



## Site Instruction

Royal Pine Homes  
3550 Langstaff Road, Suite 200  
Woodbridge, Ontario  
L4L 9G3

SI 34

PROJECT : Hampton Manor  
PROJECT No : 1136.13  
DATE : January 31, 2019

Attn: Vince Staffieri

Site instructions/memos and Addendums are issued only for the purpose of recording any clarification or interpretation of the contract documents or giving direction on problems resulting from field conditions. These memos are subject to the provisions of the contract documents and unless reviewed with and authorized by the Client, will not affect the contract. Should the Contractor require a change in the contract price or project schedule, he shall submit to the Client, prior to commencement of work outlined in this memo, an itemized proposal for approval.

Title: Extent of Waterproofing at Ramp to trench drain & 100mm thick topping shown

### A501 – Building Sections

- Extent of Waterproofing shown

### A812 – Typical Details

- Extent of waterproofing shown with 100mm thick topping shown.

Reason: **As per Client request.**

References: **A501 and A812.**

GRAZIANI + CORAZZA  
ARCHITECTS INC

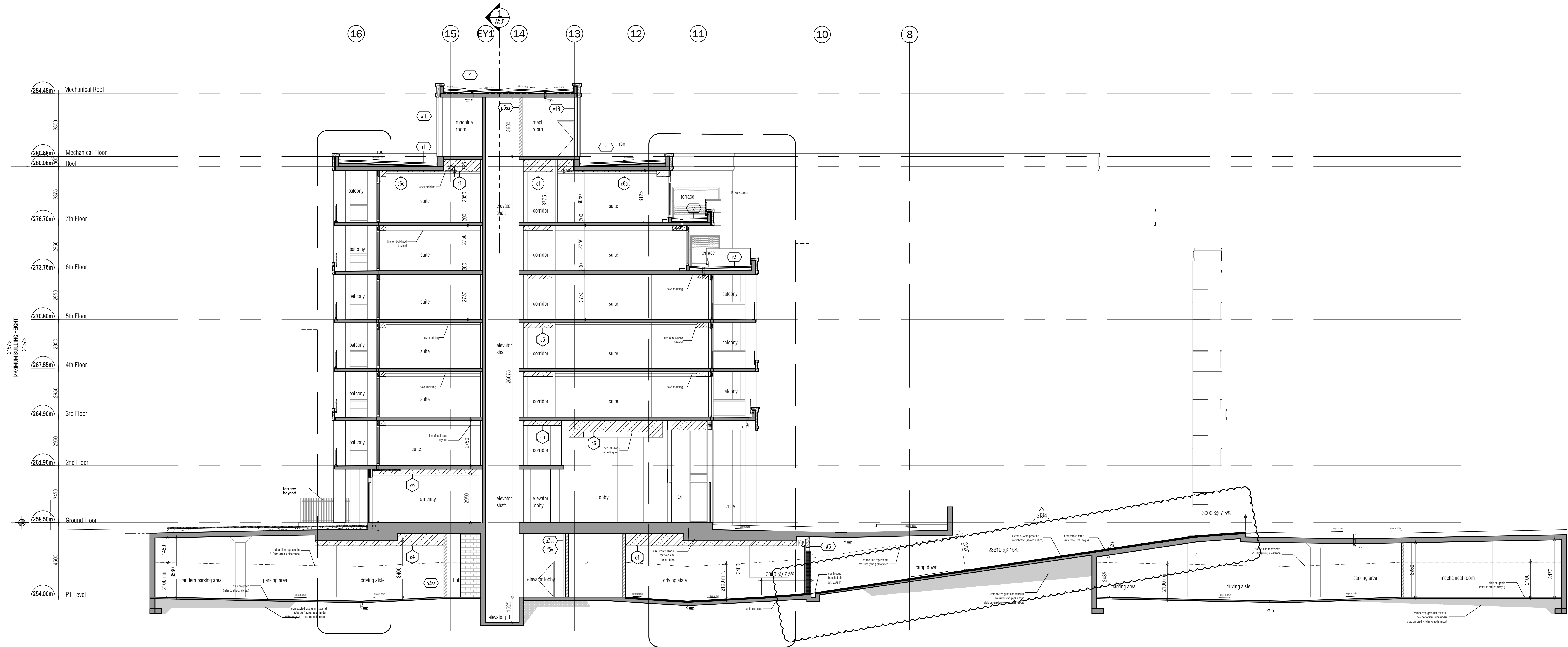
**G. Colangelo** Diploma Arch. Technology  
Associate, Director of Contract Documents

### Distribution:

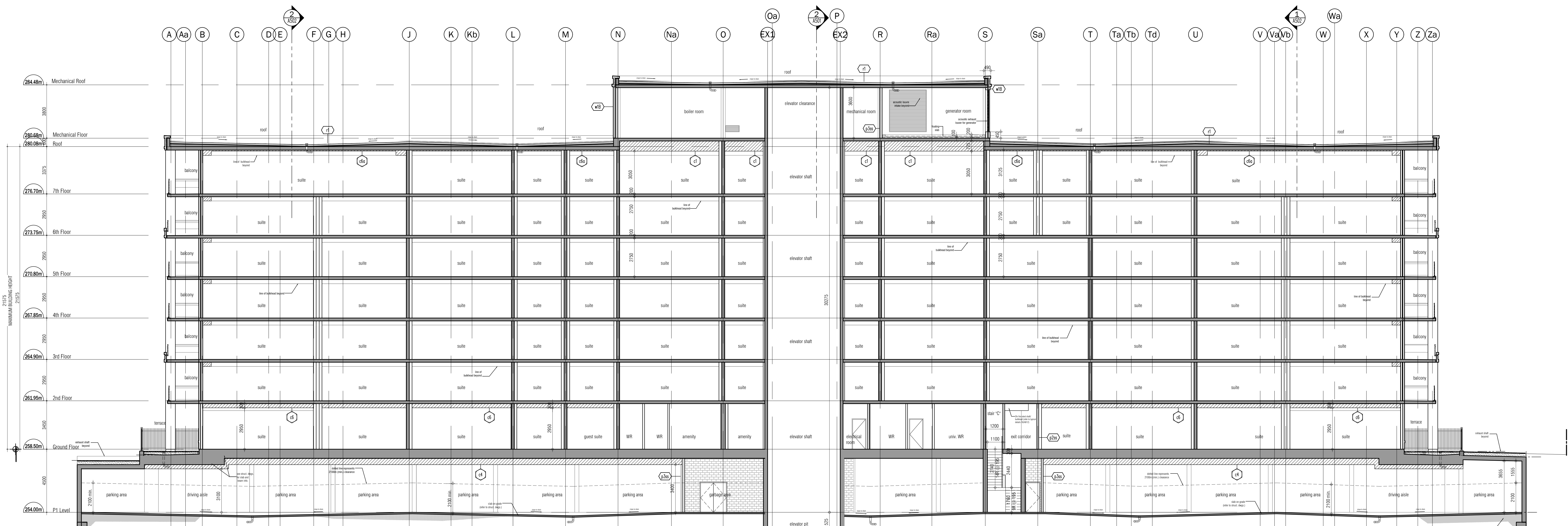
Royal Pine Homes  
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Dineen Construction  
Dineen Construction

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BUILDING SECTION 2  
SCALE - 1/8" = 1'-0"



BUILDING SECTION 1  
SCALE - 1/8" = 1'-0"

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01. FEB.28.2014	issued to city for SPA	B.G.
02. JUL.9.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
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07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
09. JUL.19.2017	Progress for Construction	B.G.
10. AUG.09.2017	Progress for Construction	B.G.
11. OCT.25.2017	Revision to Envelope	B.G.
12. APR.04.2018	Re-issued for Building Permit	B.G.

