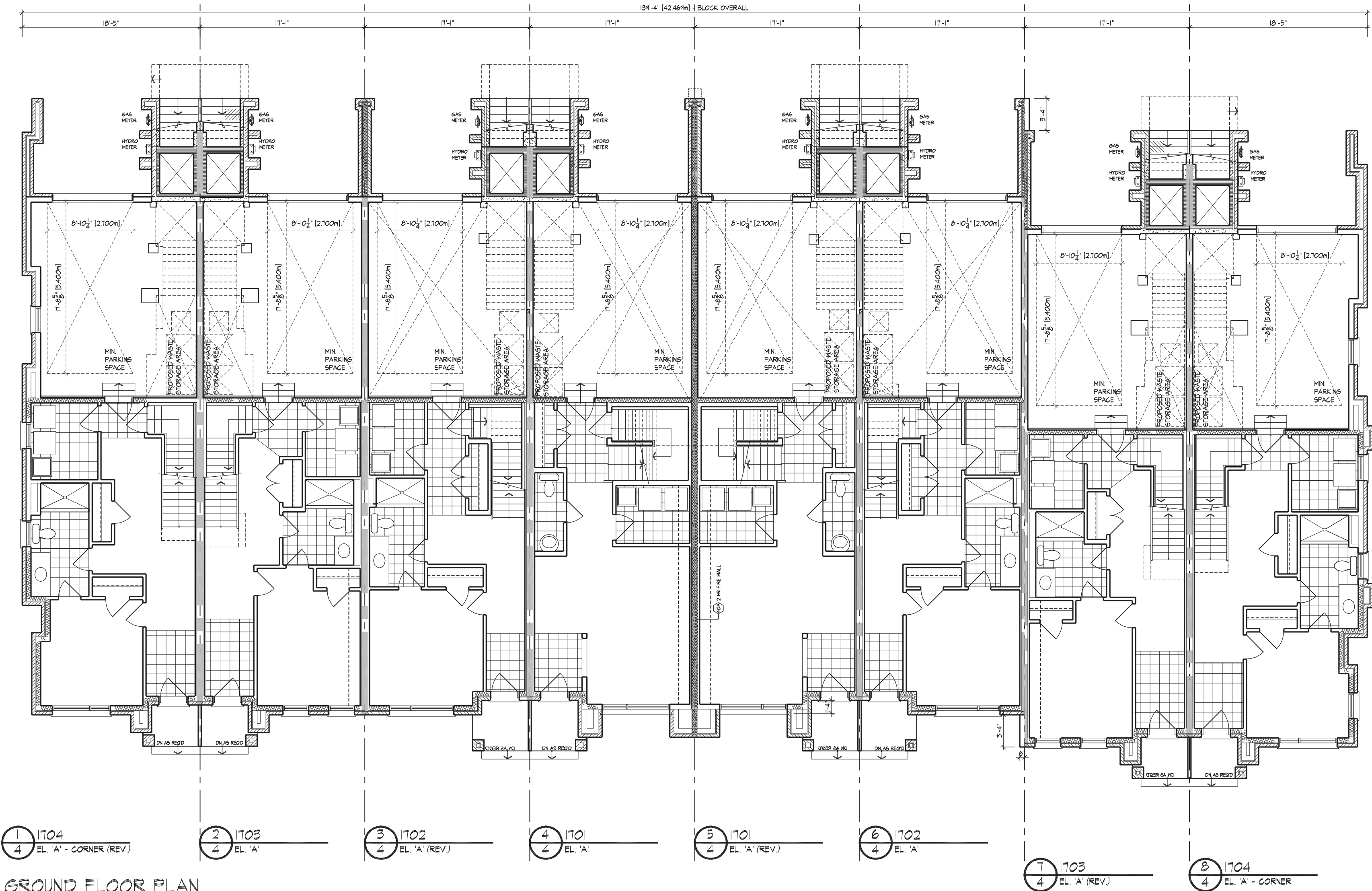


BASEMENT PLAN



GROUND FLOOR PLAN

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m² (6458 sq ft) AS PER BUILDING CODE PART 1 LIMITATIONS SECTION 1.1.2.4.(1) ** DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2. IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL (DEMISING LINE)

