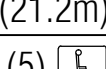




STATISTICAL INFORMATION			
	REQUIRED	PROVIDED	
SITE AREA	±10,832m ² ±116.595H2	±2.68 ac.	±1.08 ha
G.F.A. ZONING	17,548 m ² max.	17,524 m ²	
G.F.A. CONSTRUCTIONS	-	18,032m ²	
F.S.I.	1.62 max.	1.62	
BUILDING FOOTPRINT	-	2655 m ²	
BUILDING COVERAGE	-	24.5%	
AMENITY	2m ² / unit 2m ² x 157 units = 314m ² min.	415 m ²	
BUILDING HEIGHT	7 STY (21.2m) max.	7 STY (21.2m)	
UNIT COUNT	3.8.2.1 (5)  Not less than 15% of all suites of residential occupancy shall be provided with a barrier-free path of travel from the suite entrance door into the following rooms and spaces that shall be located at the same level as the barrier-free path of travel: (a) at least one bedroom, (b) at least one bathroom conforming to Sentence (6), (c) a kitchen or kitchen space, and (d) a living room or space.	1st 2nd - 5th (4 flrs) 25 unit / flr. x4 6th 7th Total	19 u 100 u 21 u 17 u 157 u
UNIT BREAKDOWN	Required  15% x 157 Units = 24 Units	1B 2B 2B+D Total	25 u 71 u 61 u 157 u
PARKING	(1.25 parking space / dwelling unit for res.) 157 x 1.25 = 196 spaces (0.25 parking space / dwelling unit for visitors) 157 x 0.25 = 40 spaces Total Required = 236 spaces  of which 5 spaces min. are to be barrier free parking	Res. Parking P1 Visitors Parking Surface Total	279 spaces 40 spaces 319 spaces
BUILDING SETBACK	Front (East) Rear (West) Side (North) Side (South)	28m 18m 9m 0m	Front (East) Rear (West) Side (North) Side (South)

HAMPTON MANOR



GC

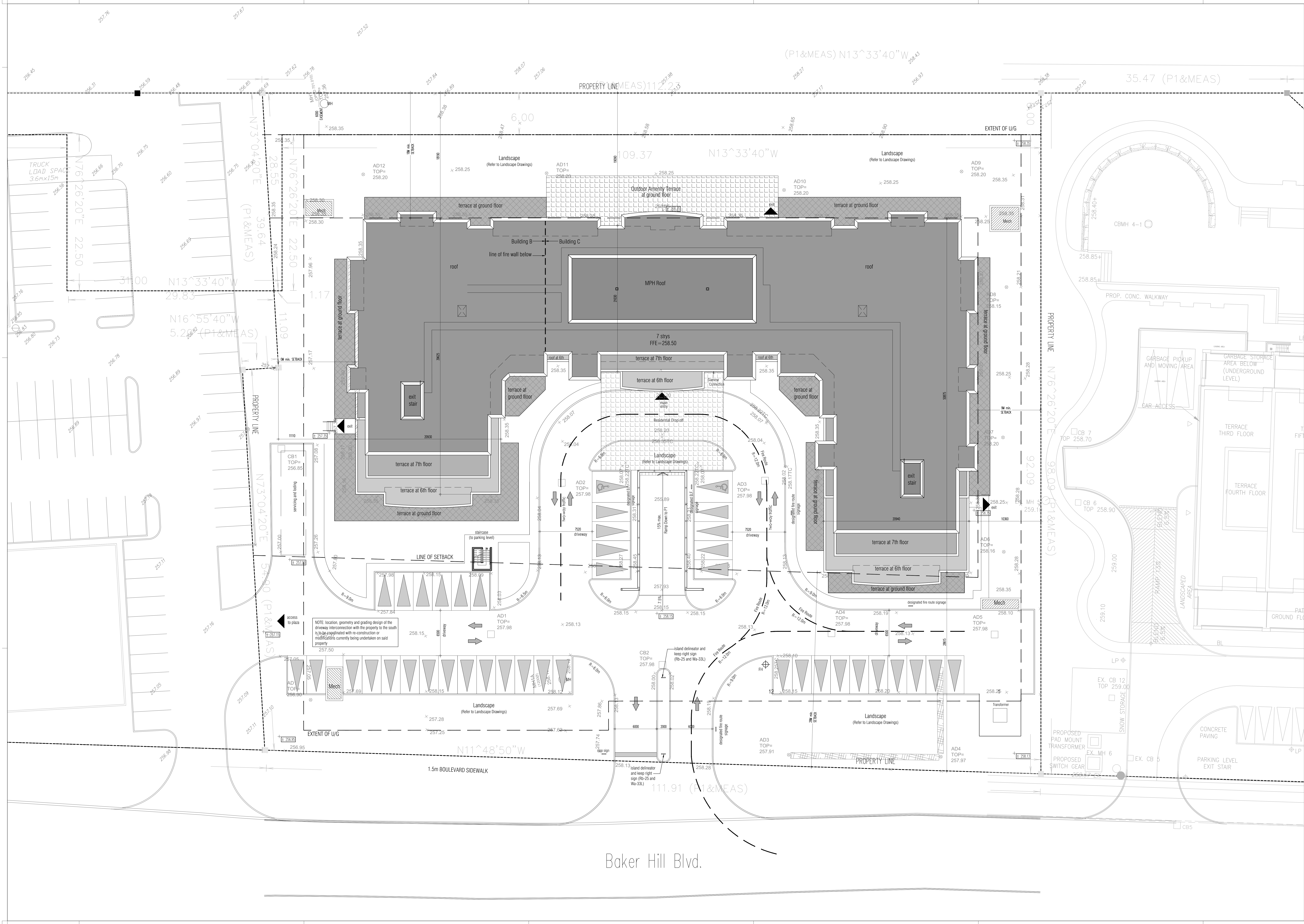
GRAZIANI + CORAZZA

ARCHITECTS INC.

1320 SHAWSON DRIVE., SUITE 100, MISSISSAUGA ONTARIO L4W 1C3 T. 905.795.2601 F. 905.795.2844 E. info@gc-architects.com

Architectural Drawing List

A101	COVER SHEET
A102	SITE PLAN
A103	DOOR SCHEDULE
A103a	DOOR TYPES & ABBREVIATIONS
A104	WALL TYPES SCHEDULE
A201	UNDERGROUND FIRE SEPARATION AND PROTECTION PLAN – P1-2ND
A202	UNDERGROUND FIRE SEPARATION AND PROTECTION PLAN – 3RD-MECH
A231	P1 UNDERGROUND PARKING PLAN
A301	GROUND FLOOR PLAN (OVERALL)
A301a	PARTIAL GROUND FLOOR PLAN
A301b	PARTIAL GROUND FLOOR PLAN
A301c	PARTIAL GROUND FLOOR PLAN
A302	2ND FLOOR PLAN (OVERALL)
A302a	PARTIAL 2ND FLOOR PLAN
A302b	PARTIAL 2ND FLOOR PLAN
A302c	PARTIAL 2ND FLOOR PLAN
A302d	PARTIAL 2ND FLOOR PLAN
A302e	PARTIAL 2ND FLOOR PLAN
A302f	PARTIAL 2ND FLOOR PLAN
A302g	PARTIAL 2ND FLOOR PLAN
A302h	PARTIAL 2ND FLOOR PLAN
A302i	PARTIAL 2ND FLOOR PLAN
A302j	PARTIAL 2ND FLOOR PLAN
A302k	PARTIAL 2ND FLOOR PLAN
A302l	PARTIAL 2ND FLOOR PLAN
A302m	PARTIAL 2ND FLOOR PLAN
A302n	PARTIAL 2ND FLOOR PLAN
A302o	PARTIAL 2ND FLOOR PLAN
A302p	PARTIAL 2ND FLOOR PLAN
A302q	PARTIAL 2ND FLOOR PLAN
A302r	PARTIAL 2ND FLOOR PLAN
A302s	PARTIAL 2ND FLOOR PLAN
A302t	PARTIAL 2ND FLOOR PLAN
A302u	PARTIAL 2ND FLOOR PLAN
A302v	PARTIAL 2ND FLOOR PLAN
A302w	PARTIAL 2ND FLOOR PLAN
A302x	PARTIAL 2ND FLOOR PLAN
A302y	PARTIAL 2ND FLOOR PLAN
A302z	PARTIAL 2ND FLOOR PLAN
A303	3RD FLOOR PLAN (OVERALL)
A303a	PARTIAL 3RD FLOOR PLAN
A303b	PARTIAL 3RD FLOOR PLAN
A303c	PARTIAL 3RD FLOOR PLAN
A303d	PARTIAL 3RD FLOOR PLAN
A303e	PARTIAL 3RD FLOOR PLAN
A303f	PARTIAL 3RD FLOOR PLAN
A303g	PARTIAL 3RD FLOOR PLAN
A303h	PARTIAL 3RD FLOOR PLAN
A303i	PARTIAL 3RD FLOOR PLAN
A303j	PARTIAL 3RD FLOOR PLAN
A303k	PARTIAL 3RD FLOOR PLAN
A303l	PARTIAL 3RD FLOOR PLAN
A303m	PARTIAL 3RD FLOOR PLAN
A303n	PARTIAL 3RD FLOOR PLAN
A303o	PARTIAL 3RD FLOOR PLAN
A303p	PARTIAL 3RD FLOOR PLAN
A303q	PARTIAL 3RD FLOOR PLAN
A303r	PARTIAL 3RD FLOOR PLAN
A303s	PARTIAL 3RD FLOOR PLAN
A303t	PARTIAL 3RD FLOOR PLAN
A303u	PARTIAL 3RD FLOOR PLAN
A303v	PARTIAL 3RD FLOOR PLAN
A303w	PARTIAL 3RD FLOOR PLAN
A303x	PARTIAL 3RD FLOOR PLAN
A303y	PARTIAL 3RD FLOOR PLAN
A303z	PARTIAL 3RD FLOOR PLAN
A304	4TH FLOOR PLAN (OVERALL)
A304a	PARTIAL 4TH FLOOR PLAN
A304b	PARTIAL 4TH FLOOR PLAN
A304c	PARTIAL 4TH FLOOR PLAN
A304d	PARTIAL 4TH FLOOR PLAN
A304e	PARTIAL 4TH FLOOR PLAN
A304f	PARTIAL 4TH FLOOR PLAN
A304g	PARTIAL 4TH FLOOR PLAN
A304h	PARTIAL 4TH FLOOR PLAN
A304i	PARTIAL 4TH FLOOR PLAN
A304j	PARTIAL 4TH FLOOR PLAN
A304k	PARTIAL 4TH FLOOR PLAN
A304l	PARTIAL 4TH FLOOR PLAN
A304m	PARTIAL 4TH FLOOR PLAN
A304n	PARTIAL 4TH FLOOR PLAN
A304o	PARTIAL 4TH FLOOR PLAN
A304p	PARTIAL 4TH FLOOR PLAN
A304q	PARTIAL 4TH FLOOR PLAN
A304r	PARTIAL 4TH FLOOR PLAN
A304s	PARTIAL 4TH FLOOR PLAN
A304t	PARTIAL 4TH FLOOR PLAN
A304u	PARTIAL 4TH FLOOR PLAN
A304v	PARTIAL 4TH FLOOR PLAN
A304w	PARTIAL 4TH FLOOR PLAN
A304x	PARTIAL 4TH FLOOR PLAN
A304y	PARTIAL 4TH FLOOR PLAN
A304z	PARTIAL 4TH FLOOR PLAN
A305	5TH FLOOR PLAN (OVERALL)
A305a	PARTIAL 5TH FLOOR PLAN
A305b	PARTIAL 5TH FLOOR PLAN
A305c	PARTIAL 5TH FLOOR PLAN
A305d	PARTIAL 5TH FLOOR PLAN
A305e	PARTIAL 5TH FLOOR PLAN
A305f	PARTIAL 5TH FLOOR PLAN
A305g	PARTIAL 5TH FLOOR PLAN
A305h	PARTIAL 5TH FLOOR PLAN
A305i	PARTIAL 5TH FLOOR PLAN
A305j	PARTIAL 5TH FLOOR PLAN
A305k	PARTIAL 5TH FLOOR PLAN
A305l	PARTIAL 5TH FLOOR PLAN
A305m	PARTIAL 5TH FLOOR PLAN
A305n	PARTIAL 5TH FLOOR PLAN
A305o	PARTIAL 5TH FLOOR PLAN
A305p	PARTIAL 5TH FLOOR PLAN
A305q	PARTIAL 5TH FLOOR PLAN
A305r	PARTIAL 5TH FLOOR PLAN
A305s	PARTIAL 5TH FLOOR PLAN
A305t	PARTIAL 5TH FLOOR PLAN
A305u	PARTIAL 5TH FLOOR PLAN
A305v	PARTIAL 5TH FLOOR PLAN
A305w	PARTIAL 5TH FLOOR PLAN
A305x	PARTIAL 5TH FLOOR PLAN
A305y	PARTIAL 5TH FLOOR PLAN
A305z	PARTIAL 5TH FLOOR PLAN
A306	6TH FLOOR PLAN (OVERALL)
A306a	PARTIAL 6TH FLOOR PLAN
A306b	PARTIAL 6TH FLOOR PLAN
A306c	PARTIAL 6TH FLOOR PLAN
A306d	PARTIAL 6TH FLOOR PLAN
A306e	PARTIAL 6TH FLOOR PLAN
A306f	PARTIAL 6TH FLOOR PLAN
A306g	PARTIAL 6TH FLOOR PLAN
A306h	PARTIAL 6TH FLOOR PLAN
A306i	PARTIAL 6TH FLOOR PLAN
A306j	PARTIAL 6TH FLOOR PLAN
A306k	PARTIAL 6TH FLOOR PLAN
A306l	PARTIAL 6TH FLOOR PLAN
A306m	PARTIAL 6TH FLOOR PLAN
A306n	PARTIAL 6TH FLOOR PLAN
A306o	PARTIAL 6TH FLOOR PLAN
A306p	PARTIAL 6TH FLOOR PLAN
A306q	PARTIAL 6TH FLOOR PLAN
A306r	PARTIAL 6TH FLOOR PLAN
A306s	PARTIAL 6TH FLOOR PLAN
A306t	PARTIAL 6TH FLOOR PLAN
A306u	PARTIAL 6TH FLOOR PLAN
A306v	PARTIAL 6TH FLOOR PLAN
A306w	PARTIAL 6TH FLOOR PLAN
A306x	PARTIAL 6TH FLOOR PLAN
A306y	PARTIAL 6TH FLOOR PLAN
A306z	PARTIAL 6TH FLOOR PLAN
A307	7TH FLOOR PLAN (OVERALL)
A307a	PARTIAL 7TH FLOOR PLAN
A307b	PARTIAL 7TH FLOOR PLAN
A307c	PARTIAL 7TH FLOOR PLAN
A307d	PARTIAL 7TH FLOOR PLAN
A307e	PARTIAL 7TH FLOOR PLAN
A307f	PARTIAL 7TH FLOOR PLAN
A307g	PARTIAL 7TH FLOOR PLAN
A307h	PARTIAL 7TH FLOOR PLAN
A307i	PARTIAL 7TH FLOOR PLAN
A307j	PARTIAL 7TH FLOOR PLAN
A307k	PARTIAL 7TH FLOOR PLAN
A307l	PARTIAL 7TH FLOOR PLAN
A307m	PARTIAL 7TH FLOOR PLAN
A307n	PARTIAL 7TH FLOOR PLAN
A307o	PARTIAL 7TH FLOOR PLAN
A307p	PARTIAL 7TH FLOOR PLAN
A307q	PARTIAL 7TH FLOOR PLAN
A307r	PARTIAL 7TH FLOOR PLAN
A307s	PARTIAL 7TH FLOOR PLAN
A307t	PARTIAL 7TH FLOOR PLAN
A307u	PARTIAL 7TH FLOOR PLAN
A307v	PARTIAL 7TH FLOOR PLAN
A307w	PARTIAL 7TH FLOOR PLAN
A307x	PARTIAL 7TH FLOOR PLAN
A307y	PARTIAL 7TH FLOOR PLAN
A307z	PARTIAL 7TH FLOOR PLAN
A308	MECH PH FLOOR PLAN
A308a	MECH PH FLOOR PLAN
A308b	MECH PH FLOOR PLAN
A308c	MECH PH FLOOR PLAN
A308d	MECH PH FLOOR PLAN
A308e	MECH PH FLOOR PLAN
A308f	MECH PH FLOOR PLAN
A308g	MECH PH FLOOR PLAN
A308h	MECH PH FLOOR PLAN
A308i	MECH PH FLOOR PLAN
A308j	MECH PH FLOOR PLAN
A308k	MECH PH FLOOR PLAN
A308l	MECH PH FLOOR PLAN
A308m	MECH PH FLOOR PLAN
A308n	MECH PH FLOOR PLAN
A308o	MECH PH FLOOR PLAN
A308p	MECH PH FLOOR PLAN
A308q	MECH PH FLOOR PLAN
A308r	MECH PH FLOOR PLAN
A308s	MECH PH FLOOR PLAN
A308t	MECH PH FLOOR PLAN
A308u	MECH PH FLOOR PLAN
A308v	MECH PH FLOOR PLAN
A308w	MECH PH FLOOR PLAN
A308x	MECH PH FLOOR PLAN
A308y	MECH PH FLOOR PLAN
A308z	MECH PH FLOOR PLAN
A309	ROOF PLAN
A309a	ROOF PLAN
A309b	ROOF PLAN
A309c	ROOF PLAN
A309d	ROOF PLAN
A309e	ROOF PLAN
A309f	ROOF PLAN
A309g	ROOF PLAN
A309h	ROOF PLAN
A309i	ROOF PLAN
A309j	ROOF PLAN
A309k	ROOF PLAN
A309l	ROOF PLAN
A309m	ROOF PLAN
A309n	ROOF PLAN
A309o	ROOF PLAN
A309p	ROOF PLAN
A309q	ROOF PLAN
A309r	ROOF PLAN
A309s	ROOF PLAN
A309t	ROOF PLAN
A309u	ROOF PLAN
A309v	ROOF PLAN
A309w	ROOF PLAN
A309x	ROOF PLAN
A309y	ROOF PLAN
A309z	ROOF PLAN
A310	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310a	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310b	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310c	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310d	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310e	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310f	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310g	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310h	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310i	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310j	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310k	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310l	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310m	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310n	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310o	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310p	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310q	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310r	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310s	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310t	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310u	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310v	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310w	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310x	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310y	REFLECTED CEILING PLAN – P1-2ND FLOOR
A310z	REFLECTED CEILING PLAN – P1-2ND FLOOR
A311	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311a	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311b	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311c	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311d	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311e	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311f	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311g	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311h	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311i	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311j	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311k	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311l	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311m	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311n	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311o	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311p	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311q	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311r	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311s	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311t	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311u	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311v	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311w	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311x	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311y	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A311z	REFLECTED CEILING PLAN – 3RD-7TH FLOOR
A312	EAST AND WEST ELEVATIONS
A312a	EAST AND WEST ELEVATIONS
A312b	EAST AND WEST ELEVATIONS
A312c	EAST AND WEST ELEVATIONS
A312d	EAST AND WEST ELEVATIONS
A312e	EAST AND WEST ELEVATIONS
A312f	EAST AND WEST ELEVATIONS
A312g	EAST AND WEST ELEVATIONS
A312h	EAST AND WEST ELEVATIONS
A312i	EAST AND WEST ELEVATIONS
A312j	EAST AND WEST ELEVATIONS
A312k	EAST AND WEST ELEVATIONS
A312l	EAST AND WEST ELEVATIONS
A312m	EAST AND WEST ELEVATIONS
A312n	EAST AND WEST ELEVATIONS
A312o	EAST AND WEST ELEVATIONS
A312p	EAST AND WEST ELEVATIONS
A312q	EAST AND WEST ELEVATIONS
A312r	EAST AND WEST ELEVATIONS
A312s	EAST AND WEST ELEVATIONS
A312t	EAST AND WEST ELEVATIONS
A312u	EAST AND WEST ELEVATIONS
A312v	EAST AND WEST ELEVATIONS
A312w	EAST AND WEST ELEVATIONS
A312x	EAST AND WEST ELEVATIONS
A312y	EAST AND WEST ELEVATIONS
A312z	EAST AND WEST ELEVATIONS
A313	NORTH AND SOUTH ELEVATIONS
A313a	NORTH AND SOUTH ELEVATIONS
A313b	NORTH AND SOUTH ELEVATIONS
A313c	NORTH AND SOUTH ELEVATIONS
A313d	NORTH AND SOUTH ELEVATIONS
A313e	NORTH AND SOUTH ELEVATIONS
A313f	NORTH AND SOUTH ELEVATIONS
A313g	NORTH AND SOUTH ELEVATIONS
A313h	NORTH AND SOUTH ELEVATIONS
A313i	NORTH AND SOUTH ELEVATIONS
A313j	NORTH AND SOUTH ELEVATIONS
A313k	NORTH AND SOUTH ELEVATIONS
A313l	NORTH AND SOUTH ELEVATIONS
A313m	NORTH AND SOUTH ELEVATIONS
A313n	NORTH AND SOUTH ELEVATIONS
A313o	NORTH AND SOUTH ELEVATIONS
A313p	NORTH AND SOUTH ELEVATIONS
A313q	NORTH AND SOUTH ELEVATIONS
A313r	NORTH AND SOUTH ELEVATIONS
A313s	NORTH AND SOUTH ELEVATIONS
A313t	NORTH AND SOUTH ELEVATIONS
A313u	NORTH AND SOUTH ELEVATIONS
A313v	NORTH AND SOUTH ELEVATIONS
A313w	NORTH AND SOUTH ELEVATIONS
A313x	NORTH AND SOUTH ELEVATIONS
A313y	NORTH AND SOUTH ELEVATIONS
A313z	NORTH AND SOUTH ELEVATIONS
A314	COURTYARD NORTH & SOUTH ELEVATIONS
A314a	COURTYARD NORTH & SOUTH ELEVATIONS
A314b	COURTYARD NORTH & SOUTH ELEVATIONS
A314c	COURTYARD NORTH & SOUTH ELEVATIONS
A314d	COURTYARD NORTH & SOUTH ELEVATIONS
A314e	COURTYARD NORTH & SOUTH ELEVATIONS
A314f	COURTYARD NORTH & SOUTH ELEVATIONS
A314g	COURTYARD NORTH & SOUTH ELEVATIONS
A314h	COURTYARD NORTH & SOUTH ELEVATIONS
A314i	COURTYARD NORTH & SOUTH ELEVATIONS
A314j	COURTYARD NORTH & SOUTH ELEVATIONS
A314k	COURTYARD NORTH & SOUTH ELEVATIONS
A314l	COURTYARD NORTH & SOUTH ELEVATIONS
A314m	COURTYARD NORTH & SOUTH ELEVATIONS
A314n	COURTYARD NORTH & SOUTH ELEVATIONS
A314o	COURTYARD NORTH & SOUTH ELEVATIONS
A314p	COURTYARD NORTH & SOUTH ELEVATIONS
A314q	COURTYARD NORTH & SOUTH ELEVATIONS
A314r	COURTYARD NORTH & SOUTH ELEVATIONS
A314s	COURTYARD NORTH & SOUTH ELEVATIONS
A314t	COURTYARD NORTH & SOUTH ELEVATIONS
A314u	COURTYARD NORTH & SOUTH ELEVATIONS
A314v	COURTYARD NORTH & SOUTH ELEVATIONS
A314w	COURTYARD NORTH & SOUTH ELEVATIONS
A314x	COURTYARD NORTH & SOUTH ELEVATIONS
A314y	COURTYARD NORTH & SOUTH ELEVATIONS
A314z	COURTYARD NORTH & SOUTH ELEVATIONS
A315	BUILDING SECTION
A315a	BUILDING SECTION
A315b	BUILDING SECTION
A315c	BUILDING SECTION
A315d	BUILDING SECTION
A315e	BUILDING SECTION
A315f	BUILDING SECTION
A315g	BUILDING SECTION
A315h	BUILDING SECTION
A315i	BUILDING SECTION
A315j	BUILDING SECTION
A315k	BUILDING SECTION
A315l	BUILDING SECTION
A315m	BUILDING SECTION
A315n	BUILDING SECTION
A315o	BUILDING SECTION
A315p	BUILDING SECTION
A315q	BUILDING SECTION
A315r	BUILDING SECTION
A315s	BUILDING SECTION
A315t	BUILDING SECTION
A315u	BUILDING SECTION
A315v	BUILDING SECTION
A315w	BUILDING SECTION
A315x	BUILDING SECTION
A315y	BUILDING SECTION
A315z	BUILDING SECTION
A316	WALL SECTIONS
A316a	WALL SECTIONS
A316b	WALL SECTIONS
A316c	WALL SECTIONS
A316d	WALL SECTIONS
A316e	WALL SECTIONS
A316f	WALL SECTIONS
A316g	WALL SECTIONS
A316h	WALL SECTIONS
A316i	WALL SECTIONS
A316j	WALL SECTIONS
A316k	WALL SECTIONS
A316l	WALL SECTIONS
A316m	WALL SECTIONS
A316n	WALL SECTIONS
A316o	WALL SECTIONS
A316p	WALL SECTIONS
A316q	WALL SECTIONS
A316r	WALL SECTIONS
A316s	WALL SECTIONS
A316t	WALL SECTIONS
A316u	WALL SECTIONS
A316v	WALL SECTIONS
A316w	WALL SECTIONS
A316x	WALL SECTIONS
A316y	WALL SECTIONS
A316z	WALL SECTIONS
A317	SECTION DETAILS
A317a	SECTION DETAILS
A317b	SECTION DETAILS
A317c	SECTION DETAILS
A317d	SECTION DETAILS
A	



This drawing, as an instrument of service, is provided by and is the property of Grazianni Architects Inc. The architect must retain and accept responsibility for all dimensions and conditions on site and must notify Grazianni Architects Inc. of any variations from the approved information. Grazianni Architects Inc. is not responsible for the accuracy of survey, structure, mechanical, electrical, etc. engineering information shown on this drawing. The architect warrants that the information shown on this drawing is true and correct to the best of his knowledge and belief. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other otherwise noted as being subject to the authority or reported on by this office in regard to the environmental condition of this site. This drawing is not to be used for construction purposes until counterchecked by the architect.

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representation only.

01. FEB.28.2014	issued to city for SPA	B.G.
02. JUL.3.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	issued for tender	B.G.
06. DEC.28.2016	issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.29.2017	issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

issued for revisions

GRAZIANI
CORAZZA
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Phone: 905.705.2621 Fax: 905.705.2644 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1134.13

SITE PLAN

1:150 A102

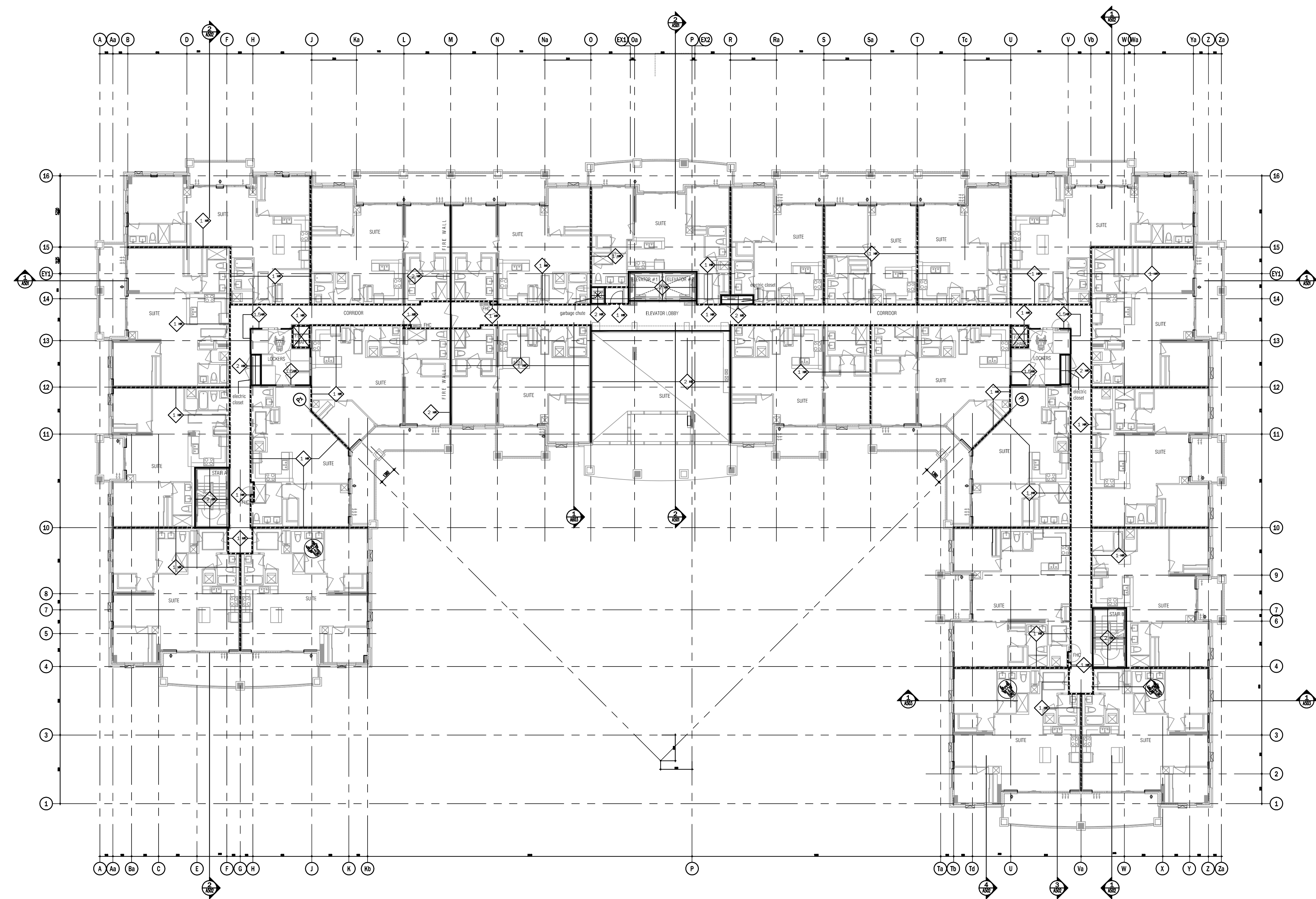
TITLEBLOCK SIZE: 915 x 1400

Door Schedule General Notes	
1.	all doors including frames requiring a fire protection rating shall comply with Subsection 3.1.8 of the OBC.
2.	all doors including frames requiring a fire protection rating shall be labelled indicating fire rating and be equipped with a listed self closing device, a listed positive latching mechanism and listed hardware.
3.	all residential suite doors opening onto a public corridor shall be designed not to lock automatically (article 3.3.4.5 of the OBC.)
4.	all doors that open into a corridor or other facility providing access to exit from a suite, or room not located within a suite shall comply with articles 3.3.1.10, 3.3.1.12 and 3.3.1.18 of the OBC.
5.	all doors in an access to exit, means of egress or exit shall comply with articles 3.4.6.10 to 3.4.6.15 inclusive of the OBC.
6.	all doors in a barrier free path of travel shall comply with article 3.8.3.3 of the OBC.
7.	all doors within a suite shall comply with section 9.6 of the OBC.
8.	for hardware refer to hardware schedule
9.	all doors equipped with a hold open device shall comply with article 3.1.8.12 of the OBC.
10.	all doors equipped with an electric strike required for security shall comply with article 3.3.1.12 of the OBC.
11.	all doors equipped with an electromagnetic lock shall comply with article 3.4.6.15 of the OBC.
12.	all washroom/bathroom doors to be equipped with a privacy lock.
13.	all steel doors equipped w/an electromagnetic lock to be 18 ga. steel and tack weld and fill edges.
14.	common area doors with glazing that are fire rated to be gwg or firelight glass.

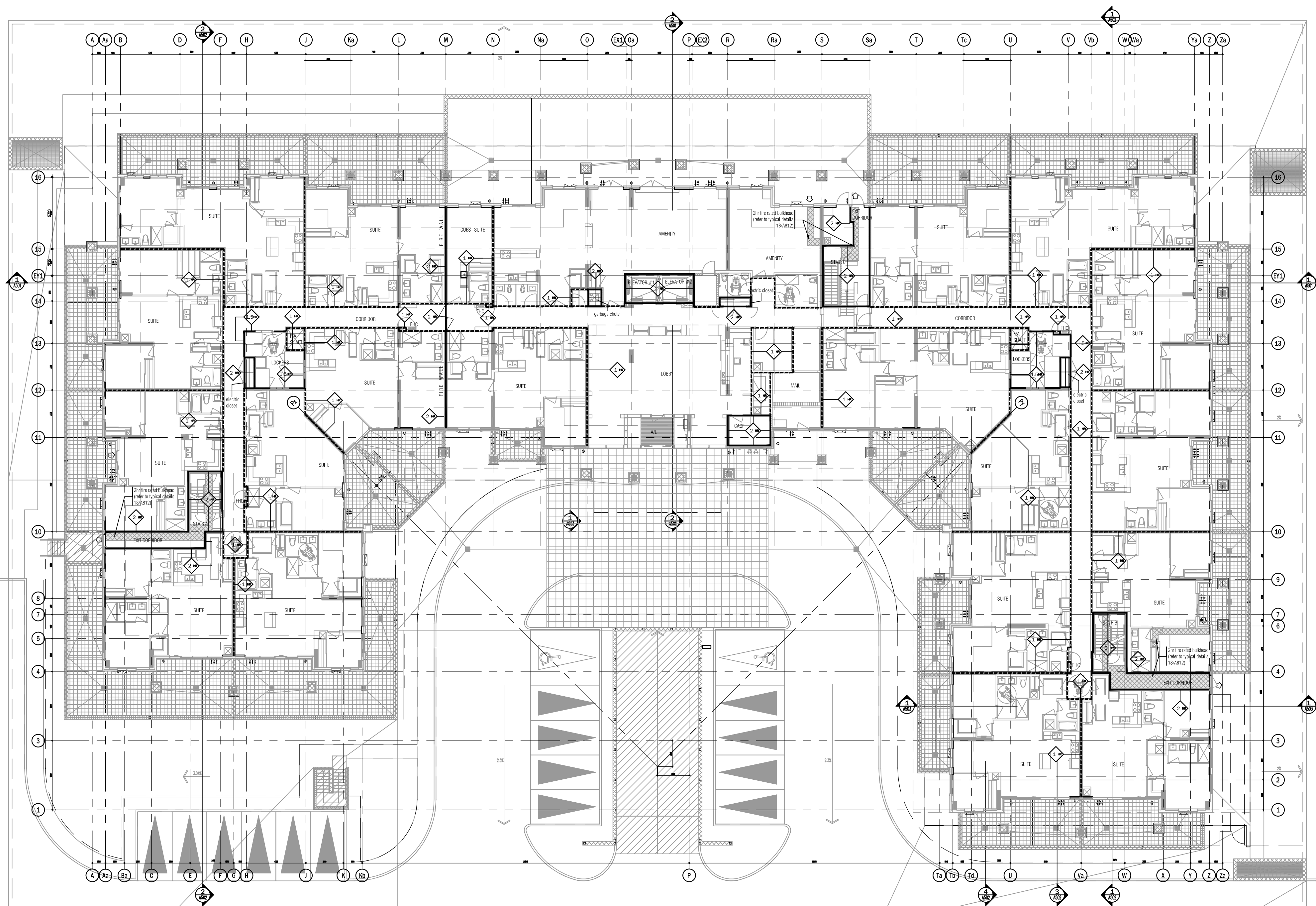
Door abbreviations		
hmi - hollow metal insulated	pst - pressed steel	pt - paint
sc - solid core wood	al - aluminum	anod - anodized
hc - hollow core wood	wd - wood	vam - varnish
hm - hollow metal	alum - hollow metal	st - stained
ps - pressed steel insulated	es - electric strike	lam - plastic laminate finish
alum - aluminum	ml - electro magnetic lock	ss - stainless steel
comp - composite	hod - hold open device	ig - insulated glass
ri - re-inforced	cr - card reader	sq - sheet glass
fr - frosted glass	pb - push button	pg - plate glass
fg - fixed glass	md - motion detector	gwg - georgian wire glass
tg - tempered glass		

Abbreviations		
act active, ex: one leaf pair of doors	grom grommet	oskp outside knob pinned
adj adjustable, ex: shelves	h90 hold open at 90°	oskr outside knob rigid
af armoured front (of a lock) (covers fixing and cylinder screws)	h180 hold open at 180°	ost outside trim
ahc architectural hardware consultant	hc hollow core (door)	pa parallel arm (closer)
al aluminum	hmd hollow metal door	pbs protected box strike
ams all machine screws	hml hollow metal frame	ph(s) phillips head (screws)
arm arm (or closer or door holder)	hnb hex nut & bolt	hpl plate (floor, push, pull)
asa american standards association	ho hold open (door closer)	pr pair
atms (closer to template with machine screws)	hoa hold open arm (closer holder)	psf pressed steel frame
aws all wood screw	hr hour (fire door rating)	rab rabbeted
ald aluminum door	h-t hospital tip (butts)	rad radius
bb ball bearing	ht height	rb reverse bevel
bv bevel(ed)	id inside diameter	rc round corners (butts)
bdr beveled 3 edges (kick plates)	int interior	reg regular
bp brass pin (hinges)	ist inside trim	rem.mul removable mullion
bs backset (lock) distance between edge of door and centre of knob	j jamb	rf rounded or radius front
b&s brown and sharp (gauges)	k key(s)	rf & st rounded front and strike (for rounded edge of door and centre of knob)
	ka keyed alike	rh(s) round head screws
	kal kalamain	rh(s) round hand (reverse)
bt ball top (hinges)	kd keyed different	rm room
bdb back to back (butts)	k.d. knocked down (indicates that part of the assembly unit are separately packed to be assembled when required)	rp rawl plug
c (c) centre or centreline	kv key valve (closing device)	sa self acting (doors)
cb cement box (floor closers)	lbr less bottom rod	sc solid core (door)
cts cast box strike	c/c centre to centre,also, cut for cylinder	sc(s) screw(s)
c/c centre to centre,also, cut for cylinder	cl cut for cylinder	sgl single
cl cut for cylinder	clt cut for thumb turn	sh shield
clf channel iron frame	clh(b) left hand reverse (bevel)	sl sleeve
ck construction key	lh left hand	sms sheet metal screws
corr corridor	l.l. lead lined (doors)	s-ms strike machine screws
ctc centre to centre	l.p. light proof	sp.hd spanner head (screws)
ctsk countersunk	l.s. lead shield	spdle spindle
cyl cylinder (lock)	m metal	ss stainless steel
da double-acting	mx maximum	std standard
dbl double	mc metal clad (door)	st-ms strike template with machine screws
ddeg degrees	md metal door	sts self tapping screws
dps dust proof strike	mf metal frame	sw swivel
dr door	mk(ed) masterkey(ed)	tb thru-bolts
dt dummy trim	mn minimum	tbgr thru-bolts and grommet nuts
ea each	ms machine screws	tbn thru-bolts and nuts
emk emergency	m x m metal by metal (door and frame)	tc tin clad
exp.sh expansion shield	nb nylon bearing	tgb toggle bolt
ext exterior	nck no change key	tk turn knob
flr flat button tip	nr no rose	tms template machine screws
f.d. fire door	nnp non removable pin (butts)	tp thumb piece
fns flat head screw	ns narrow stile	ul underwriters label
f.l. fusible link	oa overall	ulc Underwriters Label Canada
fl floor	ob oblite bearing (hinges)	wd wood door
fr frame	obs open back strike (permits inactive leaf of doors to open independently)	wbs (X) wrought box strike
ft foot or feet	od outside diameter	wf wood frame
ga gauge	oh(s) oval head (screws)	ws wood screws
gm/gm great grand master key (ed)	opb opening	x-bar cross bar
gm/g grand master key (ed)	os outside	
gn- grommet nut (& bolt)		

Door Schedule																				
	door no.	location		type	doors			material	glass	fire rating	finish	frames			threshold		remarks			
		from	to		width	height	thickness					type	material	glass	fire rating	finish			material	finish
Underground parking - P-1	b01	garage	lockers	d	965	2130	45	hm		1.5hr	pt		hm		45min	pt				
	b02	garage	lockers	d	965	2130	45	hm		1.5hr	pt		hm		45min	pt				
	b03	garage	a/i	b	965	2130	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt			panic	
	b04	garage	a/i	b	965	2130	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt			panic	
	b05	garage	sec. electrical room	d	965	2130	45	hm		1.5hr	pt		hm		45min	pt				
	b06	garage	lockers	d	965	2130	45	hm		1.5hr	pt		hm		45min	pt				
	b07	garage	mechanical room	d	2/965	2130	45	hm		1.5hr	pt		hm		1.5hr	pt				
	b08	garage	garbage room	d	2/965	2130	45	hm		1.5hr	pt		hm		1.5hr	pt				
	b09	reserved																		
	b10	garbage room	bulk	d	965	2130	45	hm		1.5hr	pt		hm		1.5hr	pt				
	b11	garage	bulk	d	965	2130	45	hm		1.5hr	pt		hm		1.5hr	pt				
	b12	a/i	elevator lobby	b1	965	2130	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt			mag lock, ADO, panic, electric strike	
	b13	garage	a/i	b	965	2130	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt			panic, ADO	
	b14	garage	sec. electrical room	d	2/965	2130	45	hm		1.5hr	pt		hm		45min	pt				
	b15	garage	ccu	d	965	2130	45	hm		1.5hr	pt		hm		45min	pt				
	b16	garage	a/i	b	965	2130	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt			panic	
	b17	garage	a/i	b	965	2130	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt			panic	
	b18	garage	a/i	b	965	2130	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt			panic	
	b19	garage	lockers	d	965	2130	45	hm		1.5hr	pt		hm		45min	pt				
	b20	garage	main electrical room	d	965	2130	45	hm		1.5hr	pt		hm		45min	pt				
	b21	garage	main electrical room	d	2/965	2130	45	hm		1.5hr	pt		hm		45min	pt				
	b22	locker	exhaust shaft	d	915	915	45	hm			pt		hm			pt			lock set	
	b23	garage	FA shaft	d	915	915	45	hm			pt		hm			pt			lock set	
	b24	locker	exhaust shaft	d	915	915	45	hm			pt		hm			pt			lock set	
	b25	garage	FA shaft	d	915	915	45	hm			pt		hm			pt			lock set	
	b26	stair "B"	stair "B" mid landing	d	915	915	45	hm			pt		hm			pt			lock set	
	b27	stair "C"	stair "C" mid landing	d	915	915	45	hm			pt		hm			pt			lock set	
	b28	stair "A"	stair "A" mid landing	d	915	915	45	hm			pt		hm			pt			lock set	
S1/7	g01	exit corridor	exterior	a	915	2450		alum	tg		anod.		alum			anod.			panic, weather stripping	
	g02	corridor	corridor	c	965	2130	45	hm		1.5hr	pt		hm		1.5hr	pt			ADO, panic	
	g03	corridor	corridor	c	2/965	2450	45	hm			pt		hm		1.5hr	pt			ADO, panic	
	g04	corridor	washroom	d	965	2130	45	hm		45min	pt		hm		45min	pt			ADO, electric strike	
	g05	corridor	washroom	d	965	2130	45	hm		45min	pt		hm		45min	pt			ADO, privacy lock	
	g06	corridor	amenity	b	2/965	2130	45	hm	gwg	45min	pt		hm		45min	pt			ADO, electric strike	
	g07	amenity	kitchen	d	965	2130	45	sc			pt		wd			pt			pocket door	
	g08	amenity	closet	d	810	2130	45	hm			pt		hm			pt				
	g09	amenity	amenity	b	1200	2130	45	sc			pt		wd			pt			pocket door	
	g10	amenity	amenity	b	1200	2130	45	sc			pt		wd			pt			pocket door	
	g11	amenity	exterior	a	2/965	2450		alum	tg		anod.		alum			anod.			weather stripping, ADO, panic	
	g12	amenity	exterior	a	2/965	2450		alum	tg		anod.		alum			anod.			weather stripping, panic	
	g13	corridor	amenity	b	965	2130	45	hm	gwg	45min	pt		hm		45min	pt			ADO, electric strike	
	g14	lobby	a/i	a	965	2450		alum	tg		anod.		alum			anod.			panic, weather stripping	
	g15	a/i	exterior	s1	2/915	2450		alum	tg		anod.		alum			anod.			panic, weather stripping	
	g16	lobby	c.a.c.f	d	965	2130	45	hm		1.5hr	pt		hm		1.5hr	pt				
	g17	exterior	mail room	a	965	2450		alum	tg		anod.		alum			anod.			panic, weather stripping	
	g18	concierge	storage	d	965	2130	45	hm		45min	pt		hm		45min	pt				
	g19	amenity	electrical room	d	965	2450	45	hm		1.5hr	pt		hm		1.5hr	pt				
	g20	corridor	property manager	d	965	2450	45	hm		45min	pt		hm		45min	pt			ADO	
	g21	corridor	univ. washroom	d	965	2130	45	hm		45min	pt		hm		45min	pt			ADO, electric strike	
	g22	corridor	amenity	b	965	2130	45	hm	gwg	45min	pt		hm		45min	pt			ADO, electric strike	
	g23	corridor	univ. washroom	d	965	2130	45	hm		45min	pt		hm		45min	pt			ADO, electric strike	
	g24	pet wash	exterior	a	965	2450		alum	tg		anod.		alum			anod.			panic, ADO, weather stripping	
	g25	corridor to stair B	exterior	a	915	2450		alum	tg		anod.		alum			anod.			panic, weather stripping	
	g26	corridor	corridor	a	965	2450		alum	tg		anod.		alum			anod.			ADO	
	g27	corridor	lockers	d	965	2130	45	hm		1.5hr	pt		hm		1.5hr	pt				
	g28	exit corridor	exterior	a	915	2450		alum	tg		anod.		alum			anod.			panic, weather stripping	
204c - 7th floor	dd1	corridor	lockers	d	965	2130	45	hm		45min	pt		hm		45min	pt				
	dd2	corridor	corridor	a1	2/965	2450	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt				
	dd3	corridor	lockers	d	965	2130	45	hm		45min	pt		hm		45min	pt				
	Typical suite 204c - 7th floor	s01	corridor	suite	d	965	2130	45	sc		20min	wd		radi		20min	pt			door viewer, door contact
		s02	bedroom		d	810	2130	35	hc			pt		wd			pt			
		s02a	bedroom		d	915	2130	35	hc			pt		wd			pt			
		s03	den		d	2/860	2130	35	hc			pt		wd			pt			
		s03a	den		d	760	2130	35	hc			pt		wd			pt			
		s04	bathroom		d	760	2130	35	hc			pt		wd			pt			
		s04a	bathroom		d	915	2130	35	hc			pt		wd			pt			
		s04b	bathroom		d	810	2130	35	hc			pt		wd			pt			
		s04c	bathroom		d	660	2130	35	hc			pt		wd			pt			
		s05	washer/dryer		d	810	2130	35	hc			pt		wd			pt			
		s05a	washer/dryer		d	2/610	2130	35	hc			pt		wd			pt			
		s05b	washer/dryer		d	760	2130	35	hc			pt		wd			pt			
		s06	closet		s1	varies	2130	35	hc			pt		wd			pt			
		s07	closet		d	610	2130	35	hc			pt		wd			pt			
		s07a	closet		d	2/610	2130	35	hc			pt		wd			pt			
		s07b	closet		d	760	2130	35	hc			pt		wd			pt			
		s08	w.i.c.		d	610	2130	35	hc			pt		wd			pt			
		s08a	closet		d	810	2130	35	hc			pt		wd			pt			
	Typical corridor	td1	corridor	exit stair	b	860	2130	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt			panic
		td1a	stair landing	stair landing	b	860	2130	45	hm	gwg	1.5hr	pt		hm		1.5hr	pt			panic
		td2	corridor	electric closet	d	2/915	2130	45	hm		1.5hr	pt		hm		1.5hr	pt			surface bolt
		td3	corridor	garbage chute room	d	965	2130	45	hm		45min	pt		hm		45min	pt			
	Main floor	md1	electrical room	exterior	d	915	2130	45	hm			pt		hm			pt			weather stripping
		md2	electrical room	generator & elec. room	d	915	2130	45	hm		45min	pt		hm		45min	pt			
		md3	electrical room	elev. machine room	d	915	2130	45	hm			pt		hm			pt			
md4		boiler room	elev. machine room	d	915	2130	45	hm		45min	pt		hm		45min	pt				
md5		boiler room	electrical room	d	915	2130	45	hm		45min	pt		hm		45min	pt				
md6		boiler room	exterior	d	915	2130	45	hm		45min	pt		hm		45min	pt			weather stripping	
md7		stair "A"	exterior	d	860	2130	45	hm		45min	pt		hm		45min	pt			weather stripping	
md8		stair "B"	exterior	d	860	2130	45	hm			pt		hm			pt			weather stripping	

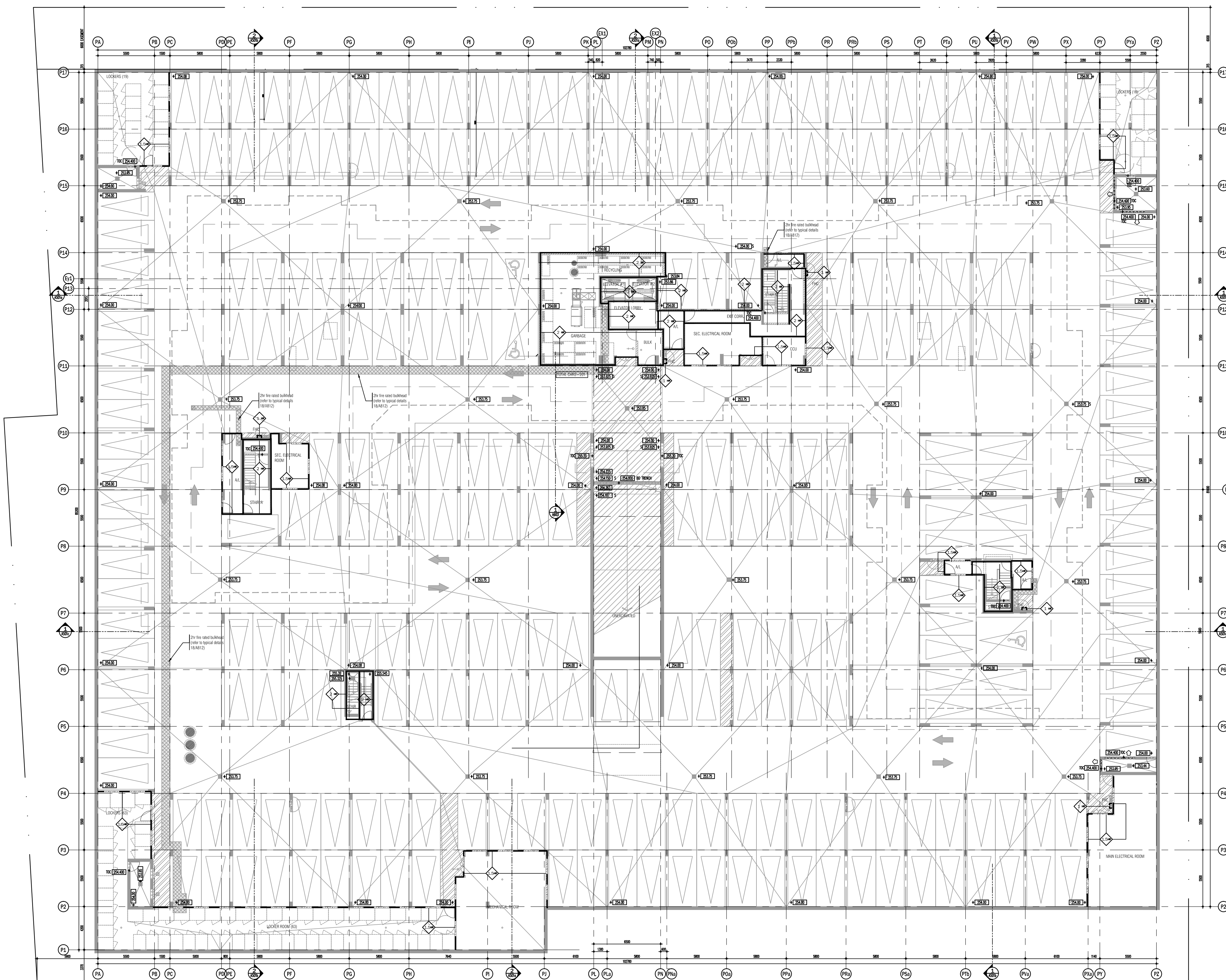


2ND FLOOR FIRE SEPARATION PLAN 3
SCALE - 1/200 A201



GROUND FLOOR FIRE SEPARATION PLAN 2
SCALE - 1/200 A201

Building Occupancy Classification		
• parking garage - group 1, division 3, low hazard industrial occupancy for the underground parking garages (s.b.c. 3.2.2.73)		
• lower - group c, residential occupancy any height, any area (s.b.c. 3.2.2.40)		
• group a, division 2, assembly occupancy for the ground floor amenities (ancillary use to residential)		
Fire Separation Legend		
partition/wall	doors	frame
3/4 hr fire separation	45 min	45 min
one (1) hour fire separation	45 min	45 min
two (2) hour fire separation	20 min	20 min
1 1/2 hour fire separation	1 1/2 hr	1 1/2 hr
two (2) hour fire separation	1 1/2 hr	1 1/2 hr
three (3) hour fire separation	2 hr	2 hr
Travel Distance		
Indicates travel distance to closest exit		
Fire Separation Notes		
description	fire resistance rating	s.b.c. reference
1. exit stairs	2 hr	3.4.4.1(1)
2. elevator shafts	1.5 hr	3.5.3.1
3. utility/mechanical	2 hr	3.2.6
4. garage chute shaft	2 hr sprinklered	3.6.3.3(2)(b)
5. garage chute intake room	3/4 hr	3.6.3.3(5)
6. garage chute discharge room	2 hr sprinklered	3.6.3.3(9)
7. vertical service spaces	1 hr	3.6.3.1(1)
8. electrical closets	2 hr	3.6.2.1(5)
9. public corridors	1 hr	3.3.1.4(1)
10. suite to suite separation	1 hr	3.3.4.2(1)
11. group to any other occupancy	1.5 hr	3.3.5.6(1)
12. storage locker rooms	1 hr sprinklered	3.3.4.3.1(M2)
13. janitor room	1 hr	3.3.1.2(1)
14. central alarm and control facility	1 hr	
15. multiple storey residential suites to remainder of building	2 hr	3.3.4.2(3)
16. electrical equipment vault	3 hr	3.6.2.8(1)
* 2 hr if vault is protected with an automatic fire extinguishing system		
Fire Rated Ceiling And Shaft Legend		
2.0 fire rated ceiling		
U.L. Design No. M507 (gypsum board) construction		
5mm gypsum board (steel wall line)		
6mm C-hy section steel studs @800mm o.c.		
10mm type X gypsum board (2 layers)		



P1 LEVEL FIRE SEPARATION PLAN 1
SCALE - 1/200 A201

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03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	Issued for tender	B.G.
06. DEC.28.2016	Issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	Issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

Issued for revisions

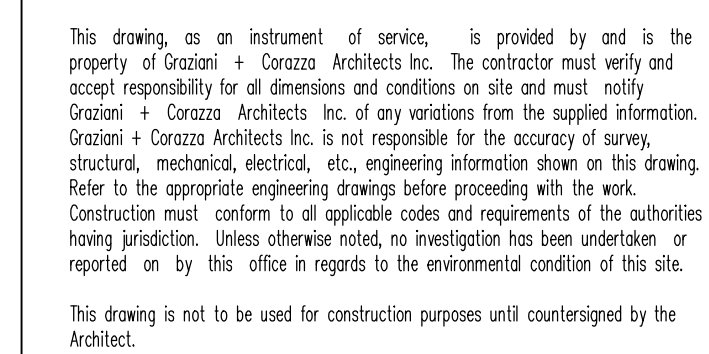
GRAZIANI + CORAZZA ARCHITECTS INC.
1327 Sheppard Ave. E. Suite 102, Scarborough, Ontario M1S 1Y1
Phone: (416) 756-2621 Fax: (416) 756-2624 www.graziani.ca

PROPOSED RESIDENTIAL DEVELOPMENT
25 BAKER HILL BLVD.
ROYAL PINES HOMES
STOUFFVILLE ONTARIO
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1136.13

FIRE SEPARATION PLANS
P1/GROUND/2ND

1:200 A201
TITLEBLOCK SIZE: 915 x 1400

[illegible]



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LEVEL	PL	SIZE
	7th	12
6th	12	(900X1200)
5th	12	(900X1200)
4th	12	(900X1200)
3rd	12	(900X1200)
2nd	12	(900X1200)
Grd	12	(900X1200)
P1	95	(1200X1500)
	1	(1650X1500)
	2	(1800X1500)
TOTAL	182	

03.	DEC.13.2017	SI 11 REV1 -STAR C	BG
02.	SEPT.08.2017	S107 UNDER STAIR ACCESS	BG
01.	AUG.31.2017	S105 SHAFT CURB & DOORS	BG

issued for revisions



STOUFFVILLE ROYAL PINES HOMES ONTARIO

T=tandem car BY-LAW REQUIRED 236 CARS
TOTAL PROVIDED 319 CARS

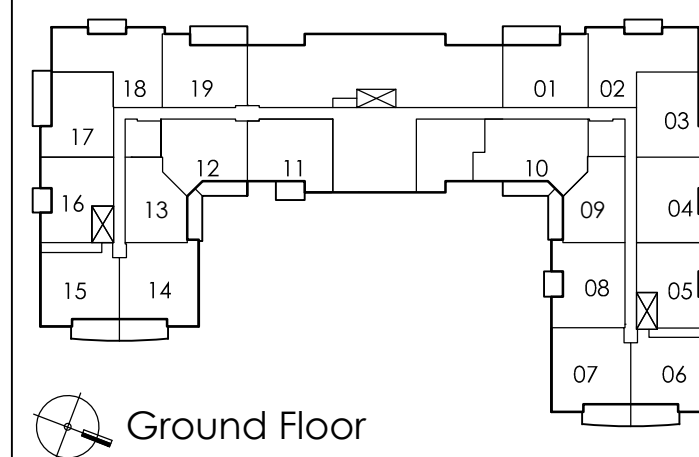
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08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

PROPERTY LINE



03. FEB.12.2018	S13 REVISING OPERABLE WINDOWS	B.G.
02. DEC.07.2017	S10 SHOWING BARRIER-FREE SYMBOL	B.G.
01. SEP.06.2017	S106 TRANSOM/BULKHEADS REVISION	B.G.

issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.
1327 Denison Ave. Suite 102, Richmond Hill, ON L4B 1C1
Phone: 905.765.2621 Fax: 905.765.3544 www.graziani.ca

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STOUFFVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D.B.A.S.E.

Plot Date: Apr. 4, 2018

Job #: 1134.13

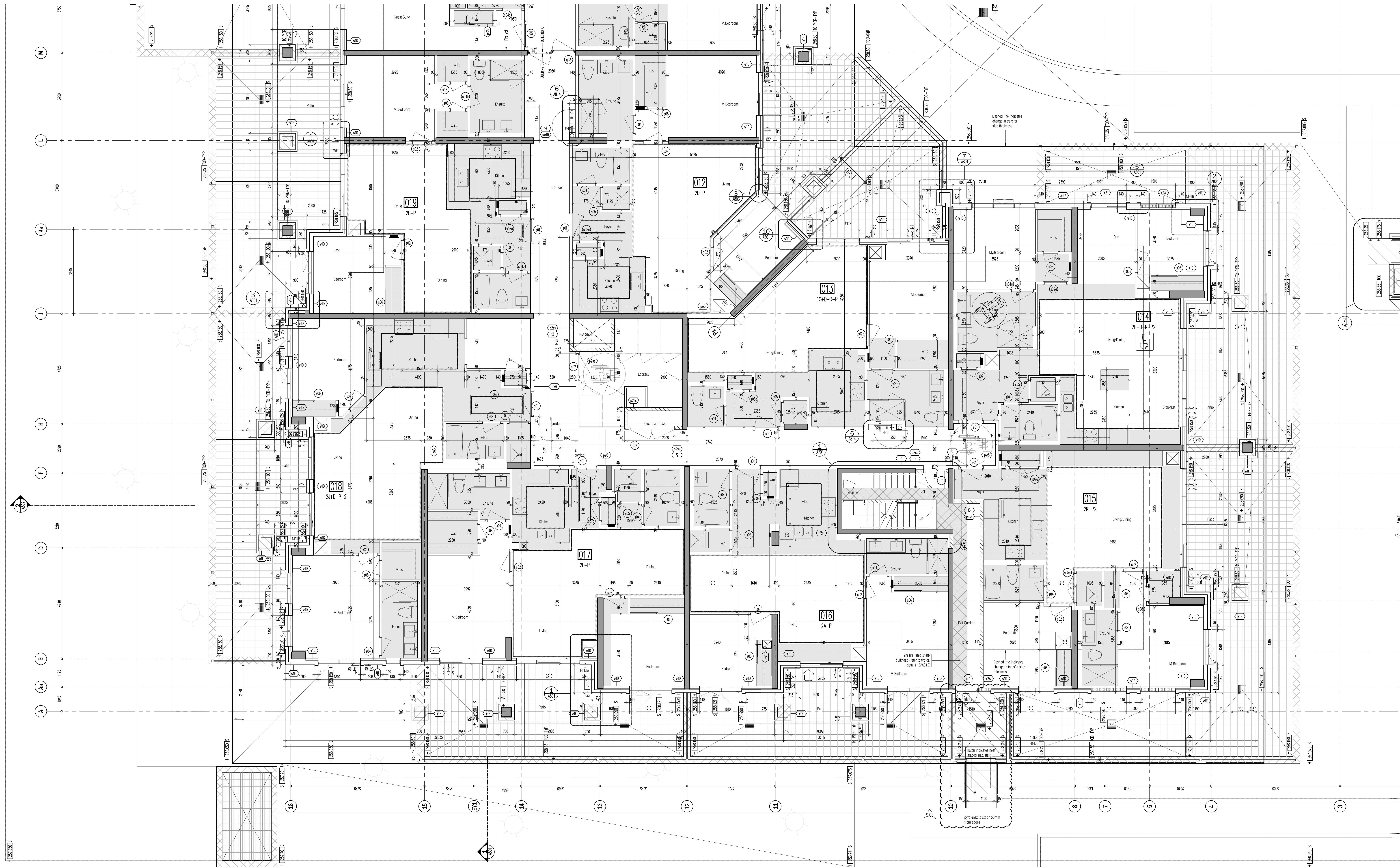
GROUND FLOOR PLAN

OVERALL PLAN

1:100 A301

TITLEBLOCK SIZE: 915 x 1400

FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050



CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

This drawing, as an instrument of service, is provided by and is the property of Grazianni & Corazza Architects Inc. The architect must retain and accept responsibility for all dimensions and conditions on site and must notify Client & Council Architects Inc. of any variations from the approved information.

