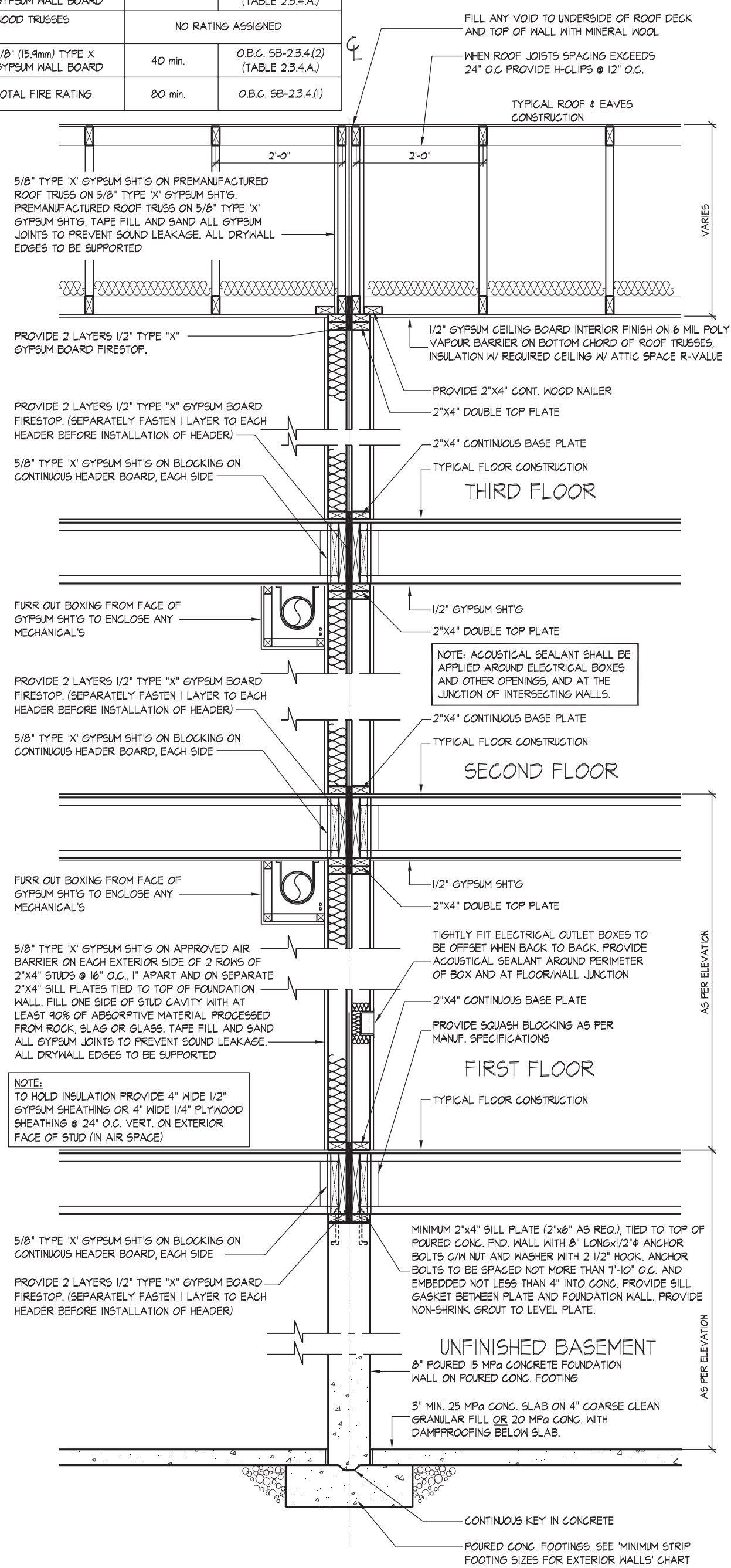


FIRE RATINGS - PARTY WALL TRUSS SPACE (CBC REF. - SB-2.3)		
COMPONENT	FIRE RATING	CODE REFERENCE
5/8" (15.9mm) TYPE X GYPSUM WALL BOARD	40 min.	O.B.C. SB-2.3.4(2) (TABLE 2.3.4.A)
WOOD TRUSSES	NO RATING ASSIGNED	
5/8" (15.9mm) TYPE X GYPSUM WALL BOARD	40 min.	O.B.C. SB-2.3.4(2) (TABLE 2.3.4.A)
TOTAL FIRE RATING	80 min.	O.B.C. SB-2.3.4(1)

FIRE & SOUND RATINGS - PARTY WALL		
WALL TYPE	CODE REFERENCE	RATING
W3C	O.B.C. SB-3	54 STC 110 HR FRR



NOTE: POURED CONC. FOOTING ON NATURAL UNDISTURBED SOIL OF 15kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa. FOOTING SIZE SHOWN FOR 16'-0" (4.9m) MAXIMUM JOIST SPAN ONLY. JOIST SPAN EXCEEDING 16'-0" (4.9m) SHALL BE ENGINEERED. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT.

MINIMUM STRIP FOOTING SIZES (4.9.3)			
NUMBER FLOORS SUPPORTED	SUPPORTING INT. LOAD BEARING MASONRY WALL	SUPPORTING EXTERIOR	SUPPORTING PARTIAL
1	16" W x 8" D	16" W x 8" D	16" W x 8" D
2	24" W x 8" D	20" W x 8" D	24" W x 8" D
3	36" W x 14" D	26" W x 9" D	36" W x 14" D

NOTE: FOOTING SIZE SUBJECT TO CERTIFICATION BY A SOIL CONSULTANT

02

TYPICAL 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 2'x4" DOUBLE STUDS - 3 STOREY

1/2" = 1'-0"



'MAGNOLIA' - 1703

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PREScriptive COMPLIANCE SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A

PACKAGE A1

SPACE HEATING FUEL	
<input type="checkbox"/> GAS	<input type="checkbox"/> OIL
<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

AREA CALCULATIONS

EL. 'A'