BUILDING AREA CALCULATION FOR FIREWALLS AS PER O.B.C. PART 1 SECTION 1.1.2.4.(1), PART 3.1. & 9.10.	
SECTION	BUILDING AREA
LOTS 1 - 4	4393.21 sq ft
	408.14 sq m
LOTS 5 - 8	4396.54 sq ft
	408.45 sq m
LOT(S) ###	0 sq ft
	0.00 sq m

GENERAL NOTES

1. PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
2. REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
3. REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I..
5. COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

LEGEND

- POURED IN PLACE STEPS WITH MASONRY VENEER ON SIDES.
- DROP OR RAISE BANDING BY AMOUNT INDICATED.
- ADD BANDING AND/OR TRIM AS INDICATED.
- ADDED CAMBERED HEADERS.
- 8'-0" X 8'-0" GARAGE DOORS.
- DROPPED OR RAISED SOFFIT AS INDICATED.
- ADJUSTED ROOF OVERHANG AS INDICATED ON ROOF PLAN.
- PROVIDE GUARD PER CONSTRUCTION NOTE 11.
- FOYER SUNKEN AS INDICATED
- LIGHT FIXTURE RELOCATED AS INDICATED.

WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 3 (BLOCK SECTION 3 WOOD STUDS)
120 MIN		SECTION 10

DETAILS

NO.	TITLE
01-1-1	MASONRY VENEER, 2"x4" STUDS, 2 STOREY WALL SECTION
01-1-3	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08-B-1	TYP. 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, P CONC. BLOCK
08-B-2	TYP. 1 HR PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, P CONC. BLOCK
08-B-3	TYP. 1/2 HR PROTECTION AT US'IF GARAGE CEILING SPACE, TYP. BLOCK PARTY WALL
08-B-4	TYP. 1/2 HR PARTY WALL AT OPEN 2 STOREY CONDITION
08-B-5	1/2 HR BLOCK PARTY WALL, BRICK VENEER, FLUSH UNIT
08-B-6	1/2 HR BLOCK PARTY WALL, BRICK VENEER, STAGGERED UNIT
08-B-7	1/2 HR BLOCK PARTY WALL, FLUSH AT GARAGE, BRICK VENEER
08-B-8	1/2 HR BLOCK PARTY WALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-B-9	1/2 HR BLOCK PARTY WALL, STAGGERED GARAGES, BRICK VENEER
08-B-10	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-10-1	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IF FOUNDATION
10-10-2	TYP. 2 HR. FIREWALL SECTION PARALLEL ROOF TRUSSES - IN VARIOUS FLOOR LEVELS
10-10-3	TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT
10-10-4	TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH
10-10-5	TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT
10-10-6	TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARING

COMPLIANCE PACKAGE	58-12 (SECTION 2.1.1)
A1	

5.	ISSUED FOR FINAL	2019.05.06	DS
4.	REVISED AS PER ENGINEER COMMENTS		
3.	REVISED AS PER AC COMMENTS	2019.04.26	DS
2.	REVISED AS PER CLIENT COMMENTS	2018.11.19	DS
1.	ISSUED FOR CLIENT REVIEW	2018.06.19	MM
NO.	DESCRIPTION	YYYYMMDD	BY

REVISIONS	
NO.	DESCRIPTION
1.	ISSUED FOR CLIENT REVIEW
2.	REVISED AS PER CLIENT COMMENTS
3.	REVISED AS PER AC COMMENTS
4.	REVISED AS PER ENGINEER COMMENTS
5.	ISSUED FOR FINAL

QUALIFICATION INFORMATION	DESIGN ASSOCIATES INC.
DESIGNER	DESIGN ASSOCIATES INC.
REGISTERED INFORMATION	DESIGN ASSOCIATES INC.
REGISTERED INFORMATION	DESIGN ASSOCIATES INC.