Client & Council Architects Inc. is not responsible for the accuracy of any dimensions, materials, conditions, etc., appearing hereafter shown on this drawing. It is the responsibility of the Client to verify all dimensions and conditions on site. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other relevant codes or regulations have been considered or reported on by this office in regards to the environmental condition of the site.

This drawing is not to be used for construction purposes until counterchecked by the architect.

This drawing is not to be used for construction purposes until counterchecked by the architect.

01. FEB.28.2014	issued to city for SPA	B.G.
02. JUL.9.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	issued for tender	B.G.
06. DEC.28.2016	issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

04. FEB.12.2018 3103 REVISING OPERABLE WINDOWS BG

03. DEC.07.2017 3103 SHOWING BARRIER-FREE SYMBOL BG

02. NOV.23.2017 3108 TERRACE/PATIO & STEP REVISION BG

01. SEPT.06.2017 3106 TRANSOM/BULKHEADS REVISION BG

issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1333 Denison Ave. Suite 102, Richmond Hill, ON L4B 1C1
Phone: 905.765.2621 Fax: 905.765.2644 www.grazzianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

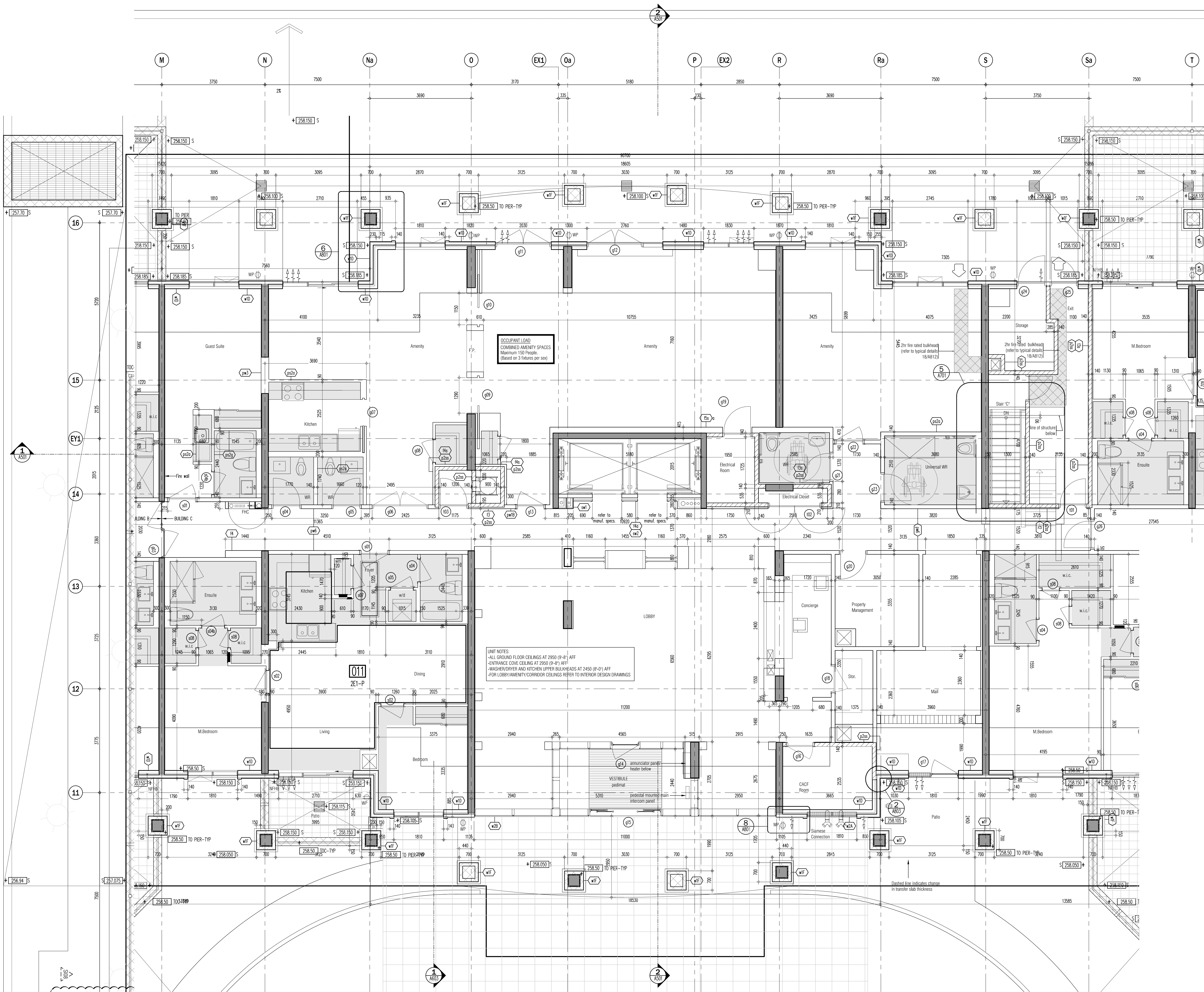
STOUFFVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.B.ASE
Not Date: Apr. 4, 2018
Job #: 1134.13

GROUND FLOOR ENLARGED PART PLAN

1:50 A301a

TITLEBLOCK SIZE: 915 x 1400



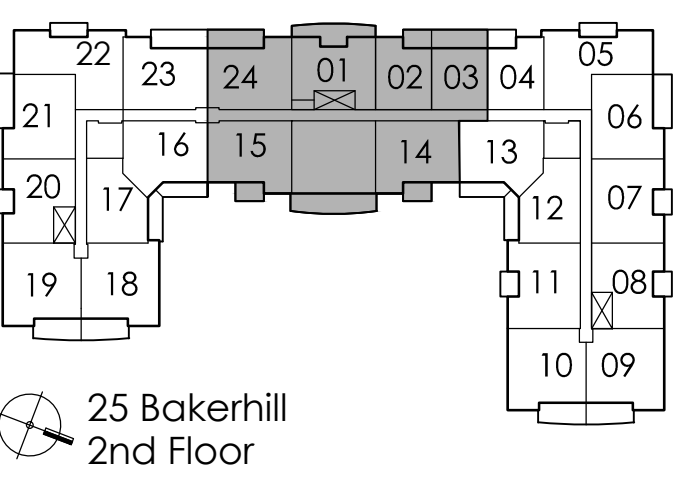
OCCUPANT LOAD
COMMON AMENITY SPACES
Maximum 150 People
(Based on 3.75 sqm per person)

UNIT NOTES:
- ALL GROUND FLOOR CEILING AT 2950 (9'-8") AFF.
- ENTRANCE GROUND CEILING AT 2950 (9'-8") AFF.
- KITCHEN/DINING AND BATHROOM CEILING AT 2450 (8'-0") AFF.
- FOR LOBBY/AMENITY CORRIDOR CEILING REFER TO INTERIOR DESIGN DRAWINGS

Dashed line indicates change
in transfer slab thickness

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

- This drawing, as an instrument of service, is provided by and is the property of Grazianni Architects Inc. The architect must retain and accept responsibility for all dimensions and conditions on site and must notify Grazianni Architects Inc. of any variations from the approved information. Grazianni Architects Inc. is not responsible for the accuracy of any structural, mechanical, electrical, etc., engineering information shown on this drawing. All dimensions are given in millimeters unless otherwise stated. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other relevant notes to this drawing have been indicated or reported on by this office in regard to the environmental condition of this site. This drawing is not to be used for construction purposes until counterchecked by the architect.
- | | | |
|-----------------|---|------|
| 01. FEB.28.2014 | Issued to city for SPA | B.G. |
| 02. JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. MAR.15.2015 | Issued for tender | B.G. |
| 06. DEC.28.2016 | Issued for building permit | B.G. |
| 07. MAY.10.2017 | re-issued for building permit | B.G. |
| 08. MAY.10.2017 | Issued for Footings and Foundation Permit | B.G. |
| 09. JUL.19.2017 | Progress for Construction | B.G. |
| 11. AUG.09.2017 | Issued for Construction | B.G. |
| 12. OCT.25.2017 | Revision to Envelope | B.G. |
| 13. APR.04.2018 | Re-issued for Building Permit | B.G. |



- | | | |
|-----------------|---------------------------------|------|
| 01. FEB.12.2018 | S13 REVISING OPERABLE WINDOWS | B.G. |
| 02. DEC.13.2017 | S 11 REV1 -STAR C | B.G. |
| 01. SEP.06.2017 | S106 TRANSOM/BULKHEADS REVISION | B.G. |

ISSUED FOR REVISIONS

GRAZIANI
CORAZZA
ARCHITECTS INC.

1327 Denison Street, Suite 102, Richmond Hill, ON L4B 1C1
Phone: 905.765.2621 Fax: 905.765.3544 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

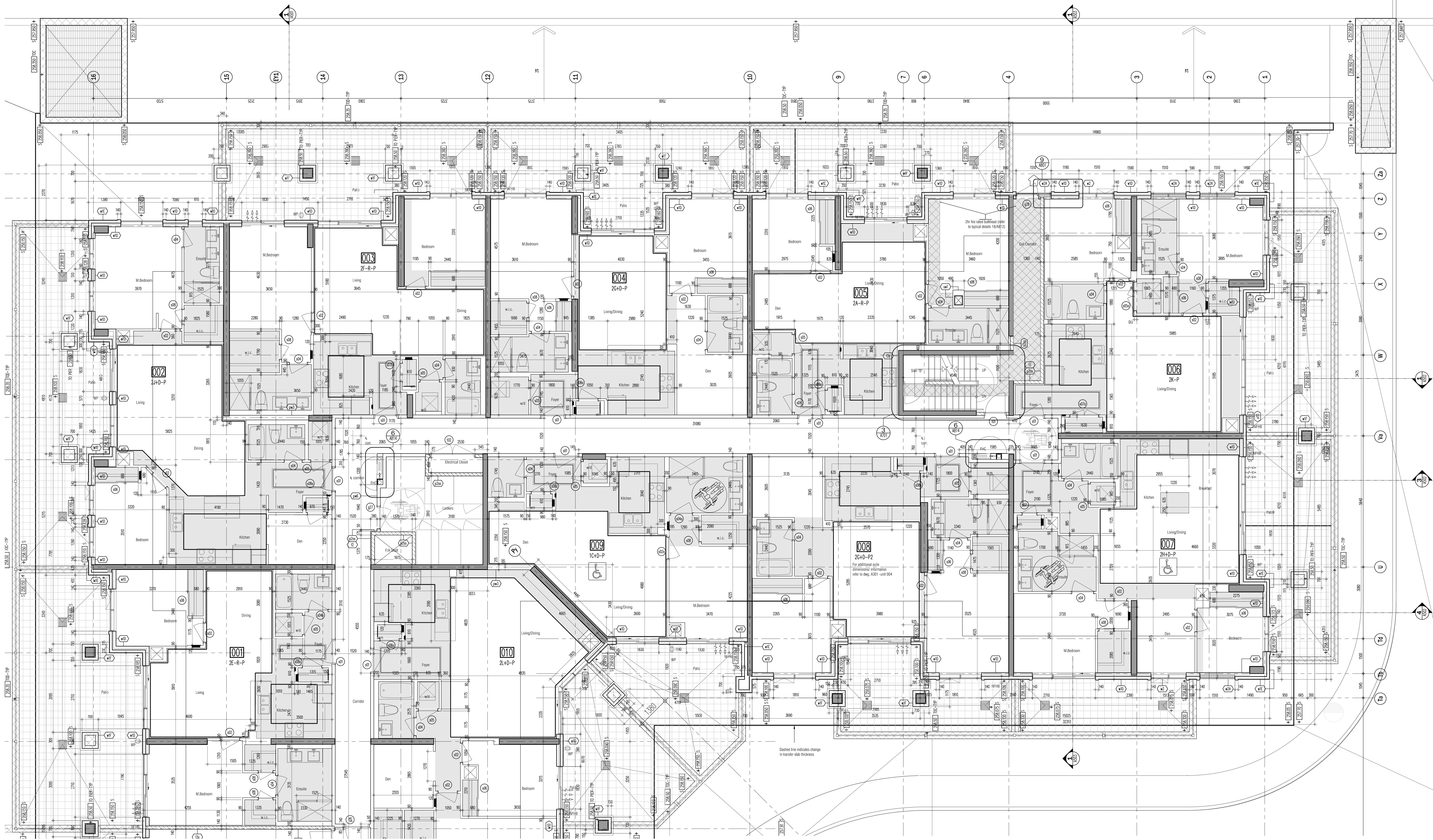
STUFFVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.B.ASE
Plot Date: Apr. 4, 2018
Job #: 1134.13

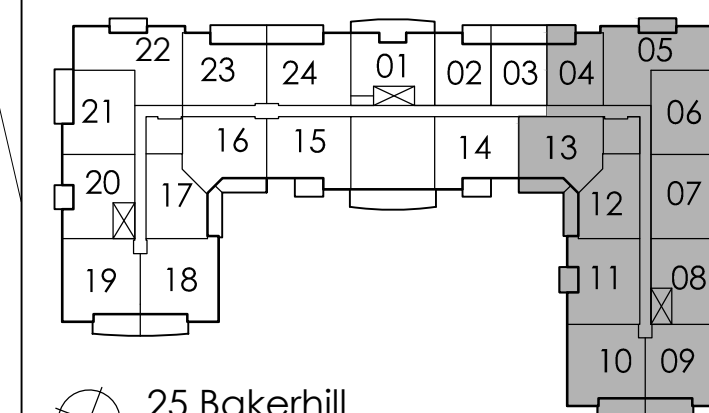
GROUND FLOOR ENLARGED
PART PLAN

1:50 A301b

TITLEBLOCK SIZE: 915 x 1400



- This drawing, as an instrument of service, is provided by and is the property of Grazianni Architects Inc. The architect must verify and accept responsibility for all dimensions and conditions on site and must verify that the construction is in accordance with the approved drawings. Grazianni Architects Inc. is not responsible for the accuracy of any dimensions, materials, methods, etc., appearing hereafter shown on the drawings. Construction must conform to all applicable codes and requirements of the authority having jurisdiction. Other relevant codes, regulations, laws, ordinances or referred to by this office in regard to the environmental conditions of this site. This drawing is not to be used for construction purposes until counterchecked by the architect.
- | | | |
|-----------------|---|------|
| 01. FEB.28.2014 | issued to city for SPA | B.G. |
| 02. JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. MAR.15.2015 | issued for tender | B.G. |
| 06. DEC.28.2016 | issued for building permit | B.G. |
| 07. MAY.10.2017 | re-issued for building permit | B.G. |
| 08. MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 09. JUL.19.2017 | Progress for Construction | B.G. |
| 10. AUG.09.2017 | issued for Construction | B.G. |
| 11. OCT.25.2017 | Revision to Envelope | B.G. |
| 12. APR.04.2018 | Re-issued for Building Permit | B.G. |



- | | | |
|-----------------|---------------------------------|------|
| 01. FEB.12.2018 | 313 REVISING OPERABLE WINDOWS | B.G. |
| 02. DEC.07.2017 | 310 SHOWING BARRIER-FREE SYMBOL | B.G. |
| 01. SEP.06.2017 | 3106 TRANSOM/BULKHEADS REVISION | B.G. |

issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1337 Denison Street, Suite 101, Mississauga, Ontario L4Y 1G1
Phone: 905.765.2621 Fax: 905.765.2644 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.B.ASE
Plot Date: Apr. 4, 2018
Job #: 1134.1.3

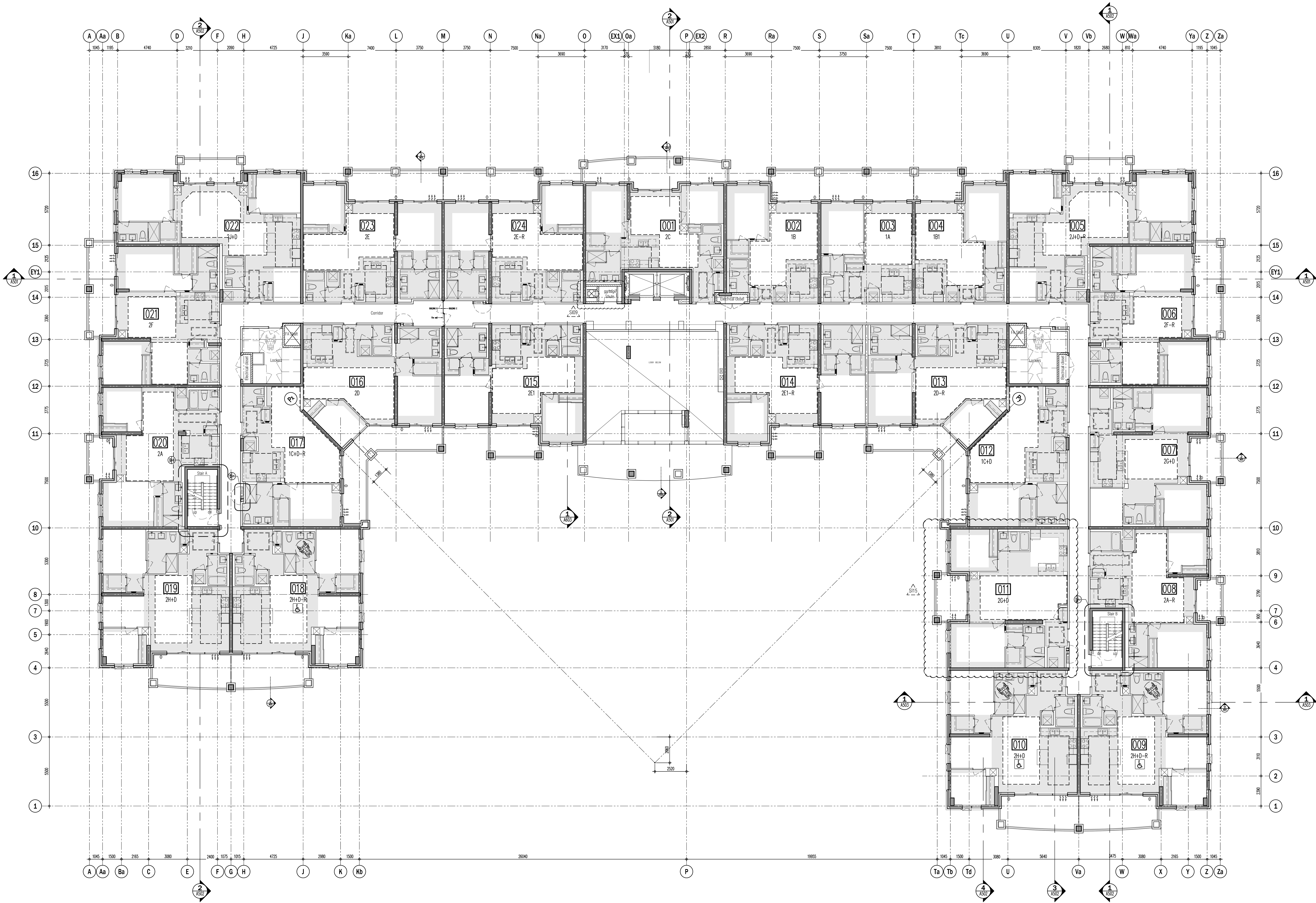
GROUND FLOOR ENLARGED PART PLAN

1:50 A301c

TITLEBLOCK SIZE: 915 x 1400

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050



This drawing, as an instrument of service, is provided by and is the property of GRAZIANI CORAZZA ARCHITECTS INC. The architect must verify and accept responsibility for all dimensions and conditions on site and must notify GRAZIANI CORAZZA ARCHITECTS INC. of any variations from the approved information. GRAZIANI CORAZZA ARCHITECTS INC. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. While the architect warrants against errors arising from the work, the architect does not warrant the accuracy of any information shown on this drawing. Construction must conform to all applicable codes and requirements of the authority having jurisdiction. Other otherwise noted, no fieldwork has been undertaken or reported on by this office in regard to the environmental condition of this site. This drawing is not to be used for construction purposes until countersigned by the architect.

01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.9.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.

04.	MAR.09.2018	315 NOTIFY BAY SUITE REVISION	BG
03.	FEB.12.2018	313 REVISING OPERABLE WINDOWS	BG
02.	DEC.07.2017	310 SHOWING BARRIER-FREE SYMBOL	BG
01.	DEC.07.2017	309 GARAGE CHUTE FREE SPACE	BG

issued for revisions

GRAZIANI CORAZZA ARCHITECTS INC.

1333 Denison Street, Suite 101, Mississauga, Ontario L4Y 1C1
Phone: 905.765.2621 Fax: 905.765.3544 www.graziandc.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

SCUFFVILLE ONTARIO

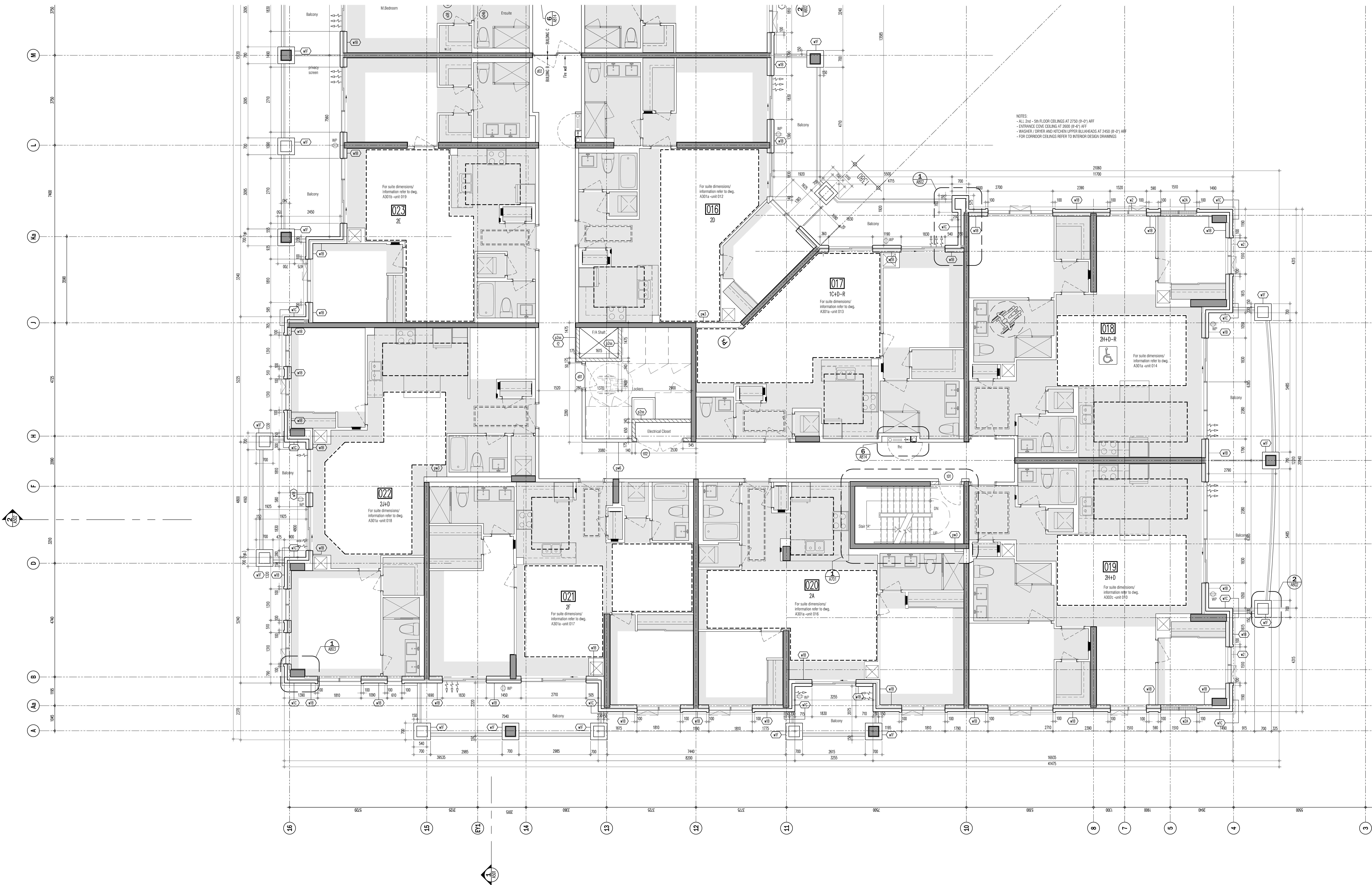
ROYAL PINES HOMES

Project Architect: B.GRAZIANI
Assistant Designer: R.LINCOLN
Drawn By: S.G.
Checked By: G.COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1134.13

2nd FLOOR PLAN
OVERALL PLAN

1:100 A302

TITLEBLOCK SIZE: 915 x 1400

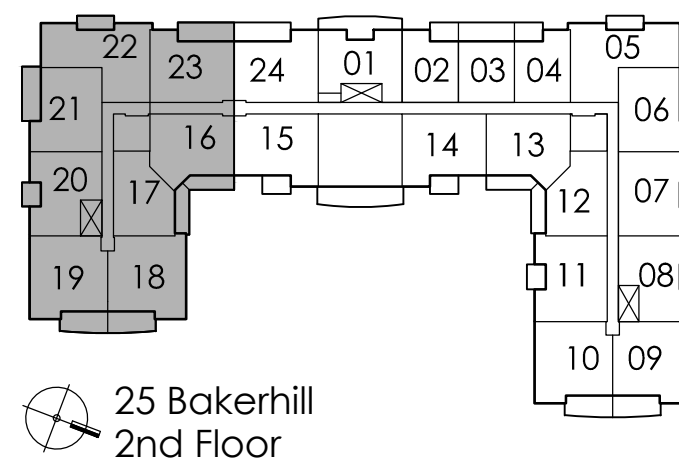


NOTES:
- ALL 2nd - 5th FLOOR CEILINGS AT 2750 (8'-0") AFF
- ENTRANCE COVE CEILING AT 2600 (8'-4") AFF
- WASHERS, DRYERS AND KITCHEN UPPER BULKHEADS AT 2450 (8'-0") AFF
- FOR CORRIDOR CEILINGS REFER TO INTERIOR DESIGN DRAWINGS

This drawing, as an instrument of service, is provided by and is the property of Grazianni & Corazza Architects Inc. The architect must verify and accept responsibility for all dimensions and conditions on site and must notify Grazianni & Corazza Architects Inc. of any variations from the approved drawings. Grazianni & Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. The architect warrants that the drawings are prepared in accordance with the applicable building codes and standards. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other drawings shall be investigated for any variations or required on by this office in regards to the environmental condition of the site. This drawing is not to be used for construction purposes until countersigned by the architect.

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

- | DATE | REVISION | BY |
|------------------|---|------|
| 01. FEB.28.2014 | Issued to city for SPA | B.G. |
| 02. JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. MAR.15.2015 | Issued for tender | B.G. |
| 06. DEC.28.2016 | Issued for building permit | B.G. |
| 07. MAY.10.2017 | re-issued for building permit | B.G. |
| 08. MAY.10.2017 | Issued for Footings and Foundation Permit | B.G. |
| 10. JULY.19.2017 | Progress for Construction | B.G. |
| 11. AUG.09.2017 | Issued for Construction | B.G. |
| 12. OCT.25.2017 | Revision to Envelope | B.G. |
| 13. APR.04.2018 | Re-issued for Building Permit | B.G. |



- | DATE | REVISION | BY |
|-----------------|-------------------------------------|------|
| 03. FEB.12.2018 | 313 REVISING OPERABLE WINDOWS | B.G. |
| 02. DEC.07.2017 | 310 SHOWING BARRIER-FREE SYMBOL | B.G. |
| 01. AUG.21.2017 | 3103 SANDBLAST PRECAST ON BALCONIES | B.G. |

Issued for revisions

GRAZIANI & CORAZZA ARCHITECTS INC.
1333 Denison Street, Suite 101, Richmond Hill, Ontario L4B 1C1
Phone: 905.765.2621 Fax: 905.765.2644 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.
ROYAL PINES HOMES

STONEYVILLE ONTARIO
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1134.13

2ND FLOOR ENLARGED PART PLAN

1:50 A302a

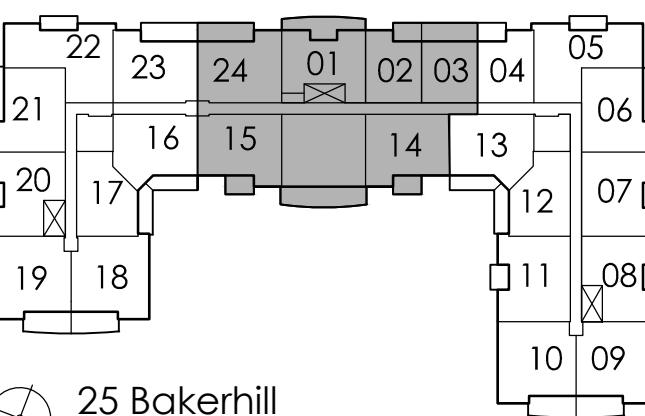
TITLEBLOCK SIZE: 915 x 1400

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

This drawing, as an instrument of service, is provided by and is the property of Grazianni Architects Inc. The architect must verify and accept responsibility for all dimensions and conditions on site and must notify the client of any variations from the approved information. This drawing is not to be used for construction purposes until counterchecked by the architect. Other drawings shall be reviewed and approved by the architect. This drawing is not to be used for construction purposes until counterchecked by the architect.

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- | | | |
|------------------|---|------|
| 01. FEB.28.2014 | issued to city for SPA | B.G. |
| 02. JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. MAR.15.2015 | issued for tender | B.G. |
| 06. DEC.28.2016 | issued for building permit | B.G. |
| 07. MAY.10.2017 | re-issued for building permit | B.G. |
| 08. MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 09. JULY.19.2017 | Progress for Construction | B.G. |
| 10. AUG.09.2017 | issued for Construction | B.G. |
| 11. OCT.25.2017 | Revision to Envelope | B.G. |
| 12. APR.04.2018 | Re-issued for Building Permit | B.G. |



- | | | |
|-----------------|------------------------------------|------|
| 01. FEB.12.2018 | 313 REVISING OPERABLE WINDOWS | B.G. |
| 02. DEC.07.2017 | 3109 GARAGE GATE PIPE SPACE | B.G. |
| 03. AUG.21.2017 | 3103 SANDBLAST PRECAST ON BALCONES | B.G. |

issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1337 Denison Street, Suite 101, Richmond Hill, Ontario L4B 1C1
Phone: 905.765.2621 Fax: 905.765.3544 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

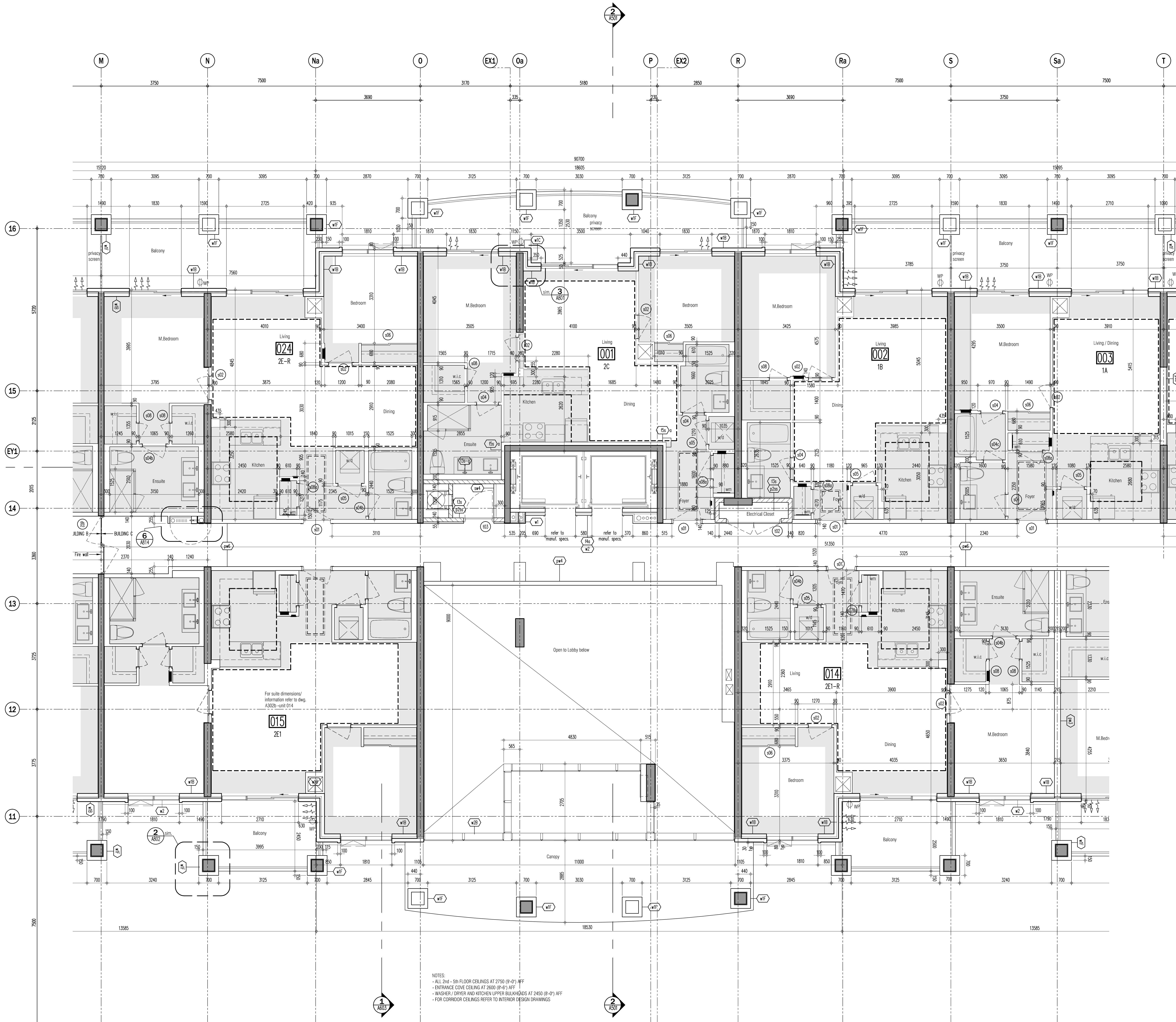
ROYAL PINES HOMES

STONEYVILLE ONTARIO
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.B.ASE
Plot Date: Apr. 4, 2018
Job #: 1134.1.3

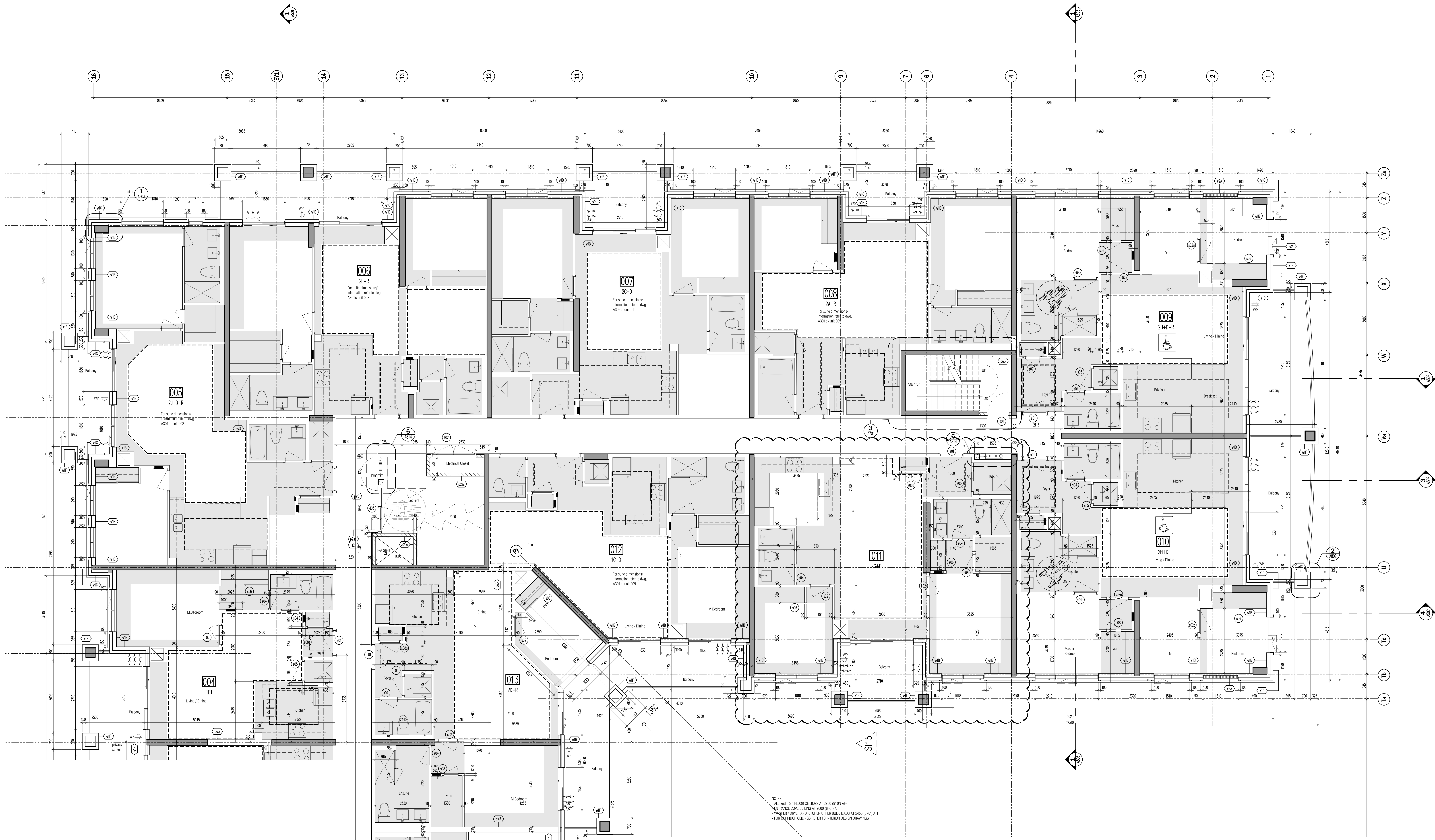
2ND FLOOR ENLARGED
PART PLAN

1:50 A302b

TITLEBLOCK SIZE: 915 x 1400



CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050



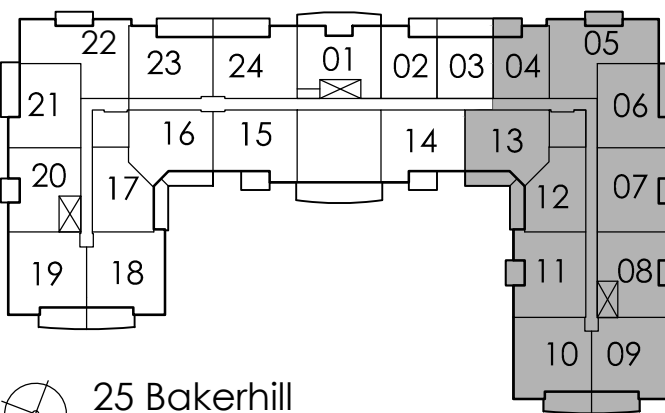
NOTES:
- ALL 2ND-5TH FLOOR CEILINGS AT 2750 (8'-0") AFF
- ENTRANCE CORE CEILING AT 2600 (8'-0") AFF
- VANGUARD DRIVE AND KITCHEN UPPER BULKHEADS AT 2450 (8'-0") AFF
- FOR NON-RESIDENTIAL DEVELOPMENT

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

This drawing, as an instrument of service, is provided by and is the property of G. Grazianni Architects Inc. The architect must retain and accept responsibility for all dimensions and conditions on site and must notify G. Grazianni Architects Inc. of any variations from the approved information. G. Grazianni Architects Inc. is not responsible for the accuracy of any dimensions, materials, methods, etc., appearing on drawings or in the drawings. The architect warrants that the drawings are prepared in accordance with the applicable laws and regulations. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other relevant codes or regulations have been identified or reported on by this office in regard to the environmental condition of this site. This drawing is not to be used for construction purposes until counterchecked by the architect.

This drawing is not to be used for construction purposes until counterchecked by the architect.

- | | | |
|------------------|---|------|
| 01. FEB.28.2014 | Issued to city for SPA | B.G. |
| 02. JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. MAR.15.2015 | Issued for tender | B.G. |
| 06. DEC.28.2016 | Issued for building permit | B.G. |
| 07. MAY.10.2017 | re-issued for building permit | B.G. |
| 08. MAY.10.2017 | Issued for Footings and Foundation Permit | B.G. |
| 10. JULY.19.2017 | Progress for Construction | B.G. |
| 11. AUG.09.2017 | Issued for Construction | B.G. |
| 12. OCT.25.2017 | Revision to Envelope | B.G. |
| 13. APR.04.2018 | Re-issued for Building Permit | B.G. |



25 Baker Hill Blvd.
2nd Floor

- | | | |
|-----------------|------------------------------------|------|
| 04. MAR.28.2018 | 315 NOTAC BAY SUITE REVISION | B.G. |
| 05. FEB.12.2018 | 315 REVISION OPERABLE WINDOWS | B.G. |
| 02. DEC.07.2017 | 310 SHOWING BARRIER-FREE SYMBOL | B.G. |
| 01. AUG.21.2017 | 303 SANDBLAST PRECAST ON BALCONIES | B.G. |

Issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1337 Denison St. Suite 102, Mississauga, Ontario L4Y 1C1
Phone: 905.705.2621 Fax: 905.705.2644 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

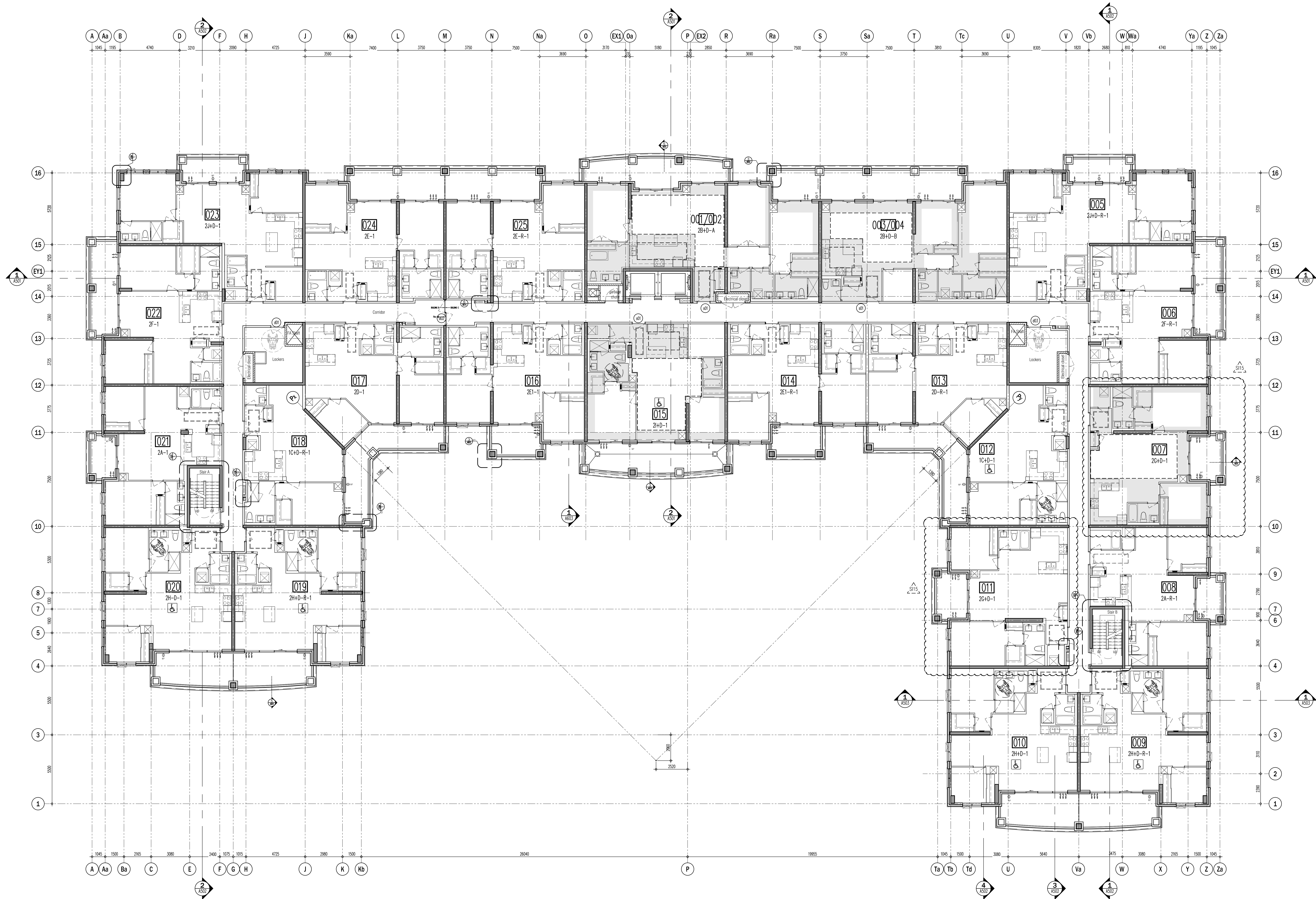
ROYAL PINES HOMES

STUFFVILLE ONTARIO
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D. BIASE
Not Date: Apr. 4, 2018
Job #: 1134.13

2ND FLOOR ENLARGED
PART PLAN

1:50 A302c

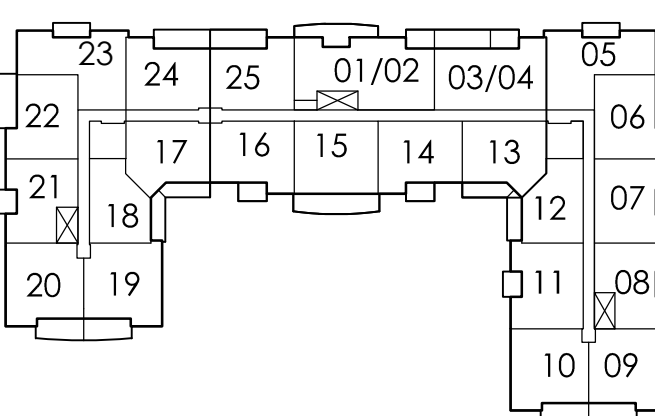
TITLEBLOCK SIZE: 915 x 1400



CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

This drawing, as an instrument of service, is provided by and is the property of GRAZIANI & CORAZZA ARCHITECTS INC. The architect must verify and accept responsibility for all dimensions and conditions on site and must notify GRAZIANI & CORAZZA ARCHITECTS INC. of any variations from the approved information. GRAZIANI & CORAZZA ARCHITECTS INC. is not responsible for the accuracy of any dimensions, materials, methods, etc., appearing on this drawing. The drawing shall be used for the purpose of construction only and shall not be used for any other purpose. Construction must conform to all applicable codes and requirements of the authority having jurisdiction. Other relevant notes to this drawing have been indicated or reported on by this office in regards to the environmental condition of this site. This drawing is not to be used for construction purposes until coordinated by the architect.

- This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.
- | | | | |
|-----|--------------|---|------|
| 01. | FEB.28.2014 | issued to city for SPA | B.G. |
| 02. | JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. | SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. | JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. | MAR.15.2015 | re-issued to city for SPA | B.G. |
| 06. | DEC.28.2016 | issued for tender | B.G. |
| 07. | MAY.10.2017 | re-issued for building permit | B.G. |
| 08. | MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 10. | JULY.19.2017 | Progress for Construction | B.G. |
| 11. | AUG.09.2017 | issued for Construction | B.G. |
| 12. | OCT.25.2017 | Revision to Envelope | B.G. |
| 13. | APR.04.2018 | Re-issued for Building Permit | B.G. |



- | | | | |
|-----|-------------|----------------------------------|----|
| 06. | MAR.29.2018 | 315 NOTAC BAY SUITE REVISION | BG |
| 05. | FEB.12.2018 | 315 REVIEWING OPERABLE WINDOWS | BG |
| 04. | DEC.07.2017 | 310 SHOWING BARRIER-FREE SYMBOL | BG |
| 03. | DEC.07.2017 | 309 GARBAGE CHUTE PPE SPACE | BG |
| 02. | AUG.24.2017 | 302-R1 REVISION TO SUITE NUMBERS | BG |
| 01. | AUG.18.2017 | 302 REVISION TO SUITE NUMBERS | BG |
- issued for revisions

GRAZIANI & CORAZZA ARCHITECTS INC.

1327 Sheppard Ave. E. Suite 105, Willowdale, Ontario M2H 1C1
Phone: 905.765.2621 Fax: 905.765.2644 www.graziani-corr.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STUFFVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D.BIASE

Plot Date: Apr. 4, 2018

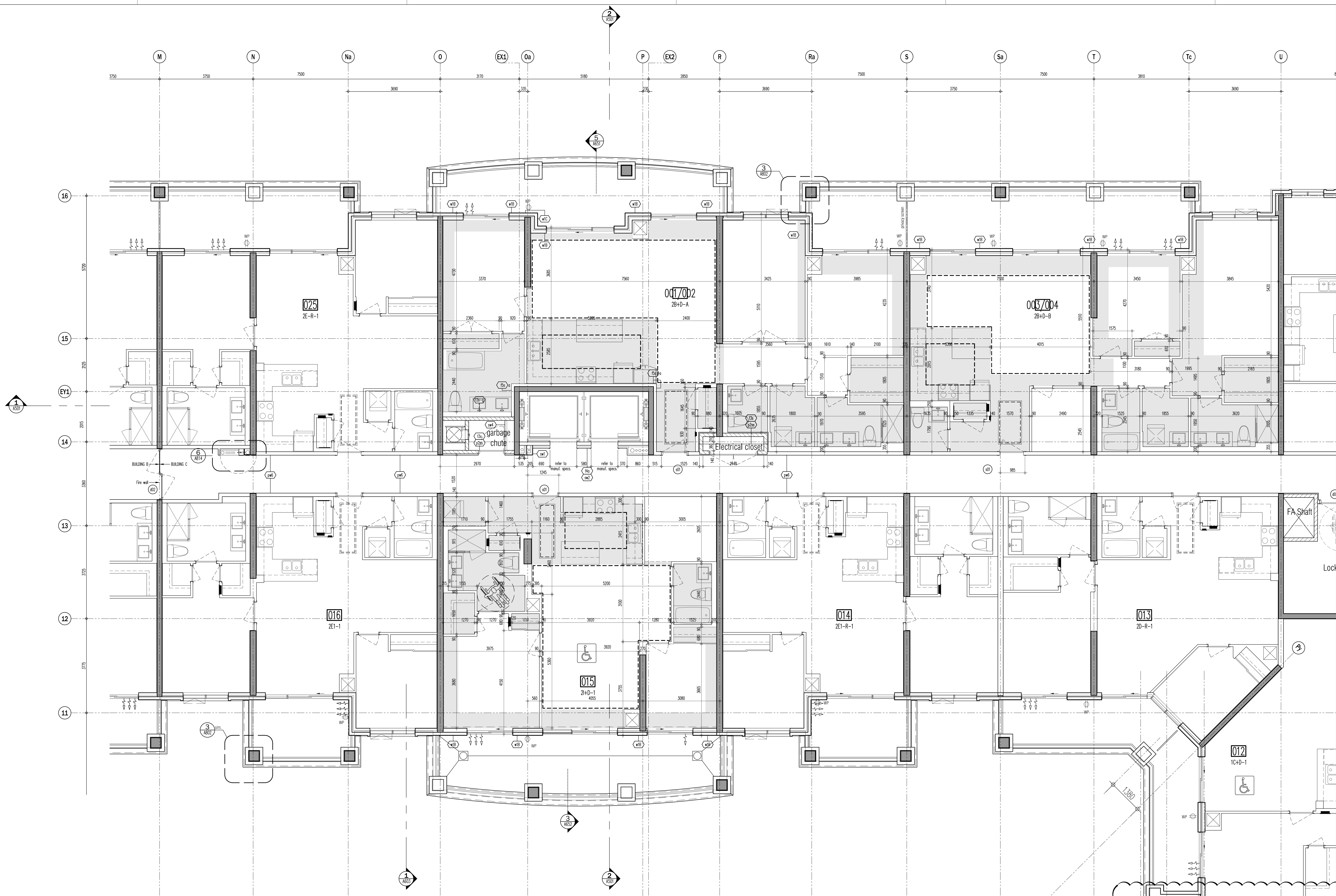
Job #: 1134.13

3rd FLOOR PLAN

OVERALL PLAN

1:100 A303

TITLEBLOCK SIZE: 915 x 1400



Note: Suites are the same as 2nd floor with the exception of units 001/002, 003/004 and 015. For other suite dimensions / information, please refer to dwgs A302b-d.

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

01.	FEB.28.2014	Issued to city for SPA	B.G.
02.	JUL.9.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	Issued for tender	B.G.
06.	DEC.28.2016	Issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.09.2017	Issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.

05

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01/02

03/04

06.

05.

04.

03.

02.

01.

FEB.12.2018

DEC.07.2017

DEC.07.2017

AUG.24.2017

AUG.21.2017

AUG.18.2017

5103 REVIEWING OPERABLE WINDOWS

5110 SHOWING BARRIER-FREE SYMBOL

5109 GARBAGE CHUTE PIPE SPACE

5102-R1 REVISION TO SUITE NUMBERS

5103 SHIMBLAST PRECAST ON BALCONIES

5102 REVISION TO SUITE NUMBERS

BG

BG

BG

BG

BG

BG

Issued for revisions

G

C

GRAZIANI

CORAZZA

ARCHITECTS INC.

1337 Denison Street, Suite 101, Mississauga, Ontario L4Y 1C1
Phone: 905.765.2621 Fax: 905.765.3544 www.graziandcorazza.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STUFFVILLE, ONTARIO

Project Architect:

Assistant Designer:

Drawn By:

Checked By:

Plot Date:

B. GRAZIANI

R. LINCOLN

S.G.

G. COLANGELO/D.BIASE

Apr. 4, 2018

1134.13

Job #

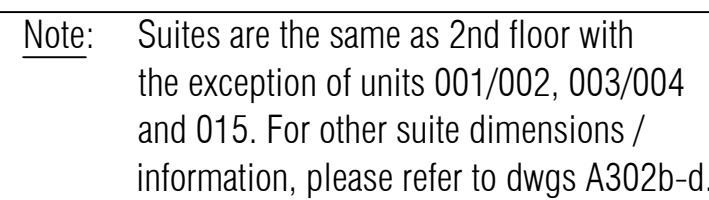
3rd FLOOR PLAN


PARTIAL PLAN

1:50

A303a

TITLEBLOCK SIZE: 915 x 1400

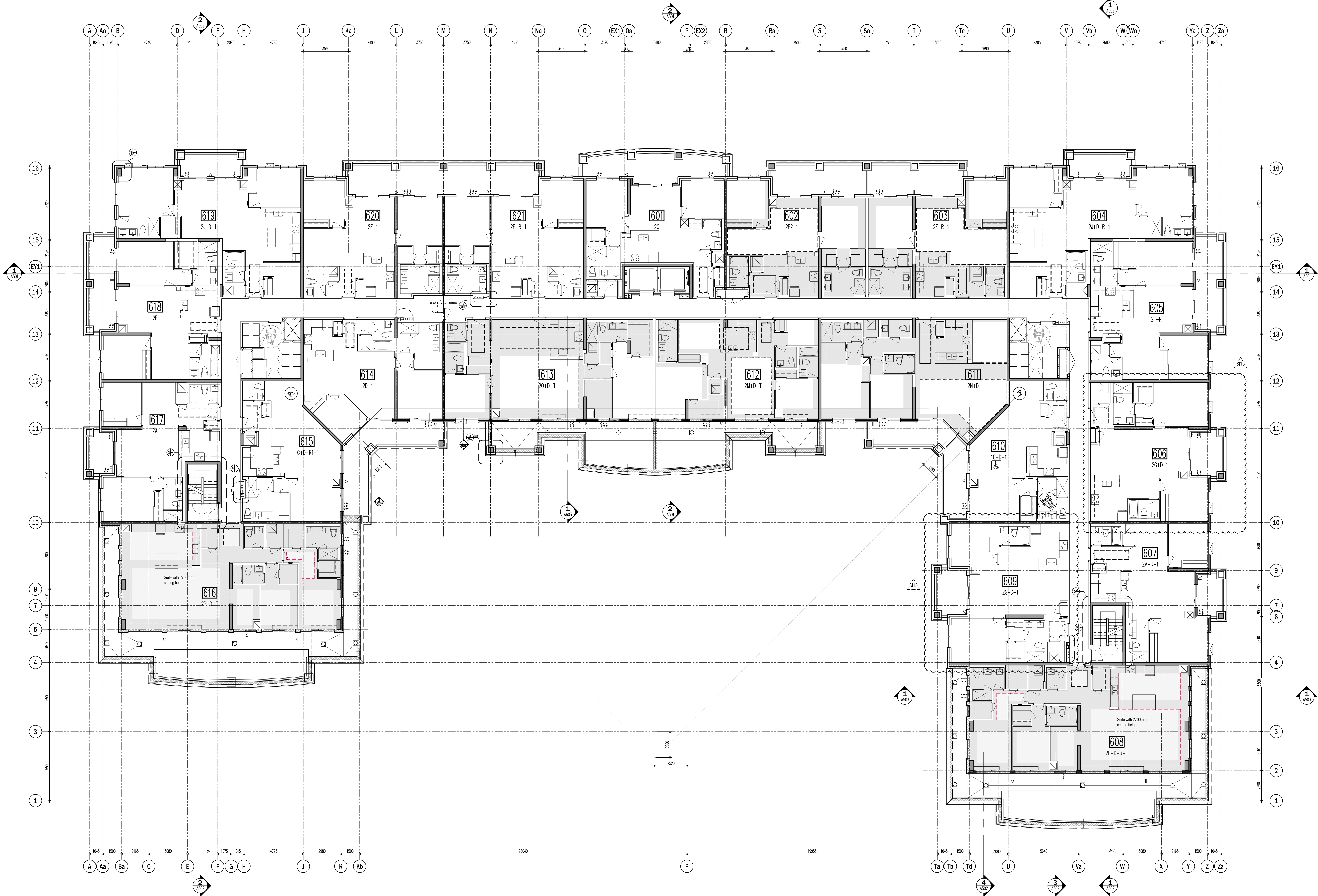


 1:100 A305

TITLEBLOCK SIZE: 915 x 1400

TITLEBLOCK SIZE: 915 x 140

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050



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- This drawing is not to be used for construction purposes until countersigned by the architect.
- | | | | |
|-----|--------------|---|------|
| 01. | FEB.28.2014 | issued to city for SPA | B.G. |
| 02. | JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. | SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. | JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. | MAR.15.2015 | issued for tender | B.G. |
| 06. | DEC.28.2016 | issued for building permit | B.G. |
| 07. | MAY.10.2017 | re-issued for building permit | B.G. |
| 08. | MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 09. | JULY.19.2017 | Progress for Construction | B.G. |
| 10. | AUG.09.2017 | issued for Construction | B.G. |
| 11. | OCT.25.2017 | Revision to Envelope | B.G. |
| 12. | APR.04.2018 | Re-issued for Building Permit | B.G. |

- | | | | |
|-----|-------------|---------------------------------|------|
| 04. | MAR.28.2018 | 315 NOTIFY BAY SUITE REVISION | B.G. |
| 03. | FEB.12.2018 | 315 REVISING OPERABLE WINDOWS | B.G. |
| 02. | DEC.07.2017 | 310 SHOWING BARRIER-FREE SYMBOL | B.G. |
| 01. | DEC.07.2017 | 309 GARAGE CHUTE PIPE SPACE | B.G. |

issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1330 Sheppard Ave. E. Suite 102, Richmond Hill, ON L4B 1C1
Phone: 905.706.2621 Fax: 905.706.3544 www.corazza.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

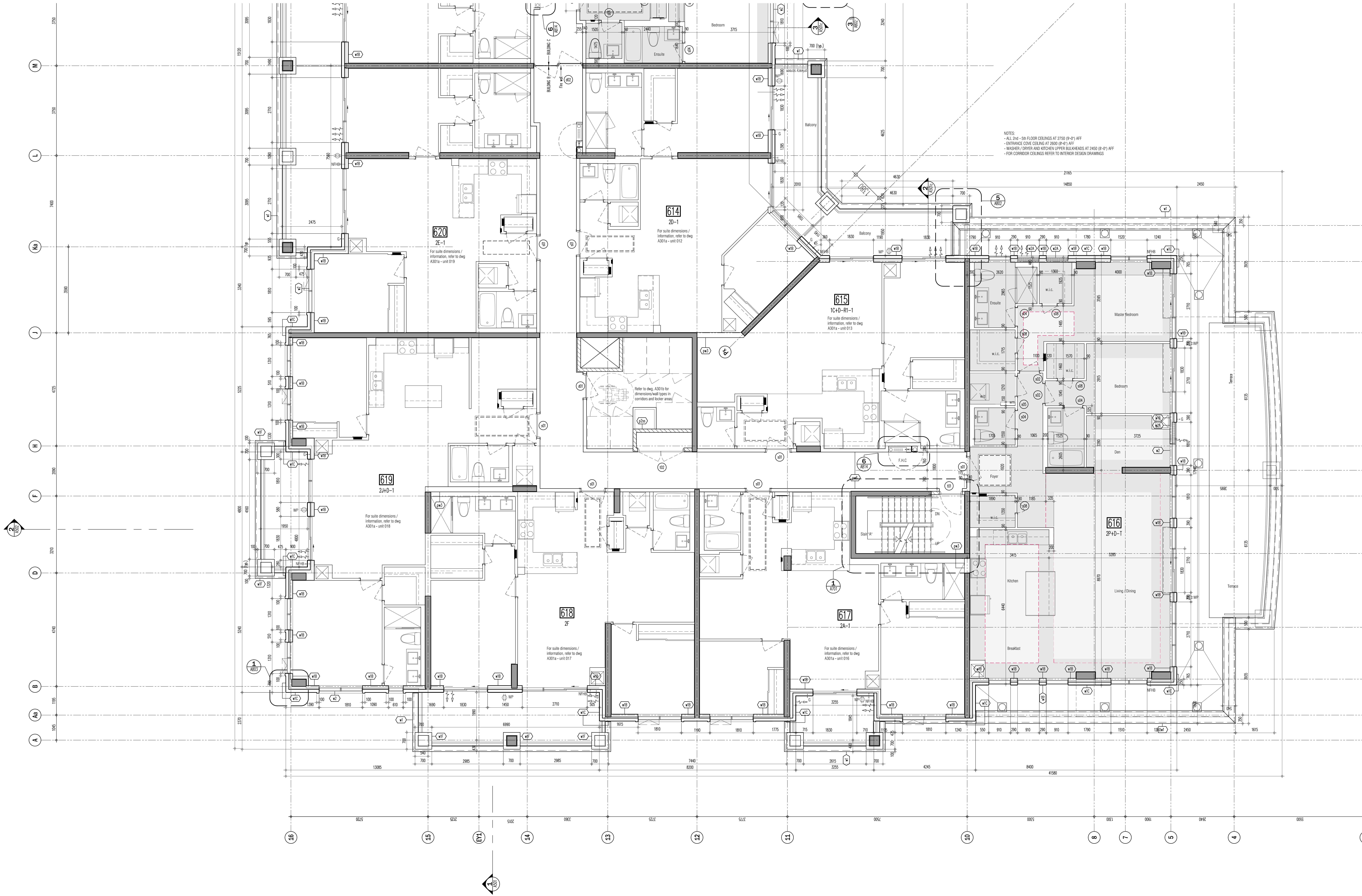
STONEYVILLE ONTARIO

Project Architect: B.GRAZIANI
Assistant Designer: R.LINCOLN
Drawn By: S.G.
Checked By: G.COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1134.13

6TH FLOOR PLAN
OVERALL PLAN

1:100 A306

TITLEBLOCK SIZE: 915 x 1400

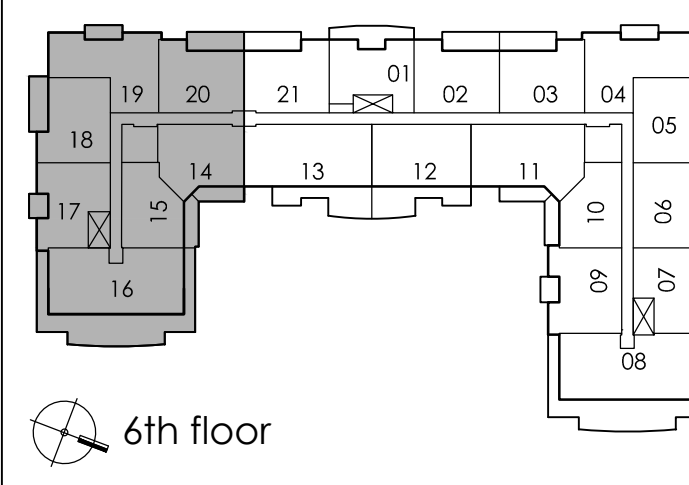


NOTES:
- ALL 2nd - 5th FLOOR CEILINGS AT 2700 (8'-0") AFF
- ENTRANCE CONC. CEILING AT 2600 (8'-6") AFF
- WASHER / DRYER AND KITCHEN UPPER BULKHEADS AT 2450 (8'-0") AFF
- FOR CORRIDOR CEILINGS REFER TO INTERIOR DESIGN DRAWINGS

This drawing, as an instrument of service, is provided by and is the property of G. GRAZIANI & CORAZZA ARCHITECTS INC. The architect must verify and accept responsibility for all dimensions and conditions on site and must verify. G. GRAZIANI & CORAZZA ARCHITECTS INC. is not responsible for the accuracy of any, structural, mechanical, electrical, etc., engineering information shown on this drawing. The structural engineering drawings shall comply with the Ontario Building Code. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other relevant notes on drawings have been indicated or reported on by this office in regard to the environmental condition of this site. This drawing is not to be used for construction purposes until counterchecked by the architect.