GROUND FLOOR AREA	553 sq. ft.
MAIN FLOOR AREA	960 sq. ft.
THIRD FLOOR AREA	1021 sq. ft.
SUBTOTAL	2534 sq. ft.
DEDUCT ALL OPEN AREAS	0 sq. ft.
TOTAL NET AREA	2534 sq. ft. (235.42 sq. m.)
COVERAGE W/O OUT PORCH	960 sq. ft. (88.19 sq. m.)
COVERAGE W/ PORCH	1107 sq. ft. (102.84 sq. m.)
WINDOW / WALL AREA CALCULATIONS	EL. A
GROSS WALL AREA	4057 sq. ft. (376.91 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	265 sq. ft. (24.62 sq. m.)
TOTAL WINDOW %	6.53 %



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

DEREK R. SANTOS
DESIGN ASSOCIATES INC.
19695

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ROYAL PINE HOMES-FORESTSIDE ESTATES PH2 - 215044 'MAGNOLIA' - 1703
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By NS Checked By DS Scale 3/16"=1'-0" File Number 215044WS1703.DWG Page Number 1 of 7

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN. EL. 'A', GROUND FLOOR PLAN. EL. 'A'
- 3 - MAIN FLOOR PLAN. EL. 'A', THIRD FLOOR PLAN. EL. 'A' & DETAILS
- 4 - FRONT & REAR ELEVATION 'A'
- 5 - CROSS SECTION 'A-A' & DETAILS
- 6 - PARTIAL CROSS SECTION, ROOF PLAN & DETAILS
- 7 - CONSTRUCTION NOTES 1 & 2

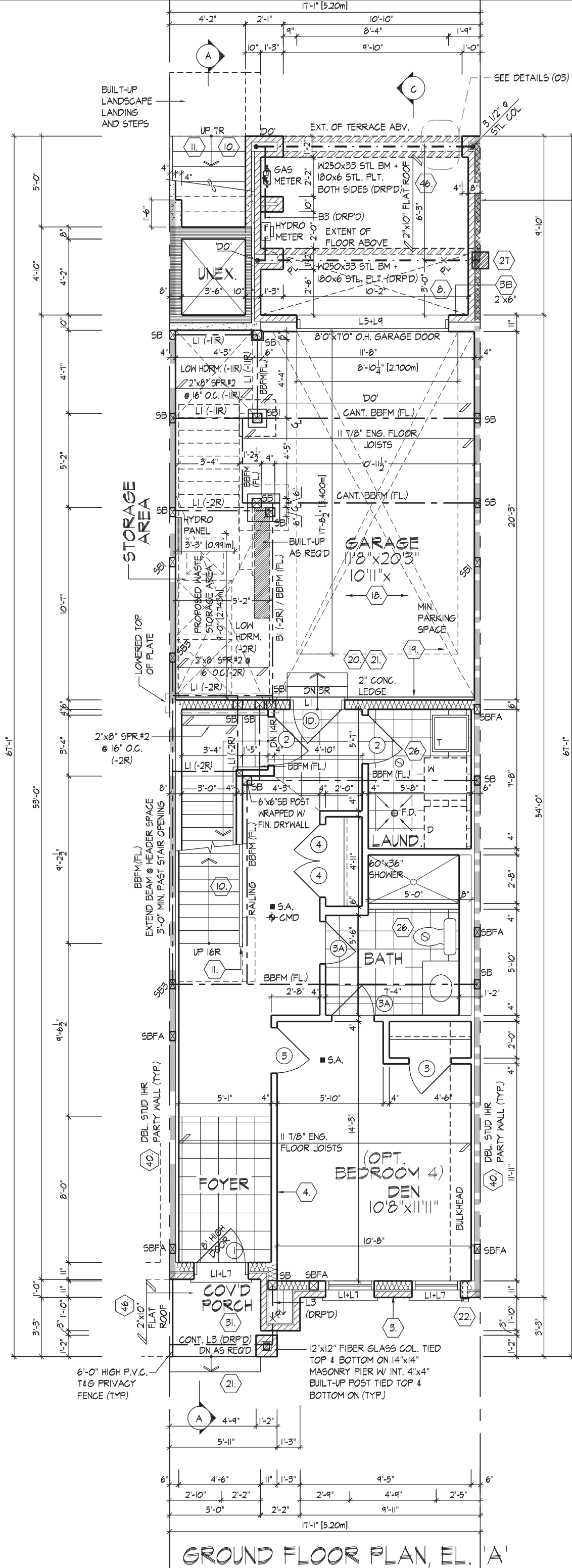
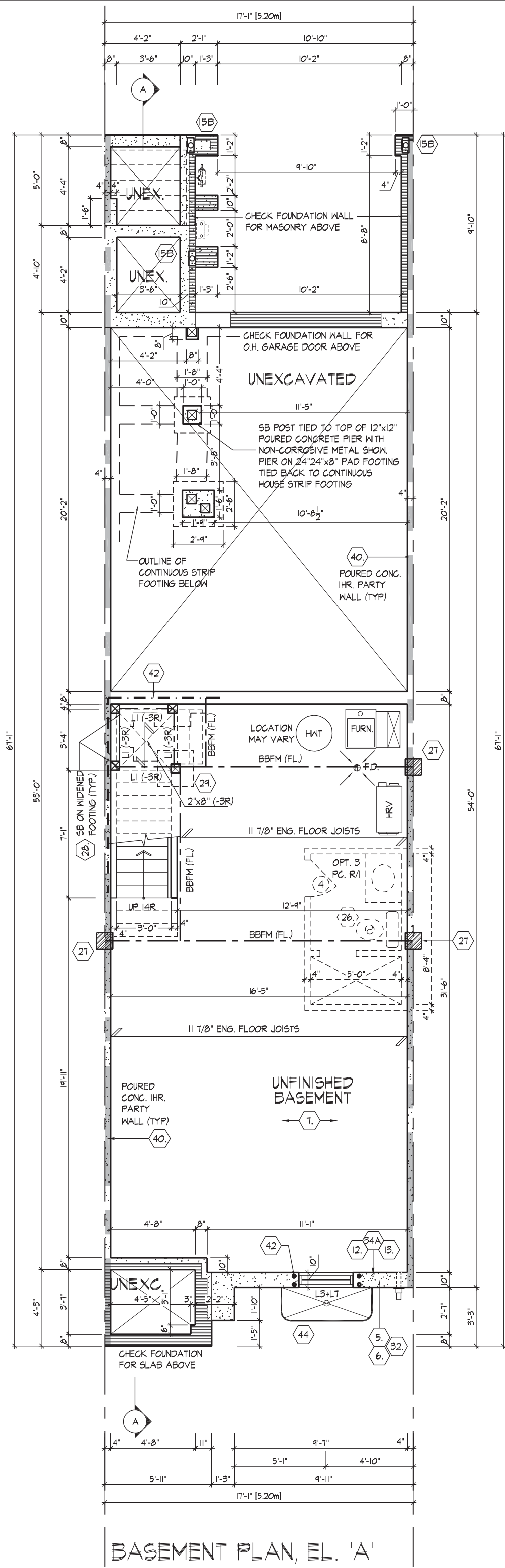


