

02 TYPICAL 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, 1/2" = 1'-0"



'LAVENDER' - 1702

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE COMPLIANCE		SB-12 (SECTION 3.1.1) TABLE 3.1.1.2.A	
PACKAGE A1		SPACE HEATING FUEL	
		<input checked="" type="checkbox"/> GAS	<input type="checkbox"/> OIL
		<input type="checkbox"/> ELECTRIC	<input type="checkbox"/> PROPANE
		<input type="checkbox"/> EARTH	<input type="checkbox"/> SOLID FUEL
BUILDING COMPONENT		REQUIRED	PROPOSED
INSULATION RSI (R) VALUE			
CEILING W/ ATTIC SPACE		10.56 (R60)	10.56 (R60)
CEILING W/O ATTIC SPACE		5.46 (R31)	5.46 (R31)
EXPOSED FLOOR		5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE		3.87 (R22)	3.87 (R22)
BASEMENT WALLS		3.52 ci	3.52 ci
* PROPOSED VALUES MAY BE SUBSTITUTED W/ 2.11+1.76ci (R12+R10ci)		(R20 ci) *	(R20 ci) *
BELOW GRADE SLAB ENTIRE SURFACE > 600mm BELOW GRADE		-	-
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE		1.76 (R10)	1.76 (R10)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE		1.76 (R10)	1.76 (R10)
WINDOWS & DOORS			
WINDOWS/SLIDING GLASS DOORS (MAX U-VALUE)		1.6	1.6
SKYLIGHTS (MAX. U-VALUE)		2.8	2.8
APPLIANCE EFFICIENCY			
SPACE HEATING EQUIP. (AFUE%)		96%	96%
HRV EFFICIENCY (%)		75%	75%
DHW HEATER (EF)		0.8	0.8

AREA CALCULATIONS		EL. 'A'
GROUND FLOOR AREA	551 sq. ft.	
MAIN FLOOR AREA	945 sq. ft.	
THIRD FLOOR AREA	1018 sq. ft.	
SUBTOTAL	2514 sq. ft.	
DEDUCT ALL OPEN AREAS	12 sq. ft.	
TOTAL NET AREA	2502 sq. ft. (232.44 sq. m.)	
COVERAGE W/OUT PORCH	945 sq. ft. (87.79 sq. m.)	
COVERAGE W/ PORCH	1107 sq. ft. (102.84 sq. m.)	
WINDOW / WALL AREA CALCULATIONS	EL. 'A' STD. PLAN	
GROSS WALL AREA	4017 sq. ft. (373.19 sq. m.)	
GROSS WINDOW AREA (INCL. GLASS DOORS & SKYLIGHTS)	290 sq. ft. (26.94 sq. m.)	
TOTAL WINDOW %	7.22 %	

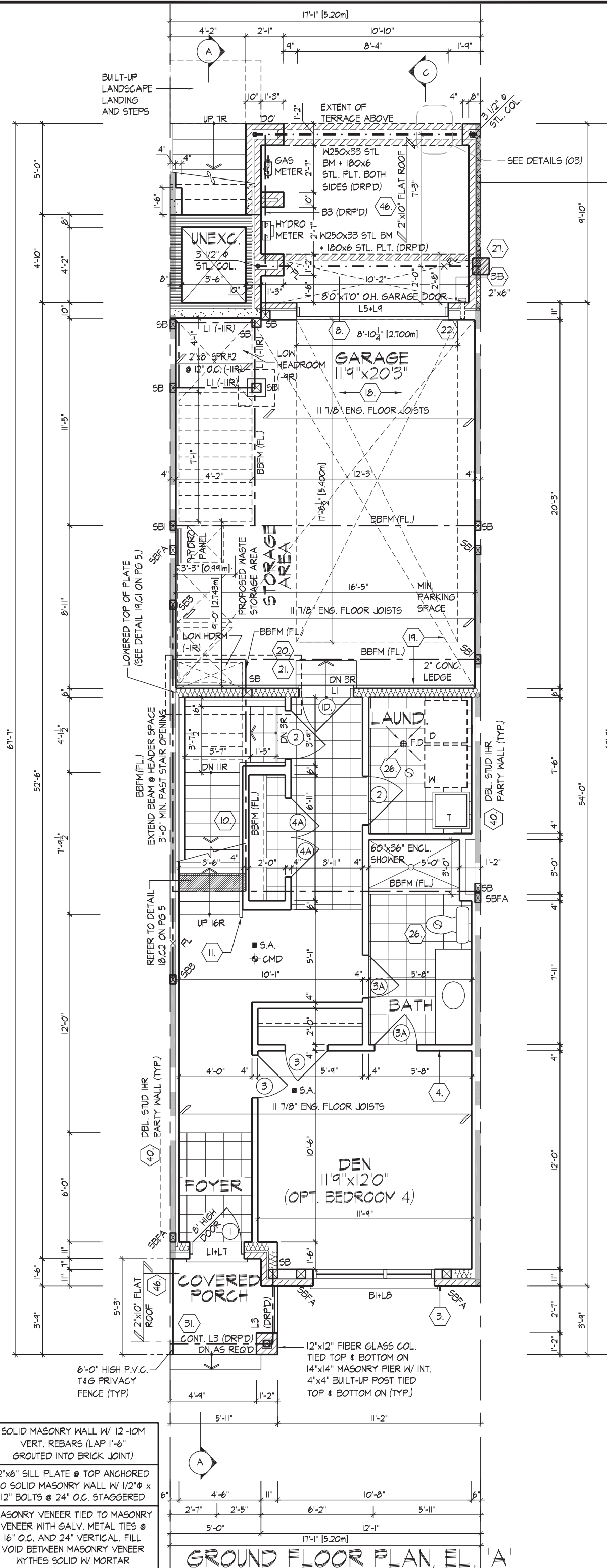
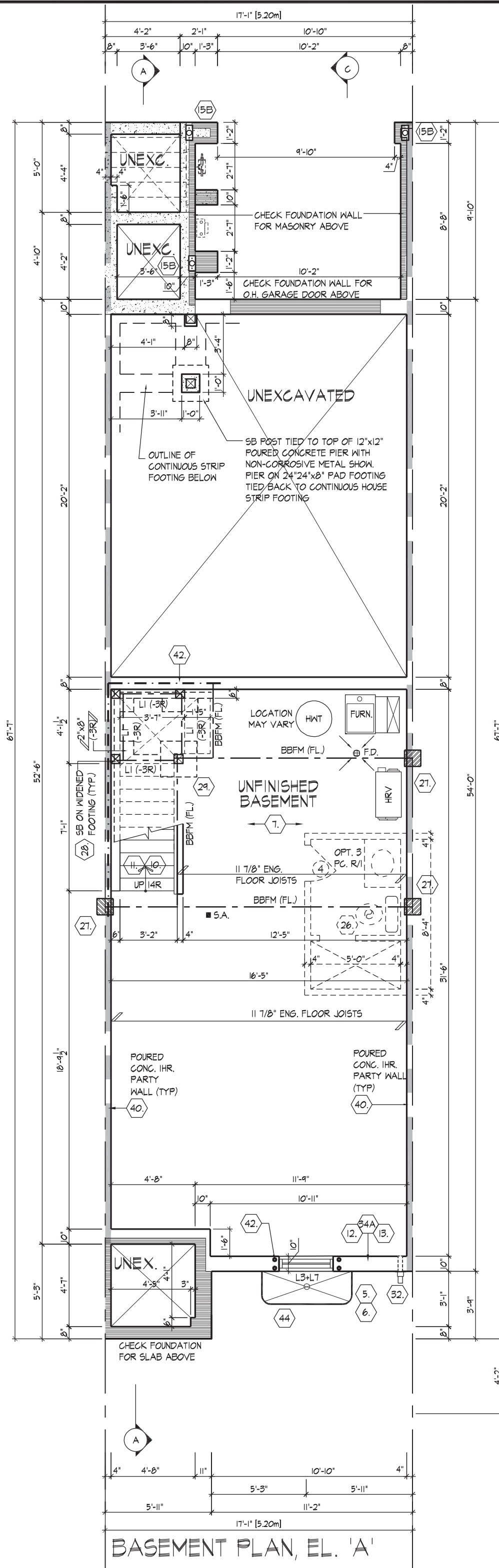