07. JAN.31.2019	S14 EXTENT OF WATERPROOFING	B.G.
08. JAN.07.2019	S12 GARAGE WALL FINISH	B.G.
09. JUNE.21.2018	S21 REVISED GENERATOR LAYOUT	B.G.
04. OCT.25.2017	S10B WINDOW/SPRAY FOAM INSULATION	B.G.
03. SEP.18.2017	S10E TRANSOM/BULKHEADS REVISION	B.G.
02. AUG.25.2017	S10A EXTENDED GRD. STRUCTURAL SUFFIT	B.G.
01. AUG.21.2017	S103 SANDBLAST PRECAST ON BALCONIES	B.G.

issued for revisions

**GRAZIANI**  
**CORAZZANI**  
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PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D.BIASE

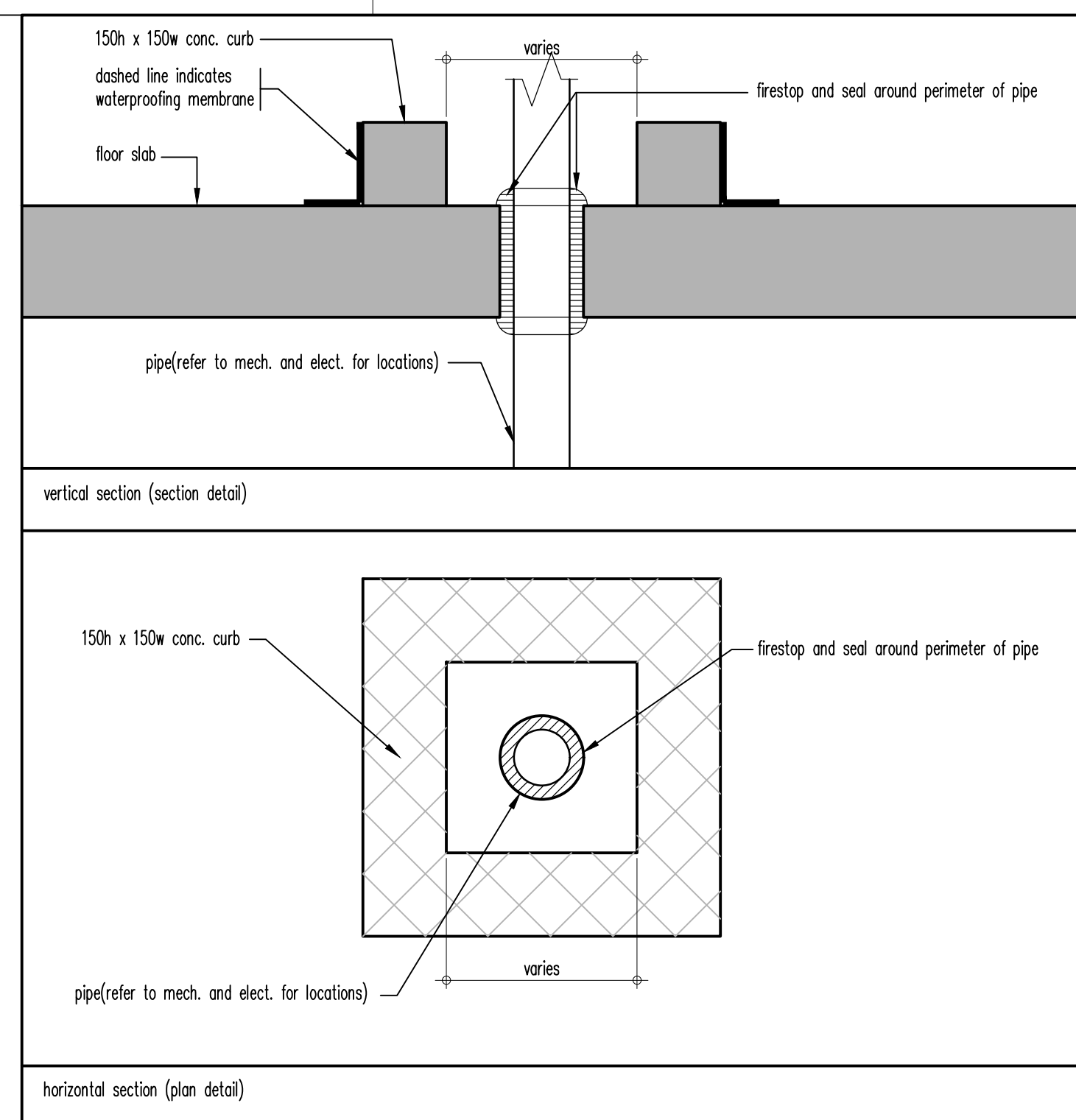
Plot Date: JUL. 4. 2018

Job #: 1136.1.3

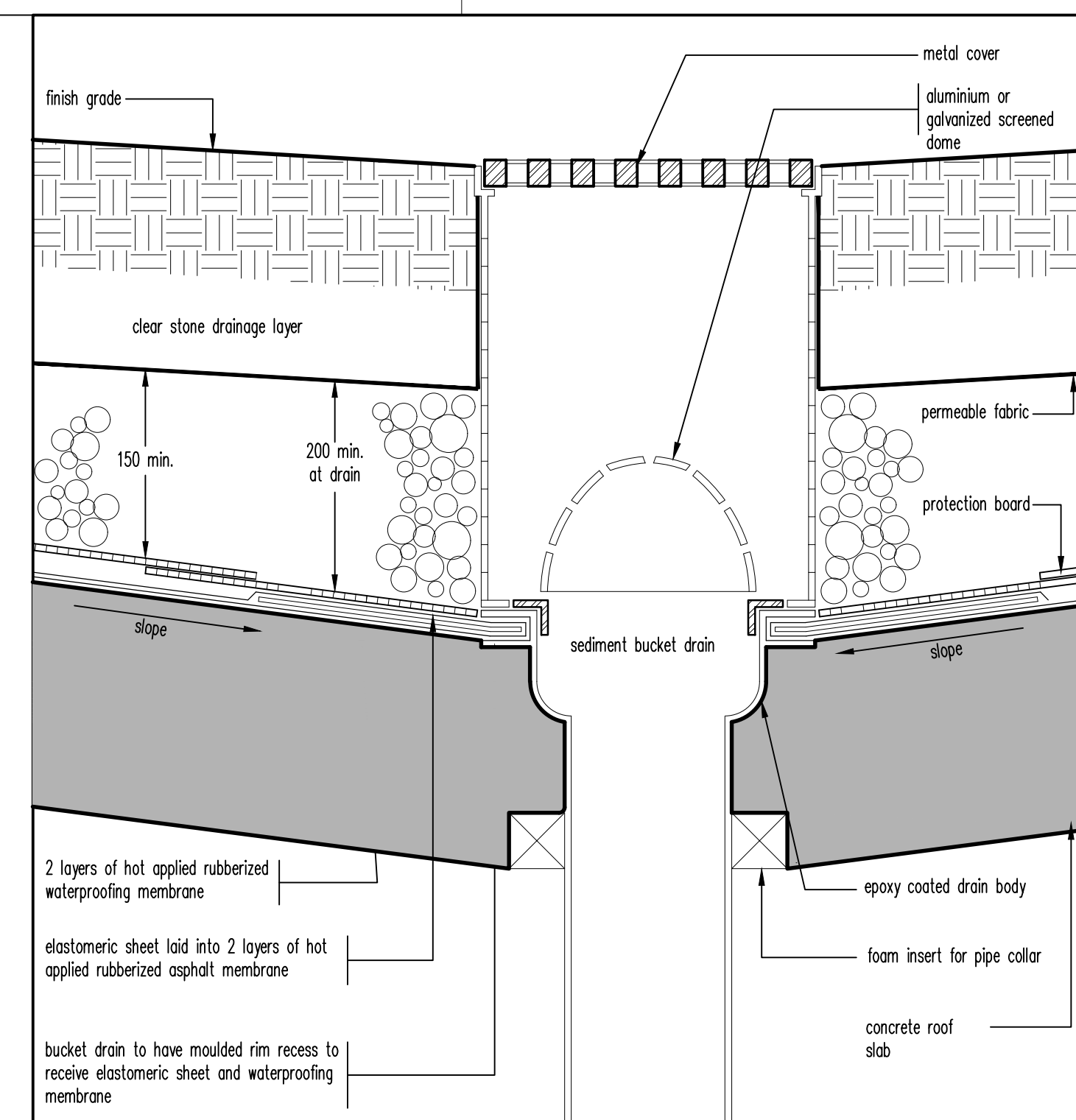
Building Section

TITLEBLOCK SIZE: 915 x 1400

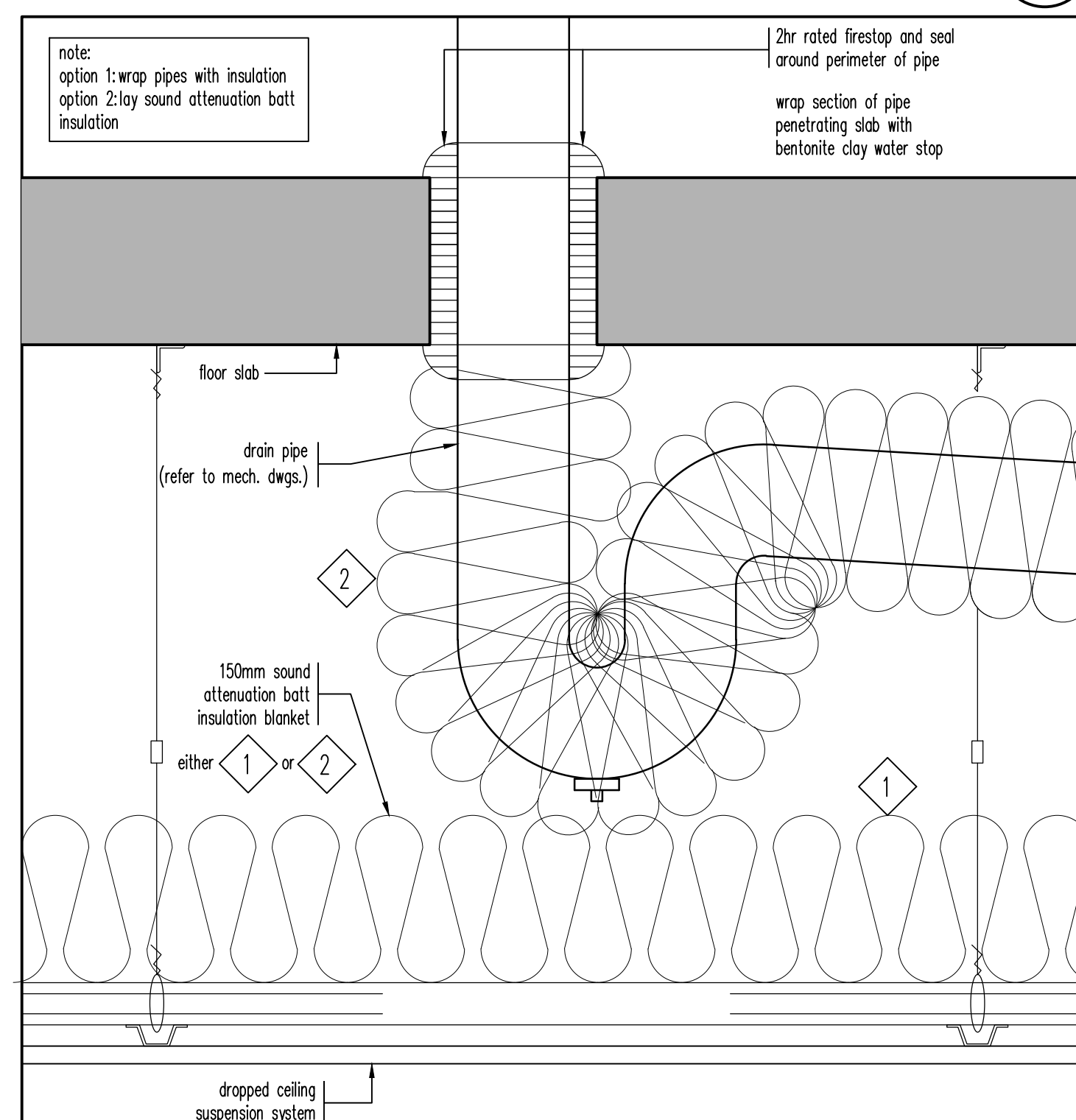




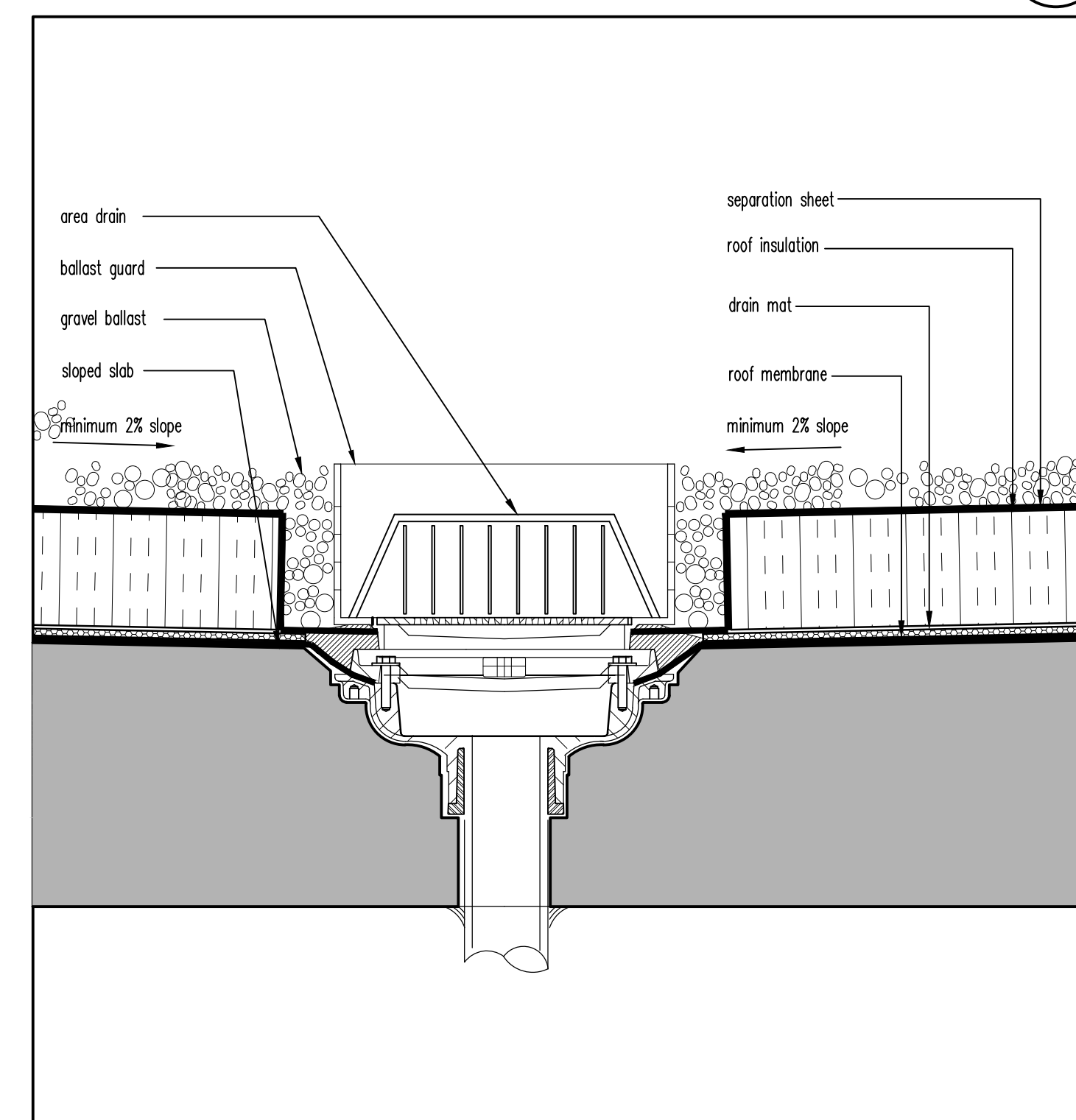
typical concrete curb surrounding pipe penetrations @ mech. penthouse



