

Site Instruction SI 22

Royal Pine Homes 3550 Langstaff Road, Suite 200 Woodbridge, Ontario L4L 9G3

PROJECT : Hampton Manor PROJECT No : 1136.13 DATE : July 10, 2018

Attn: Vince Staffieri

Site instructions/memos and Addendums are issued only for the purpose of recording any clarification or interpretation of the contract documents or giving direction on problems resulting from field conditions. These memos are subject to the provisions of the contract documents and unless reviewed with and authorized by the Client, will not affect the contract. Should the Contractor require a change in the contract price or project schedule, he shall submit to the Client, prior to commencement of work outlined in this memo, an itemized proposal for approval.

Title: Curb for Door to Generator Room.

A308a - Mechanical Penthouse Floor Plan

• Curb added below door to generator room.

A653 – Section Detail

Detail added showing curb below door to generator room.

CS306 - Mechanical Penthouse CS Plan

• Curb added below door to generator room.

Reason: For access on floating slab for Generator room.

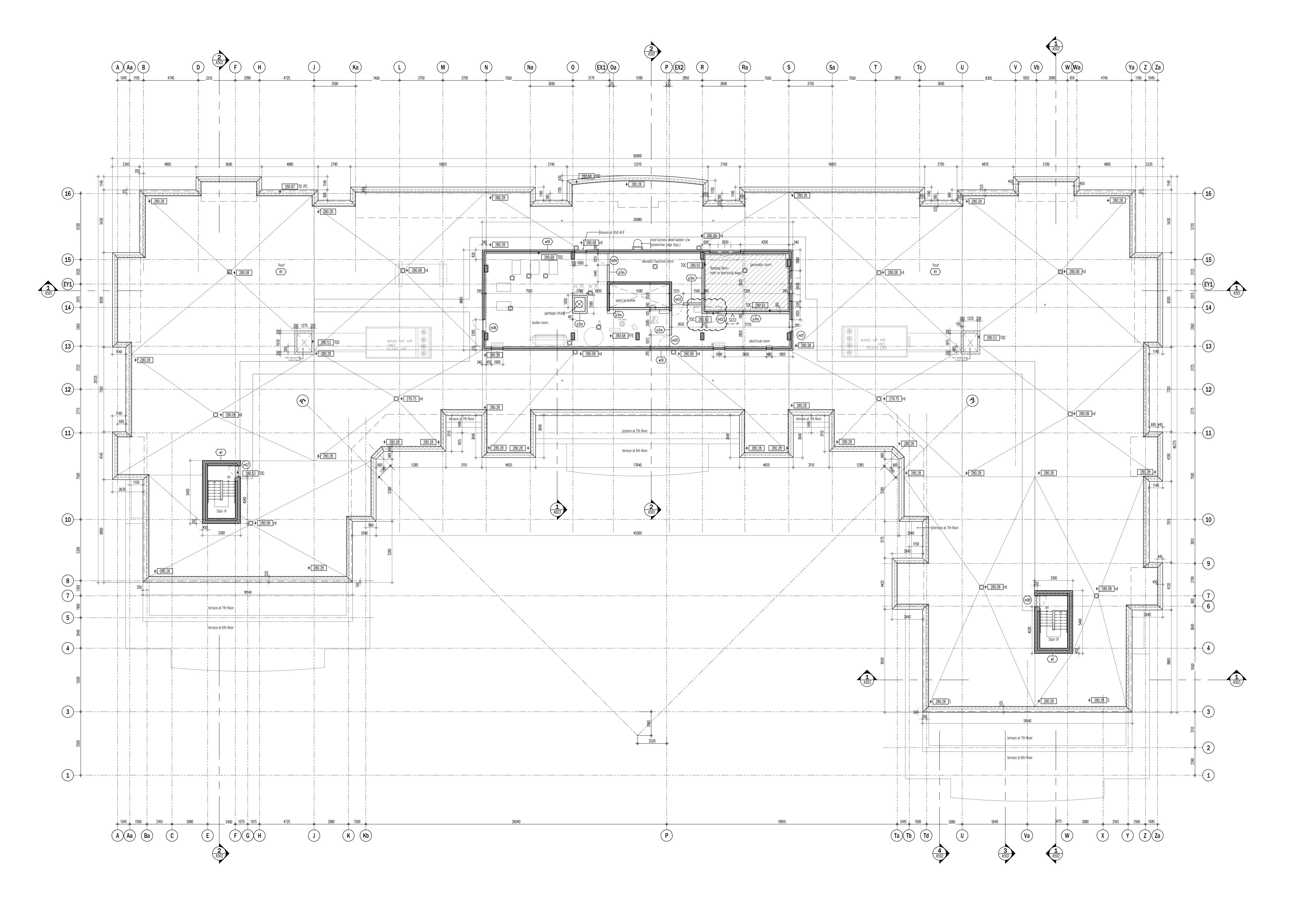
References: A308a, A653 & CS306.

