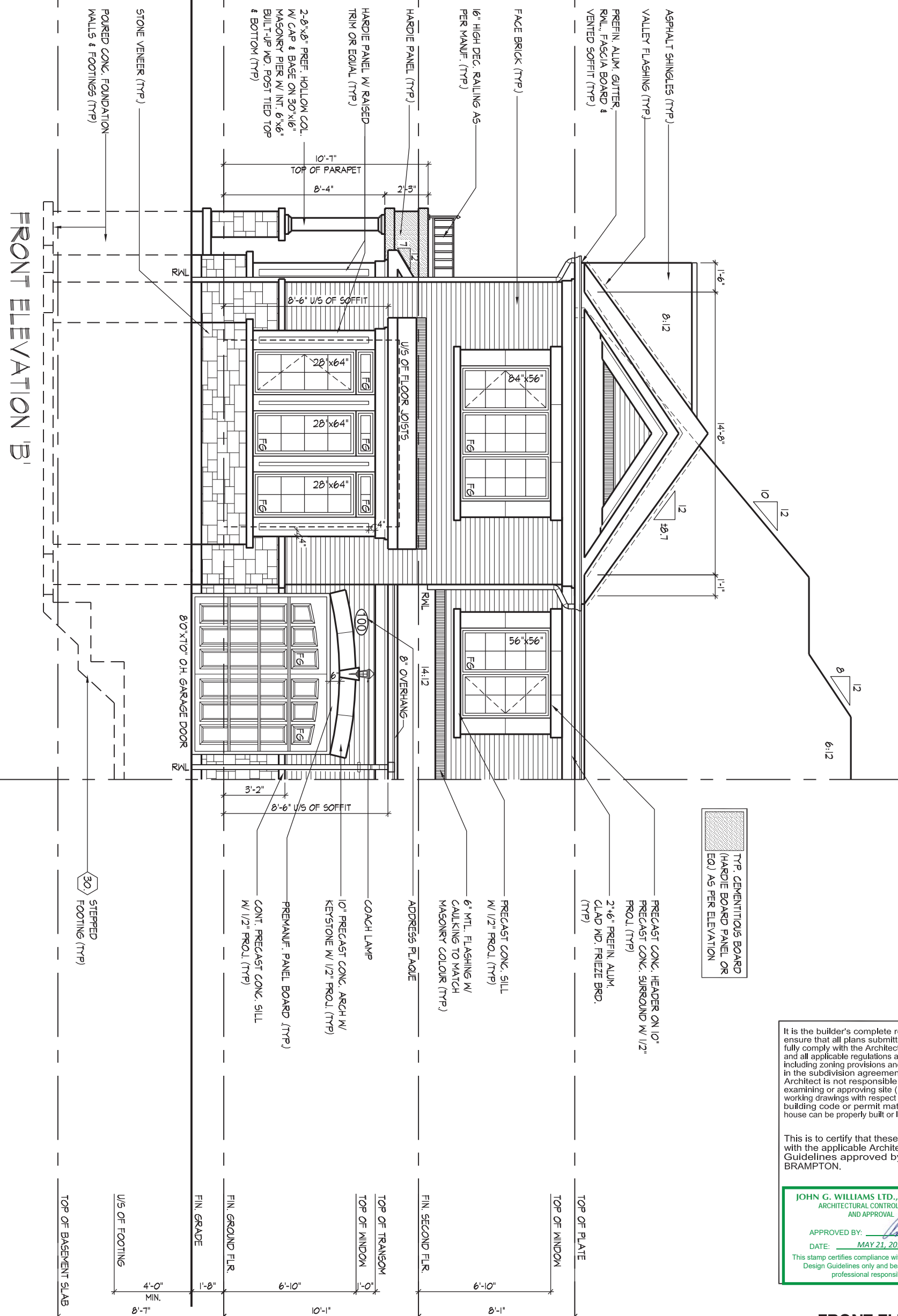
HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By: NS
 Checked By: MM/DS
 Scale: 3/16"=1'-0"
 File Number: 215044WS2204.T4.DWG
 Page Number: 13 of 19
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



ROOF PLAN 'B'
N.T.S.



