



# SB-12 ENERGY EFFICIENCY DESIGN MATRIX

| PRESCRIPTIVE COMPLIANCE | SB-12 ( | SECTION 3.1.1) | TABLE 3.1.1.2.A |
|-------------------------|---------|----------------|-----------------|
|                         |         | SPACE HEA      | ATING FUEL      |
| PACKAGE A1              |         | ■ GAS          | □ OIL           |
| FAUNAGE AT              |         | □ ELECTRIC     | □ PROPANE       |
|                         |         | □ EARTH        | □ SOLID FUEL    |
|                         |         |                |                 |
| BUILDING COMPONENT      |         | REQUIRED       | PROPOSED        |
| NSULATION RSI (R) VALUE |         |                |                 |
| CEILING W/ ATTIC SPACE  |         | 10.56 (R60)    | 10.56 (R60)     |
| CEILING W/O ATTIC SPACE |         | 5.46 (R31)     | 5.46 (R31)      |
| XPOSED FLOOR            |         | 5.46 (R31)     | 5.46 (R31)      |

| INSULATION RSI (R) VALUE  |             |            |
|---|-------------|------------|
| CEILING W/ ATTIC SPACE  | 10.56 (R60) | 10.56 (R60 |
| CEILING W/O ATTIC SPACE   | 5.46 (R31)  | 5.46 (R31) |
| EXPOSED FLOOR   | 5.46 (R31)  | 5.46 (R31) |
| WALLS ABOVE GRADE   | 3.87 (R22)  | 3.87 (R22) |
| BASEMENT WALLS  | 3.52 ci *   | 3.52 ci    |
| * PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci) | (R20 ci)    | (R20 ci)   |
| BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE             | -           | -          |
| EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE                    | 1.76 (R10)  | 1.76 (R10) |
| HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE                         | 1.76 (R10)  | 1.76 (R10) |
| WINDOWS & DOORS   |             |            |
| WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)                       | 1.6         | 1.6        |
| SKYLIGHTS (MAX. U-VALUE)  | 2.8         | 2.8        |
| APPLIANCE EFFICIENCY  |             |            |
| SPACE HEATING EQUIP. (AFUE%)                                    | 96%         | 96%        |
| HRV EFFICIENCY (%)  | 75%         | 75%        |
| DHW HEATER (EF)   | 0.8         | 0.8        |

AREA CALCULATIONS EL. 'A'

GROUND FLOOR AREA 551 sq. ft.

MAIN FLOOR AREA 945 sq. ft.
THIRD FLOOR AREA 1018 sq. ft.
SUBTOTAL 2514 sq. ft.
DEDUCT ALL OPEN AREAS 12 sq. ft.
TOTAL NET AREA 2502 sq. ft.

COVERAGE 945 sq. ft.

W/OUT PORCH (87.79 sq. m.)

COVERAGE 1107 sq. ft.

W/PORCH (102.84 sq. m.)

WINDOW / WALL AREA
CALCULATIONS EL. 'A'

STD. PLAN

(232.44 sq. m.)

 GROSS WALL AREA
 4017 sq. ft. (373.19 sq. m.)

 GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)
 290 sq. ft. (26.94 sq. m.)

TOTAL WINDOW % 7.22 %

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|---|---|---|---|---------------|---|----|-----|---|
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- 2 BASEMENT PLAN, EL. 'A', GROUND FLOOR PLAN, EL. 'A'
- 3 MAIN FLOOR PLAN. EL 'A', THIRD FLOOR PLAN EL. 'A' & DETAILS
- 4 FRONT, REAR ELEVATION 'A' & DETAILS
- 5 CROSS SECTION 'A-A' & DETAILS
- 6 PARTIAL CROSS SECTION, ROOF PLAN & DETAILS
- 7 CONSTRUCTION NOTES 1 & 2