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7. ISSUED FOR FINAL APPROVAL	2019.05.17	DS
6. REVISED AS PER ARCHITECTURAL CONTROL COMMENTS	2019.04.26	BB
5. REVISED FOR OPTIONAL ROUGH-IN BASEMENT WASHROOM	2019.04.25	BB
4. REVISED AS PER STRUCTURAL ENGINEER COMMENTS	2018.08.07	MM
3. COORDINATE AS PER ROOF TRUSS & FLOOR MANUFACTURE PLANS	2019.04.29	BB
2. REVISED AS PER CLIENT'S COMMENTS (2018)	2018.10.19	DS
1. ISSUED FOR CLIENT REVIEW	2018.04.02	DS
REVISIONS	DATE (YYYYMMDD)	BY

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CONFORMING TO SB-2 TABLE 2.1.1. & SECTION 2.1.2. PROVIDE 6" CONC. BLOCK 75% SOLID FILL ENCLOSED BY BRICK VENEER (MIN. 1/2" AIR SPACE) WITH NON-CORROSIVE METAL TIES @ 16" O.C. VERT AND 24" O.C. HORZ.

SOLID MASONRY WALL W/ B-10M VERT. REBARS (LAP 1'-6" GROUTED INTO BRICK JOINT)
2"x6" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY WALL W/ 1/2" x 12" BOLTS @ 24" O.C. STAGGERED
MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WITH SOLID W/ MORTAR