GRAZIANI + CORAZZA
ARCHITECTS INC

G. Colangelo Diploma Arch. Technology Associate, Director of Contract Documents

Distribution:

Royal Pine Homes Cinzia Caruso cinzia@royalpinehomes.com
Dineen Construction Dominic Salvati dsalvati@dineen.com
Dineen Construction Jeff Ellis jellis@dineen.com
Dineen Construction Eric Wright rwright@dineen.com



ECHANICAL PENTHOUSE PLAN 1 SCALE - 1:100 A308a This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information. Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of this site.

This drawing is not to be used for construction purposes until countersigned by the Architect.

This drawing is not to be scaled. All architectural symbols indicated on this drawing representations only

awing is not to be scaled. All architectural symbols indicated on this dra graphic representations only.	
FEB.28.2014	issued to city for SPA
JUL.9.2014	re-issued to city for SPA
SEP.11.2014	re-issued to city for SPA
JAN.15.2015	re-issued to city for SPA
MAR.15.2015	issued for tender
DEC.28.2016	issued for building permit
MAY.10.2017	re-issued for building permit
MAY.10.2017	Issued for Footings and Foundation Permit

06. DEC.28.2016 issued for building permit B.G.
07. MAY.10.2017 re—issued for building permit B.G.
08. MAY.10.2017 Issued for Footings and Foundation Permit B.G.
10. JULY.19.2017 Progress for Construction B.G.
11. AUG.09.2017 Issued for Construction B.G.

10. JULY.19.2017 Progress for Construction
11. AUG.09.2017 Issued for Construction
12. OCT.25.2017 Revision to Envelope
13. APR.04.2018 Re-Issued for Building Permit

05. JULY.10.2018 SI 22 Generator Room Door Curb BG

04. JUNE.21.2018 SI 21 Revised Generator Layout BG

03. JUNE.14.2018 SI 20 Mechanical floor precast update BG

02. JAN.30.2018 SI 12 Revised perimeter curb wallI BG

01. AUG.18.2017 SI 01 Replace blk. wall with metal stud wall BG

issued for revisions +

GRAZIANI
CORAZZA
ARCHITECTS INC. +

ARCHITECTS INC. + +

1320 Shawson Drive, Suite 100 Mississauga Ontario L4W 1C3 Phone. 905.795.2601 Fax.905.795.2844 www.gc-architects.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