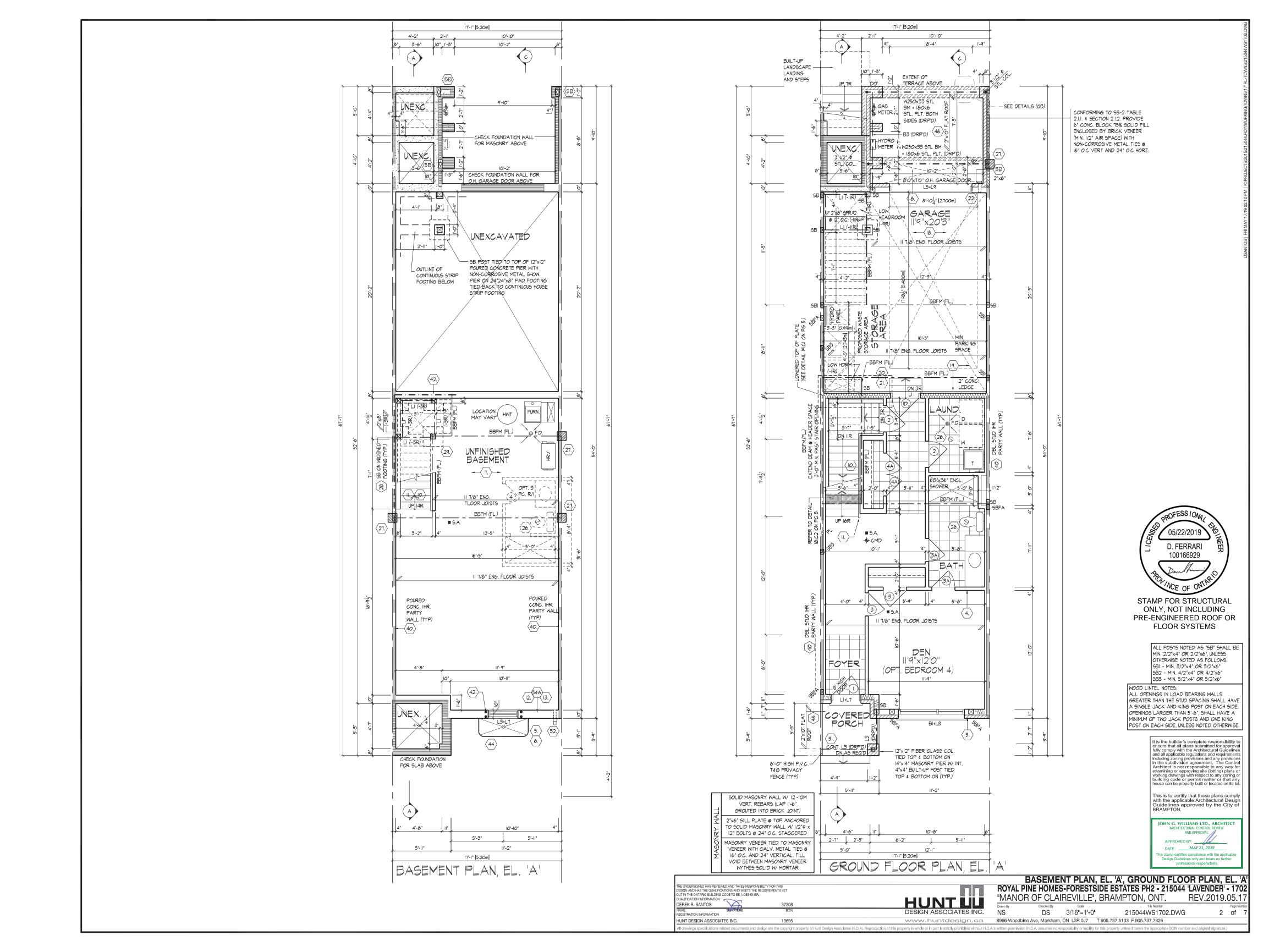


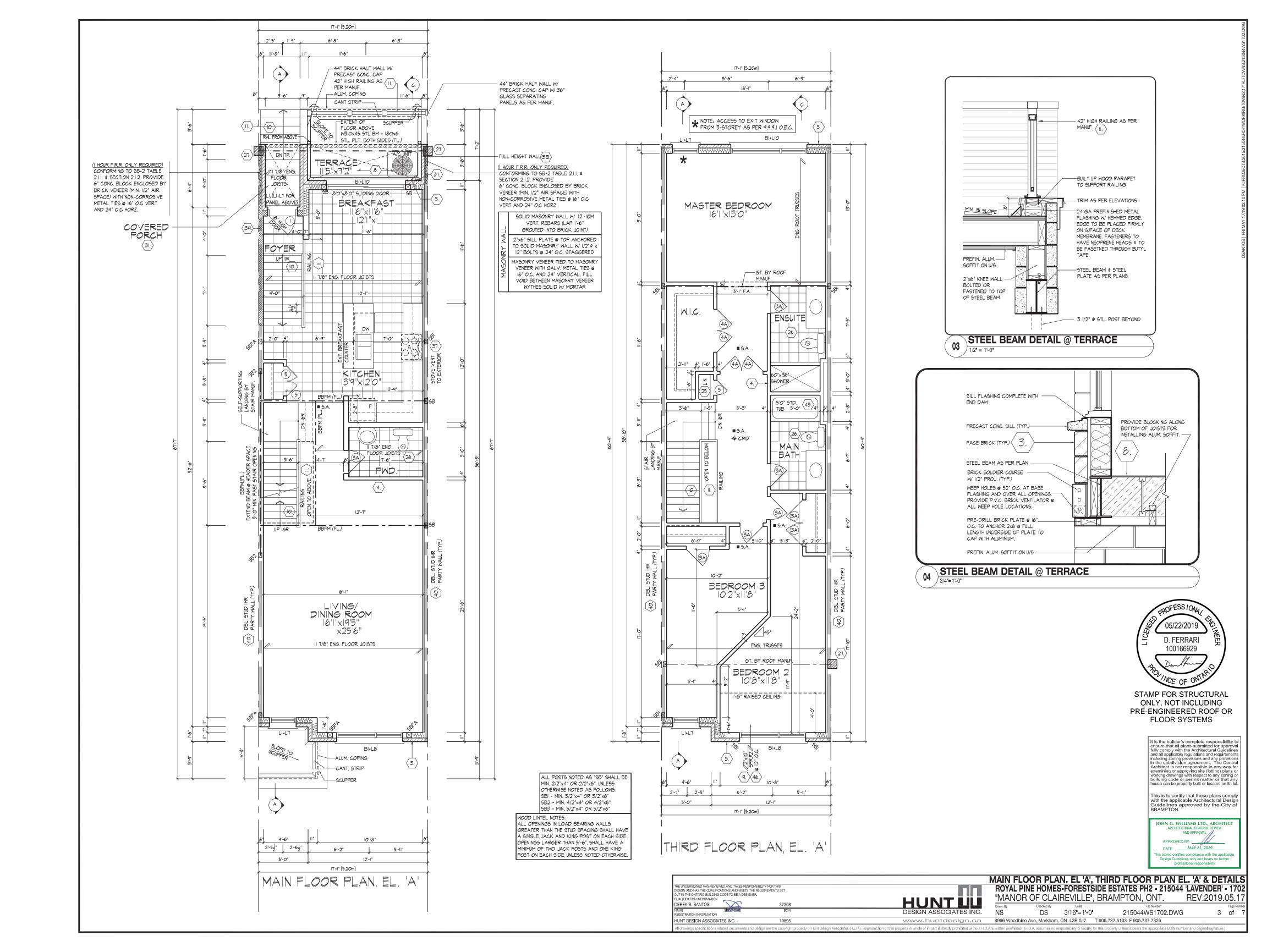
STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

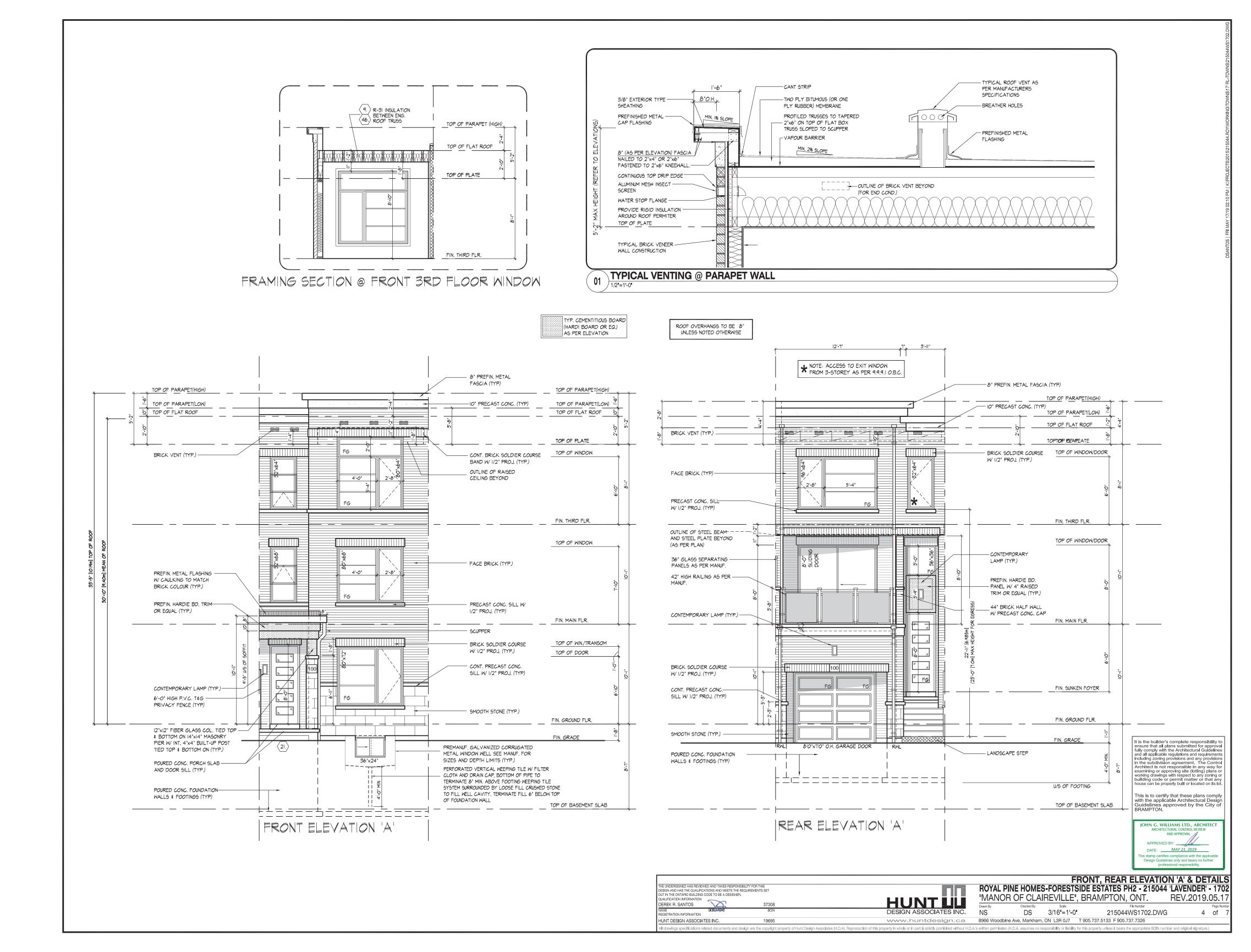
|   | 7. ISSUED FOR FINAL APPROVAL                              | 2019.05.17        | DS |
|---|---|-------------------|----|
|   | 6. REVISED AS PER ARCHITECTURAL CONTROL COMMENTS          | 2019.04.26        | BB |
|   | 5. REVISED FOR OPTIONAL ROUGH-IN BASEMENT WASHROOM        | 2019.04.25        | BB |
|   | 4. REVISED AS PER STRUCTURAL ENGINEER COMMENTS            | 2018.08.07        | MM |
|   | 3. COORDINATE AS PER ROOF TRUSS & FLOOR MANUFACTURE PLANS | 2019.04.29        | BB |
|   | 2. REVISED AS PER CLIENT'S COMMENTS (2018)                | 2018.10.19        | DS |
|   | 1. ISSUED FOR CLIENT REVIEW                               | 2018.04.02        | DS |
| Ī | REVISIONS   | DATE (YYYY/MM/DD) | BY |

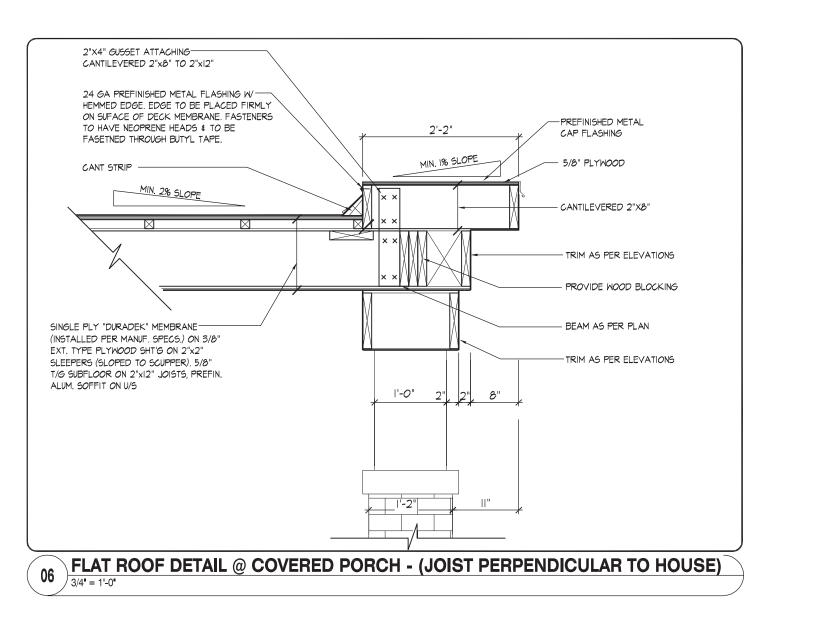
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ROYAL PINE HOMES-FORESTSIDE ESTATES PH2 - 215044 'LAVENDER' - 1702
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