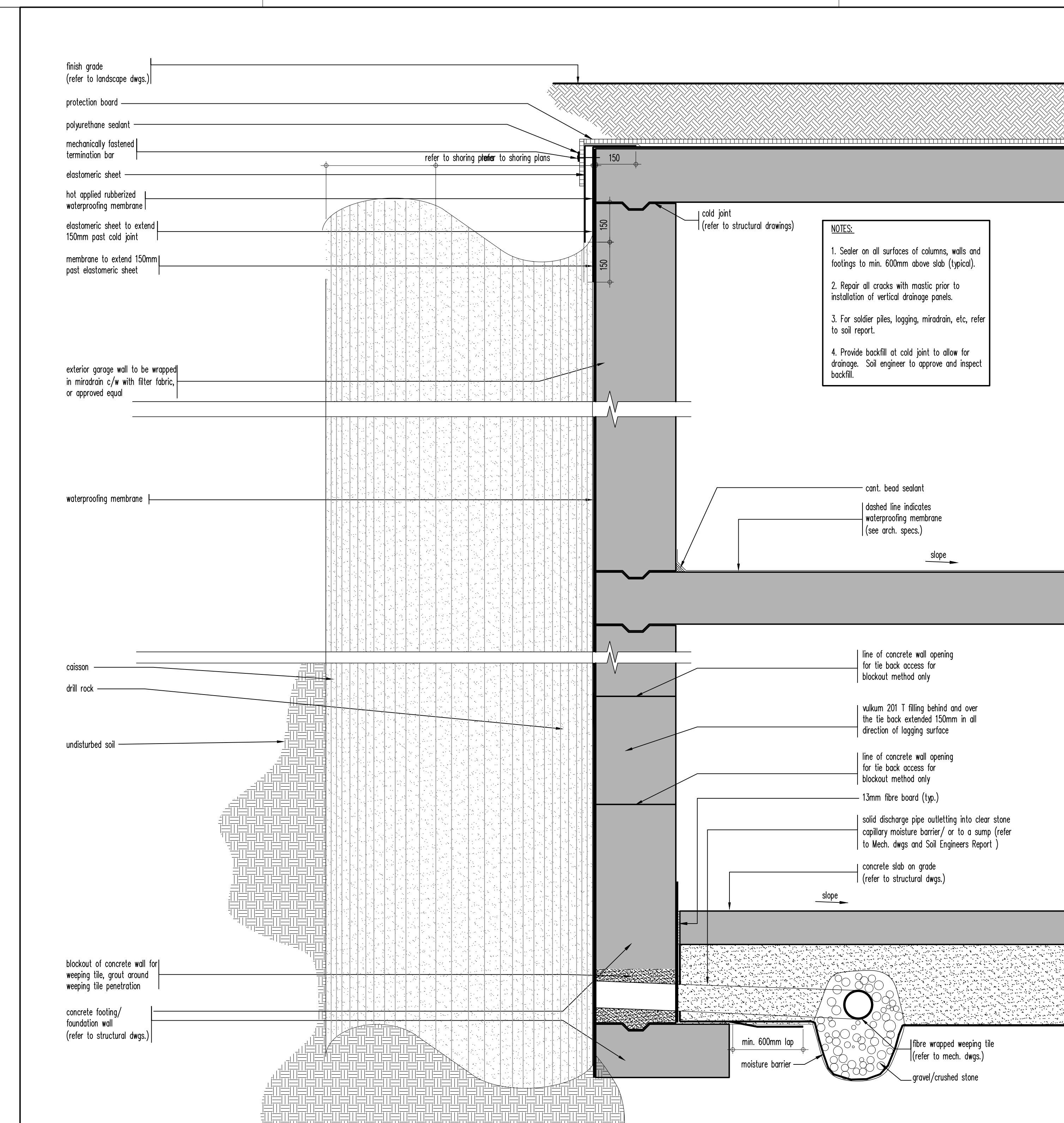
roof drain detail 8  
SCALE = 1:5 A811



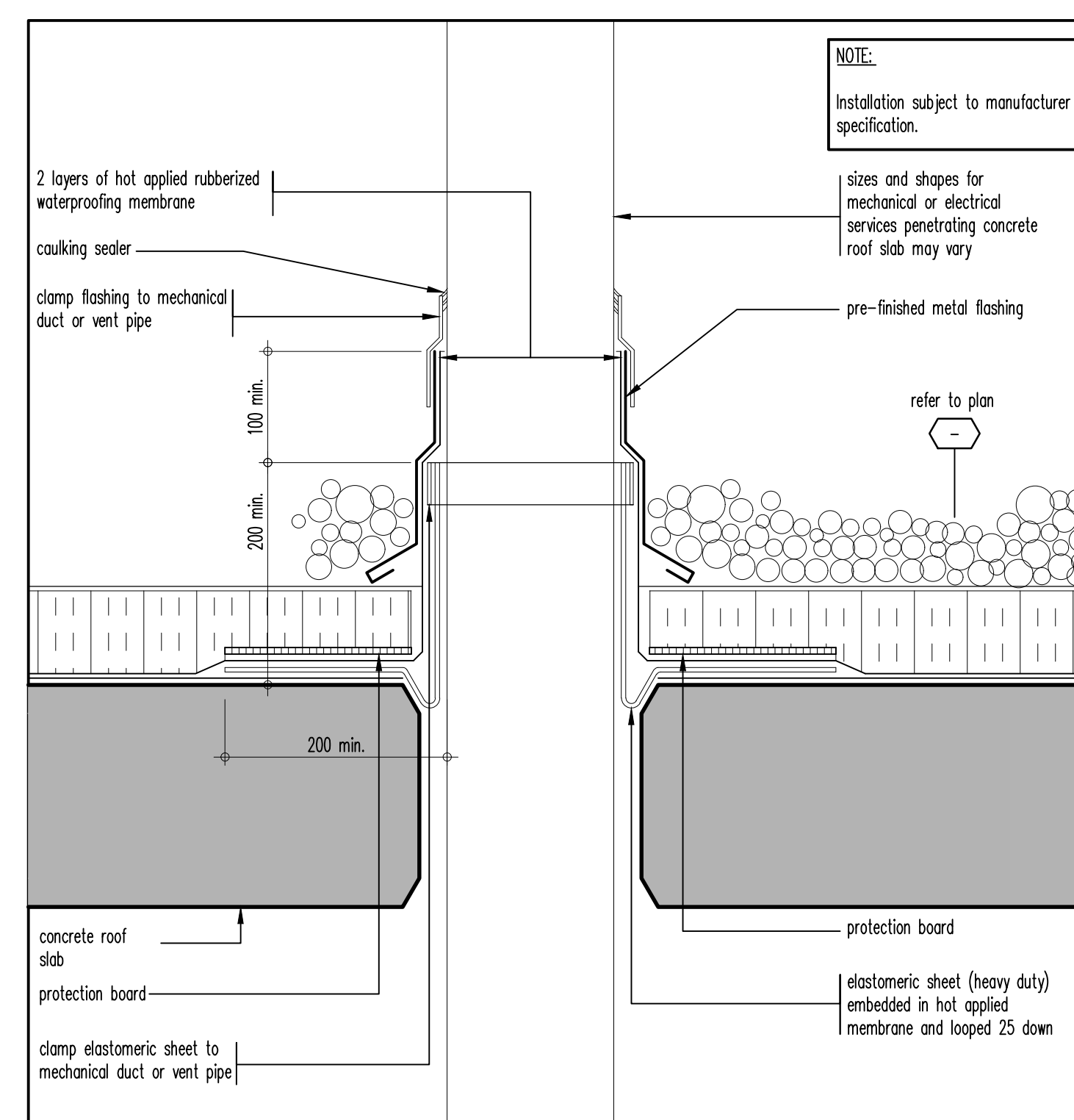
insulation at pipe and rating around pipe at slab penetration



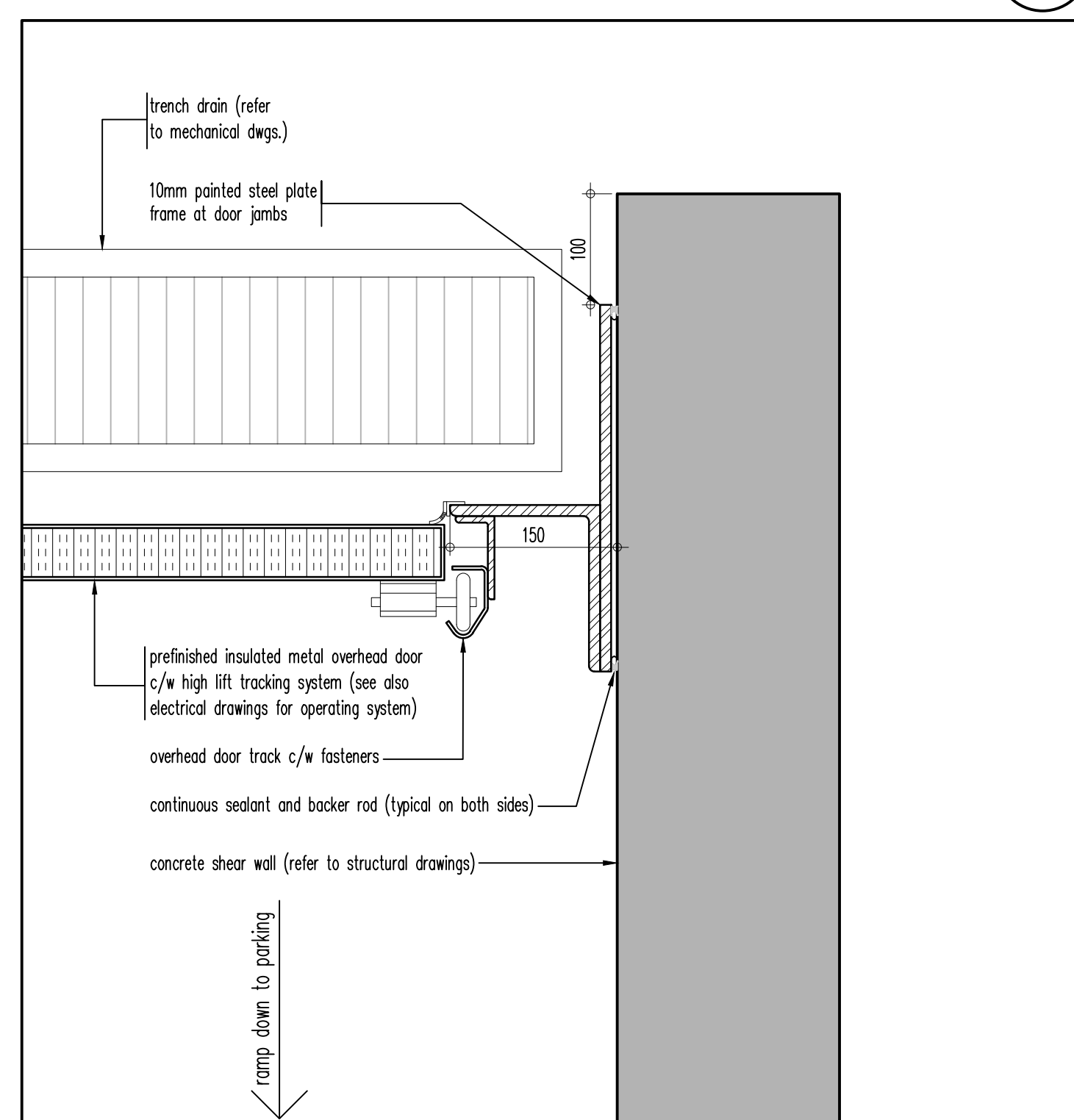
accessible deck drain of garage roof (7)  
SCALE - 1/5" = 1'-0" A81