FRONT ELEVATION 'B'

TYP. CEMENTITIOUS BOARD
(HARDBOARD PANEL OR
EQ.) AS PER ELEVATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FRONT ELEVATION 'B'

DSANTOS | FRI MAY 17 11:02:54 PM | K:\PROJECTS\2015\215044\WORKING\TOWNSHIP\SEMI-TOWNSHIP\215044\WS2204.T4.DWG

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
DEREK SANTOS 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

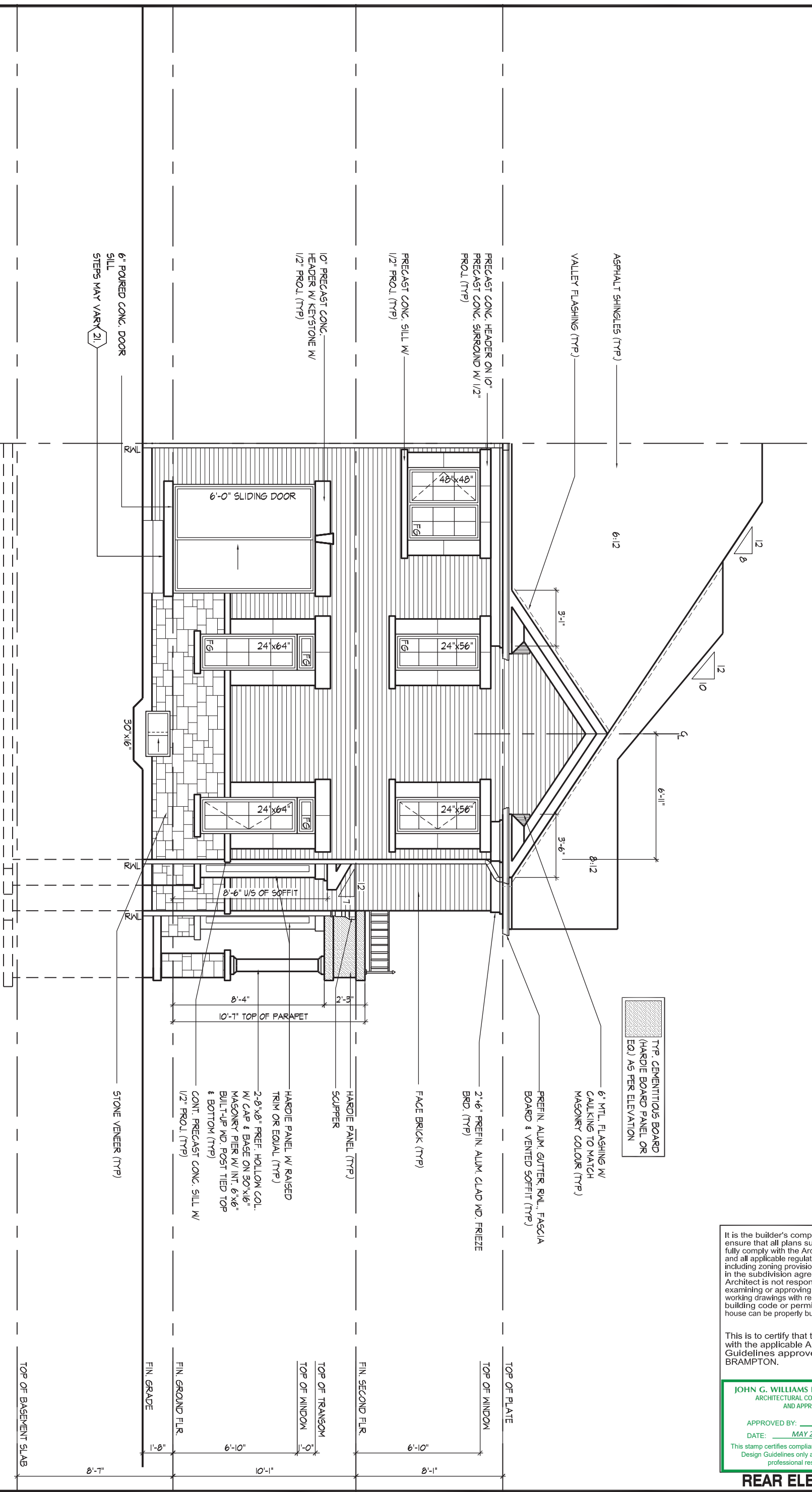
ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By NS Checked By MM/DS Scale 3/16"=1'-0" File Number 215044WS2204.T4.DWG Page Number 14 of 19

