



SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE	SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A
PACKAGE A1	SPACE HEATING FUEL
	<input checked="" type="checkbox"/> GAS <input type="checkbox"/> OIL
	<input type="checkbox"/> ELECTRIC <input type="checkbox"/> PROPANE
	<input type="checkbox"/> EARTH <input type="checkbox"/> SOLID FUEL

BUILDING COMPONENT	REQUIRED	PROPOSED
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE	5.46 (R31)	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	3.87 (R22)	3.87 (R22)
BASEMENT WALLS	3.52 ci (R20 ci) *	3.52 ci (R20 ci) *
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A'
- 3 - GROUND FLOOR PLAN, EL. 'A'
- 4 - SECOND FLOOR PLAN, EL. 'A'
- 5 - BASEMENT PLAN, EL. 'B'
- 6 - GROUND FLOOR PLAN, EL. 'B'
- 7 - SECOND FLOOR PLAN, EL. 'B'
- 8 - FRONT & REAR ELEVATION 'A' & 'B'
- 9 - LEFT SIDE ELEVATION 'A'
- 10 - FRONT ELEVATION 'B'
- 11 - LEFT SIDE ELEVATION 'B'
- 12 - LOOK OUT DECK CONDITION
- 13 - CROSS SECTION 'A-A'
- 14 - CONSTRUCTION NOTES 1 OF 2
- 15 - CONSTRUCTION NOTES 2 OF 2

AREA CALCULATIONS	EL. 'A'	EL. 'B'
	STD. PLAN	STD. PLAN
GROUND FLOOR AREA	1045.89 sq. ft.	1045.89 sq. ft.
SECOND FLOOR AREA	1262.03 sq. ft.	1262.03 sq. ft.
SUBTOTAL	2308 sq. ft.	2308 sq. ft.
DEDUCT ALL OPEN AREAS	8 sq. ft.	8 sq. ft.
TOTAL NET AREA	2300 sq. ft. (213.67 sq. m.)	2300 sq. ft. (213.67 sq. m.)
FINISHED BASEMENT	0 sq. ft.	0 sq. ft.
COVERAGE W/O PORCH	1262.03 sq. ft. (117.25 sq. m.)	1262.03 sq. ft. (117.25 sq. m.)
COVERAGE W/ PORCH	1336.03 sq. ft. (124.12 sq. m.)	1336.03 sq. ft. (124.12 sq. m.)

WINDOW / WALL AREA CALCULATIONS	EL. A	EL. B	EL. A	EL. B
	STD. PLAN	STD. PLAN	OPT. PLAN	OPT. PLAN
GROSS WALL AREA	3163 sq. ft. (293.85 sq. m.)	3163 sq. ft. (293.85 sq. m.)	3163 sq. ft. (293.85 sq. m.)	3163 sq. ft. (293.85 sq. m.)
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	242 sq. ft. (22.48 sq. m.)	243 sq. ft. (22.58 sq. m.)	248 sq. ft. (23.04 sq. m.)	250 sq. ft. (23.23 sq. m.)
TOTAL WINDOW %	7.65 %	7.68 %	7.84 %	7.90 %



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

REVISIONS	DATE (YYYY/MM/DD)	BY
7. ISSUED FOR FINAL APPROVAL	2019/05/17	DS
6. REVISED AS PER STRUCTURAL ENGINEER COMMENTS	2018/08/08	MM
5. COORDINATED PLANS W/ FLOOR LAYOUTS AS PER MANUF.	2019/04/25	BB
4. COORDINATED PLANS W/ ROOF TRUSS LAYOUTS AS PER MANUF.	2019/04/25	BB
3. REVISED AS PER ARCHITECTURAL CONTROL COMMENTS	2019/04/25	BB
2. REVISED AS PER CLIENT COMMENTS	2018/02/13	MM
1. ISSUED FOR CLIENT REVIEW & PRICING	2018/01/17	MM

TITLE PAGE



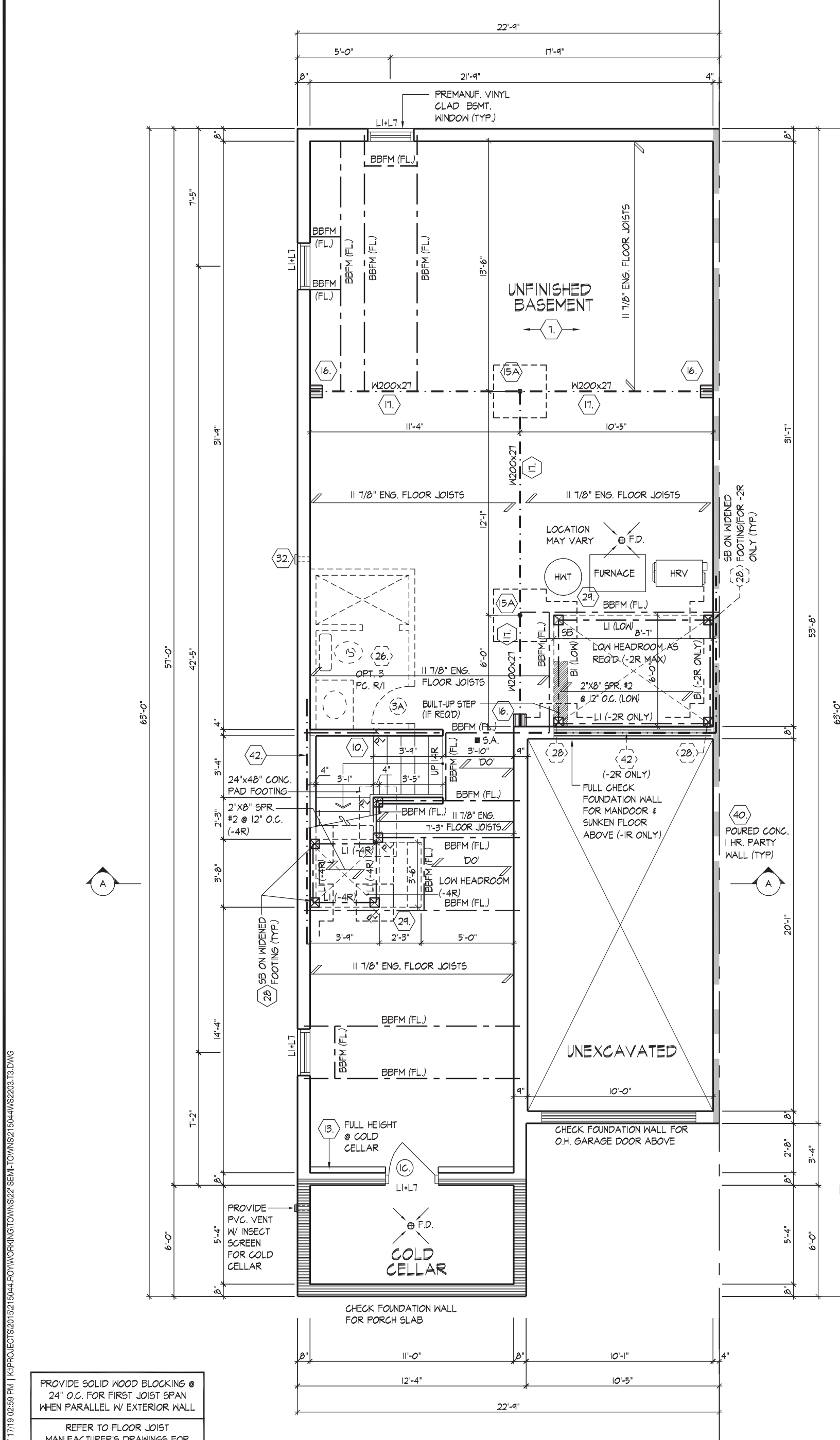
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
DEREK SANTOS 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By NS Checked By MM/DS Scale 3/16"=1'-0" File Number 215044WS2203.T3.DWG Page Number 1 of 15
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326



BASEMENT PLAN, EL. 'A'