HUNT
DESIGN ASSOCIATES INC.
www.hunt-design.ca
9956 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hdi@hunt-design.ca

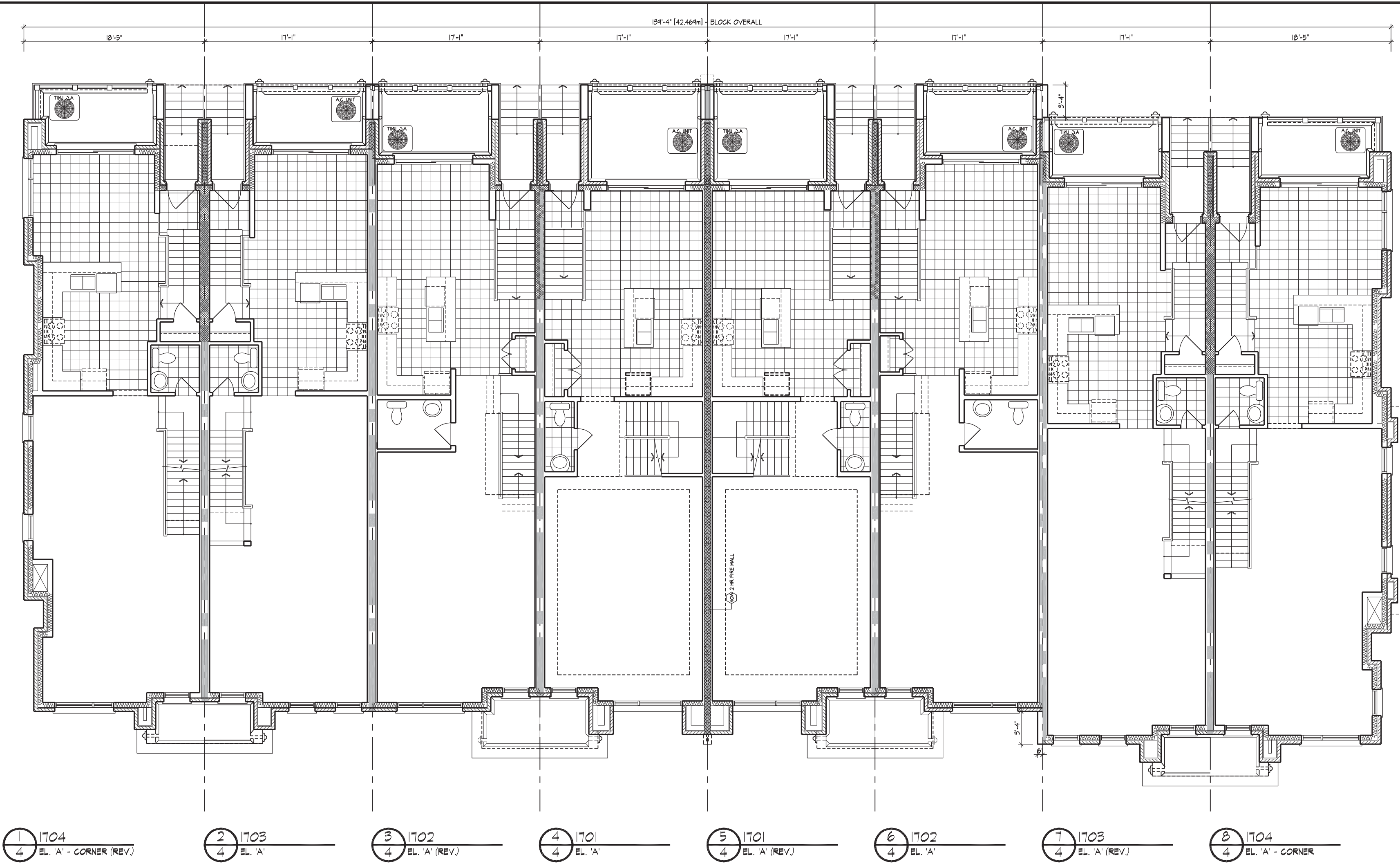
ROYAL PINE HOMES
"MANOR OF CLAIREVILLE", BRAMPTON, ONT.
BLOCK 4 (LOTS 1 to 8)
FORESTSIDE ESTATES PH2 - PRO#215044