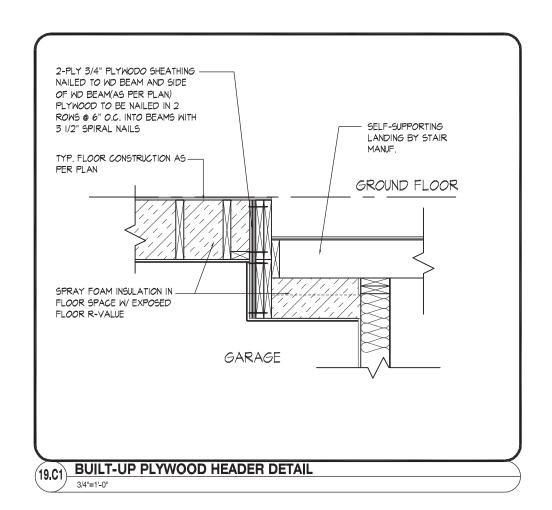
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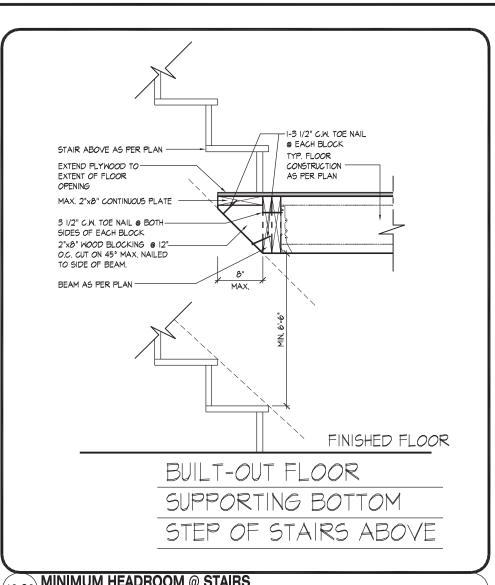




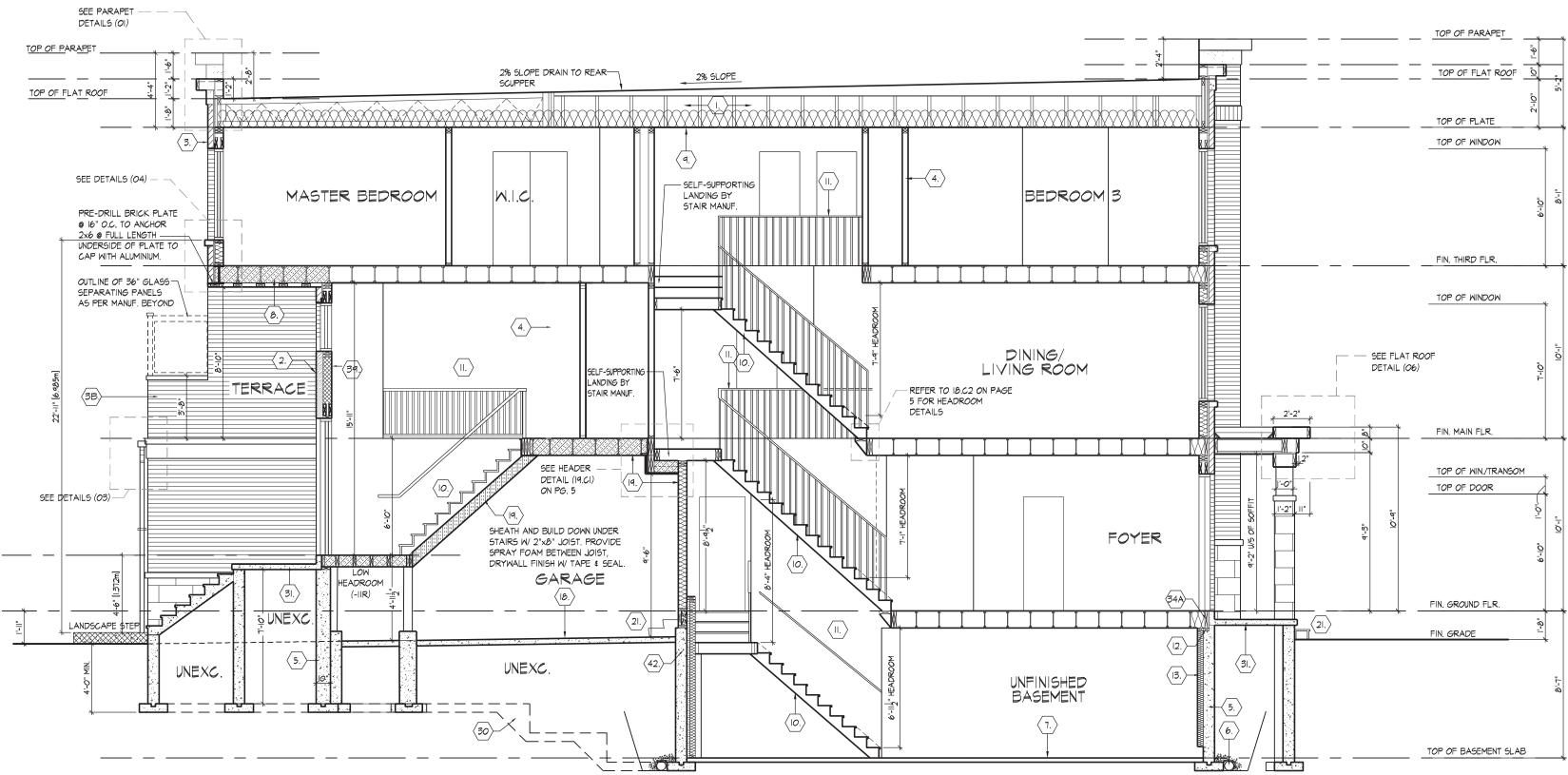








MINIMUM HEADROOM @ STAIRS



CROSS SECTION 'A-A'

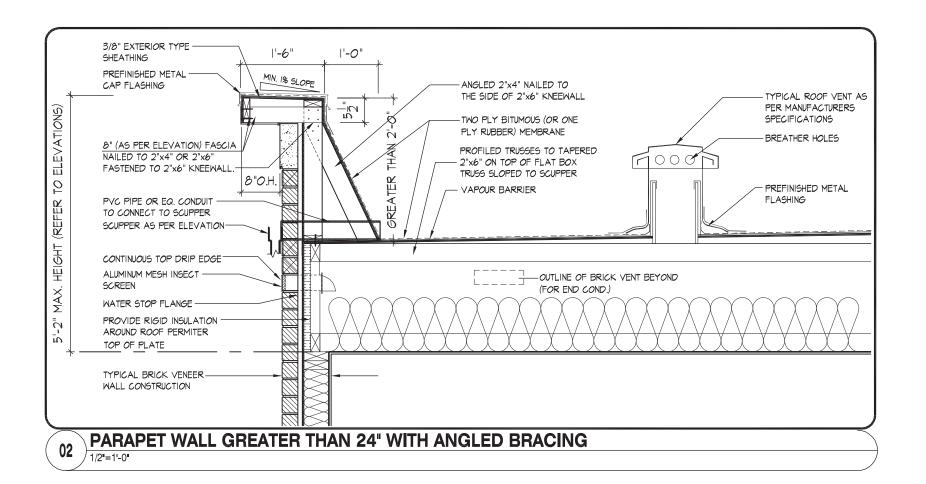
CROSS SECTION 'A-A' & DETAILS
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNAR.
OUALIFICATION INFORMATION
DERIEK R. SANTOS
NAME
REGISTRATION INFORMATION
HUNT DESIGN ASSOCIATES INC.
19695

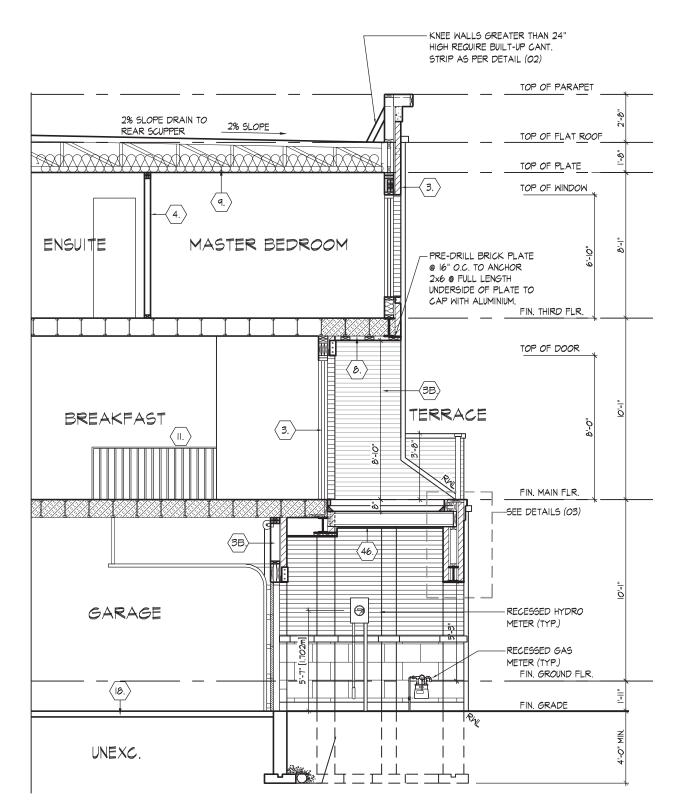
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"MANOR OF CLAIREVILLE", BRAMPTON, ONT.
REV.2019.05.17