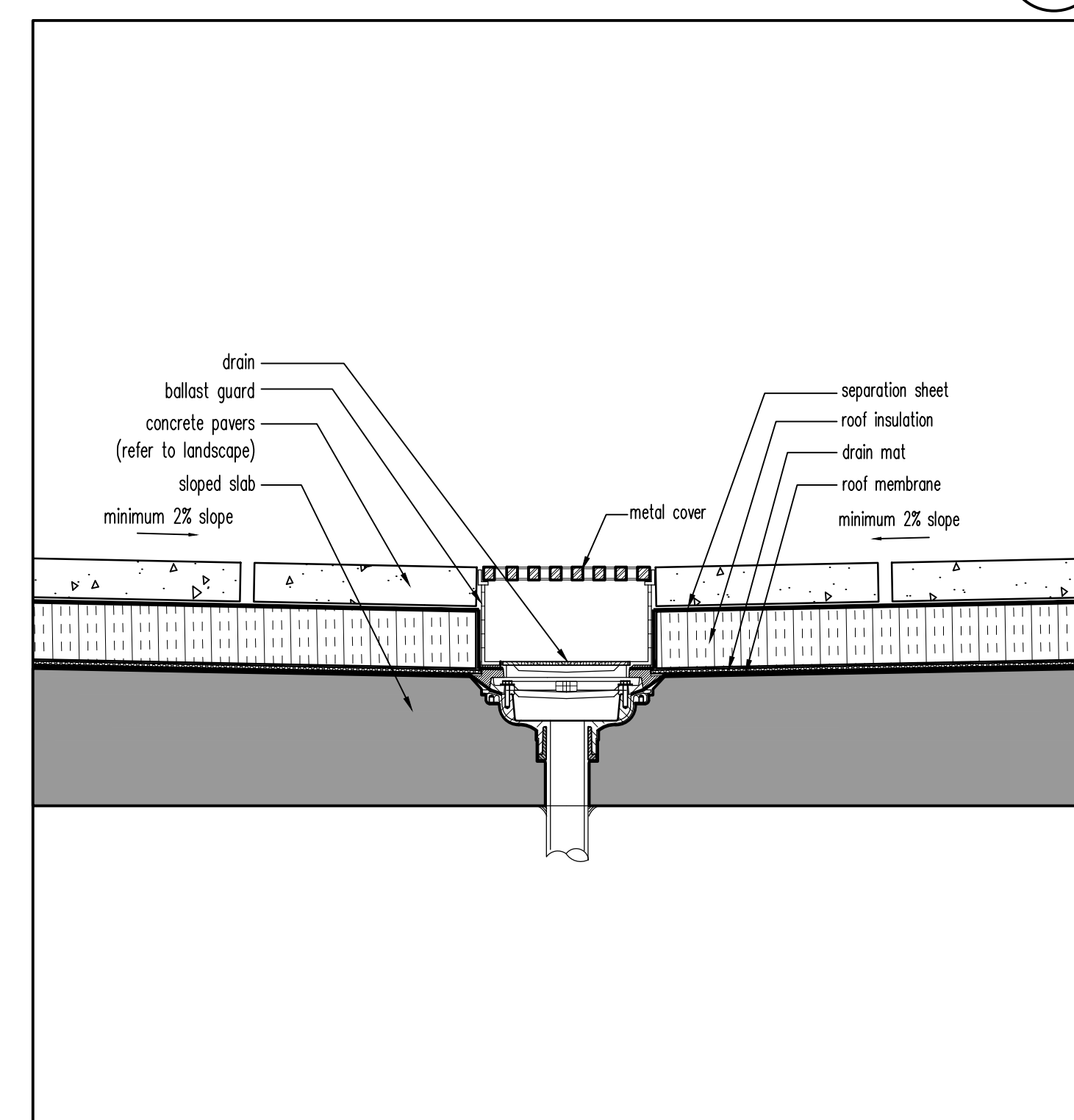
garage roof slab and wall detail 2  
SCALE - 1:10 AB11



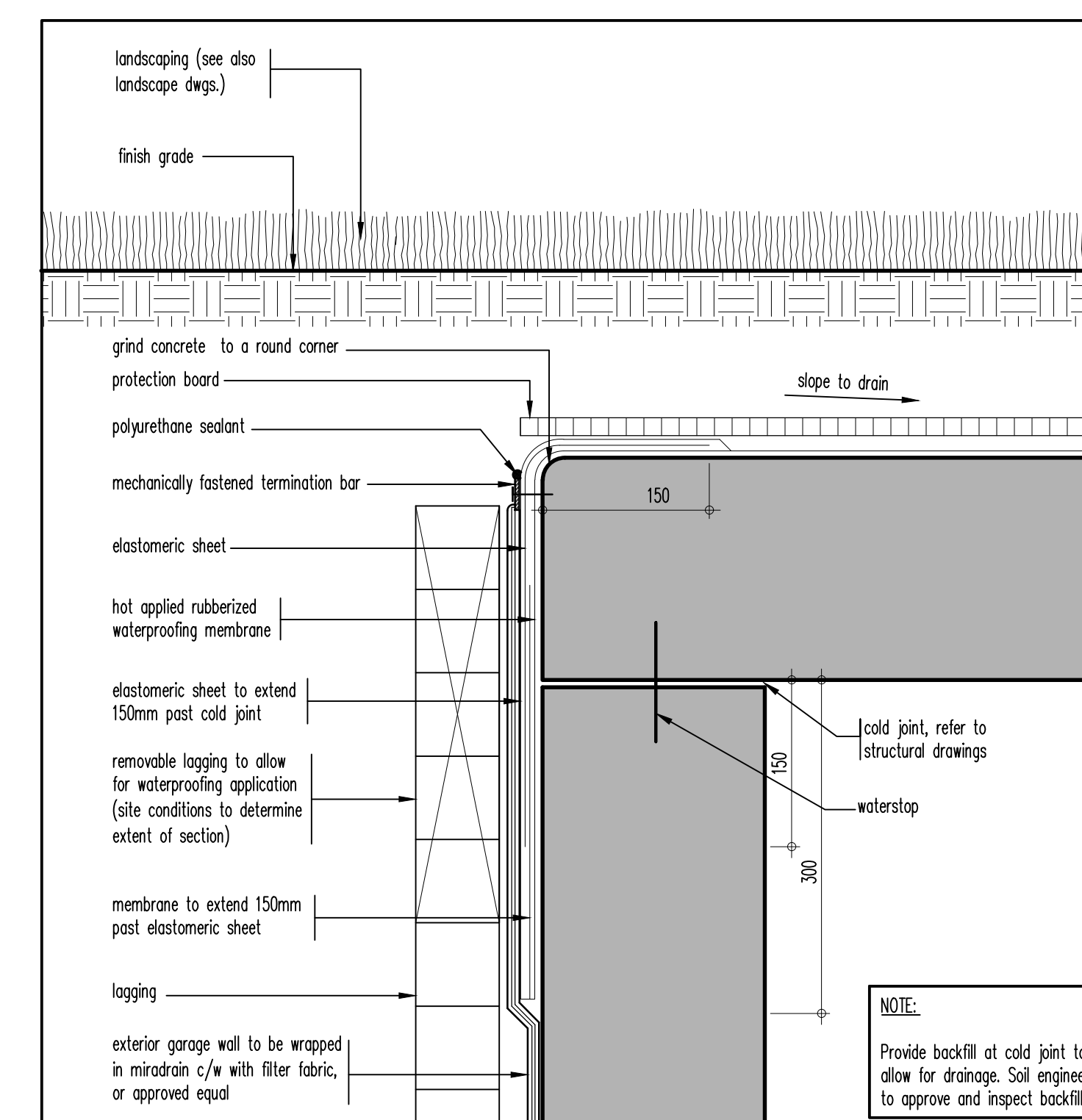
mechanical penetration thru roof (14)  
SCALE - 15 A811