- 1 - TITLE PAGE
- 2 - BASEMENT PLAN, EL. 'A', GROUND FLOOR PLAN, EL. 'A'
- 3 - MAIN FLOOR PLAN, EL. 'A', THIRD FLOOR PLAN EL. 'A' & DETAILS
- 4 - FRONT, REAR ELEVATION 'A' & DETAILS
- 5 - CROSS SECTION 'A-A' & DETAILS
- 6 - PARTIAL CROSS SECTION, ROOF PLAN & DETAILS
- 7 - CONSTRUCTION NOTES 1 & 2



STAMP FOR STRUCTURAL ONLY, NOT INCLUDING PRE-ENGINEERED ROOF OR FLOOR SYSTEMS

7. ISSUED FOR FINAL APPROVAL	2019.05.17	DS
6. REVISED AS PER ARCHITECTURAL CONTROL COMMENTS	2019.04.26	BB
5. REVISED FOR OPTIONAL ROUGH-IN BASEMENT WASHROOM	2019.04.25	BB
4. REVISED AS PER STRUCTURAL ENGINEER COMMENTS	2018.08.07	MM
3. COORDINATE AS PER ROOF TRUSS & FLOOR MANUFACTURE PLANS	2019.04.29	BB
2. REVISED AS PER CLIENT'S COMMENTS (2018)	2018.10.19	DS
1. ISSUED FOR CLIENT REVIEW	2018.04.02	DS
REVISIONS		DATE (YYYYMMDD) BY



CONFORMING TO SB-2 TABLE 2.1.1. & SECTION 2.1.2. PROVIDE 6" CONC. BLOCK 75% SOLID FILL ENCLOSED BY BRICK VENEER (MIN. 1/2" AIR SPACE) WITH NON-CORROSIVE METAL TIES @ 16" O.C. VERT AND 24" O.C. HORIZ.



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ALL POSTS NOTED AS 'SB' SHALL BE MIN. 2/2"x4" OR 2/2"x6", UNLESS OTHERWISE NOTED AS FOLLOWS.
SB1 - MIN. 3/2"x4" OR 3/2"x6"
SB2 - MIN. 4/2"x4" OR 4/2"x6"
SB3 - MIN. 5/2"x4" OR 5/2"x6"

WOOD LINTEL NOTES:
ALL OPENINGS IN LOAD BEARING WALLS GREATER THAN THE STUD SPACING SHALL HAVE A SINGLE JACK AND KING POST ON EACH SIDE. OPENINGS LARGER THAN 5'-6" SHALL HAVE A MINIMUM OF TWO JACK POSTS AND ONE KING POST ON EACH SIDE, UNLESS NOTED OTHERWISE.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

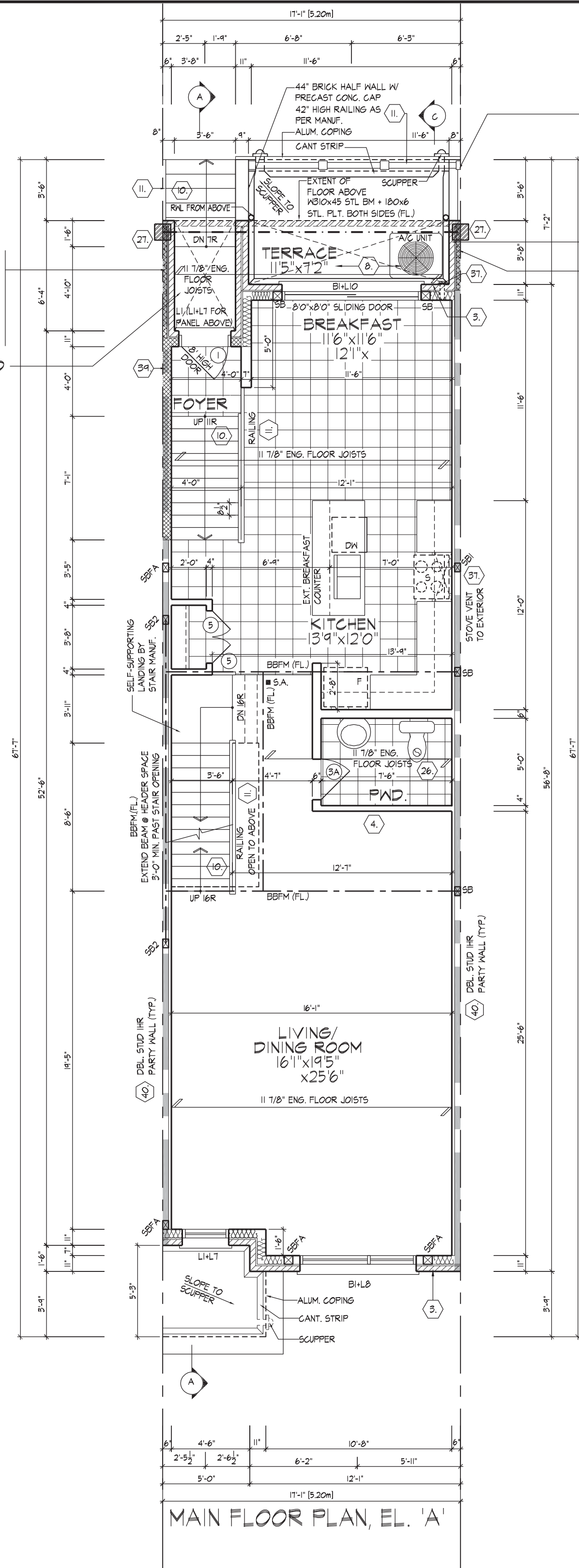
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Brampton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: _____
DATE: MAY 21, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