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

REAR ELEVATION 'B'



TYP. GEMENTIOUS BOARD
(HARDIE BOARD PANEL OR
EQ.) AS PER ELEVATION

6" MTL. FLASHING W/
CAULKING TO MATCH
MASONRY COLOUR (TYP)

PREFIN. ALUM. GUTTER, RVL., FASCIA
BOARD & VENTED SOFFIT (TYP)

2" x 6" PREFIN. ALUM. CLAD WD. FRIEZE
BRD. (TYP)

FACE BRICK (TYP)

HARDIE PANEL (TYP)
SCUPPER

HARDIE PANEL W/ RAISED
TRIM OR EQUAL (TYP)

2" x 8" PREF. HOLLOW COL.
W/ CAP & BASE ON 30"x6"
MASONRY PIER W/ INT. 6"x6"
BILL-T-UP AND POST TIED TOP
& BOTTOM (TYP)
CONT. PRECAST CONC. SILL W/
1/2" PROJ. (TYP)

STONE VENEER (TYP)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

REAR ELEVATION 'B'

DSANTOS | FRI MAY 17 11:02:54 PM | K:\PROJECTS\2015\215044\ROY\WORKING\TOWNSHIP SEVI-TOWNSHIP\215044\WS2204.T4.DWG

REFER TO FRONT
ELEVATION FOR TYPICAL
NOTES & INFORMATION

ROOF OVERHANGS TO BE 12"
UNLESS NOTED OTHERWISE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

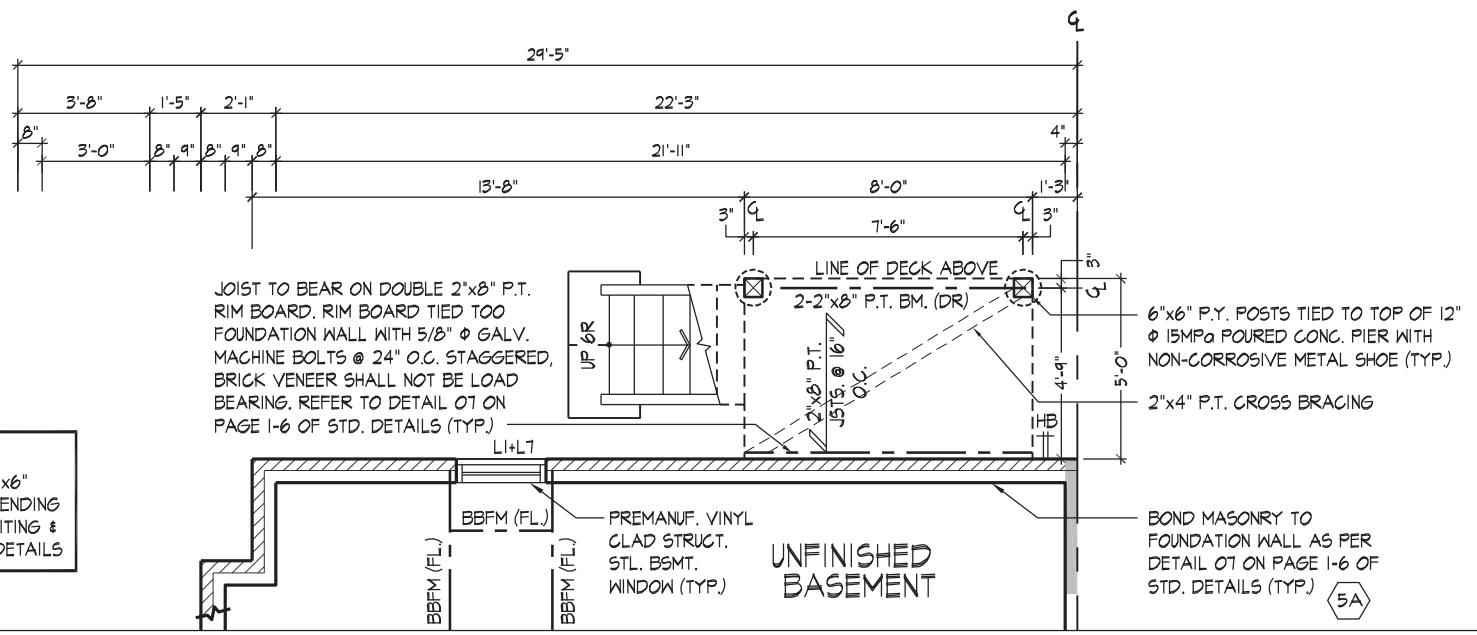
QUALIFICATION INFORMATION
DEREK SANTOS 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