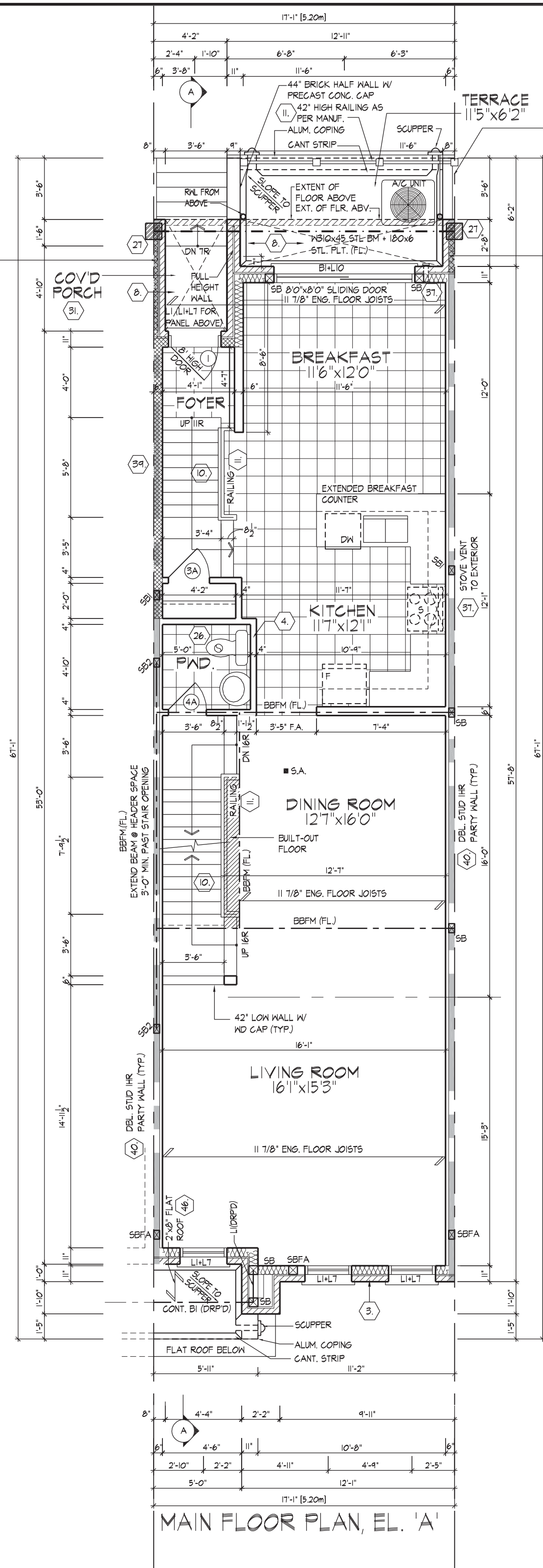


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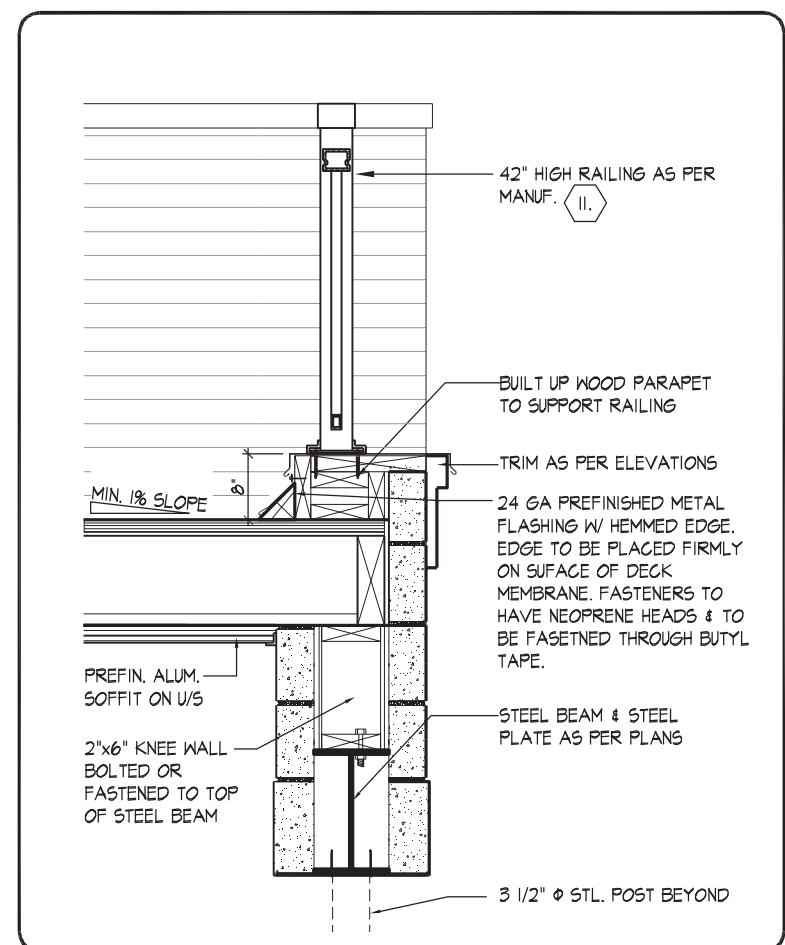
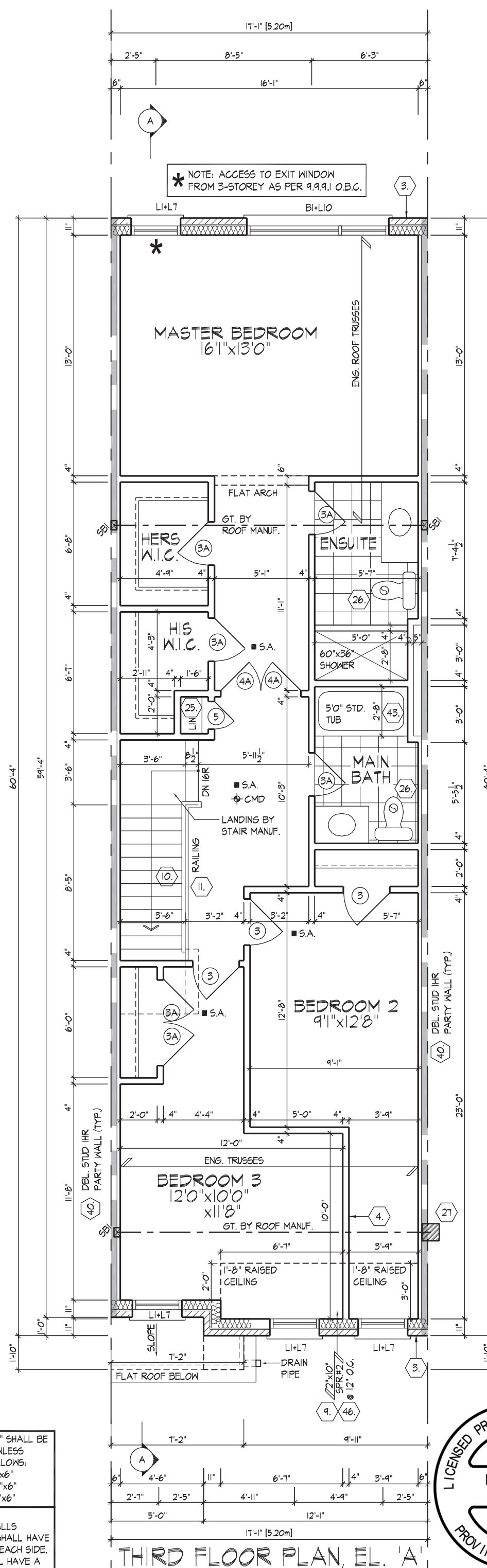
ALL POSTS NOTED AS "SB" SHALL BE MIN. 2"x4" OR 2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
SB1 - MIN. 3/2"x4" OR 3/2"x6"
SB2 - MIN. 4/2"x4" OR 4/2"x6"
SB3 - MIN. 5/2"x4" OR 5/2"x6"