23 DANER HILL DLV

ROYAL PINES HOMES

STOUFFVILLE

Project Architect: B.GRAZIANI

Assistant Designer: R.LINCOLN

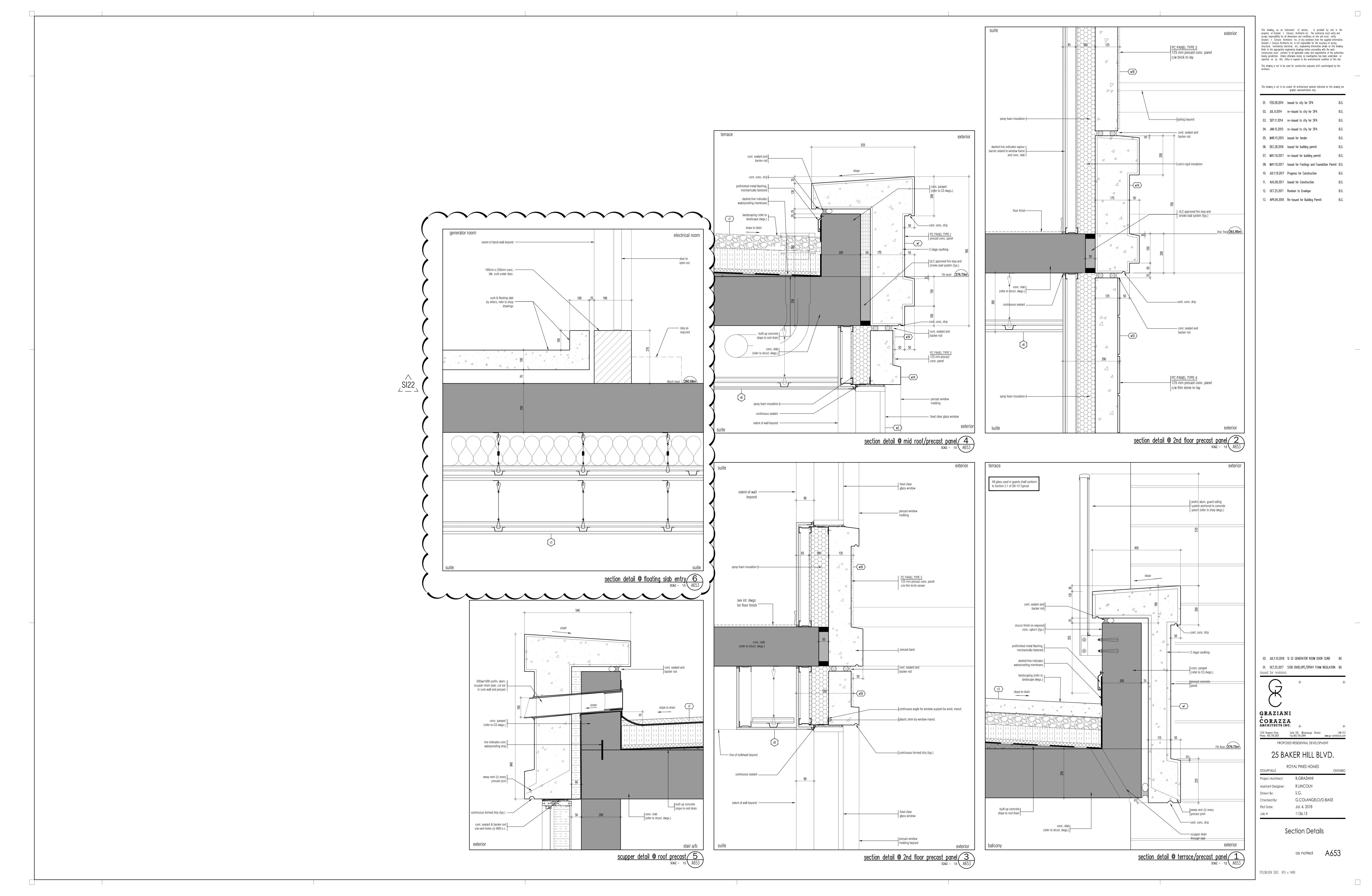
Drawn By: S.G.