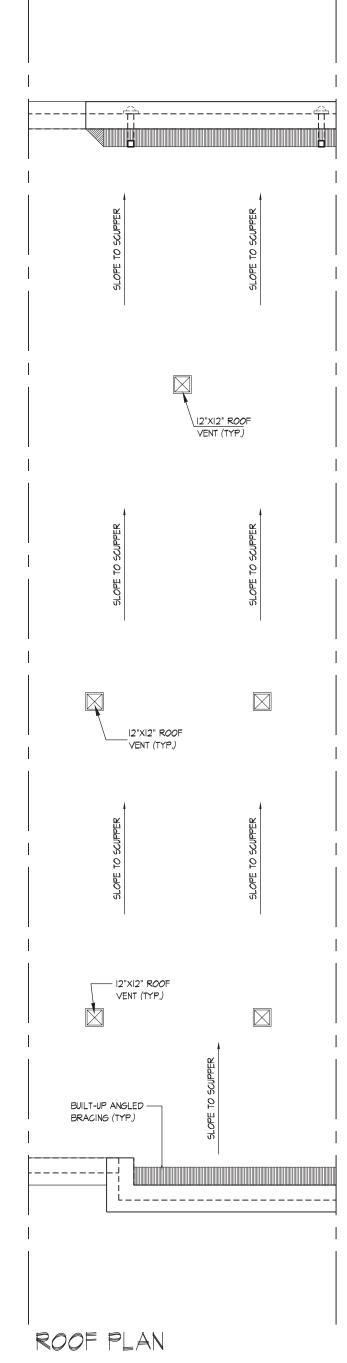
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PARTIAL SECTION 'C'



| ROOF SPACE TO BE VENTED AT                            |   |  |  |  |
|---|---|--|--|--|
| 1:150 OF INSULATED CEILING. (AS PER O.B.C. 9.19.1)    |   |  |  |  |
| TOTAL ROOF SPACE                                      | 1030.17 ft <sup>2</sup>   |  |  |  |
| TOTAL VENTILATION<br>SPACE REQ'D                      | 1030.17 ft <sup>2</sup> x 0.006 = 6.18 ft <sup>2</sup>            |  |  |  |
| ROOF VENT SIZE  | 12"x12" = 1.0 ft <sup>2</sup>                                     |  |  |  |
| MIN. 25% OF VENTING LOCATED AT THE TOP OF ROOF        |   |  |  |  |
| TOTAL # OF ROOF<br>VENTS                              | 5   |  |  |  |
| TOTAL VENTILATION<br>FROM ROOF VENTS                  | 5 x 1.0 ft <sup>2</sup> = 5.0 ft <sup>2</sup>                     |  |  |  |
| MIN. 25% OF VENTING I<br>BOTTOM OF ROOF ( MII         |   |  |  |  |
| BRICK VENT SIZE                                       | 4"x10" = 0.278 ft <sup>2</sup>                                    |  |  |  |
| TOTAL # OF BRICK<br>VENTS                             | 10  |  |  |  |
| TOTAL VENTILATION<br>FROM ROOF VENTS                  | $10x \ 0.278 \ \text{ft}^2 = 2.78 \ \text{ft}^2$                  |  |  |  |
| TOTAL VENTILATION<br>SPACE FROM ROOF &<br>BRICK VENTS | 2.78 ft <sup>2</sup> + 5.0 ft <sup>2</sup> = 7.78 ft <sup>2</sup> |  |  |  |

|   |   |                             | PAR              | TIAL CRO                     | SS SECTION, ROOF P   | LAN & DE                   | TAILS         |
|---|---|-----------------------------|------------------|------------------------------|--|----------------------------|---------------|
| THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS  DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET    |   | <b>ROYAL PINE</b>           | HOMES            | S-FORESTS                    | SIDE ESTATES PH2 - 215044                                  | 'LAVENDER'                 | <b>- 1702</b> |
| OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION  | HUNTUU  | "MANOR C                    | OF CLA           | IREVILLE",                   | , BRAMPTON, ONT.   | REV.2019                   | .05.17        |
| DEREK R. SANTOS 37308 NAME SIGNATURE BCIN   | DESIGN ASSOCIATES INC.  | Drawn By                    | Checked By       | Scale                        | File Number  |                            | Page Number   |
| REGISTRATION INFORMATION  |   | NS                          | DS               | 3/16"=1'-0"                  |  | 6                          | of 7          |
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PROVIDE ICE AND WATER SHIELD IN THE AREAS INDICATED. THE ICE AND WATER SHIELD SHALL BE A SELF ADHERING AND SELF SEALING MEMBRANE. SIDE LAPS MUST BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152). AND TO EXTEND UP DORMER WALLS A MINIMUM 12" (305).

1B PROFILED ROOF TRUSSES

ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS. ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD.

SIDING WALL CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO 0.6.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED TO SENTE A CONFORMING OF STREET OF SHORT AS PECO.

FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.) 2A SIDING WALL CONSTRUCTION W/ CONTIN. INSULATION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FURRING MEMBERS ON APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER

MANUFACTURER'S SPECIFICATIONS ON 3/8" (9.5) EXT. GRADE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER, ON 1/2" (12.7) GYPSUM WALLBOARD

10

| MAY BISE | MIN BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MIN BIN | MAY BISE | MAY BIN | MAY NT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3.(1.)) (REFER TO 35 NOTE AS REQ.)

2B SIDING WALL @ GARAGE CONSTRUCTION SIDING MATERIAL AS PER ELEVATION ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS ON APPROVED SHEATHING PAPER ON 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.,1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. (GYPSUM SHEATHING, RIGID INSULATION AND

(9.23.16.3.(1,)) (REFER TO 35 NOTE AS REQ.) BRICK VENEER WALL CONSTRUCTION 3 1/2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7'x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C.

BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED) 3A BRICK VENEER WALL CONSTRUCTION W/ CONTIN. INSULATION 2" (90) BRICK VENEER 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL S @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR S TO CONFORM WITH 9.20.9. ON APPROVED AIR/WATER BARRIER AS PER O.B.C. .27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH. PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 6" 150) OVER RIGID INSULATION (9.20.13.6.) (REFER TO 35 NOTE AS REQUIRED)

3B BRICK VENEER WALL @ GARAGE CONSTRUCTION 3 1/2" (90) BRICK VENEER, MIN. 1" (25) AIR SPACE, 7/8"x7"x0.03" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9. ON APPROVED SHEATHING PAPER, 3/8" (9.5) EXTERIOR TYPE SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.1) SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH, PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS, PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6.) (REFER TO

INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10) BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2 STOREY AND 12" (305) O.C. FOR 3 STOREY, NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE AND 2-2"x4" (2.38x89) TOP PLATE. 1/2" (12.7) INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD BLOCKING ON FLAT @ 3-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOADBEARING WALLS ARE PARALLEL TO FLOOR JOISTS.

 $\langle \overline{_{4A}} \rangle$  EXT. LOFT WALL CONSTRUCTION - NO CLADDING 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

4B EXT. LOFT WALL CONSTRUCTION - NO CLADDING W/ CONTINUOUS INSULATION

APPROVED AIR/WATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 3/8" (9.5) EXTERIOR TYPE SHEATHING, STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION AND 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER. 1/2" 12.7) GYPSUM WALLBOARD INT. FINISH. (9.23.)

FOUNDATION WALL/FOOTINGS

POURED CONC. FOUNDATION WALL AS PER CHART BELOW ON CONTINUOUS KEYED CONCRETE FOOTING FOUNDATION WALLS SHALL EXTEND NOT LESS KEYED CONCRETE FOOTING FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 6" (150) ABOVE FINISHED GRADE. THE OUTSIDE OF THE FOUNDATION SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE AND BRUSH COAT FROM THE TOP TO 2" BELOW GRADE. PROVIDE A DRAINAGE LAYER ON THE OUTSIDE OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER CONTRACTOR OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER CONTRACTOR OF THE FOUNDATION WALL. SEAL THE DRAINAGE LAYER CONTRACTOR OF THE FOUNDATION WALL. TITHE TOP, THE TOP OF THE CONC. FOOTING SHALL BE DAMPROOFED CONCRETE FOOTINGS SUPPORTING JOIST SPANS GREATER THAN 16'-1" (4900 SHALL BE SIZED IN ACCORDANCE WITH 9.15.3.4 (1),(2) OF THE O.B.C. (REFER TO CHART BELOW FOR RESPECTIVE SIZE). BRACE FOUNDATION WALL PRIOR TO BACKFILLING, ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa. IF SOIL BEARING DOES NOT MEET MINIMUM CAPACITY, ENGINEERED FOOTINGS ARE REQUIRED. ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL PROPERTY. WITH SOIL ENGINEERING REPORT.
REFER TO CONSTRUCTION DRAWINGS AND DETAILS FOR FOUNDATION

VALL STRENGTH AND THICKNESS AND 9.15.4. FOUNDATION WALLS SHALL NOT EXCEED 9-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. [9.15.4.2.(1.)]