BASEMENT & GROUND FLOOR PLANS
REV.2019.05.06
Scale: 1/8"=1'-0" Drawn By: MM Checked By: DS
Project No: 215044-BLOCKS 17 Page Number: 1 of 4

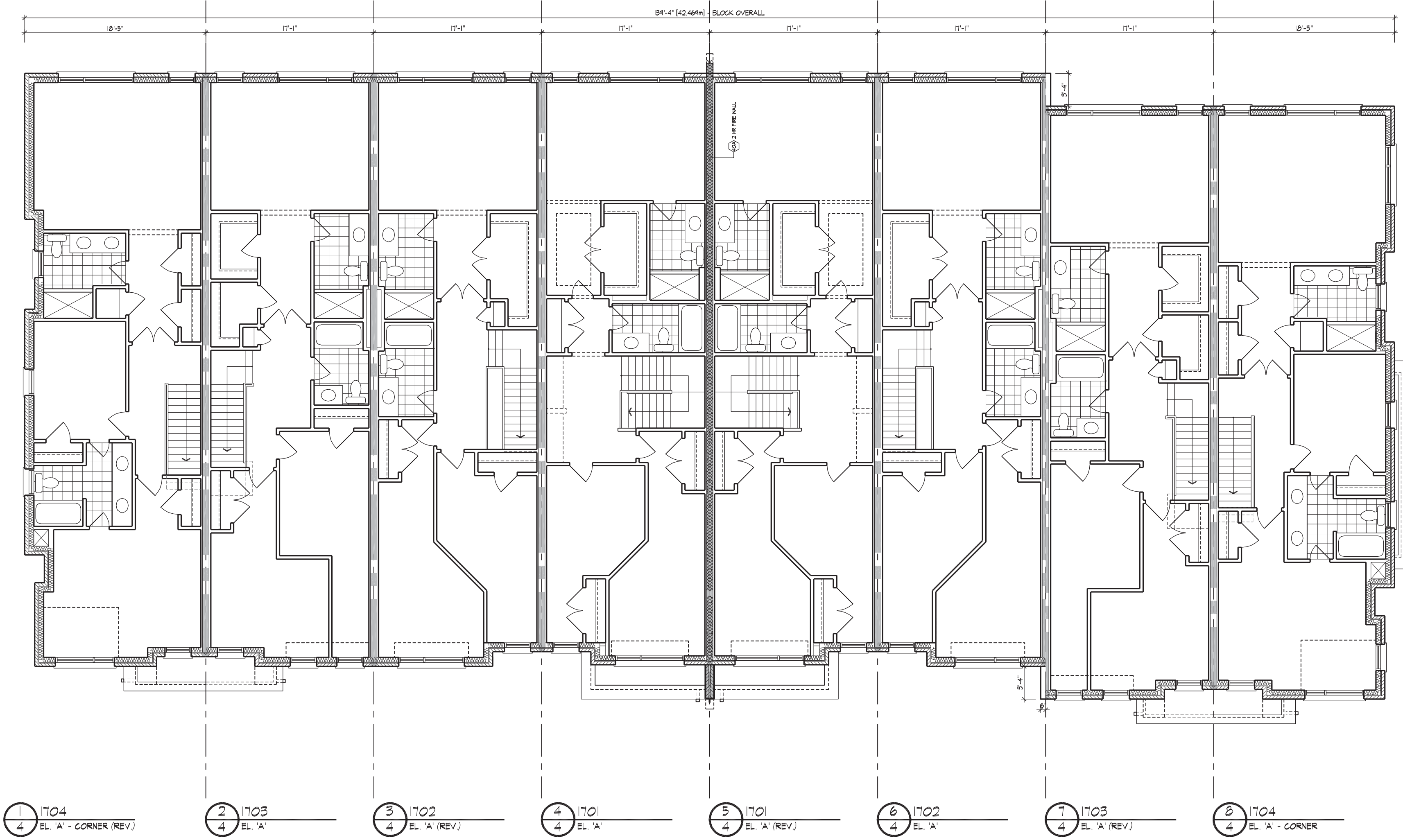
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Brampton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 21, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



MAIN FLOOR PLAN



THIRD FLOOR PLAN

A FIREWALL IS REQUIRED IF THE BUILDING AREA IS GREATER THAN 600 m² (6458 sq ft) AS PER BUILDING CODE PART 9 LIMITATIONS SECTION 1.1.2.4.(1).