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

- | NO. | DATE | DESCRIPTION | BY |
|-----|--------------|---|------|
| 01. | FEB.28.2014 | issued to city for SPA | B.G. |
| 02. | JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. | SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. | JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. | MAR.15.2015 | issued for tender | B.G. |
| 06. | DEC.28.2016 | issued for building permit | B.G. |
| 07. | MAY.10.2017 | re-issued for building permit | B.G. |
| 08. | MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 10. | JULY.19.2017 | Progress for Construction | B.G. |
| 11. | AUG.09.2017 | issued for Construction | B.G. |
| 12. | OCT.25.2017 | Revision to Envelope | B.G. |
| 13. | APR.04.2018 | Re-issued for Building Permit | B.G. |



- | NO. | DATE | DESCRIPTION | BY |
|-----|-------------|------------------------------------|------|
| 02. | FEB.12.2018 | 913 REVIEWING OPERABLE WINDOWS | B.G. |
| 01. | AUG.21.2017 | 5103 SANDBLAST PRECAST ON BALCONES | B.G. |

GRAZIANI
CORAZZA
ARCHITECTS INC.

1337 Denison Ave. Suite 101, Richmond Hill, ON L4B 1C1
Phone: 905.705.2621 Fax: 905.705.2644 www.graziani-corazza.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STUFFVILLE ONTARIO

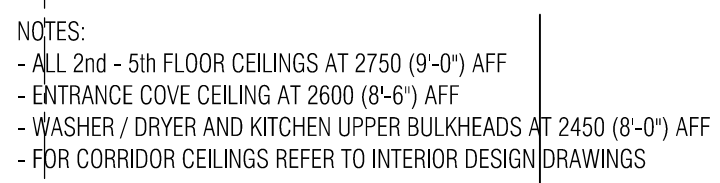
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.B.ASE
Plot Date: Apr. 4, 2018
Job #: 1136.1.3

6TH FLOOR ENLARGED
PART PLAN

1:50 A306a

TITLEBLOCK SIZE: 915 x 1400

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

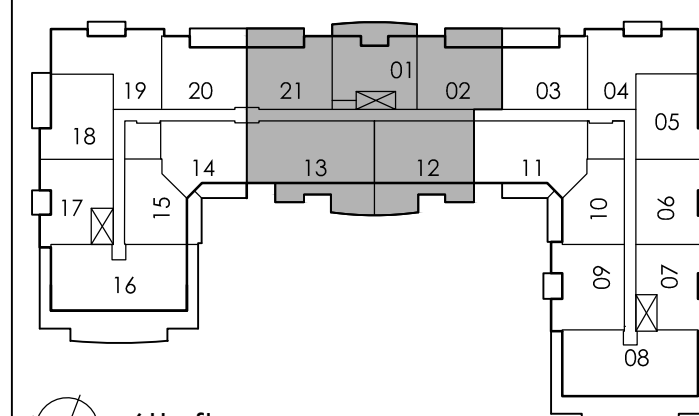


CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

This drawing, as an instrument of service, is provided by and is the property of Gossini & Gossini Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must, notify Gossini & Gossini Architects Inc. of any variations from the supplied information. Gossini & Gossini Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work. Contractor must confirm that all applicable codes and requirements of the authorities having jurisdiction. Should alternate noted, no investigation has been undertaken or reported on by this office in regards to the environmental condition of this site. This drawing is not to be used for construction purposes until countersigned by the Architect.

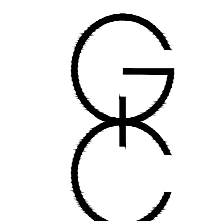
This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.3.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	OCT.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
09.	JULY.19.2017	Progress for Construction	B.G.
10.	AUG.09.2017	Issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.



03.	FEB.12.2018	S13 REVISING OPERABLE WINDOWS	BG
02.	DEC.07.2017	S109 GARBAGE CHUTE PIPE SPACE	BG
01.	AUG.21.2017	S103 SANDBLAST PRECAST ON BALCONIES	BG

issued for revisions:



**GRAZIANI
+
CORAZZA
ARCHITECTS INC.** + +

1520 Sheppard Ave. Suite 108 Woodstock Ontario L4W 1G1
Phone: 905.795.2621 Fax: 905.795.2644 www.gc-architects.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

Project Architect: B.GRAZIANI

Drawn By: S.G.

Checked by: G. COLANGELO/D. BIASI
Plot Date: Apr. 4, 2018

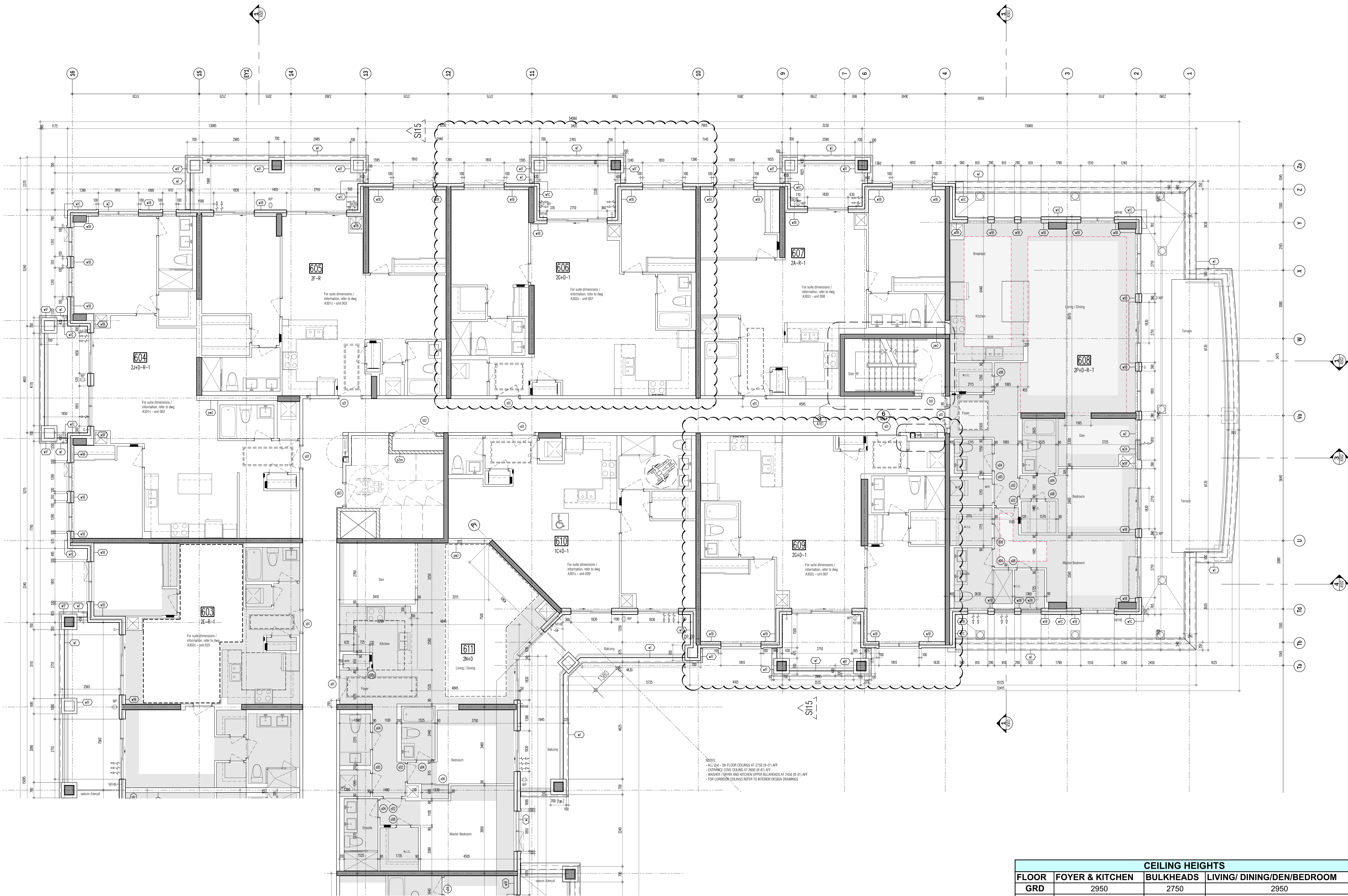
Job # 1136.13

6TH FLOOR ENLARGED
BASE PLAN

1:50 A306b

①

STANDARD SIZE: 210 x 100



NOTES:
- ALL 2ND - 5TH FLOOR CEILINGS AT 2750 (8'-0") AFF
- ENTRANCE DOVE CEILING AT 2800 (8'-6") AFF
- WASHER / DRYER AND KITCHEN UPPER BLANKETS AT 2450 (8'-0") AFF
- FOR COMMUNITY CEILINGS REFER TO INTERIOR DESIGN DRAWINGS

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

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01. FEB.28.2014	Issued to city for SPA	B.G.
02. JUL.9.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	Issued for tender	B.G.
06. DEC.28.2016	Issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
10. JUL.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	Issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

04. MAR.09.2018 315 NOTAC BAY SUITE REVISION B.G.
03. FEB.12.2018 313 REVISING OPERABLE WINDOWS B.G.
02. DEC.07.2017 310 SHOWING OPERABLE-FREE SYMBOL B.G.
01. AUG.21.2017 303 SANDBLAST PRECAST ON BALCONIES B.G.

Issued for revisions

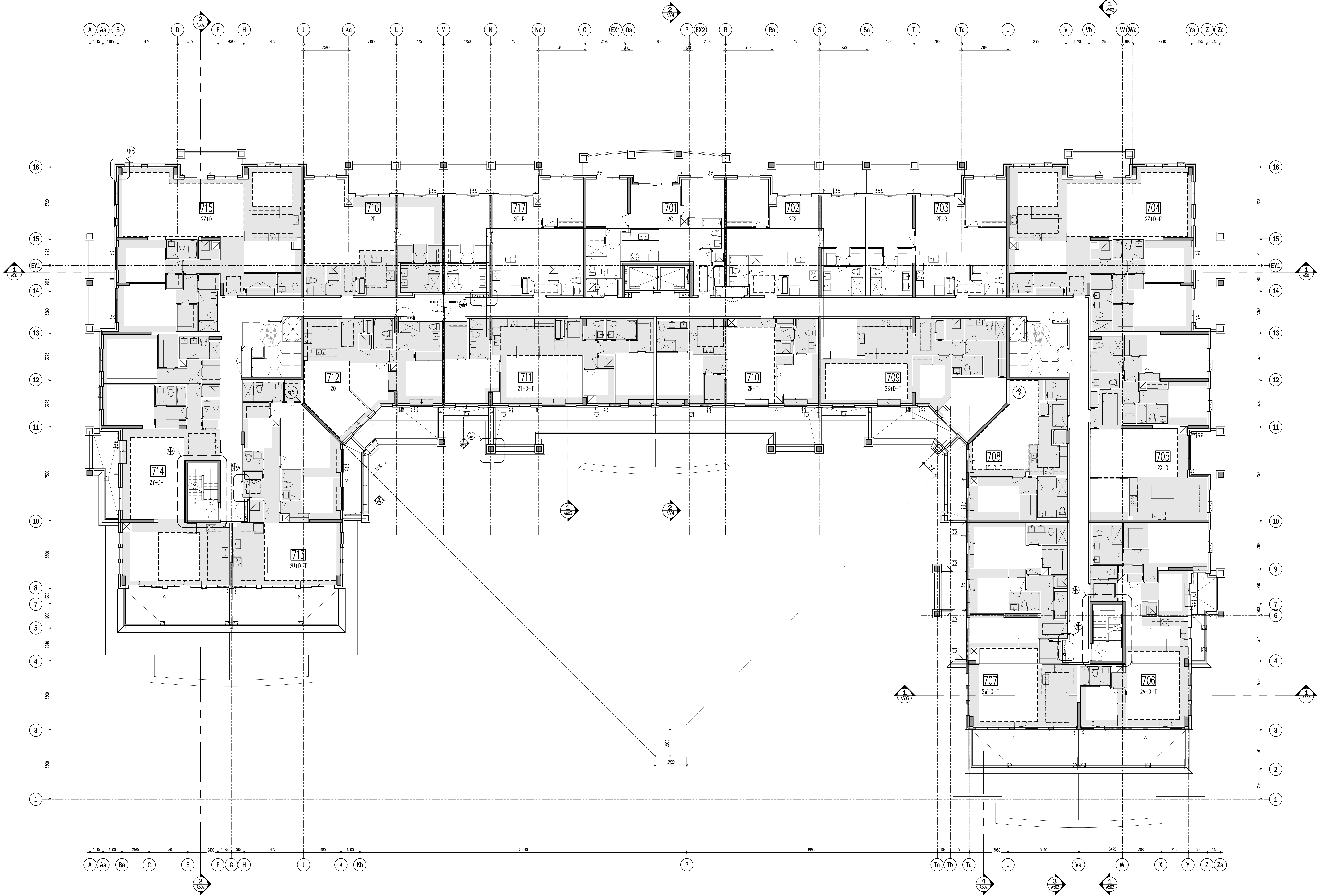
G.R.A.Z.I.A.N.I. & CORAZZANI ARCHITECTS INC.
1337 Denison Street, Suite 102, Mississauga, Ontario L4Y 1C1
Phone: (905) 765-2621 Fax: (905) 765-2644 www.graziani.ca

PROPOSED RESIDENTIAL DEVELOPMENT
25 BAKER HILL BLVD.
ROYAL PINES HOMES
SCUFFVILLE ONTARIO
Project Architect: B.GRAZIANI
Assistant Designer: R.LINCOLN
Drawn By: S.G.
Checked By: G.COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1134.13

6TH FLOOR ENLARGED PART PLAN

1:50 A306c
TITLEBLOCK SIZE: 915 x 1400

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050



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- 01. FEB.28.2014 issued to city for SPA B.G.
- 02. JUL.9.2014 re-issued to city for SPA B.G.
- 03. SEP.11.2014 re-issued to city for SPA B.G.
- 04. JAN.15.2015 re-issued to city for SPA B.G.
- 05. MAR.15.2015 issued for tender B.G.
- 06. DEC.28.2016 issued for building permit B.G.
- 07. MAY.10.2017 re-issued for building permit B.G.
- 08. MAY.10.2017 issued for Footings and Foundation Permit B.G.
- 09. JULY.19.2017 Progress for Construction B.G.
- 10. AUG.09.2017 issued for Construction B.G.
- 11. OCT.25.2017 Revision to Envelope B.G.
- 12. APR.04.2018 Re-issued for Building Permit B.G.

- 02. FEB.12.2018 913 REVIEWING OPERABLE WINDOWS B.G.
- 01. DEC.07.2017 5109 GARAGE CHUTE PIPE SPACE B.G.

issued for revisions



GRAZIANI
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ARCHITECTS INC.

1333 Denison Street, Suite 101, Richmond Hill, Ontario L4B 1C1
Phone: 905.709.2621 Fax: 905.709.3544 www.corazza.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

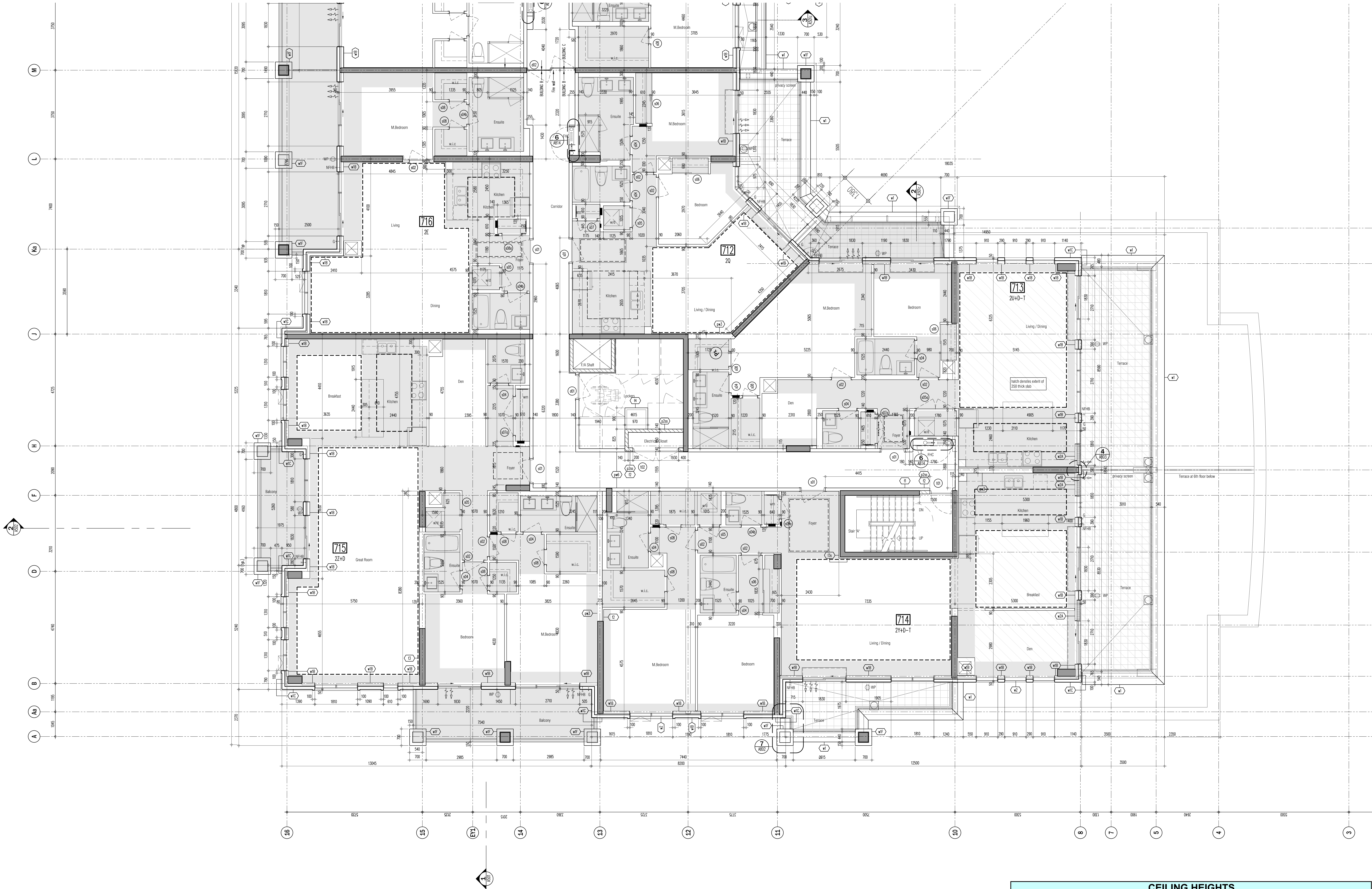
SCUFFVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1136.1.3

7TH FLOOR PLAN
OVERALL LAYOUT

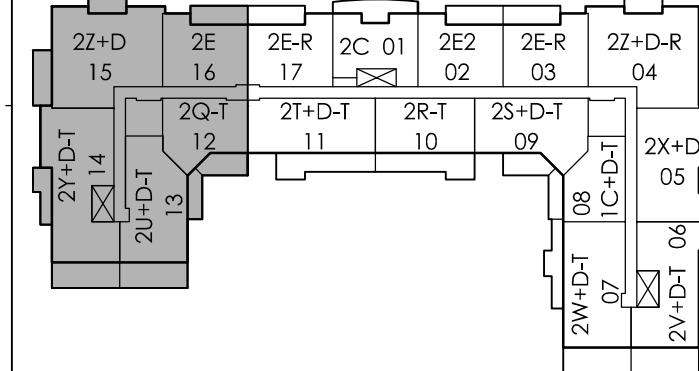
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- This drawing is not to be used for construction purposes until counterchecked by the architect.
- | | | |
|------------------|---|------|
| 01. FEB.28.2014 | issued to city for SPA | B.G. |
| 02. JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. MAR.15.2015 | issued for tender | B.G. |
| 06. DEC.28.2016 | issued for building permit | B.G. |
| 07. MAY.10.2017 | re-issued for building permit | B.G. |
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| 12. OCT.25.2017 | Revision to Envelope | B.G. |
| 13. APR.04.2018 | Re-issued for Building Permit | B.G. |



7th floor

02. FEB.12.2018 913 REVIEWING OPERABLE WINDOWS B.G.
01. AUG.21.2017 3103 SANDBLAST PRECAST ON BALCONIES B.G.
issued for revisions

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1337 Denison Street, Suite 101, Richmond Hill, Ontario L4B 1C1
Phone: 905.705.2621 Fax: 905.705.3544 www.graziandcorazza.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STUFFVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.B.ASE
Plot Date: Apr. 4, 2018
Job #: 1134.13

7TH FLOOR ENLARGED
PART PLAN

1:50 A307a

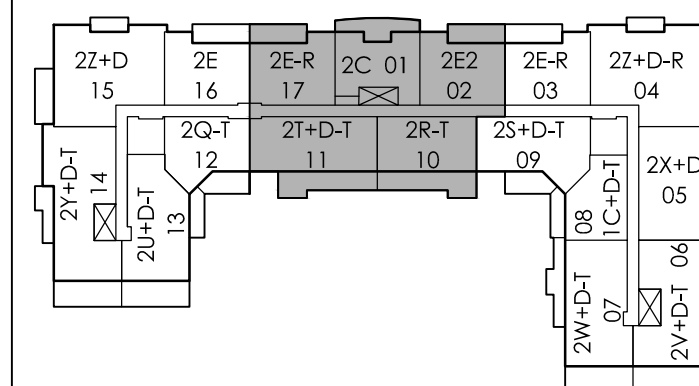
TITLEBLOCK SIZE: 915 x 1400

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

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- | | | | |
|-----|--------------|---|------|
| 01. | FEB.28.2014 | issued to city for SPA | B.G. |
| 02. | JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. | SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. | JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. | MAR.15.2015 | issued for tender | B.G. |
| 06. | DEC.28.2016 | issued for building permit | B.G. |
| 07. | MAY.10.2017 | re-issued for building permit | B.G. |
| 08. | MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 10. | JULY.19.2017 | Progress for Construction | B.G. |
| 11. | AUG.09.2017 | issued for Construction | B.G. |
| 12. | OCT.25.2017 | Revision to Envelope | B.G. |
| 13. | APR.04.2018 | Re-issued for Building Permit | B.G. |



7th floor

- | | | | |
|-----|-------------|------------------------------------|----|
| 01. | FEB.12.2018 | 313 REVISING OPERABLE WINDOWS | BG |
| 02. | DEC.07.2017 | 5109 GARAGE GATE PIPE SPACE | BG |
| 01. | AUG.21.2017 | 3103 SANDBLAST PRECAST ON BALCONES | BG |

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1337 Denison Street, Suite 101, Richmond Hill, Ontario L4B 1C1
Phone: 905.705.2621 Fax: 905.705.2644 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STUFFVILLE ONTARIO

Project Architect: B.GRAZIANI

Assistant Designer: R.LINCOLN

Drawn By: S.G.

Checked By: G.COLANGELO/D.BIASE

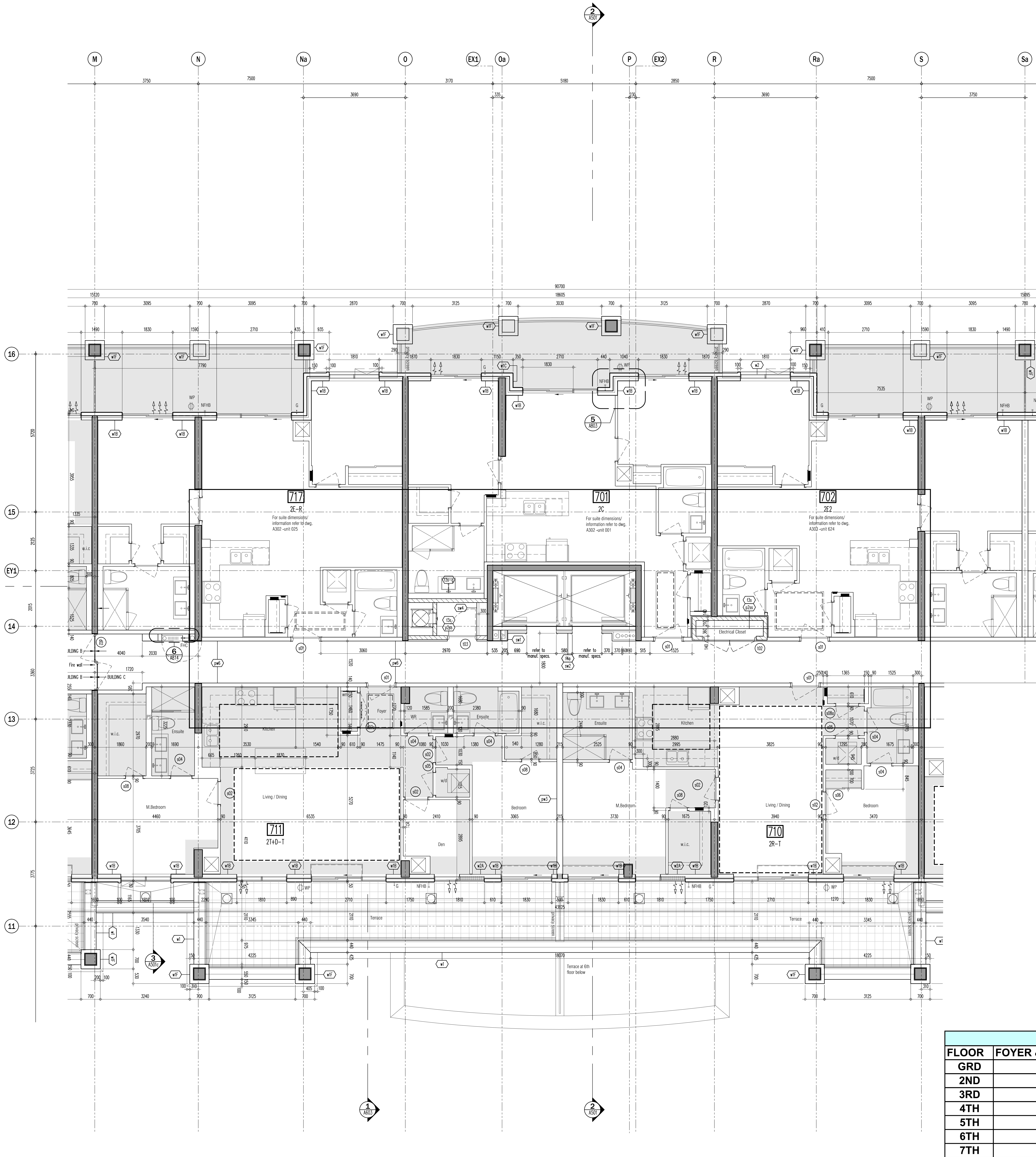
Plot Date: Apr. 4, 2018

Job #: 1134.13

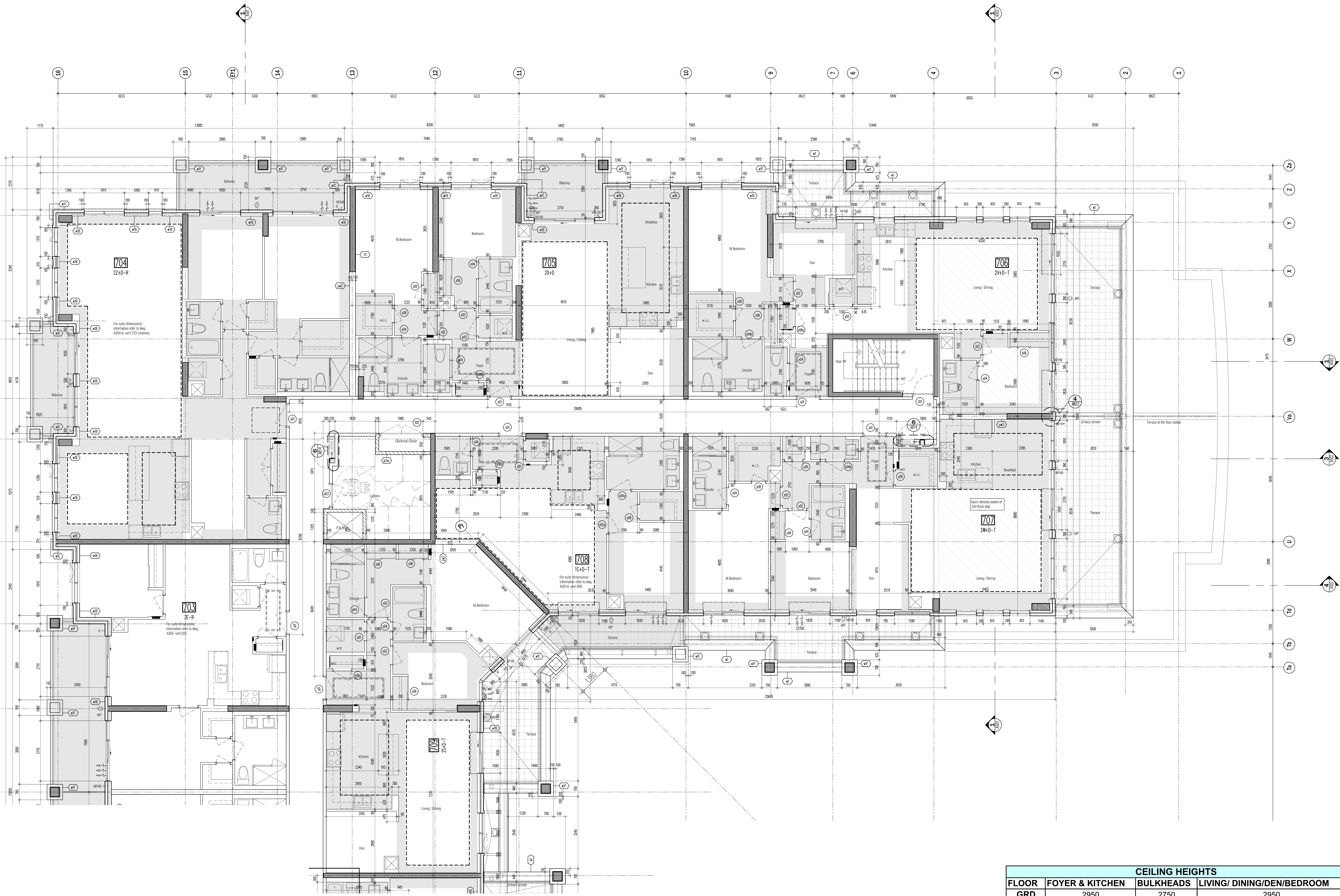
7TH FLOOR ENLARGED PART PLAN

1:50 A307b

TITLEBLOCK SIZE: 915 x 1400



CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050



CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

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01. FEB.28.2014	Issued to city for SPA	B.G.
02. JUL.9.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	Issued for tender	B.G.
06. DEC.28.2016	Issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
10. JUL.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	Issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.24.2018	Re-issued for Building Permit	B.G.

02. FEB.12.2018 913 REWORKING OPERABLE WINDOWS BG
01. AUG.21.2017 5103 SANDBLAST PRECAST ON BALCONIES BG

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CORAZZA
ARCHITECTS INC.

1250 Denison Drive, Suite 101, Mississauga, Ontario L4R 1C1
Phone: 905.762.2600 Fax: 905.762.3444 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

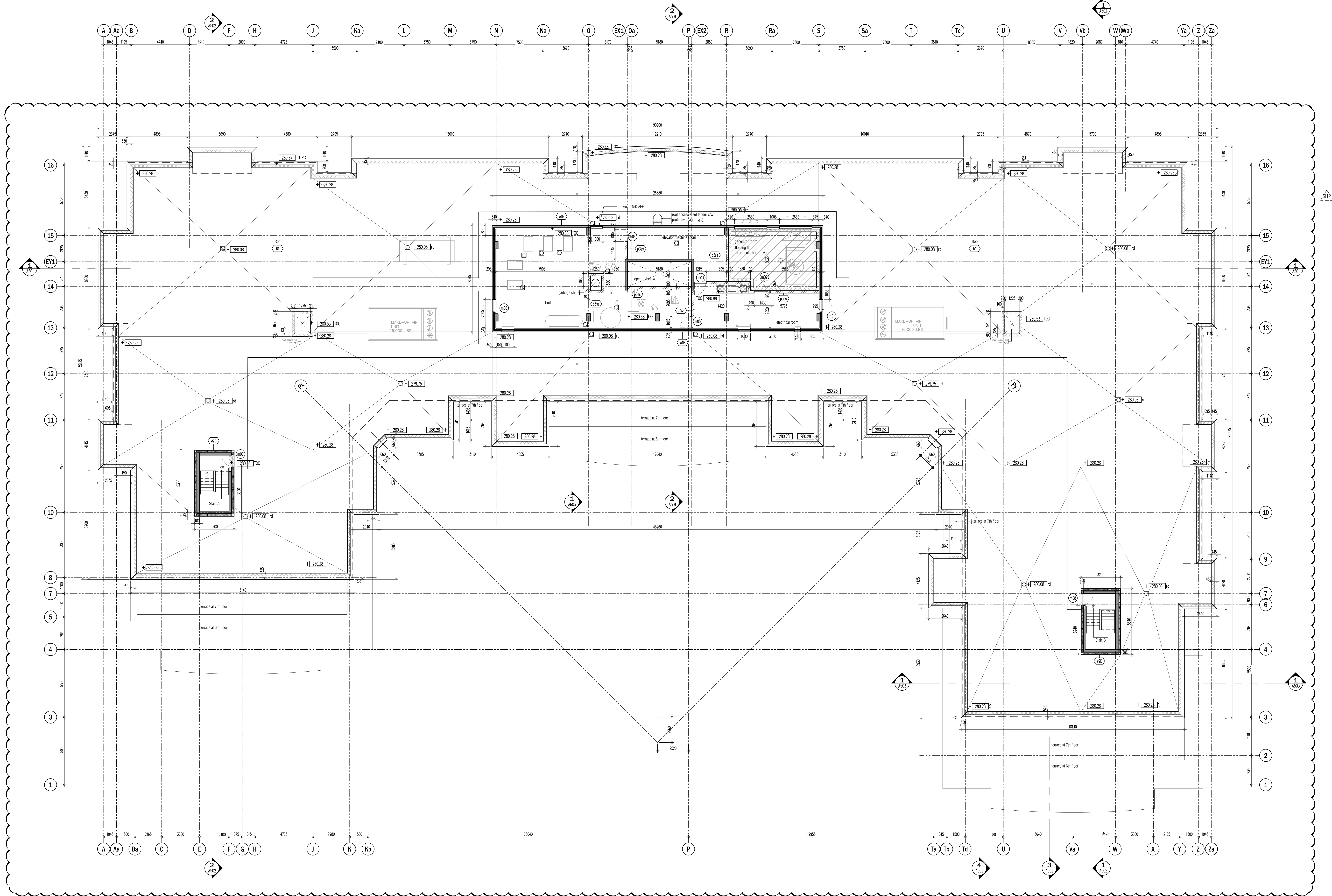
STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D. BIASE
Plot Date: Apr. 4. 2018
Job #: 1134.13

7TH FLOOR ENLARGED PART PLAN

1:50 A307c

1:1000000 SIZE: 915 x 1400



MECHANICAL PENTHOUSE PLAN 1
SCALE: 1/320 A308a

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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

01. FEB.28.2014	issued to city for SPA	B.G.
02. JUL.9.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	issued for tender	B.G.
06. DEC.28.2016	re-issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10. JUL.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	issued for Construction	B.G.
12. OCT.25.2017	Revised to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

02. JAN.30.2018	S' 12 Revised perimeter curb wall	B.G.
01. AUG.18.2017	S' 01 Replace blk. wall with metal stud wall B.G.	

issued for revisions

GRAZZANI
CORAZZI
ARCHITECTS INC.

1329 Denison St. Suite 105, Mississauga, Ontario L4R 1C7
Phone: 905.276.5551 Fax: 905.276.5544 www.g-a-i.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.
ROYAL PINES HOMES
SCOTTERVILLE ONTARIO

Project Architect: B. GRAZANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1136.13

MECHANICAL FLOOR PLAN

This drawing is not to be scaled. All architectural symbols indicated on this drawing or

01.	FEB.29.2014	issued to city for SPA	B.G.
02.	JUL.3.2014	re-issued to city for SPA	B.G.
03.	SEP.1.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
06.	MAR.15.2015	issued for tender	B.G.
08.	OCT.26.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.25.2017	Issued for Construction	B.G.
12.	OCT.09.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.

 $\frac{G}{C} +$

PROPOSED RESIDENTIAL DEVELOPMENT

101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000

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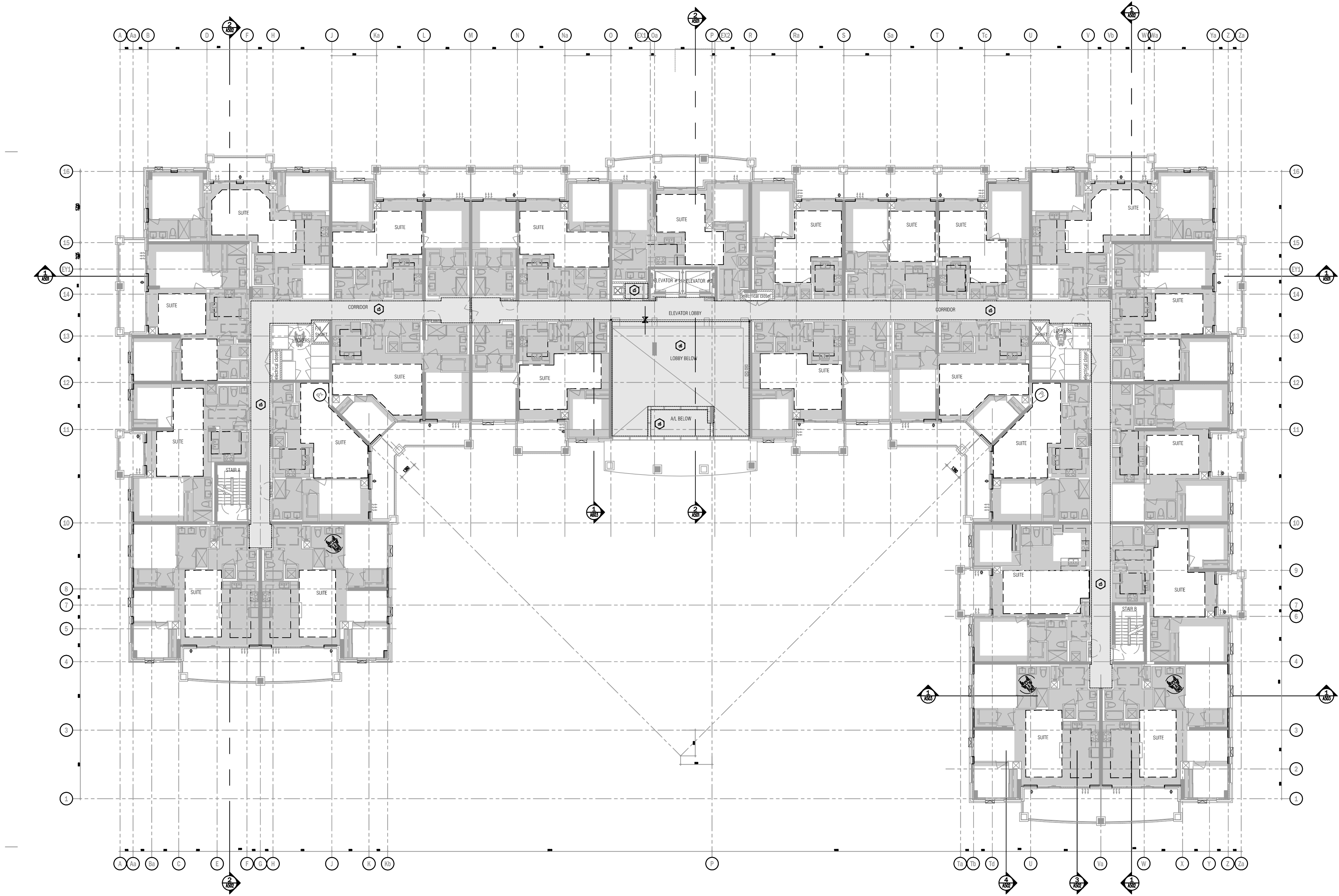
Assistant Designer: R. LINCOLN

Checked By: G.COLANGELO/D.BIASE

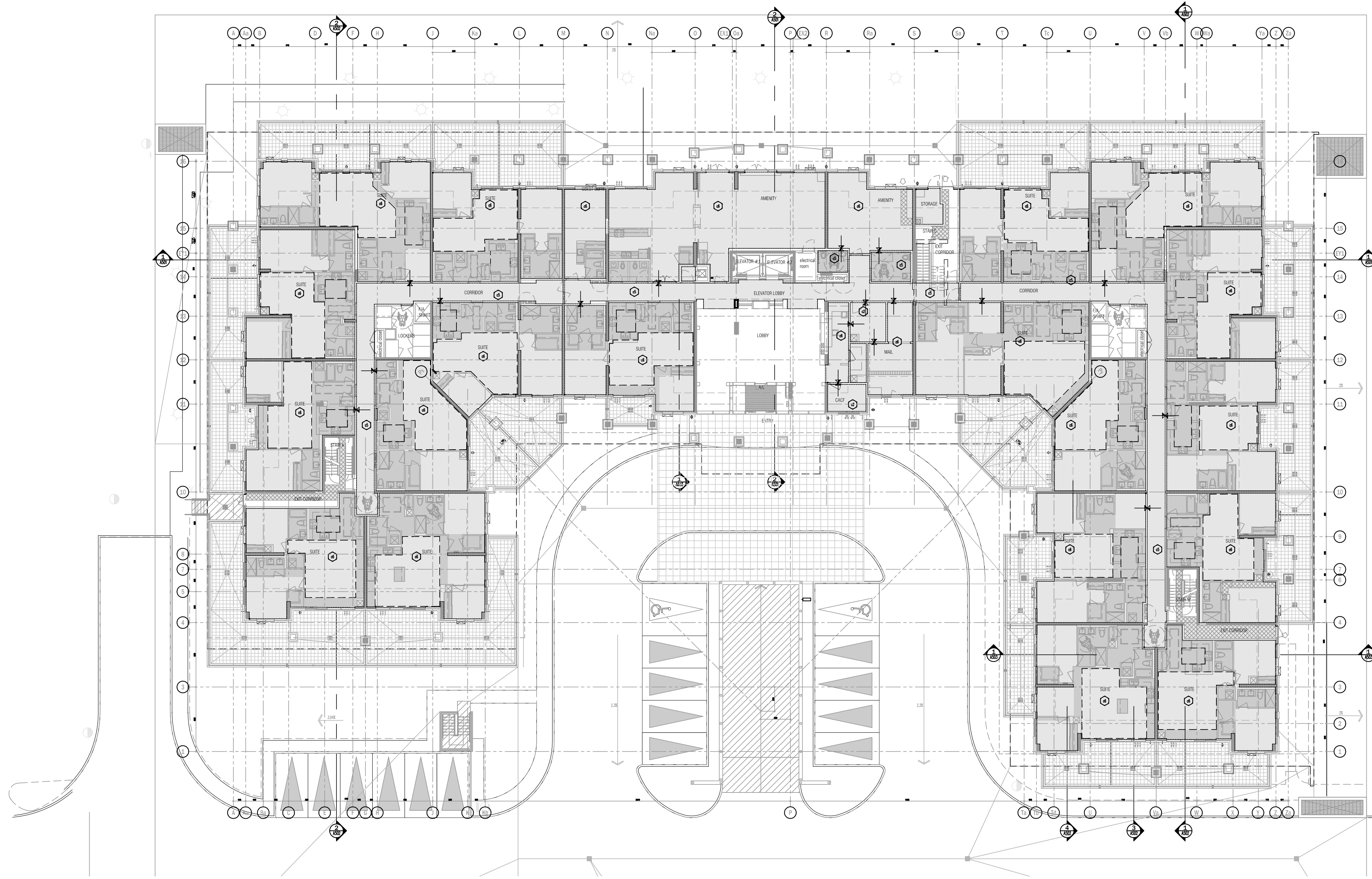
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SECRET

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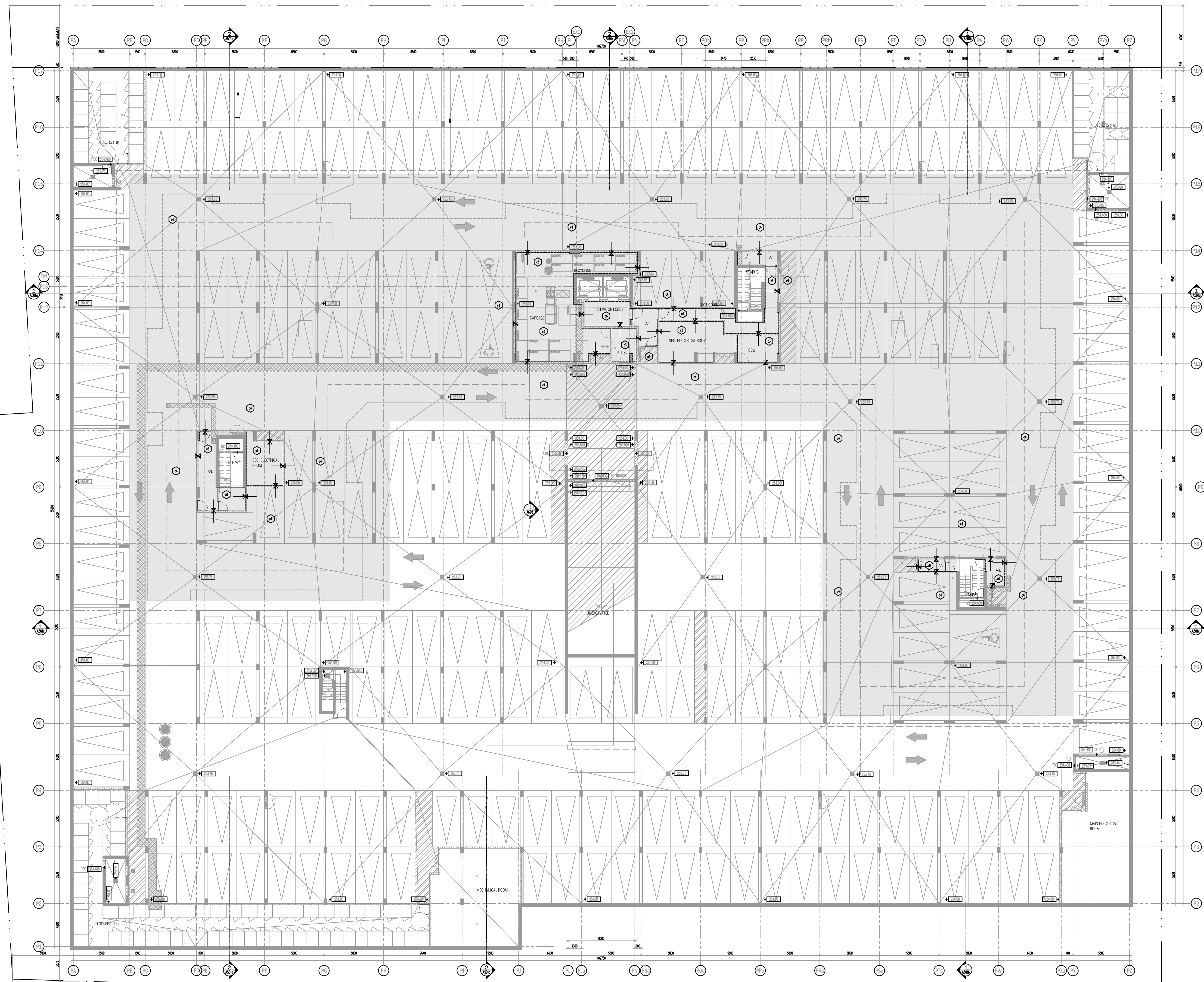


2ND FLOOR REFLECTED CEILING PLAN 3
SCALE - 1/8" = 1'-0" A351



GROUND FLOOR REFLECTED CEILING PLAN 2
SCALE - 1/8" = 1'-0" A351

LEGEND	
	8'0" x 8'0" BLANKET
	9'0" OPTICAL CEILING
	8'10" SLANT CEILING
CEILING HEIGHTS	
0RD FLOOR	
CEILING	2550mm - 8'-9"
ENTRANCE COVE	2550mm - 8'-9"
BRANDSIDE LOW CEILING	2730mm - 9'-0"
2ND-4TH FLOORS	
SLAB CEILING	2750mm - 9'-2"
ENTRANCE COVE	2650mm - 8'-9"
BRANDSIDE LOW CEILING	2650mm - 8'-9"
5th floor	
SLAB	2750mm - 9'-2"
LOWER SLAB	2700mm - 8'-10"
ENTRANCE COVE	2650mm - 8'-9"
WASHROOMS AND BULKHEAD AT UPPER KITCHEN	2450mm - 8'-1"
6th floor	
SLAB	2750mm - 9'-2"
LOWER SLAB	2700mm - 8'-10"
ENTRANCE COVE	2650mm - 8'-9"
WASHROOMS AND BULKHEAD AT UPPER KITCHEN	2450mm - 8'-1"
7th floor	
CEILING	3050mm - 10'-0"
ENTRANCE COVE	2650mm - 8'-9"
WASHROOMS AND BULKHEAD AT UPPER KITCHEN	2750mm - 9'-2"
MECHANICAL	
CEILING	



P1 LEVEL REFLECTED CEILING PLAN 1
SCALE - 1/8" = 1'-0" A351

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02. JUL.9.2014	re-issued to city for SPA	B.G.
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08. MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	Issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

Issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.
1337 Denison Street, Suite 101, Richmond Hill, Ontario L4B 1C1
Phone: 905.765.2671 Fax: 905.765.2644 www.gra-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D.B.ASE

Plot Date: Apr. 4, 2018

Job #: 1134.13

REFLECTED CEILING PLANS
P1/GROUND/2ND

1:200 A351

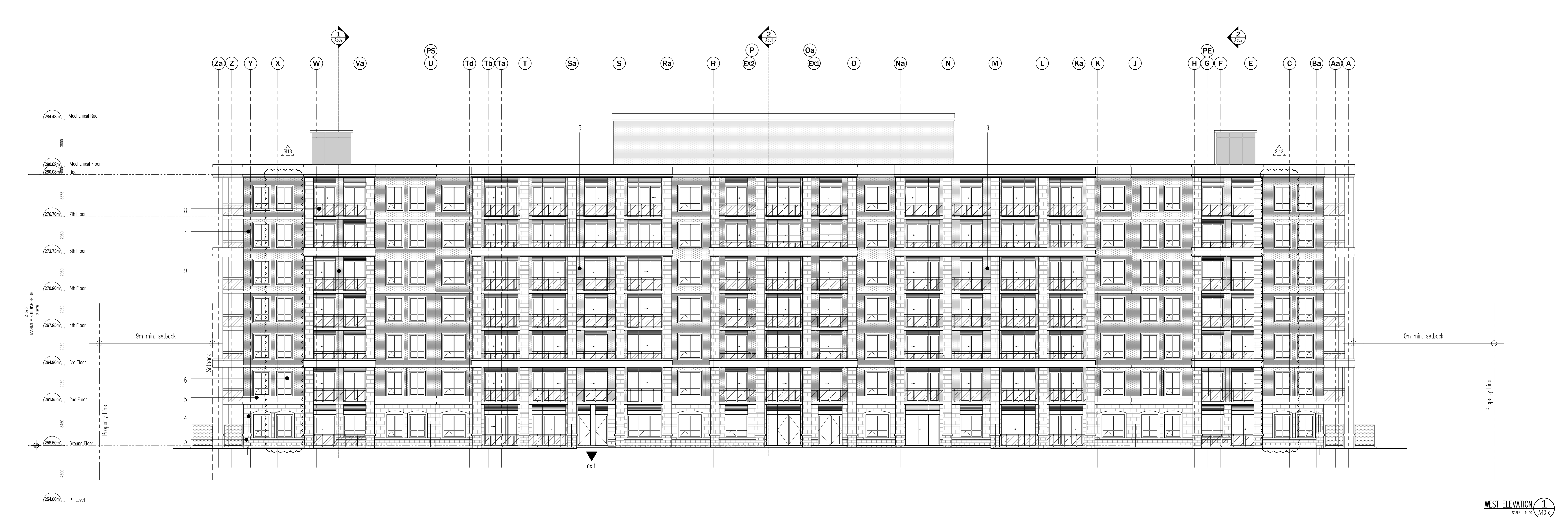
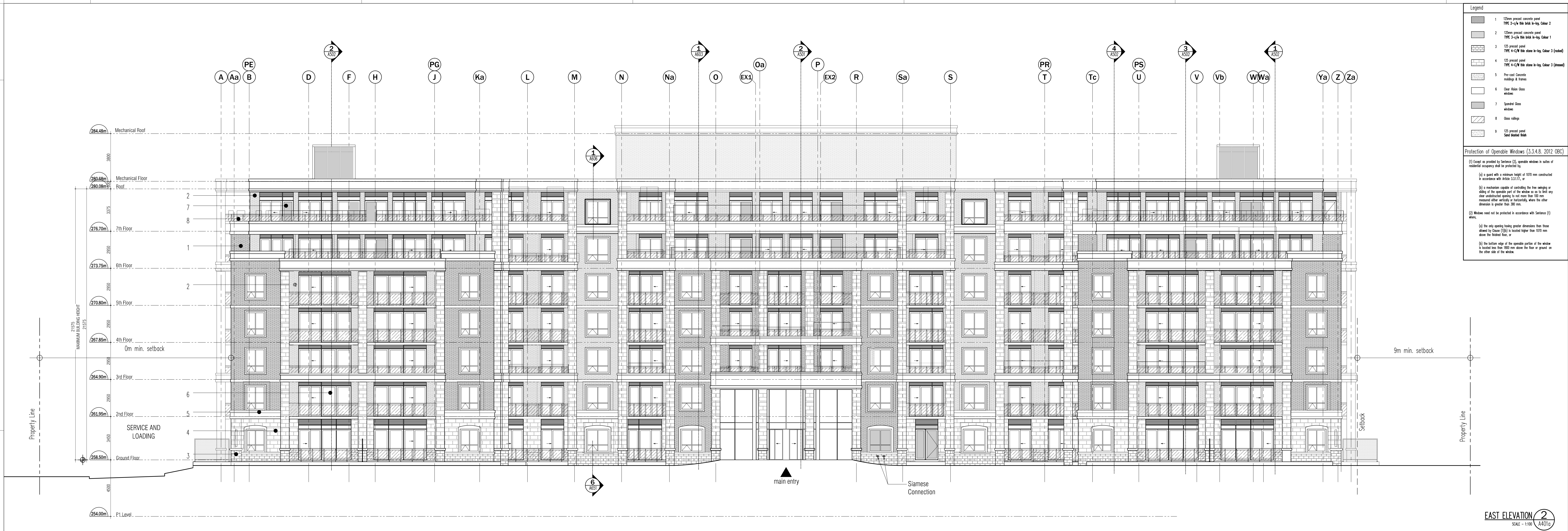
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01.	FEB.29.2014	issued to city for SPA	B.G.
02.	JUL.3.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
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06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.

INTELLIGENCE WEEK 210 X 1920

INTELLIGENCE WEEK 210 X 1920



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09. JULY.19.2017 Progress for Construction B.G.
10. AUG.09.2017 issued for Construction B.G.
11. OCT.25.2017 Revision to Envelope B.G.
12. APR.04.2018 Re-issued for Building Permit B.G.

03. FEB.12.2018 S13 REVISING OPERABLE WINDOWS BG
02. SEPT.06.2017 S16 TRANSOM/BUILDINGS REVISION BG
01. AUG.21.2017 S13 SANDBLAST PRECAST ON BALCONIES BG

issued for revisions

GRAZIANI CORAZZANI ARCHITECTS INC.
1333 Denison Street, Suite 100, Richmond Hill, Ontario L4B 1C1
Phone: 905.709.2621 Fax: 905.709.2644 www.grazzianicorazzani.com

PROPOSED RESIDENTIAL DEVELOPMENT
25 BAKER HILL BLVD.
ROYAL PINES HOMES
STONEYVILLE ONTARIO
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1136.1.3

**ELEVATIONS
EAST AND WEST**

1:100 A401a

TITLEBLOCK SIZE: 915 x 1400

Legend

- 1 12mm precast concrete panel
TYPE 2-4/8 Bbs slab in-situ, Color 2
- 2 15mm precast concrete panel
TYPE 2-4/8 Bbs slab in-situ, Color 1
- 3 125 precast panel
TYPE 4-4/8 Bbs slab in-situ, Color 3 (insulated)
- 4 125 precast panel
TYPE 4-4/8 Bbs slab in-situ, Color 3 (insulated)
- 5 Pre-cast Concrete
masonry & frames
- 6 Clear Vision Glass
windows
- 7 Spandrel Glass
windows
- 8 Glass railings
- 9 125 precast panel
Steel Insulated Slab

Protection of Operable Windows (3.3.4.8, 2012 CBC)

(1) Except as provided by Sentence (2), operable windows in walls of residential occupancy shall be protected by:

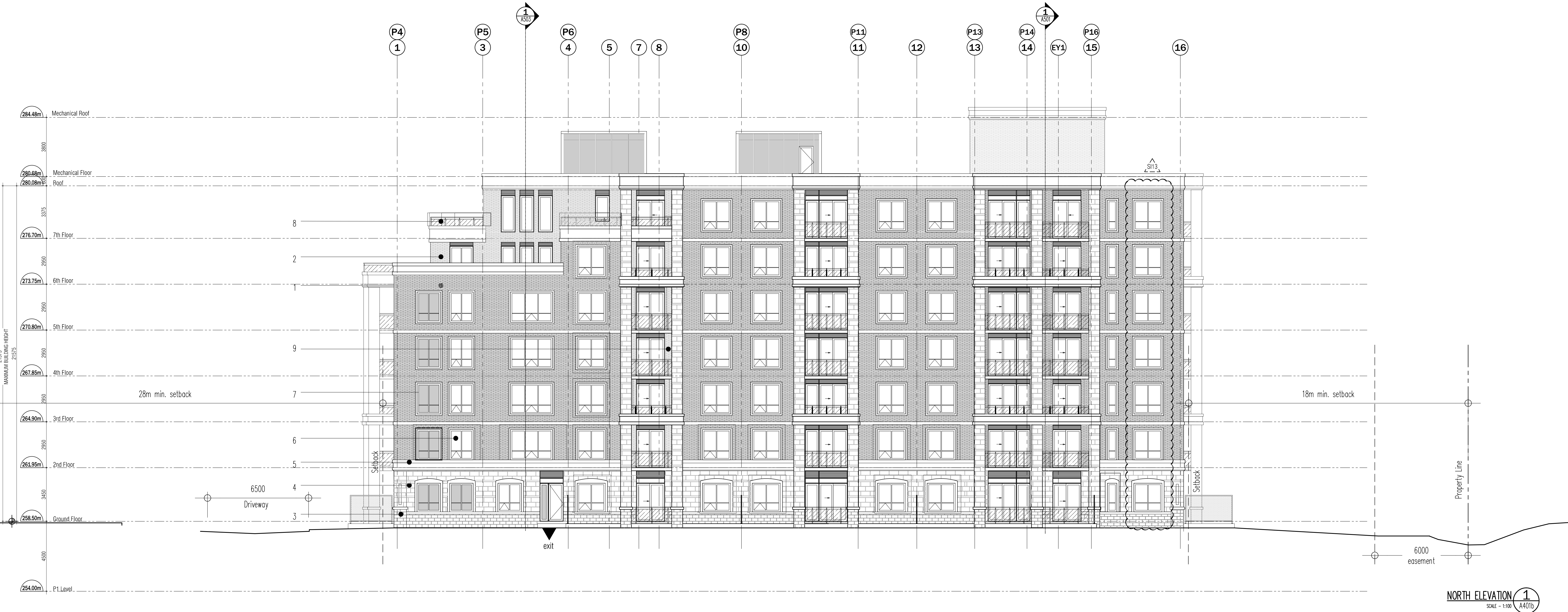
(a) a glass with a minimum height of 1070 mm constructed in accordance with AS/NZS 2211.1, or

(b) a mechanism capable of controlling the free swinging or sliding of the operable part of the window so as to limit any clear unobstructed opening to not more than 100 mm measured either vertically or horizontally, where the other dimension is greater than 300 mm.