|          |  |                | 0E 110 1EB1 [0110 | 1 73            |                |  |  |  |
|----------|--|----------------|-------------------|-----------------|----------------|--|--|--|
|          | UNREINFORCED SOLID CONCRETE FOUNDATION WALLS (9.15.4.2.)               |                |                   |                 |                |  |  |  |
| 涯        | SS   | MAX            | . HEIGHT FROM     | FIN. SLAB TO GR | ADE            |  |  |  |
| STRENGTH | THICKNESS  | UNSUPPORTED    | SI                | JPPORTED AT TO  | )P             |  |  |  |
| S        | 불  | AT TOP         | ≤2.5m             | >2.5m & ≤2.75m  | >2.75m & ≤3.0m |  |  |  |
| MPa      | <b>*</b> 8"  | 3'-11" (1.20m) | 7'-0" (2.15m)     | 7'-0" (2.15m)   | 6'-10" (2.10m) |  |  |  |
|          | 10"  | 4'-7" (1.40m)  | 7'-6" (2.30m)     | 8'-6" (2.60m)   | 8'-2" (2.50m)  |  |  |  |
| 15       | 12"  | 4'-11" (1.50m) | 7'-6" (2.30m)     | 8'-6" (2.60m)   | 9'-3" (2.85m)  |  |  |  |
| МРа      | <b>*</b> 8"  | 3'-11" (1.20m) | 7'-6" (2.30m)     | 7'-6" (2.30m)   | 7'-2" (2.20m)  |  |  |  |
|          | 10"  | 4'-7" (1.40m)  | 7'-6" (2.30m)     | 8'-6" (2.60m)   | 9'-3" (2.85m)  |  |  |  |
| 20       | 12"  | 4'-11" (1.50m) | 7'-6" (2.30m)     | 8'-6" (2.60m)   | 9'-3" (2.85m)  |  |  |  |
|          | OTA MILL TO HOLL FOLD DATION WALL TO DECUMPED FOR AMAGON DATA SERVICES |                |                   |                 |                |  |  |  |

 $\star$  9" MIN. THICK FOUNDATION WALL IS REQUIRED FOR MASONRY VENEER FINISHED EXTERIOR WALLS WITH CONTINUOUS INSULATION CONDITION, TO PROVIDE MIN. BEARING FOR SILL PLATES, BEAMS AND FLOOR JOIST AS PER

| 9.23.7.2., 9.23.8.1.       | 9.23.7.2., 9.23.8.1., & 9.23.9.1. OF THE O.B.C.  |                        |                         |  |  |  |  |  |  |
|----------------------------|--|------------------------|-------------------------|--|--|--|--|--|--|
|                            | MINIMUM STRIP FOOTING SIZES (9.15.3.)            |                        |                         |  |  |  |  |  |  |
| NUMBER FLOORS<br>SUPPORTED | SUPPORTING INT.<br>LOAD BEARING<br>MASONRY WALLS | SUPPORTING<br>EXTERIOR | SUPPORTING<br>PARTYWALL |  |  |  |  |  |  |
| 1                          | 16' WIDE x 6" THICK                              | 16" WIDE x 6" THICK    | 16" WIDE x 6" THICK     |  |  |  |  |  |  |
| 2                          | 24' WIDE x 8" THICK                              | 20" WIDE x 6" THICK    | 24" WIDE x 8" THICK     |  |  |  |  |  |  |
| 3                          | 36" WIDE x 14" THICK                             | 26" WIDE x 9" THICK    | 36" WIDE x 14" THICK    |  |  |  |  |  |  |

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

FOUNDATION REDUCTION IN THICKNESS FOR MASONRY THE FOUNDATION WALL IS RED SECTION SHALL BE NOT LESS THAN 3 1/2" (90) THICK. THE BRICK VENEER SHALL BE TIED TO THE FOUNDATION WALL WITH CORROSION RESISTANT METAL TIES (9 7 7/8" (200) VERTICAL AND 2-11" (889) HORIZONTAL. FILL VOID WITH MORTAR BETWEEN WALL AND BRICK VENEER (9.15.4.7(2)(3) & 9.20.9.4(3))

FOUNDATION REDUCTION IN THICKNESS FOR JOISTS WHERE THE TOP OF THE FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOISTS. THE REDUCED SECTION SHALL BE NOT MORE THAN 13 3/4" (350) HIGH & NOT LESS THAN 3 1/2" (90) THICK (9.15.4.7(1)) WEEPING TILE (9.14.3.)

" (100) Ø WEEPING TILE W/ FILTER CLOTH WRAP & 6" (152) CRUSHED STONE COVER **BASEMENT SLAB OR SLAB ON GRADE** (9.16.4.3.)

3" (80) MIN. 25MPa (3600psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL, OR 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB. PROVIDE 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13.) WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE PROVIDE RIGID INSUL. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FO SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. ([SB-12] 3.1.1.7.(5) & (6))

**EXPOSED FLOOR TO EXTERIOR** (9.10.17.10, & CAN/ULC-S705.2) PROVIDE SPRAY FOAM INSULATION BETWEEN CANT. JOIST AND INSTALL FIN. SOFFIT OR CLADDING AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4) INSULATION, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.

EXPOSED CEILING TO EXTERIOR W/O ATTIC

JOISTS/TRUSSES AS PER PLANS W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. W/ SPRAY FOAM OR ROOF TRUSSES), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.1)

| _/ |  | MAX. RISE    | MIN. F   | RISE | MAX. RUN   | MIN. RUN     | MAX. TREAD    | M      | N. TREAD      |  |
|----|--|--------------|----------|------|------------|--------------|---------------|--------|---------------|--|
|    | PRIVATE  | 7 7/8" (200) | 5" (12   | 25)  | 14" (355)  | 8 1/4" (210) | 14" (355)     | 9      | 1/4" (235)    |  |
|    | PUBLIC   | 7' (180)     | 5" (12   | 25)  | NO LIMIT   | 11" (280)    | NO LIMIT      | ,      | 11" (280)     |  |
|    |  | MIN. STAIR   | WIDTH    |      | CURVED ST  | AIRS         | ALL S         | ΓAIF   | RS            |  |
|    | PRIVATE  | 2'-10" (8    | 60)      | Λ    | IIN. RUN   | 5 7/8" (150) | MAX. NOSIN    | G      | 1" (25)       |  |
|    | PUBLIC   | 2'-11" (9    | 00)      | MIN  | . AVG. RUN | 7 7/8" (200) |               |        |               |  |
|    | ** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS |              |          |      |            |              |               |        |               |  |
|    | WILL LITTLE  | IL GIVIDGE   | -D/ \N / | ΛСΙ  | DVIGHTIN   | JE IO IHE    | IDEVIJ 8 I VV | 11 711 | ALC: MICAGINI |  |

WIDI H OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NO: TO LOWEST POINT ABOVE AND NOT LESS THAN 6-5" (1950) FOR SINGLE DWELLING UNIT & 6-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2.(3.)
FOR AN EXTERIOR STAIR SERVING A GARAGE W, MORE THAN 3 RISERS.
GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE 10 & 11.

**GUARDS/RAILINGS** (9.8.7., 9.8.8.) GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2. GUARD HEIGHTS - O.B.C. 9.8.8.

INTERIOR GUARDS: 2'-11" (900) MIN. EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE) 3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE) GUARDS FOR EXIT STAIRS: 3'-0" (920) MIN. GUARDS FOR LANDINGS @ EXIT STÁIRS: 3'-6" (1070) MIN. GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS) FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE

ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD TWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN

ELEVATION MORE THAN 23 5/8 (600) OR ADJACENT SURFACE WITHIN 3'-11" (12 & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3)

MIN. HEIGHT AT STAIRS OR RAMP: 2-10" (865)

MAX. HEIGHT AT STAIRS OR RAMP: 32" (965)

STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT SILL PLATES

MAX. HFIGHT AT LANDING: 3'-6" (107

2"x4" (38x89) SILL PLATE WITH 1/2" (12.7)Ø ANCHOR BOLTS 8" (200) LONG EMBEDDED MIN. 4" (100) INTO CONC. @ 7"-10" (2388) O.C., CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7.)

BASEMENT INSULATION ([SB-12] 3.1.1.7.) PROVIDE CONTINUOUS BLANKET INSULATION W/ BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER. INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT FLOOR. DAMPROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

**BEARING STUD PARTITION IN BASEMENT** (9.15.3.6., 9.23.10.1.) 2"x4" (38x89) STUDS @ 16" (406) O.C., 2"x4" (38x89) SILL PLATE (2"x6" (38x140) AS REQUIRED) ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM, 1/2" (12.7) Ø ANCHOR BOLTS 8" (200) LONG, EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2390) O.C. 4" (100) HIGH CONC. CURB ON CONC. FOOTING. FOR SIZE REFER

TO HEX NOTE 5. ADD HORIZ, BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED. ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4.) 9'-10" (3000) MAX. SPAN BETWEEN COLUMNS. 3 1/2" (90)Ø SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M, AND WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 150kPa AS PER SOILS REPORT. UPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

NON-ADJUSTABLE STEEL BASEMENT COLUMN 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM. FIELD WELD BASEMENT COLUMN CONNECTION. POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL

OF 75kPa OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

15B) NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL 3 1/2" (90)Ø x 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN WITH 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE & 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE. BASE PLATE 4-1/2"x10"x1/2" (120x250x12.7) WITH 2- 1/2"Ø x 12" LONG x 2" HOOK ANCHORS

(2-12.7Øx305x50). FIELD WELD COLUMN TO BASE PLATE & STEEL BM. STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1.) BEAM POCKET OR 8"x8" (200x200) POURED CONC. NIB WALLS, MIN. BEARING 3 1/2" (90).