DEFINITION OF BUILDING AREA AS PER PART 1.4.1.2, IS THE EXTENT OF THE GREATEST HORIZONTAL BUILDING EXTERIOR WALLS ABOVE GRADE TO IF REQ'D THE CENTER OF THE FIREWALL, (DEMISING LINE)

SECTION	BUILDING AREA
LOTS 1 - 4	4393.21 sq ft
	408.14 sq m
LOTS 5 - 8	4396.54 sq ft
	408.45 sq m
LOT(S) ###	0 sq ft
	0.00 sq m

- GENERAL NOTES**
- PROVIDE FIRESTOPS AS REQUIRED BY O.B.C. 9.10.16
 - REFER TO UNIT WORKING DRAWINGS, ENGINEERS DRAWINGS AND SITEPLAN FOR ADDITIONAL INFORMATION AND VERIFICATION.
 - REFER TO ROOF TRUSS MANUFACTURERS DRAWINGS FOR LAYOUT, SPACING, INSTALLATION DETAILS AND HANGER SIZES.
 - CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB REPORT ANY DISCREPANCIES TO HUNT DESIGN ASSOCIATES INC. (H.D.A.I.) BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF H.D.A.I..
 - COMBUSTIBLE PROJECTIONS ON THE EXTERIOR OF A WALL THAT ARE MORE THAN 1100mm (3 ft 3 in) ABOVE GROUND SHALL NOT BE PERMITTED WITHIN 1.2m (3 ft 11 in) OF A PROPERTY LINE OR CENTRE LINE OF A PUBLIC WAY OR 2.4m (7 ft 10 in) OF A COMBUSTIBLE PROJECTION ON ANOTHER BUILDING ON THE SAME PROPERTY AS PER PART 9 SECTION 9.10.14.5.(5)

- LEGEND**
- POURED IN PLACE STEPS WITH MASONRY VENEER ON SIDES.
 - DROP OR RAISE BANDING BY AMOUNT INDICATED.
 - ADD BANDING AND/OR TRIM AS INDICATED.
 - ADDED CAMBERED HEADERS.
 - 8'-0" X 8'-0" GARAGE DOORS.
 - DROPPED OR RAISED SOFFIT AS INDICATED.
 - ADJUSTED ROOF OVERHANG AS INDICATED ON ROOF PLAN.
 - PROVIDE GUARD PER CONSTRUCTION NOTE 11.
 - FOYER SUNKEN AS INDICATED
 - LIGHT FIXTURE RELOCATED AS INDICATED.