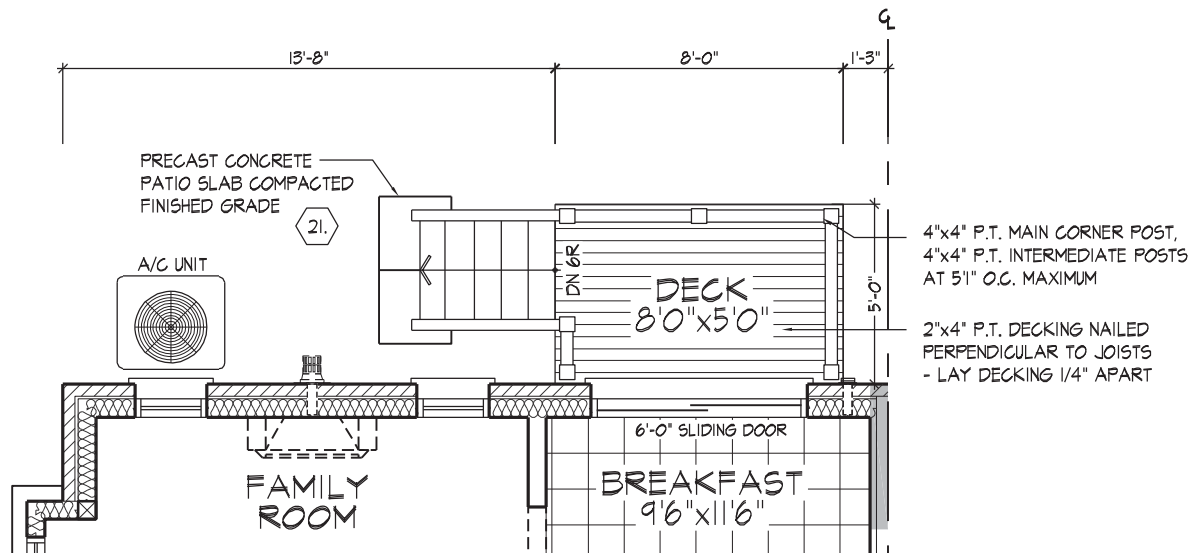
Drawn By MM/DS Checked By Scale 3/16"=1'-0" File Number 215044WS2204.T4.DWG Page Number 15 of 19
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