MASONRY WALL
SOLID MASONRY WALL W/ 12'-10" VERT. REBARS (LAP 1'-6" GROUDED INTO BRICK JOINT)
2"x6" SILL PLATE @ TOP ANCHORED TO SOLID MASONRY WALL W/ 1/2" O x 12" BOLTS @ 24" O.C. STAGGERED
MASONRY VENEER TIED TO MASONRY VENEER WITH GALV. METAL TIES @ 16" O.C. AND 24" VERTICAL. FILL VOID BETWEEN MASONRY VENEER WITH SOLID W/ MORTAR

(1 HOUR F.R.R. ONLY REQUIRED)
CONFORMING TO SB-2 TABLE
2.1.1, & SECTION 2.1.2, PROVIDE
6" CONG. BLOCK ENCLOSED BY
BRICK VENEER (MIN. 1/2" AIR
SPACE) WITH NON-CORROSIVE
METAL TIES @ 16" O.C. VERT
AND 24" O.C. HORIZ.

COVERED
PORCH



FULL HEIGHT WALL (SB)
(1 HOUR F.R.R. ONLY REQUIRED)
CONFORMING TO SB-2 TABLE 2.1.1, &
SECTION 2.1.2, PROVIDE
6" CONG. BLOCK ENCLOSED BY BRICK
VENEER (MIN. 1/2" AIR SPACE) WITH
NON-CORROSIVE METAL TIES @ 16" O.C.
VERT AND 24" O.C. HORIZ.