(2) Windows need not be protected in accordance with Sentence (1) where:

(a) the only opening having greater dimensions than those allowed by Clause (1)(b) is located higher than 1000 mm above the finished floor, or

(b) the bottom edge of the operable portion of the window is located less than 900 mm above the floor or ground on the other side of the window.



NORTH ELEVATION 1
SCALE - 1/400



SOUTH ELEVATION 1
SCALE - 1/400

This drawing, as an instrument of service, is provided by and is the property of Grazianni & Corazza Architects Inc. The architect must verify and accept responsibility for all dimensions and conditions on site and must notify Grazianni & Corazza Architects Inc. of any variations from the approved drawings. Grazianni & Corazza Architects Inc. is not responsible for the accuracy of any structural, mechanical, electrical, etc., engineering information shown on this drawing. The structural engineering drawings shall prevail over the architectural drawings. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other otherwise noted, no investigation has been undertaken or reported on by this office in regard to the environmental condition of this site. This drawing is not to be used for construction purposes until counterchecked by the architect.

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

01. FEB.28.2014	Issued to city for SPA	B.G.
02. JUL.9.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	Issued for tender	B.G.
06. DEC.28.2016	Issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	Issued for Construction	B.G.
12. OCT.25.2017	Revised to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

03. FEB.12.2018 3013 REVISING OPERABLE WINDOWS B.G.

02. SEPT.06.2017 3016 TRANSMISSION/BUILDINGS REVISION B.G.

01. AUG.21.2017 3013 SANDBLAST PRECAST ON BALCONIES B.G.

Issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1337 Denison Street, Suite 101, Richmond, Ontario L4B 1C1
Phone: (905) 765-2621 Fax: (905) 765-2644 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D. BIASE

Plot Date: Apr. 4, 2018

Job #: 1136.13

ELEVATIONS
NORTH AND SOUTH

Legend

1

12mm precast concrete panel
TYPE 2-4/8 Ribbed In-Situ, Color 2

2

15mm precast concrete panel
TYPE 2-4/8 Ribbed In-Situ, Color 1

3

125 precast panel
TYPE 4-1/2/8 Ribbed In-Situ, Color 3 (insulated)

4

125 precast panel
TYPE 4-1/2/8 Ribbed In-Situ, Color 3 (insulated)

5

Pre-cast Concrete
masonry & frames

6

Clear Vision Glass
windows

7

Specialty Glass
windows

8

Glass railings

9

125 precast panel
Steel Reinforced Slab

Protection of Operable Windows (3.3.4.8, 2012 CBC)

(1) Except as provided by Sentence (2), operable windows in walls of residential occupancy shall be protected by:

(a) a panel with a minimum height of 1075 mm constructed in accordance with ASCE 3.11.11, or

(b) a mechanism capable of controlling the free swinging or sliding of the operable part of the window so as to limit any clear unobstructed opening to not more than 100 mm measured either vertically or horizontally, where the other dimension is greater than 300 mm.

(2) Windows need not be protected in accordance with Sentence (1) where:

(a) the only opening having greater dimensions than those allowed by Clause (1)(b) is located higher than 1000 mm above the finished floor, or

(b) the bottom edge of the operable portion of the window is located less than 1000 mm above the floor or ground on the other side of the window.

COURTYARD NORTH FACING ELEVATION 1
SCALE - 1/8" = 1'-0" A401c

COURTYARD SOUTH FACING ELEVATION 1
SCALE - 1/8" = 1'-0" A401c

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01. FEB.28.2014 issued to city for SPA B.G.

02. JUL.9.2014 re-issued to city for SPA B.G.

03. SEP.11.2014 re-issued to city for SPA B.G.

04. JAN.15.2015 re-issued to city for SPA B.G.

05. MAR.15.2015 issued for tender B.G.

06. DEC.28.2016 issued for building permit B.G.

07. MAY.10.2017 re-issued for building permit B.G.

08. MAY.10.2017 issued for Footings and Foundation Permit B.G.

10. JULY.19.2017 Progress for Construction B.G.

11. AUG.09.2017 re-issued for Construction B.G.

12. OCT.25.2017 Revision to Envelope B.G.

13. APR.04.2018 Re-issued for Building Permit B.G.

03. FEB.12.2018 3013 REVISING OPERABLE WINDOWS BG

02. SEPT.06.2017 3016 TRANSFORM/BUILDINGS REVISION BG

01. AUG.21.2017 3013 SANDBLAST PRECAST ON BALCONIES BG

issued for revisions

+

+

GRAZIANI + CORAZZA ARCHITECTS INC.

1337 Denison Street, Suite 102, Richmond Hill, Ontario L4B 1C1
Phone: 905.705.2671 Fax: 905.705.3544 www.gca-architect.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STUFFVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D.BIASE

Plot Date: Apr. 4, 2018

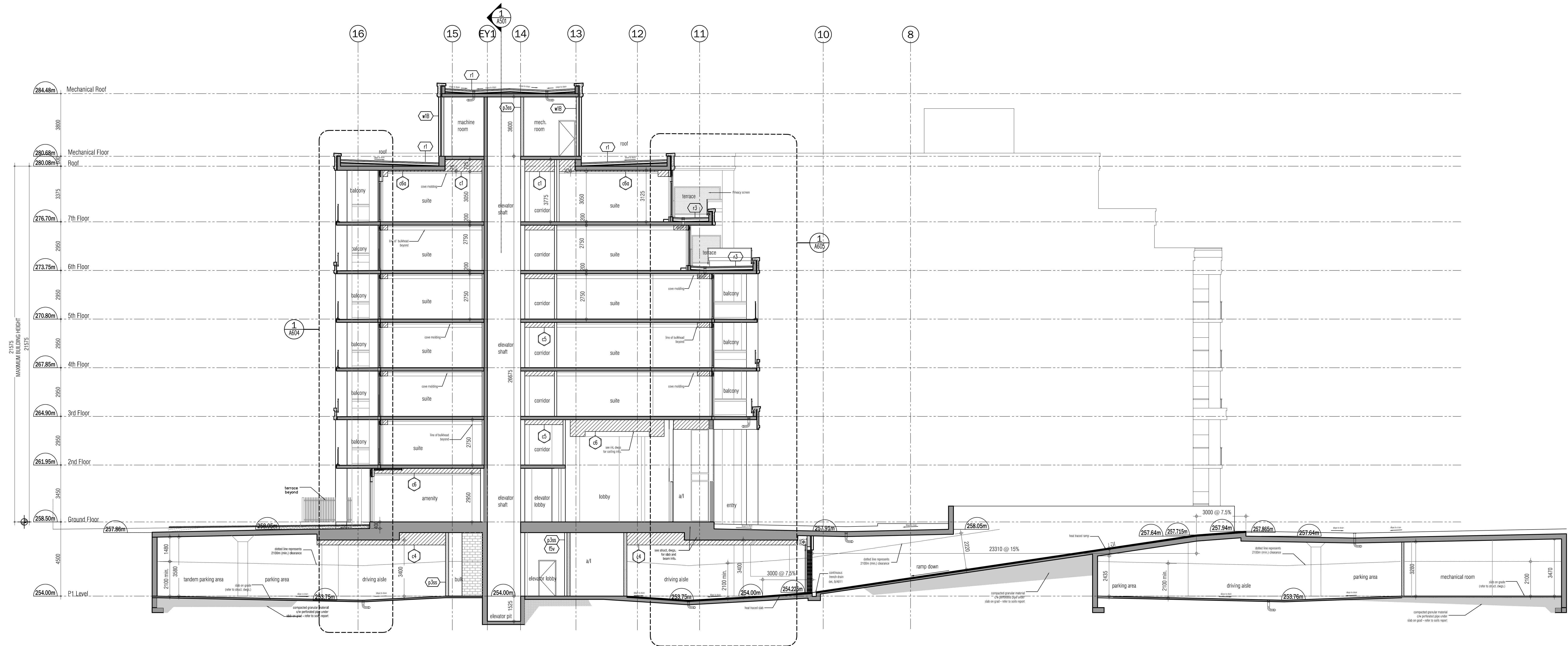
Job #: 1134.13

COURTYARD ELEVATIONS

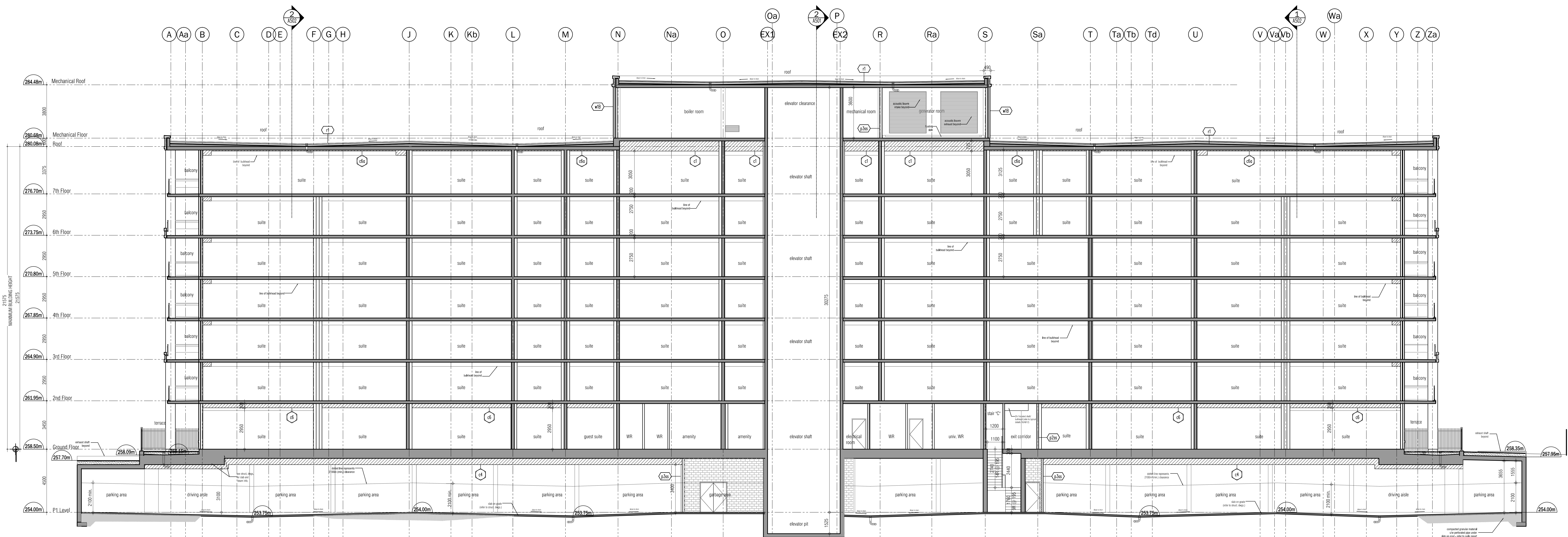
NORTH AND SOUTH FACING

1:100 A401c

TITLEBLOCK SIZE: 915 x 1400



BUILDING SECTION 2
SCALE - 1:100



BUILDING SECTION 1
SCALE - 1:100

This drawing, as an instrument of service, is provided by and is the property of Grazianni & Corazza Architects Inc. The architect must verify and accept responsibility for all dimensions and conditions on site and must notify Grazianni & Corazza Architects Inc. of any variations from the approved drawings. Grazianni & Corazza Architects Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. While the architect warrants against errors and omissions in the drawing, construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other drawings shall be reviewed prior to construction or approval on by this office in regard to the environmental condition of this site. This drawing is not to be used for construction purposes until counterchecked by the architect.

This drawing is not to be used. All architectural symbols indicated on this drawing or graphic representations only.			
01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.9.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
09.	JULY.19.2017	Progress for Construction	B.G.
10.	AUG.09.2017	issued for Construction	B.G.
11.	OCT.25.2017	Revision to Envelope	B.G.
12.	APR.04.2018	Re-issued for Building Permit	B.G.

04.	OCT.25.2017	5108 WINDOW/SPRAY FOAM INSULATION	B.G.
05.	SEP.10.2017	5106 TRANSOM/BALCONIES REVISION	B.G.
06.	AUG.25.2017	5104 EXTENDED GRD. STRUCTURAL SLOTT	B.G.
07.	AUG.21.2017	5103 SANDBLAST PRECAST ON BALCONIES	B.G.

issued for revisions

GRAZIANI & CORAZZA ARCHITECTS INC.
1327 Denison Street, Suite 102, Mississauga, Ontario L4R 1C1
Phone: 905.705.2621 Fax: 905.705.3544 www.grazzianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.
ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

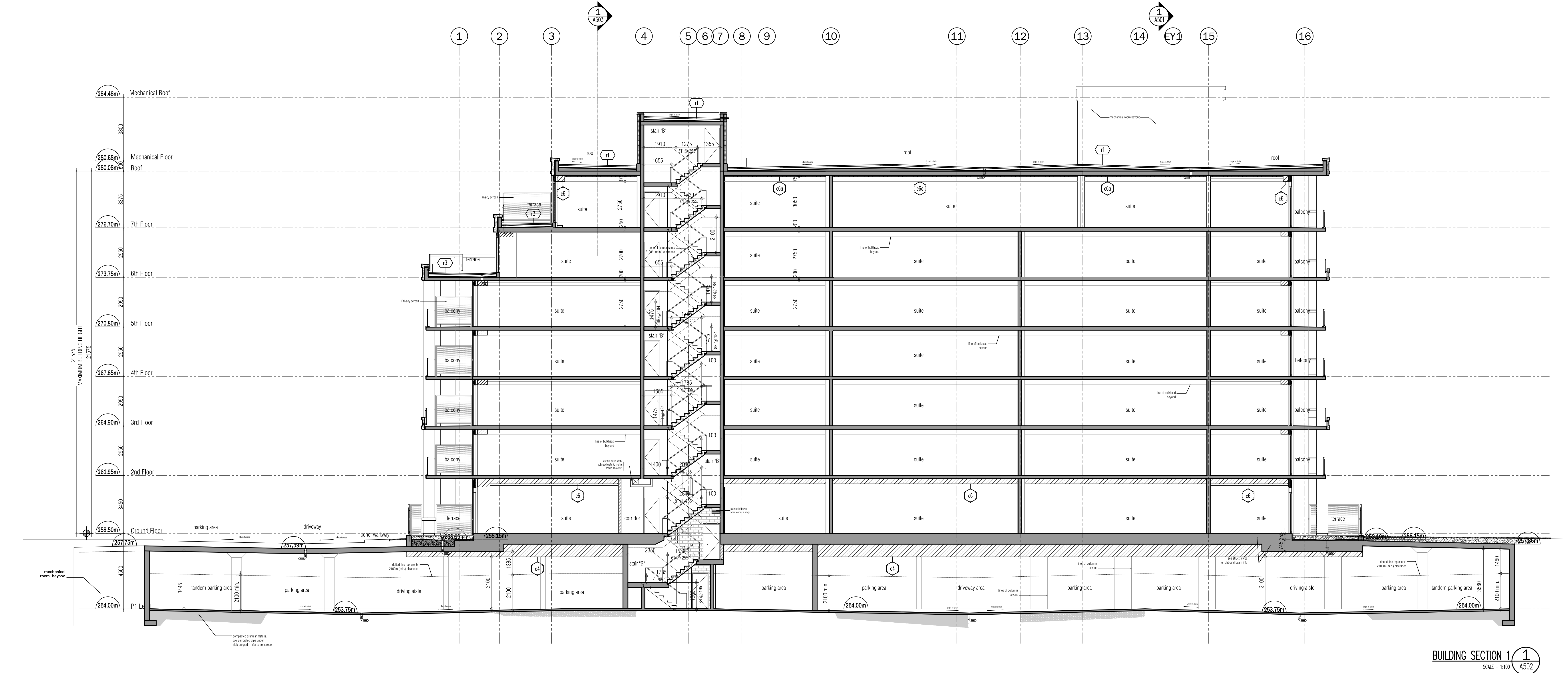
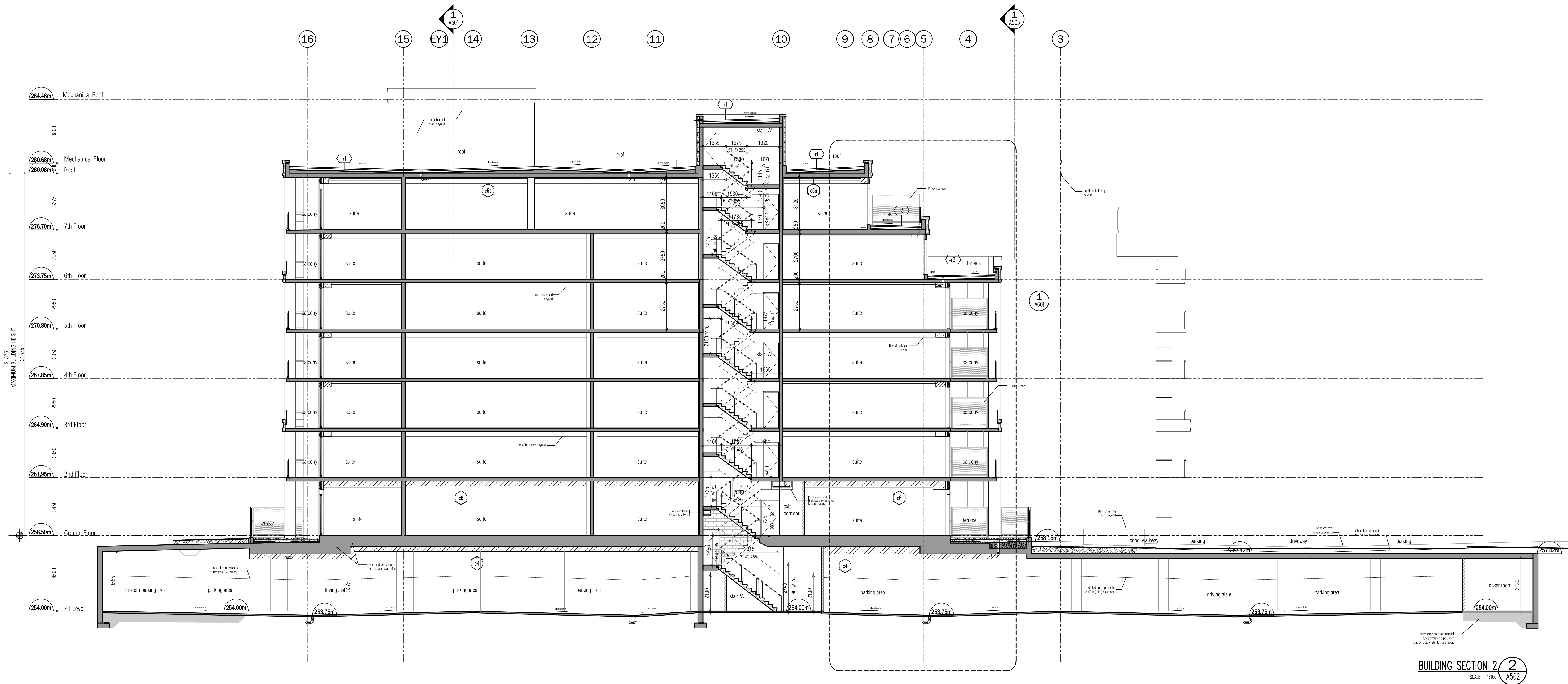
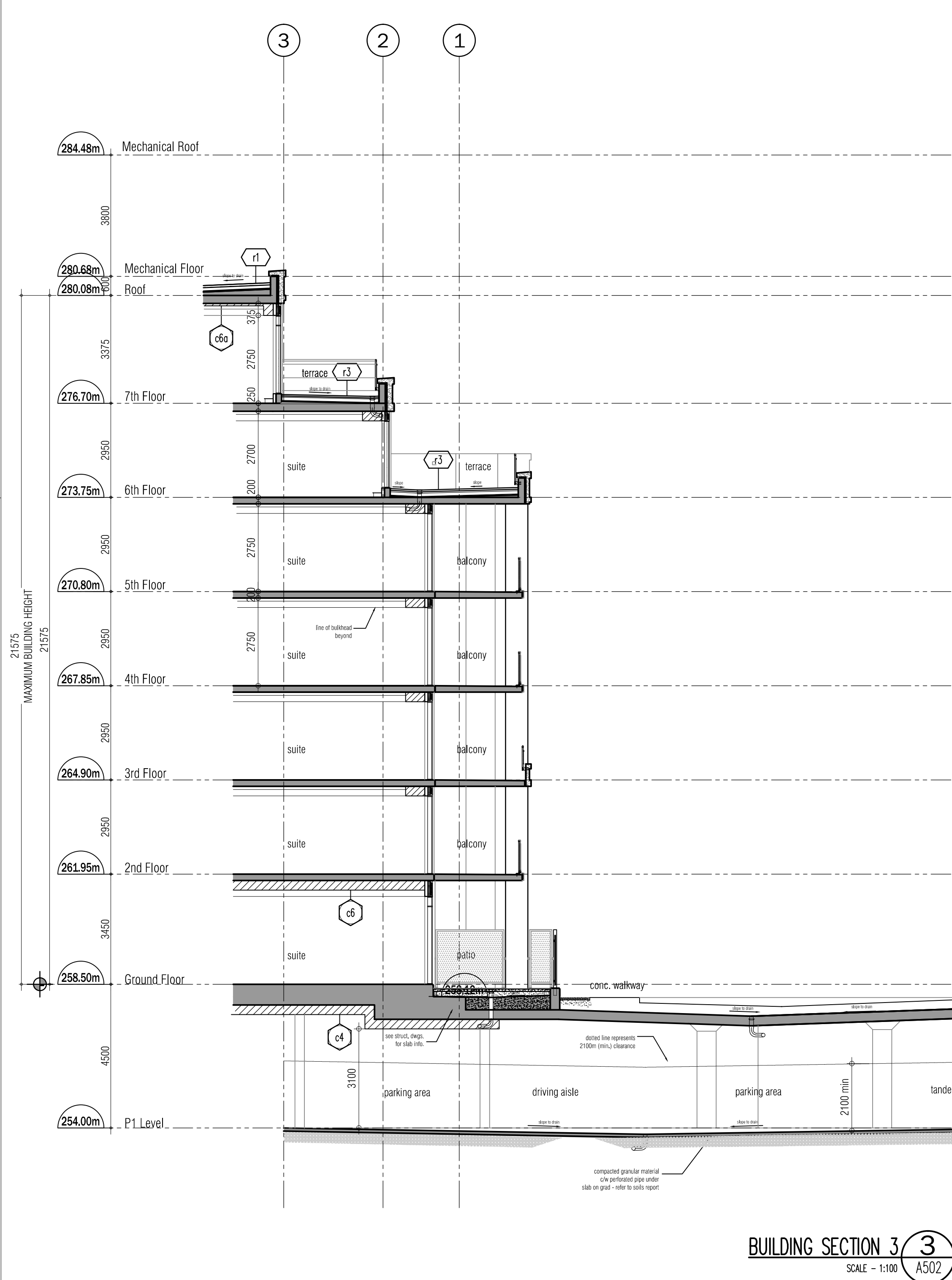
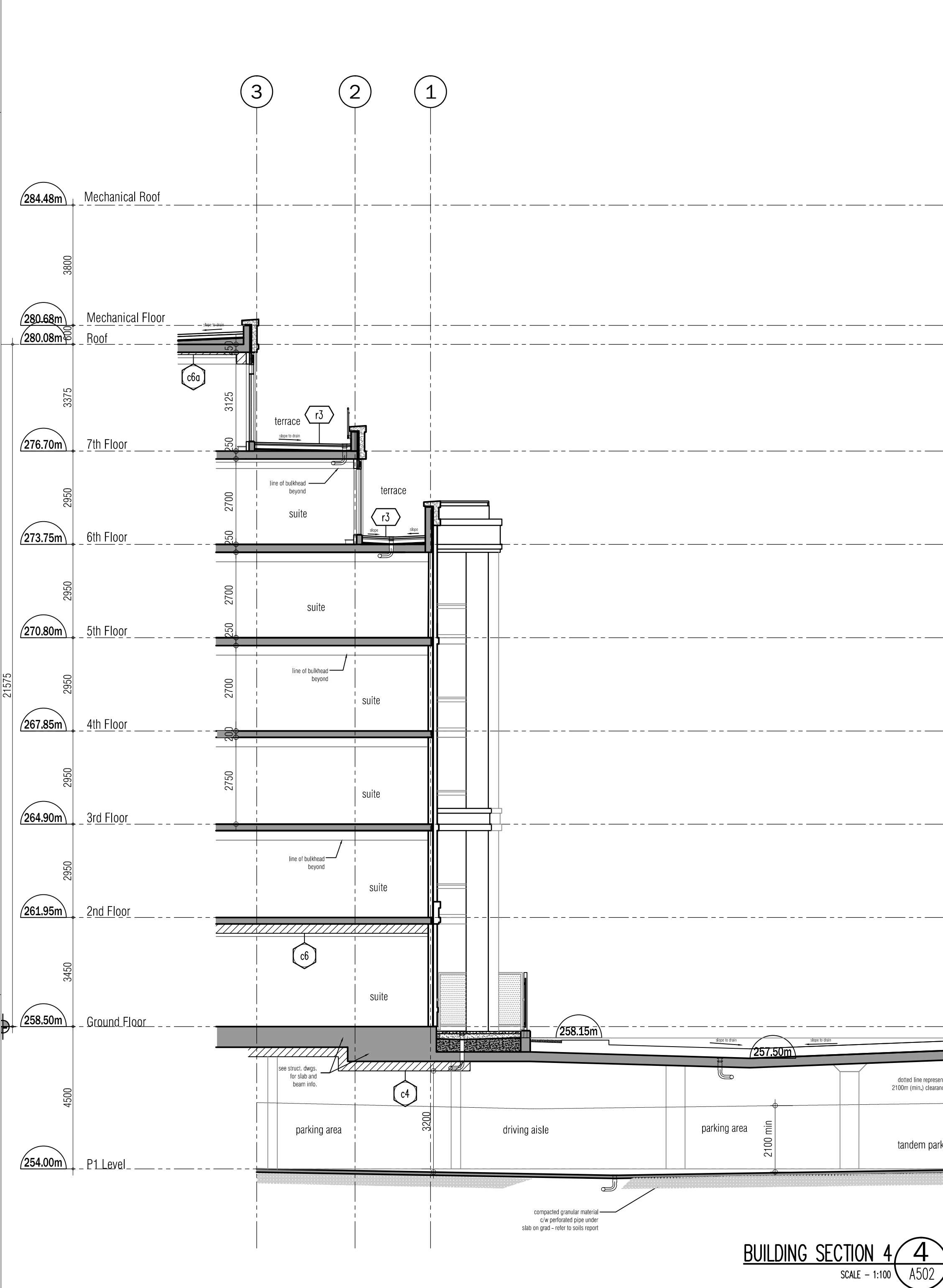
Checked By: G. COLANGELO/D.BIASE

Plot Date: Apr. 4, 2018

Job #: 1136.1.3

Building Section

TITLEBLOCK SIZE: 915 x 1400



This drawing, as an instrument of service, is provided by and is the property of GRAZIANI & CORAZZANI ARCHITECTS INC. The architect must retain and accept responsibility for all dimensions and conditions on site and must notify the client of any variations from the approved drawings. The architect is not responsible for the accuracy of any dimensions, materials, methods, etc., engineering information shown on this drawing. The architect is not responsible for any errors or omissions in the drawing. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other otherwise noted, no liability has been undertaken or assumed by this office in regard to the environmental condition of this site. This drawing is not to be used for construction purposes until countersigned by the architect.

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01. FEB.28.2014	issued to city for SPA	B.G.
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03. SEP.11.2014	re-issued to city for SPA	B.G.
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07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10. JUL.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

03. OCT.25.2017 S108 WINDOW/SPRAY FOAM INSULATION B.G.

02. SEPT.06.2017 S106 TRANSOM/BALCONIES REVISION B.G.

01. AUG.21.2017 S103 SANDBLAST PRECAST ON BALCONIES B.G.

issued for revisions

GRAZIANI & CORAZZANI ARCHITECTS INC.

1325 Denison Street, Suite 102, Richmond Hill, Ontario L4B 1C3
Phone: 905.705.2621 Fax: 905.705.3544 www.graziani.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D.BIASE

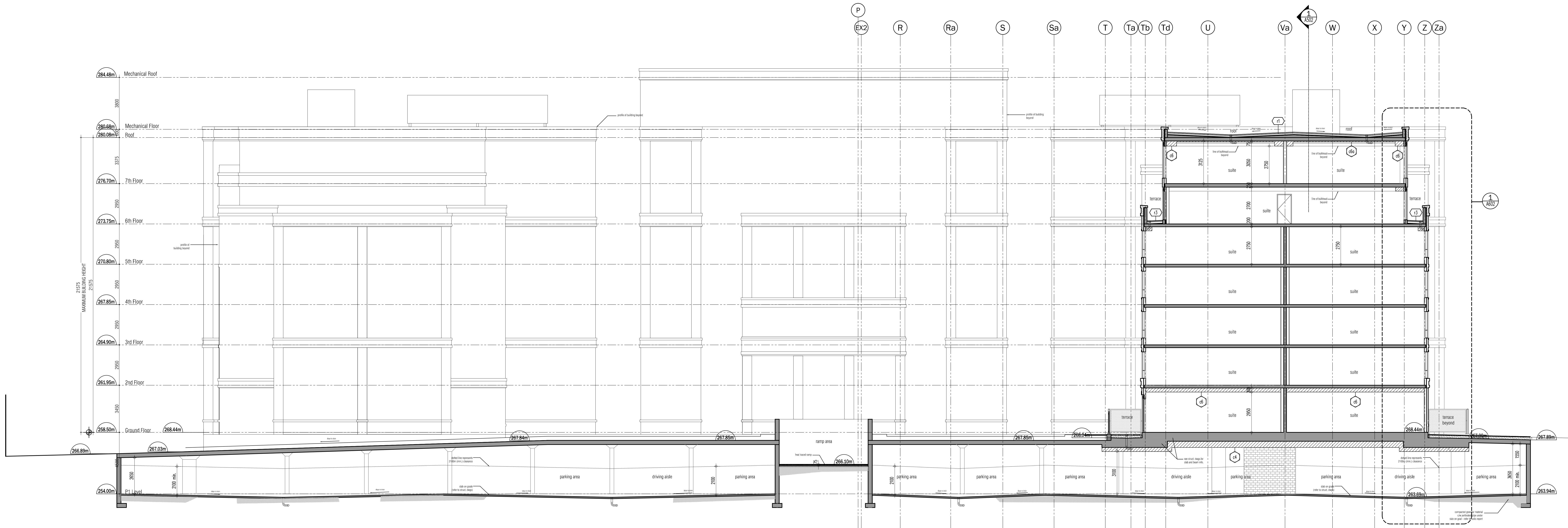
Plot Date: Apr. 4, 2018

Job #: 1136.1.3

Building Sections

TITLEBLOCK SIZE: 915 x 1400

1:100 A502



BUILDING SECTION 1
SCALE - 1/8" = 1'-0"

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01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.3.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.

02.	OCT.25.2017	SI08 WINDOW/SPRAY FOAM INSULATION	B.G.
01.	SEPT.06.2017	SI06 TRANSOM/BLINDS/REVISION	B.G.

issued for revisions

GRAZIANI & CORAZZA ARCHITECTS INC.

1330 Denison Street, Suite 102, Richmond Hill, Ontario L4B 1C1
Phone: 905.705.2621 Fax: 905.705.3544 www.gra-architect.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

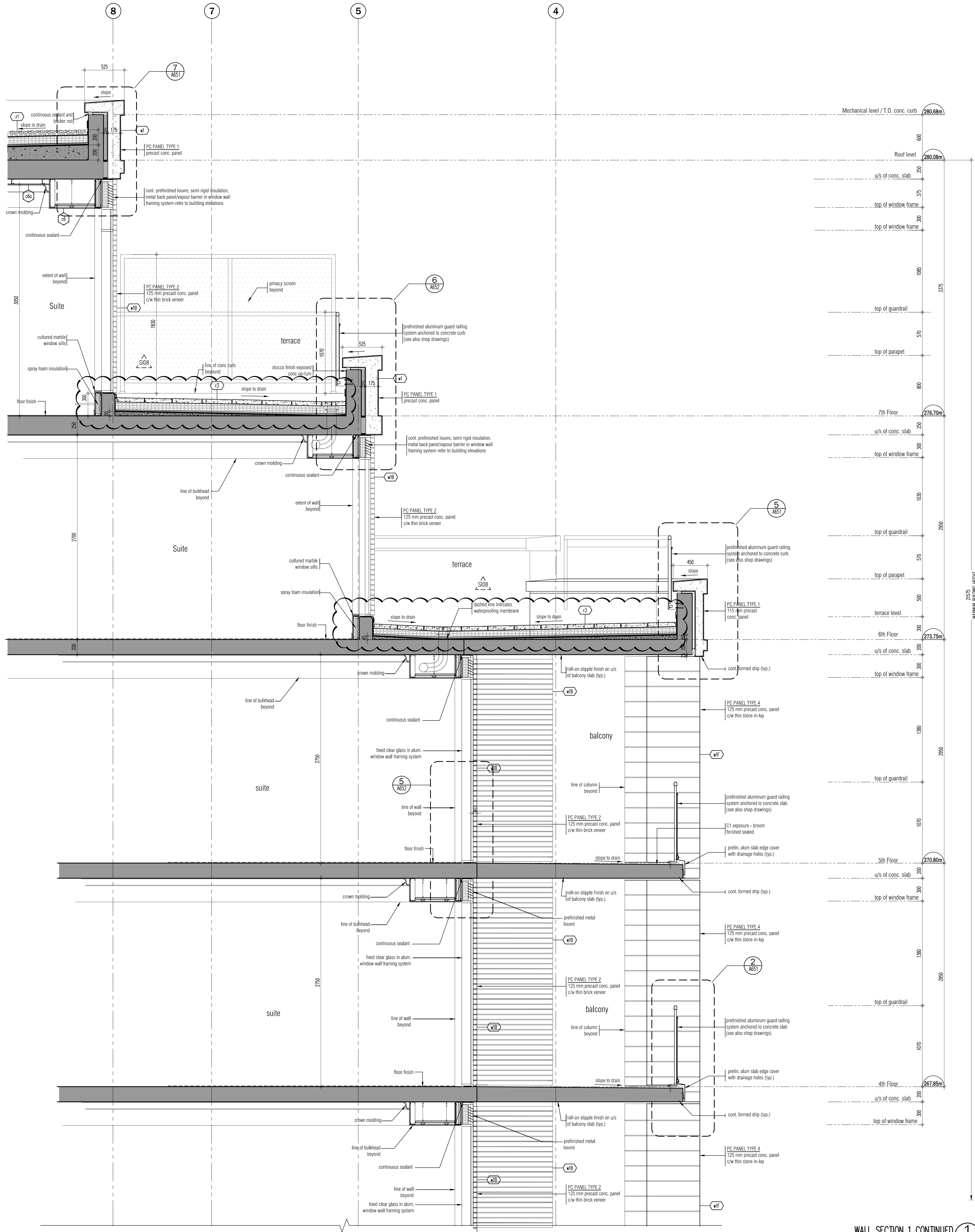
STONEYVILLE ONTARIO

Project Architect: B.GRAZIANI
Assistant Designer: R.LINCOLN
Drawn By: S.G.
Checked By: G.COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1134.1.3

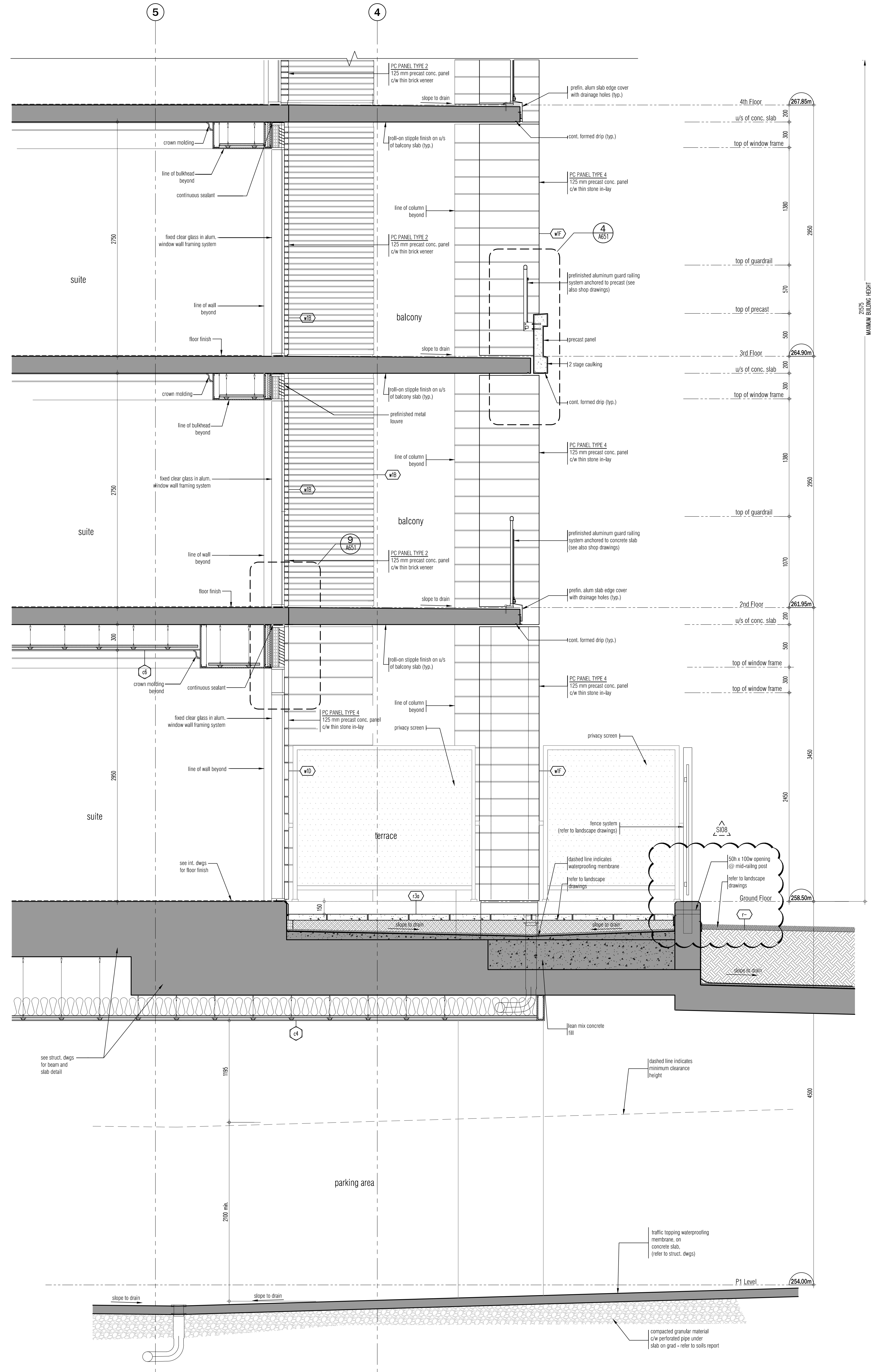
Building Section

AS NOTED A503

TITLEBLOCK SIZE: 915 x 1400



WALL SECTION 1 CONTINUED
SCALE - 1/8" = 1'-0"



WALL SECTION 1
SCALE - 1/8" = 1'-0"

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DATE	DESCRIPTION	BY
01. FEB.28.2014	issued to city for SPA	B.G.
02. JUL.9.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
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06. DEC.28.2016	issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

03. NOV.23.2017	5108 TERRACE/PATIO & STEP REVISION	B.G.
02. SEPT.08.2017	5108 TRANSOM/BULKHEADS REVISION	B.G.
01. AUG.21.2017	5103 SANDRAST PRECAST ON BALCONIES	B.G.

issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1335 Trempe Street, Suite 105, Mississauga, Ontario L4W 1C1
Phone: 905.566.5551 Fax: 905.566.5544 www.gca-architects.com

PROPOSED RESIDENTIAL DEVELOPMENT
25 BAKER HILL BLVD.

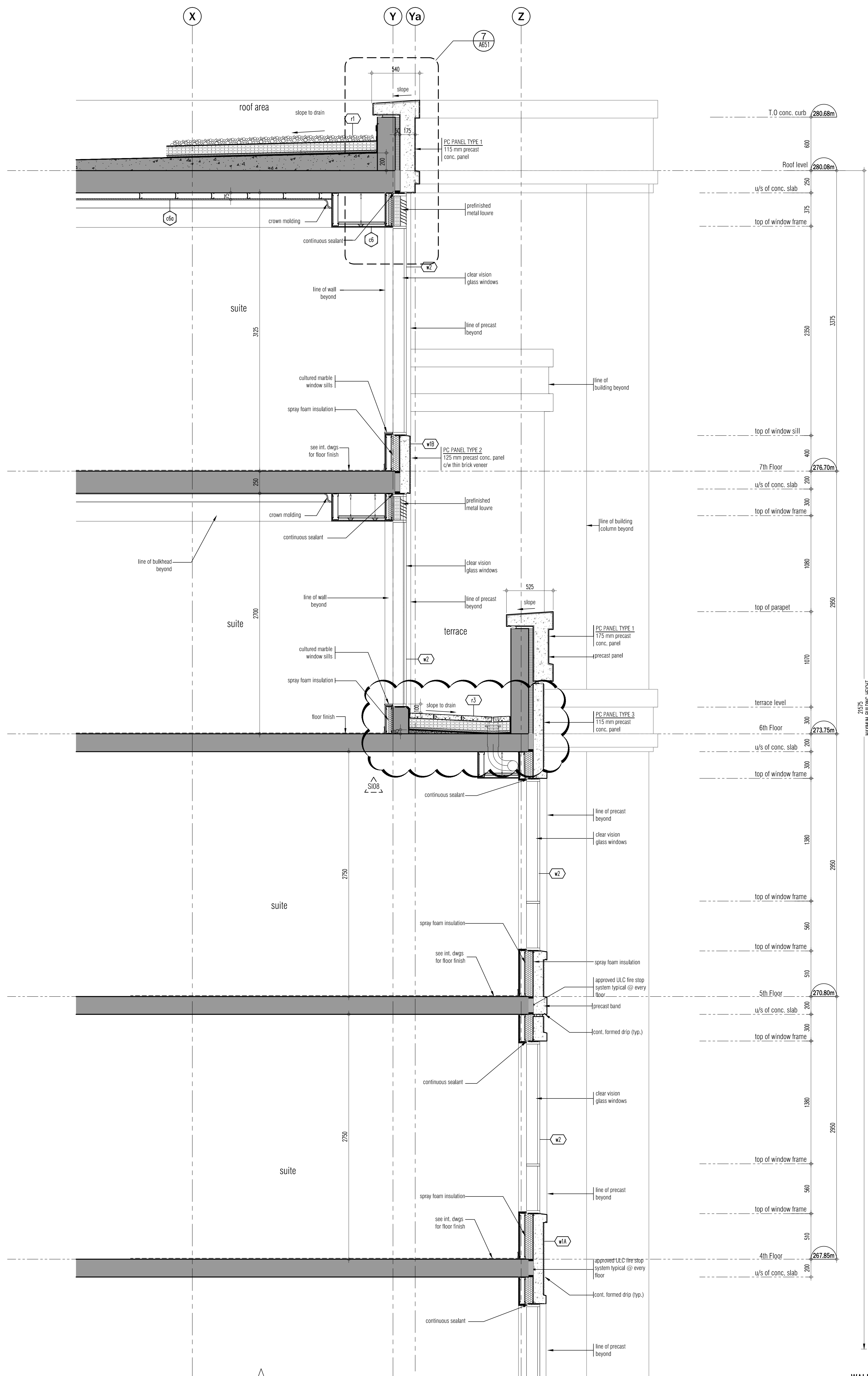
STAFF	NAME	POSITION
Project Architect:	B. GRAZIANI	ARCHITECT
Assistant Designer:	R. LINCOLN	ARCHITECT
Drawn By:	S.G.	ARCHITECT
Checked By:	G. COLANGELO/D.BIASE	ARCHITECT
Plot Date:	Apr. 18, 2018	
Job #	1136.13	

Wall Section

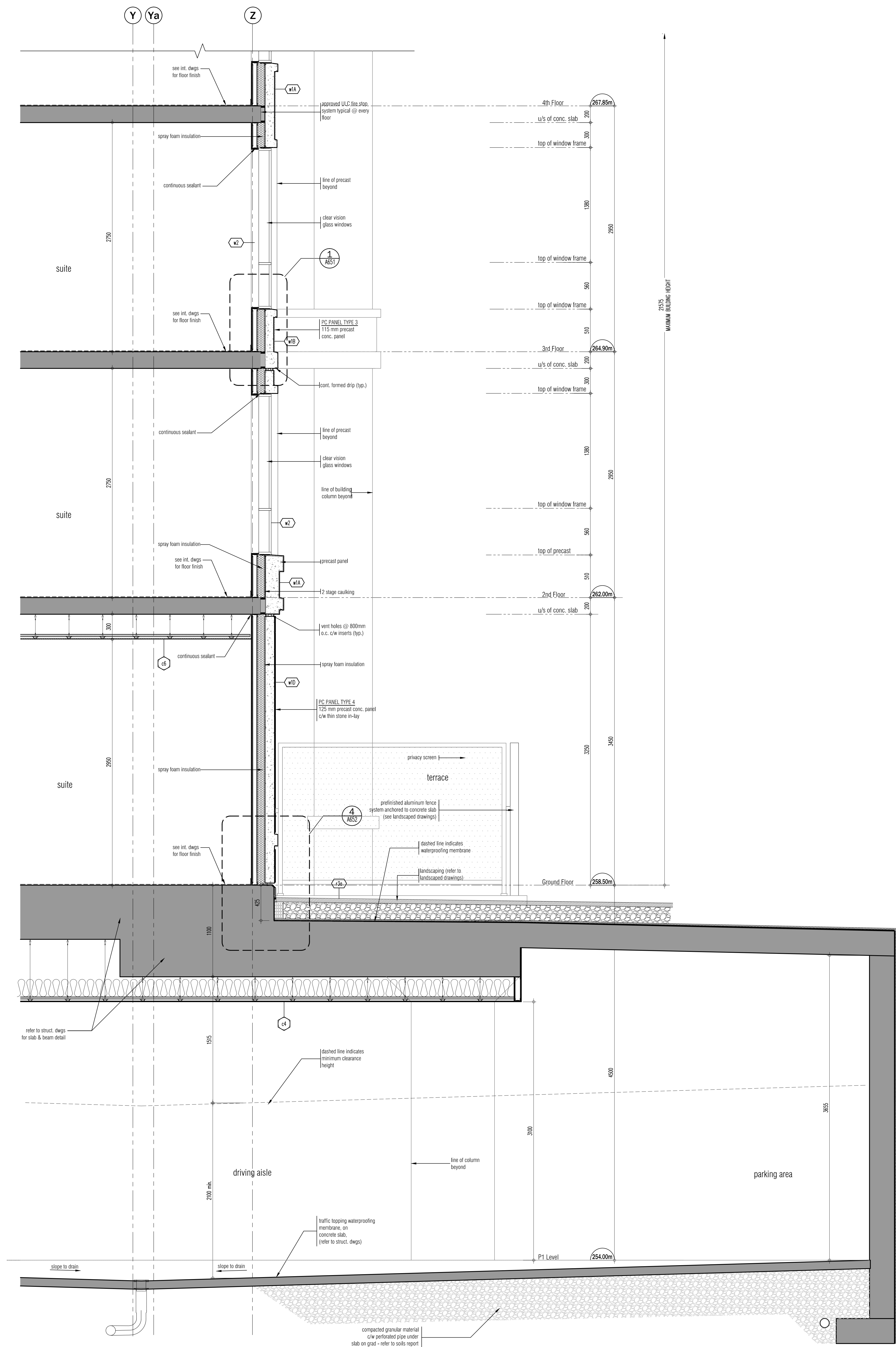
This drawing, as an instrument of service, is provided by and to the property of Grazianni & Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Grazianni & Corazza Architects Inc. of any variations from the approved information. Grazianni & Corazza Architects Inc. is not responsible for the accuracy of drawings, structure, materials, electrical, etc., regarding information shown on this drawing. This drawing is for the purpose of providing design information only. Construction must conform to all applicable codes and requirements of the relevant building jurisdiction. Dimensions shown must be verified on site and not rely on this drawing. This drawing is not to be used for construction purposes until counterchecked by the architect.

This drawing is not to be used for construction purposes until counterchecked by the architect.

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02.	JUL.9.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10.	JULY.09.2017	Progress for Construction	B.G.
11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.



WALL SECTION 1 CONTINUED 1
SCALE - 1/2" = 1'-0" A602



WALL SECTION 1 1
SCALE - 1/2" = 1'-0" A602

02. NOV.23.2017 5108 TERRACE/PATIO & STEP REVISION B.G.

01. SEP.06.2017 5106 TRANSOM/BULKHEADS REVISION B.G.

issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.
1330 Trempealeau Drive, Suite 105, Mississauga, Ontario L4W 1C1
Phone: 905.566.5531 Fax: 905.566.3344 www.gca-architects.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D.BIASE

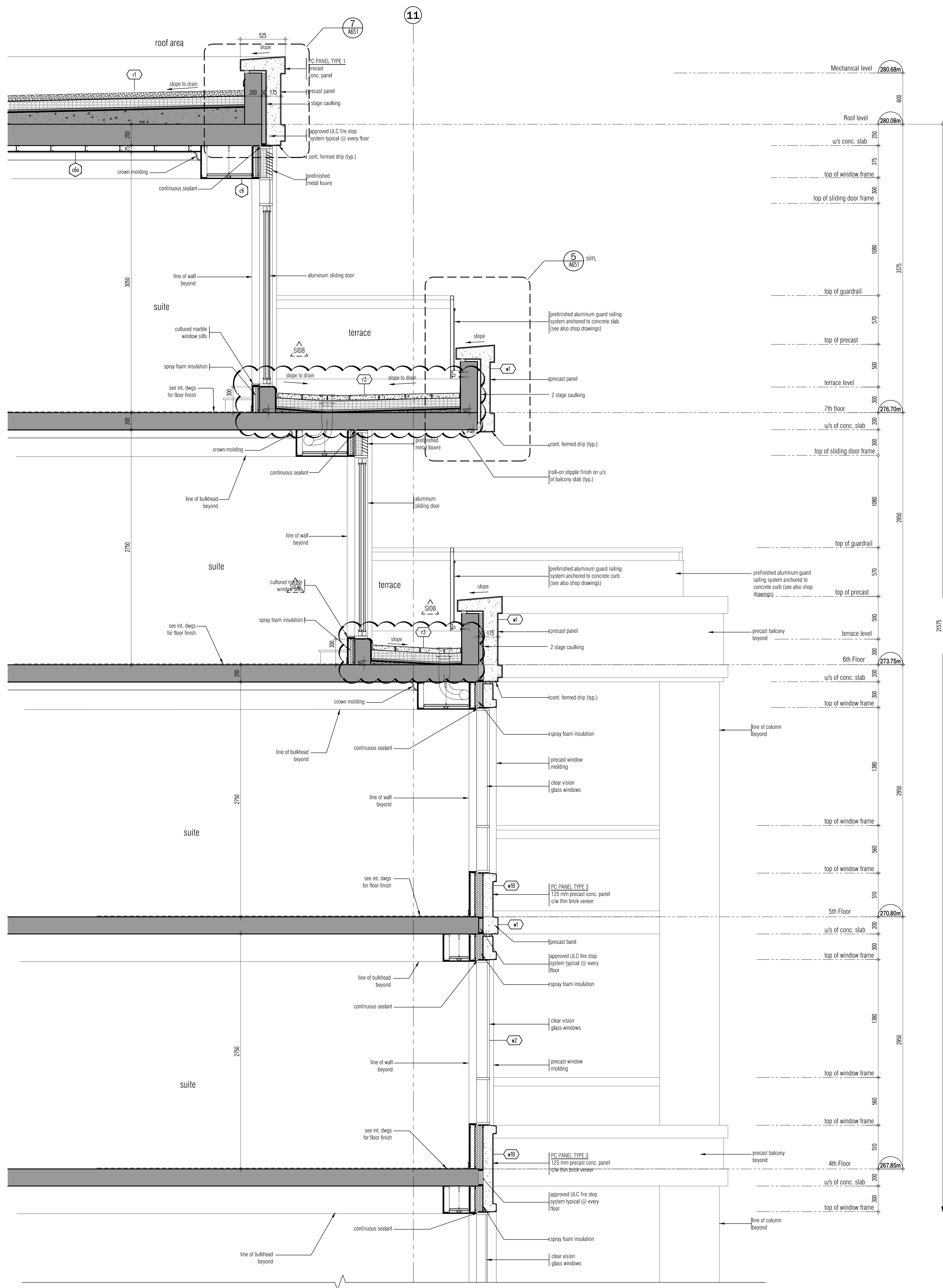
Plot Date: Apr. 18, 2018

Job #: 1136.13

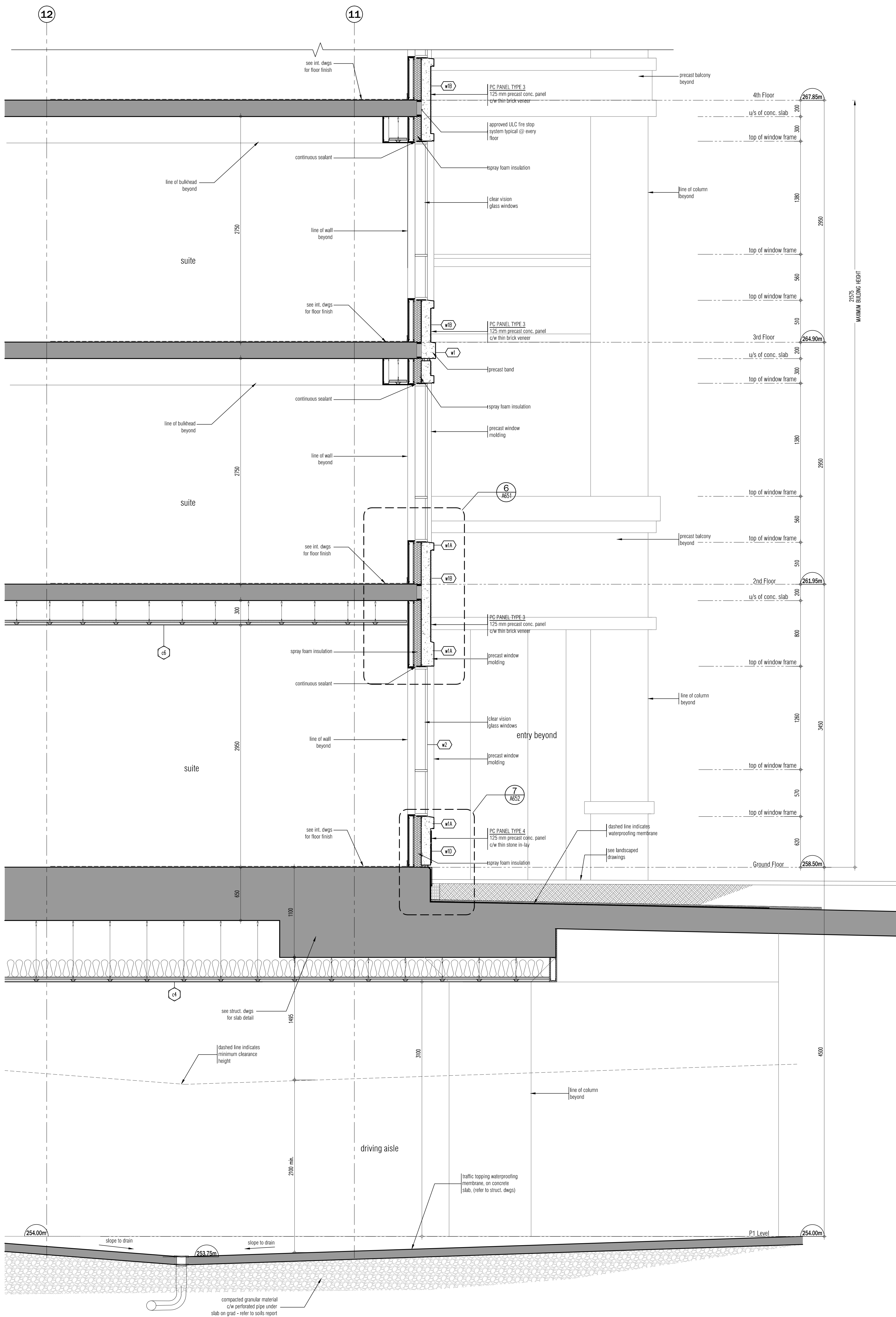
Wall Section

1:20 A602

TITLEBLOCK SIZE: 915 x 1400



WALL SECTION 1 CONTINUED 1
SCALE - 1/8" = 1'-0" A603



WALL SECTION 1 1
SCALE - 1/8" = 1'-0" A603

This drawing, as an instrument of service, is provided by and to the property of Client + Corazza Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must verify. Corazza + Corazza Architects Inc. is not responsible for the accuracy of drawings. Drawings in electronic format are not responsible for the accuracy of drawings. Construction must conform to all applicable codes and requirements of the authority having jurisdiction. Drawings shall not be used for construction purposes until countersigned by this office. This drawing is not to be used for construction purposes until countersigned by this office.

This drawing is not to be used for construction purposes until countersigned by this office.