**WOOD STRAPPING AT STEEL BEAMS** (9.23.4.3.(3.), 9.23.9.3.) 1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM. GARAGE SLAB (9.16., 9.35.)

4" (100) 32MPa (4640ps) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT @ 1% MIN. GARAGE TO HOUSE WALLS/CEILING (9.10.9.16.)

1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS AND SPRAY FOAM FOR CEILINGS. TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2 GARAGE TO HOUSE WALLS/CEILING W/ CONTIN. INSULATION 1/2" (12.7) GYPSUM BOARD ON CEILING AND ON WALLS INSTALLED OVER EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICALLY FASTENED AS PER MANUFACTURER'S SPECIFICATIONS ON 3/8" EXTERIOR GRADE SHEATHING ON STUDS BETWEEN HOUSE AND GARAGE, PLUS REQUIRED INSULATION IN WALLS & SPRAY FOAM FOR CEILINGS. TAPE AND

SEAL ALL JOINTS GAS TIGHT. (9.10.9.16., 9.10.17.10, CAN/ULC-S705.2) (9.10.9.16., 9.10.13.10., 9.10.13.15.) GAS-PROOF DOOR AND FRAME. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

EXTERIOR AND GARAGE STEPS

MAX RISE 7 7/8" (200), MIN. TREAD 9 1/4" (235). FOR THE REQUIRED NUMBER OF STEPS REFER TO SITING AND GRADING DRAWINGS. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2. OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

DRYER EXHAUST

CAPPED DRYER EXHAUST VENTED TO EXT. CONFORMING TO PART 6, OBC 9.32. **ATTIC ACCESS** (9.19.2.1.)

ATTIC ACCESS HATCH WITH MIN. AREA OF 0.32m2 AND NO DIM. LESS THAN 21 1/2" (545) WITH WEATHER STRIPPING. HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED WITH MIN. R20 (RSI 3.52) ([SB-12] 3.1.1.8.(1))

FIREPLACE CHIMNEYS (9.21.) TOP OF FIREPLACE CHIMNEY SHALL BE 2-11" (889) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 2-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ, DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

LINEN CLOSET PROVIDE 4 SHELVES MIN. 14" (356) DEEP.

MECHANICAL VENTILATION (9.32.1.3.) MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. SEE GENERAL NOTE 2.3.

PARTY WALL BEARING (9.23.8) 12"x12"x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS AND 12"x12"x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS BEARING (MIN. 3-1/2" (89)) ON CONC. BLOCK PARTY WALL, ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL W/ NON-SHRINK GROUT.

WOOD FRAMING IN CONTACT TO CONCRETE WOOD BEARING WALLS, THE UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS SHALL BE WRAPPED WITH 2 mil POLY. STRIP FOOTINGS SUPPORTING THE FOUNDATION WALL SHALL BE WIDENED 6" (152) BELOW THE BEARING WALL AND/OR WOOD POST. (9.17.4.3.)

REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WD. STUD PARTY WALL.

**BUILT-UP WOOD POST AND FOOTING** (9.17.4.1., 9.15.3.7.) 3-2"x6" (3-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED) ON METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) Ø BOLT, 24"x24"x12 (610x610x305) CONC. FOOTING OR AS PROVIDED ON PLAN. REFER TO NOTE 28

STEP FOOTINGS (9.15.3.9.) MIN. HORIZ. STEP = 23 5/8" (600). MAX. VERT. STEP = 23 5/8" (600).

CONC. PORCH SLAB (9.16.4.) MIN. 4" (100) CONCRETE SLAB ON GRADE ON 4" (100) COARSE GRANULAR FILL, REINFORCED WITH 6x6xW2.9xW2.9 MESH PLACED NEAR MID-DEPTH O SLAB. CONC. STRENGTH 32MPa (4640psi) WITH 5-8% AIR ENTRAINMENT ON

FURNACE VENTING (9.32.) DIRECT VENT FURNACE TERMINAL MIN. 3-0" (915) FROM A GAS REGULATOR. MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HEV INTAKE TO BE A MIN. OF 6-0" (1830) FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

FIREPLACE VENTING (9.32.3.) DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZÁTION CODE.

**FLOOR FRAMING** (9.23.3.5., 9.23.9.4., 9.23.14.) G SUBFLOOR ON WOOD FLOOR JOISTS. FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6. ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"X2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6-11" (2108) O.C. MAX. ALL JOISTS TO BE STRAPPED WITH 1"X3" (19x64) @ 6-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

HEADER CONSTRUCTION PROVIDE CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER THE SILL PLATE, AROUND THE RIM BOARD AND UNDER THE BOTTOM PLATE. THE HEADER WRAP SHALL EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND WILL BE SEALED TO THE CONCRETE FOUNDATION WALL. EXTEND HEADER WRAP 6" (152) UP THE INTERIOR SIDE OF THE STUD WALL AND OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT. ALL EDGES/JOINTS MUST BE MECHANICALLY CLAMPED.

EXPOSED BUILDING FACE w/ LIMITING DISTANCE <= 3'-11' (1.20m)

WALL ASSEMBLY CONTAINS INSULATION CONFORMING TO CANULC-5702 & HAVING A MASS OF NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE AND 1/2' (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH. EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE WHEN LIMITING DISTANCE IS 23 5/8' (0.60m) OR LESS. WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO 0.B.C. (9.10.14. OR 9.10.15.). REFER TO DETAILS FOR TYPE & SPECS. \*\* AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN (20.16.2) (1.20.75.) SHAM NOT DECONSIDERED AN UNROPORTED ORDERING AS DEPARAMENTAL OR SPECS. <sup>2</sup> (130cm<sup>2</sup>) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER

COLD CELLAR PORCH SLAB (9.39.) FOR MAX. 8'-2" (2500) PORCH DEPTH, 5" (127) 32 MPa (4640psi) CONC. SLAB W/ 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 7 7/8" (200) O.C. EACH

DIRECTION, W. 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIR. 24"x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C., ANCHORED IN PERIMETER FND. WALLS, SLOPE SLAB 1.0% FROM DOOR. RANGE HOODS AND RANGE-TOP FANS

COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR MUST CONFORM TO OBC 9.10.22, 9.32.3.9. & 9.32.3.10.

**CONVENTIONAL ROOF FRAMING** (9.23.13., 9.23.15.) 2"x6" (38x140) RAFTERS @ 16" (406) O.C., 2"x8" (38x184) RIDGE BOARD. 2"x4" (38x89) COLLAR TIES AT MID-SPAN. CEILING JOISTS TO BE 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9-3" (2819) SPAN & 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14-7" (4450). RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

**TWO STOREY VOLUME SPACES** (9.23.10.1., 9.23.11., 9.23.16.) 
 WALL ASSEMBLY
 WIND LOADS

 EXTERIOR
 STUDS

 <= 0.5 kPA (q50)</td>
 > 0.5 kPa (q50)
 EXTERIOR STUDS SPACING MAX HEIGHT SPACING MAX HEIGHT 12" (305) O.C. 18'-4" (5588) 8" (200) O.C. 18'-4" (5588) SIDING SPR.#2 16" (406) O.C. 18'-4" (5588) 12' (305) O.C. 18'-4" (5588) 2-2"x8" | 12" (305) O.C. | 21'-0" (6400) | 12' (305) O.C. | 21'-0" (6400) SIDING SPR.#2 16" (406) O.C. 21'-0" (6400) 16" (406) O.C. 21'-0" (6400)

\*\* STUD SIZE & SPACING TO BE VERIFIED BY STRUCTURAL ENGINEER \*\* STUDS ARE TO BE CONTINUOUS, C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4-0" (1220) O.C. VERTICALLY.

FOR HORIZ. DISTANCES LESS THAN 9'-6" (2896) PROVIDE 2"x6" (38x140) STUDS @ 16" (406) O.C. WITH CONTIN. 2-2"x6" (2-38x140) TOP PLATE + 1-2"x6" (1-38x140) BOTTOM PLATE & MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS.

### cont. SECTION 1.0. CONSTRUCTION NOTES

1 HR. PARTY WALL (CONC. BLOCK) ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON 8" (200) CONC. BLOCK FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT OR FURRED WITH 2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.

1 HR. PARTY WALL (DOUBLE STUD) ([SB-3] WALL TYPE 'W13c') 5/8" (15.9) TYPE X' GYPSUM SHEATHING ON EXTERIOR SIDE OF 2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C., MIN. 1" (25) APART ON SEPARATE 2"x4" (38x89) SILL PLATES. (2"x6" (38x140) AS REQUIRED) FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE FILL AND SAND ALL GYPSUM JOINTS.