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

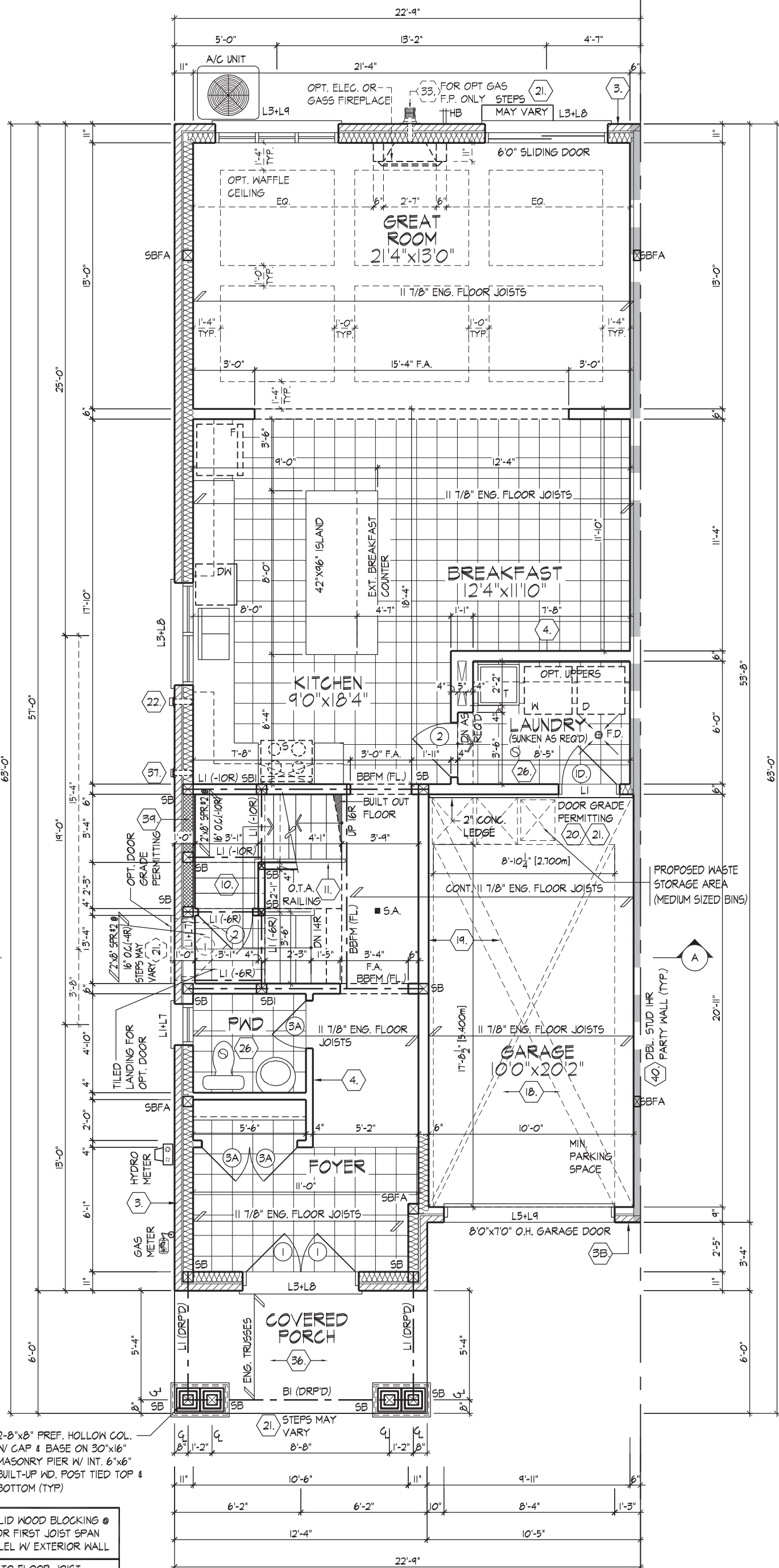
DSANTOS | FRI MAY 17 11:02:59 PM | K:\PROJECTS\2015\215044\ROY\WORKING\TOWNS22 SEMI-TOWNS\215044\WS2203.T3.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
 www.huntdesign.ca
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By MM/DS Checked By Scale 3/16"=1'-0" File Number 215044WS2203.T3.DWG Page Number 2 of 15

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



GROUND FLOOR PLAN, EL. 'A'



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

ALL POSTS NOTED AS "SB" SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
 SBI - MIN. 3/2"x4" OR 3/2"x6"
 SB2 - MIN. 4/2"x4" OR 4/2"x6"
 SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
 ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

GROUND FLOOR PLAN, EL. 'A'

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS

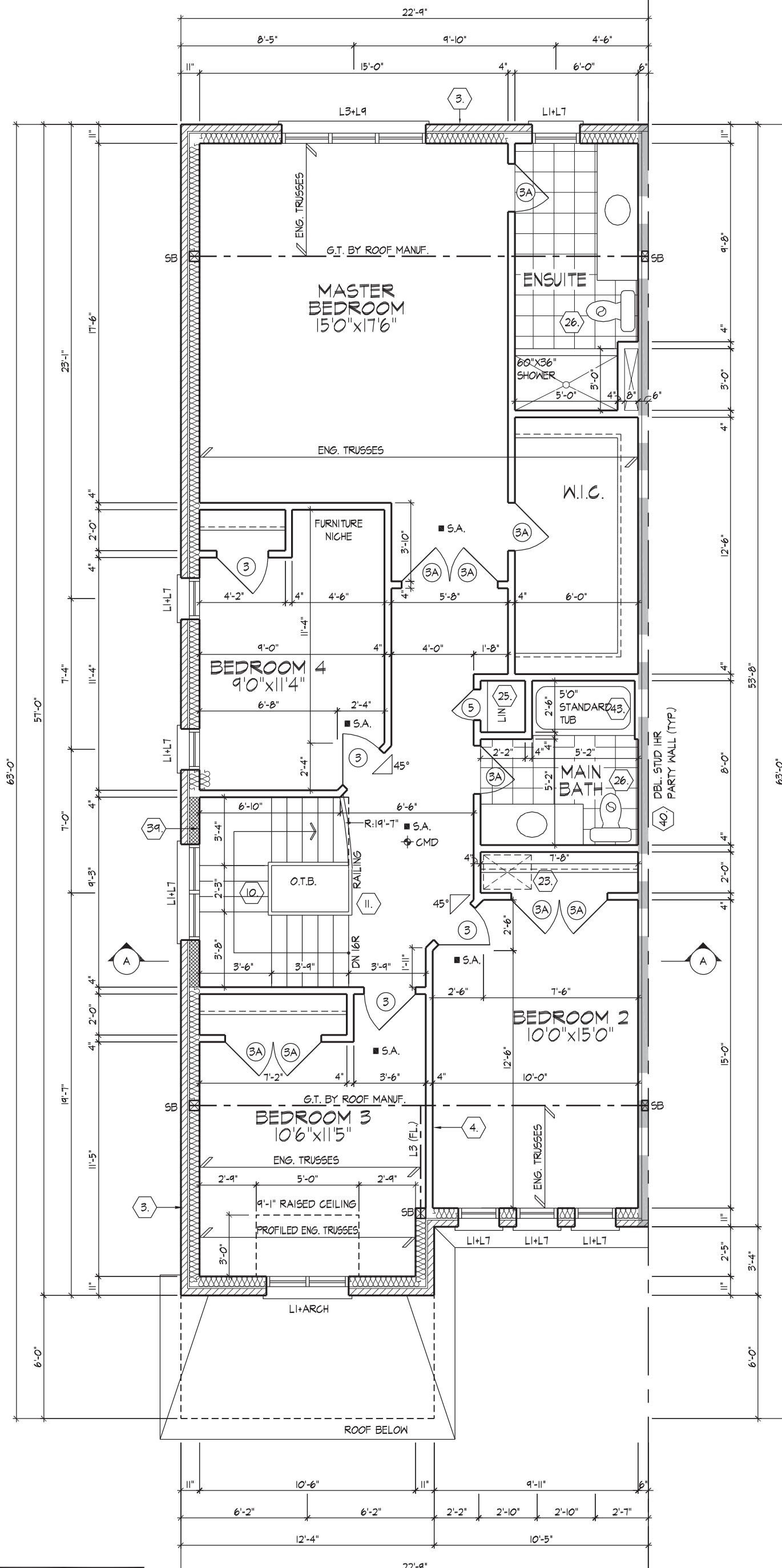
DSANTOS | FRI MAY 17 11:02:59 PM | K:\PROJECTS\20151215044\POV\WORKING\TOWNS22 SEVI-TOWNS215044WS2203.T3.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME: DEREK SANTOS
 REGISTRATION INFORMATION: BCIN
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
 www.huntdesign.ca
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By: NS Checked By: MM/DS Scale: 3/16"=1'-0" File Number: 215044WS2203.T3.DWG Page Number: 3 of 15

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)



SECOND FLOOR PLAN, EL. 'A'

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

ALL POSTS NOTED AS "SB" SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
 SB1 - MIN. 3/2"x4" OR 3/2"x6"
 SB2 - MIN. 4/2"x4" OR 4/2"x6"
 SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
 ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