DATE	REVISIONS	BY
01. FEB.28.2014	issued to city for SPA	B.G.
02. JUL.9.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	issued for tender	B.G.
06. DEC.28.2016	issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

01. NOV.23.2017 SIB TERRACE/PATIO & STEP RENOV. B.G.
issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.
1330 Trempe Street, Suite 105, Mississauga, Ontario L4W 1C1
Phone: 905.567.5331 Fax: 905.567.5344 www.g-c-architects.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STOUFFVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D.BIASE

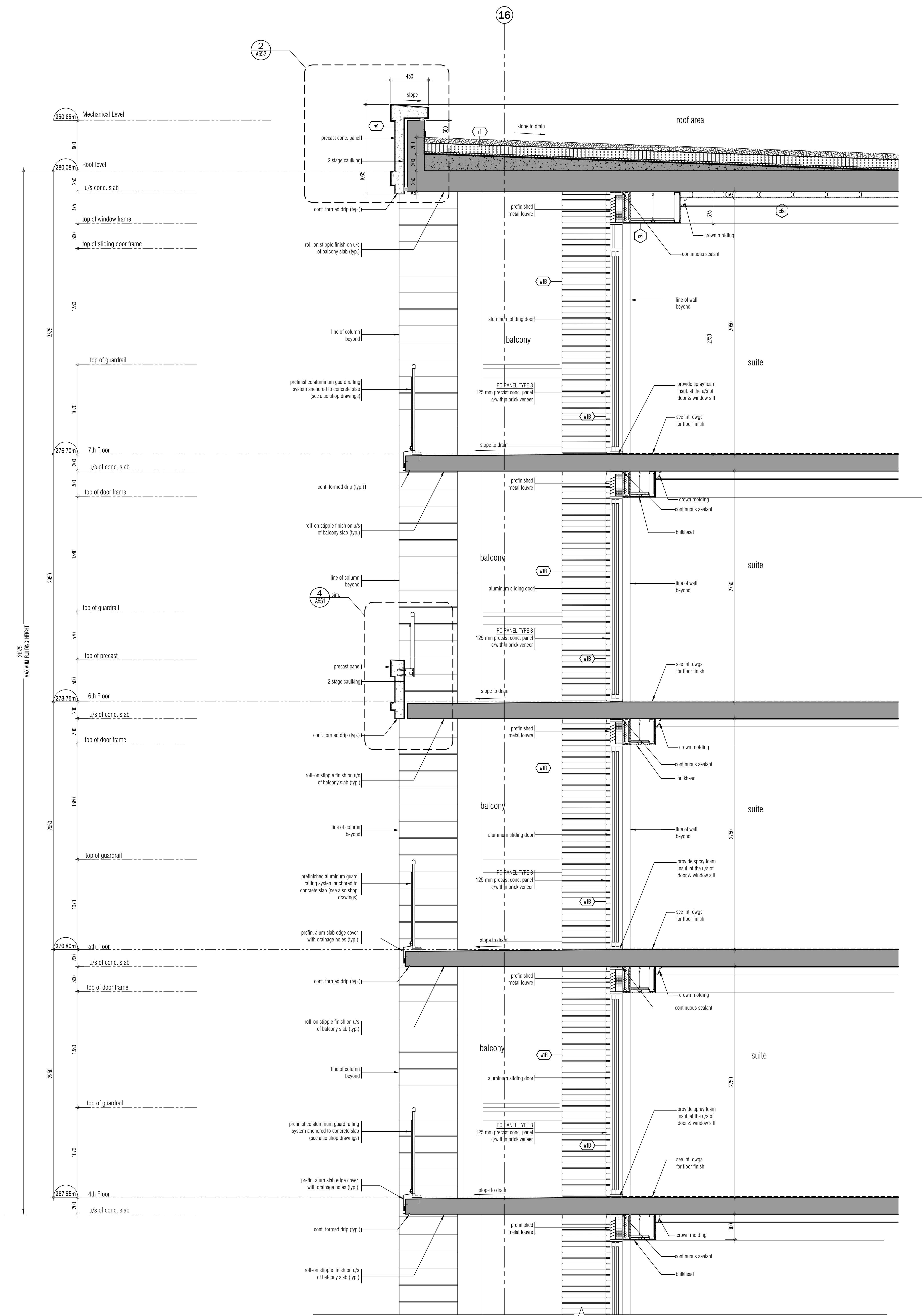
Plot Date: Apr. 18, 2018

Job #: 1136.13

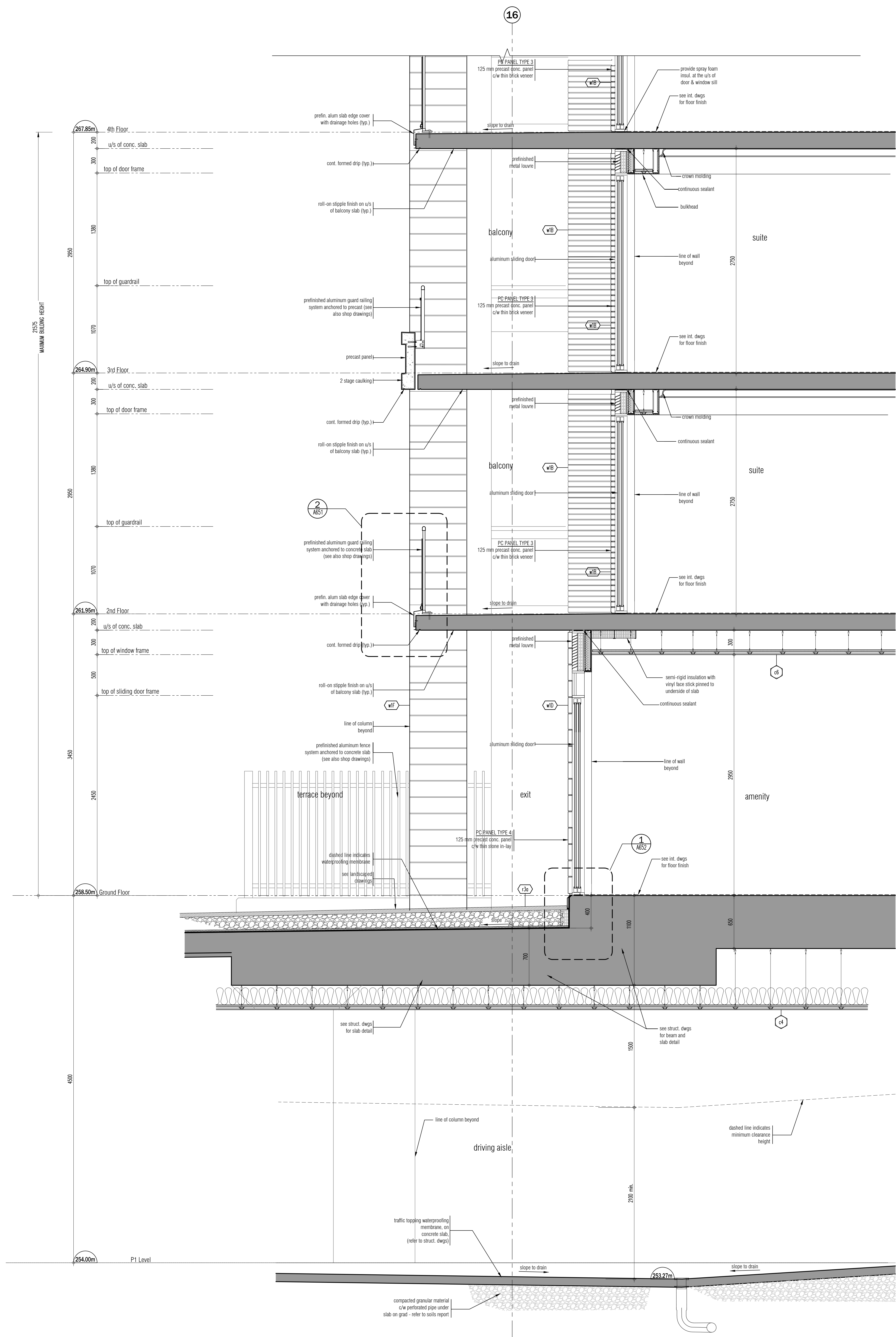
Wall Section

TITLEBLOCK SIZE: 915 x 1400

1:20 A603



WALL SECTION 1 CONTINUED
SCALE - 1/8" = 1'-0"
A604



WALL SECTION 1
SCALE - 1/8" = 1'-0"
A604

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This drawing is not to be used for construction purposes without counterparty by the architect.

01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.9.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	re-issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.

03.	OCT.25.2017	STIR ENVELOPE/SPRAY FOAM INSULATION	B.G.
02.	SEP.08.2017	STIR ENVELOPE/SPRAY FOAM INSULATION	B.G.
01.	AUG.21.2017	STIR ENVELOPE/SPRAY FOAM INSULATION	B.G.

issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1335 Trempealeau St. Suite 105, Mississauga, Ontario L4W 1C1
Phone: 905.566.5555 Fax: 905.566.5544 www.gc-architects.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

SCUFFVILLE ONTARIO

Project Architect:	B. GRAZIANI
Assistant Designer:	R. LINCOLN
Drawn By:	S.G.
Checked By:	G. COLANGELO/D. BIASE
Plot Date:	Apr. 18, 2018
Job #	1136.13

Wall Section

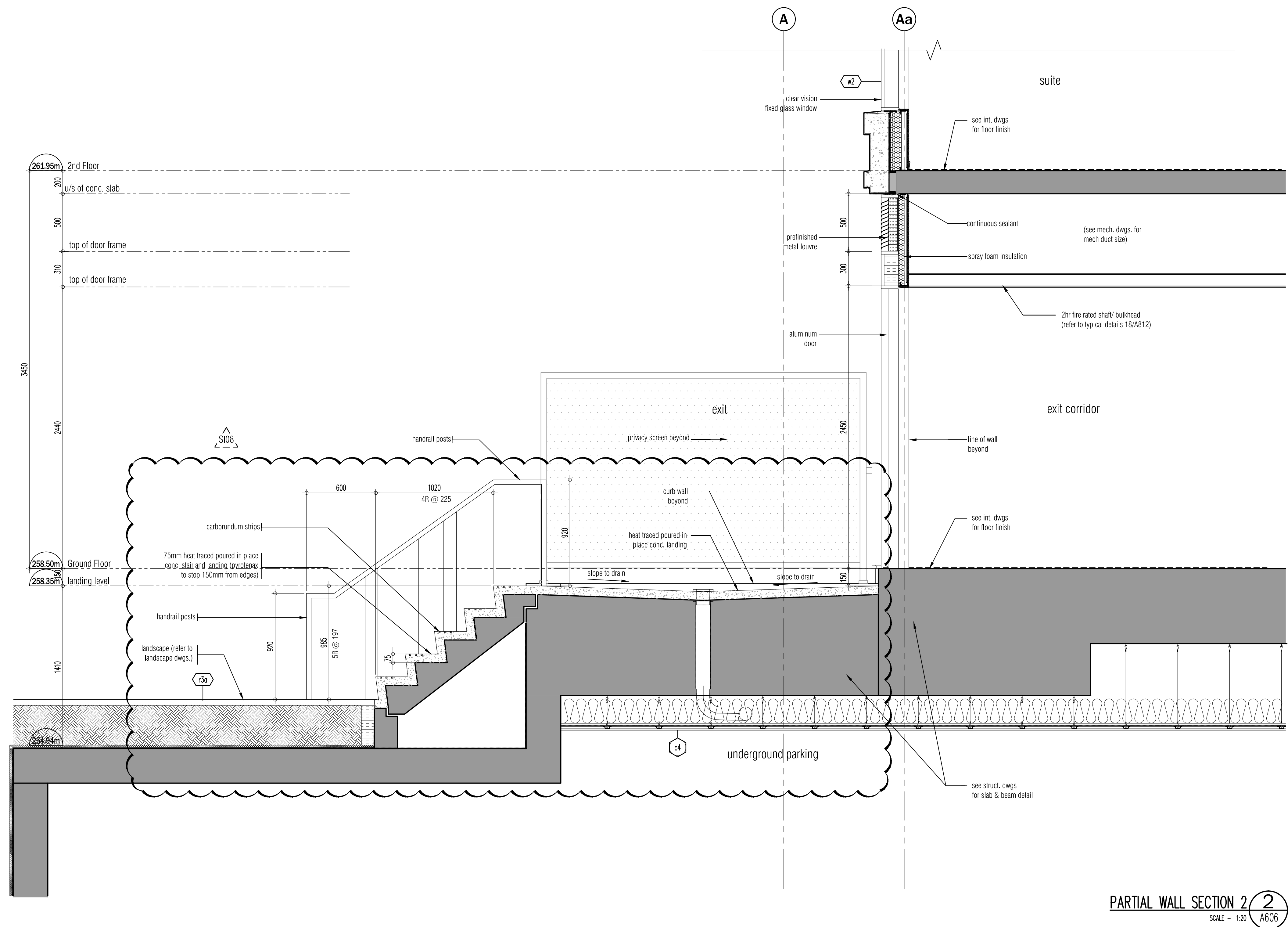
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TITLEBLOCK SIZE: 915 x 1400

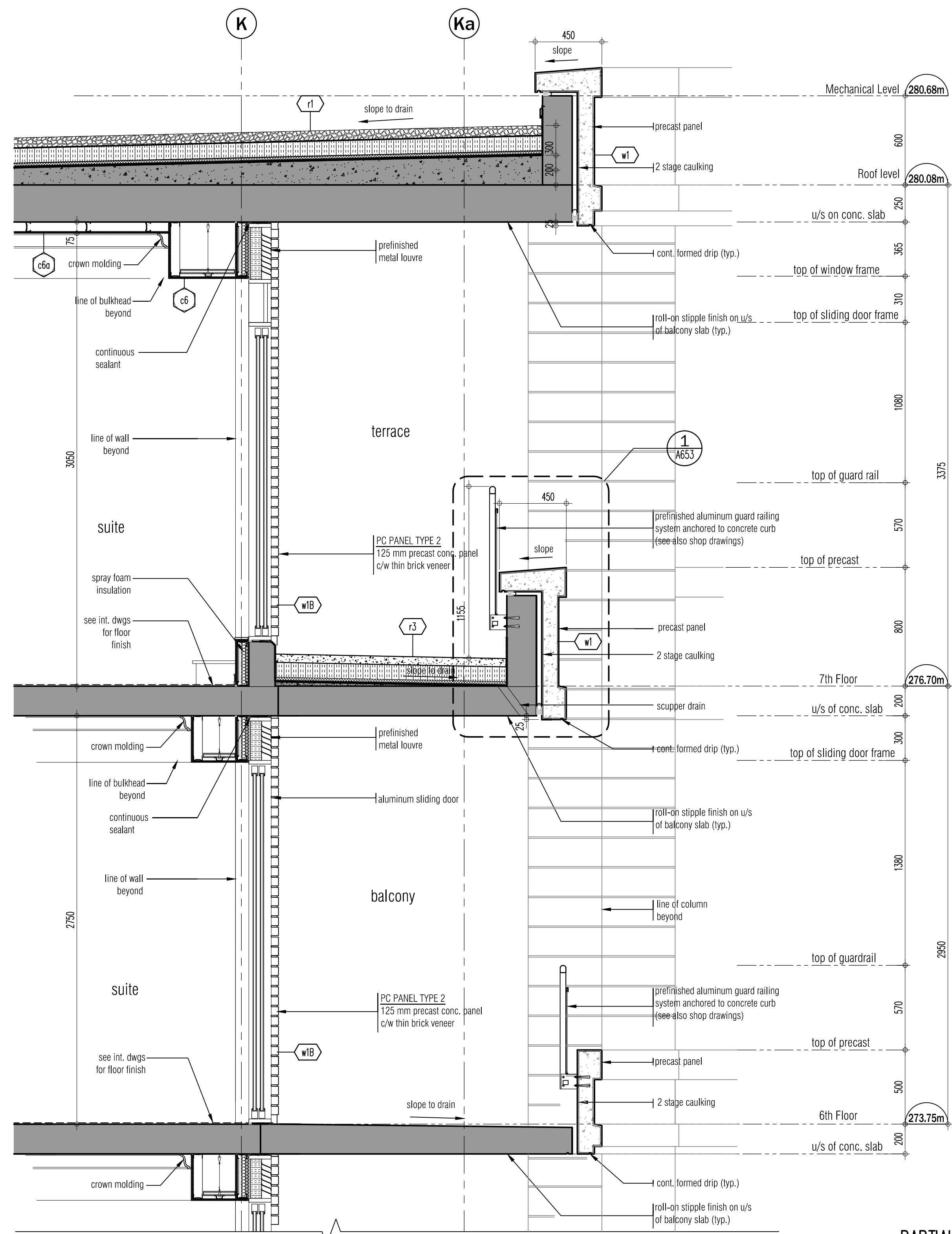
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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representation only.

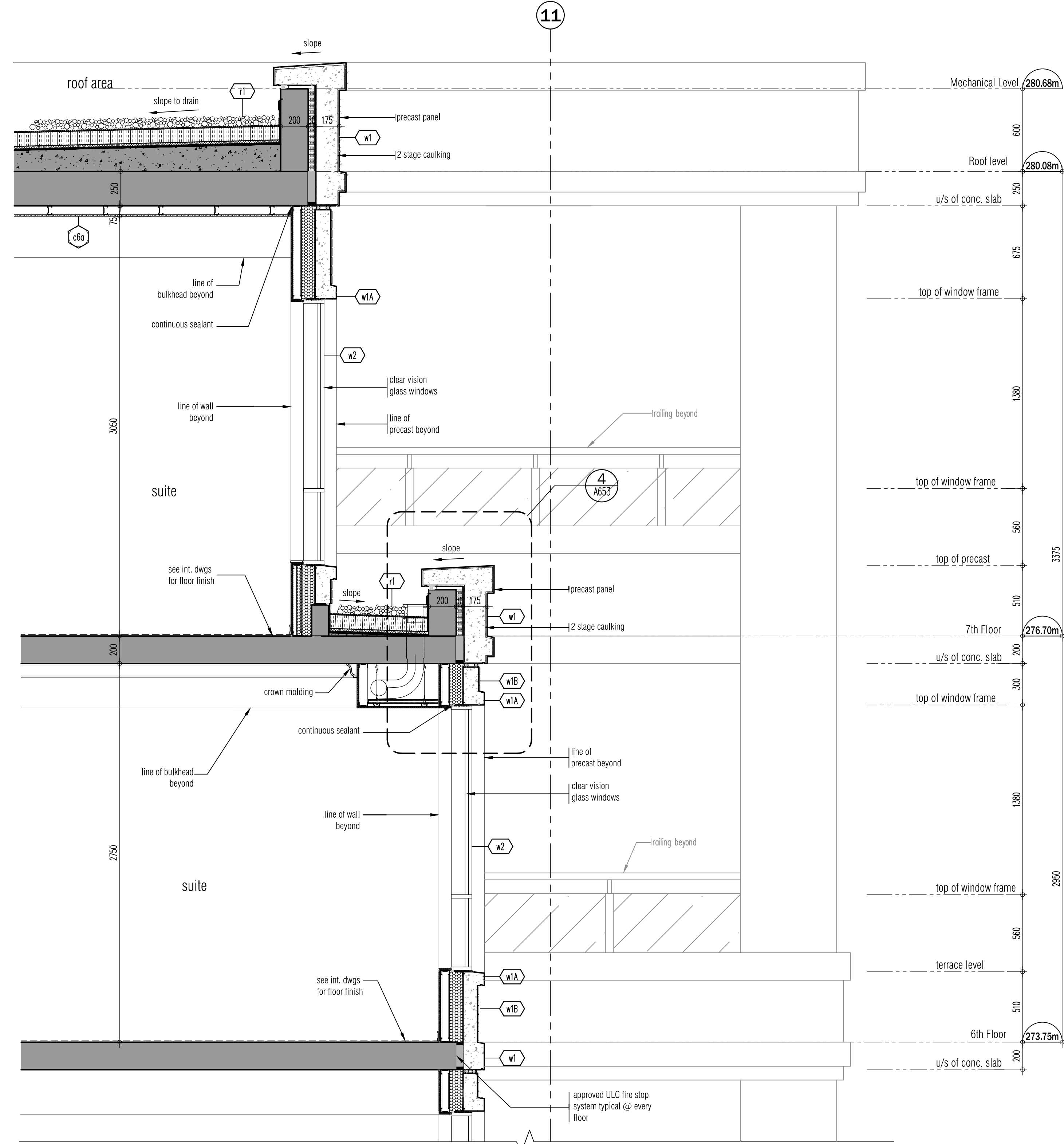
01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.9.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.



PARTIAL WALL SECTION 2 (2)
SCALE = 1/20 A606



PARTIAL WALL SECTION 3 (3)
SCALE = 1/20 A606



PARTIAL WALL SECTION 1 (1)
SCALE = 1/20 A606

03.	NOV.23.2017	S108 TERRACE/PATIO & STEP REVISION	B.G.
02.	SEP.06.2017	S108 TRANSOM/BULKHEADS REVISION	B.G.
01.	AUG.21.2017	S103 SANDERCAST PRECAST ON BALCONIES	B.G.

issued for revisions



PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

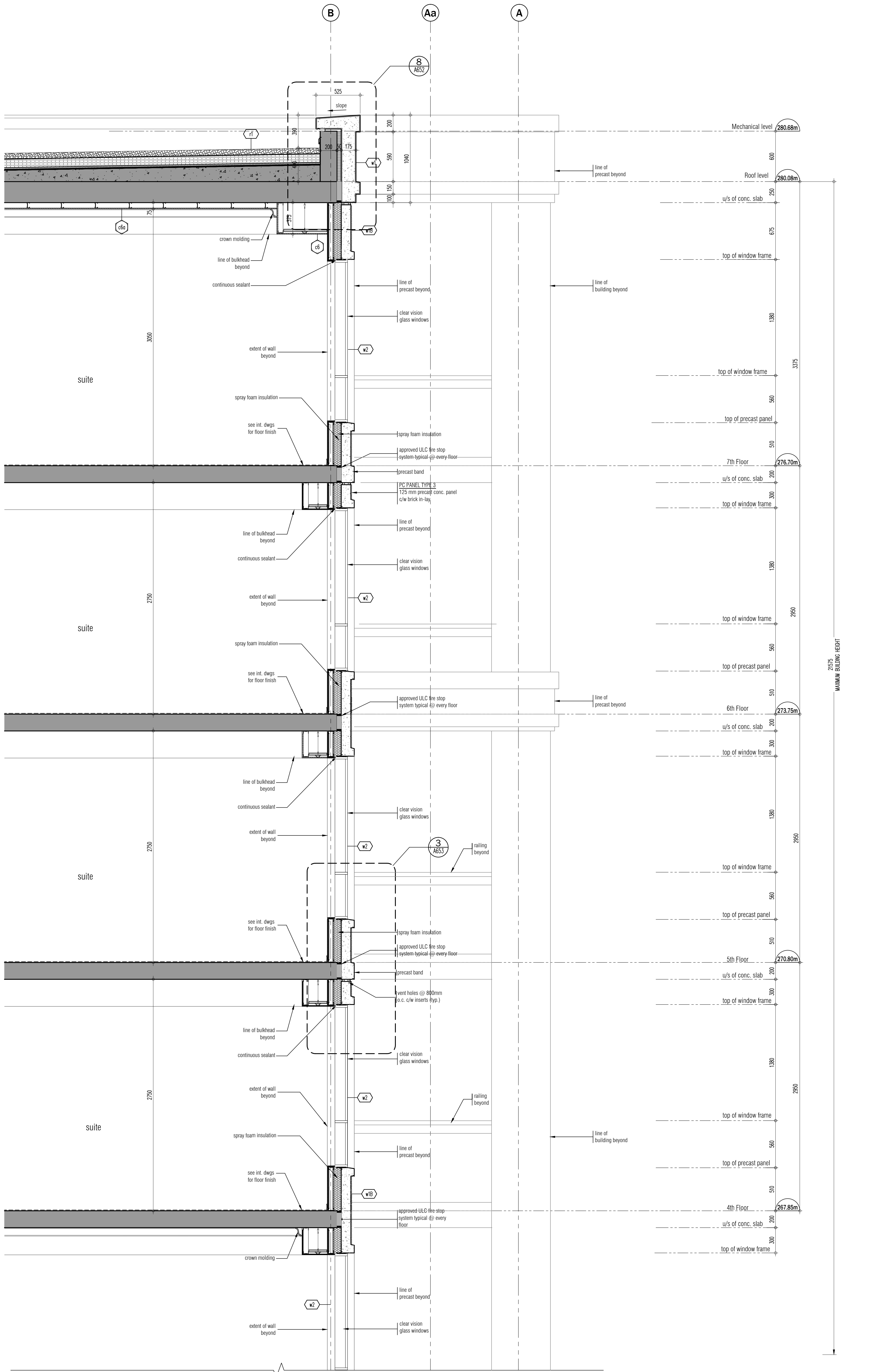
SCOPPEVILLE ONTARIO

Project Architect:	B. GRAZIANI
Assistant Designer:	R. LINCOLN
Drawn By:	S.G.
Checked By:	G. COLANGELO/D.BIASE
Plot Date:	Apr. 18, 2018
Job #	1136.13

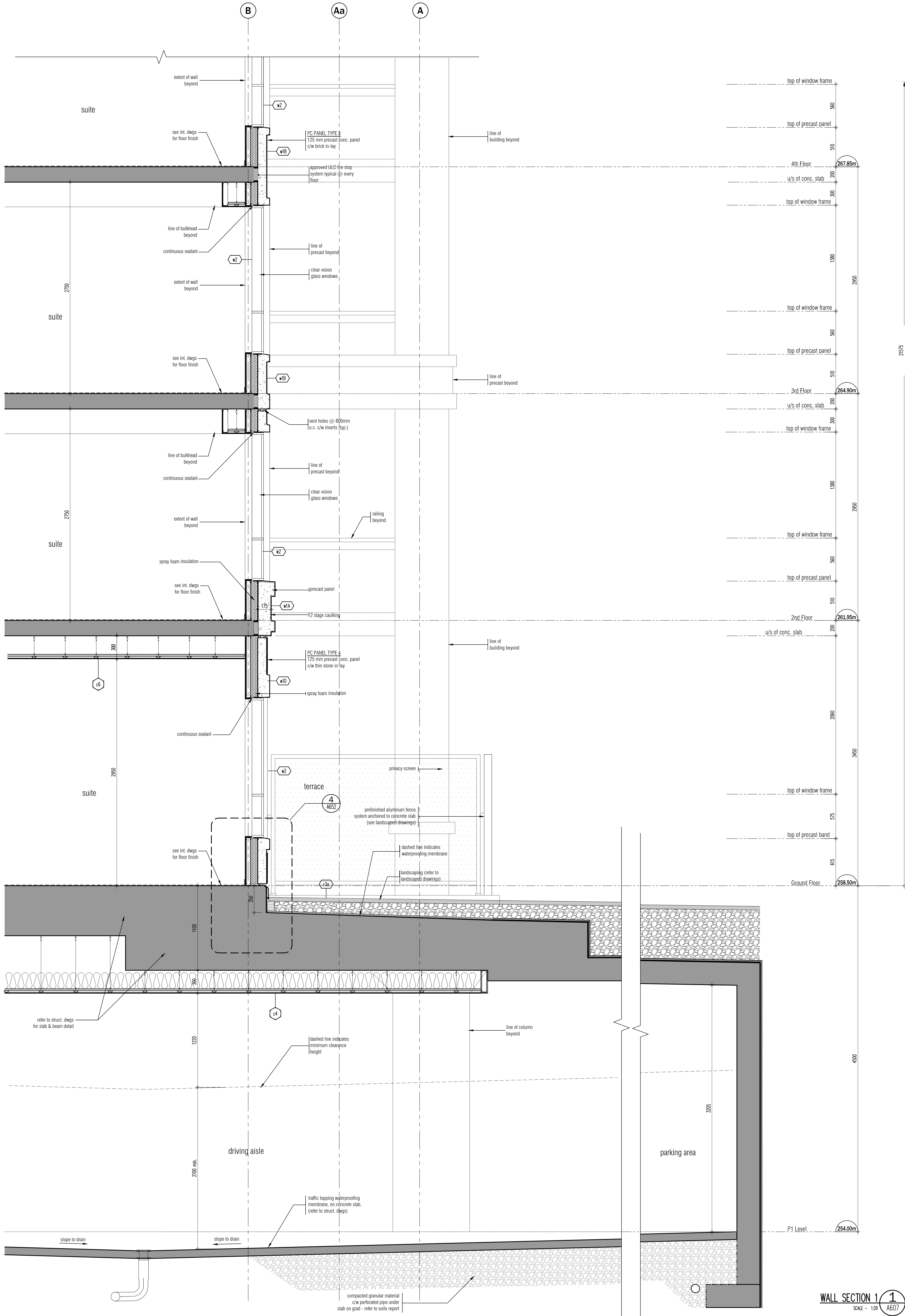
Partial Wall Sections

1:20 A606

TITLEBLOCK SIZE: 915 x 1400



WALL SECTION 1 CONTINUED
SCALE = 1/8" = 1'-0"
A607



WALL SECTION 1
SCALE = 1/8" = 1'-0"
A607

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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representation only.

NO.	DATE	DESCRIPTION	BY
01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.9.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.

01. OCT.25.2017 1/8" ENVELOPE/SPRAY FOAM INSULATION BG
issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1335 Trempe Street, Suite 105, Mississauga, Ontario L4W 1C1
Phone: 905.566.5555 Fax: 905.566.5544 www.graziandcorazza.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYPAL PINES HOMES

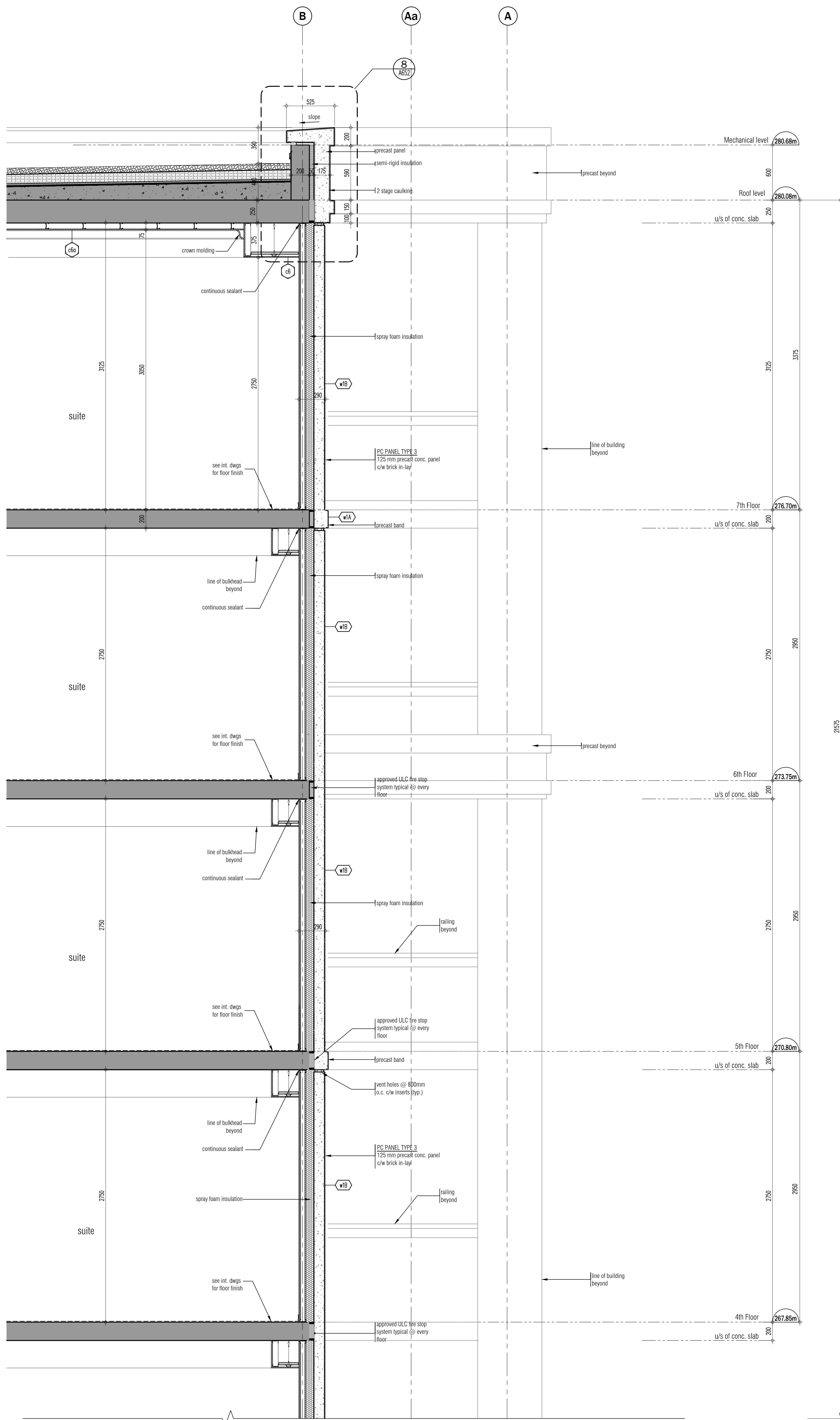
STOUPVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.B.I.A.S.E.
Plot Date: Apr. 18, 2018
Job #: 1136.13

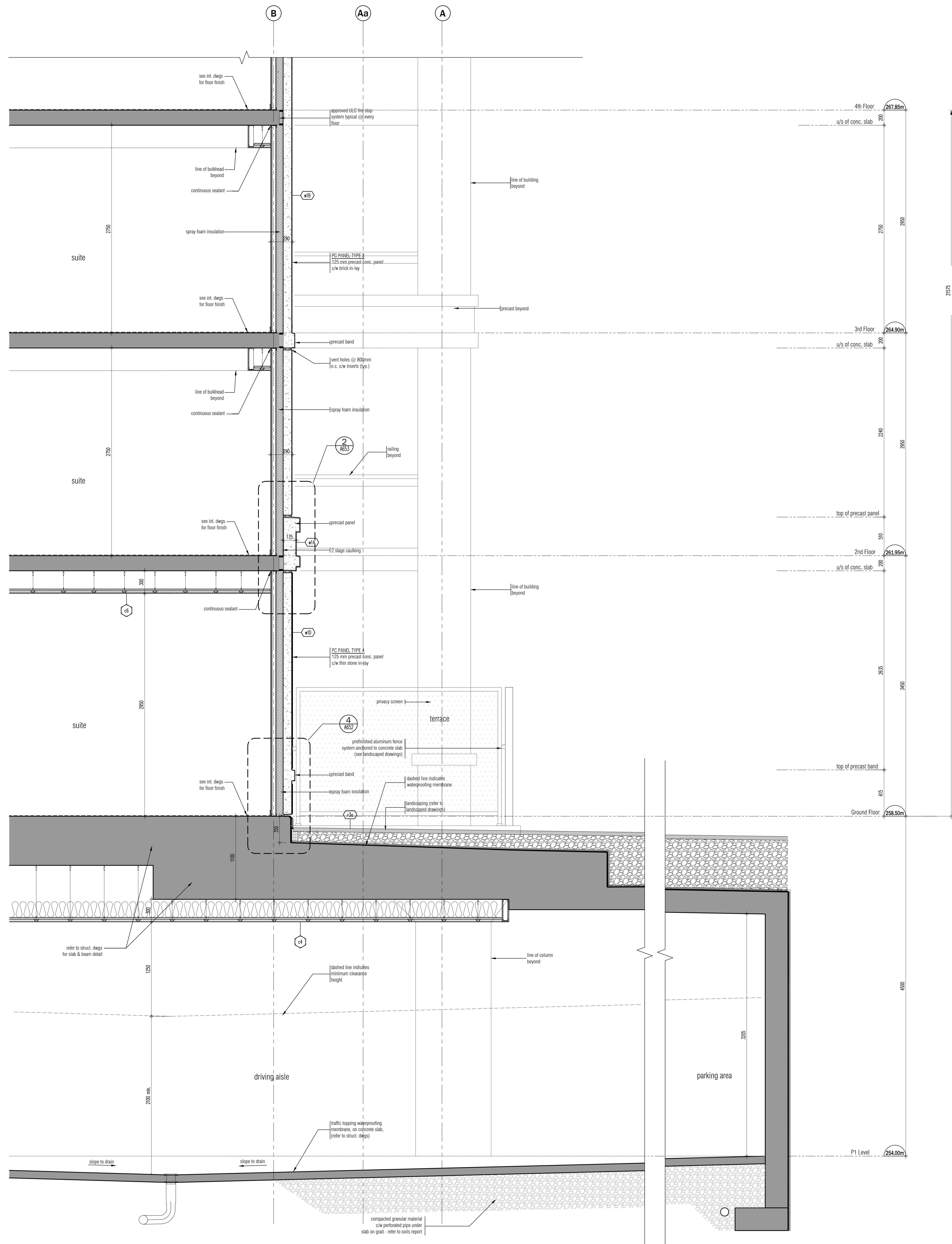
Wall Section

1:20 A607

TITLEBLOCK SIZE: 915 x 1400



WALL SECTION 1 CONTINUED 1
SCALE - 1/8" = 1'-0" A6/08



WALL SECTION 1 1
SCALE - 1/8" = 1'-0" A6/08

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01. FEB.28.2014	issued to city for SPA	B.G.
02. JUL.9.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	issued for tender	B.G.
06. DEC.28.2016	issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	Issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

01. OCT.25.2017 SIB ENVELOPE/SPRAY FOAM INSULATION B.G.
issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.
1330 Trempe Street, Suite 105, Mississauga, Ontario L4W 1C1
Phone: 905.567.5331 Fax: 905.567.5344 www.gca-architects.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

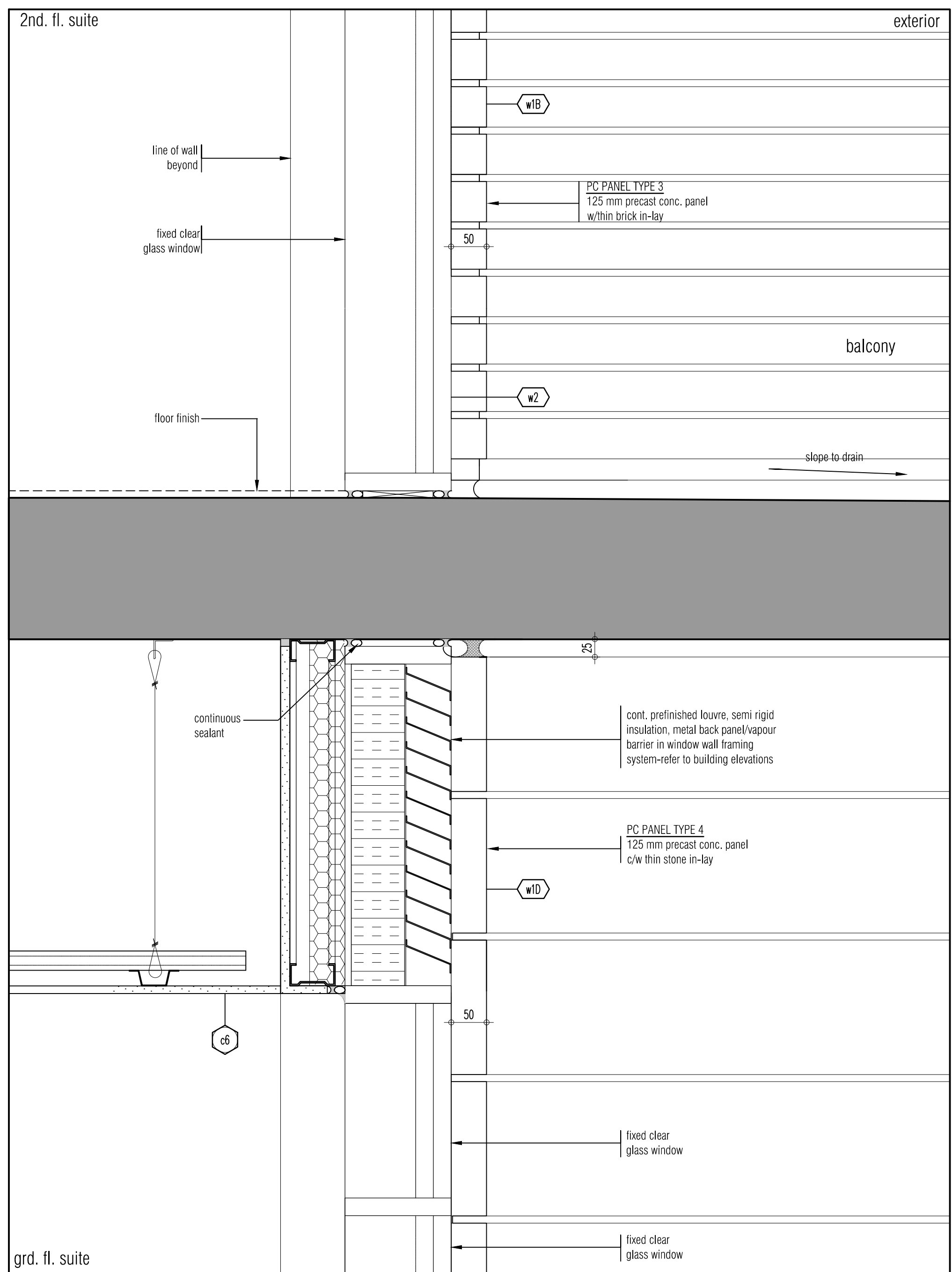
ROYAL PINES HOMES ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 18, 2018
Job #: 1136.13

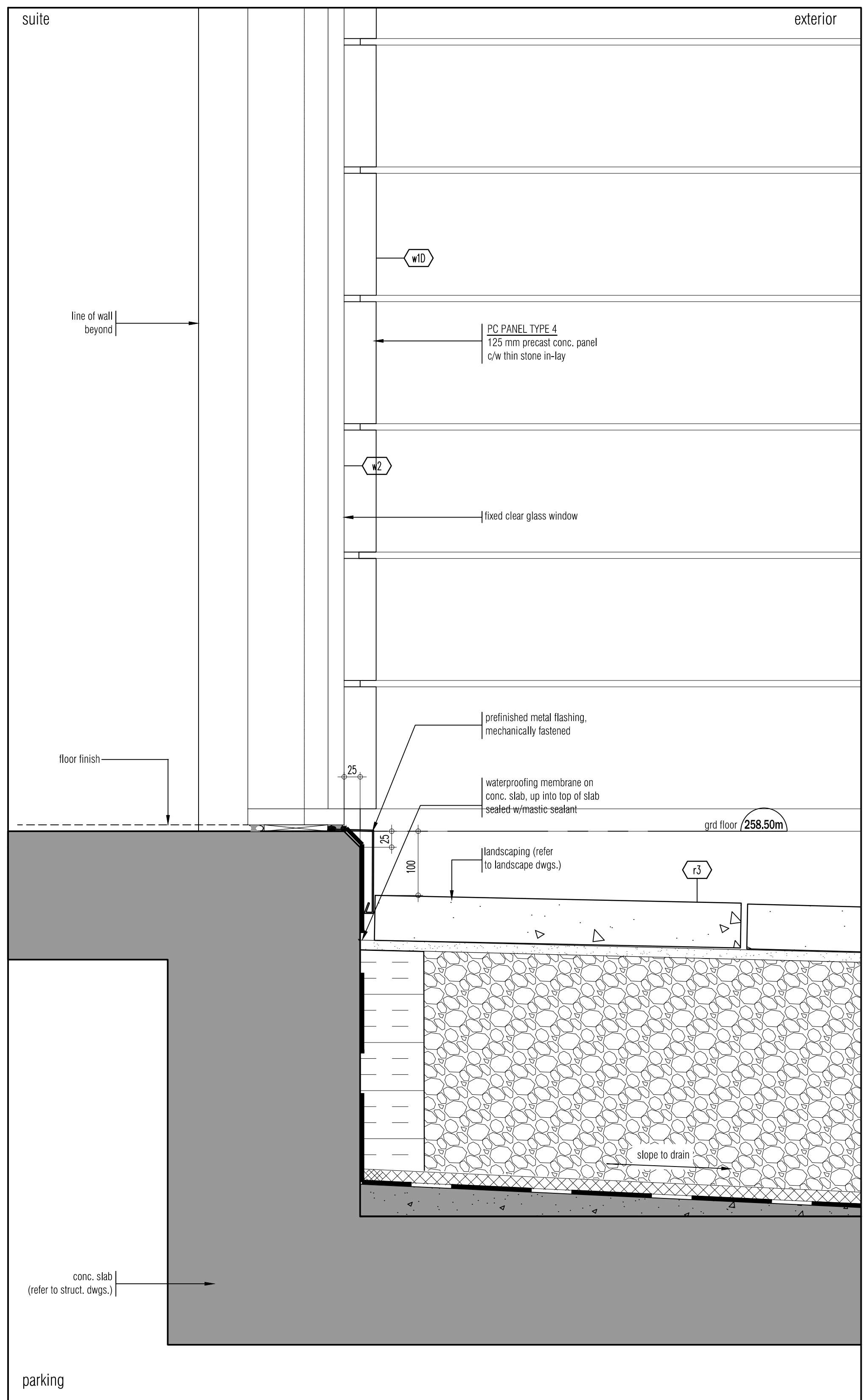
Wall Section

1:20 A608

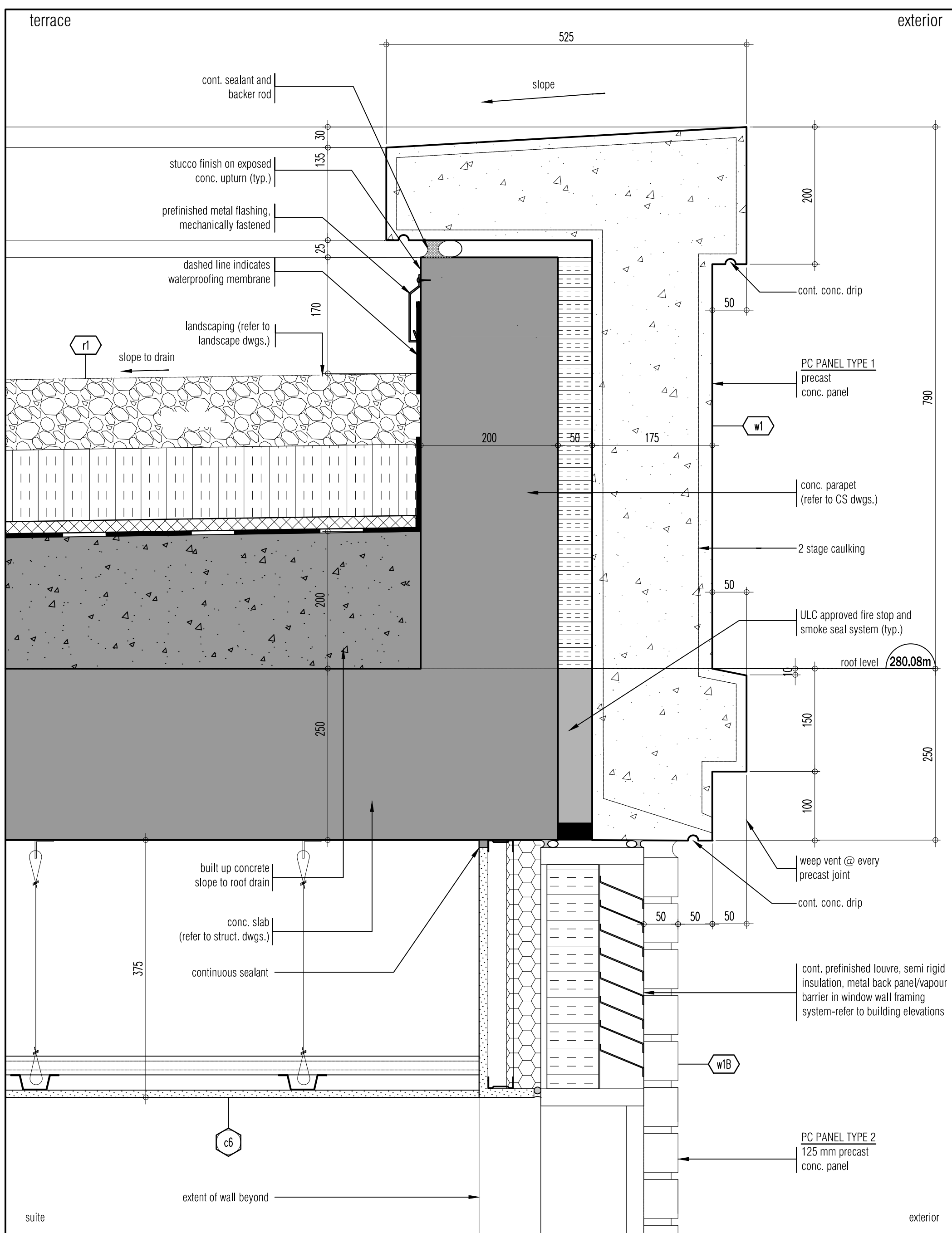
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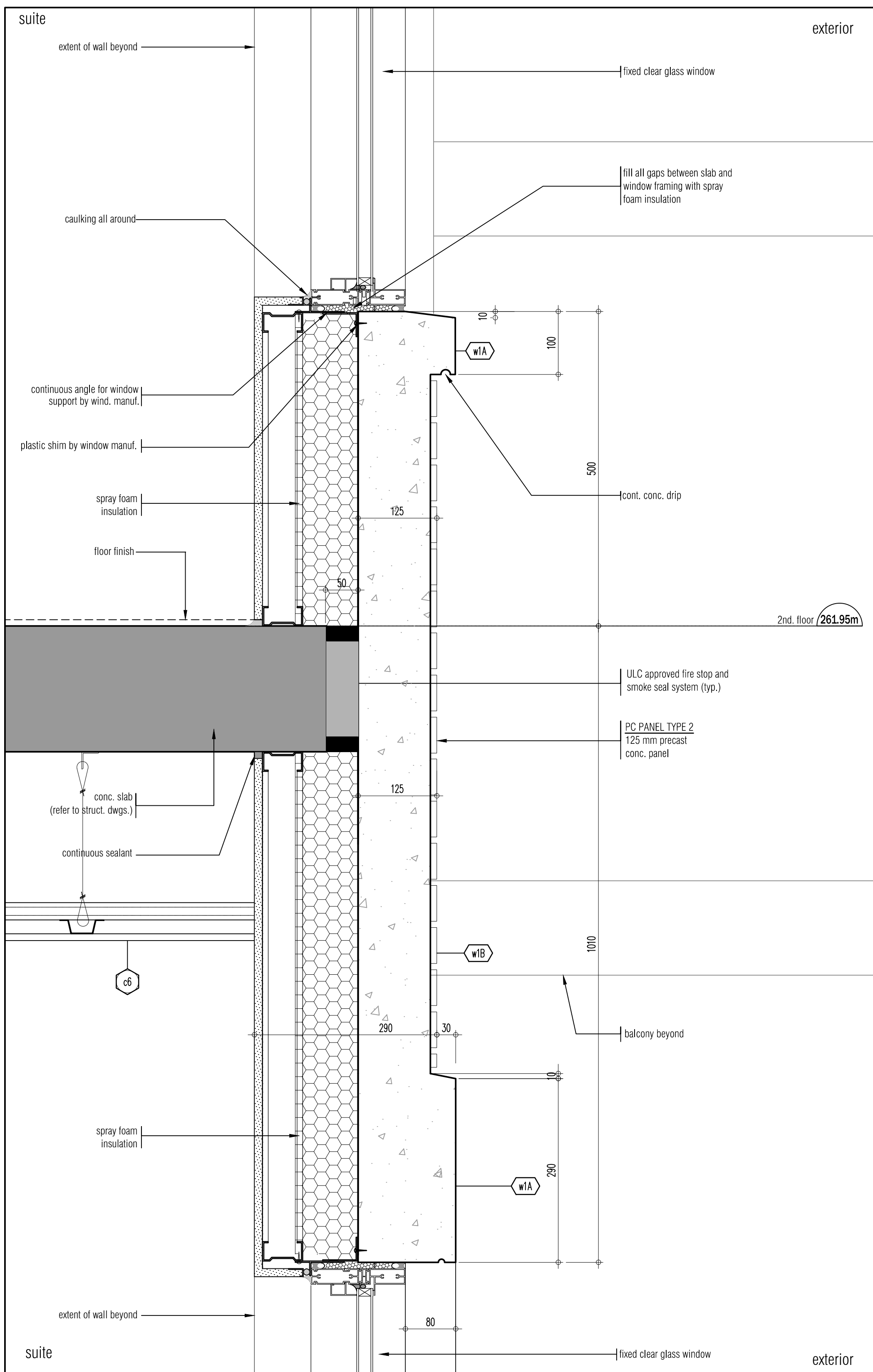
section detail @ 1st & 2nd floor precast
SCALE - 1/5 A651



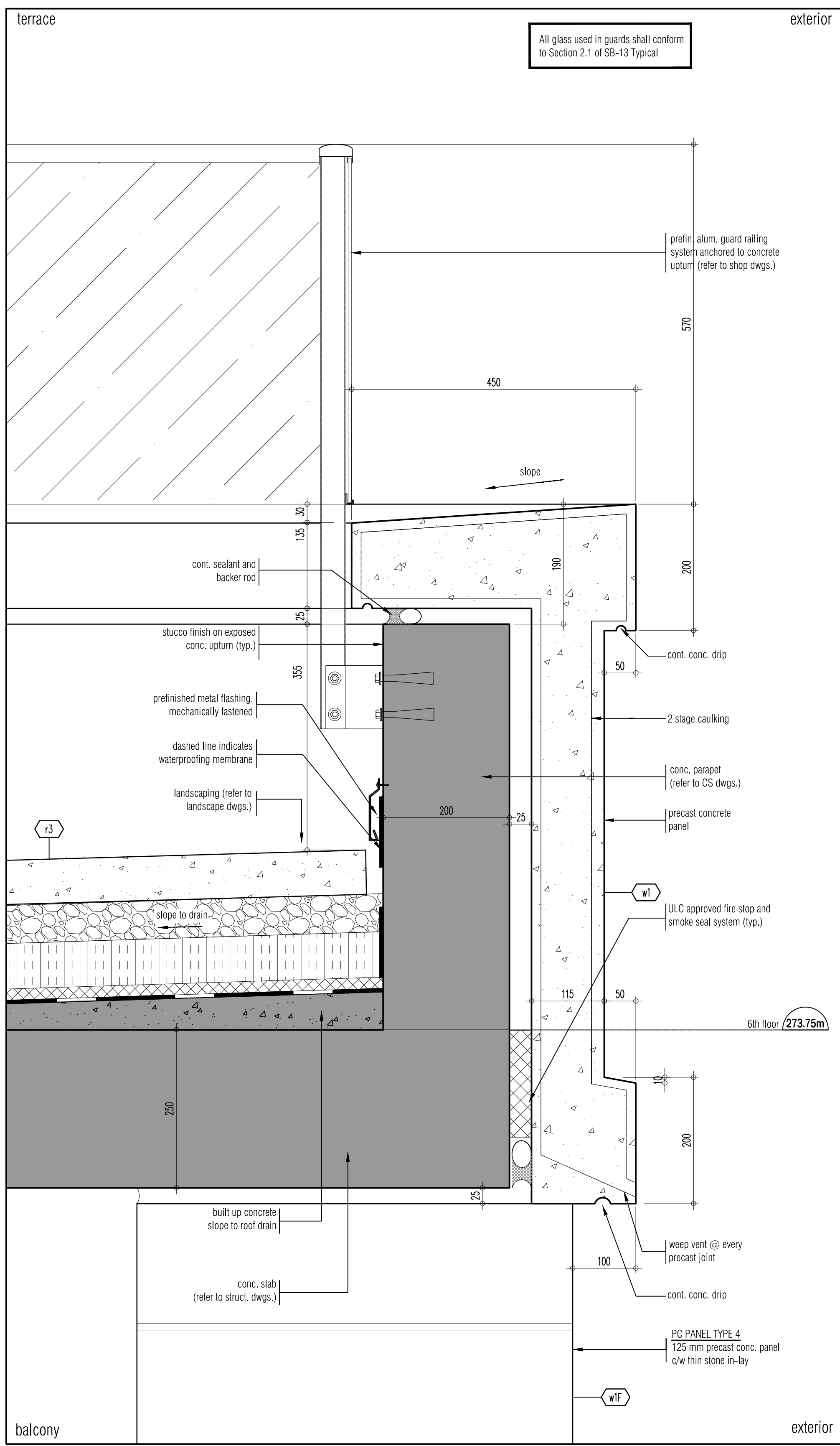
section detail @ ground floor
SCALE - 1/5 A651



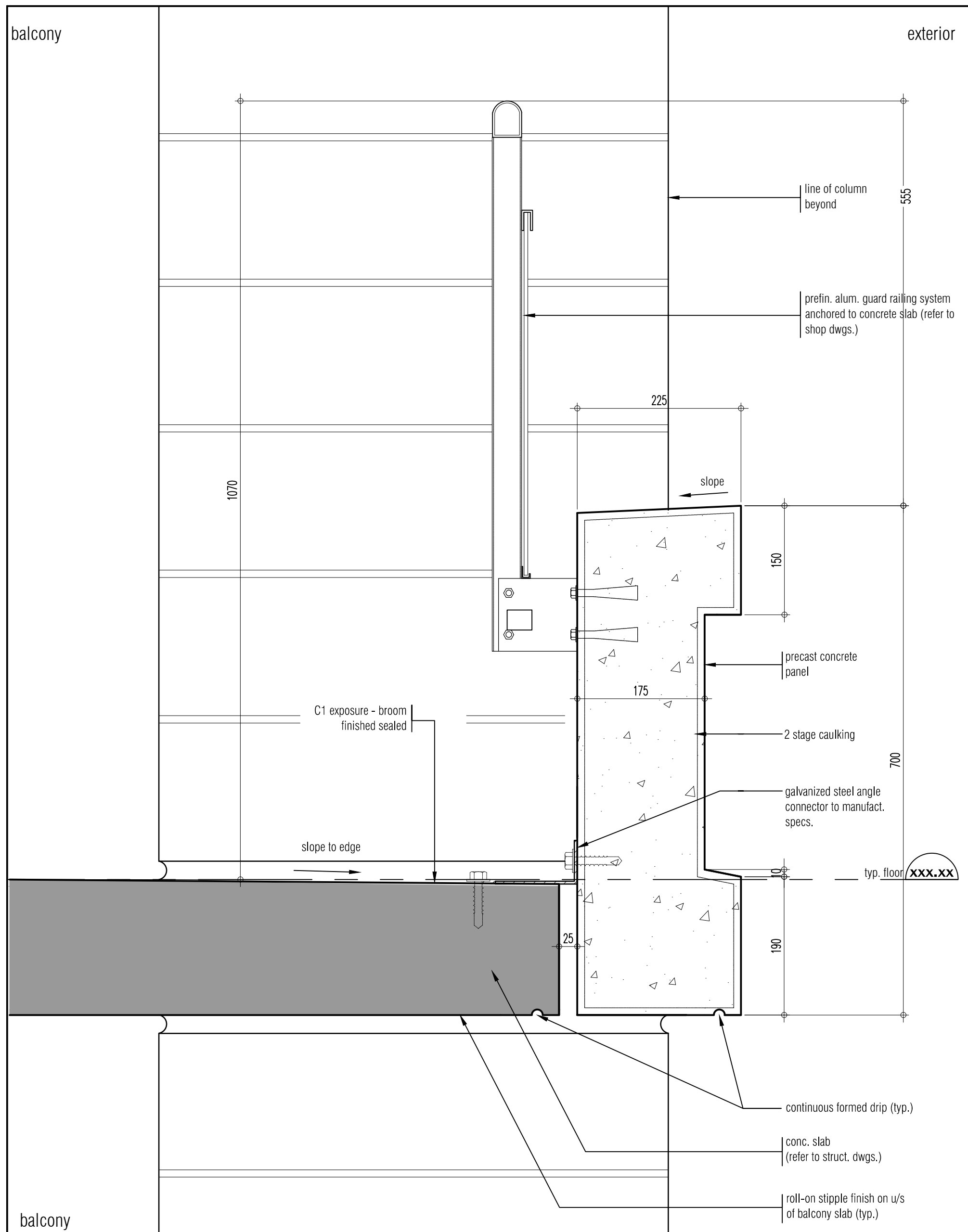
section detail @ roof/precast panel
SCALE - 1/5 A651



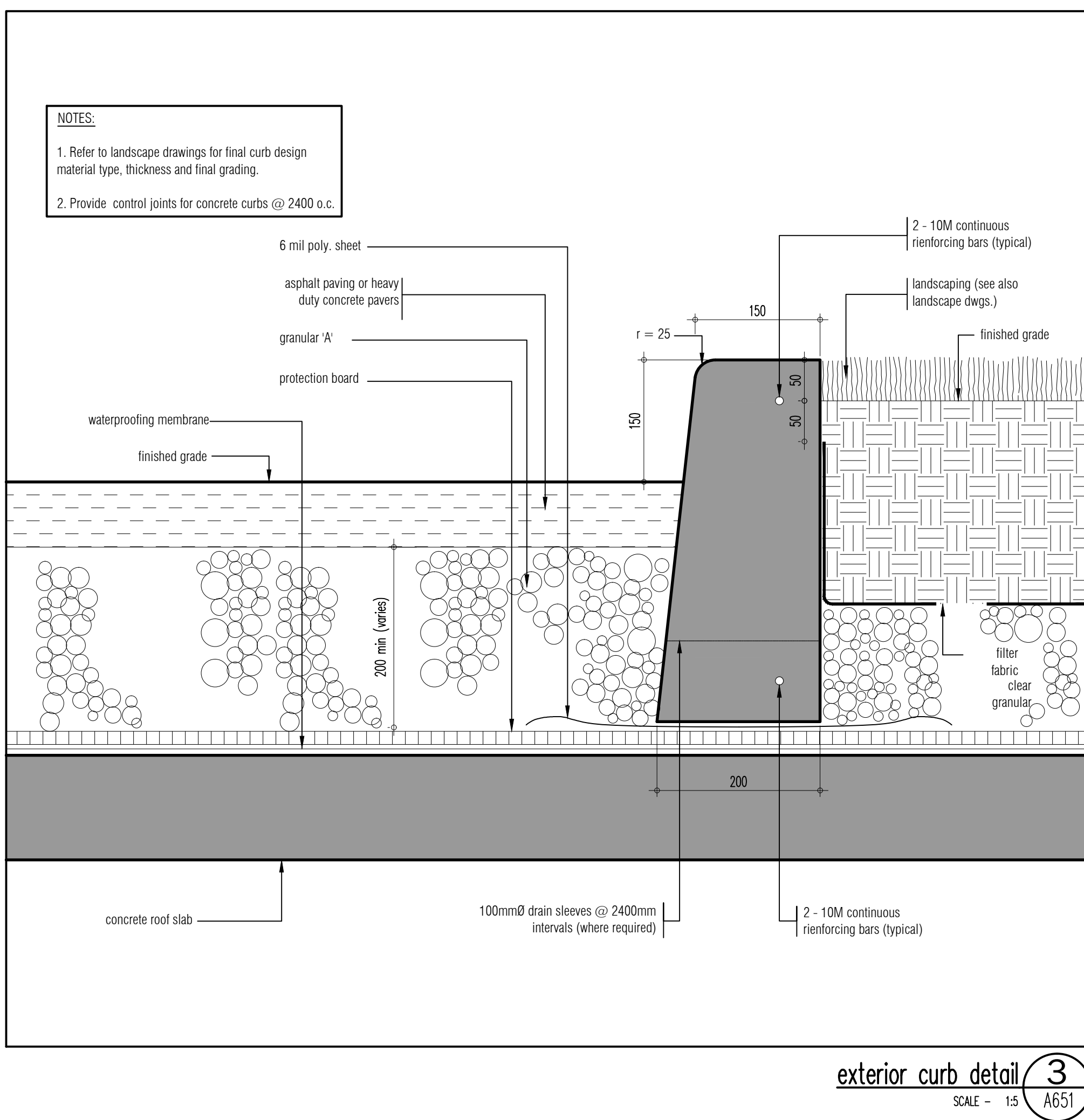
section detail @ 2nd floor window
SCALE - 1/5 A651



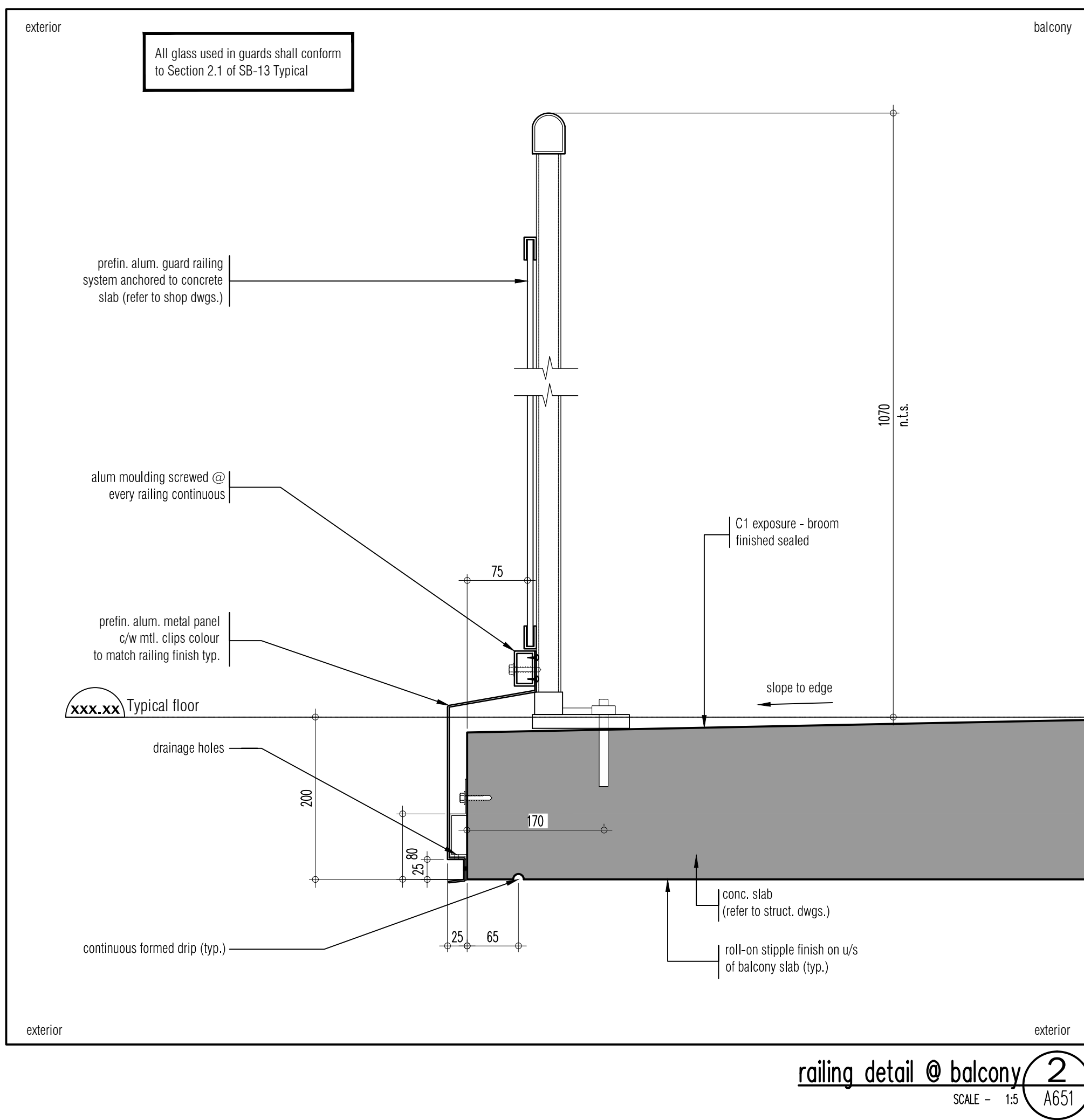
section detail @ terrace/precast panel
SCALE - 1/5 A651