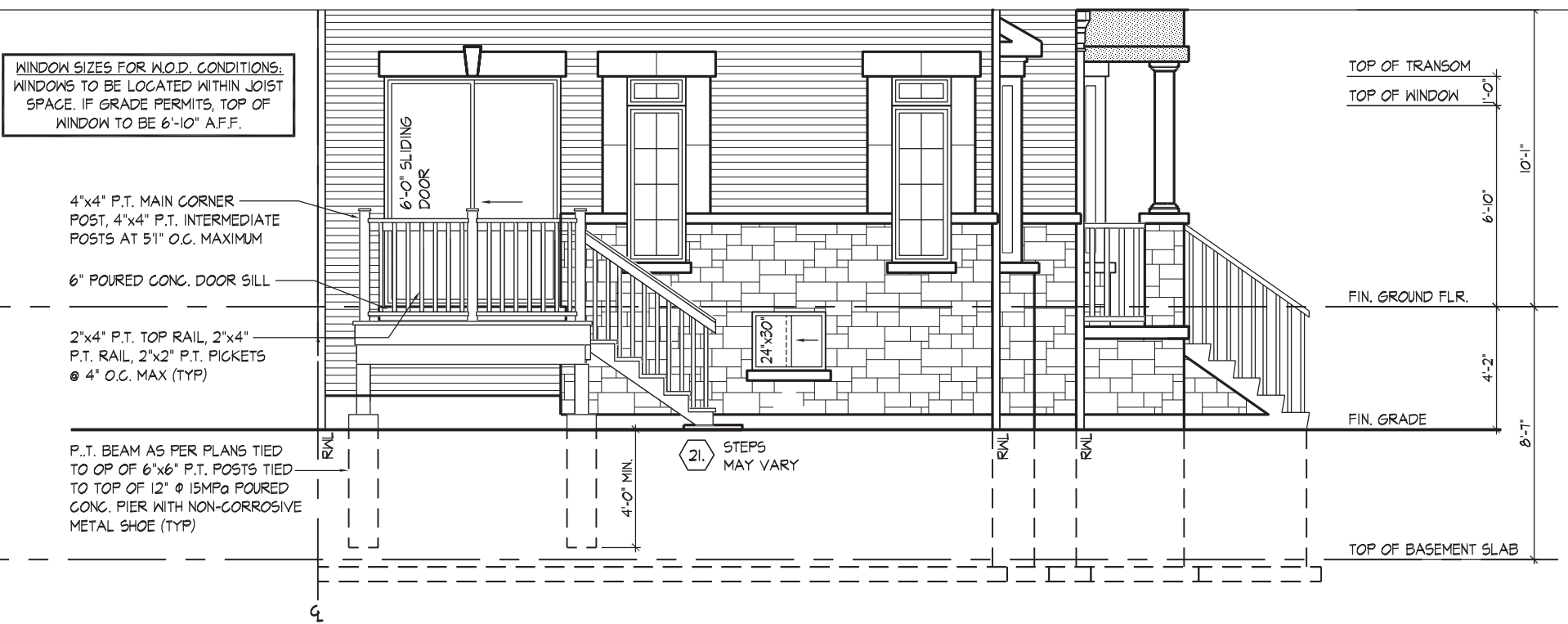
NOTE:
 10" CONC. FOUNDATION WALL W/ 2"x6" KNEEWALL MAY BE REQUIRED DEPENDING ON BACKFILL HEIGHT. REFER TO SITING & DETAIL 05 ON PAGE I-5 OF STD. DETAILS

PART. BASEMENT FLOOR PLAN - L.O.D. CONDITION
 (6 RISER DECK CONDITION)



NOTE:
 REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION

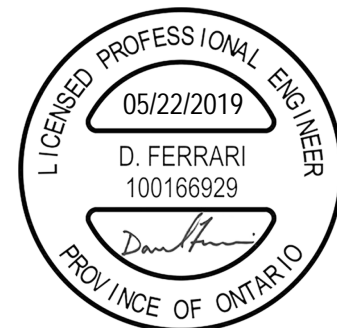
PART. GROUND FLOOR PLAN - L.O.D. CONDITION
 (6 RISER DECK CONDITION)



WINDOW SIZES FOR W.O.D. CONDITIONS:
 WINDOWS TO BE LOCATED WITHIN JOIST SPACE. IF GRADE PERMITS, TOP OF WINDOW TO BE 6'-10" A.F.F.

4"x4" P.T. MAIN CORNER POST, 4"x4" P.T. INTERMEDIATE POSTS AT 5'1" O.C. MAXIMUM
 6" POURED CONC. DOOR SILL
 2"x4" P.T. TOP RAIL, 2"x4" P.T. RAIL, 2"x2" P.T. PICKETS @ 4" O.C. MAX (TYP)
 P.T. BEAM AS PER PLANS TIED TO TOP OF 12" Ø 15MPa Poured CONC. PIER WITH NON-CORROSIVE METAL SHOE (TYP)

REAR ELEVATION - L.O.D. CONDITION
 (6 RISER DECK CONDITION)