MASONRY WALL

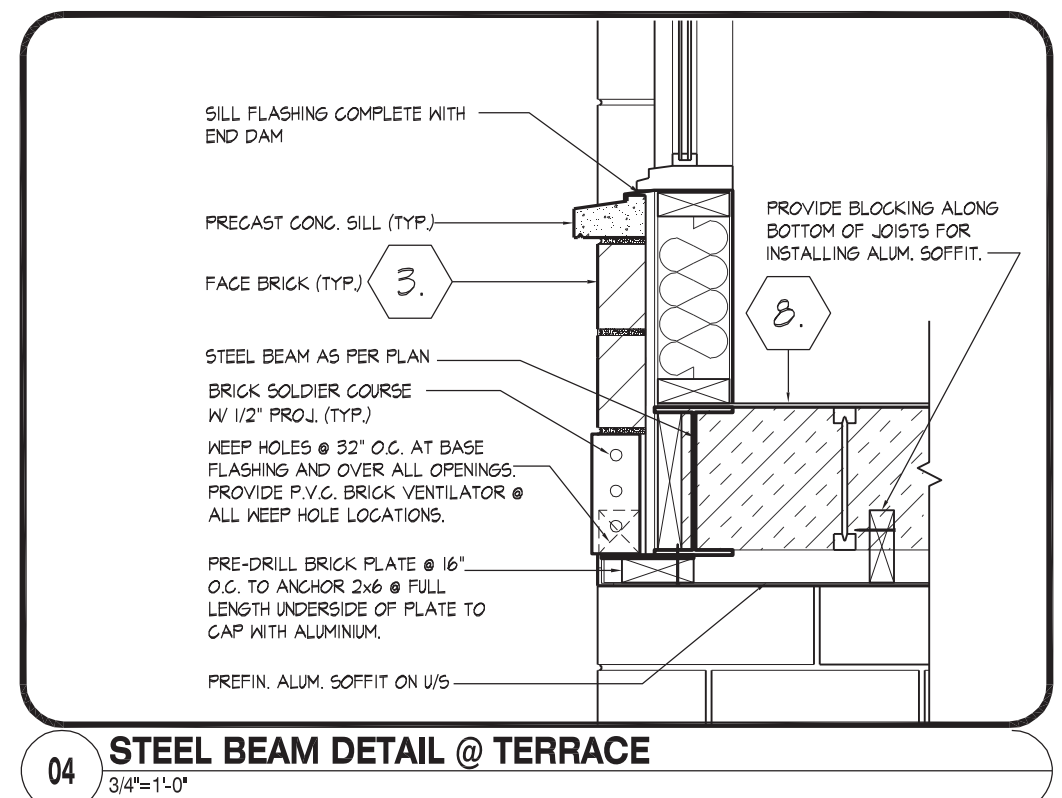
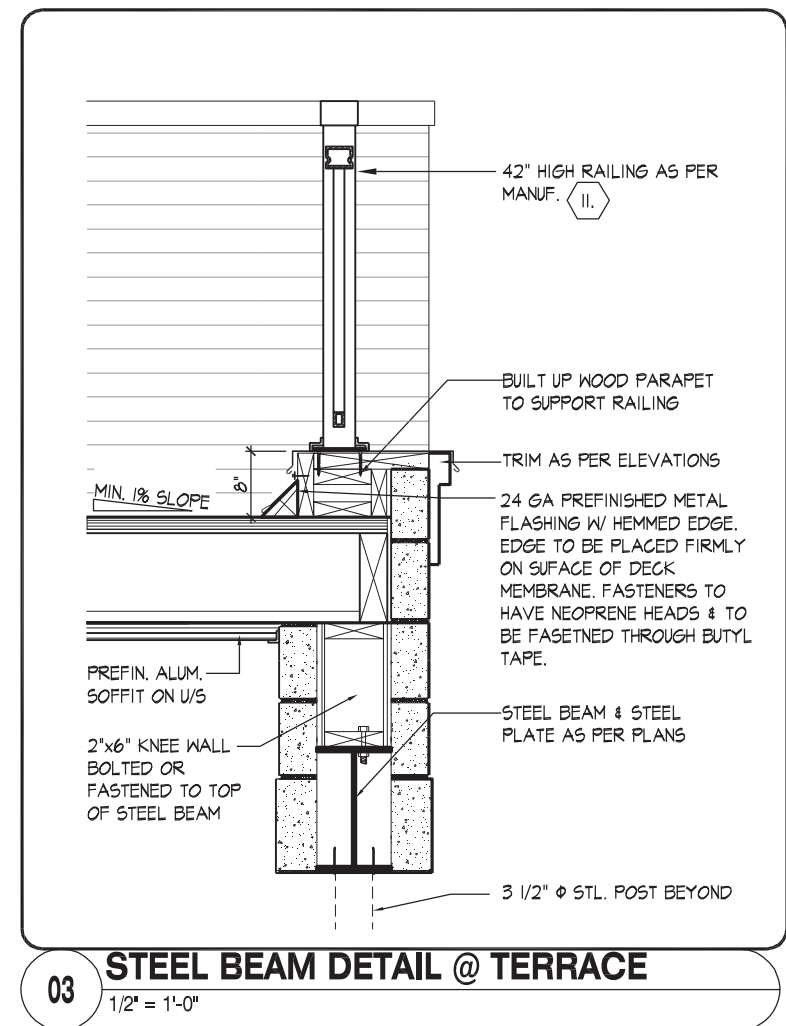
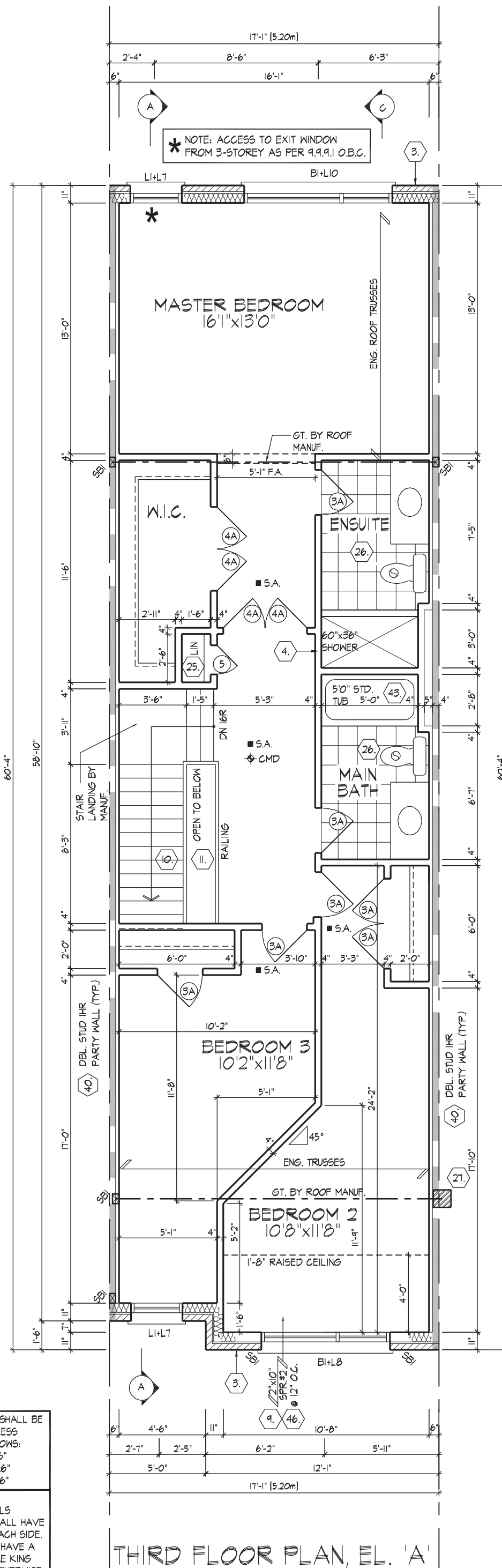
SOLID MASONRY WALL W/ 12-10M
VERT. REBARS (LAP 1'-6"
GROUTED INTO BRICK JOINT)

2"x6" SILL PLATE @ TOP ANCHORED
TO SOLID MASONRY WALL W/ 1/2" x
12" BOLTS @ 24" O.C. STAGGERED

MASONRY VENEER TIED TO MASONRY
VENEER WITH GALV. METAL TIES @
16" O.C. AND 24" VERTICAL. FILL
VOID BETWEEN MASONRY VENEER
WITH SOLID W/ MORTAR

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OTHERWISE NOTED AS FOLLOWS:
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SB3 - MIN. 5/2"x4" OR 5/2"x6"

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ALL OPENINGS IN LOAD BEARING WALLS
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OPENINGS LARGER THAN 5'-6", SHALL HAVE A
MINIMUM OF TWO JACK POSTS AND ONE KING
POST ON EACH SIDE, UNLESS NOTED OTHERWISE.