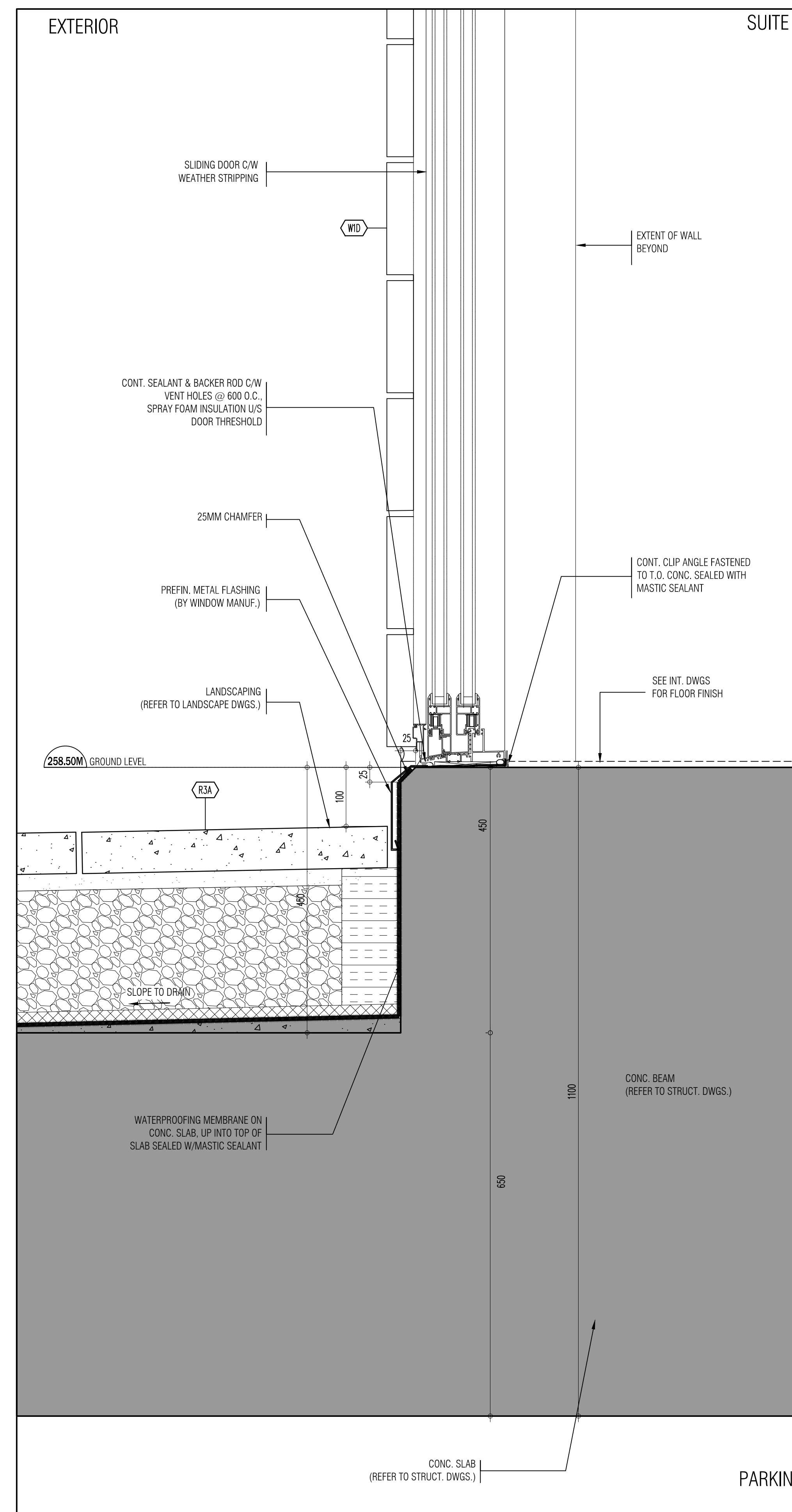
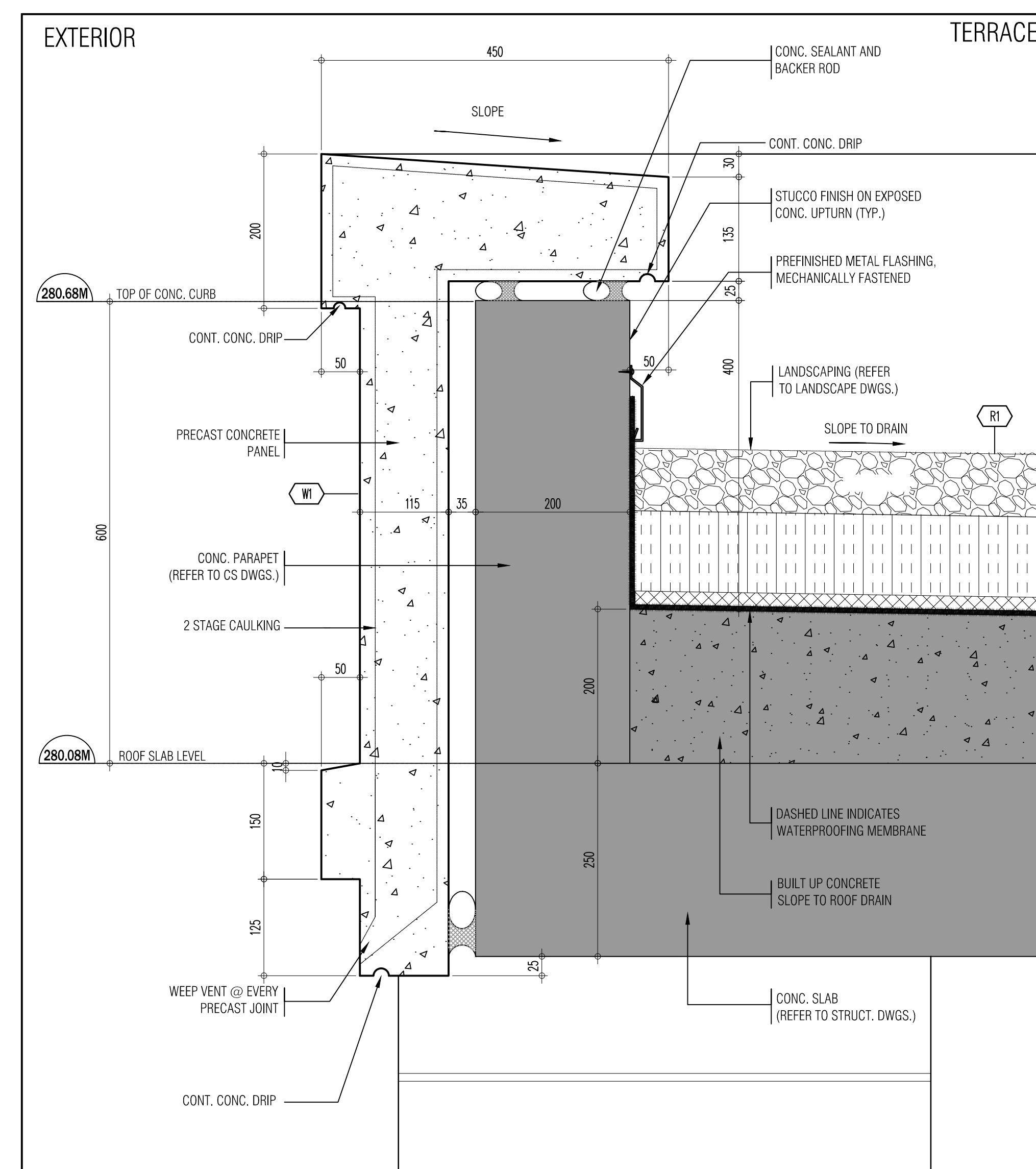
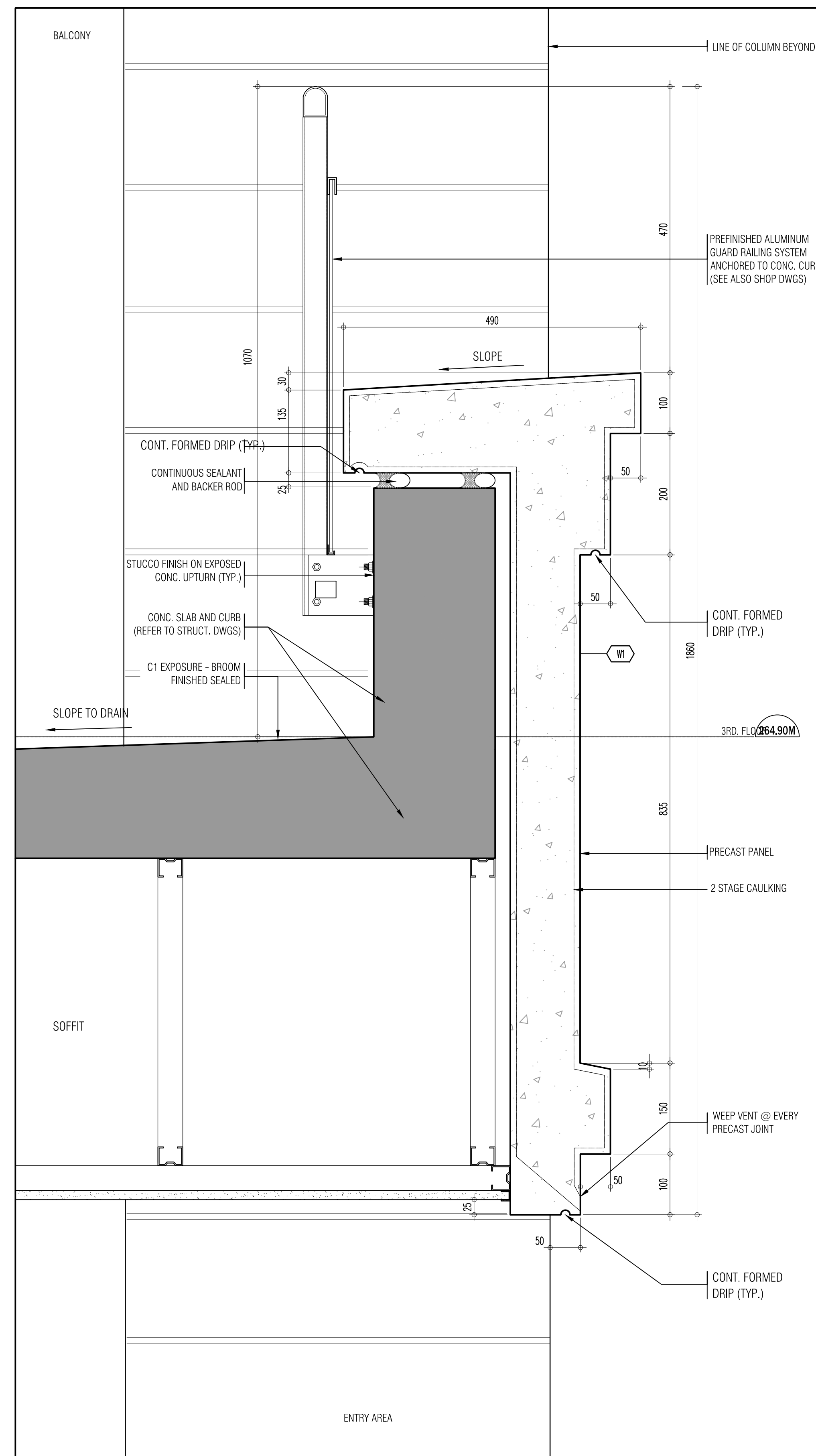
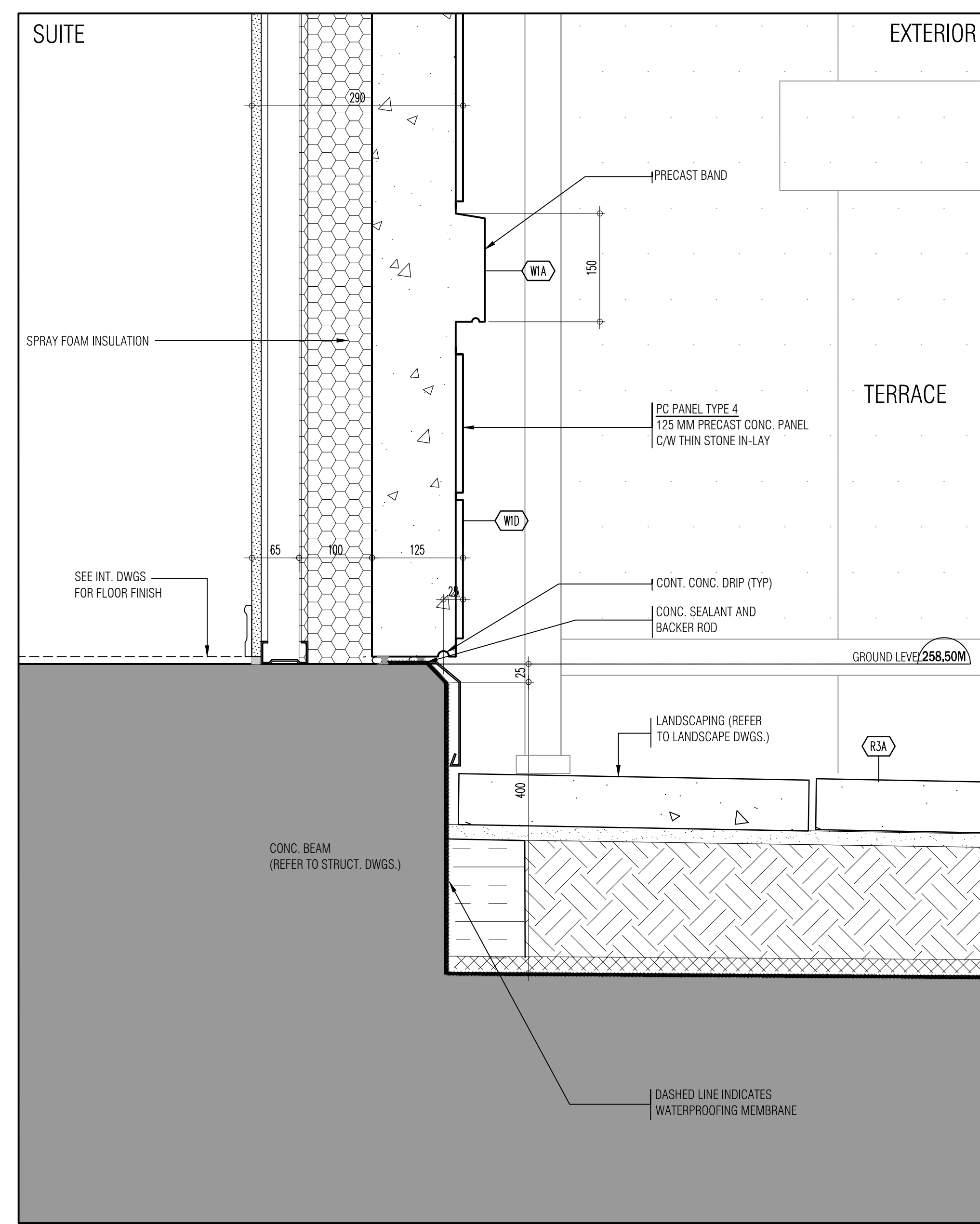
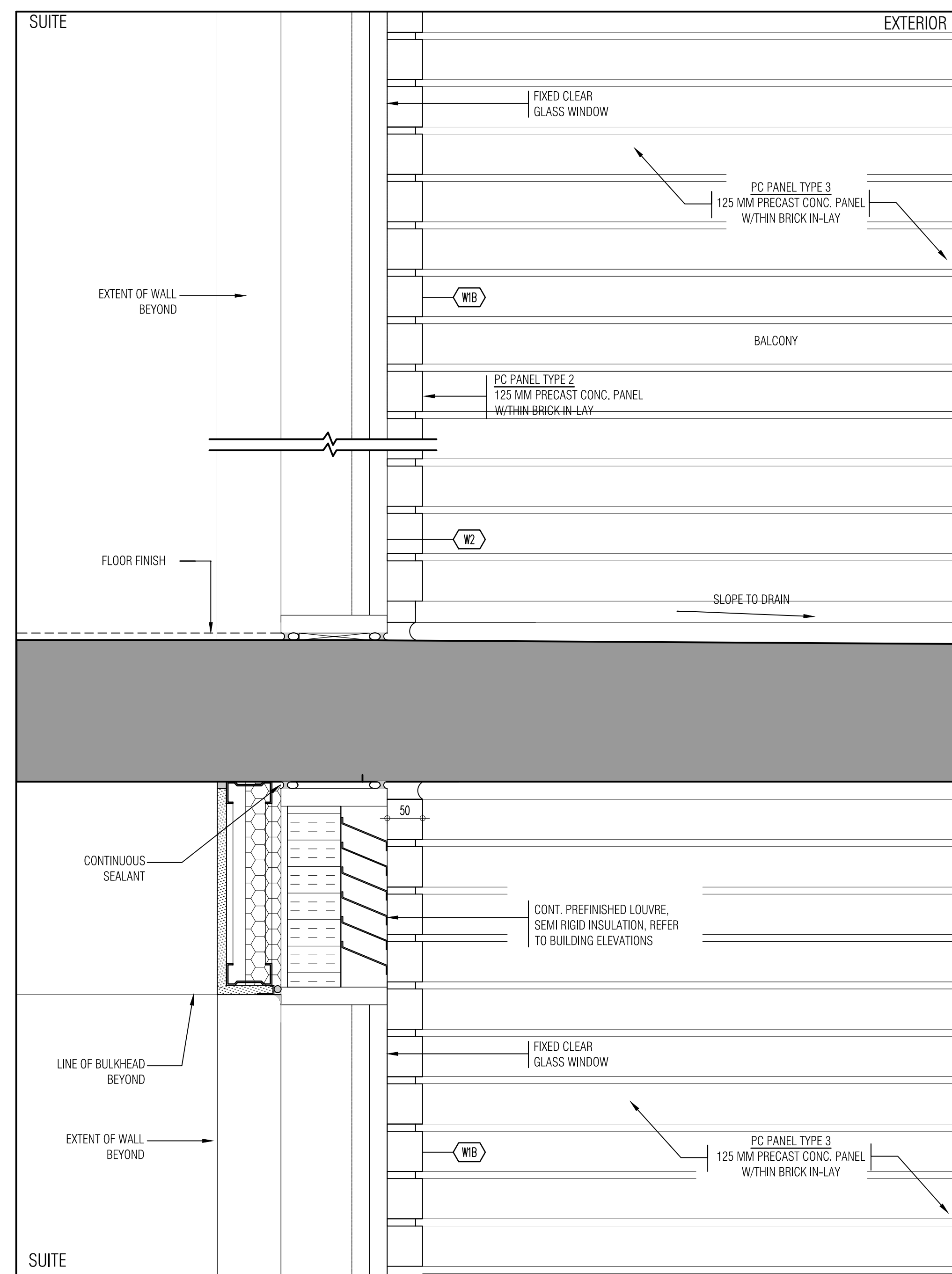
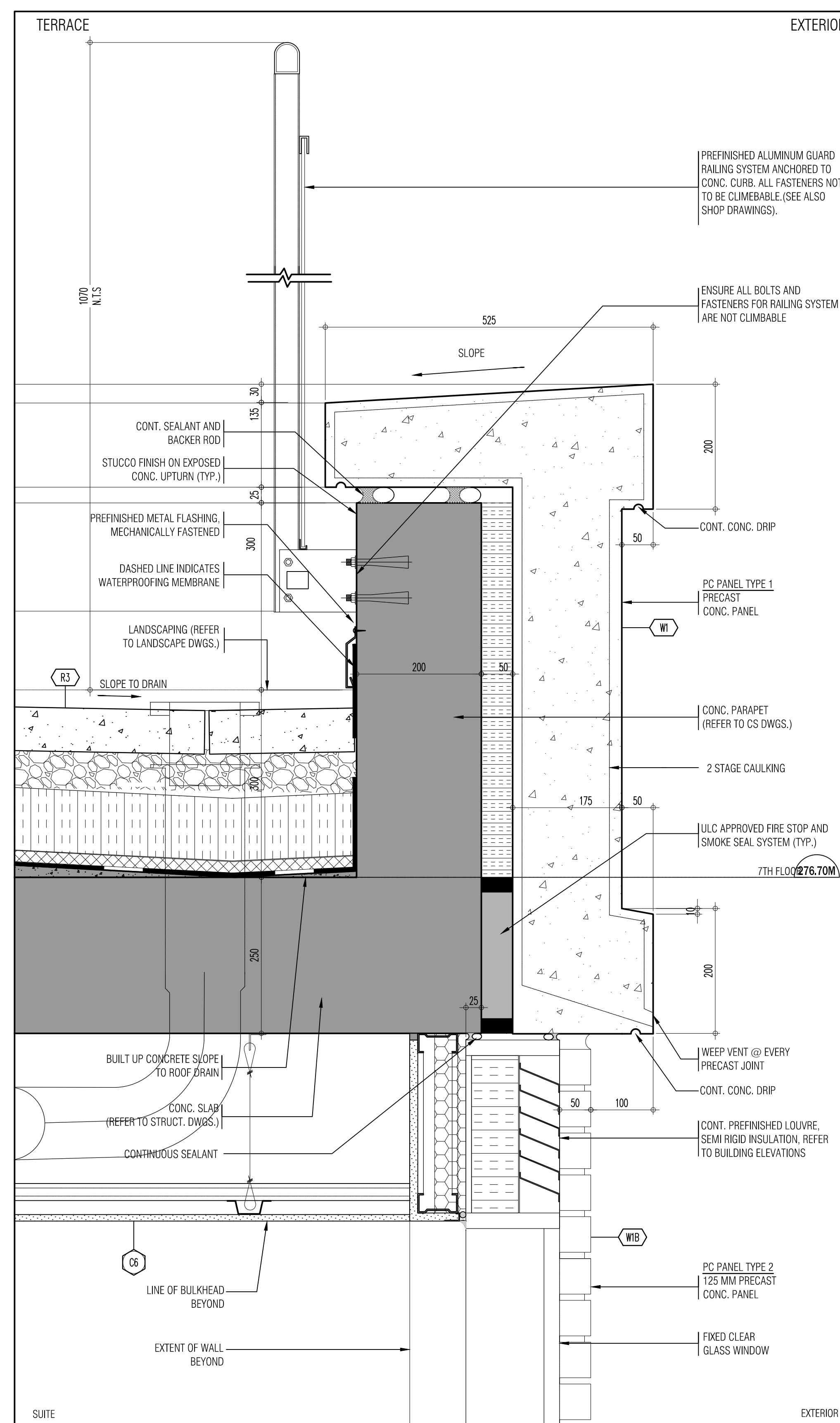
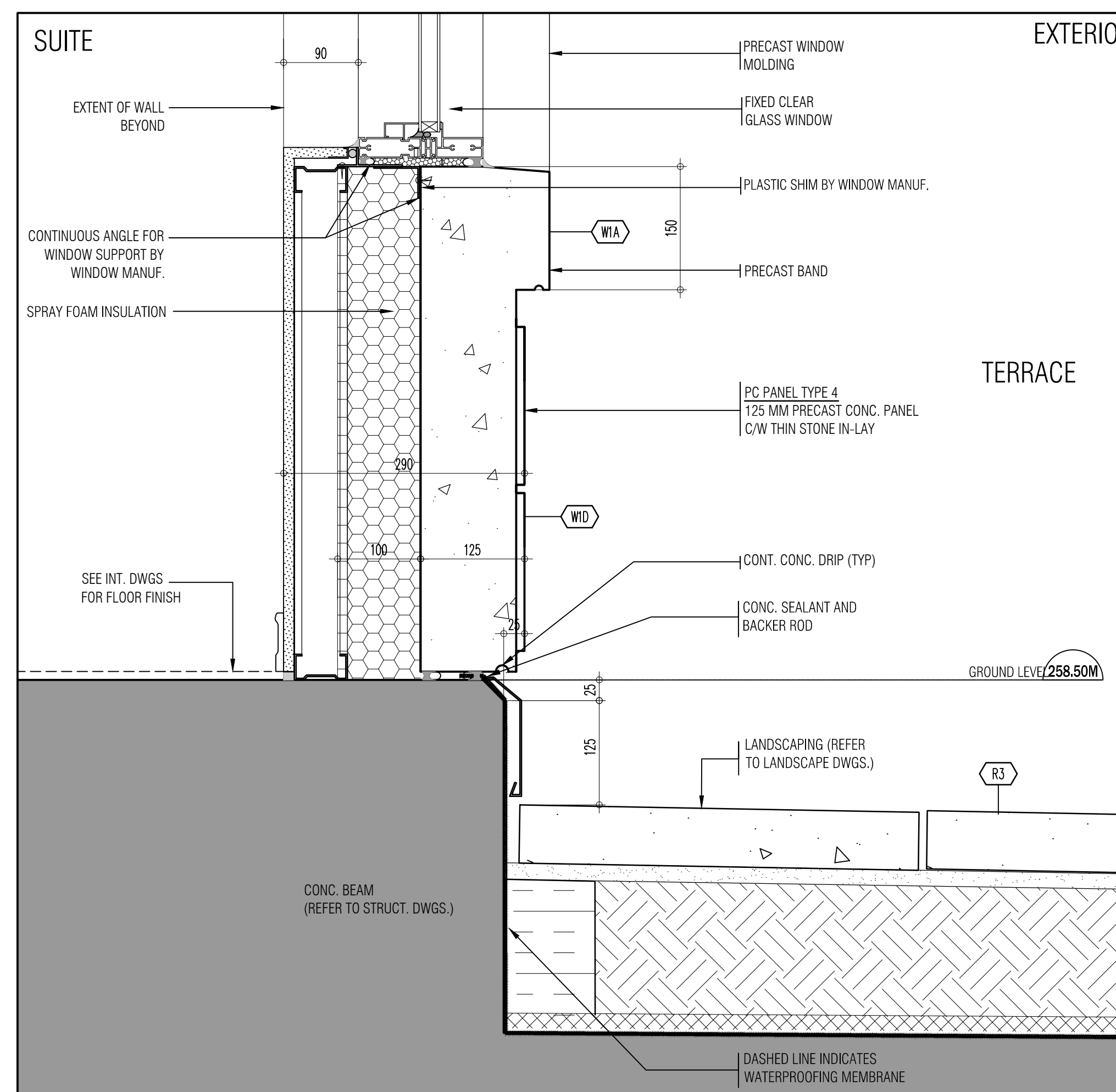
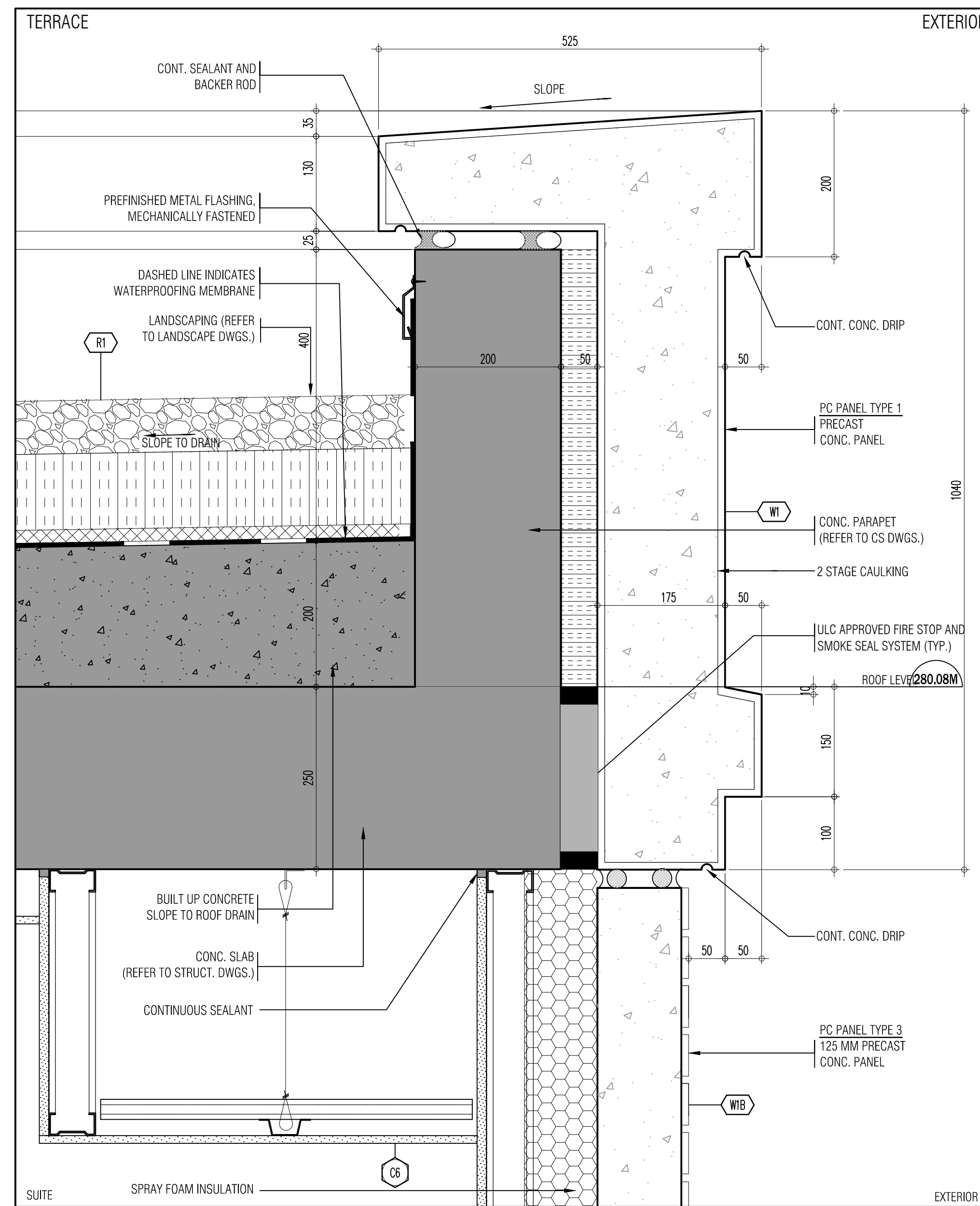


section detail @ balcony w/precast band
SCALE - 1/5 A651



exterior curb detail
SCALE - 1/5 A651





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01. FEB.28.2014 issued to city for SPA B.G.
02. JUL.9.2014 re-issued to city for SPA B.G.
03. SEP.11.2014 re-issued to city for SPA B.G.
04. JAN.15.2015 re-issued to city for SPA B.G.
05. MAR.15.2015 issued for tender B.G.
06. DEC.28.2016 issued for building permit B.G.
07. MAY.10.2017 re-issued for building permit B.G.
08. MAY.10.2017 issued for Footings and Foundation Permit B.G.
09. JULY.19.2017 Progress for Construction B.G.
10. AUG.09.2017 issued for Construction B.G.
11. OCT.25.2017 Revision to Envelope B.G.
12. APR.04.2018 Re-issued for Building Permit B.G.

02. OCT.25.2017 S108 ENVELOPE/SPRAY FOAM INSULATION B.G.
01. AUG.21.2017 S103 SANDBLAST PRECAST ON BALCONIES B.G.

issued for revisions

GRAZIANI & CORAZZA ARCHITECTS INC.
1337 Denison Street, Suite 101, Richmond Hill, Ontario L4B 1C1
Phone: 905.705.2621 Fax: 905.705.2644 www.graziarch.com

PROPOSED RESIDENTIAL DEVELOPMENT
25 BAKER HILL BLVD.
ROYAL PINES HOMES
STUFFVILLE, ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1134.1.3

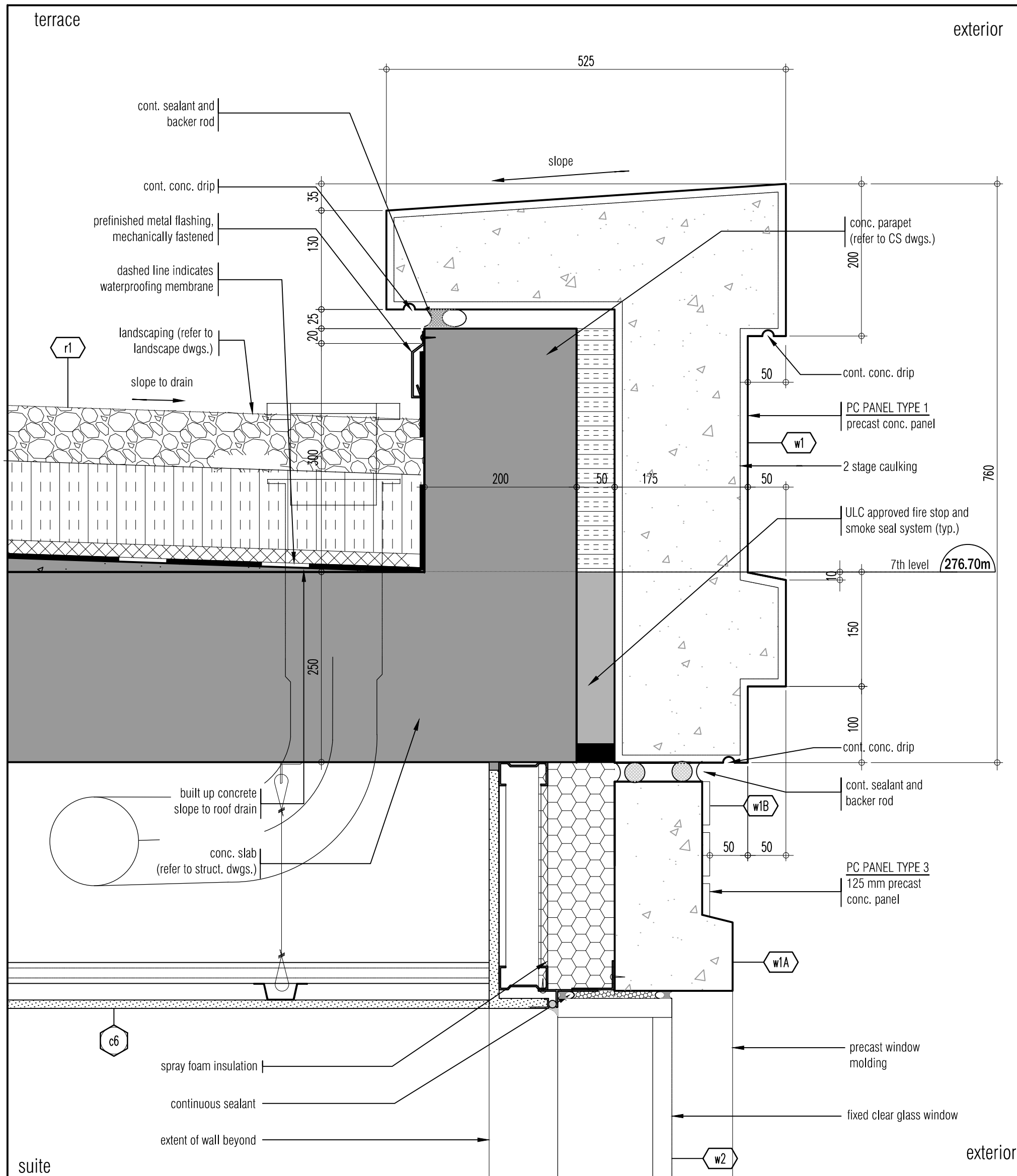
Section Details
as noted A652

TITLEBLOCK SIZE: 915 x 1400

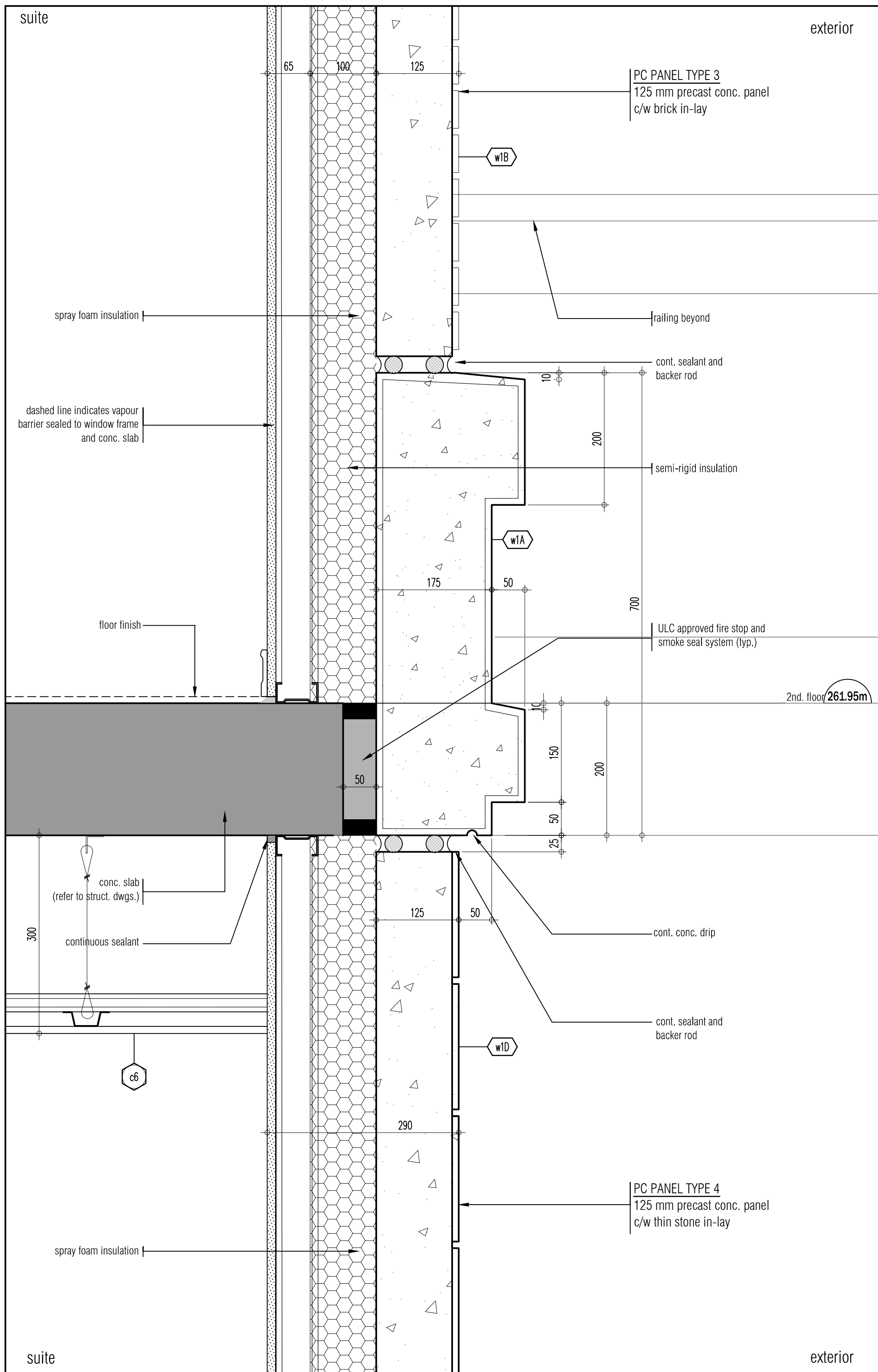
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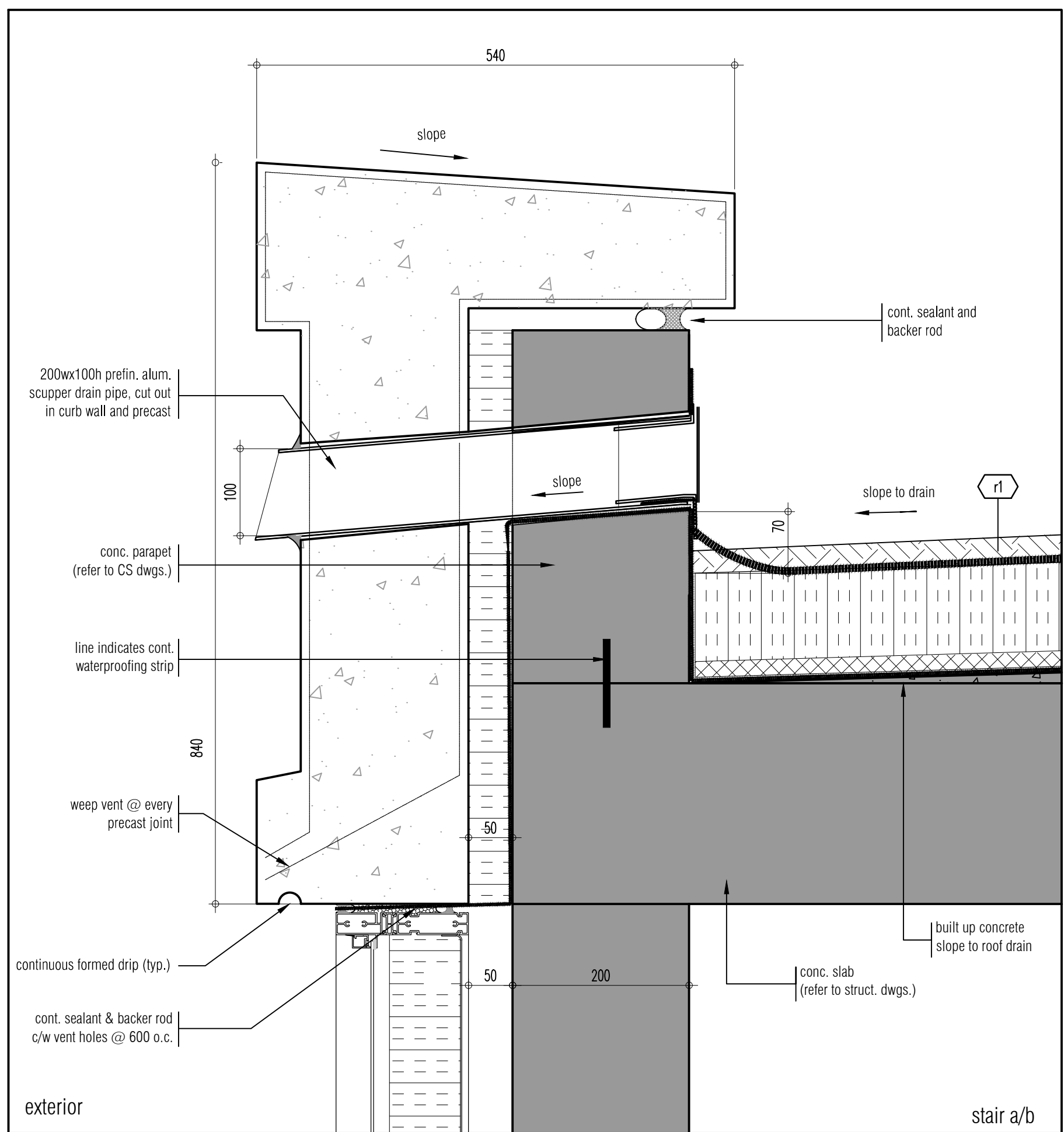
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02.	JUL.3.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.



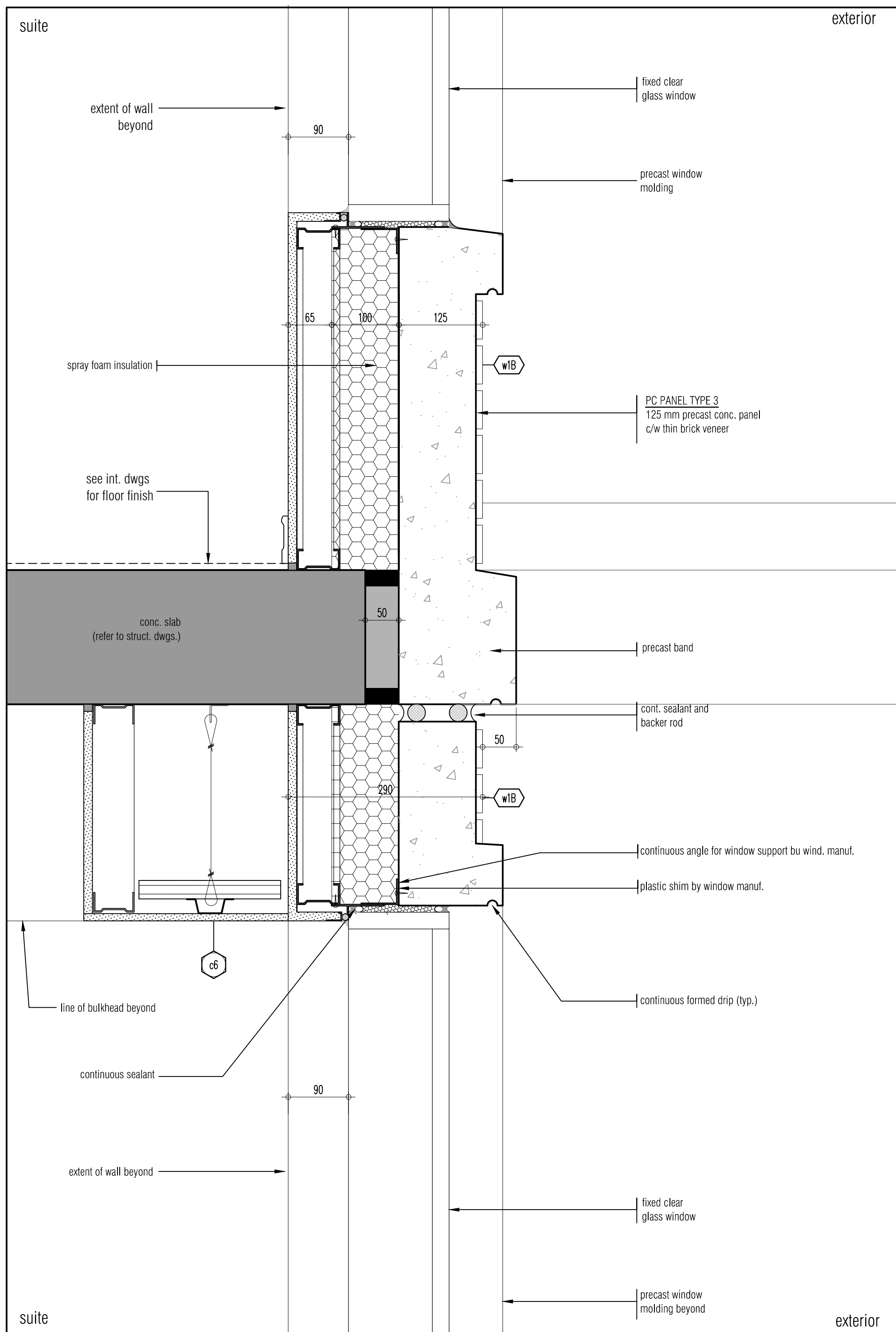
section detail @ mid roof/precast panel 4
SCALE - 1/4" = 1'-0"



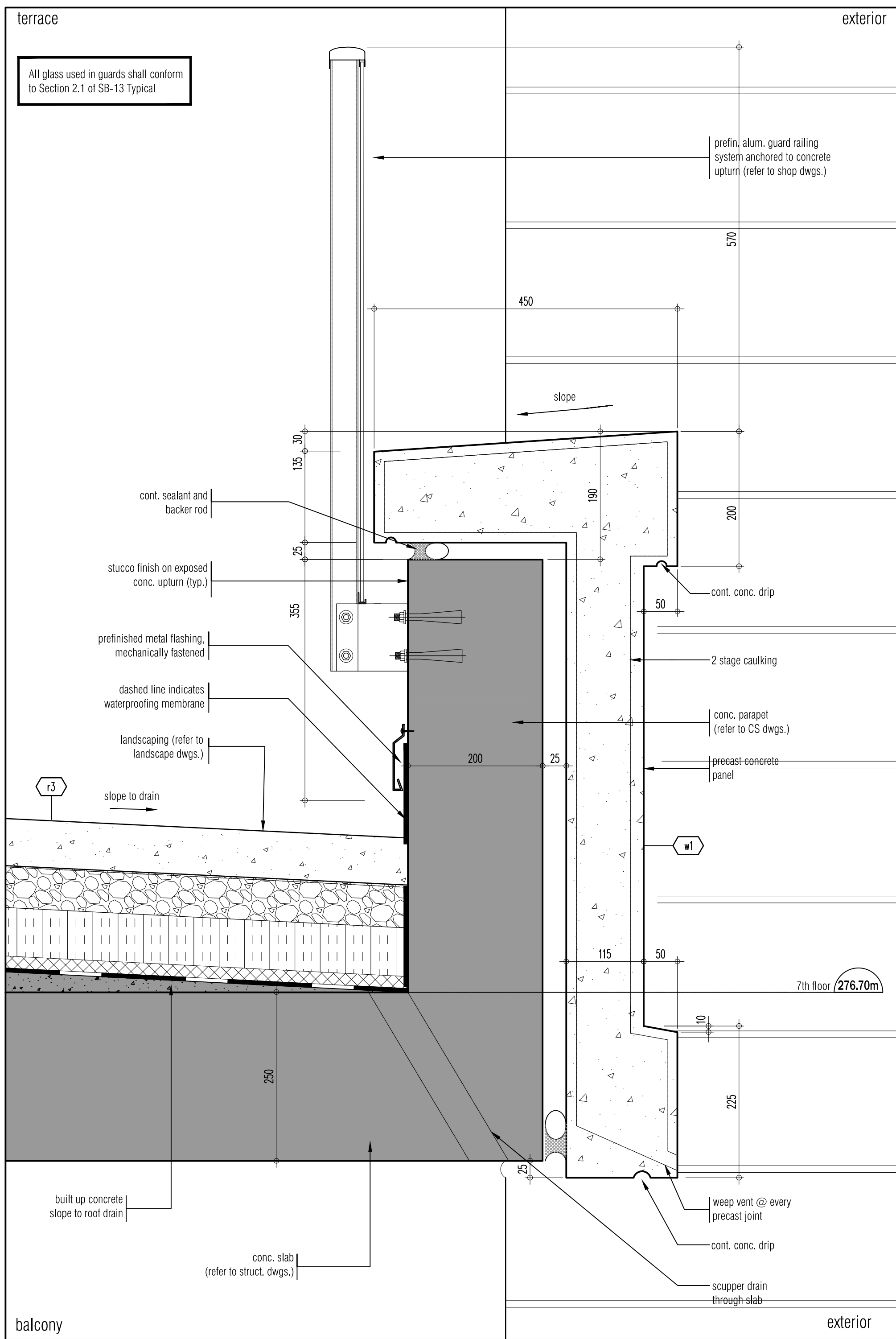
section detail @ 2nd floor precast panel 2
SCALE - 1/4" = 1'-0"



scupper detail @ roof precast 5
SCALE - 1/4" = 1'-0"



section detail @ 2nd floor precast panel 3
SCALE - 1/4" = 1'-0"



section detail @ terrace/precast panel 1
SCALE - 1/4" = 1'-0"

01. OCT.25.2017 SIB ENVELOPE/SPRAY FOAM INSULATION BG
issued for revisions

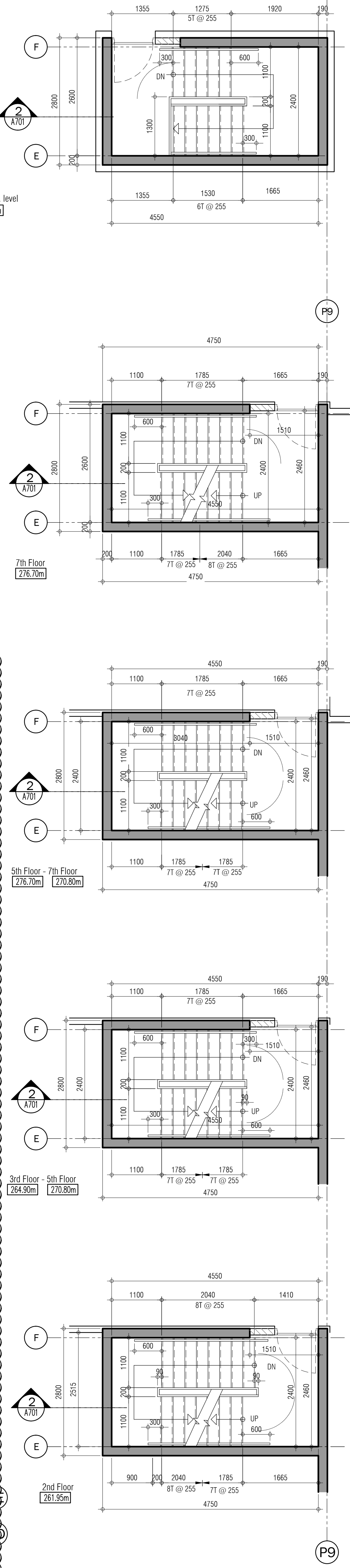
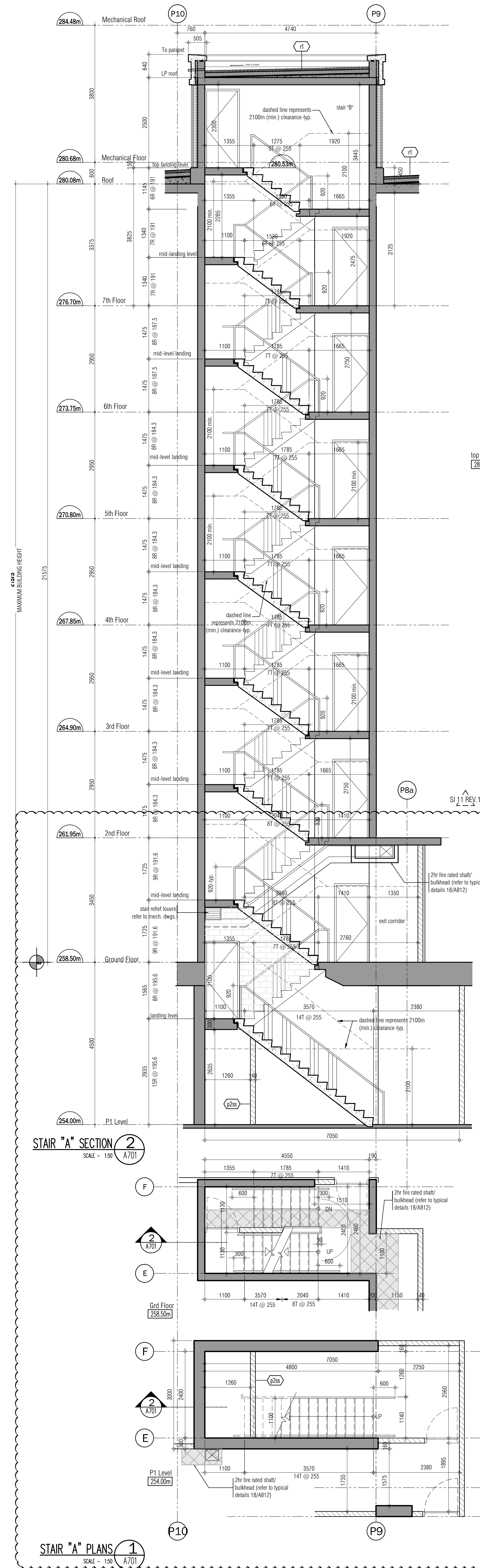
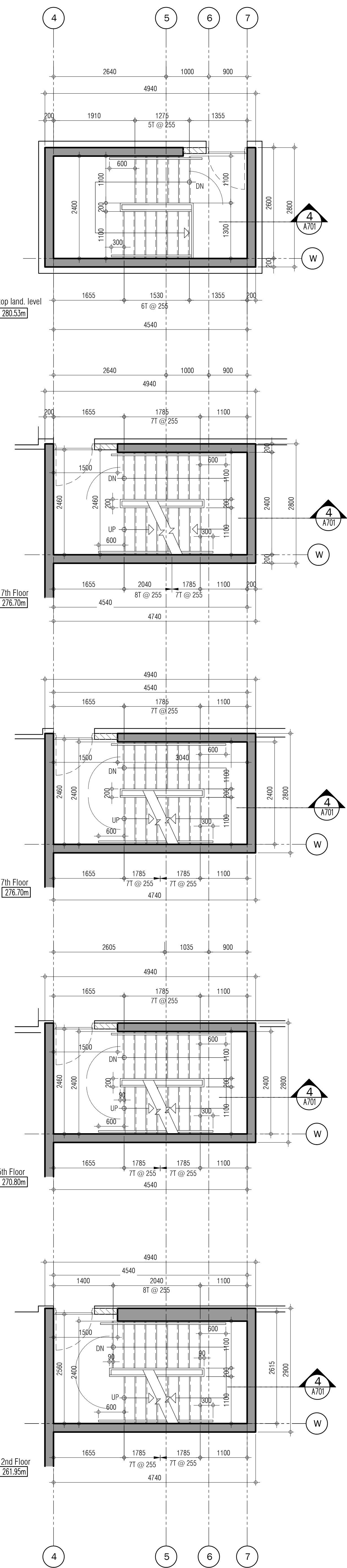
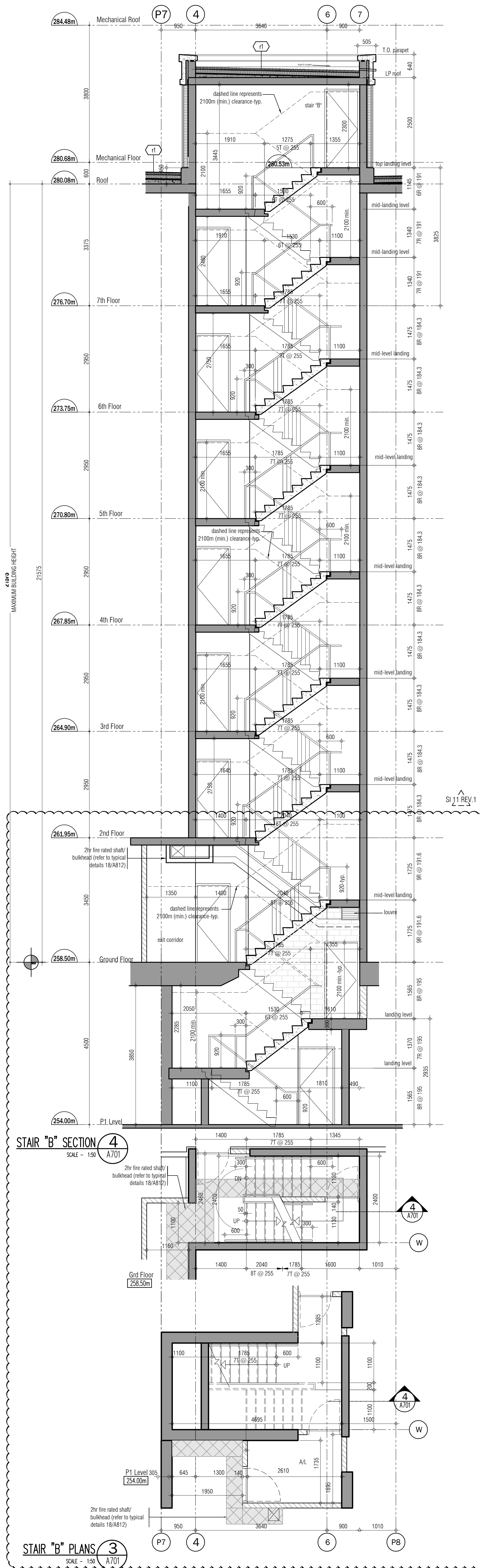
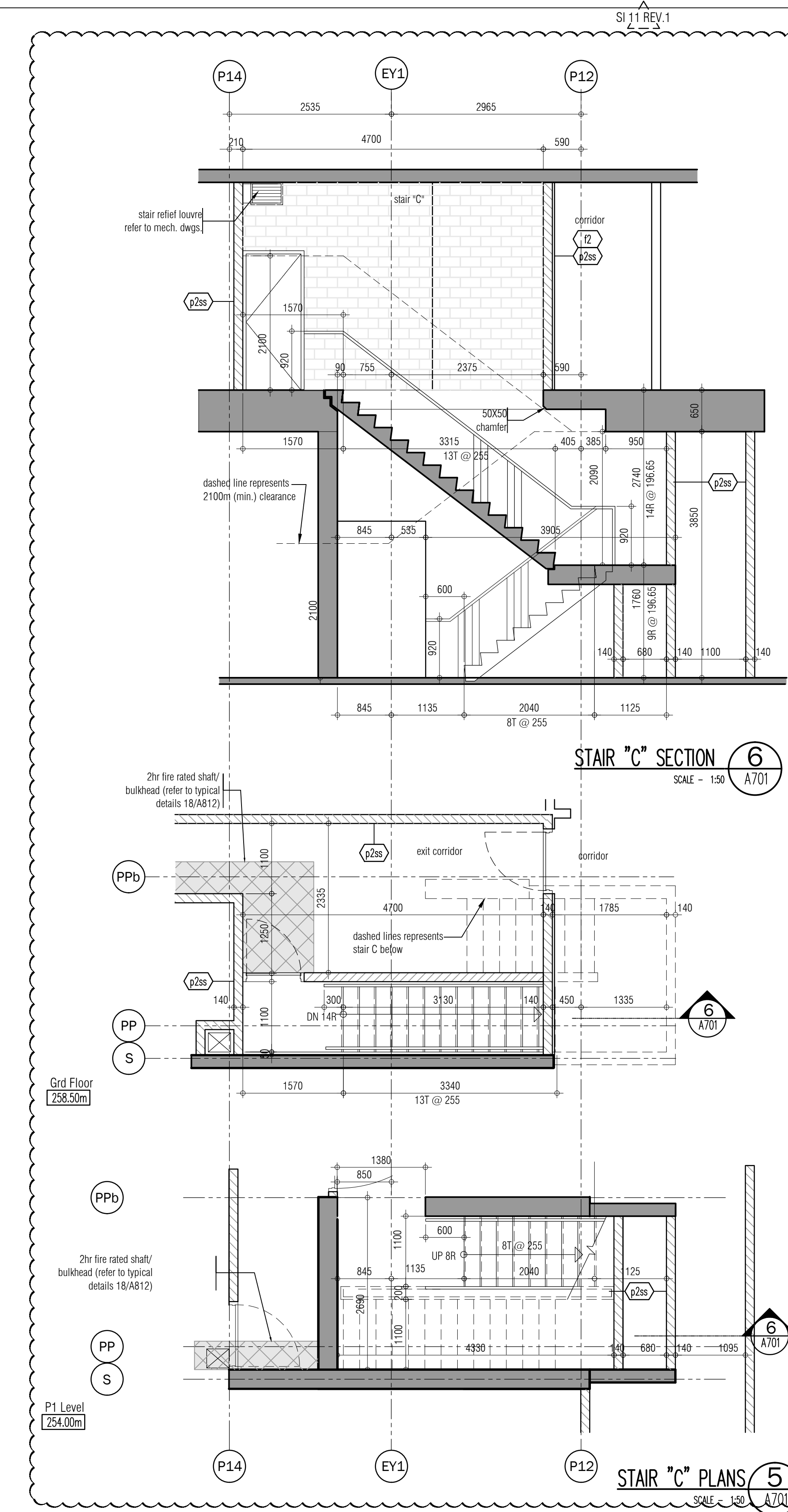
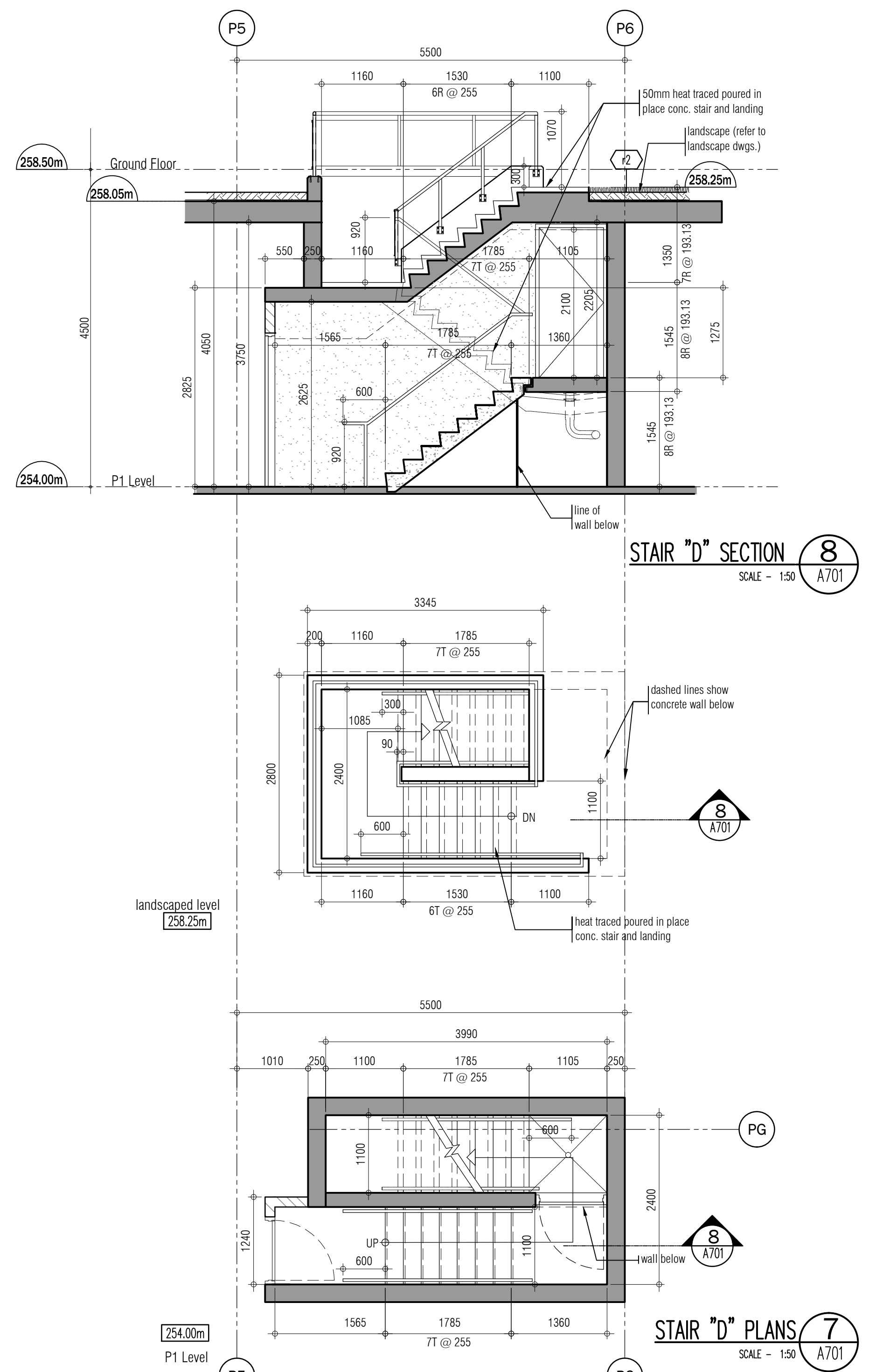
GRAZIANI + CORAZZA ARCHITECTS INC.
1330 Sheppard Ave. E. Suite 101, Richmond Hill, ON L4B 1C1
Phone: 905.765.2671 Fax: 905.765.3544 www.graziandcorazza.com