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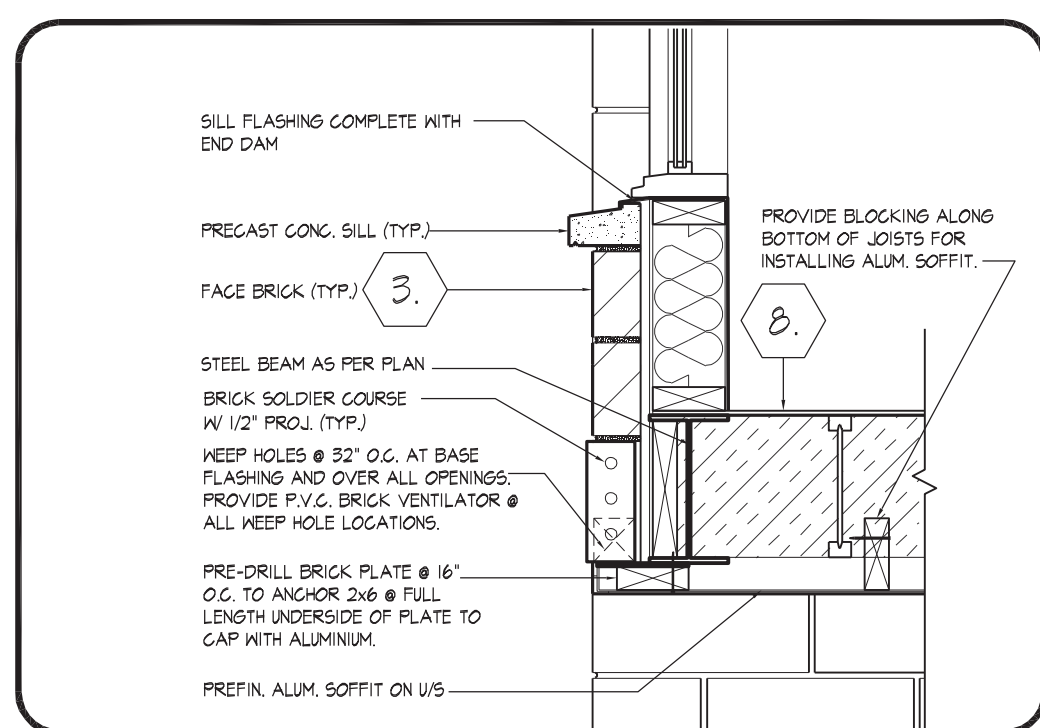
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APPROVED BY: [Signature]
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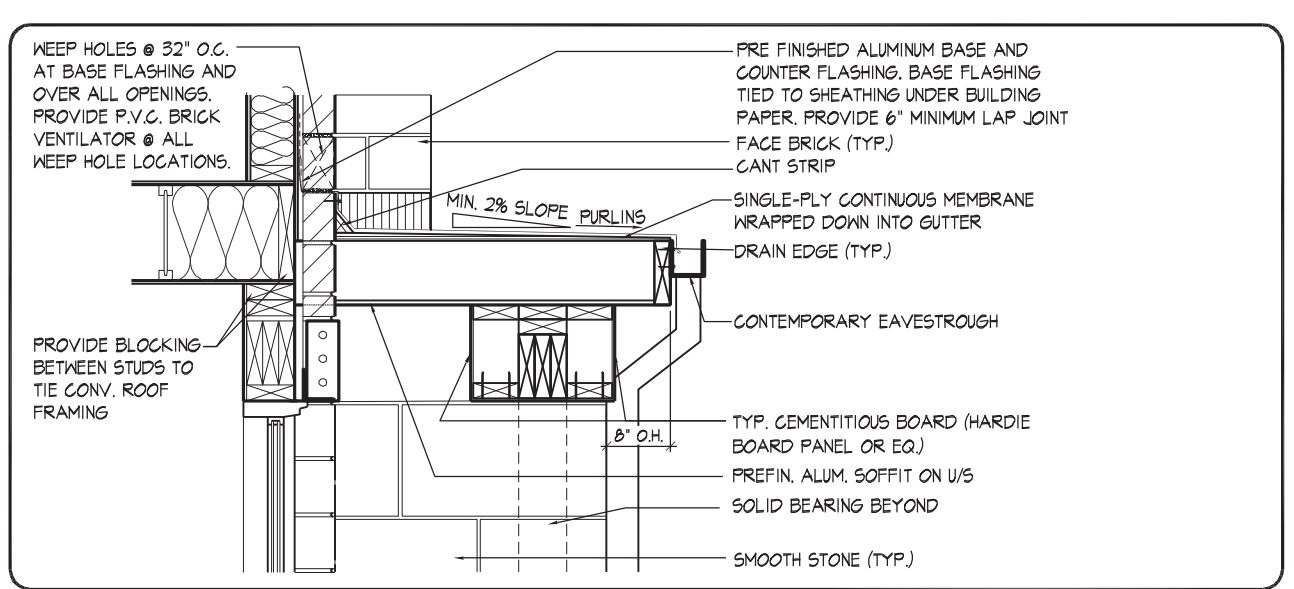
ALL POSTS NOTED AS "SB" SHALL
MIN. 2/2"x4" OR 2/2"x6", UNLESS
OTHERWISE NOTED AS FOLLOWS:
SB1 - MIN. 3/2"x4" OR 3/2"x6"
SB2 - MIN. 4/2"x4" OR 4/2"x6"
SB3 - MIN. 5/2"x4" OR 5/2"x6"



03 BALCONY @ REAR DETAIL
1/2" = 1'-0"



04 STEEL BEAM DETAIL @ TERRACE



07 **FLAT ROOF @ FRONT - DINING / LIVING ROOM**
1/2"=1'-0"

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AND APPROVAL

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05/22/2019
D. FERRARI
100166929
Province of Ontario

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DEREK R. SANTOS		37308
NAME	SIGNATURE	BCR#
REGISTRATION INFORMATION		
HUNT DESIGN ASSOCIATES INC.		19695