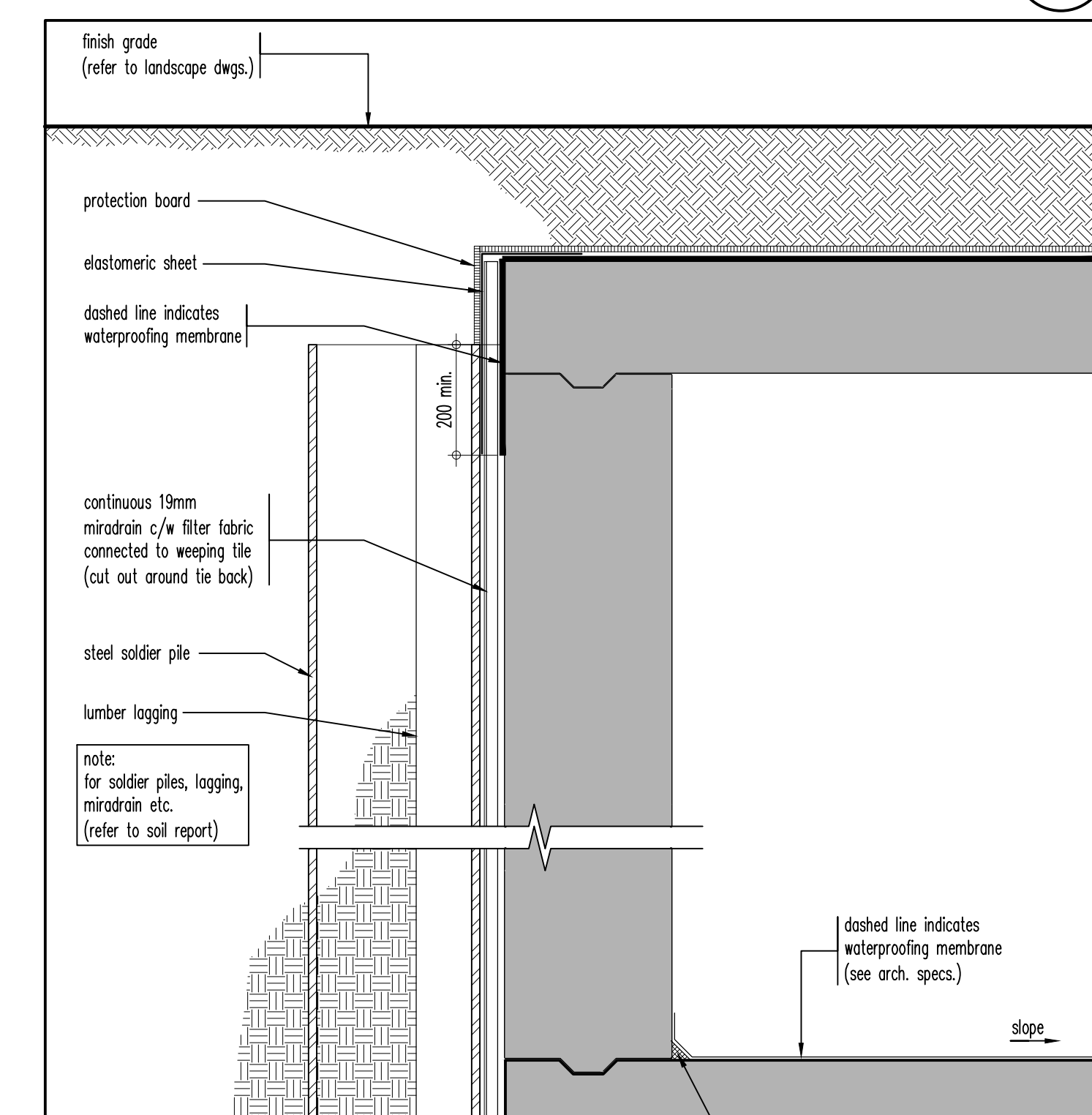
plan detail @ o.h. door at parking ramp (10)  
SCALE - 1:5 A811