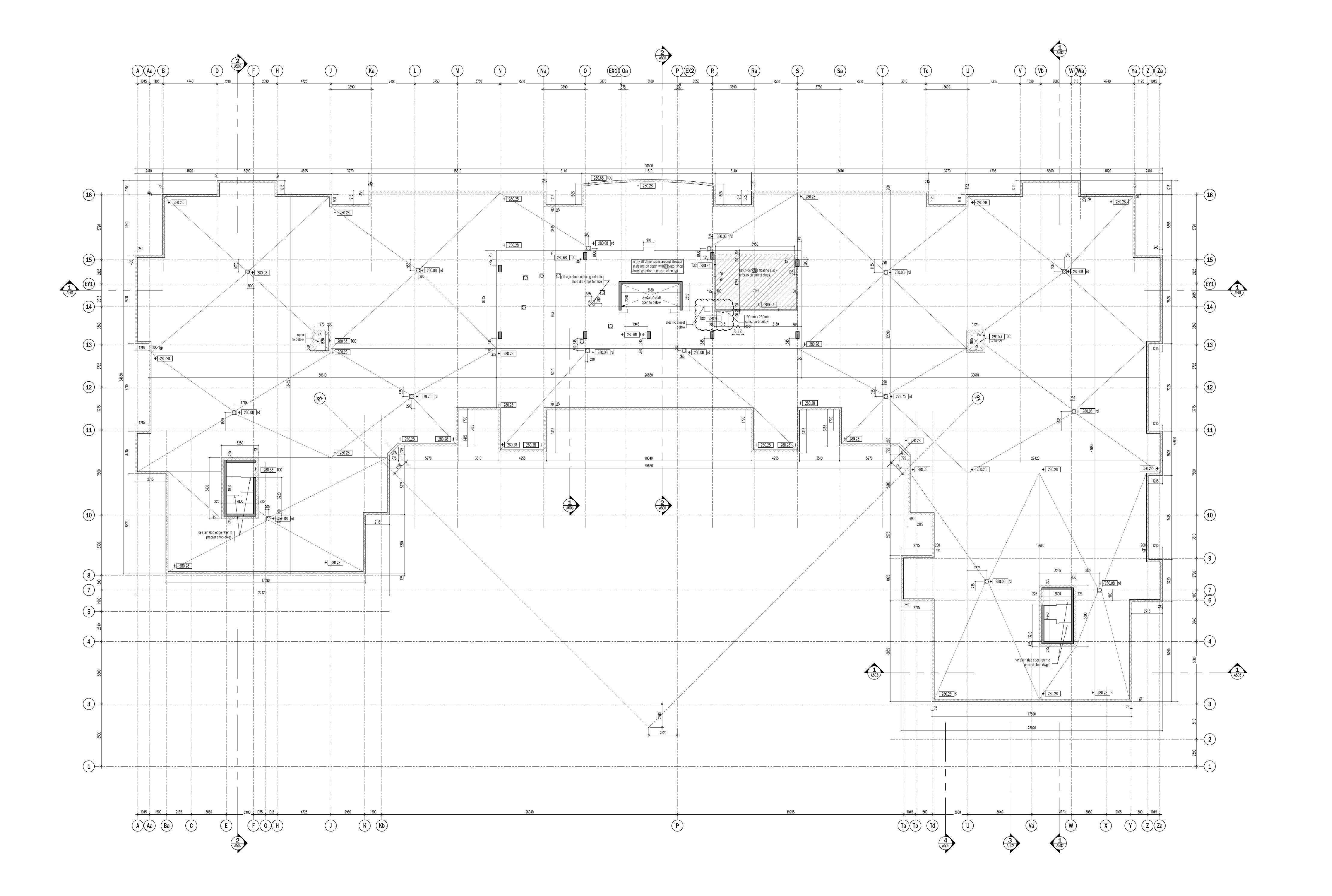
Checked By: G.COLANGELO/D.BIASE

Plot Date: Jul. 4, 2018

MECHANICAL FLOOR PLAN







This drawing, as an instrument of service, is provided by and is the property of Graziani + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Graziani + Corazza Architects Inc. of any variations from the supplied information.

Graziani + Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Unless otherwise noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of this site. This drawing is not to be used for construction purposes until countersigned by the

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

12. NOV.08.2017 Added Dimensions

01. FEB.28.2014 issued to city for SPA 02. JUL.9.2014 re-issued to city for SPA 03. SEP.11.2014 re-issued to city for SPA 04. JAN.15.2015 re—issued to city for SPA 05. MAR.15.2015 issued for tender 06. DEC.28.2016 issued for building permit 07. MAY.10.2017 re—issued for building permit 08. MAY.10.2017 Issued for Footings and Foundation Permit B.G. 09. JULY.14.2017 Issued for Construction 10. JULY.19.2017 Progress for Construction 11. OCT.25.2017 Revision to Envelope

04. JULY.10.2018 SI 22 Generator Room Door Curb BG 03. JUNE.21.2018 SI 21 Revised Generator Layout 02. JAN.30.2018 SI 12 Revised perimeter curb wall BG

01. AUG.18.2017 SI 01 Revised floating slab and elec. curb BG

GRAZIANI CORAZZA
ARCHITECTS INC. +

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

Project Architect: B.GRAZIANI

MECHANICAL PENTHOUSE ROOF CS PLAN