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BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: MAY 21, 2019

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS
DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET
OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
DEREK R. SANTOS 37308
NAME: DEREK R. SANTOS
REGISTRATION INFORMATION: BCIN
HUNT DESIGN ASSOCIATES INC. 19695

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca

MAIN FLOOR PLAN, EL. 'A', THIRD FLOOR PLAN EL. 'A' & DETAILS
ROYAL PINE HOMES-FORESTSIDE ESTATES PH2 • 215044 'LAVENDER' • 1702
"MANOR OF CLAIREVILLE", BRAMPTON, ONT. REV.2019.05.17

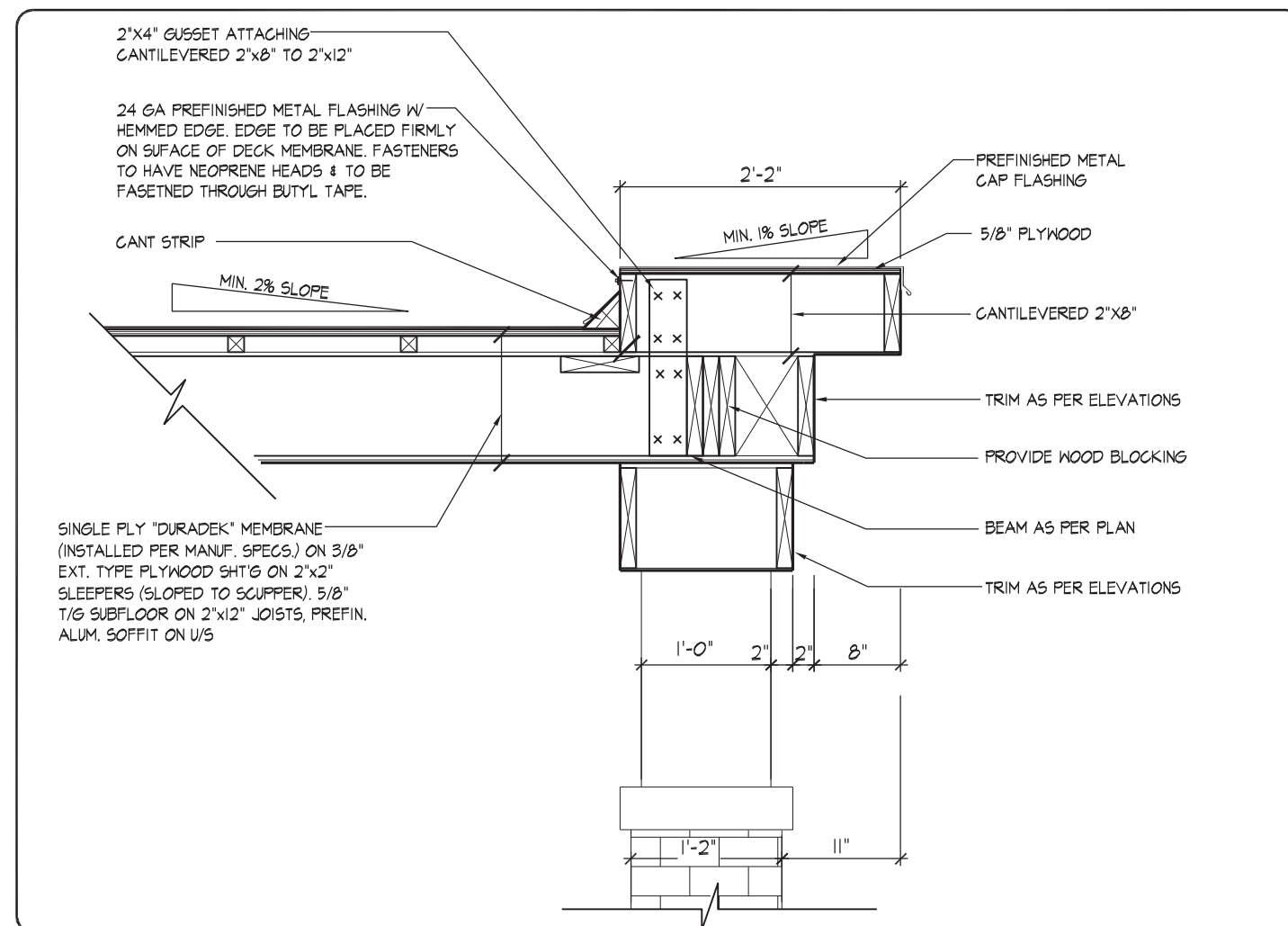
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8966 Woodbine Ave, Markham, ON L3R 0J7 T 905.737.5133 F 905.737.7326

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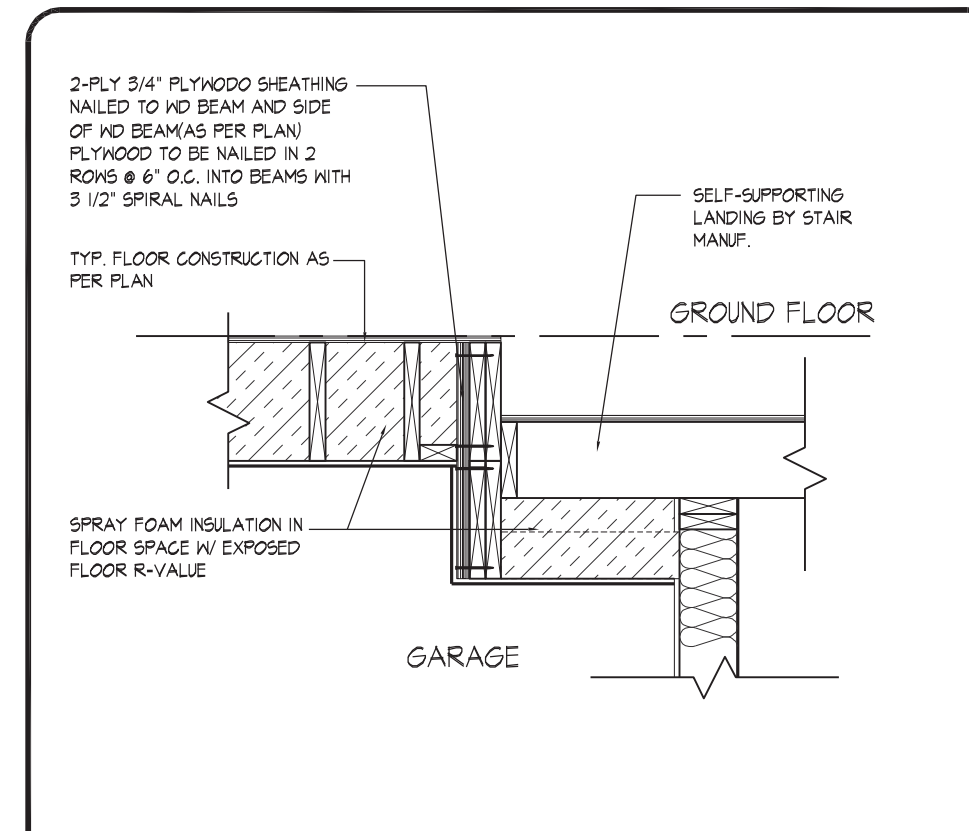