SECOND FLOOR PLAN, EL. 'A'

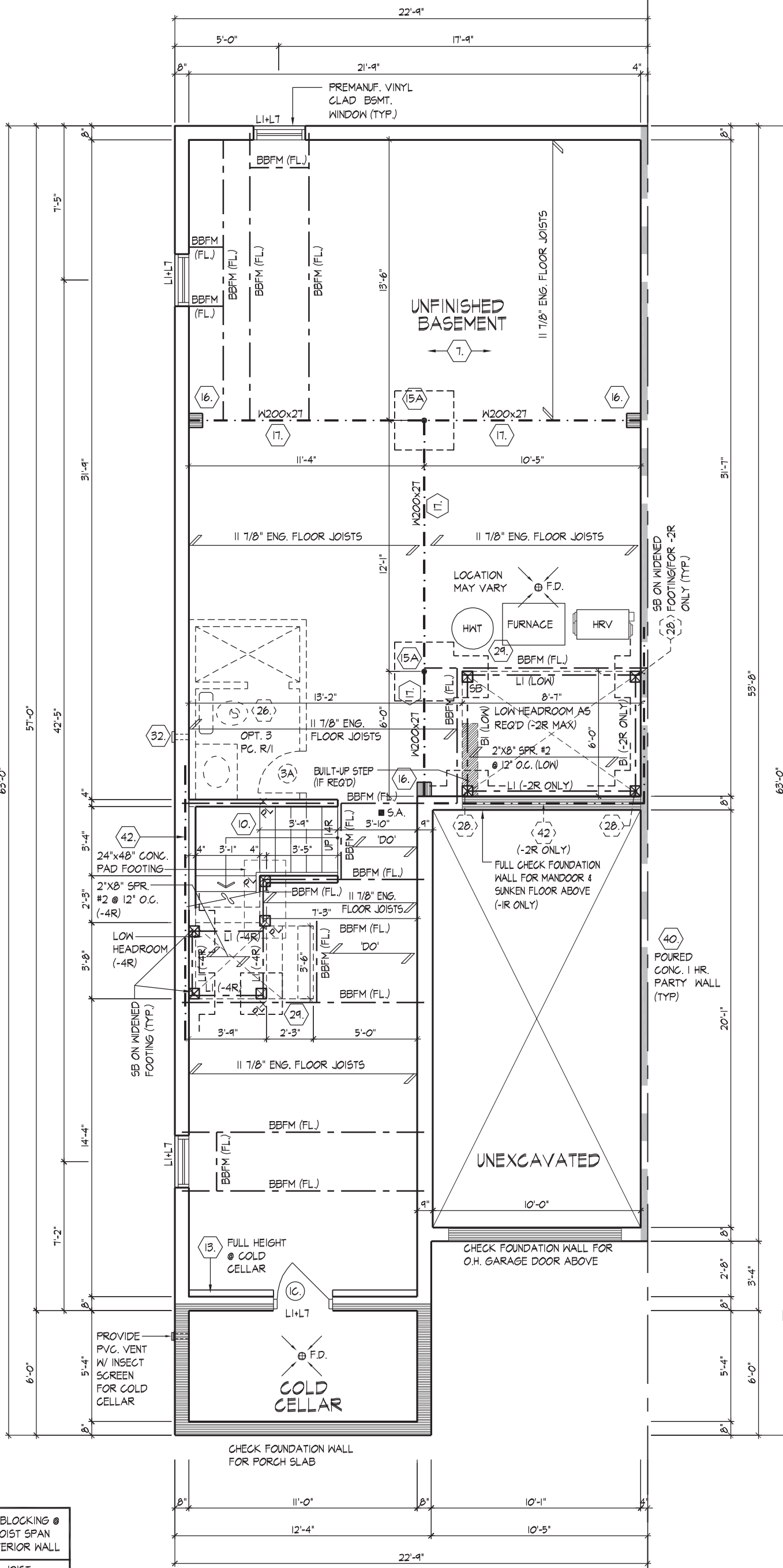
DSANTOS | FRI MAY 17 10:02:59 PM | K:\PROJECTS\20151215044.FOV\WORKING\TOWNS22 SEVI-TOWNS215044WS2203.T3.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS
 NAME: [Signature] BCIN: 37308
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By: NS Checked By: MM/DS Scale: 3/16"=1'-0"
 File Number: 215044WS2203.T3.DWG Page Number: 4 of 15
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



BASEMENT PLAN, EL. 'B'

PROVIDE SOLID WOOD BLOCKING @ 24" O.C. FOR FIRST JOIST SPAN WHEN PARALLEL W/ EXTERIOR WALL

REFER TO FLOOR JOIST MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, BLOCKING & STRAPPING REQUIREMENTS, INSTALLATION DETAILS AND HANGER SIZES, & SUBFLOOR THICKNESS



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*
 DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

BASEMENT PLAN, EL. 'B'

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

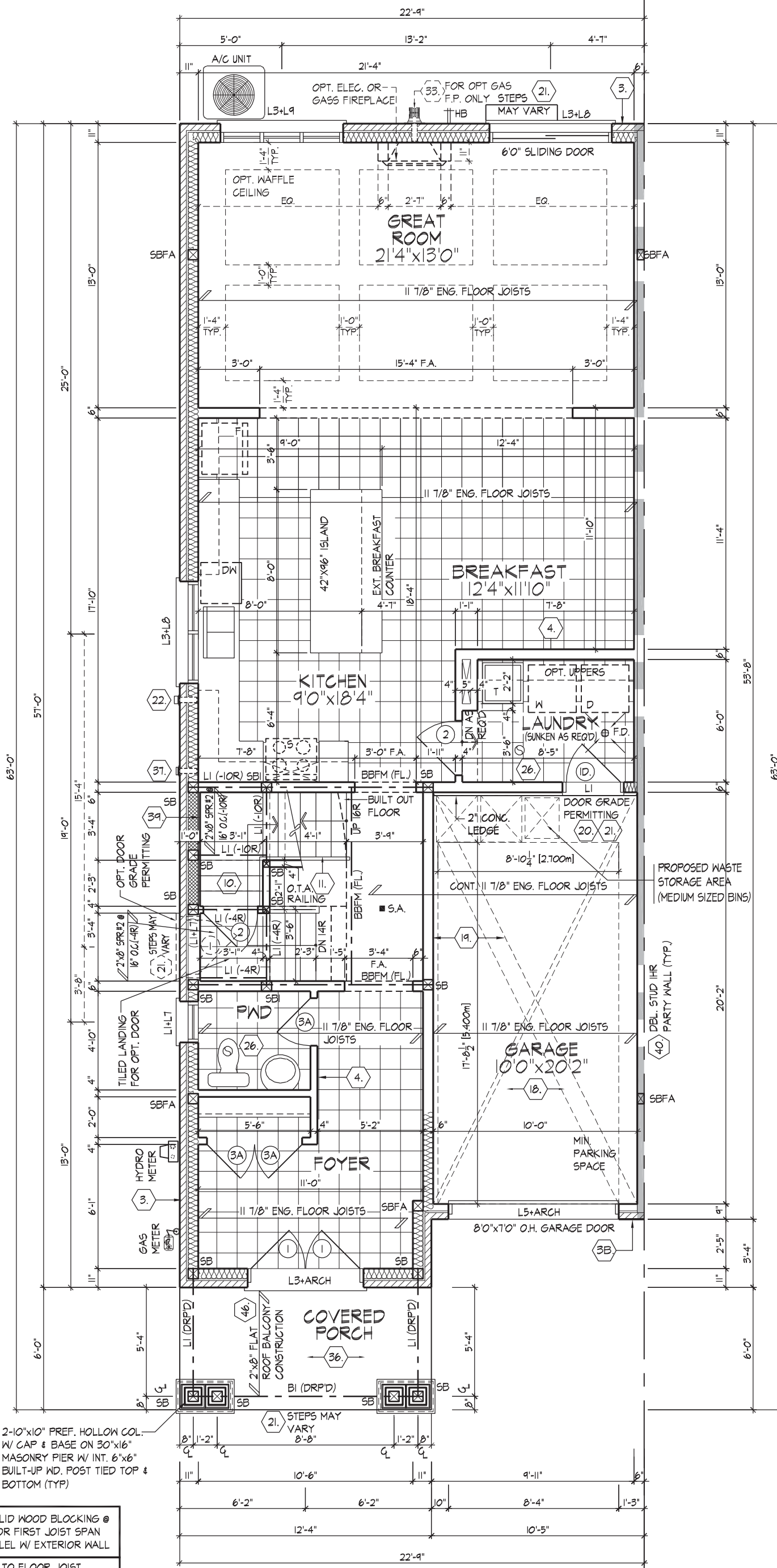
QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME: DEREK SANTOS
 REGISTRATION INFORMATION: BCIN