40A) 2 HR. FIREWALL ([SB-3] WALL TYPE 'B6e' & 'B1b') 1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE ON 2"X2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C ON 8" (200) CONC. BLOCK 75% SOLID. FILL STRAPPING CAVITY EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. TAPE, FILL & SAND ALL GYPSUM JOINTS. AT UNFINISHED AREAS, EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT. GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)

STUCCO WALL CONSTRUCTION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BOARL ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED)

41A STUCCO WALL CONSTRUCTION W/ CONTIN. INSULATION STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PERMANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.I.F.S. (MINIMUM) ON APPROVED DRAINAGE MAT ON APPROVED AIRWATER BARRIER AS PER O.B.C. 9.27.3. ON EXTERIOR TYPE RIGID INSULATION (JOINTS UNTAPED) MECHANICAL FASTENED AS PER MANUFACTURER'S SPECIFICATIONS, ON 7/16" EXTERIOR TY SHEATHING ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., INSULATION, APPROVED 6 MIL. POLYETHYLENE VAPOUR BARRIER, 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQUIRED

STUCCO WALL @ GARAGE CONST. STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28. AND APPLIED PER MANUFACTURERS SPECIFICATIONS OVER 1 1/2" (38) E.F.I.S (MINIMUM) ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD. ON STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1., 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH. (REFER TO 35 NOTE AS REQ.),

\*\*\* FOR DWELLINGS USING CONTIN, INSULATION CONSTRUCTION,

PROVIDE APPROVED DRAINAGE MAT ON 7/16" (11) EXTERIOR TYPE SHEATHING

OVER FURRING (AS REQ.) AND STUDS IN LIEU OF 1 1/2" (38) E.F.I.S (MINIMUM)

ON APPROVED DRAINAGE MAT ON 1/2" (12.7) DENSGLASS GOLD GYPSUM BRD.

42 UNSUPPORTED FOUNDATION WALLS (9.15.4.2.) REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS 2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) 3-20M BARS IN TOP PORTION OF WALL (8-0" TO 10-0" OPENING) 4-20M BARS IN TOP PORTION OF WALL (10-0" TO 15-0" OPENING) - BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL REINFORCING AT BASEMENT WINDOWS

2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WIN. SILL. EXTEND BARS 24" (610) BEYOND THE OPENING. 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING. - BARS TO HAVE MIN. 2" (50) CONC. COVER - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

STUD WALL REINFORCEMENT
PROVIDE STUD WALL PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. (9.5.2.3.(1) AND 3.8.3.8.(3)) (REFER TO DETAILS)

WINDOW WELLS WHERE A WINDOW OPENS INTO A WINDOW WELL. A CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION WITH A 4" (100) WEEPING TILE CAV A FILTER CLOTH WRAP AND FILLED WITH CRUSHED STONE. (9.9.10.1.(5), 9.14.6.3.)

45 SLOPED CEILING CONSTRUCTION ([SB-12] 2.1.1.7., 9.23.4.2.) 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED) W, 2\*x2\* (38x38) PURLINS @ 16\* (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM), W/ INSULATION BETWEEN JOIST, 6 mil POLYETHYLENE VAPOUR BARRIER, 1/2\* (12.7) GYPSUM WALLBOARD INT. FINISH OR APPROVED EQ. INSULATION VALUÈ DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.52 RSI).

FLAT ROOF/BALCONY CONSTRUCTION WATERPROOFING MEMBRANE (9.26.11, 9.26.15, 9.26.16) FULLY ADHERED TO 5 (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING ON 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED). BUILT U CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR. CONTINUOUS 'L' TRIM DRIP EDGE TO BE PROVIDED ON OUTSIDE FACE OF CURB. SCUPPER ORAL TO BE LOCATED 24" (610) MIN. AWAY FROM HOUSE. PREFINISHED ALUMINUM C **BALCONY CONDITION** 

FLAT ROOF/BALCONY CONSTRUCTION NOTE, INCLUDE 2"x4" (38x89) PT SEE FLAH MOOF/BALCOINT COING INCUITING THE INTEGRAL TO SEE 2 AT 1957.

DECKING W 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS ON 2°X4" (38

PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS BALCONY OVER HEATED SPACE CONDITION SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY. REFER TO PLANS FOR FLOOR JOIST SIZE & REFER TO HEX NOTE 9 FOR INSULATION AND

INTERIOR FINISH 47 BARREL VAULT CONSTRUCTION CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT ON 2"x10" (38x235) SPR. #2 ROOF JOIST NAILED TO BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED F. BARREL. SPRAY FOAM INSULATION BETWEEN JOISTS W/ GYPSUM BOARD.

INTERIOR FIN. (REFER TO DETAILS)

05/22/2019

D. FERRARI

100166929

STAMP FOR STRUCTURAL

ONLY. NOT INCLUDING

PRE-ENGINEERED ROOF OR

FLOOR SYSTEMS

STRATION INFORMATION

HUNT DESIGN ASSOCIATES INC

REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.

### **SECTION 2.0. GENERAL NOTES**

2.1. WINDOWS EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m2 UNOBSTRUCTED OPEN ORTION W/ NO DIMENSION LESS THAN 1'-3" (380). CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10. 2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE INISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1 3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2-11" (900) [3-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE). OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2

4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

### 2.2 CEILING HEICHTS

| 2.2. CEILING REIGHTS  |  |  |  |  |  |  |
|---|--|--|--|--|--|--|
| THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1. |  |  |  |  |  |  |
| ROOM OR SPACE   | MINIMUM HEIGHTS  |  |  |  |  |  |
| LIVING ROOM, DINING<br>ROOM AND KITCHEN                                 | 7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A<br>CLEAR HEIGHT OF 6'-11" AT ANY POINT  |  |  |  |  |  |
| BEDROOM   | 7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11"<br>OVER ALL OF THE REQUIRED FLOOR AREA.  |  |  |  |  |  |
| BASEMENT  | 6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA<br>EXCEPT THAT UNDER BEAMS AND DUCTS THE<br>CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5". |  |  |  |  |  |
| BATHROOM, LAUNDRY<br>AREA ABOVE GRADE                                   | 6'-11" IN ANY AREA WHERE A PERSON WOULD<br>NORMALLY BE STANDING  |  |  |  |  |  |
| FINISHED ROOM NOT MENTIONED ABOVE                                       | 6-11"  |  |  |  |  |  |
| MEZZANINES  | 6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)   |  |  |  |  |  |
| STORAGE GARAGE  | 6'-7" (9.5.3.3.)   |  |  |  |  |  |

2.3. MECHANICAL / PLUMBING

3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.

4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF 3.1.1.12. OF THE O.B.C. LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.

, 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE. 4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.

5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS. 6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLEN FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW TRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".

1) FOR 8-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F. 2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F. 3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F. 2.7. ROOF OVERHANGS
1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305). UNLESS NOTED OTHERWISE.

**2.8. FLASHING** (9.20.13., 9.26.4. & 9.27.3.)

2.9. GRADING
1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

# **SECTION 3.0. LEGEND**

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9. TABLES A8 TO A10 AND A12, A15 & A16)

|      | 22 STEEL LIN           | TEL                  | S SLIDDODTING MAS                | ONE              | OV VENICED                 |  |  |
|------|------------------------|----------------------|----------------------------------|------------------|----------------------------|--|--|
| LVL8 | 4-1 3/4"x9 1/2"        | LVL9                 | 4-1 3/4"x11 7/8"                 | LVL13            | 4-1 3/4"x14"               |  |  |
| LVL5 | 3-1 3/4"x9 1/2"        | LVL7                 | 3-1 3/4"x11 7/8"                 | LVL12            | 3-1 3/4"x14"               |  |  |
| LVL4 | 2-1 3/4"x9 1/2"        | LVL6                 | 2-1 3/4"x11 7/8"                 | LVL11            | 2-1 3/4"x14"               |  |  |
| LVL2 | 1-1 3/4"x9 1/2"        | LVL3                 | 1-1 3/4"x11 7/8"                 | LVL10            | 1-1 3/4"x14"               |  |  |
|      | 1 3/4" x 9 1/2" LVL    | 1 3/4" x 11 7/8" LVL |                                  | 1 3/4" x 14" LVL |                            |  |  |
|      | E                      | NGIN                 | EERED LUMBER SCHEDU              | LE               |                            |  |  |
| B7   | 5/2"x8" (5/38x184)     | B8                   | 5/2"x10" (5/38x235)              | B9               | 5/2"x12" (5/38x286)        |  |  |
| B2   | 4/2"x8" (4/38x184)     | B4                   | 4/2"x10" (4/38x235)              | B6               | 4/2"x12" (4/38x286)        |  |  |
| B1   | 3/2"x8" (3/38x184)     | ВЗ                   | 3/2"x10" (3/38x235)              | B5               | 3/2"x12" (3/38x286)        |  |  |
| L1   | 2/2"x8" (2/38x184)     | L3                   | 2/2"x10" (2/38x235)              | L5               | 2/2"x12" (2/38x286)        |  |  |
|      | 2"x8" SPRUCE #2        |                      | 2"x10" SPRUCE #2                 |                  | 2"x12" SPRUCE #2           |  |  |
| FOF  | RMING PART OF SENTENCE | 9.23.                | 4.2.(3), 9.23.4.2.(4), 9.23.12.3 | 3.(1),(3         | ), 9.23.13.8.(2), 9.37.3.1 |  |  |