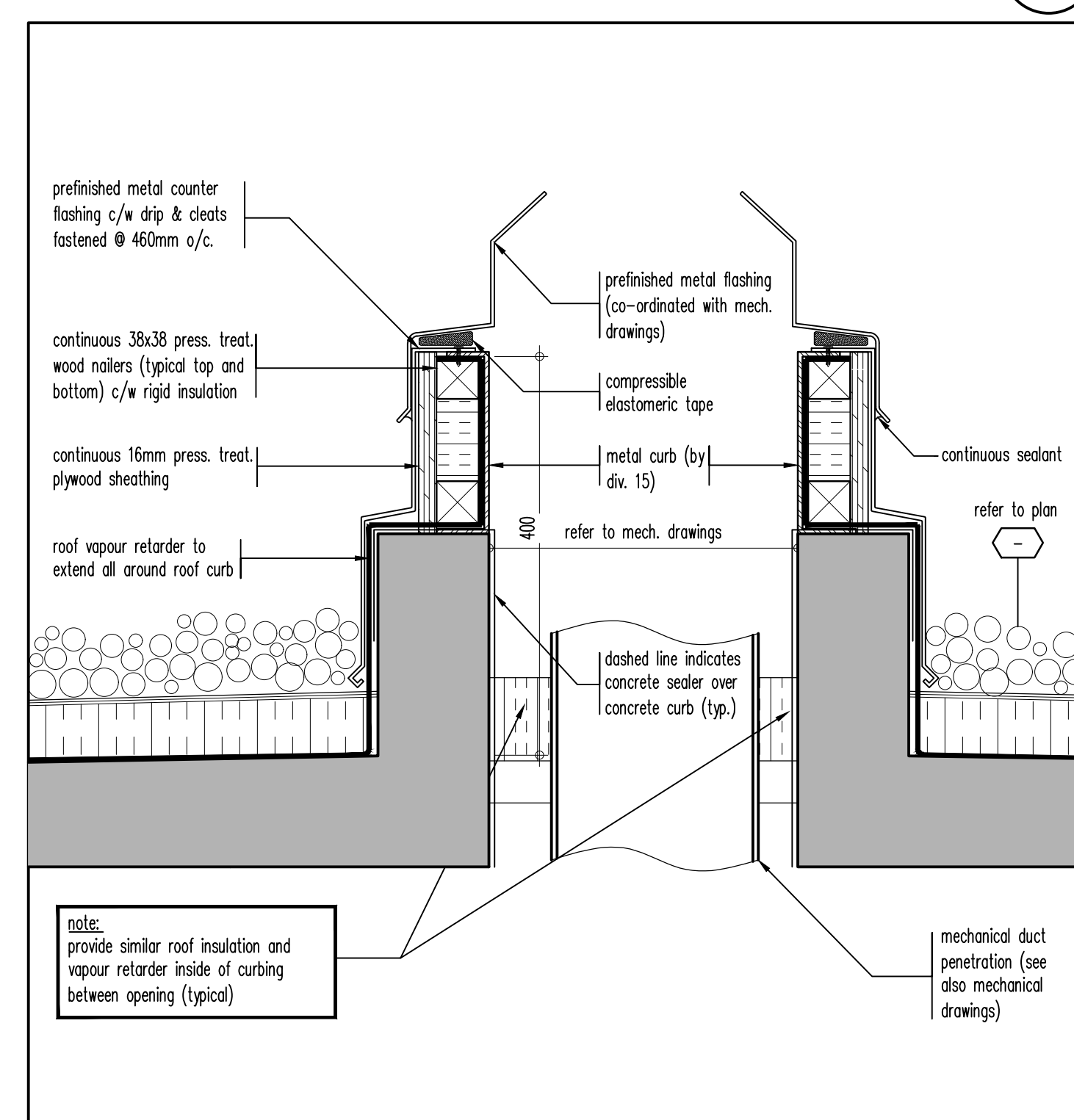
typical detail @ terrace drain



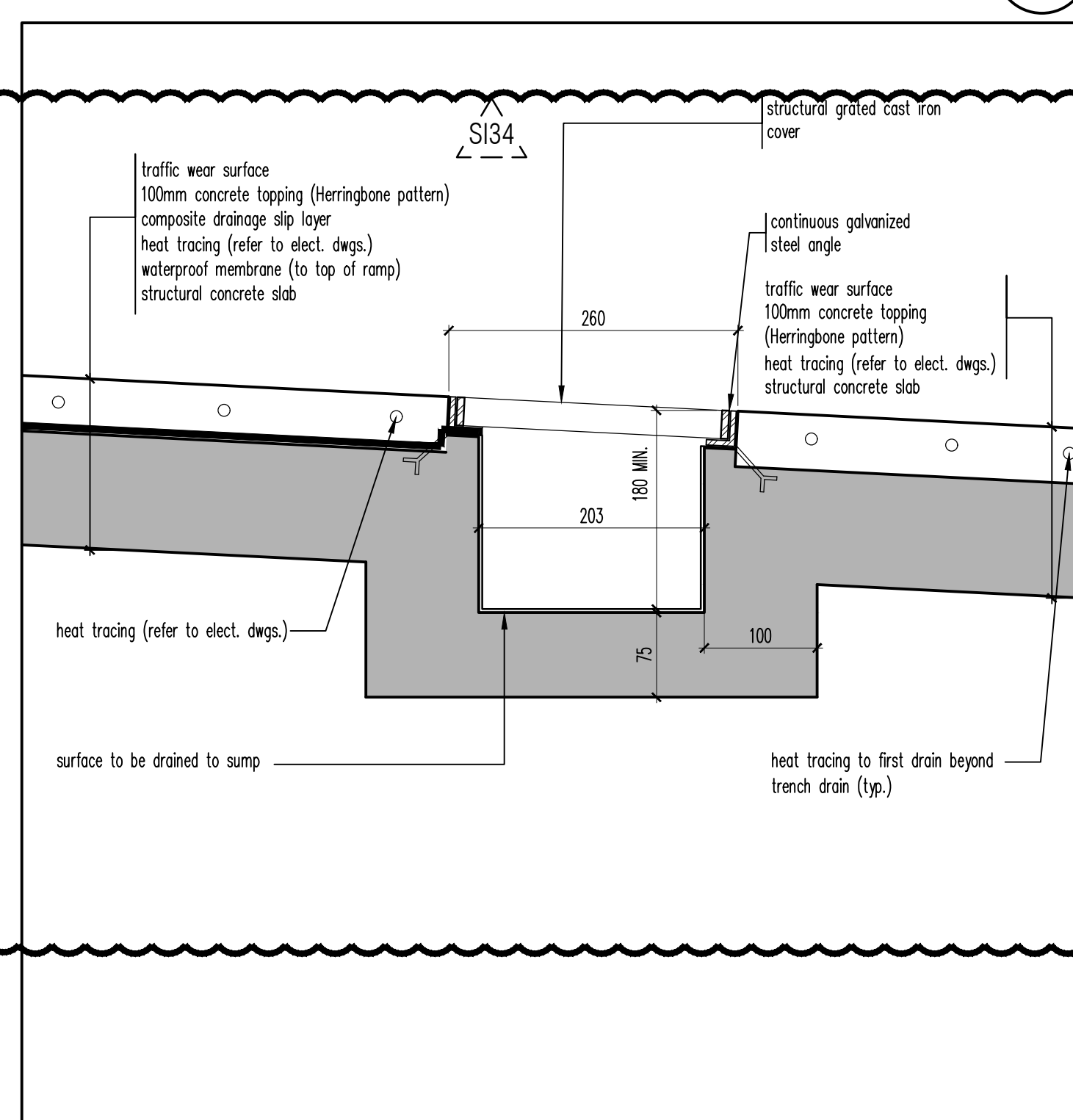
section of construction joint at slab wall (4)  
SCALE - 1/5 A811