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

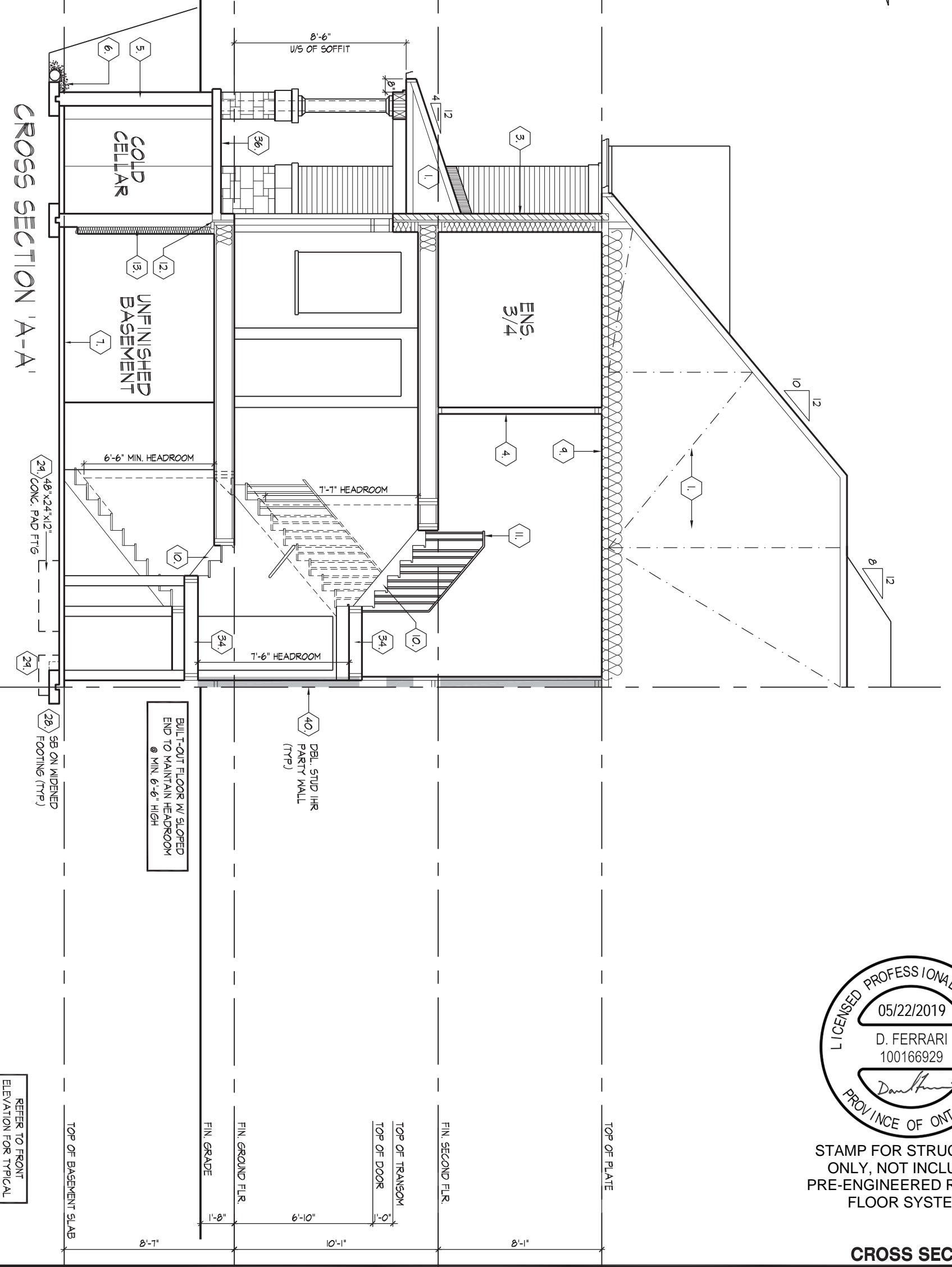
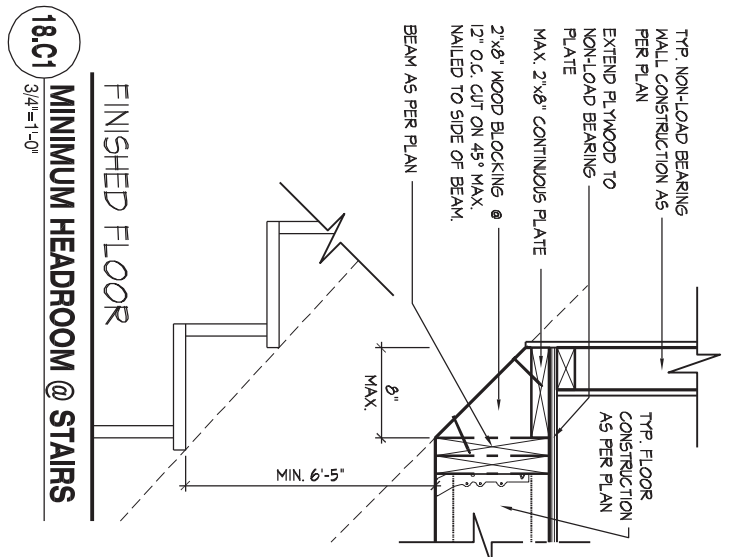
LOOK OUT DECK CONDITION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME: DEREK SANTOS
 REGISTRATION INFORMATION: HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By: NS/BB Checked By: MM/DS Scale: 3/16"=1'-0" File Number: 215044WS2204.T4.DWG Page Number: 16 of 19
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