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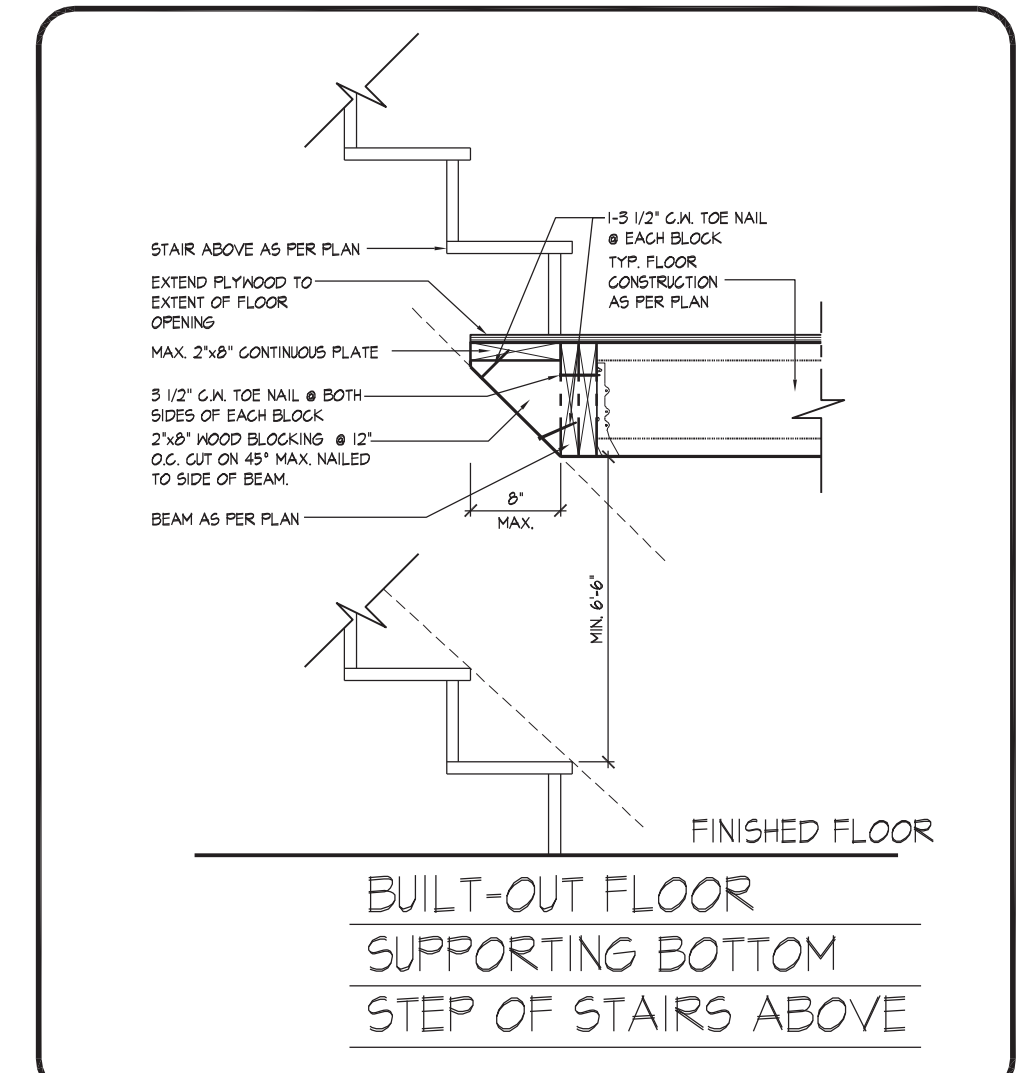
DATE: MAY 23, 2015
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Design Guidelines only and bears no further



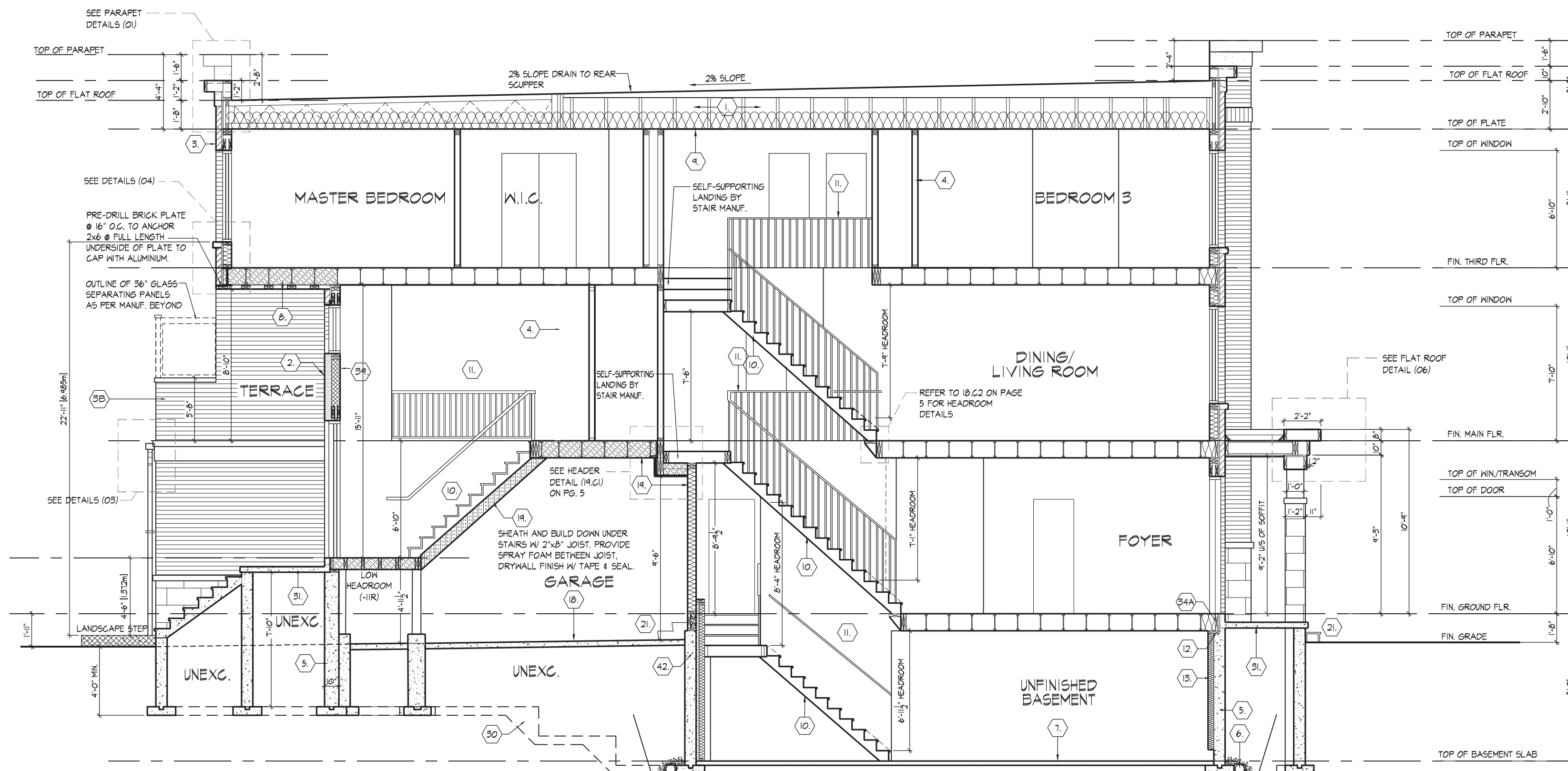
06 FLAT ROOF DETAIL @ COVERED PORCH - (JOIST PERPENDICULAR TO HOUSE)
3/4" = 1'-0"