MAIN FLOOR PLAN, EL 'A', THIRD FLOOR PLAN EL. 'A' & DETAILS ROYAL PINE HOMES-FORESTSIDE ESTATES PH2 - 215044 'MAGNOLIA' - 1703 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17				
Drawn By	Checked By	Scale	File Number	Page Number
NS	DS	3/16"=1'-0"	215044WS1703.DWG	3 of 7
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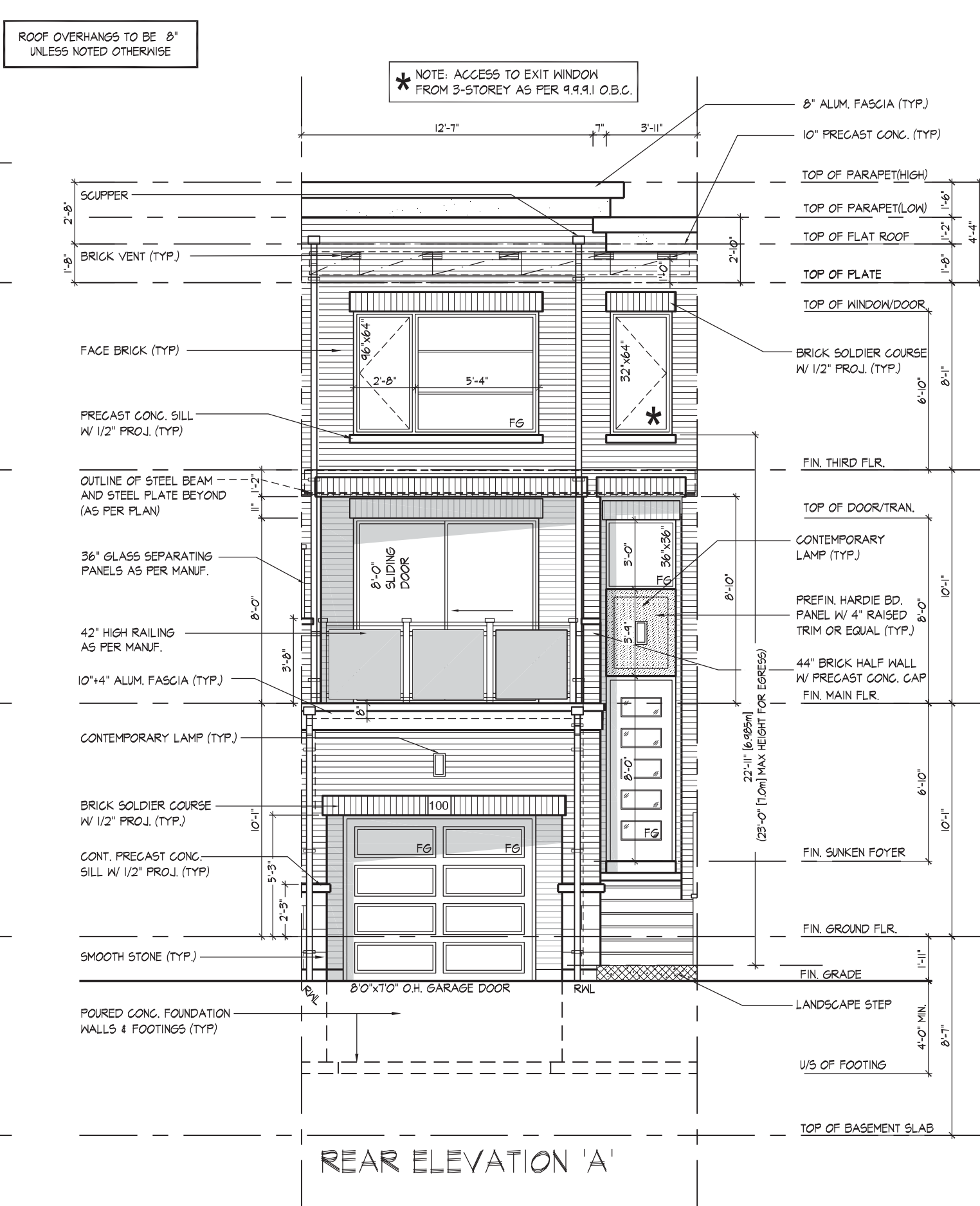
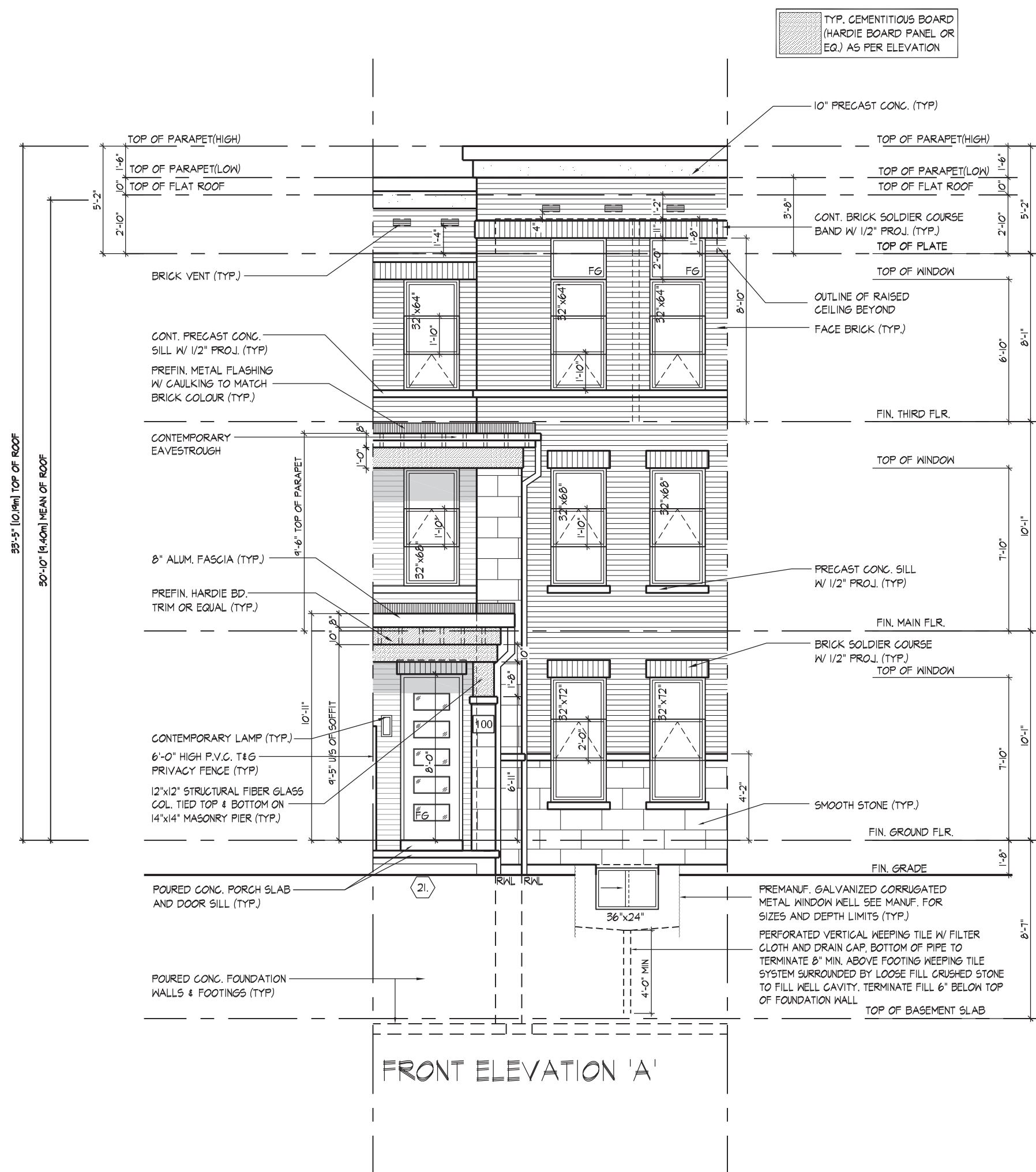
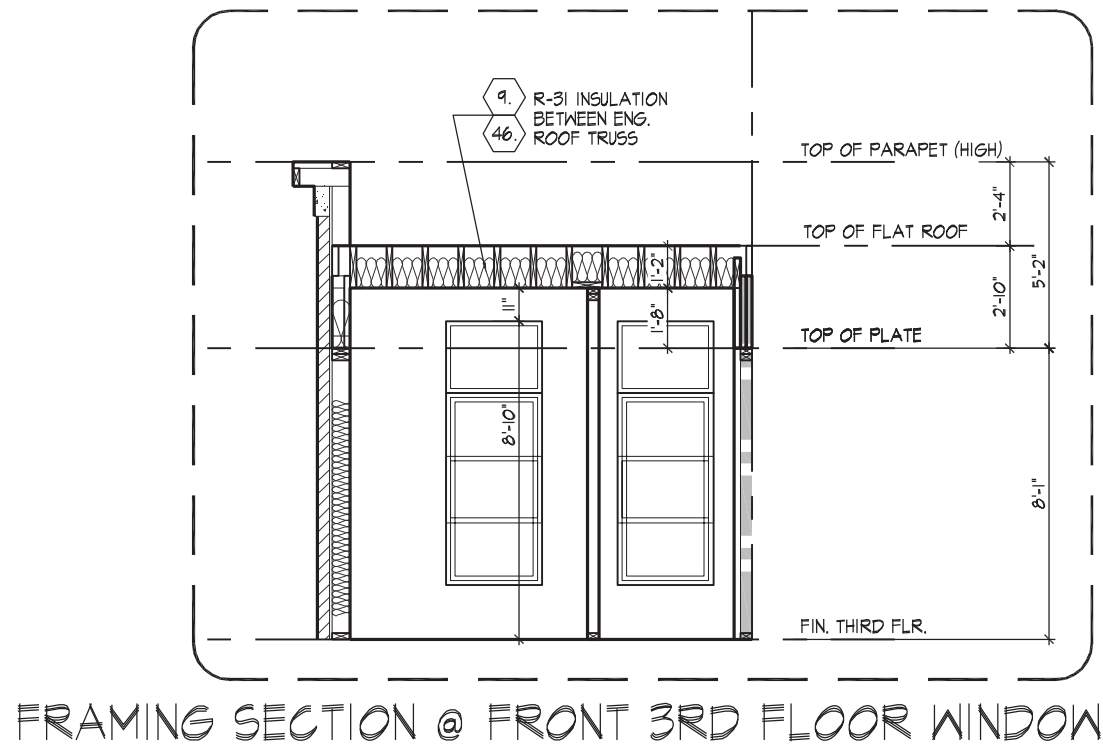
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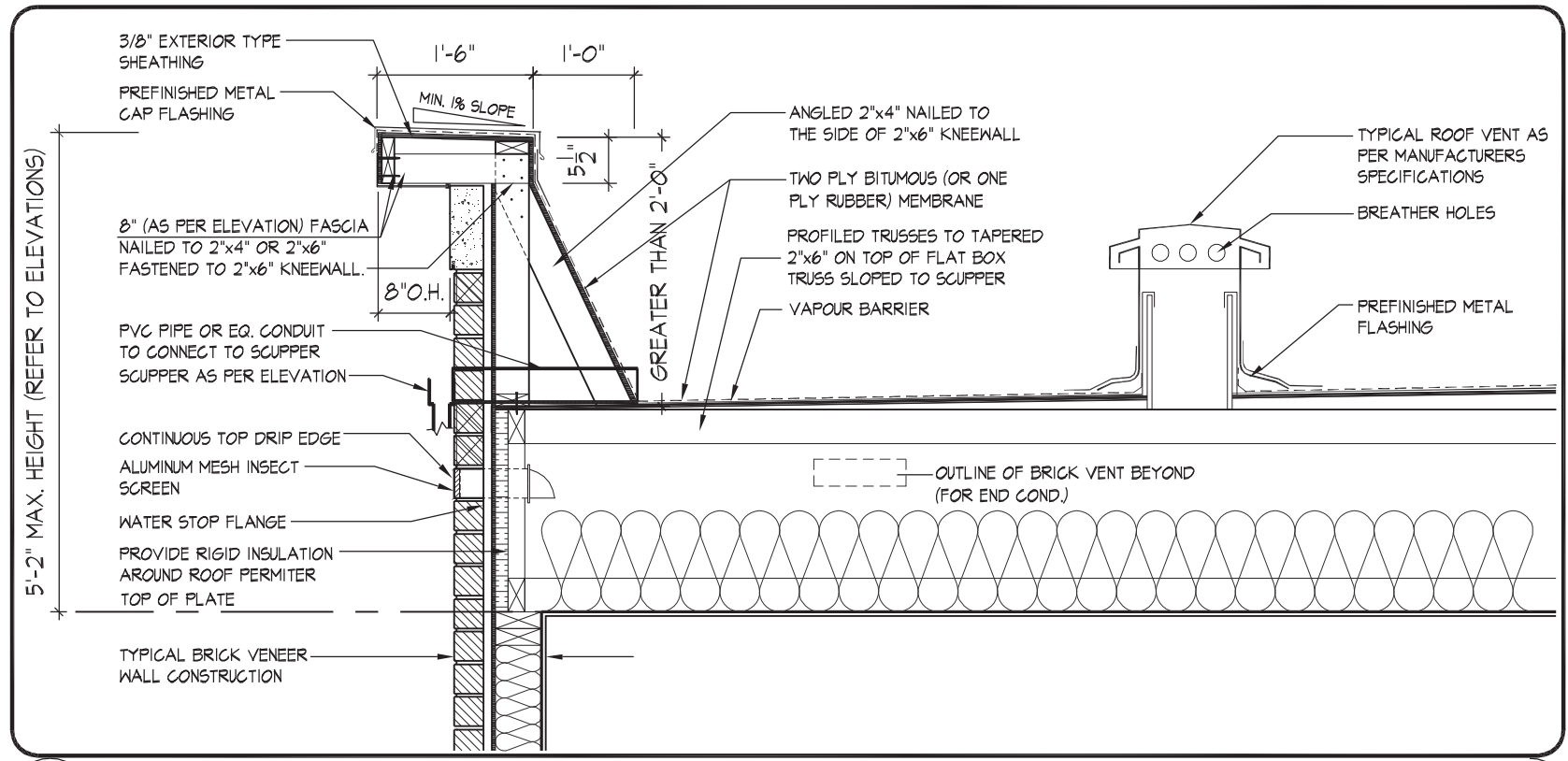