## (DIVISION B PART 9. TABLE 9.20.5.2.B.)

|      | FORMING PART OF SENTENCE 9.20.5.2.(2) & 9.20.5.2.(3) |                 |                |  |  |  |  |  |  |
|------|--|-----------------|----------------|--|--|--|--|--|--|
| CODE | SIZE   | BRICK           | STONE          |  |  |  |  |  |  |
| L7   | 3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)               | 8'-1" (2.47m)   | 7'-6" (2.30m)  |  |  |  |  |  |  |
| L8   | 4" x 3 1/2" x 1/4" (102 x 89 x 6.4)                  | 8'-9" (2.66m)   | 8'-1" (2.48m)  |  |  |  |  |  |  |
| L9   | 4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)             | 10'-10" (3.31m) | 10'-1" (3.03m) |  |  |  |  |  |  |
| L10  | 4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)               | 11'-5" (3.48m)  | 10'-7" (3.24m) |  |  |  |  |  |  |
| L11  | 5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)               | 12'-6" (3.82m)  | 11'-7" (3.54m) |  |  |  |  |  |  |
| L12  | 7 1/8" x 4" x 3/8" (178 x 102 x 11)                  | 14'-1" (4.30m)  | 13'-1" (3.99m) |  |  |  |  |  |  |

REFER TO SB-12 ENERGY EFFICIENCY DESIGN MATRIX ON THE TITLE PAGE FOR ALL VALUES AS REQUIRED PER 3.1.1., 3.1.2., 3.1.3. OF THE OBC.

CONFORMING TO SECTIONS 9.5.11, 9.6., 9.7.2.1, 9.7.5.2, & 9.10.13.10

EXTERIOR | 2"-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

EXTERIOR | 2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

EXTERIOR | 3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

XTERIOR | 2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)

E | EXTERIOR | 3'-0" x 8'-0" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7)

INTERIOR | 2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)

3 | INTERIOR | 2'-6" x 6'-8" x 1-3/8" (760 x 2030 x 35)

3A | INTERIOR | 2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)

INTERIOR | 2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)

INTERIOR | 2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)

FM BEAM BY FLOOR MANUFACTURER LIN LINEN CLOSE

BRM BEAM BY ROOF MANUFACTURER PL POINT LOAD

F.S.  $oxedsymbol{\mathsf{EXTERIOR}}$  INSULATION FINISH SYSTEM  $oxedsymbol{\mathsf{RWL}}$  RAIN WATER LEADER

RV | HEAT RETURN VENTILATION UNIT | WIC | WALK IN CLOSET

INTERIOR | 1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)

ABOVE FINISHED FLOOR

COMPLETE WITH

DO OVER

NG ENGINEEREI

ST FSTIMATED

FA | FLAT ARCH

FLR | FLOOR

HB HOSE BIB

FLOOR DRAIN

FIXED GLASS

T GIRDER TRUSS

WT | HOT WATER TANK

CLASS 'B' VENT

DUPLEX OUTLET (12" HIGH)

HEAVY DUTY OUTLET

ROUGH IN FOR LEGGING STATION (9.34.4)

□ LIGHT FIXTURE (PULL CHAIN)

SMOKE ALARM (9.10.19.)

CMD CARBON MONOXIDE ALARM (9.33.4.)

ONFORM TO TABLES A-34 TO A-37. (9.17.4., 9.23.10.7.)

CABLE T.V. JACK

RP | DROPPED

CONVENTIONAL ROOF FRAMING

[J] DOUBLE JOIST/ TRIPLE JOIST

EXTERIOR | 2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE 20

A EXTERIOR 2-8" x 6-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVIC

3.4. ACRONYMS

IG | FIXED GLASS W/ BLACK BACKING | LVL | LAMINATED VENEER LUMBER

T.IST | JOIST

PLT | PLATE

PAINTED

RT | ROOF TRUSS

SBFA SB FROM ABOVE

SJ | SINGLE JOIS

SPR | SPRUCE

T/O TOP OF

TYP TYPICAL

WD WOOD

LL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34

PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN

LEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED O ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN LECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET

\* CHECK LOCAL BY-LAWS FOR REQUIREMENTS \*\* A CARBÓN MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S)

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION NOTE 39.

UDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

IPORAL SOLIND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING

COMPONENT AS PER THE "NATIONAL FIRE ALARM AND SIGNALING CODE 72

U/S UNDERSIDE

WP WEATHER PROOF

S EXHAUST VENT

→ \$ SWITCH (2/3/4 WAY)

TELEPHONE JACK

DUPLEX OUTLET (HEIGHT AS NOTED A.F

LIGHT FIXTURE (WALL MOUNTED)

CHANDELIER (CEILING MOUNTE

POWDER BOOM

OTB/A OPEN TO BELOW/ABOVE

PRESSURE TREATED

SB | SOLID BEARING WOOD POS

PROVIDE 8'-0" HIGH

INTERIOR DOORS FOR ALL 10' CEILING

CONDITIONS

### **SECTION 1.1. WALL STUDS**

- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVIEWED AND APPROVED BY ENGINEER.

|               | 9 PRACING OF  |                                   | EEDENICE TADI                     | E0.00.10.1.)                      |
|---------------|---|-----------------------------------|-----------------------------------|-----------------------------------|
| MIN.          | & SPACING OF STUDS: (OBC REFERENCE - TABLE 9.23.10.1.) SUPPORTED LOADS (EXTERIOR) |                                   |                                   |                                   |
| STUD<br>SIZE. | ROOF w/ OR<br>w/o ATT <b>I</b> C  | ROOF w/ OR w/o<br>ATTIC & 1 FLOOR | ROOF w/ OR w/o<br>ATTIC & 2 FLOOR | ROOF w/ OR w/o<br>ATTIC & 3 FLOOR |
| in (mm)       | MAX. STUD SPACING, in (mm) O.C.   |                                   |                                   |                                   |
| ()            | MAX. UNSUPPORTED HGT., ft-in (m)  |                                   |                                   |                                   |
| 2"x4"         | 24" (610)   | 16" (405)                         | 12" (305)                         | N/A                               |
| (38x89)       | 9'-10" (3.0)  | 9'-10" (3.0)                      | 9'-10" (3.0)                      | N/A                               |
| 2"x6"         | -   | 24" (610)                         | 16" (406)                         | 12" (305)                         |
| (38x140)      | -   | 9'-10" (3.0)                      | 11'-10" (3.6)                     | 5'-11" (1.8)                      |

| 2.2. CEILING HEIGHTS  | <u>j</u>   |  |  |  |
|---|--|--|--|--|
| THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1. |  |  |  |  |
| ROOM OR SPACE   | MINIMUM HEIGHTS  |  |  |  |
| LIVING ROOM, DINING<br>ROOM AND KITCHEN                                 | 7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A<br>CLEAR HEIGHT OF 6'-11" AT ANY POINT  |  |  |  |
| BEDROOM   | 7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11"<br>OVER ALL OF THE REQUIRED FLOOR AREA.  |  |  |  |
| BASEMENT  | 6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA<br>EXCEPT THAT UNDER BEAMS AND DUCTS THE<br>CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5". |  |  |  |
| BATHROOM, LAUNDRY<br>AREA ABOVE GRADE                                   | 6'-11" IN ANY AREA WHERE A PERSON WOULD<br>NORMALLY BE STANDING  |  |  |  |
| FINISHED ROOM NOT<br>MENTIONED ABOVE                                    | 6'-11"   |  |  |  |
| MEZZANINES  | 6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2.)   |  |  |  |
| STORAGE GARAGE  | 6'-7" (9.5.3.3.)   |  |  |  |

1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHAN**I**CAL DRAW**I**NGS.

2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.

2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.

2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R. 2.6. FLAT ARCHES

) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

2.10. ULC SPECIFIED ASSEMBLIES
ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY, SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT SPECIFIED ULC LISTING. THERE SHALL BE NO DEVIATIONS UNDER ANY

## EXPOSED BUILDING FACE - O.B.C. 9.10.14. OR 9.10.15. REFER TO HEX NOTE 35. & DETAILS FOR TYPE AND SPECIFICATIONS. CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB. REPORT ANY DISCREPANCIES TO HUNT ESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL THE DRAWINGS & PECIFICATIONS ARE THE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I. LL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE INTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICT HESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12.

HE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS ESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SE UT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. DEREK R. SANTOS

"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17 NS DS 3/16"=1'-0**"** 215044WS1702.DWG 7 of

8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326 www.huntdesign.ca

CONSTRUCTION NOTE REVISION DATE: Jan. 11 2018 **CONSTRUCTION NOTES 1 & 2** ROYAL PINE HOMES-FORESTSIDE ESTATES PH2 - 215044 'LAVENDER' - 1702

HUNTUU

1 HR. PARTY WALL REFER TO HEX NOTE 40. 2 HR. FIREWALL REFER TO HEX NOTE 40A. **SECTION 4.0. CLIMATIC DATA** DESIGN SNOW LOAD (9.4.2.2.): 1.12 **kPa** 0.44 **kPa** WIND LOAD (q50) (SB-1.2.):