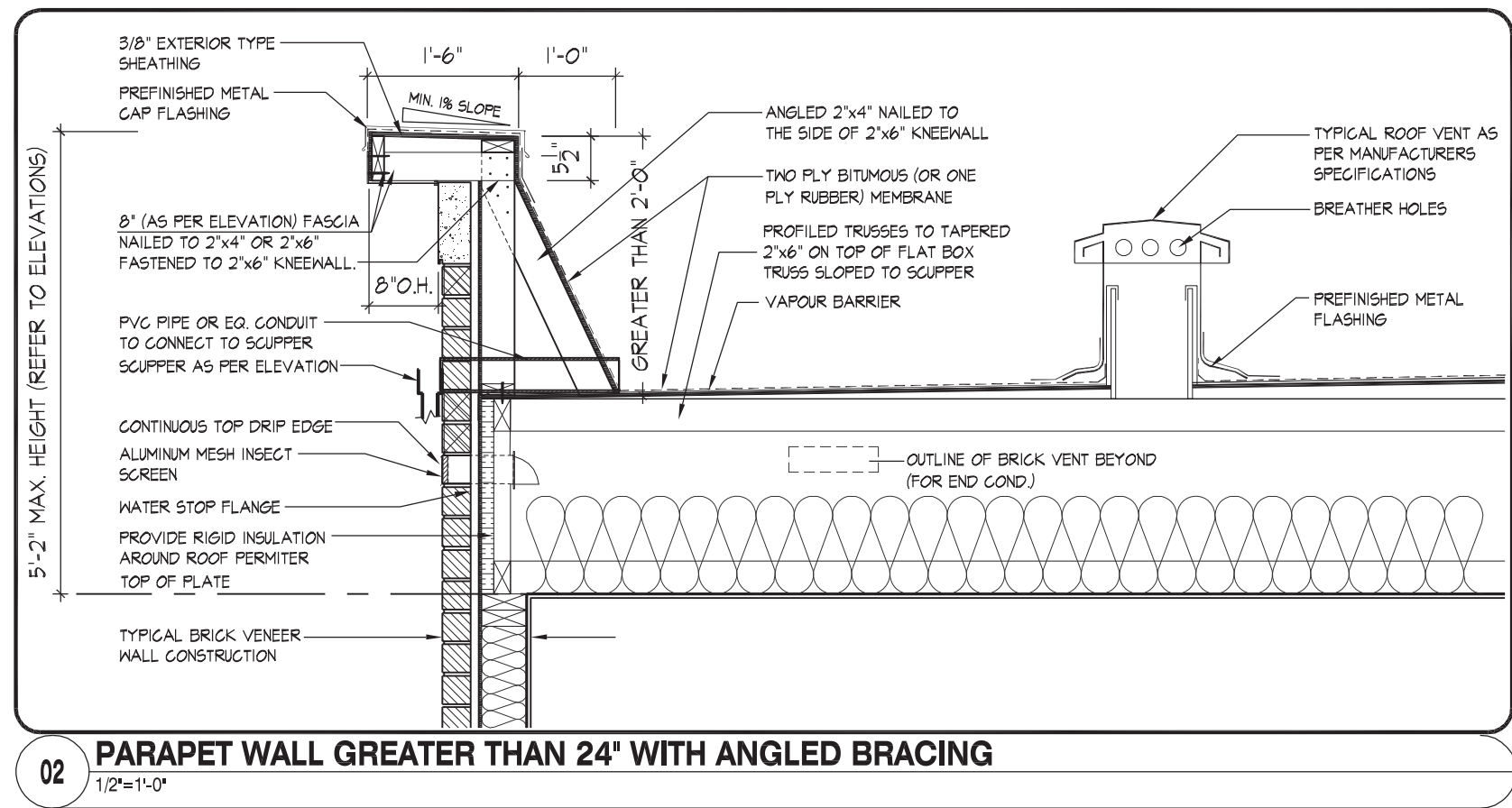
19.01 BUILT-UP PLYWOOD HEADER DETAIL
3/4" = 1'-0"