QUALIFICATION INFORMATION
NAME: DEREK R. SANTOS
REGISTRATION NUMBER: 37308
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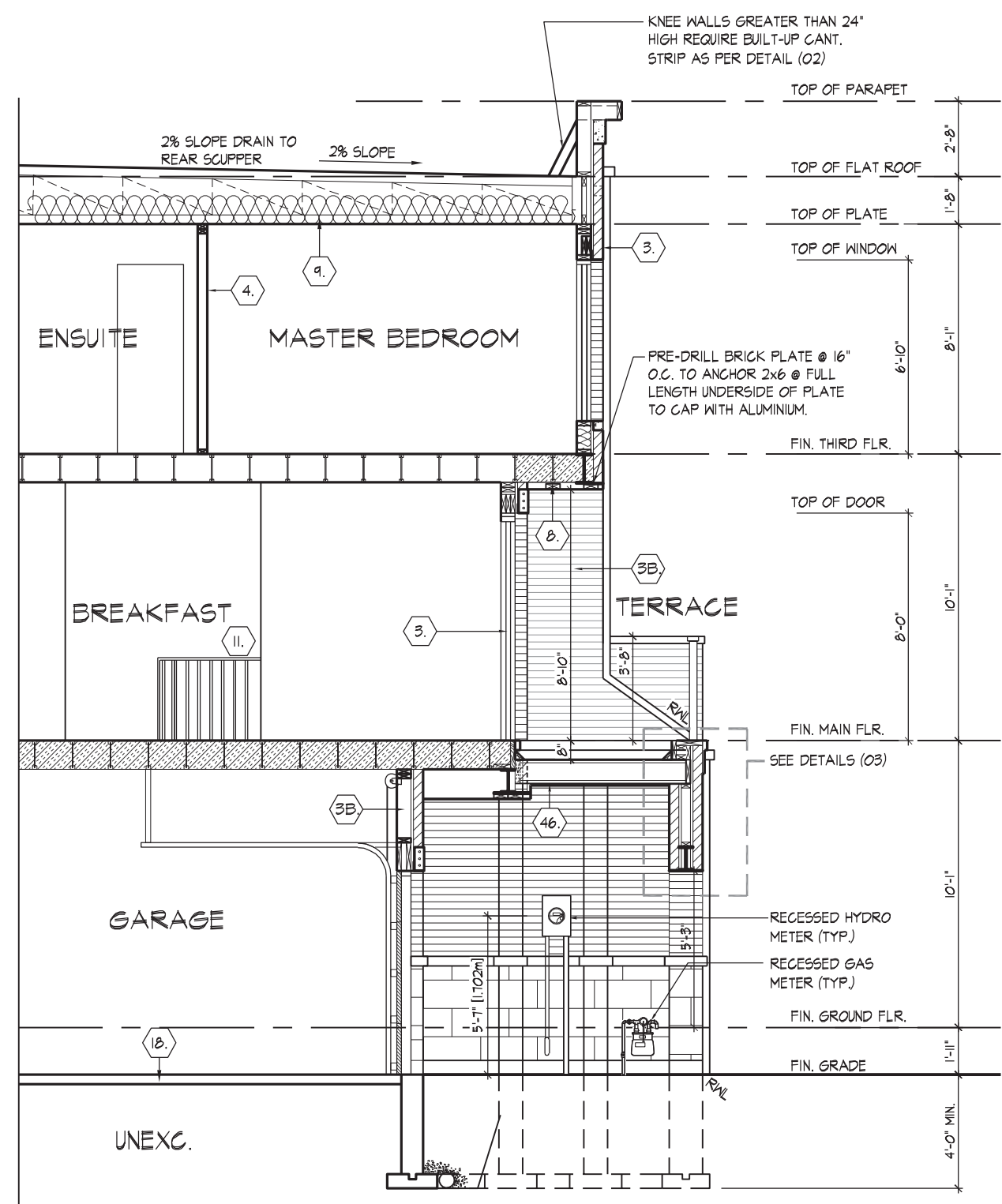
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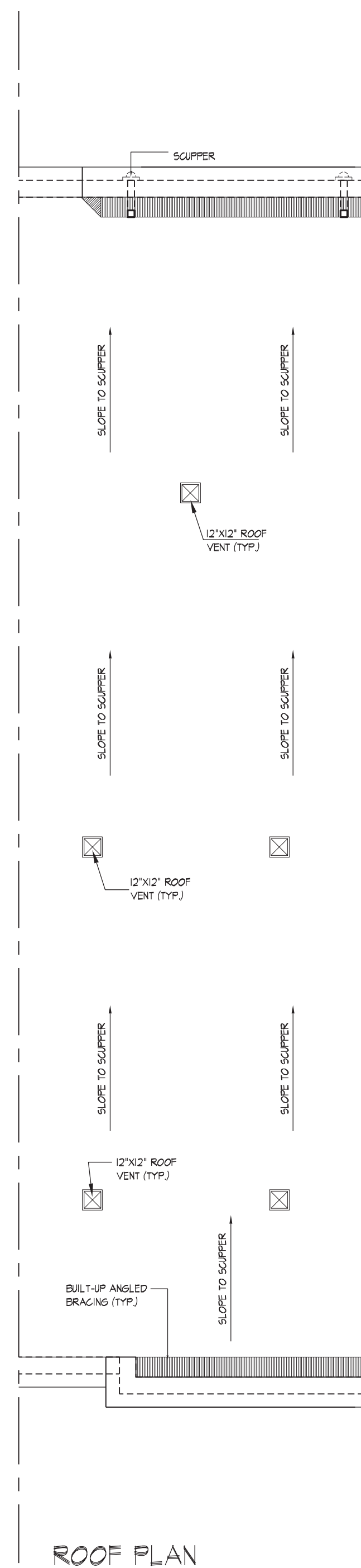
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02 PARAPET WALL GREATER THAN 24" WITH ANGLED BRACING
1/2"=1'-0"



PARTIAL SECTION 'C'



ROOF PLAN

ROOF SPACE TO BE VENTED AT 1:150 OF INSULATED CEILING. (AS PER O.B.C. 9.19.1)	
TOTAL ROOF SPACE	1030.17 ft ²
TOTAL VENTILATION SPACE REQ'D	1030.17 ft ² x 0.006 = 6.18 ft ²
ROOF VENT SIZE	12"x12" = 1.0 ft ²
MIN. 25% OF VENTING LOCATED AT THE TOP OF ROOF	
TOTAL # OF ROOF VENTS	5
TOTAL VENTILATION FROM ROOF VENTS	5 x 1.0 ft ² = 5.0 ft ²
MIN. 25% OF VENTING LOCATED AT THE BOTTOM OF ROOF (MIN. 1.545 ft ²)	
BRICK VENT SIZE	4"x10" = 0.278 ft ²
TOTAL # OF BRICK VENTS	10
TOTAL VENTILATION FROM ROOF VENTS	10 x 0.278 ft ² = 2.78 ft ²
TOTAL VENTILATION SPACE FROM ROOF & BRICK VENTS	2.78 ft ² + 5.0 ft ² = 7.78 ft ²