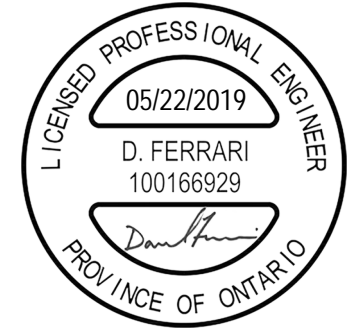
ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By: MM/DS Checked By: Scale: 3/16"=1'-0" File Number: 215044WS2203.T3.DWG Page Number: 5 of 15

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



GROUND FLOOR PLAN, EL. 'B'



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

ALL POSTS NOTED AS "SB" SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
 SB1 - MIN. 3/2"x4" OR 3/2"x6"
 SB2 - MIN. 4/2"x4" OR 4/2"x6"
 SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
 ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: [Signature]
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

GROUND FLOOR PLAN, EL. 'B'

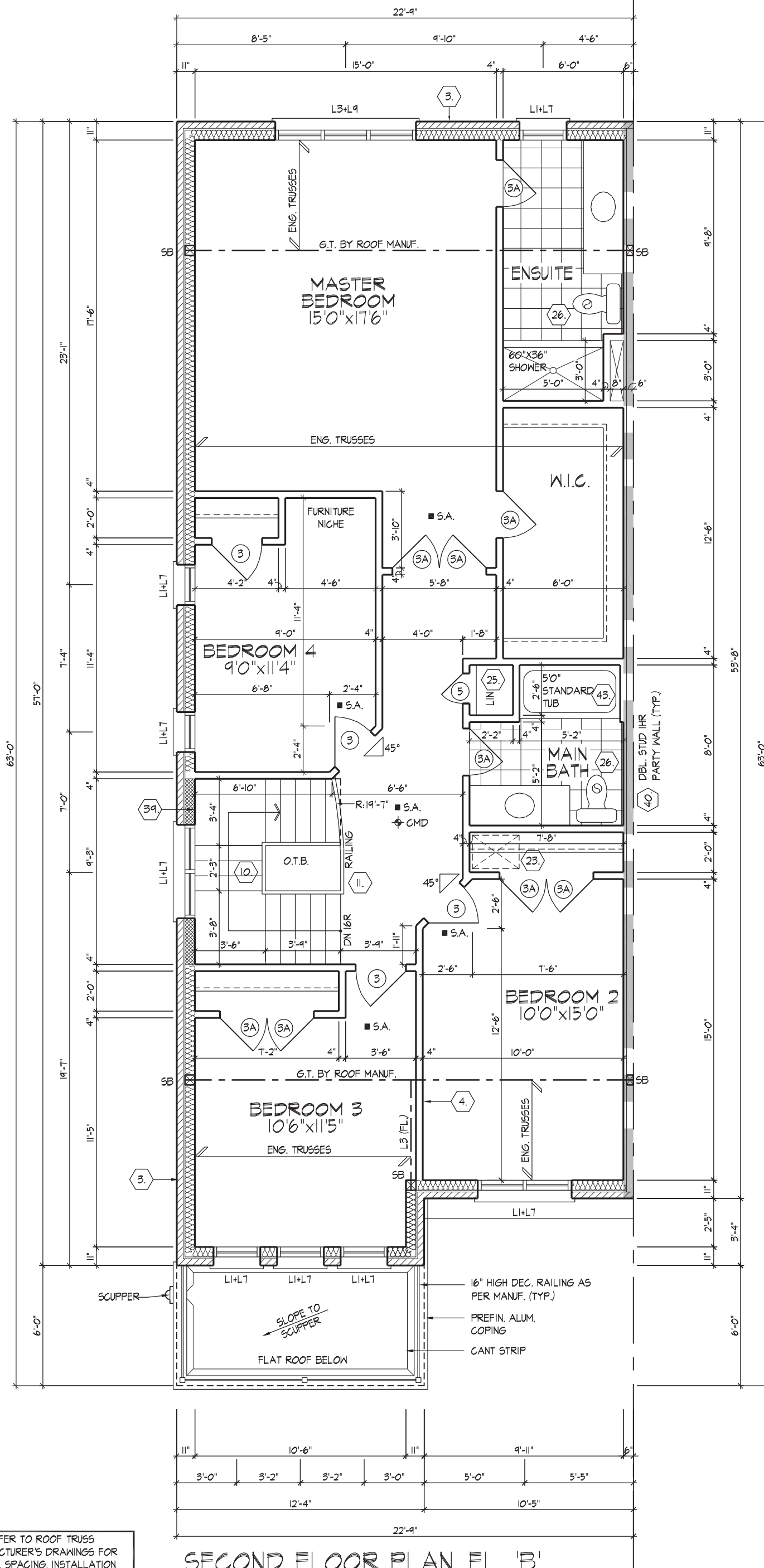
DSANTOS | FRI MAY 17 11:02:59 PM | K:\PROJECTS\2015\215044\ROY\WORKING\TOWNS22 SEVI-TOWNS215044WS2203.T3.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME REGISTRATION INFORMATION BCIN
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT
 DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By: NS Checked By: MM/DS Scale: 3/16"=1'-0" File Number: 215044WS2203.T3.DWG Page Number: 6 of 15
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



SECOND FLOOR PLAN, EL. 'B'

REFER TO ROOF TRUSS MANUFACTURER'S DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

ALL POSTS NOTED AS "SB" SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS:
 SB1 - MIN. 3/2"x4" OR 3/2"x6"
 SB2 - MIN. 4/2"x4" OR 4/2"x6"
 SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
 ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6", SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: *[Signature]*
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

SECOND FLOOR PLAN, EL. 'B'

DSANTOS | FRI MAY 17 11:02:59 PM | K:\PROJECTS\2019\215044\ROYAL PINE HOMES\22 SEVI-TOWNS\215044\WS2203.T3.DWG

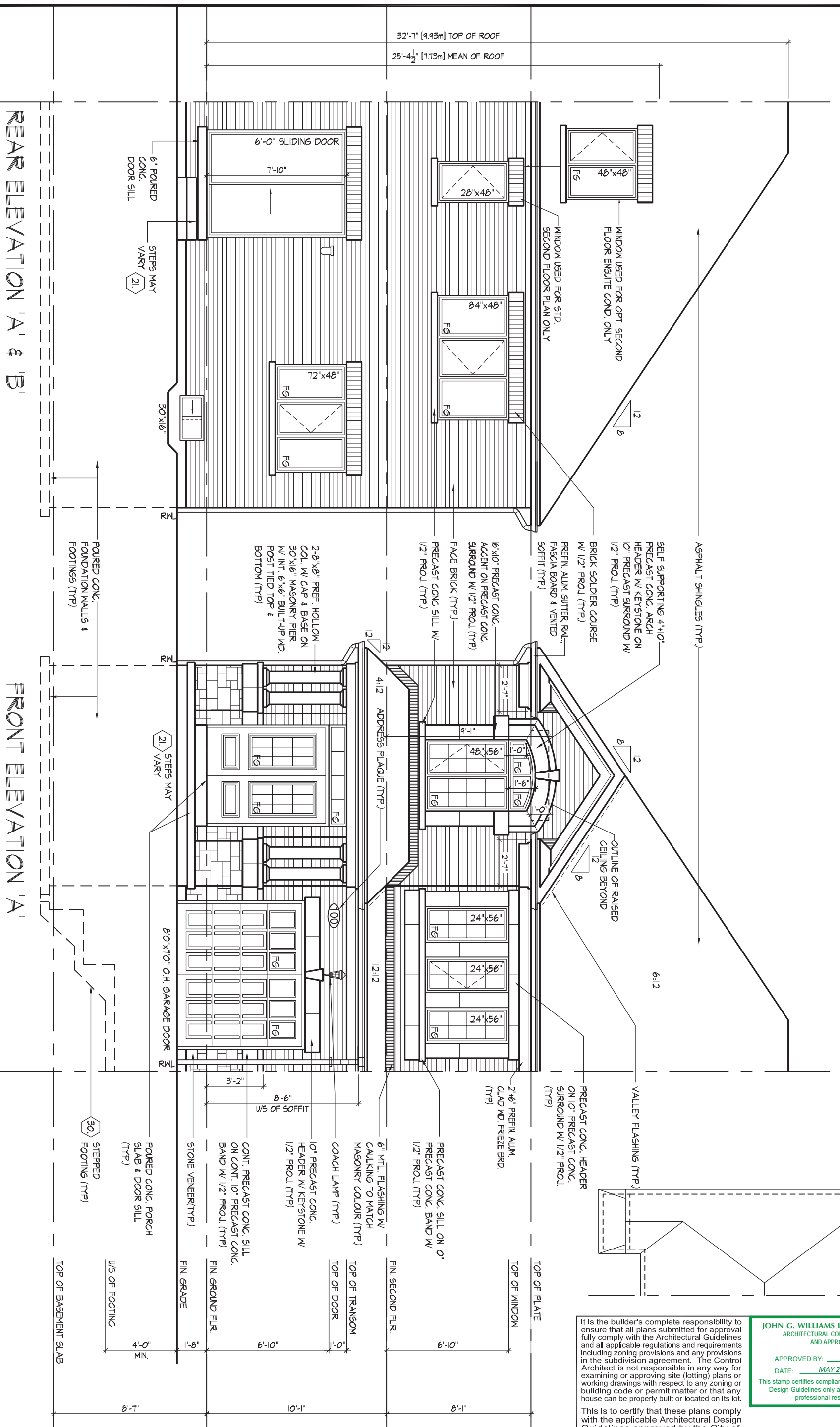
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS
 NAME: DEREK SANTOS
 REGISTRATION INFORMATION: BCIN 37308
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
 www.huntdesign.ca
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By: NS Checked By: MM/DS Scale: 3/16"=1'-0" File Number: 215044WS2203.T3.DWG Page Number: 7 of 15

