



Site Instruction

Royal Pine Homes
3550 Langstaff Road, Suite 200
Woodbridge, Ontario
L4L 9G3

SI 22

PROJECT : Hampton Manor
PROJECT No : 1136.13
DATE : July 10, 2018

Attn: Vince Staffieri

Site instructions/memos and Addendums are issued only for the purpose of recording any clarification or interpretation of the contract documents or giving direction on problems resulting from field conditions. These memos are subject to the provisions of the contract documents and unless reviewed with and authorized by the Client, will not affect the contract. Should the Contractor require a change in the contract price or project schedule, he shall submit to the Client, prior to commencement of work outlined in this memo, an itemized proposal for approval.

Title: Curb for Door to Generator Room.

A308a – Mechanical Penthouse Floor Plan

- Curb added below door to generator room.

A653 – Section Detail

- Detail added showing curb below door to generator room.

CS306 – Mechanical Penthouse CS Plan

- Curb added below door to generator room.

Reason: **For access on floating slab for Generator room.**

References: **A308a, A653 & CS306.**

GRAZIANI + CORAZZA
ARCHITECTS INC

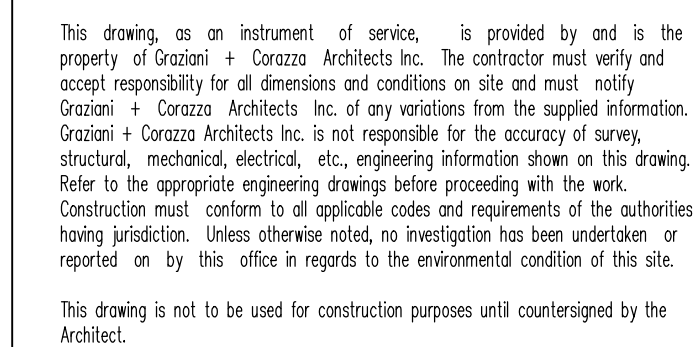
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Associate, Director of Contract Documents

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01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.8.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for lender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
09.	JULY.19.2017	Progress for Construction	B.G.
10.	AUG.09.2017	Issued for Construction	B.G.
11.	OCT.25.2017	Revision to Envelope	B.G.
12.	APR.04.2018	Re-issued for Building Permit	B.G.

issued for revisions

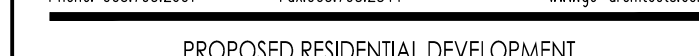


MECHANICAL FLOOR PLAN

This drawing is not to be used for construction purposes until countersigned by the Architect.

graphic representations only.





25 BAKER HILL BLVD.

ROYAL PINES HOMES

Project Architect: B. GRAZIANI

Drawn By: S.G.

Plot Date: Jul. 4, 2018

Section Details

A/52

FILEBLOCK SIZE: 915 x 1400

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

04.	JULY.10.2018	SI 22 Generator Room Door Curb	BG
03.	JUNE.21.2018	SI 21 Revised Generator Layout	BG
02.	JAN.30.2018	SI 12 Revised perimeter curb wall	BG
01.	AUG.18.2017	SI 01 Revised floating slab and elec. curb	BG

issued for revisions

PROPOSED RESIDENTIAL DEVELOPMENT

STOUFFVILLE ROYAL PINES HOMES ONTARIO

Assistant Designer: R. LINCOLN

Plot Date: Nov. 8, 2017

MECHANICAL PENTHOUSE