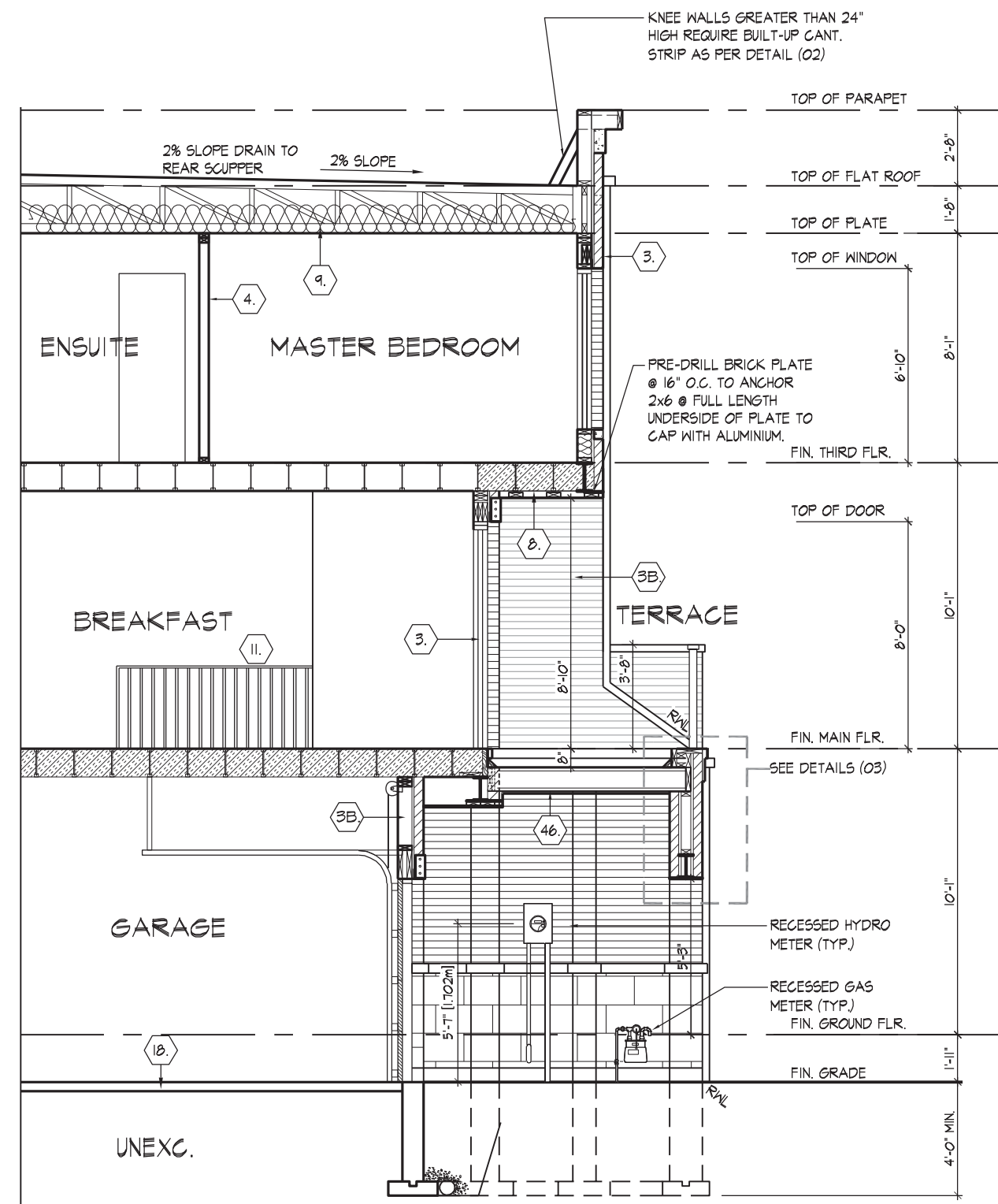
18.02 MINIMUM HEADROOM @ STAIRS
3/4" = 1'-0"



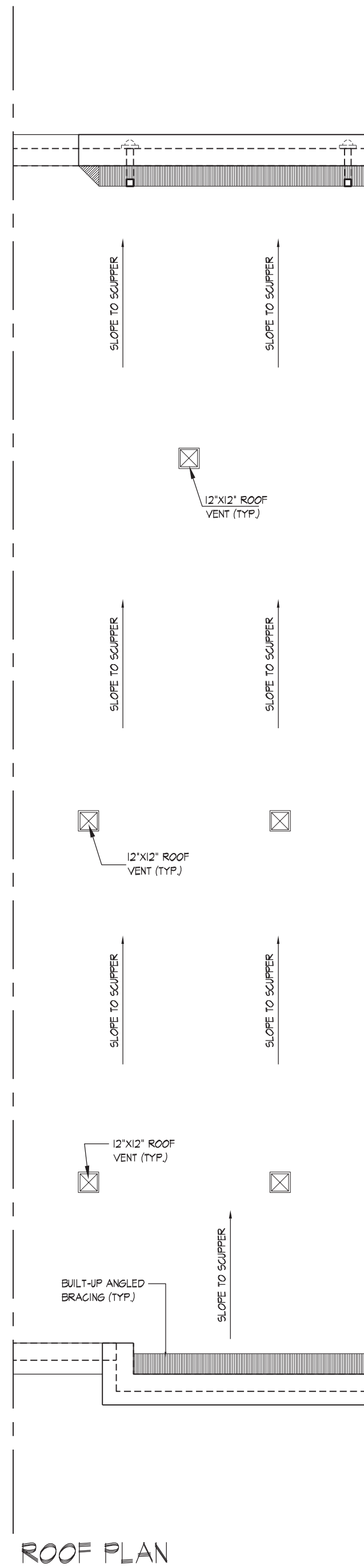
CROSS SECTION 'A-A'



02 PARAPET WALL GREATER THAN 24' WITH ANGLED BRACING
1/2"=1'-0"



PARTIAL SECTION 'C'



ROOF PLAN

ROOF SPACE TO BE VENTED AT 1:150 OF INSULATED CEILING. (AS PER O.B.C. 9.19.1)	
TOTAL ROOF SPACE	1030.17 ft ²
TOTAL VENTILATION SPACE REQD	1030.17 ft ² x 0.006 = 6.18 ft ²
ROOF VENT SIZE	12"x12" = 1.0 ft ²
MIN. 25% OF VENTING LOCATED AT THE TOP OF ROOF	
TOTAL # OF ROOF VENTS	5
TOTAL VENTILATION FROM ROOF VENTS	5 x 1.0 ft ² = 5.0 ft ²
MIN. 25% OF VENTING LOCATED AT THE BOTTOM OF ROOF (MIN.1.545 ft ²)	
BRICK VENT SIZE	4"x10" = 0.278 ft ²
TOTAL # OF BRICK VENTS	10
TOTAL VENTILATION FROM ROOF VENTS	10x 0.278 ft ² = 2.78 ft ²
TOTAL VENTILATION SPACE FROM ROOF & BRICK VENTS	2.78 ft ² + 5.0 ft ² = 7.78 ft ²