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

**ROOF PLAN A
NTS.**



REAR ELEVATION 'A' & 'B'

FRONT ELEVATION 'A'

FRONT & REAR ELEVATION 'A' & 'B'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: _____
DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

DSANTOS | FRI MAY 17 11:02:59 PM | K:\PROJECTS\2015\215044\F01\WORKING\TOWNSHIP\SEMI-TOWNSHIP\215044\WS2203.T3.DWG

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
DEREK SANTOS 37308
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

Drawn By: MM/DS Checked By: Scale File Number: 215044WS2202.T2.DWG Page Number: 8 of 15

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

WINDOW SUMMARY

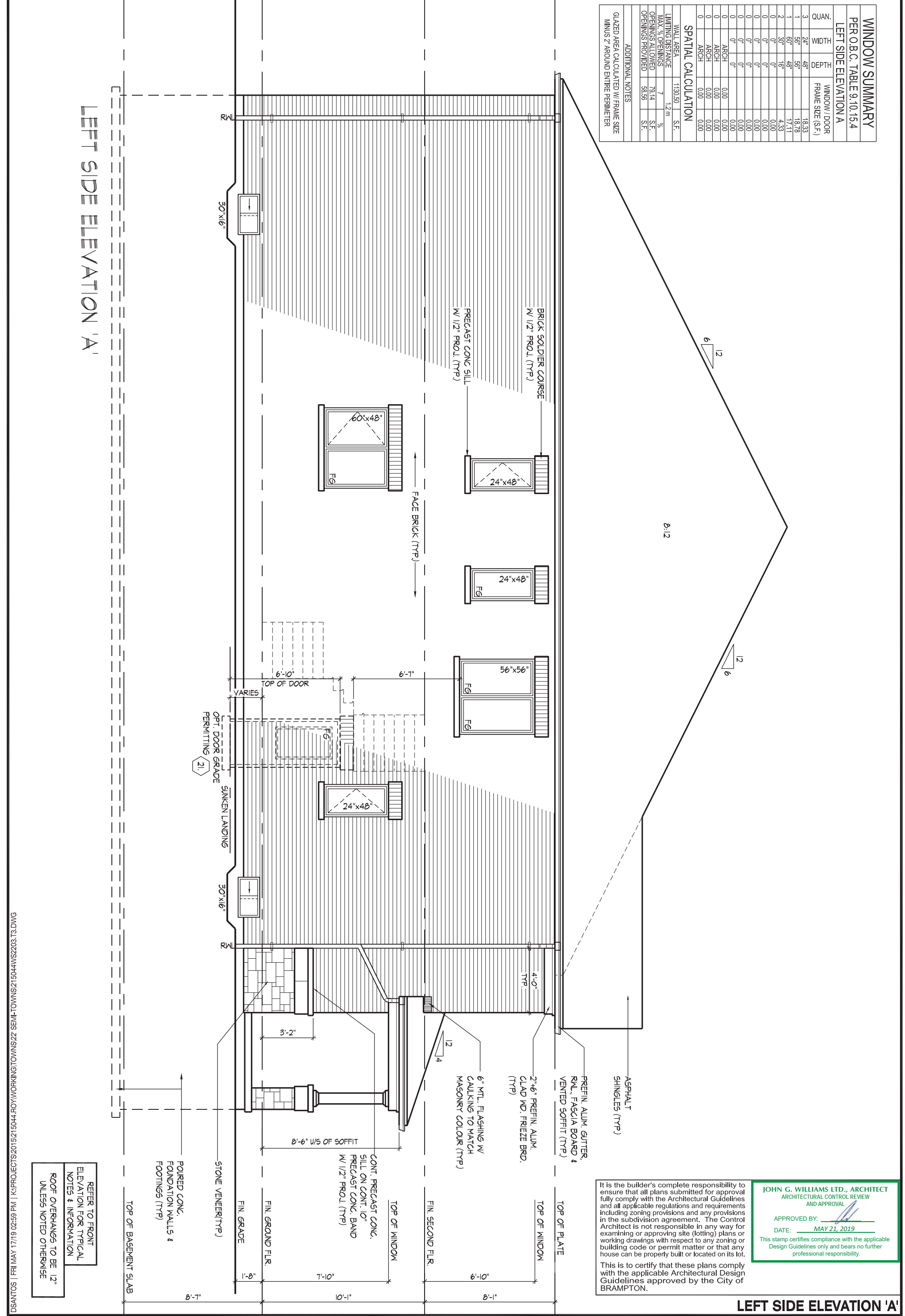
PER O.B.C. TABLE 9.10.15.4
LEFT SIDE ELEVATION A

QUAN.	WIDTH	DEPTH	WINDOW/DOOR FRAME SIZE (S.F.)
3	24"	48"	18.33
1	56"	56"	18.78
1	60"	48"	17.11
2	30"	16"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00

SPATIAL CALCULATION		
WALL AREA	1130.50	S.F.
LIMITING DISTANCE	1.2 m	%
MAX. % OPENINGS	7	%
OPENINGS ALLOWED	79.14	S.F.
OPENINGS PROVIDED	58.56	S.F.

ADDITIONAL NOTES
GLAZED AREA CALCULATED W/ FRAME SIZE MINUS 2" AROUND ENTIRE PERIMETER

LEFT SIDE ELEVATION 'A'



JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: MAY 21, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

LEFT SIDE ELEVATION 'A'