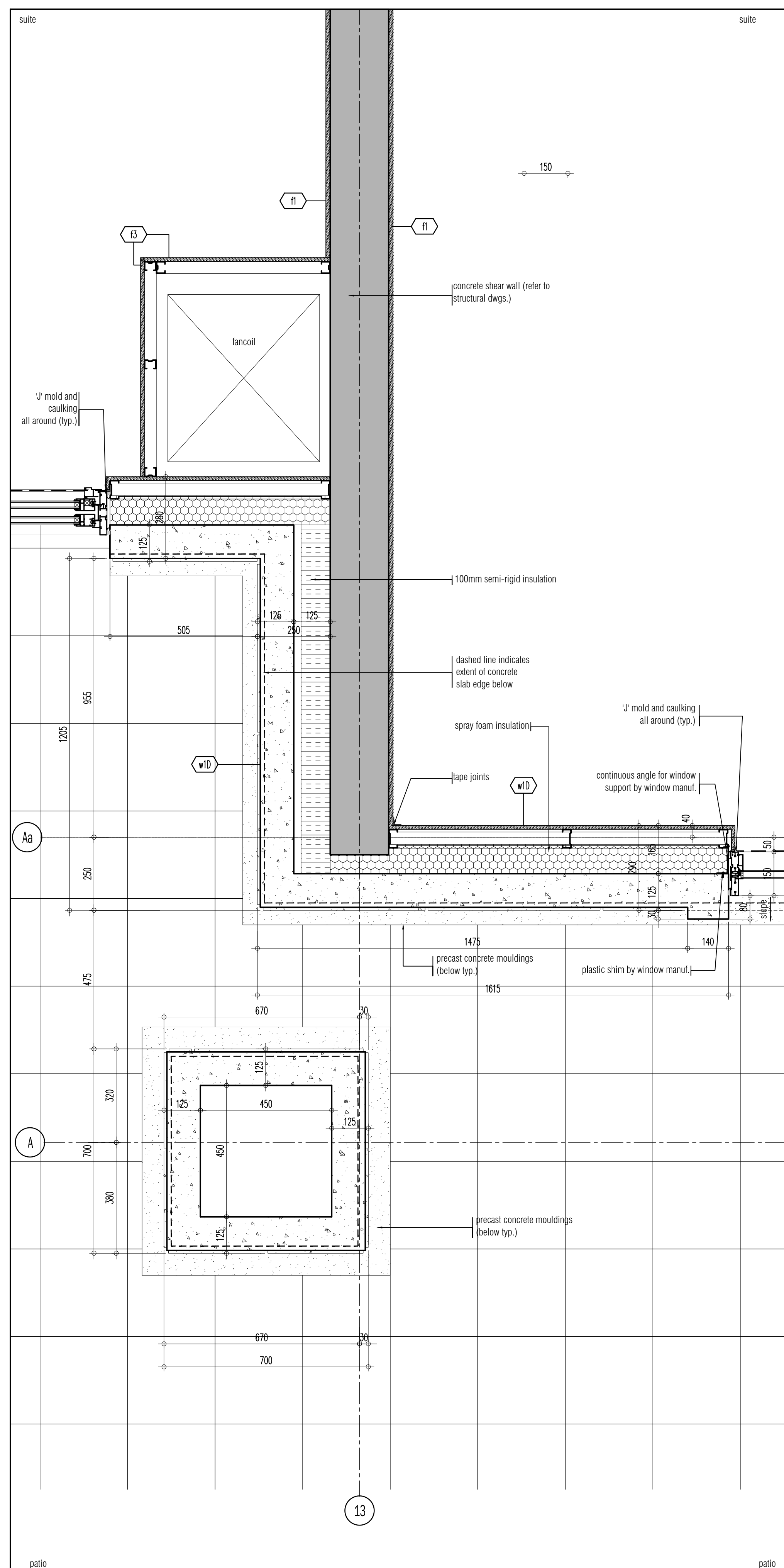
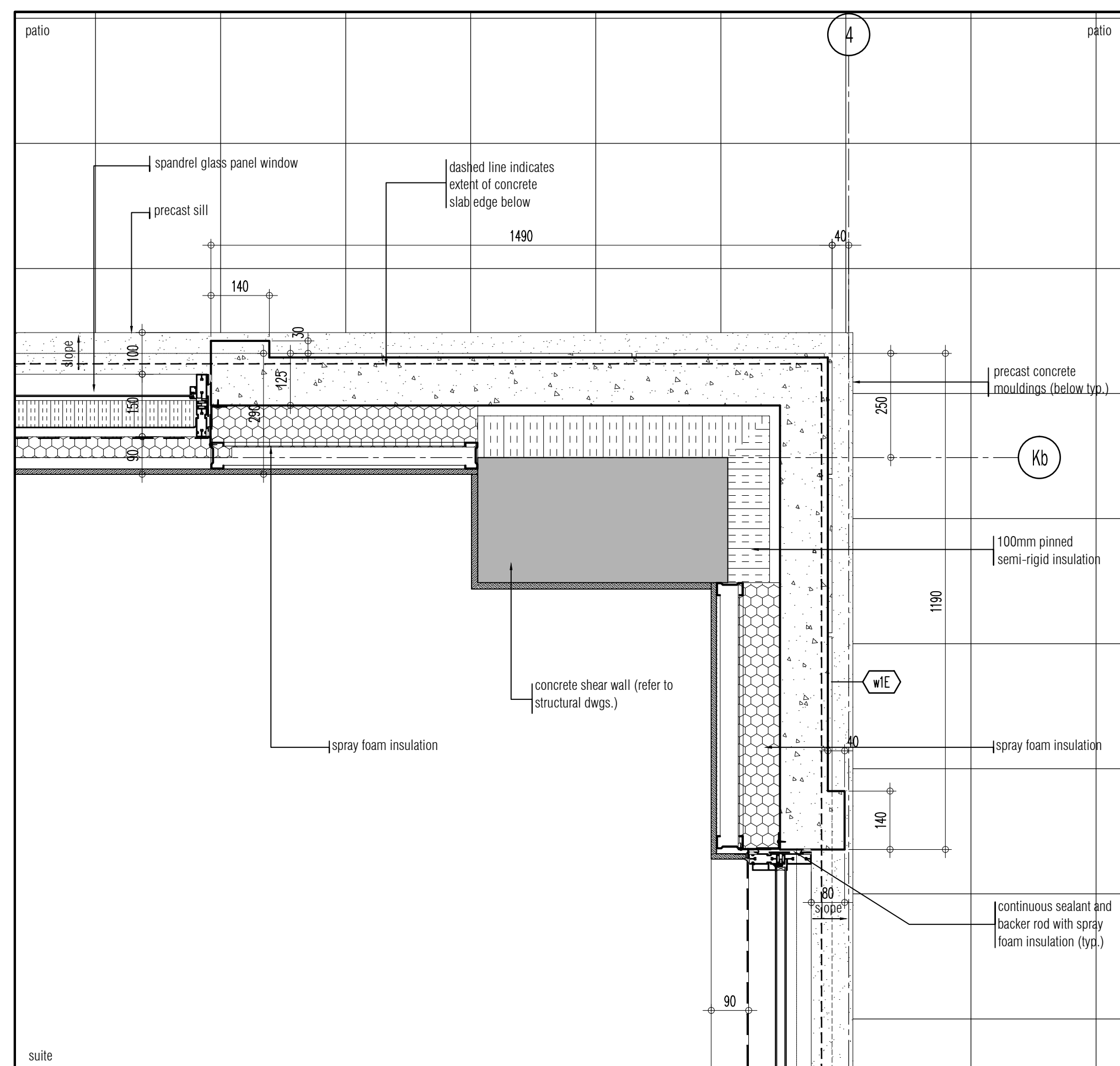
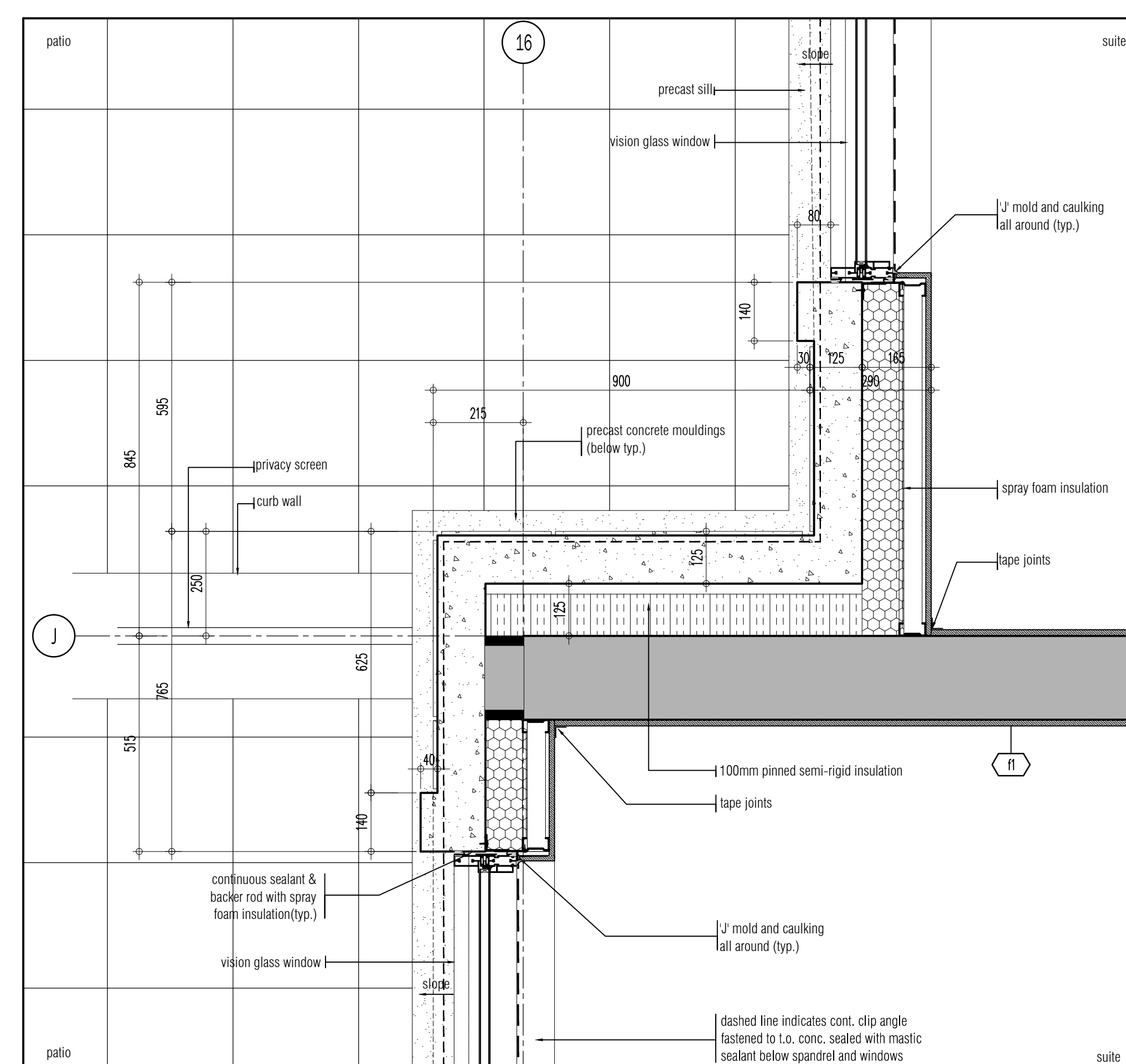
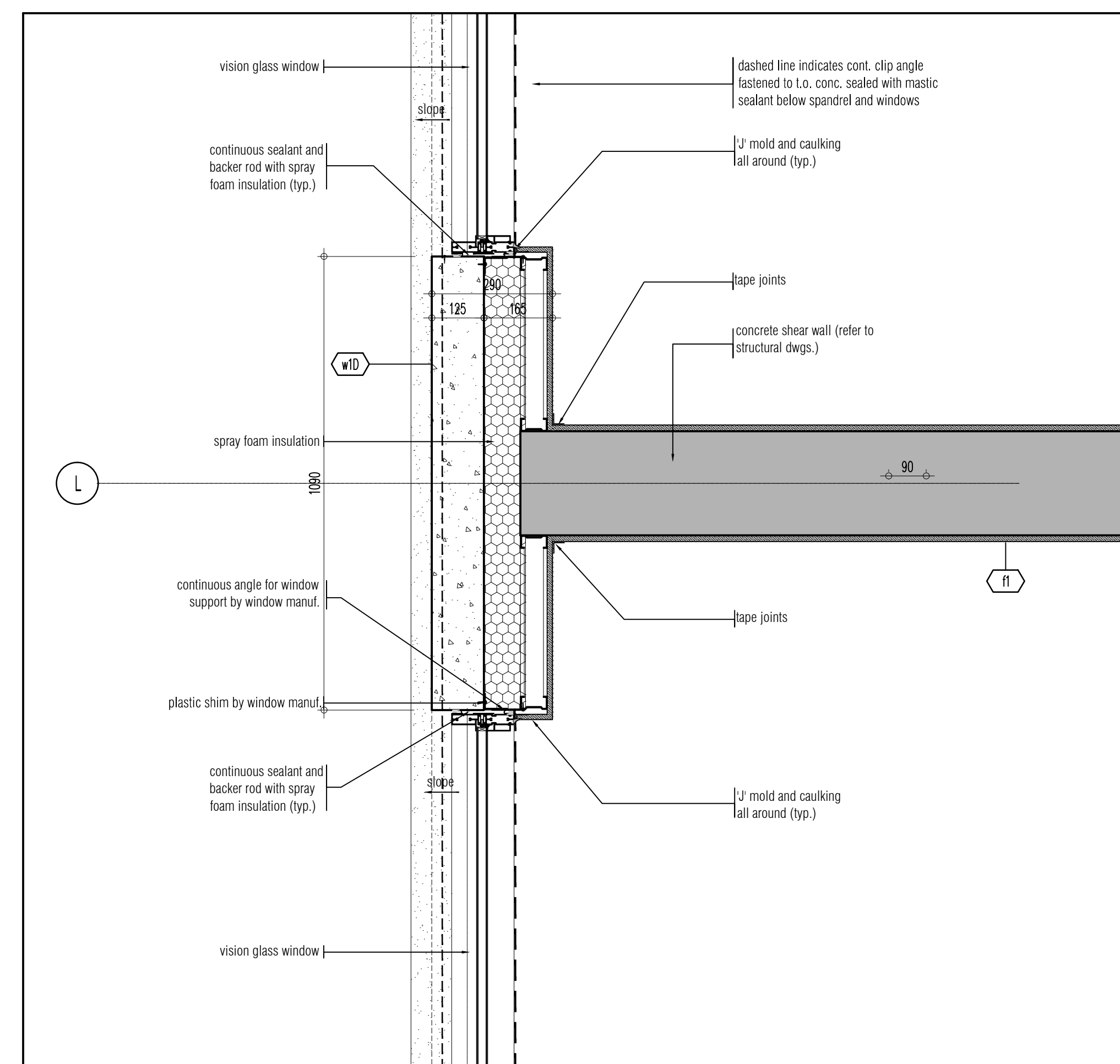
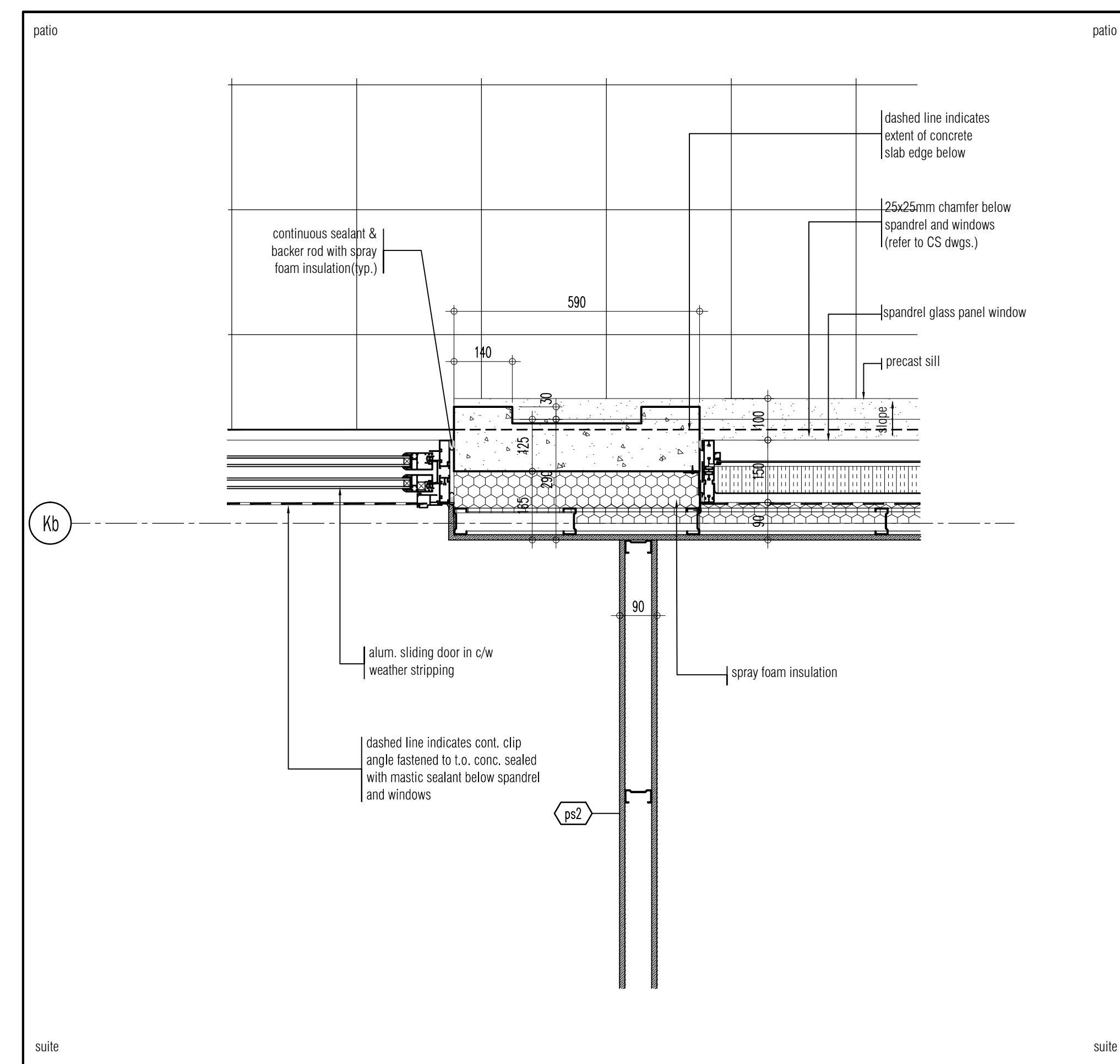
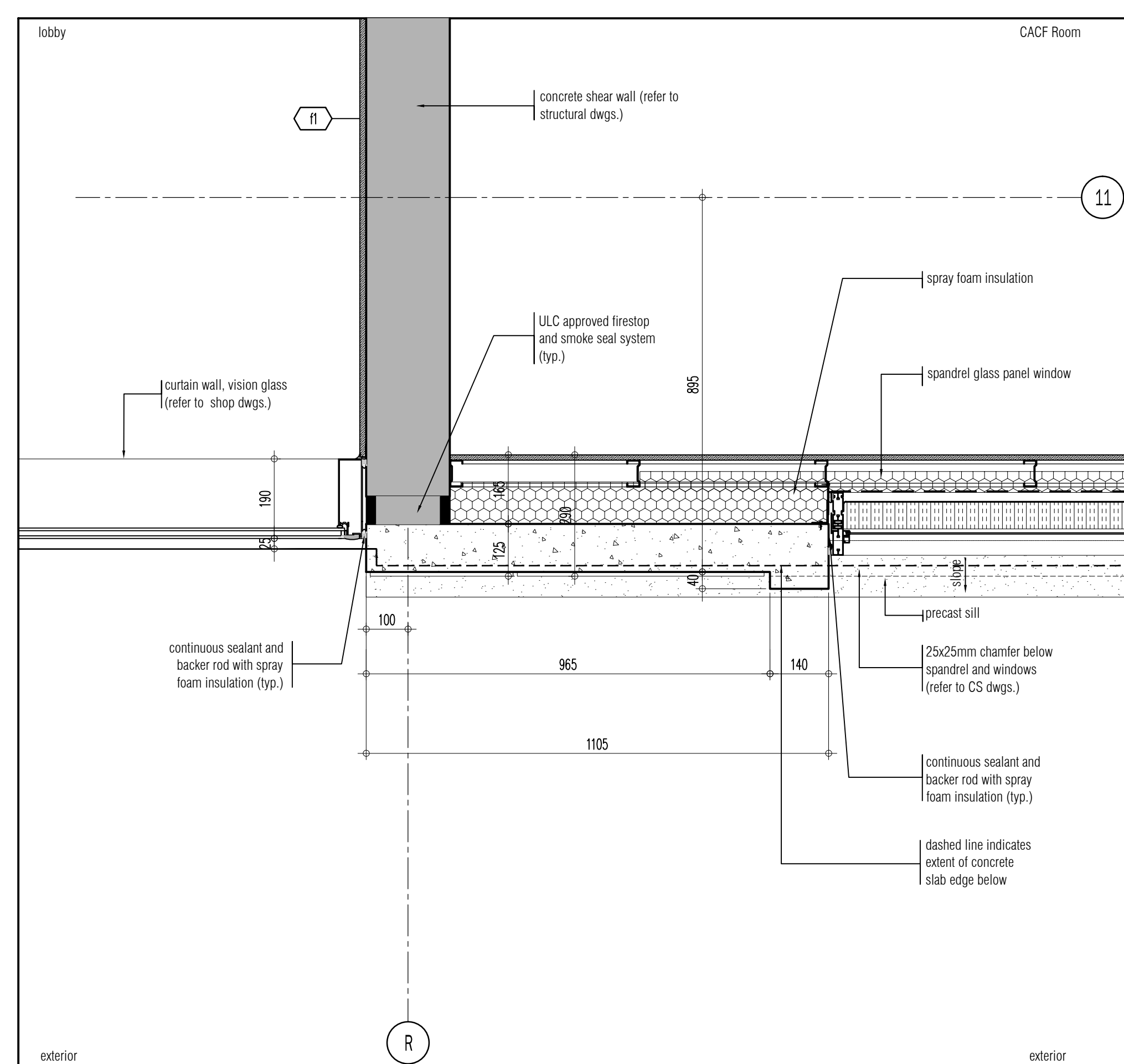
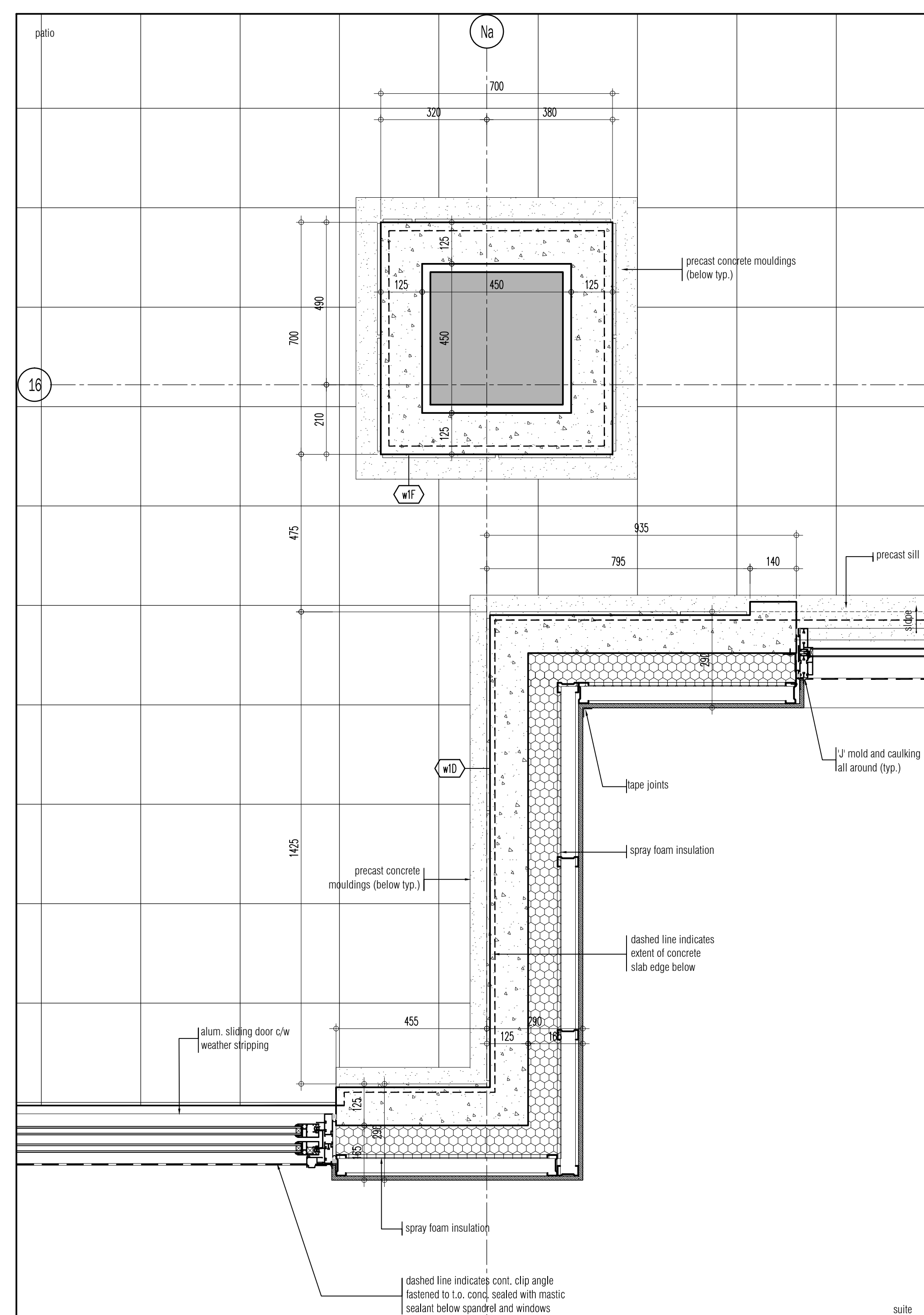
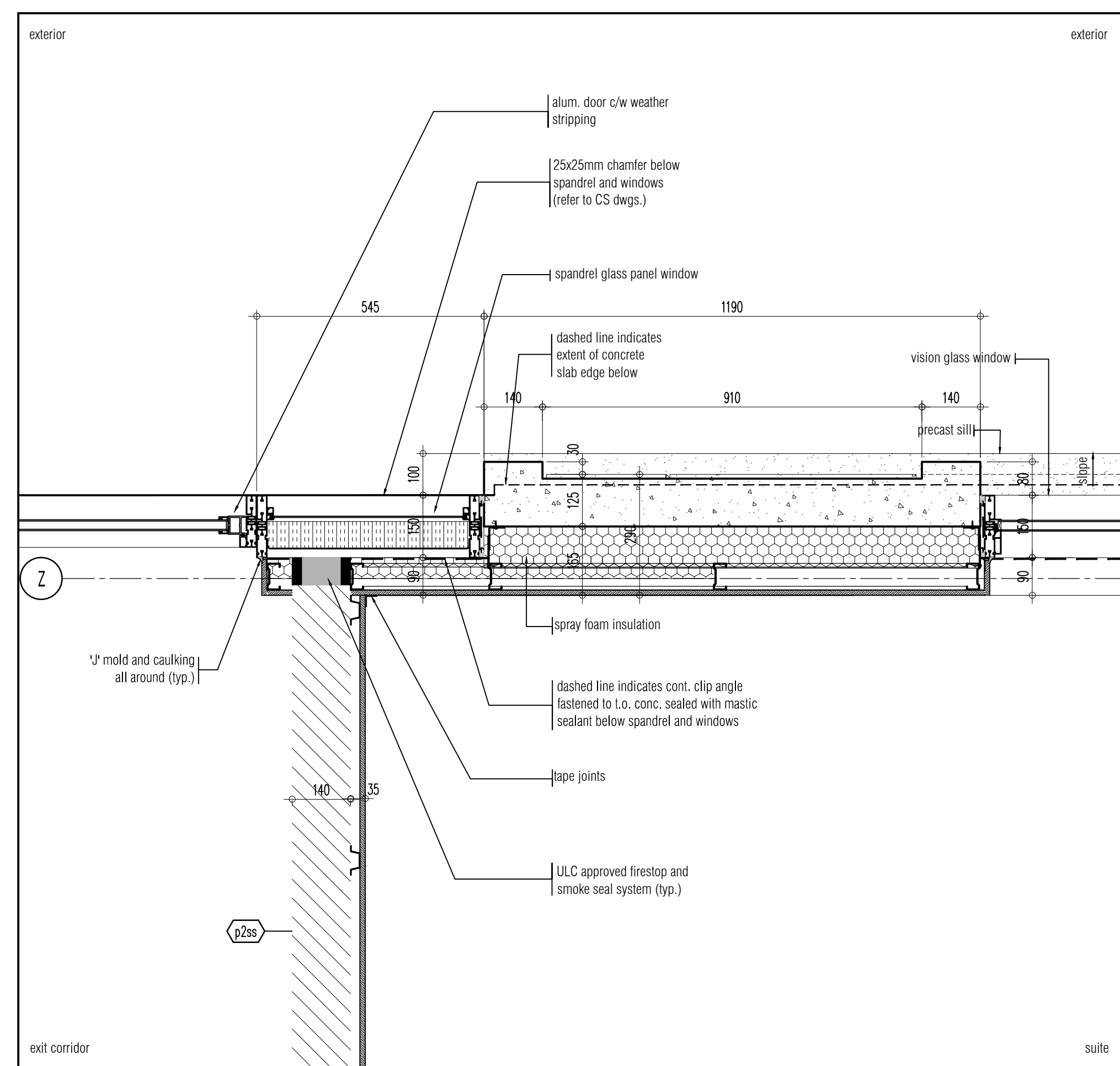
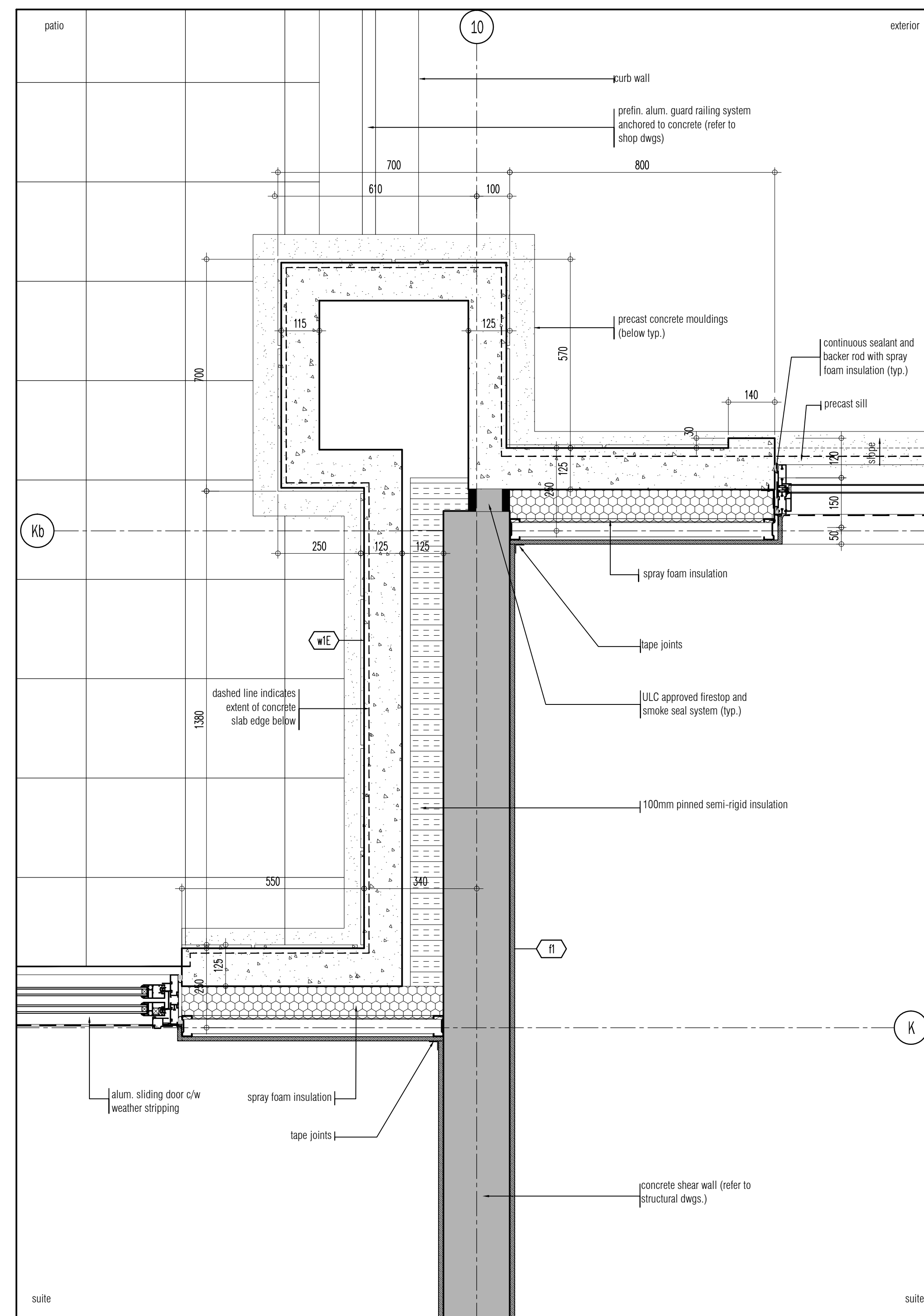
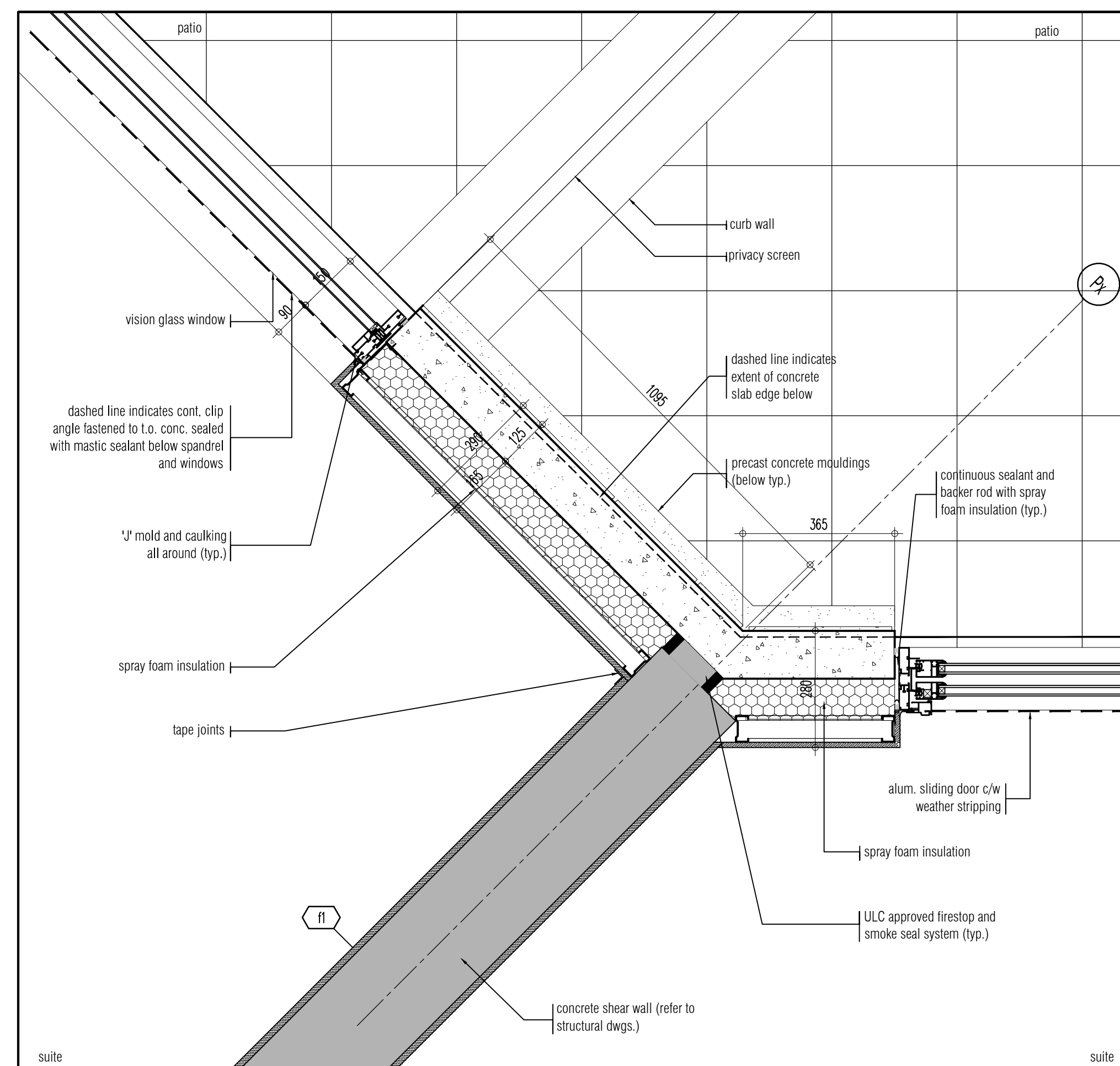
PROPOSED RESIDENTIAL DEVELOPMENT
25 BAKER HILL BLVD.
ROYAL PINES HOMES
STONEYVILLE ONTARIO
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.B.I.A.E.
Plot Date: Apr. 4, 2018
Job #: 1136.1.3

Section Details

as noted A653

TITLEBLOCK SIZE: 915 x 1400





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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.5.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JUN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.29.2017	Issued for Construction	B.G.
12.	OCT.05.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.

01 OCT.25.2017 S108 ENVELOPE/SPRAY FOAM INSULATION BG
issued for revisions



PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

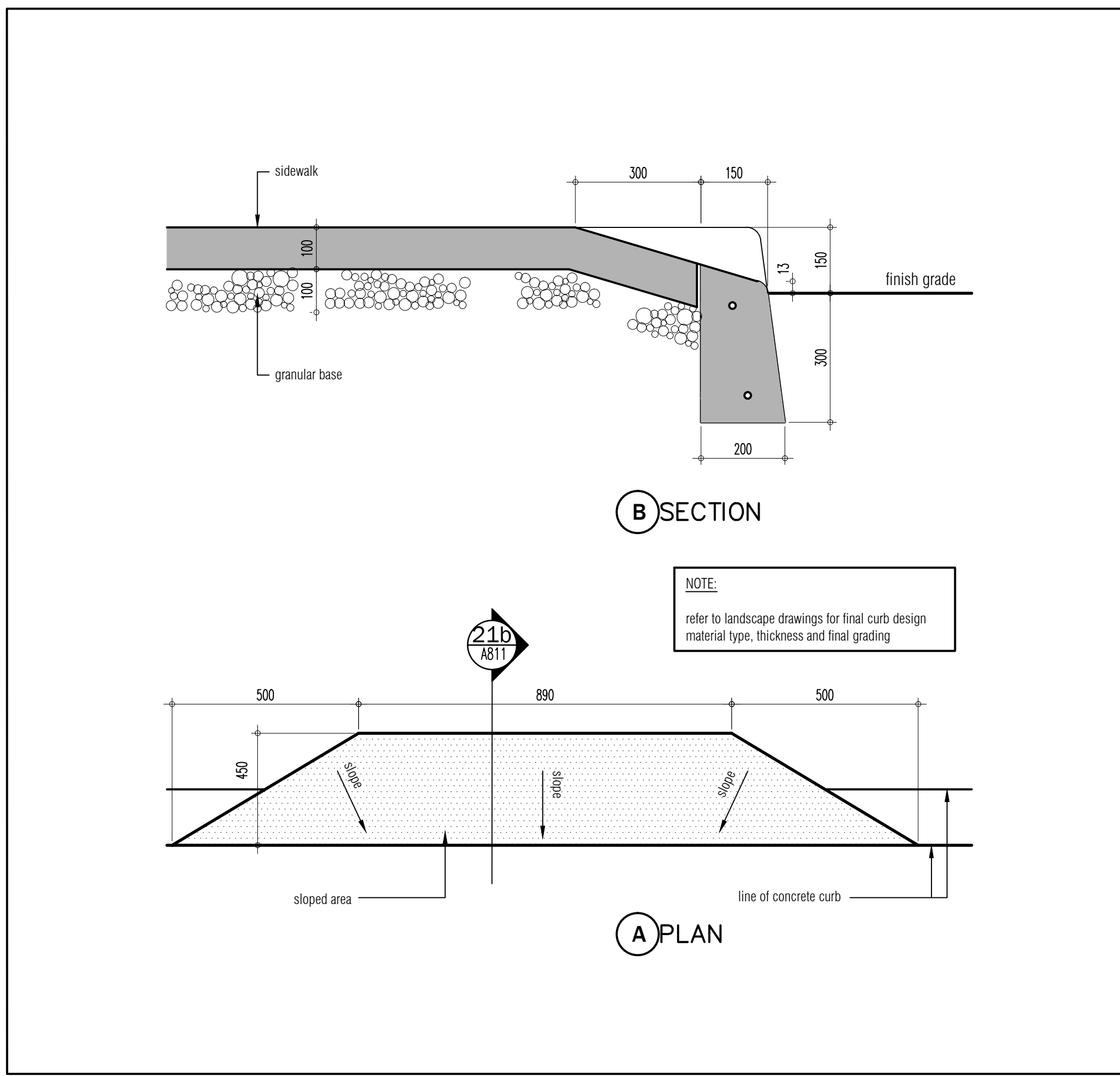
STOUFFVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D. BIASE
Plot Date: Apr. 4, 2018
Job #: 1136.13

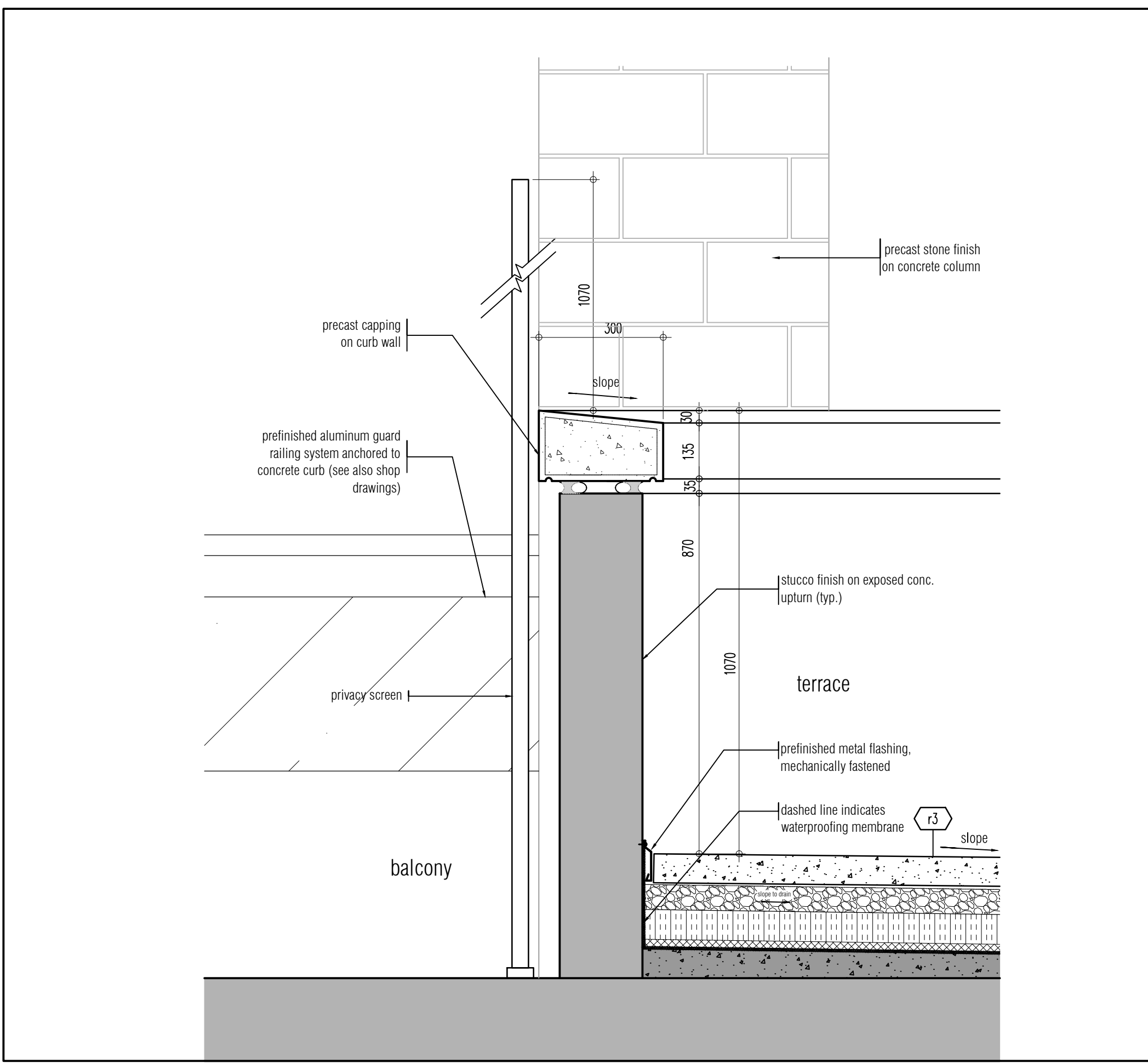
Typical Details

as noted A801

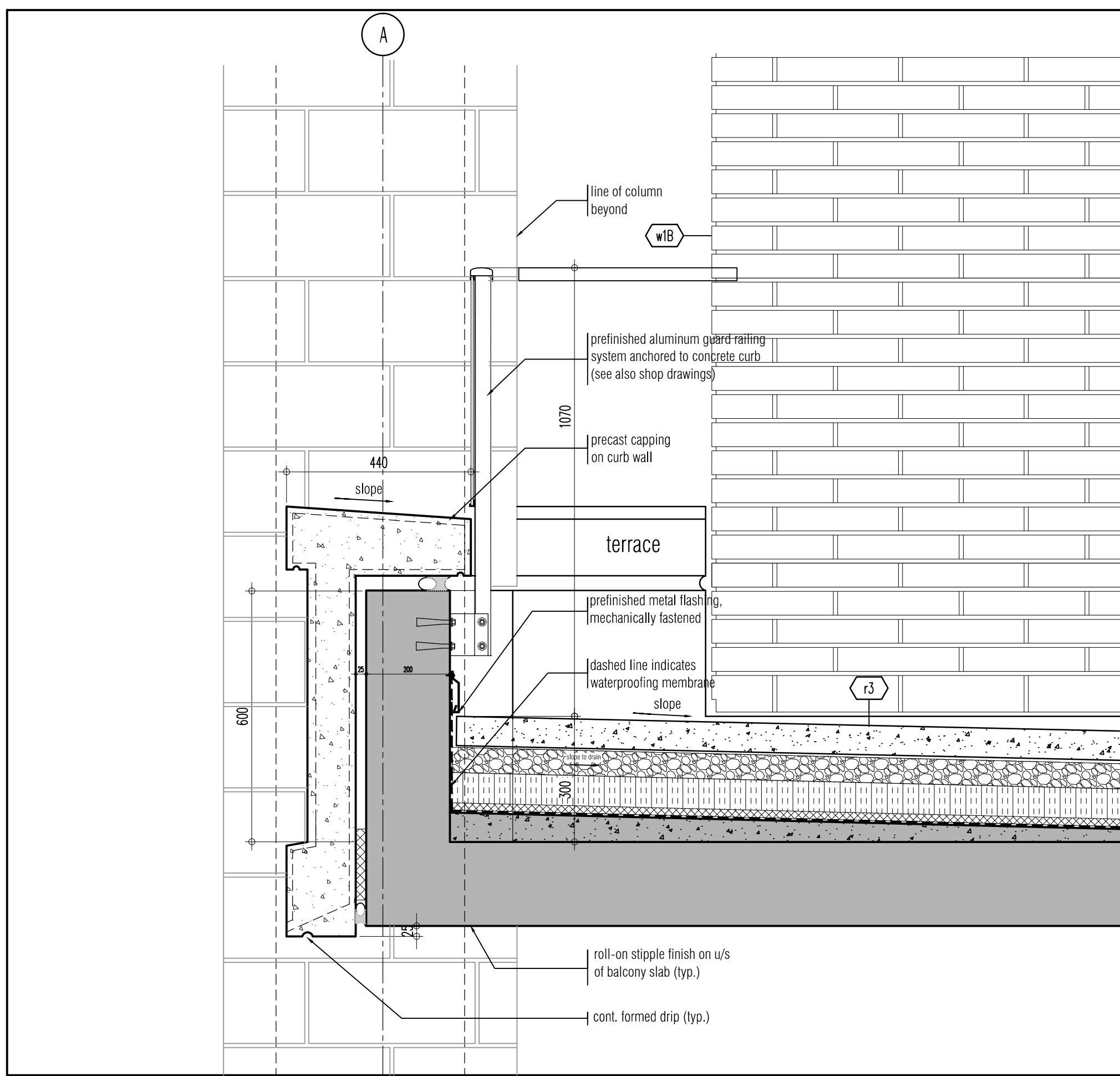
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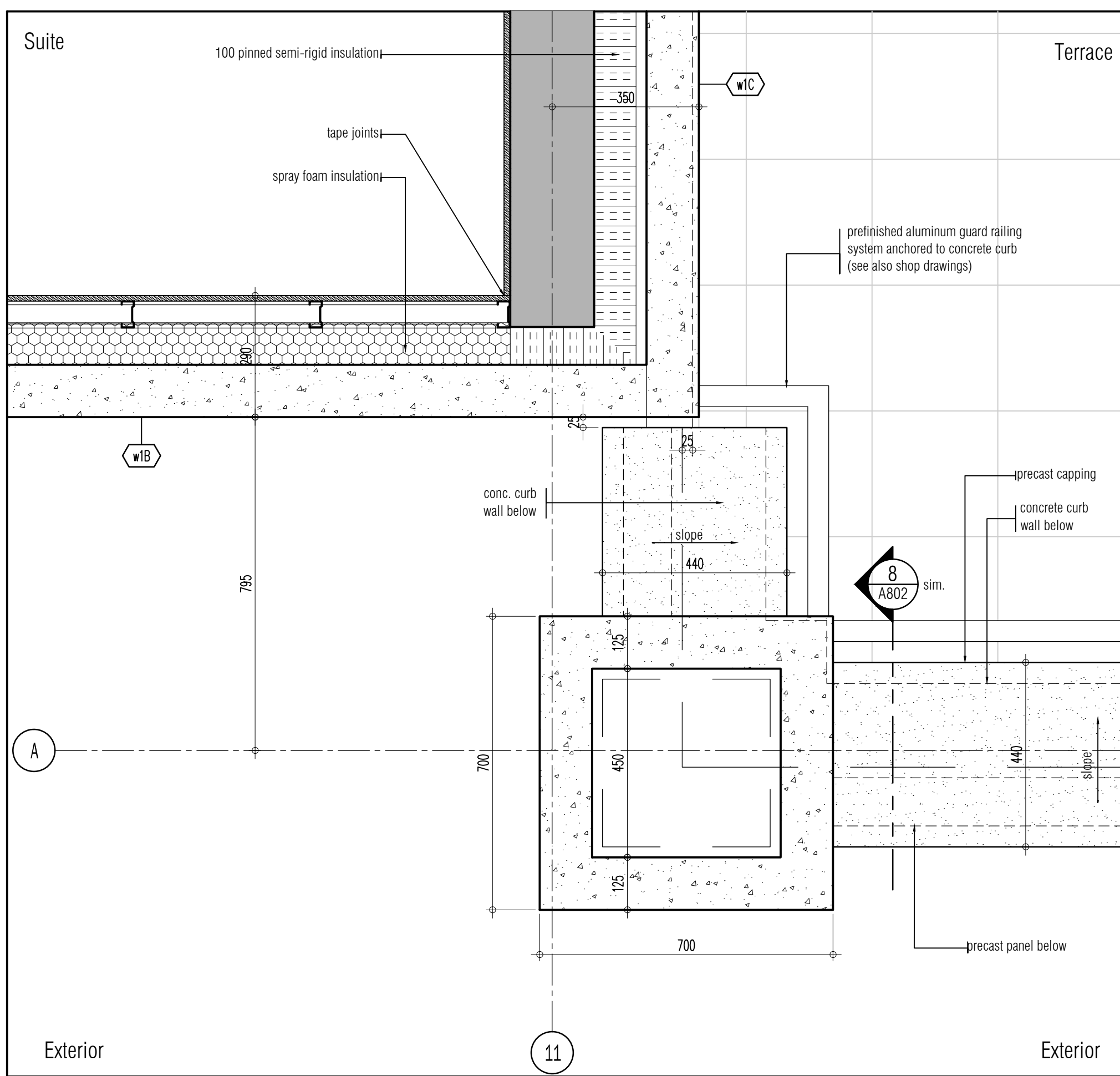
drop curb-plan & section detail 9
SCALE - 1/8"



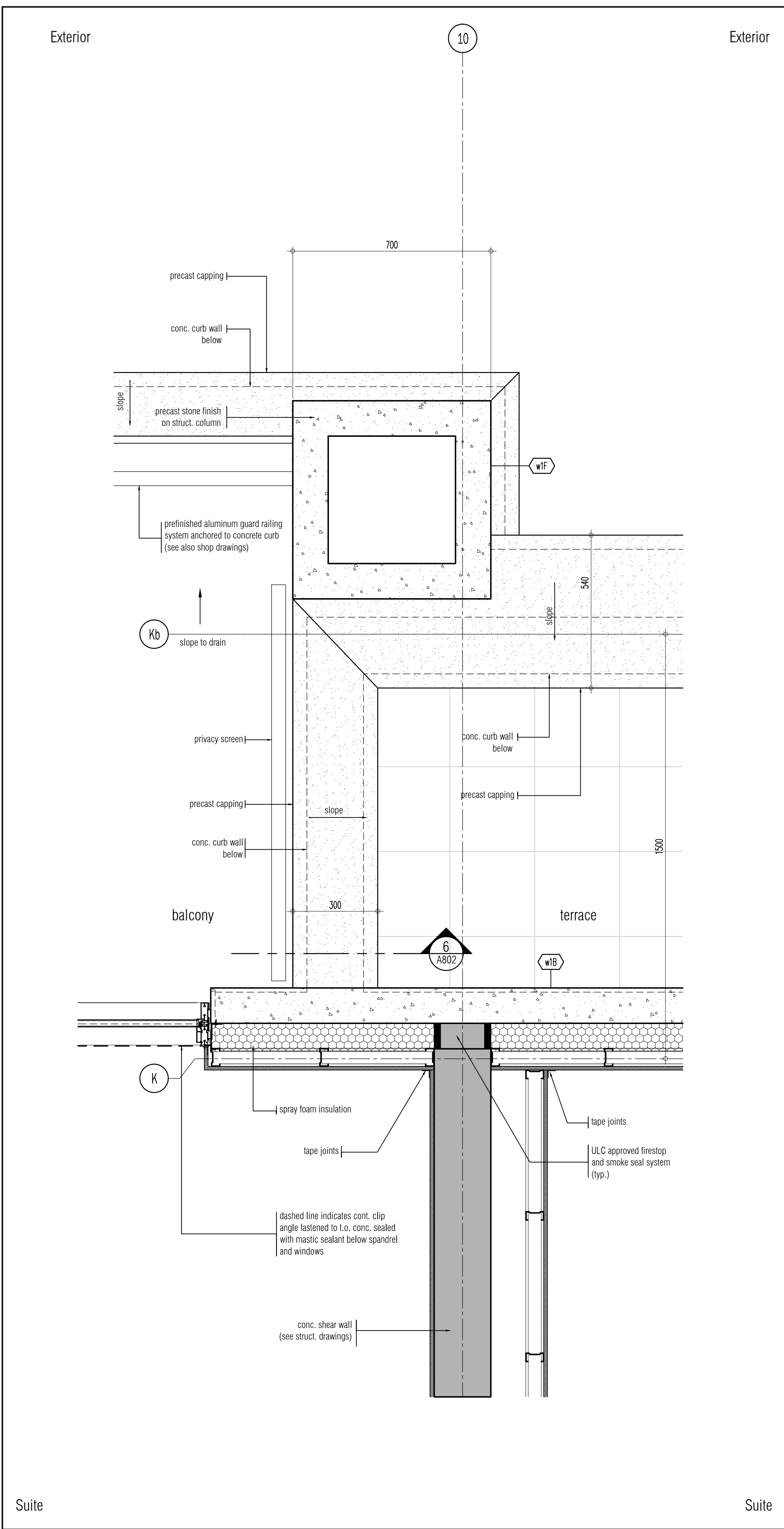
drop curb detail 6
SCALE - 1/8"