WALL TYPE LEGEND

FRR	LINE TYPE	DETAILS
45 MIN		SECTION 1, 2 & 3
60 MIN		SECTION 5 (BLOCK SECTION 9 WOOD STUDS)
120 MIN		SECTION 10

DETAILS

NO.	TITLE
01-1-1	MASONRY VENEER, 2"x2" STUDS, 2 STOREY WALL SECTION
01-1-3	MASONRY VENEER, 2"x4" STUDS, 1 STOREY GARAGE WALL SECTION
08-B-1	TYP. 1 HR PARTY WALL SECTION, PARALLEL ROOF TRUSSES, IF CONC. BLOCK
08-B-2	TYP. 1 HR PARTY WALL SECTION AT GARAGE, PARALLEL ROOF TRUSSES, IF CONC. BLOCK
08-B-3	TYP. 1 HR PARTY WALL SECTION AT US'IF GARAGE, CLANG SPACE, TYP. BLOCK PARTY WALL
08-B-5	TYP. IF BLOCK PARTY WALL AT OPEN 2 STOREY CONDITION
08-B-6	IF BLOCK PARTY WALL, BRICK VENEER, FLUSH UNIT
08-B-6	IF BLOCK PARTY WALL, BRICK VENEER, STAGGERED UNIT
08-B-6	IF BLOCK PARTY WALL, FLUSH AT GARAGE, BRICK VENEER
08-B-6	IF BLOCK PARTY WALL, STAGGERED UNIT & GARAGE, BRICK VENEER
08-B-6	IF BLOCK PARTY WALL, STAGGERED GARAGES, BRICK VENEER
08-B-6	REQUIRED FIRE STOPPING AT SOFFITS SECTION
10-10-1	TYP. 2 HR. FIREWALL SECTION, PARALLEL ROOF TRUSSES - IF FOUNDATION
10-10-2	TYP. 2 HR. FIREWALL SECTION, PARALLEL ROOF TRUSSES - IF VARIOUS FLOOR LEVELS
10-10-3	TYP. 2 HR. FIREWALL, BRICK VENEER, STAGGERED UNIT
10-10-3	TYP. 2 HR. FIREWALL, BRICK VENEER AT PORCH
10-10-7	TYP. 2 HR. FIREWALL, BRICK VENEER, FLUSH UNIT
10-10-7	TYP. 2 HR. FIREWALL PROJECTION, BRICK VENEER, @ DECK PARING

COMPLIANCE PACKAGE

58-12 (SECTION 2.1.1)	A1
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5.	ISSUED FOR FINAL	2018.05.06	DS
4.	REVISED AS PER ENGINEER COMMENTS		
3.	REVISED AS PER A/C COMMENTS	2018.04.26	DS
2.	REVISED AS PER CLIENT COMMENTS	2018.11.19	DS
1.	ISSUED FOR CLIENT REVIEW	2018.06.19	MM
NO.	DESCRIPTION	YYYYMMDD	BY

REVISIONS

THE ENGINEER HAS REVIEWED AND TAKEN RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	DESIGNER	37308	DS
DESIGNER	DEBEX SANTOS		
REGISTERED INFORMATION	HUNT DESIGN ASSOCIATES INC.	19995	

HUNT DESIGN ASSOCIATES INC.
www.huntdesign.ca
8956 Woodbine Ave., Markham, ON L3R 0J7
T 905.737.5133 F 905.737.7326 email: hda@huntdesign.ca

ROYAL PINE HOMES
"MANOR OF CLAIREVILLE", BRAMPTON, ONT.

BLOCK 4 (LOTS 1 to 8)
FORESTSIDE ESTATES PH2 - PRO#215044

MAIN & THIRD FLOOR PLANS

REV.2019.05.06

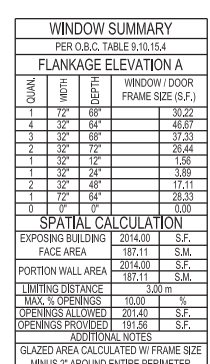
Scale: 1/8"=1'-0" Drawn By: MM Checked By: DS
File Name: 215044-BLOCKS 17 2 of 4

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: MAY 21, 2019
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



		DESIGN ASSOCIATES INC. www.huntdesign.ca	
		8956 ROYAL BINE AVE, MARKHAM, ON L3R 0J7 905.727.5153 • 905.727.5556 email: info@huntdesign.ca	
WOODLAND PINE HOMES 'MANOR OF CLAIREVILLE', BRAMPTON, ONT.			
BLOCK 4 (LOTS 1 to 8) FORESTSIDE ESTATES PH2 - PRO#215044			
ROOF PLANS & SIDE ELEVATIONS			
*		REV.2019.05.06	
Scale 1/8"=1'-0"	Drawn By MM	Checked By DS	Date 215044-BLOCKS 17
215044-BLOCKS 17		3	of 4

It is the burden of the applicant's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Design Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Authority is not responsible in any way for examining or approving site (lotting) plans or working drawings with regard to any zoning or building code or permit matter. If any such building code can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Brampton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING
AND APPROVAL

APPROVED BY: _____
DATE: MAY 21, 2019

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