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

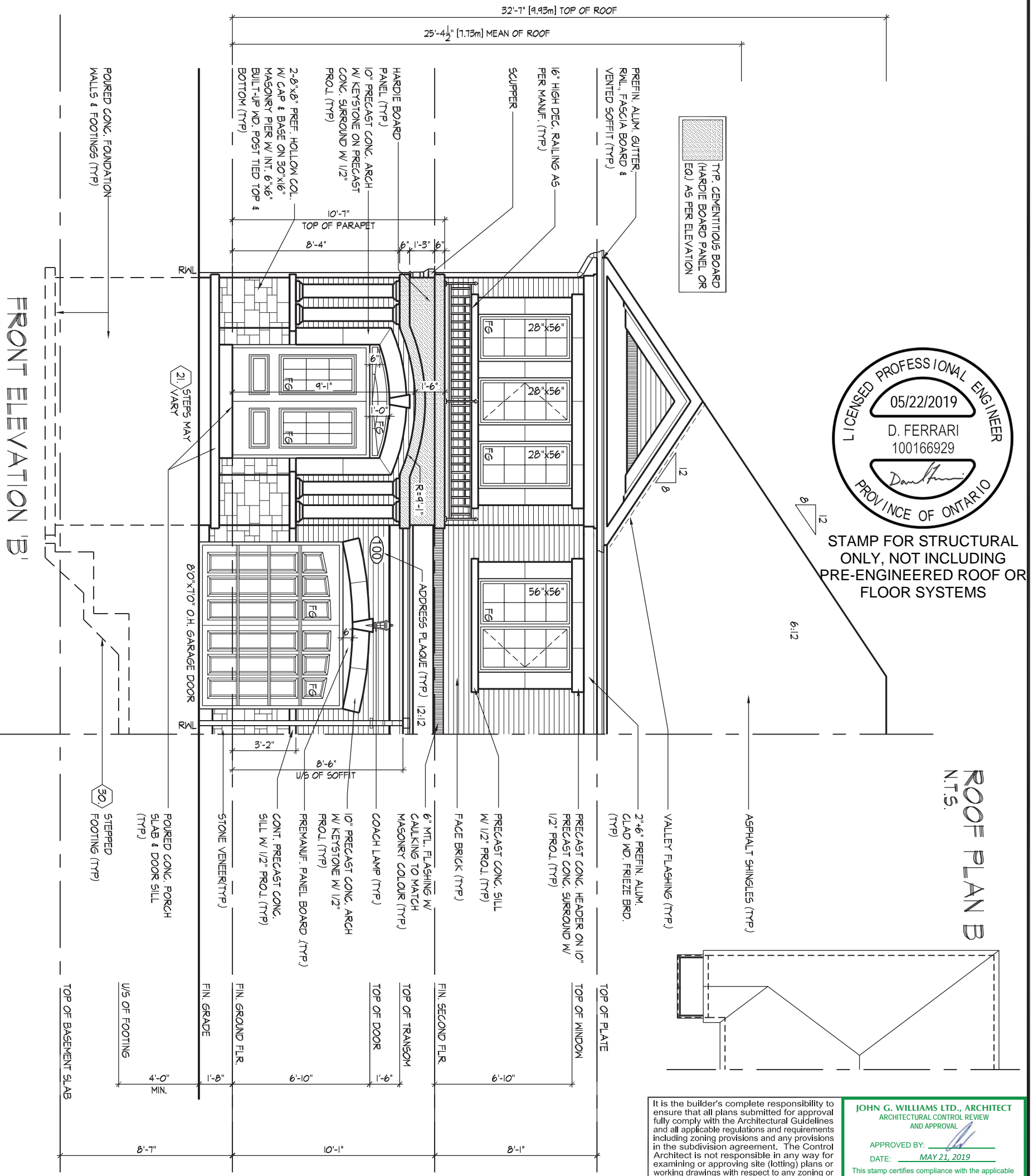
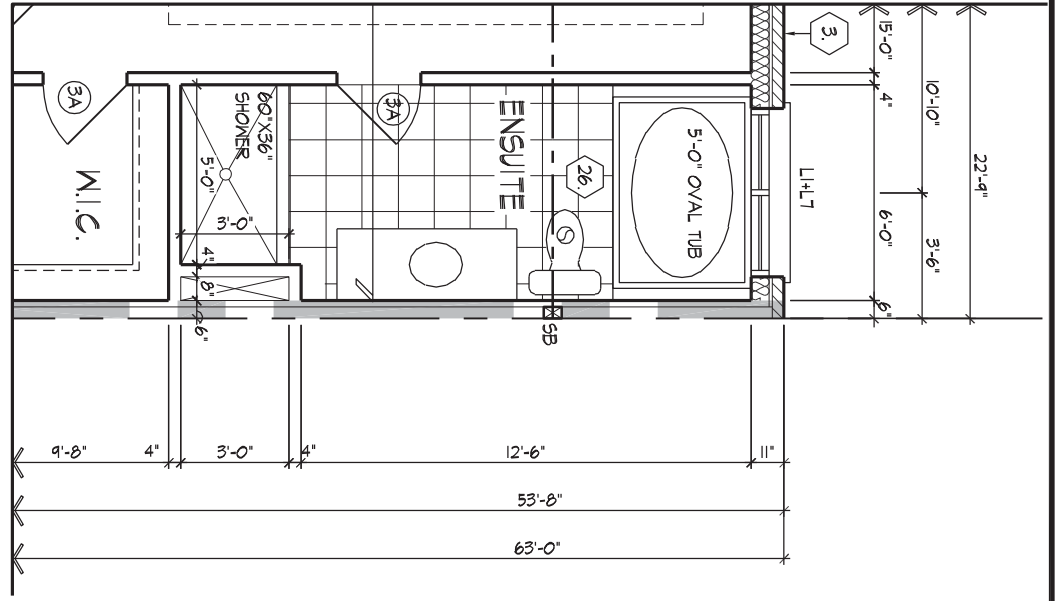
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
DEREK SANTOS
NAME: _____
REGISTRATION INFORMATION: _____
HUNT DESIGN ASSOCIATES INC. 19695
37308 BCIN

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca
8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

Drawn By: NS Checked By: MM/DS Scale: 3/16"=1'-0" File Number: 215044WS2202.T2.DWG Page Number: 9 of 15

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

OPT. ENSUITE SECOND FLOOR PLAN, EL. 'A' & 'B'



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
 DATE: MAY 21, 2019

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

FRONT ELEVATION 'B'

DSANTOS | FRI MAY 17 11:02:59 PM | K:\PROJECTS\2019\215044\ROY\WORKING\TOWNSHIP22\SEMI-MI\1711044\ROY\WORKING\TOWNSHIP22\T3.DWG

ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

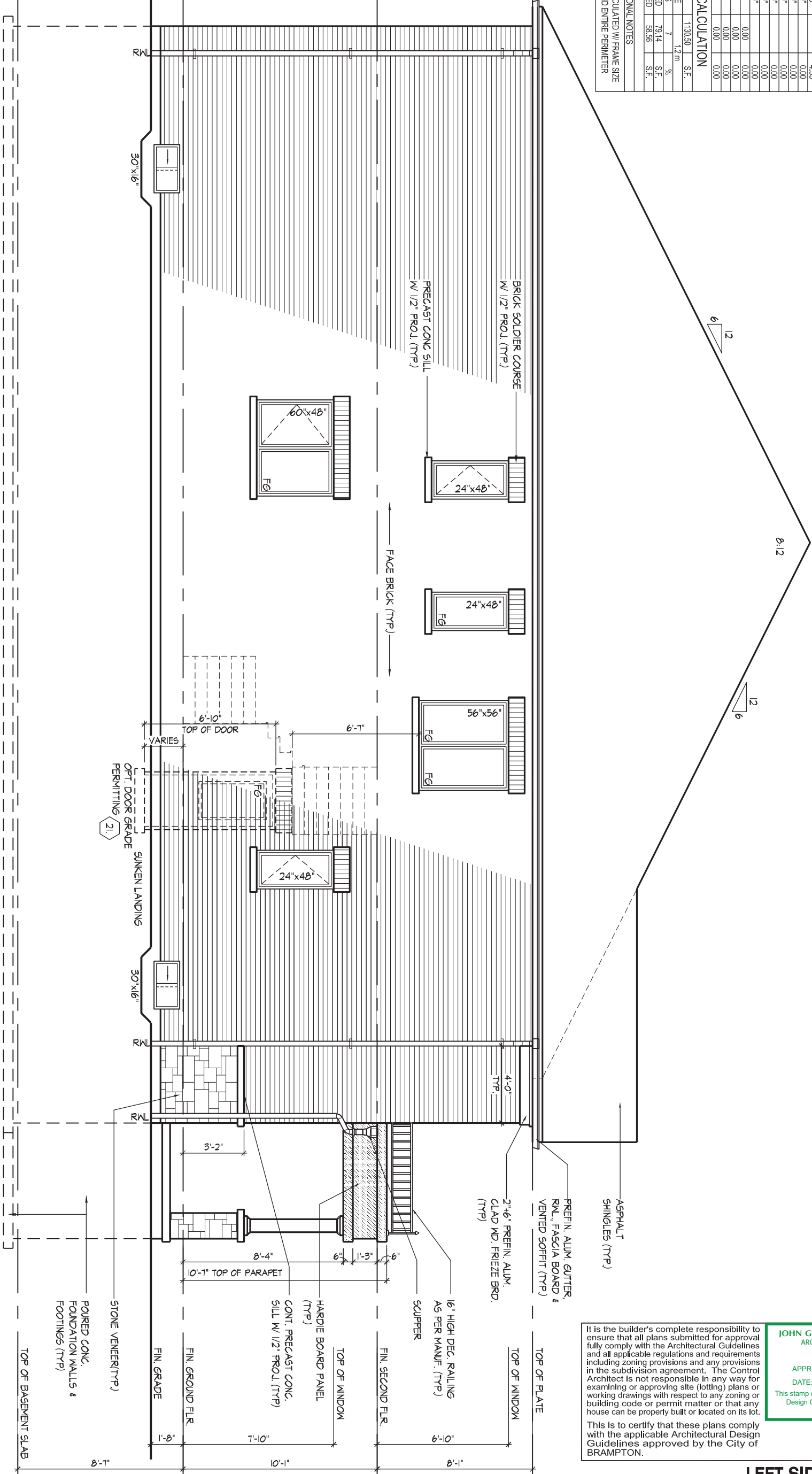
All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).