CROSS SECTION 'A-A'

DSANTOS | FRI MAY 17 11:02:54 PM | K:\PROJECTS\2019\215044\ROY\WORKING\TOWNSHIP\SEMI-TOWNSHIP\215044\WS2204.T4.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By NS Checked By MM/DS Scale 3/16"=1'-0" File Number 215044WS2204.T4.DWG Page Number 17 of 19
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

cont. SECTION 1.0. CONSTRUCTION NOTES

- 40 1 HR. PARTY WALL (CONC. BLOCK) (SB-3) WALL TYPE 'B6e' & 'B1b' 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"x2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL...

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

SECTION 1.1. WALL STUDS

- REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

Table with columns: MIN. STUD SIZE, in (mm), SUPPORTED LOADS (EXTERIOR), and MAX. UNSUPPORTED HGT., ft-in (m). Rows include 2"x4" and 2"x6" studs with various spacings and heights.

SECTION 2.0. GENERAL NOTES

- 2.1. WINDOWS 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (380)...

3.3. DOOR SCHEDULE

Table with columns: ID, LOCATION, SIZE, and DESCRIPTION. Lists door specifications for exterior and interior, including sizes like 2'-8" x 6'-8" and 3'-0" x 6'-8".

3.4. ACRONYMS

Table mapping acronyms to full names: AFF ABOVE FINISHED FLOOR, JST JOIST, BBFM BEAM BY FLOOR MANUFACTURER, LIN LINEN CLOSET, etc.

3.5. SYMBOLS

Table of electrical symbols: CLASS 'B' VENT, EXHAUST VENT, DUPLEX OUTLET, HEAVY DUTY OUTLET, POT LIGHT, LIGHT FIXTURE, etc.

SA SMOKE ALARM (9.10.19) PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS...

CMD CARBON MONOXIDE ALARM (9.33.4) ** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA...

SB SOLID BEARING (BUILT-UP WOOD COLUMNS AND STUD POSTS) THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C....

Legend for construction symbols: TWO STOREY VOLUME SPACE, VARYING PLATES, EXPOSED BUILDING FACE, 1 HR. PARTY WALL, 2 HR. FIREWALL.

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16)

Table of wood lintel and built-up wood specifications: 2"x8" SPRUCE #2, 2"x10" SPRUCE #2, 2"x12" SPRUCE #2, L1, B1, B2, B7, L3, B3, B4, B5, B6, B8, B9.

ENGINEERED LUMBER SCHEDULE

Table of engineered lumber specifications: LVL2, LVL3, LVL4, LVL5, LVL6, LVL7, LVL8, LVL9, LVL10, LVL11, LVL12, LVL13.

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9. TABLE 9.20.5.2.B.)

Table of steel lintel specifications: CODE, SIZE, BRICK, STONE. Rows include L7, L8, L9, L10, L11, L12, L13.

SECTION 4.0. CLIMATIC DATA

DESIGN SNOW LOAD (9.4.2.2.): 1.22 kPa WIND LOAD (q50) (SB-1.2.): 0.44 kPa

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK...

Stamp area for SECTION 4.0. CLIMATIC DATA, including fields for STAMP, CONTRACTOR, and DESIGNER.

CONSTRUCTION NOTE REVISION DATE: January 1, 2017 - UPDATED to 2017 OBC

CONSTRUCTION NOTES 2

Vertical text on the left margin: DSANTOS | FRI MAY 17 11:09:02:54 PM | K:\PROJECTS\201512150444\ROYALWORKINGTOWNS22\SEMI-TOWNS\215044\W2204.T4.DWG



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

Registration information table: NAME, REGISTRATION INFORMATION, HUNT DESIGN ASSOCIATES INC., 19695.



ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2204-COR-T4 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Table with drawing details: Drawn By, Checked By, Scale, File Number, Page Number, Date, Title.