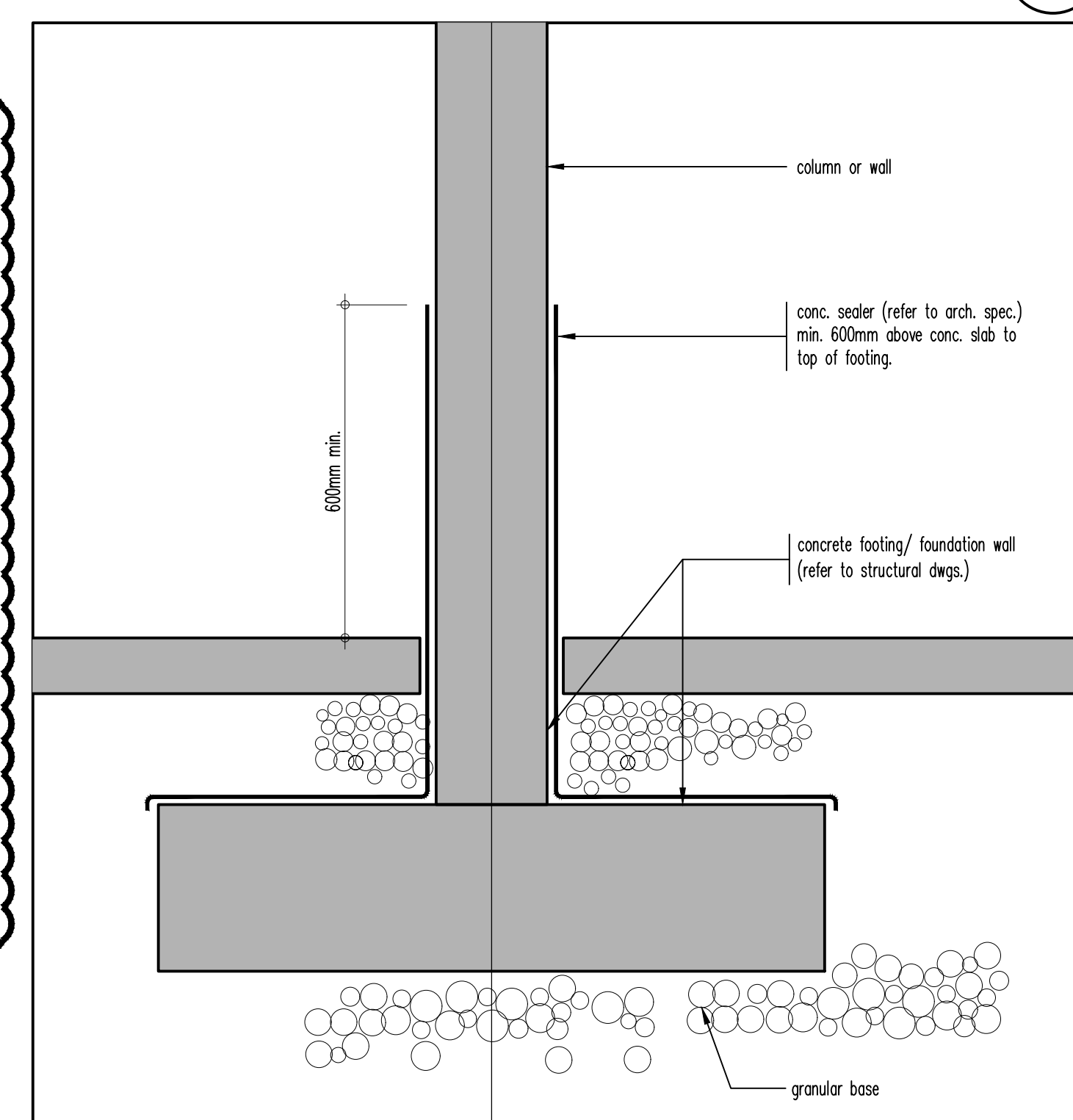
cont. lead sealant



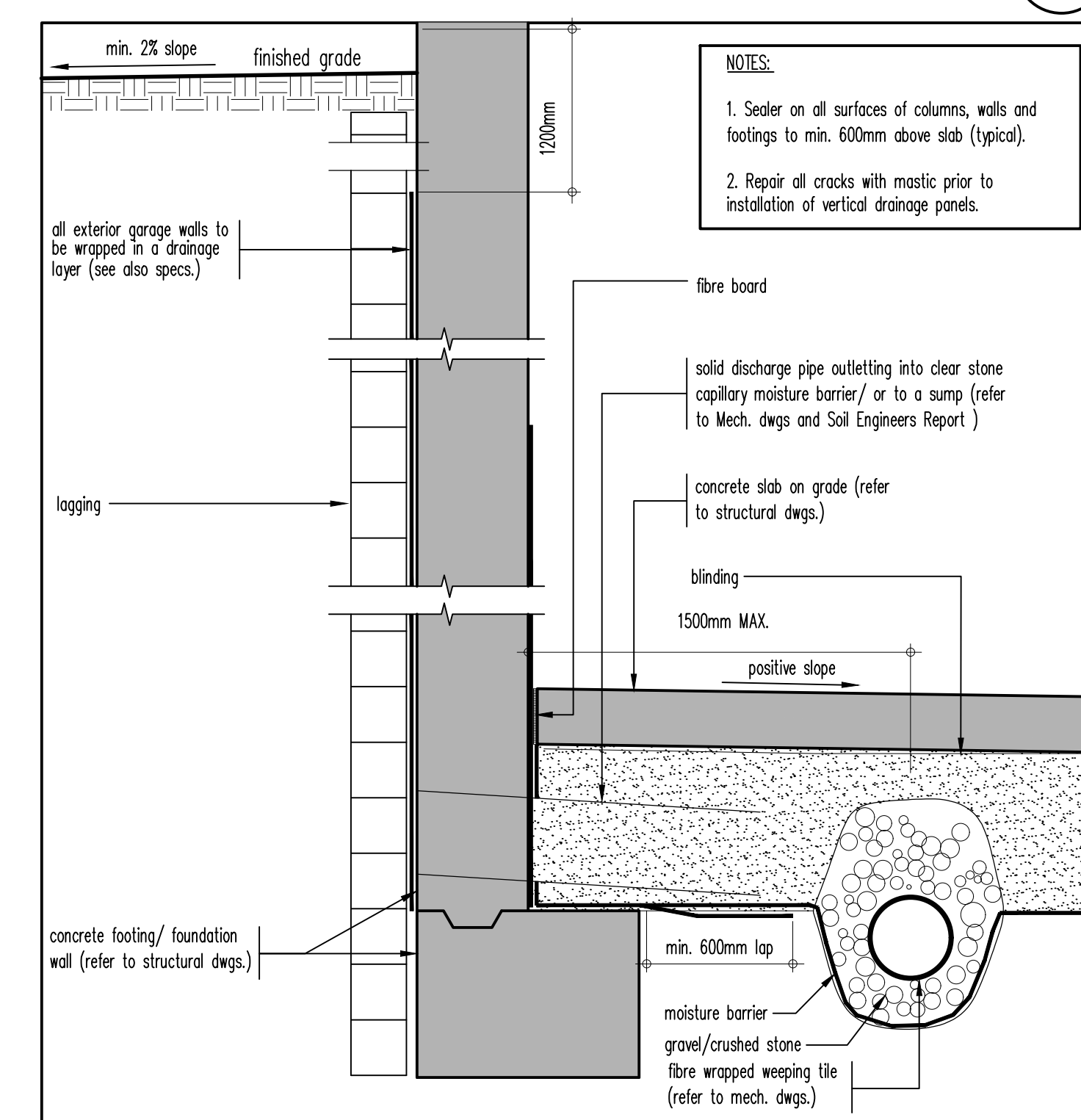
curb detail @ roof top units (13)  
SCALE - 1/5" = 1'-0" A811



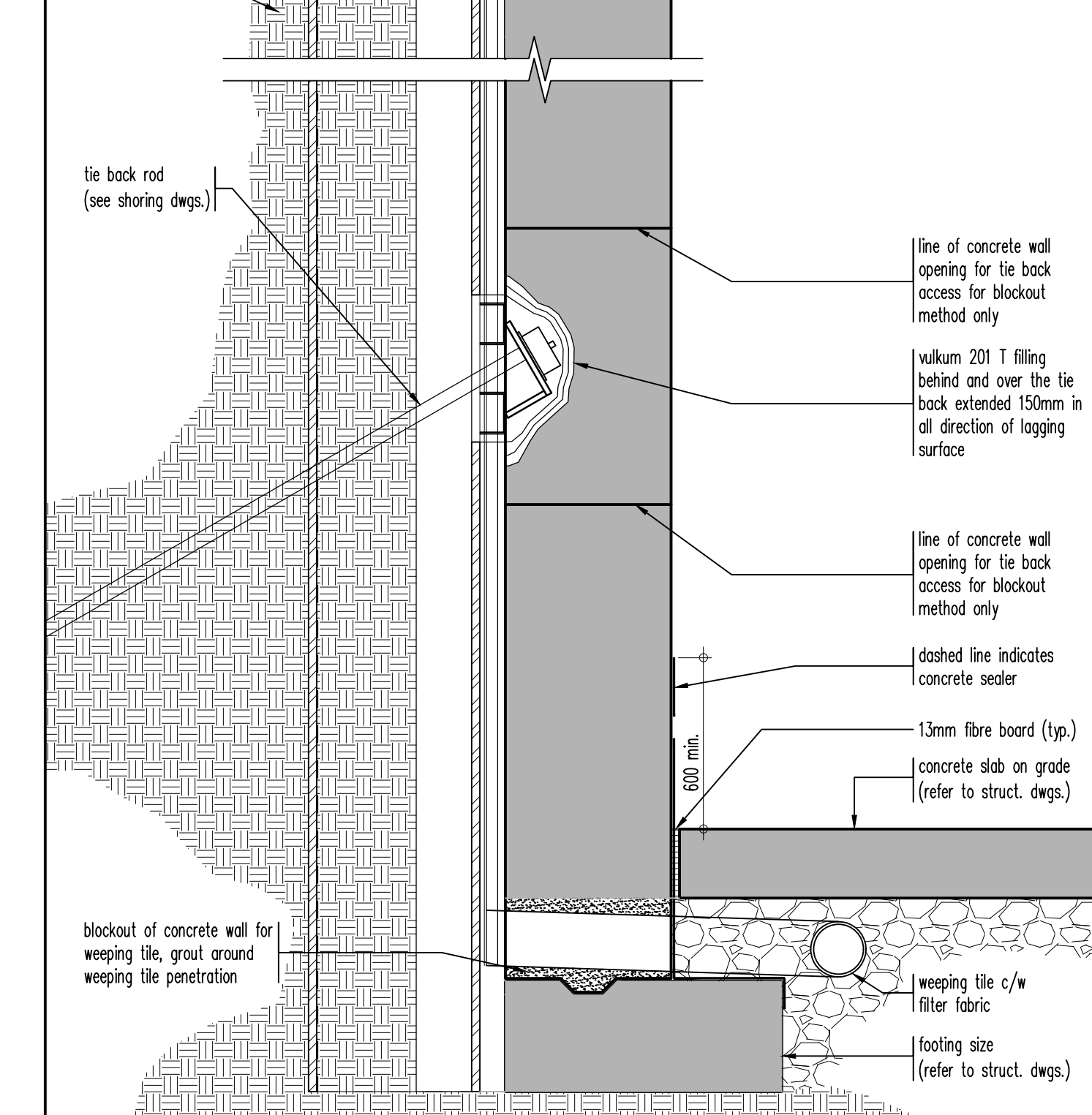
trench drain detail (99)  
SCALE - 1/8" = 1'-0" A801



protection of vertical element @ slab on grade junction



exterior drainage against shoring system (3)  
SCALE - 1:10 A811



garage roof slab and wall detail **1**  
SCALE - 1:10 A811

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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

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01 JAN.31.2019 S134 EXTENT OF WATERPROOFING TO TRENCHES.  
issued for revisions



PROPOSED RESIDENTIAL DEVELOPMENT

**25 BAKER HILL BLVD.**

STOUFFVILLE ROYAL PINES HOMES ONTARIO

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Project Architect:	B. GRAZIANI
Assistant Designer:	R. LINCOLN
Drawn By:	S.G.
Checked By:	G. COLANGELO/D.BIASE
Plot Date:	Jul. 4, 2018
Job #:	1136.13

## Typical Details

as noted      A811

TITLEBLOCK SIZE: 915 x 1400