WINDOW SUMMARY			
PER O.B.C. TABLE 9.10.15.4			
LEFT SIDE ELEVATION B			
QUAN.	WIDTH	DEPTH	WINDOW / DOOR FRAME SIZE (S.F.)
3	24"	48"	18.33
1	60"	56"	18.78
2	30"	18"	17.11
0	0"	0"	4.33
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00
0	0"	0"	0.00

SPATIAL CALCULATION		
WALL AREA	1130.50	S.F.
LIMITING DISTANCE	7	1.2m
MAX. % OPENINGS	79.14	%
OPENINGS ALLOWED	58.56	S.F.
OPENINGS PROVIDED	58.56	S.F.

ADDITIONAL NOTES
 GLAZED AREA CALCULATED W/ FRAME SIZE
 MINUS 2" AROUND ENTIRE PERIMETER

LEFT SIDE ELEVATION 'B'



DSANTOS | FRI MAY 17 11:02:59 PM | K:\PROJECTS\2015\215044\ROY\WORKING\TOWNSHIP\SEMI-TOWNSHIP\215044\WS2203.T3.DWG

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION
 ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

<p>JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW AND APPROVAL</p> <p>APPROVED BY: </p> <p>DATE: MAY 21, 2019</p> <p><small>This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.</small></p>

LEFT SIDE ELEVATION 'B'

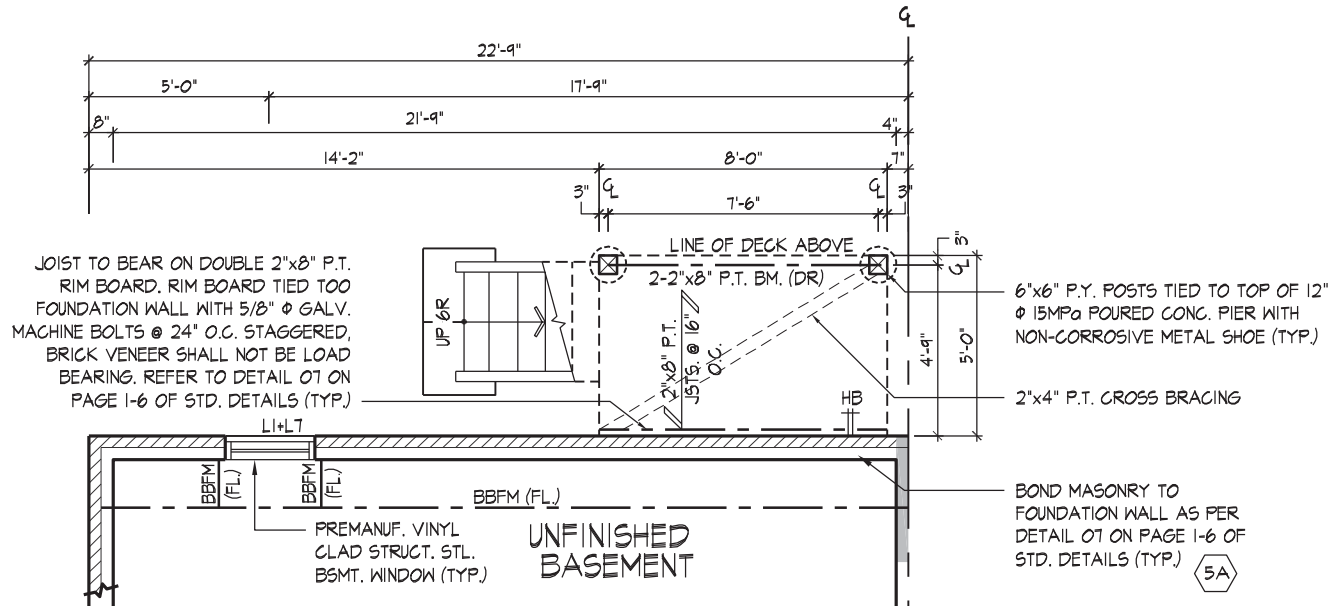
ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695



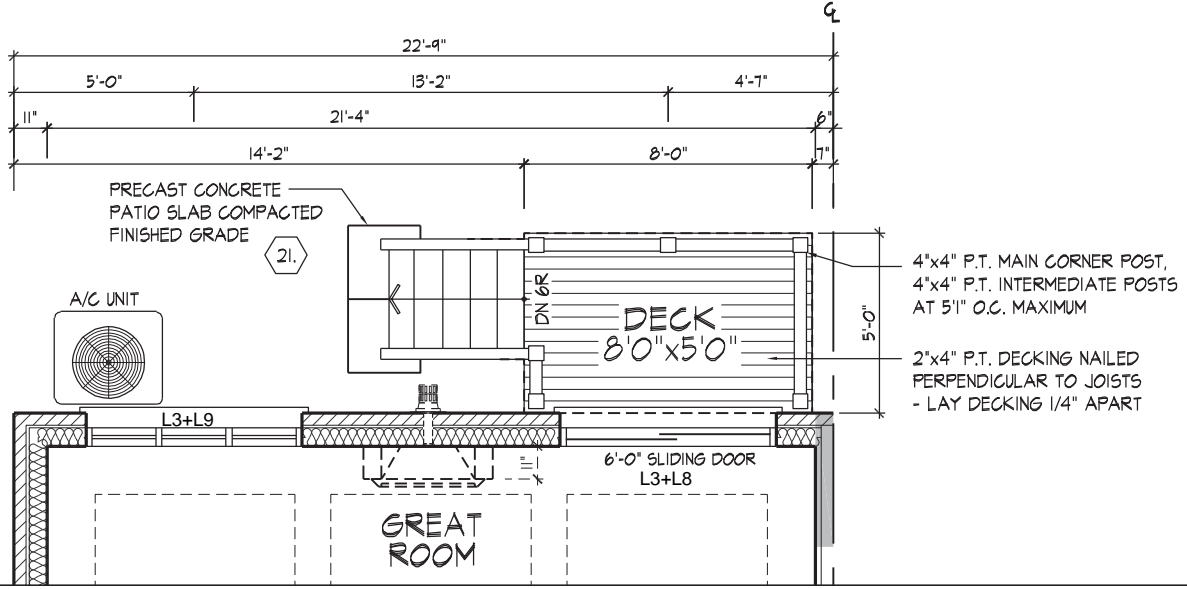
Drawn By NS Checked By MM/DS Scale 3/16"=1'-0" File Number 215044WS2202.T2.DWG Page Number 11 of 15
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326
 www.huntdesign.ca

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature).



NOTE:
 10" CONC. FOUNDATION WALL W/ 2"x6" KNEEWALL MAY BE REQUIRED DEPENDING ON BACKFILL HEIGHT. REFER TO SITING & DETAIL 05 ON PAGE I-5 OF STD. DETAILS

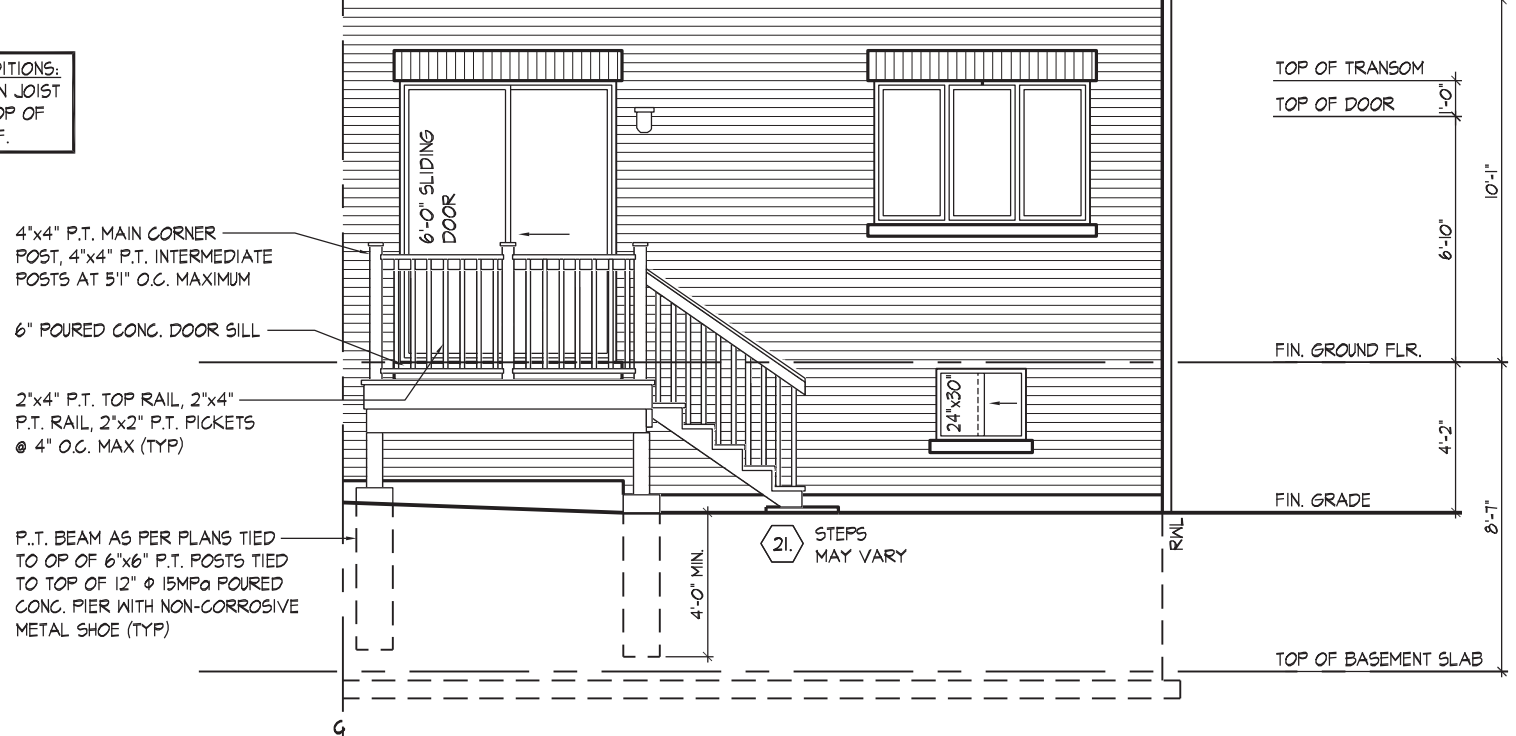
PART. BASEMENT FLOOR PLAN - L.O.D. CONDITION
 (6 RISER DECK CONDITION)



NOTE:
 REFER TO STANDARD FLOOR PLANS FOR COMPLETE DIMENSIONS & STRUCTURAL INFORMATION

PART. GROUND FLOOR PLAN - L.O.D. CONDITION
 (6 RISER DECK CONDITION)

WINDOW SIZES FOR L.O.D. CONDITIONS:
 WINDOWS TO BE LOCATED WITHIN JOIST SPACE. IF GRADE PERMITS, TOP OF WINDOW TO BE 6'-10" A.F.F.



REAR ELEVATION - L.O.D. CONDITION
 (6 RISER DECK CONDITION)



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL
 APPROVED BY: _____
 DATE: MAY 21, 2019
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LOOK OUT DECK CONDITION

DSANTOS | FRI MAY 17 11:02:59 PM | K:\PROJECTS\2015\215044\POV\WORKING\TOWNS22\SEMI-TOWNS215044\WS2203.T3.DWG

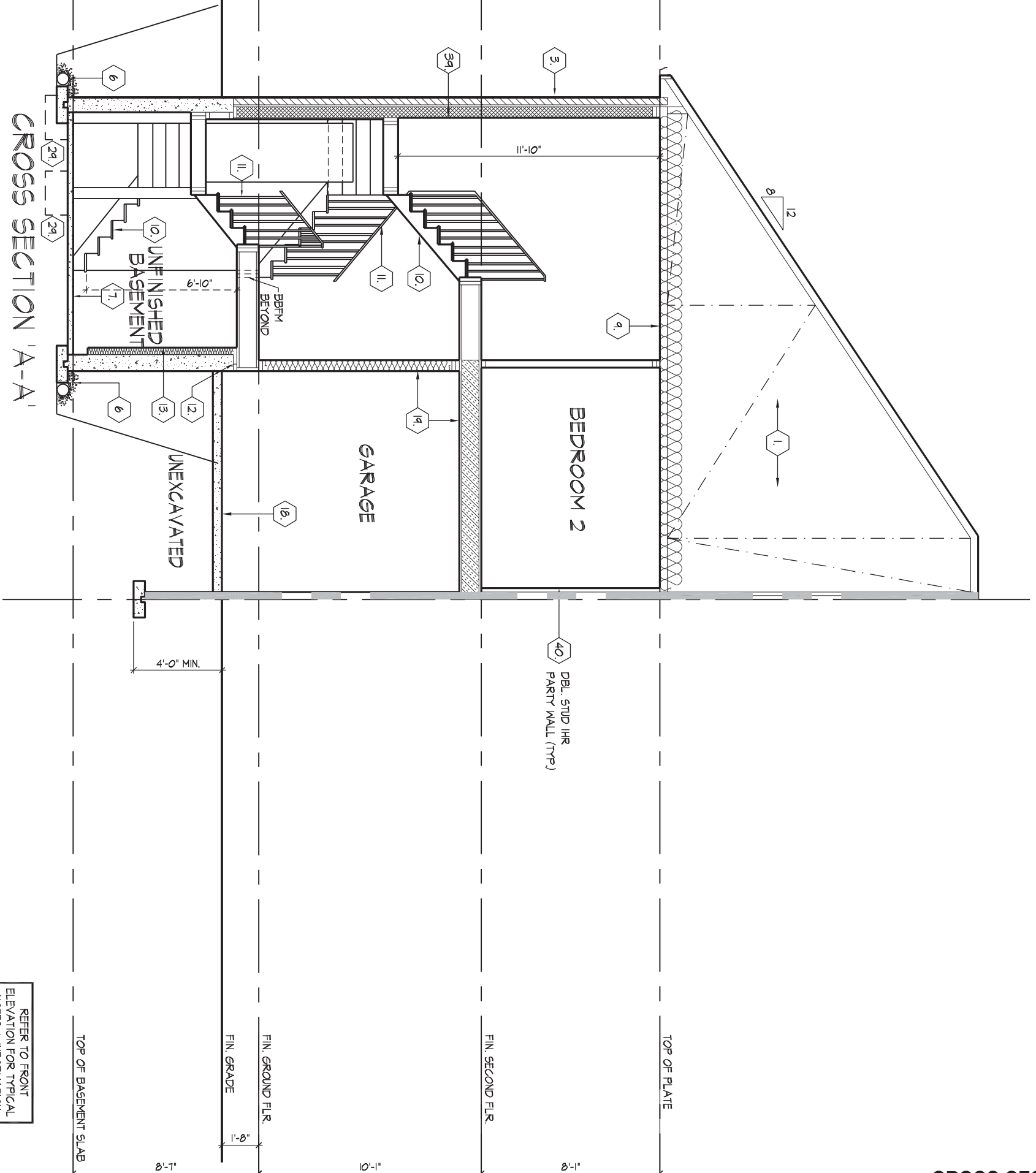
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS 37308
 NAME: DEREK SANTOS BCIN: 37308
 REGISTRATION INFORMATION
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By: NS/BB Checked By: MM/DS Scale: 3/16"=1'-0" File Number: 215044WS2203.T3.DWG Page Number: 12 of 15
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

CROSS SECTION 'A-A'



CROSS SECTION 'A-A'

DSANTOS | FRI MAY 17 11:02:59 PM | K:\PROJECTS\2015\215044.FOV\WORKING\TOWNS22 SEMI-TOWNS\215044WS2203.T3.DWG

REFER TO FRONT ELEVATION FOR TYPICAL NOTES & INFORMATION
 ROOF OVERHANGS TO BE 12" UNLESS NOTED OTHERWISE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
 QUALIFICATION INFORMATION
 DEREK SANTOS
 NAME: DEREK SANTOS
 REGISTRATION INFORMATION: 37308 BCIN
 HUNT DESIGN ASSOCIATES INC. 19695

HUNT DESIGN ASSOCIATES INC.
 www.huntdesign.ca

ROYAL PINE HOMES-FORESTSIDE ESTATES PH2-215044 UNIT 2203-END-T3
 "MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17
 Drawn By: NS
 Checked By: MM/DS
 Scale: 3/16"=1'-0"
 File Number: 215044WS2202.T2.DWG
 Page Number: 13 of 15
 8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

All drawings specifications related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited without H.D.A.'s written permission (H.D.A. assumes no responsibility or liability for this property unless it bears the appropriate BCIN number and original signature.)