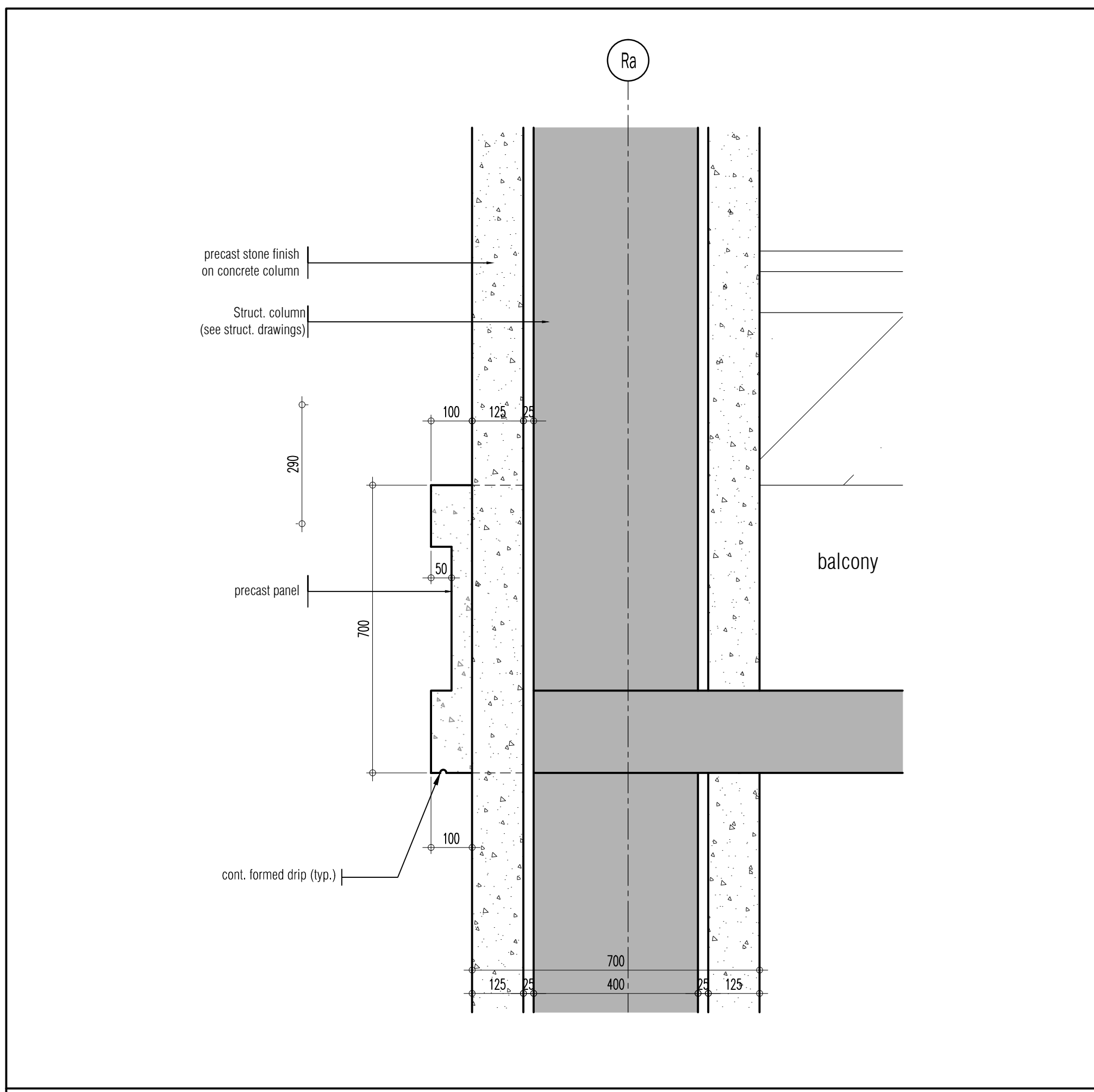
section detail @ 7th floor terrace 8
SCALE - 1/8"



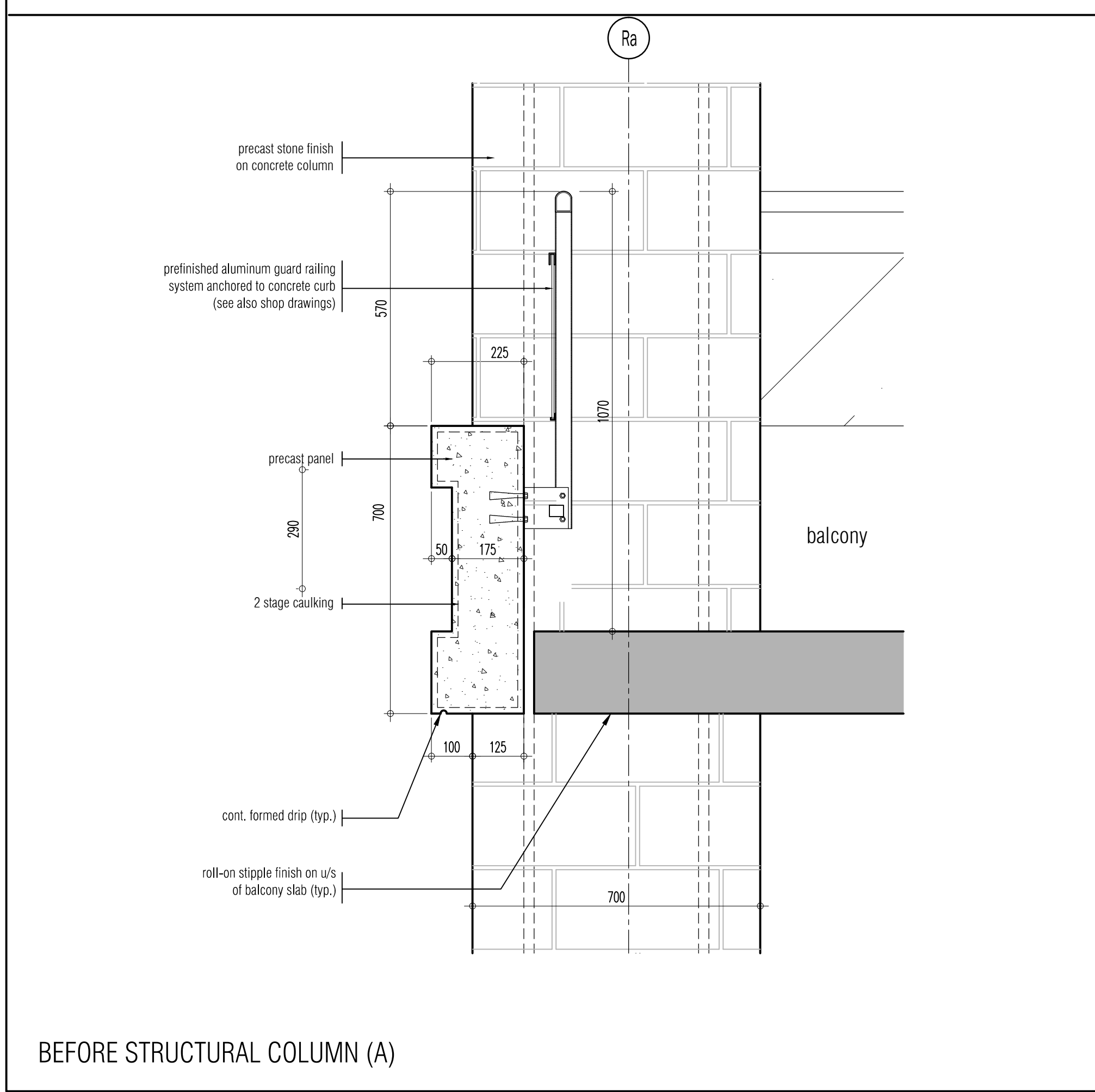
precast corner detail @ 7th floor terrace 7
SCALE - 1/8"



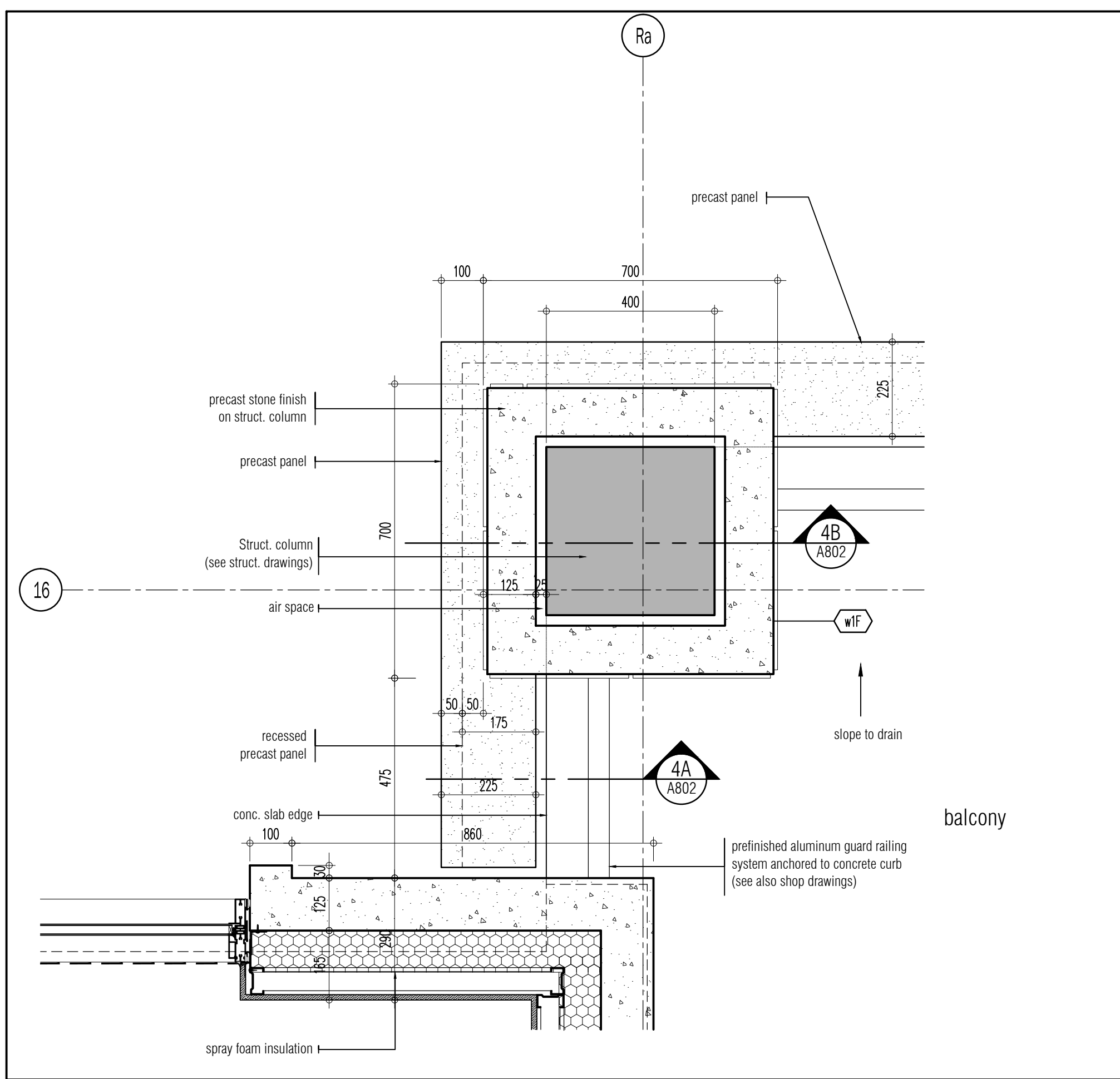
precast band detail @ balcony-typical 5
SCALE - 1/8"



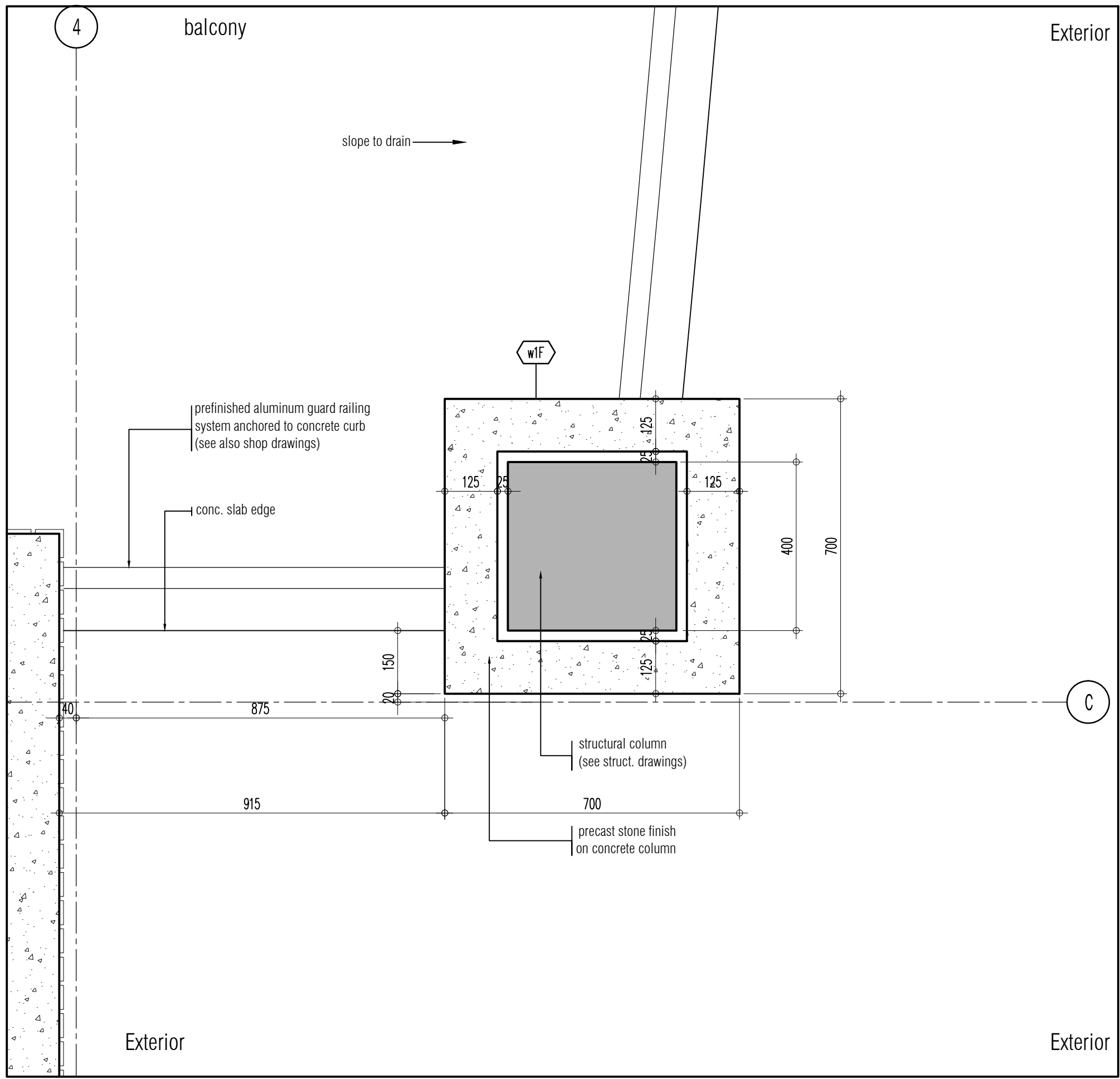
THROUGH STRUCTURAL COLUMN (B)



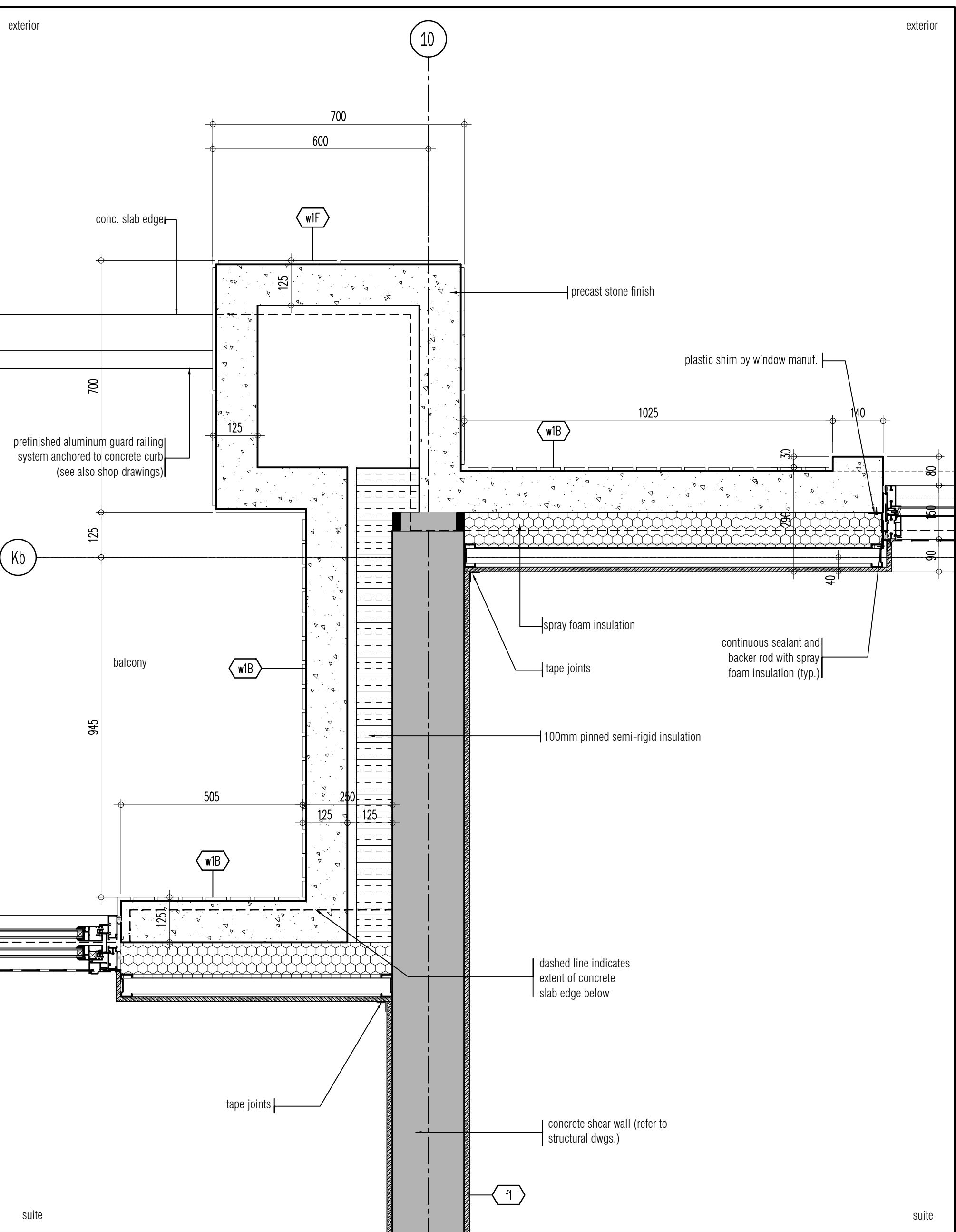
BEFORE STRUCTURAL COLUMN (A)



PRECAST @ COLUMN DETAIL 4
SCALE - 1/8"



balcony corner detail with column (typ.) 2
SCALE - 1/8"



corner detail at precast 1
SCALE - 1/8"

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06. DEC.28.2016	issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
09. JUL.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	issued for Construction	B.G.
12. OCT.25.2017	Revision to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

02. OCT.25.2017 S108 ENVELOPE/SPRAY FOAM INSULATION B.G.
01. AUG.21.2017 S103 SANDBLAST PRECAST ON BALCONIES B.G.

issued for revisions

GRAZIANI & CORAZZA ARCHITECTS INC.
1333 Denison Street, Suite 101, Richmond Hill, Ontario L4B 1C1
Phone: (905) 709-2621 Fax: (905) 709-2644 www.gra-arch.com

PROPOSED RESIDENTIAL DEVELOPMENT
25 BAKER HILL BLVD.
ROYAL PINES HOMES
STONEYVILLE ONTARIO
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1134.1.3

Typical Details

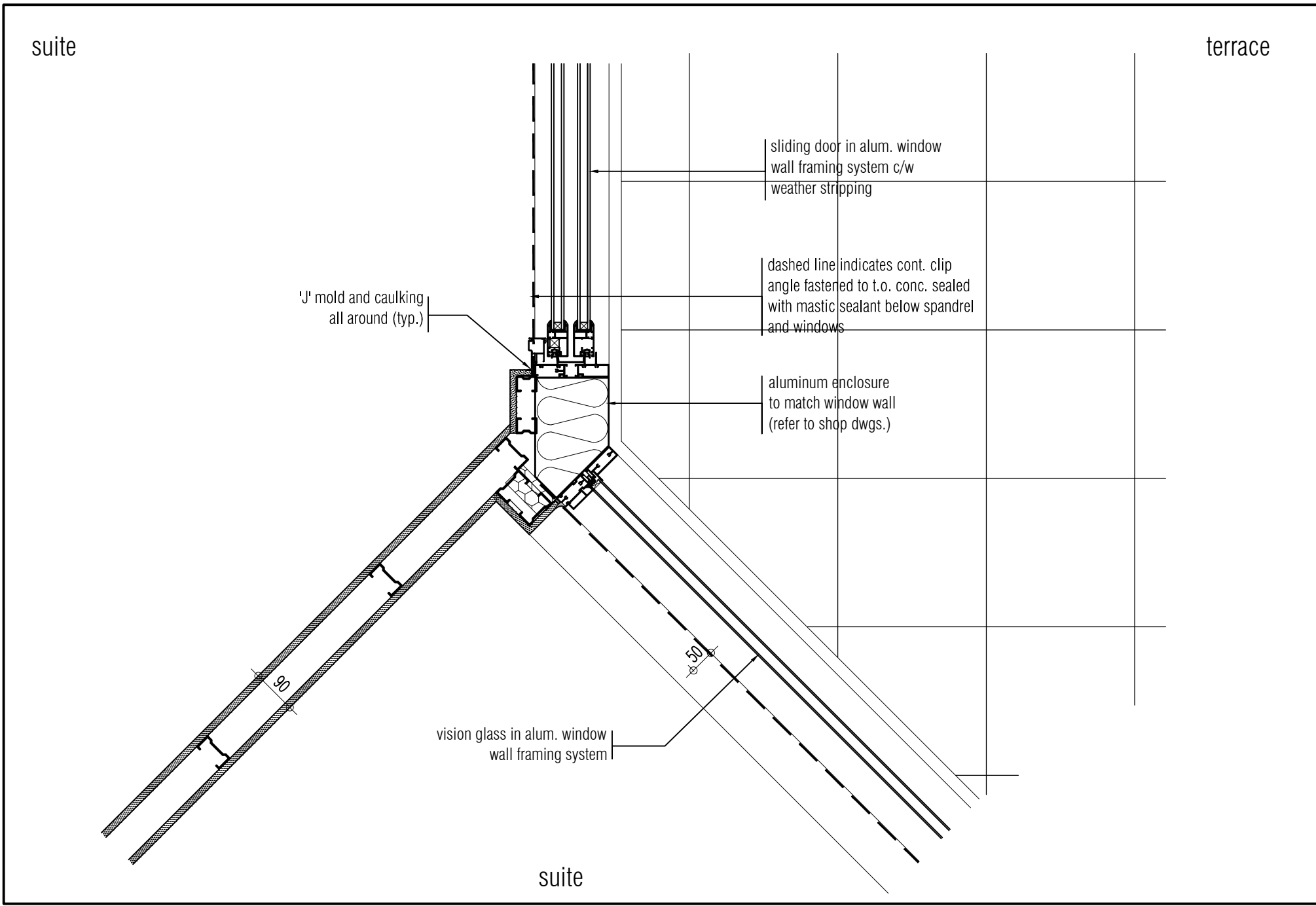
as noted A802

TITLEBLOCK SIZE: 915 x 1400

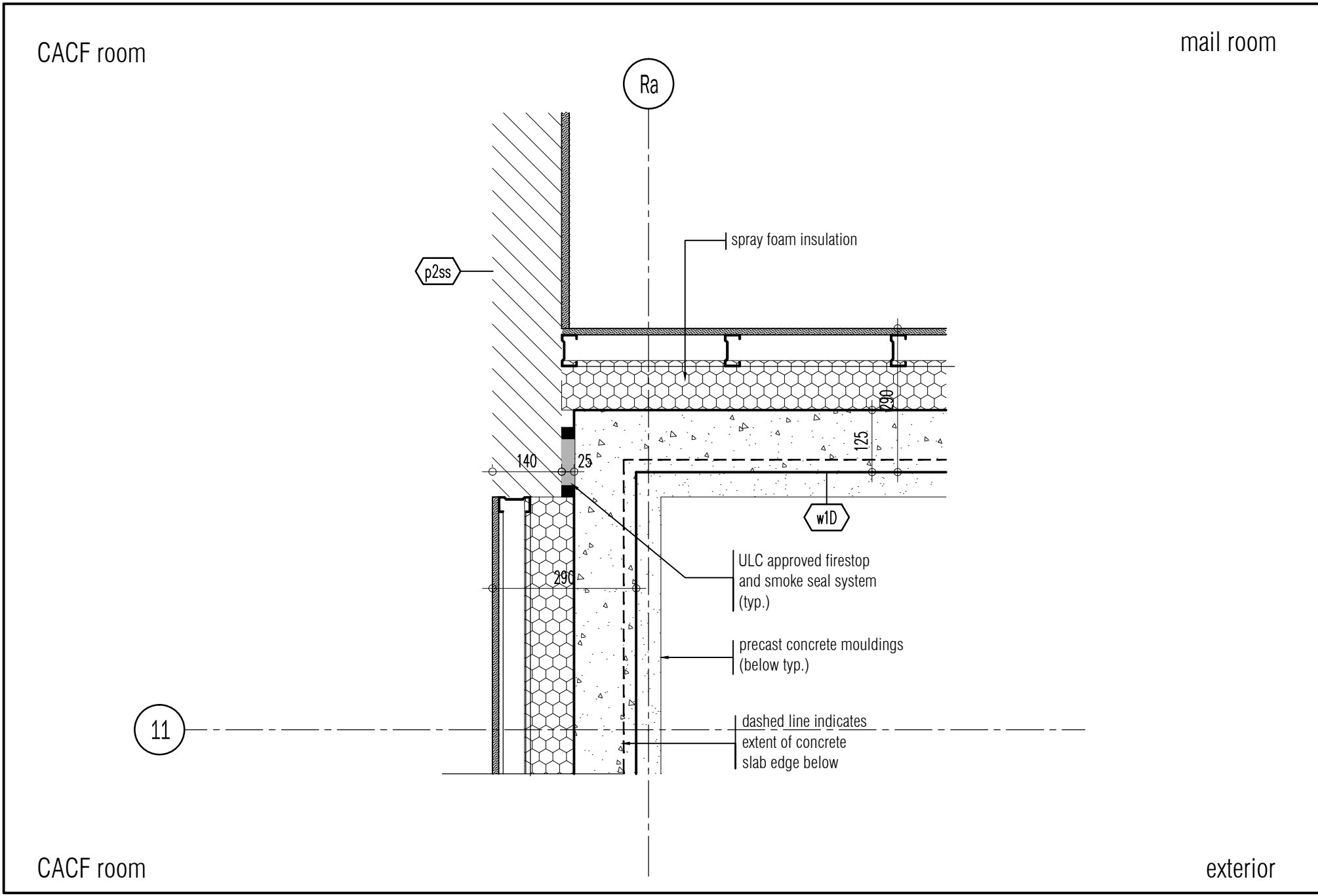
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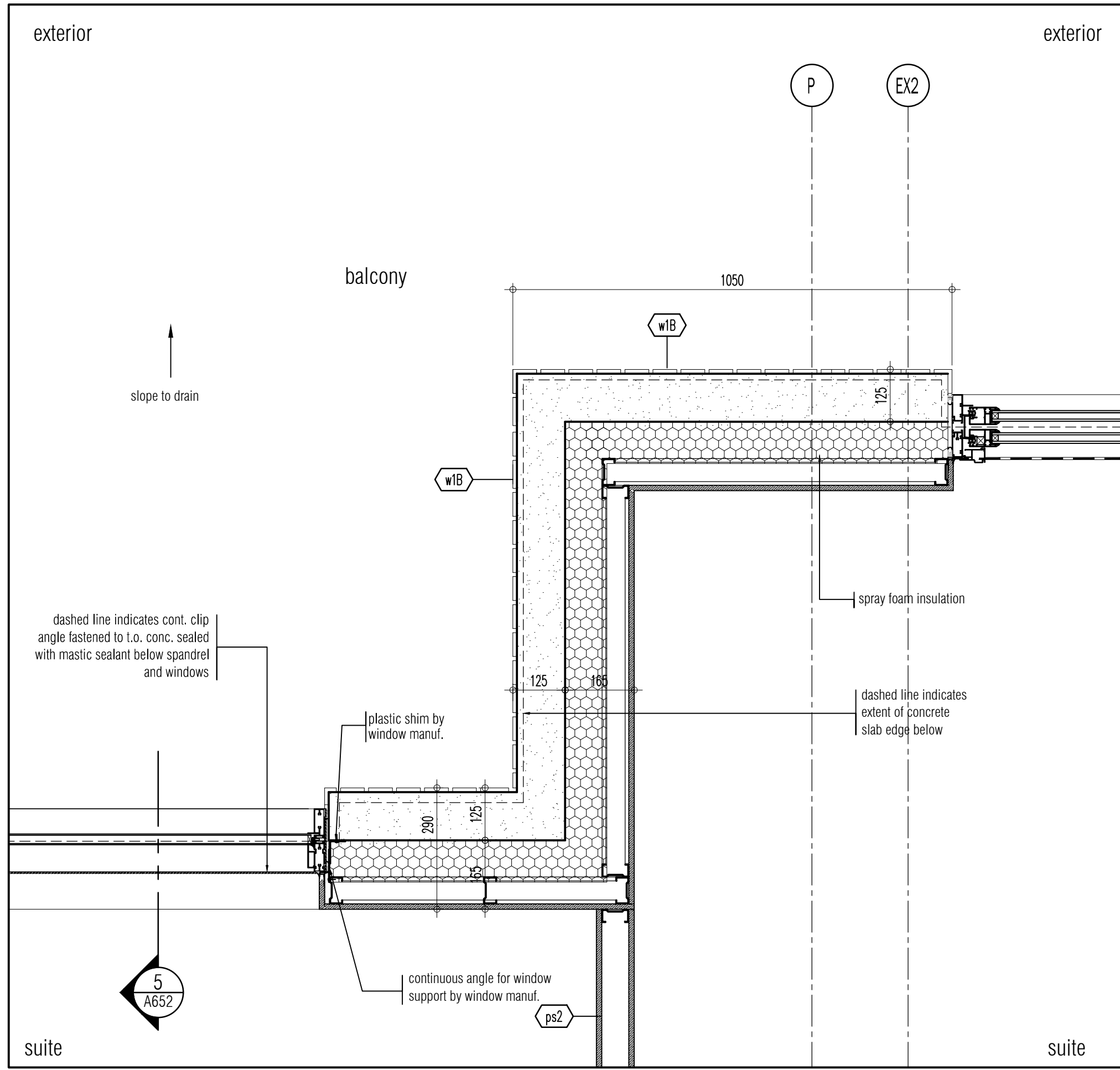
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02.	JUL.3.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
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11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.



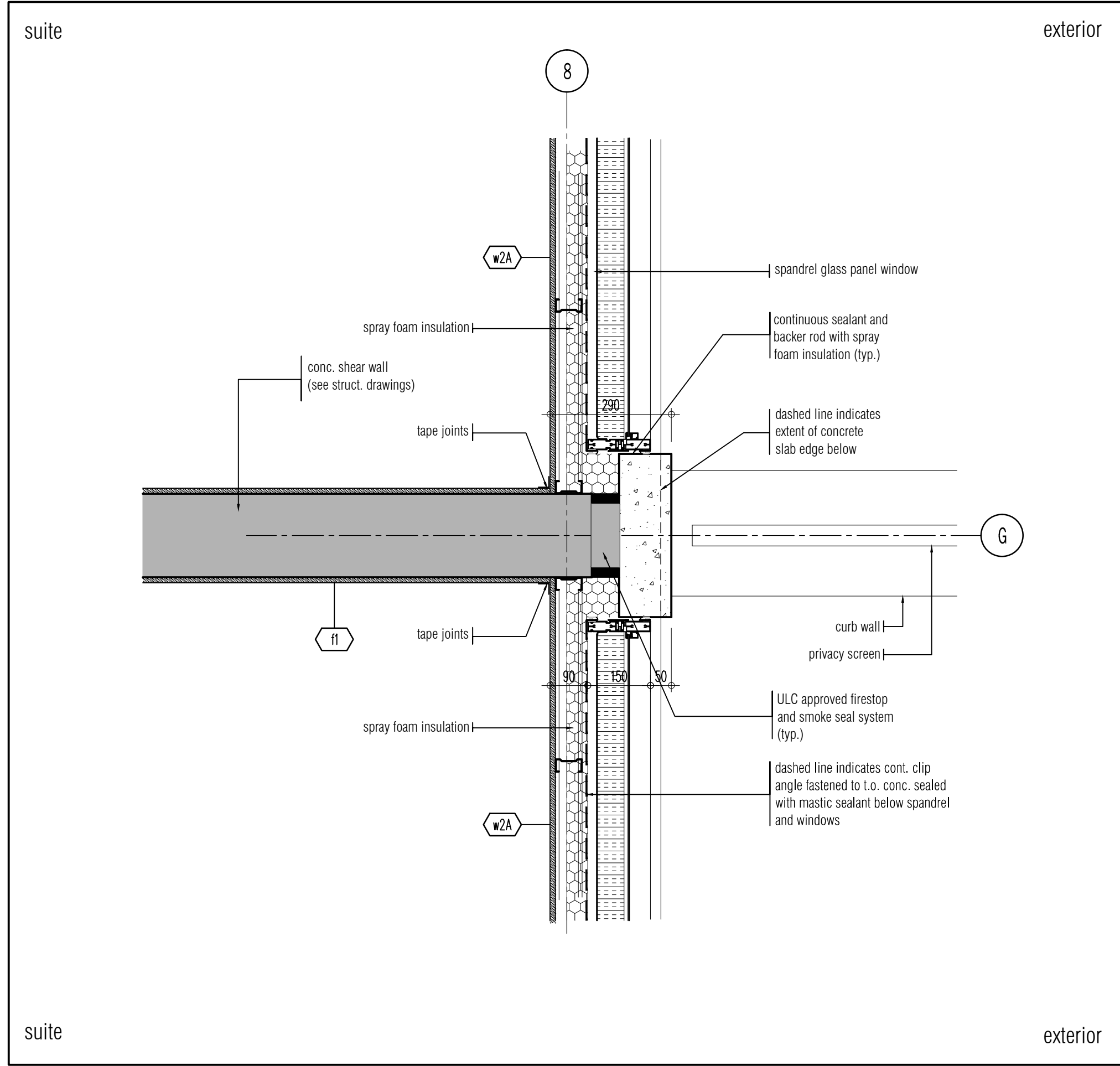
plan detail @ sliding door 3
SCALE - 1/16\"/>



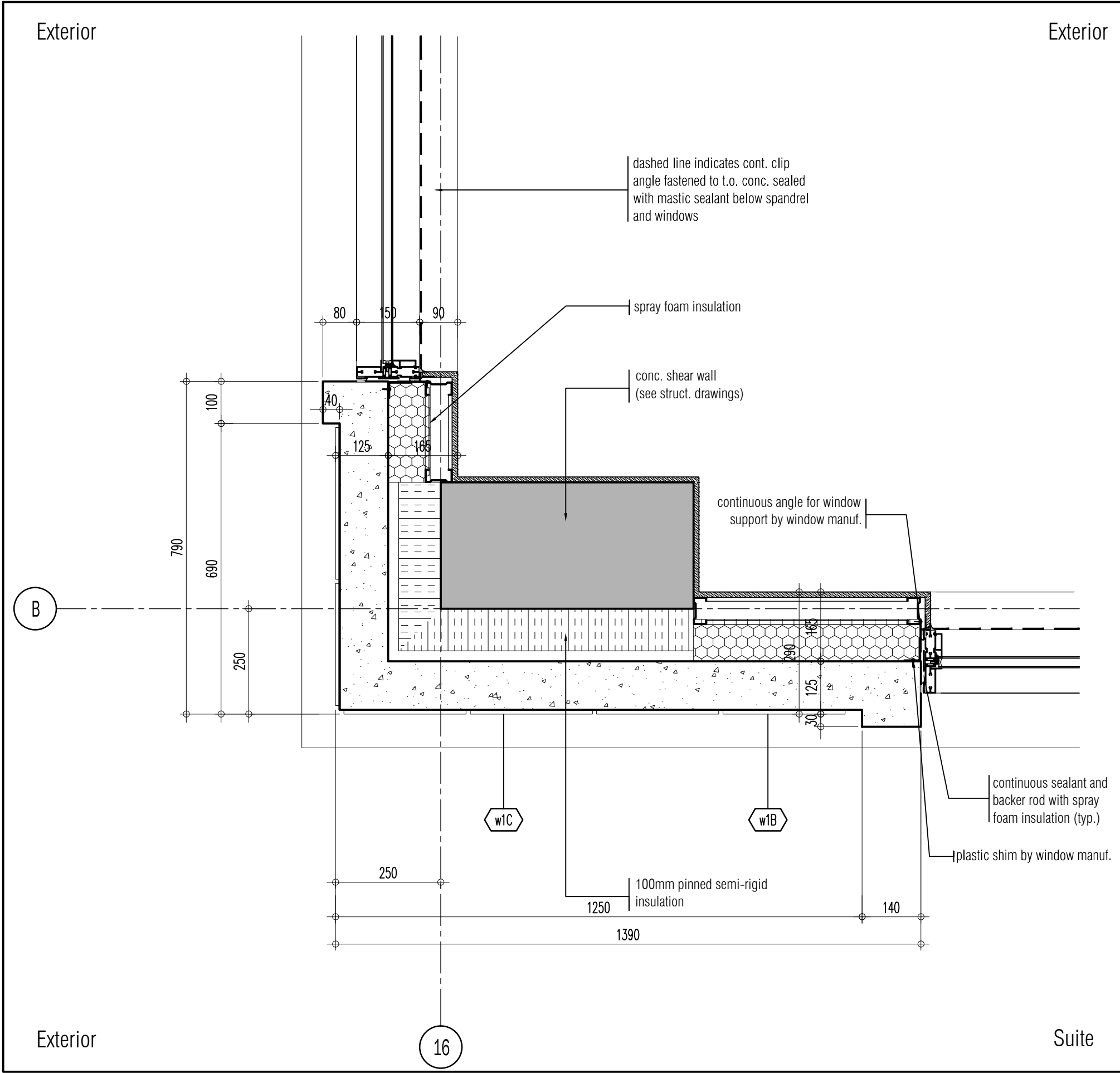
plan detail precast/block wall at ground floor 2
SCALE - 1/16\"/>



balcony wall detail 2nd to 7th floor 5
SCALE - 1/16\"/>



plan detail at precast/spandrel 4
SCALE - 1/16\"/>



precast corner detail @ column-typical 1
SCALE - 1/16\"/>

02.	OCT.25.2017	SI08 ENVELOPE/SPRAY FOAM INSULATION	BG
01.	AUG.21.2017	SI03 SANDBLAST PRECAST ON BALCONIES	BG

issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.

1337 Sheppard Ave. E. Suite 105, Richmond Hill, ON L4B 1C1
Phone: 905.765.2621 Fax: 905.765.3544 www.grazziarchitects.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Apr. 4, 2018
Job #: 1136.1.3

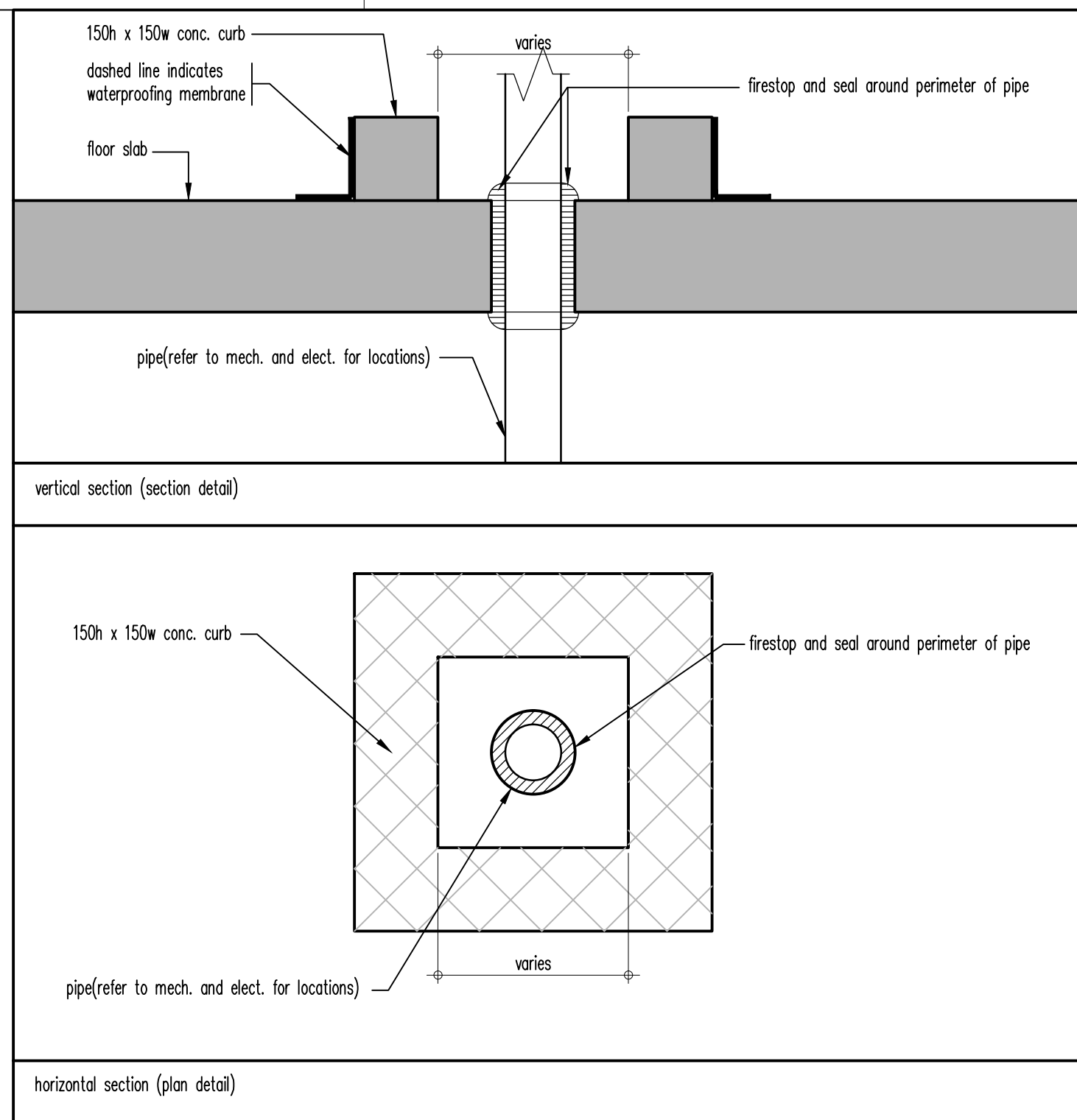
Typical Details

as noted A803

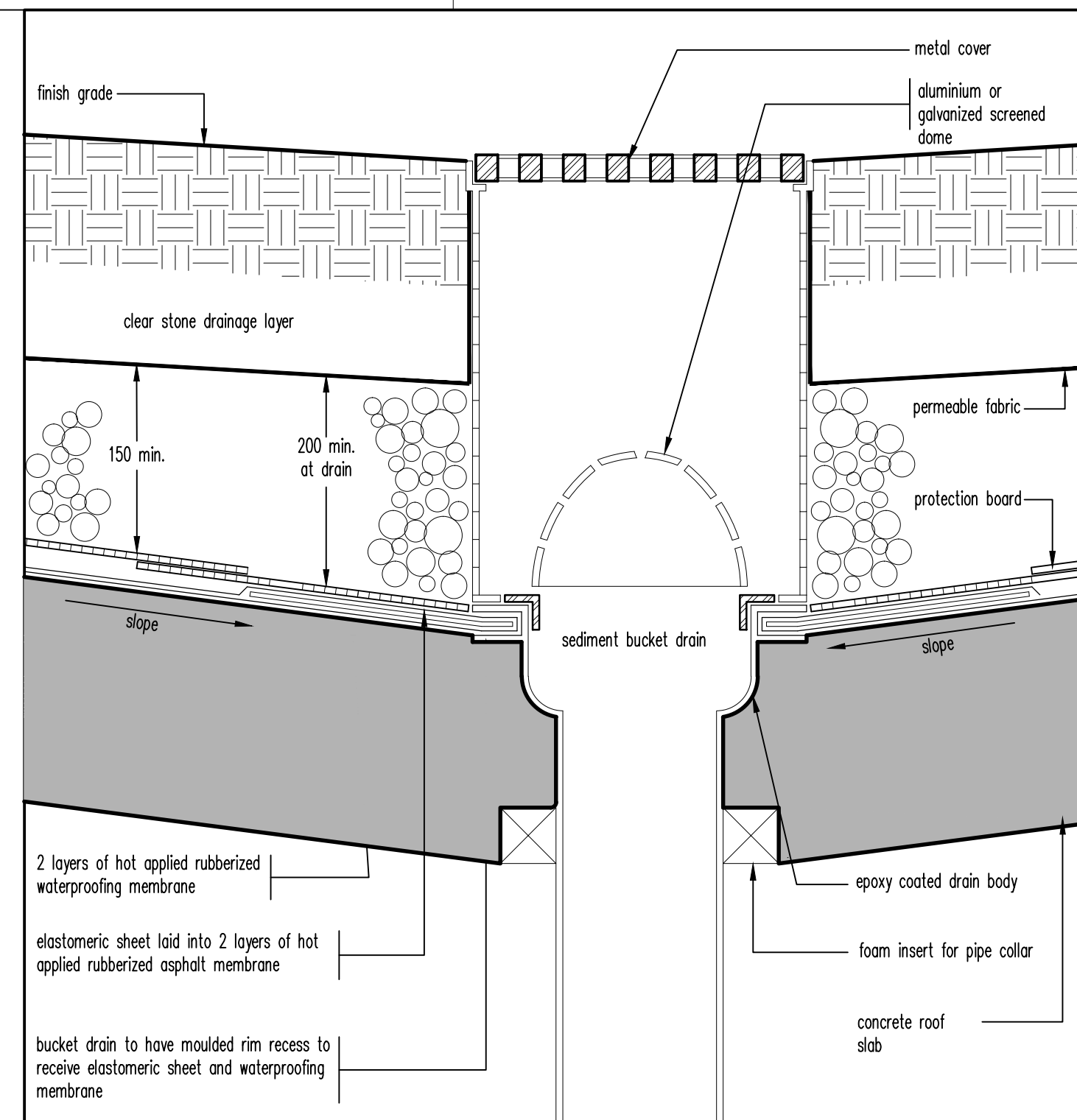
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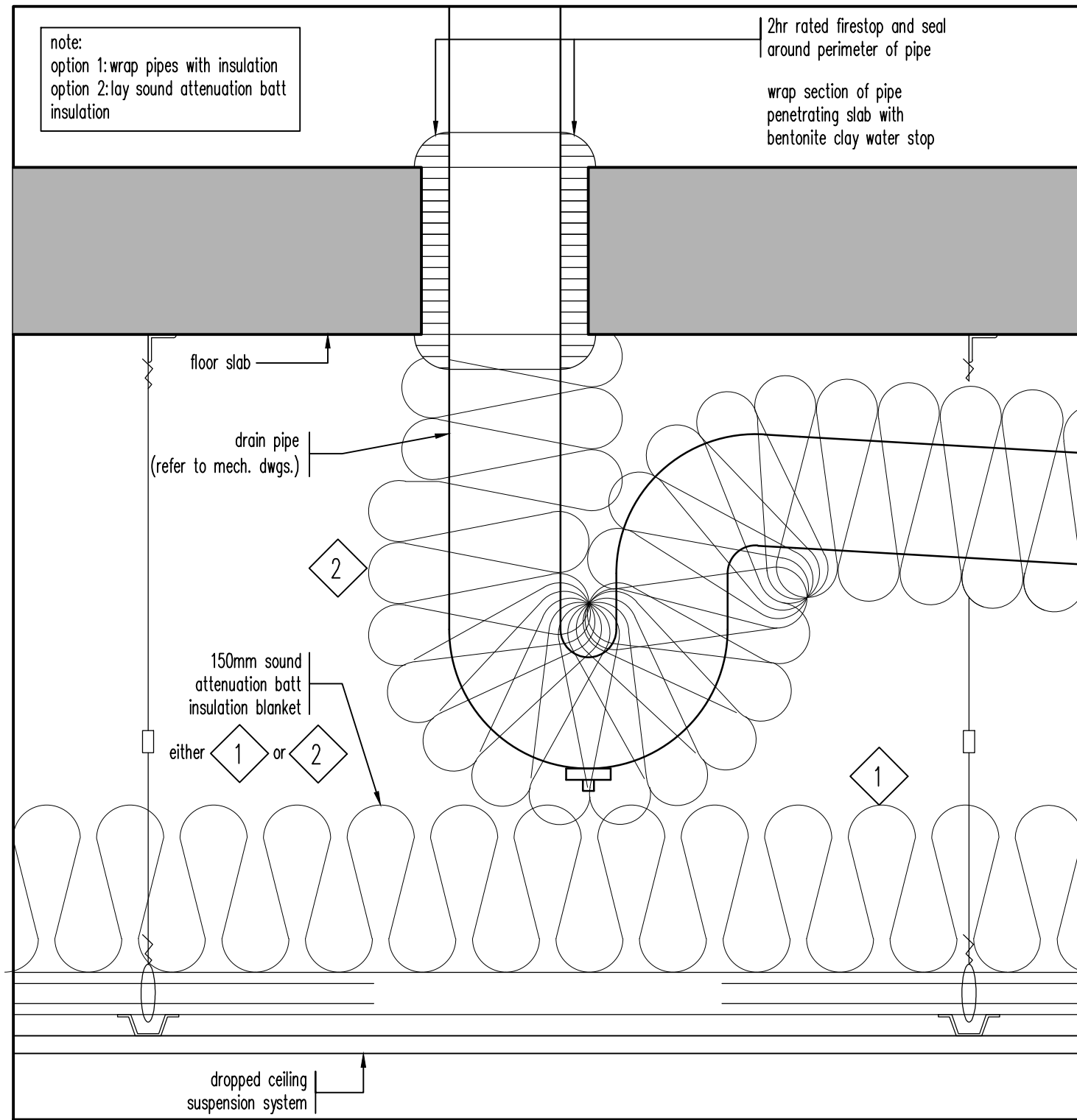
01.	FEB.28.2014	issued to city for SPA	B.G.
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04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
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11.	AUG.09.2017	issued for Construction	B.G.
12.	OCT.25.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.



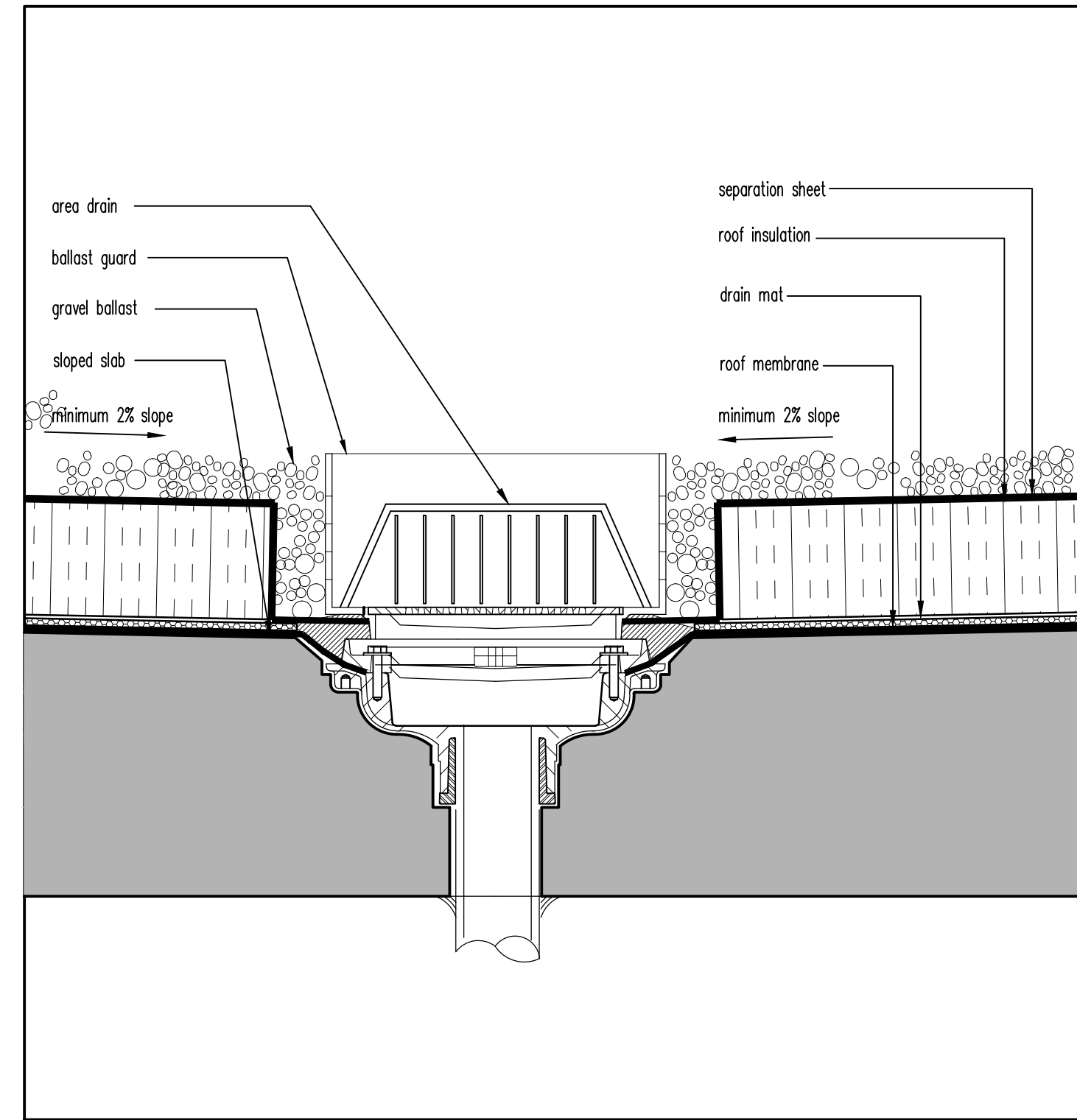
typical concrete curb surrounding pipe penetrations @ mech. penthouse 12



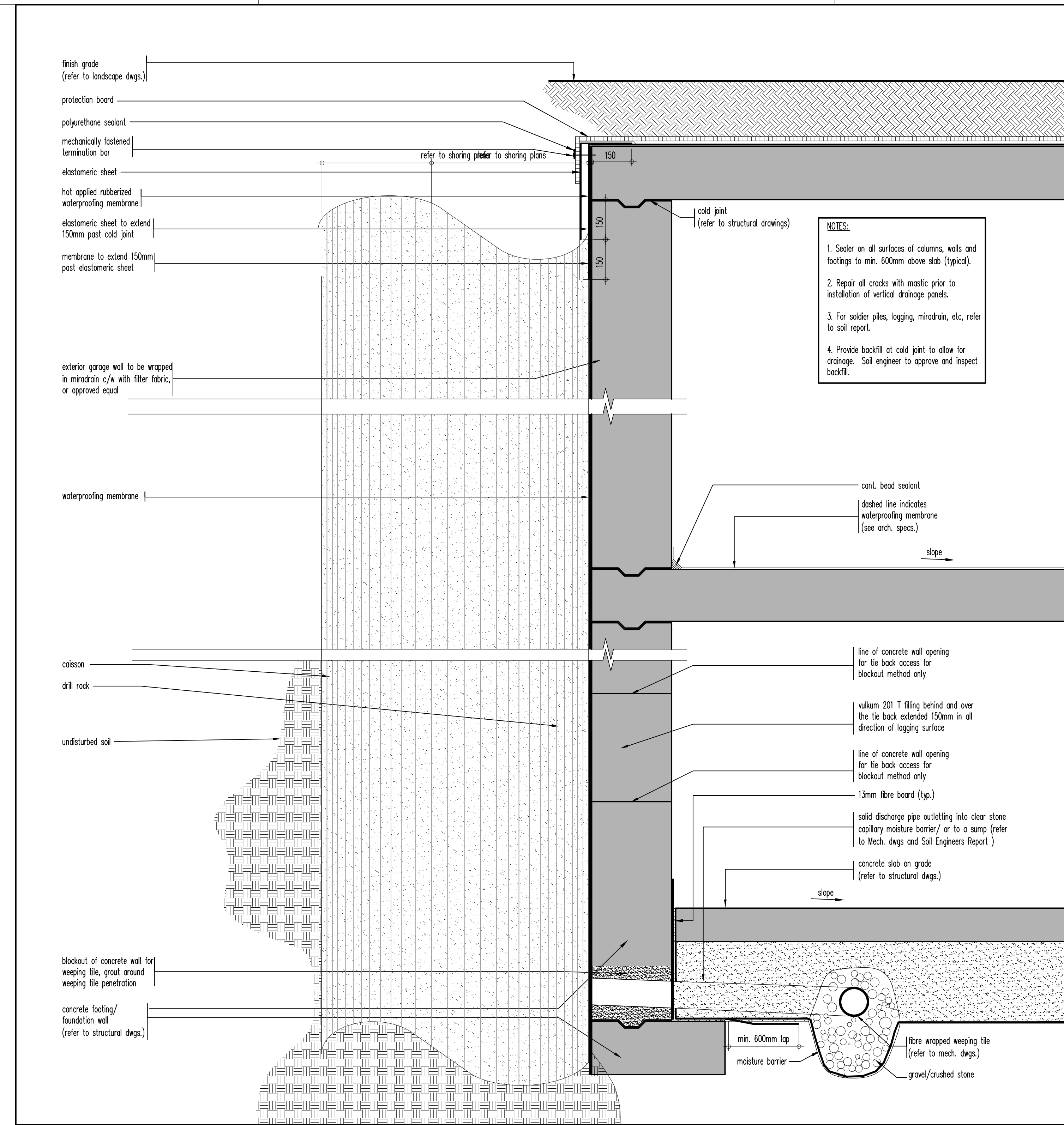
roof drain detail 8



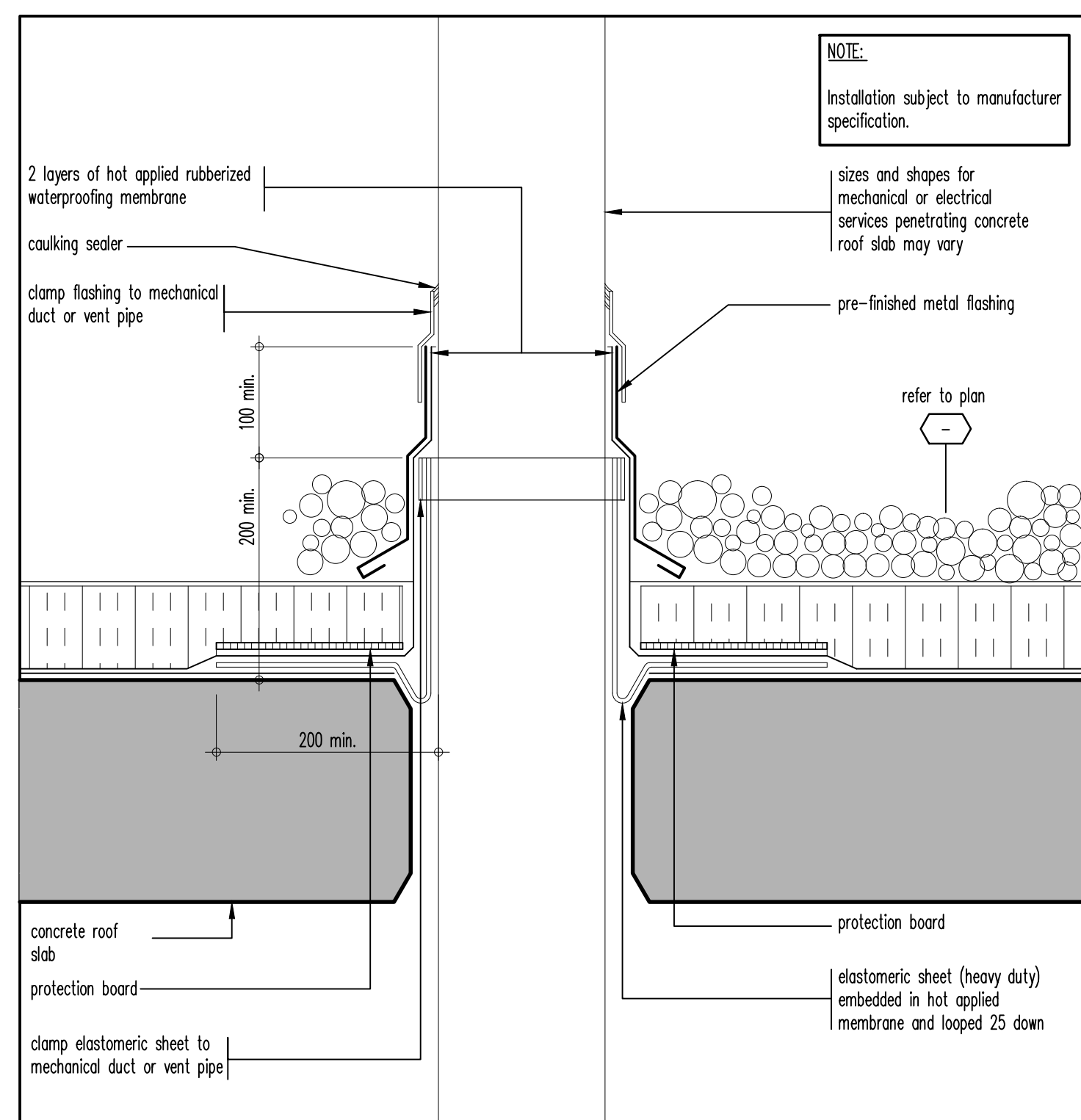
insulation at pipe and rating around pipe at slab penetration 11



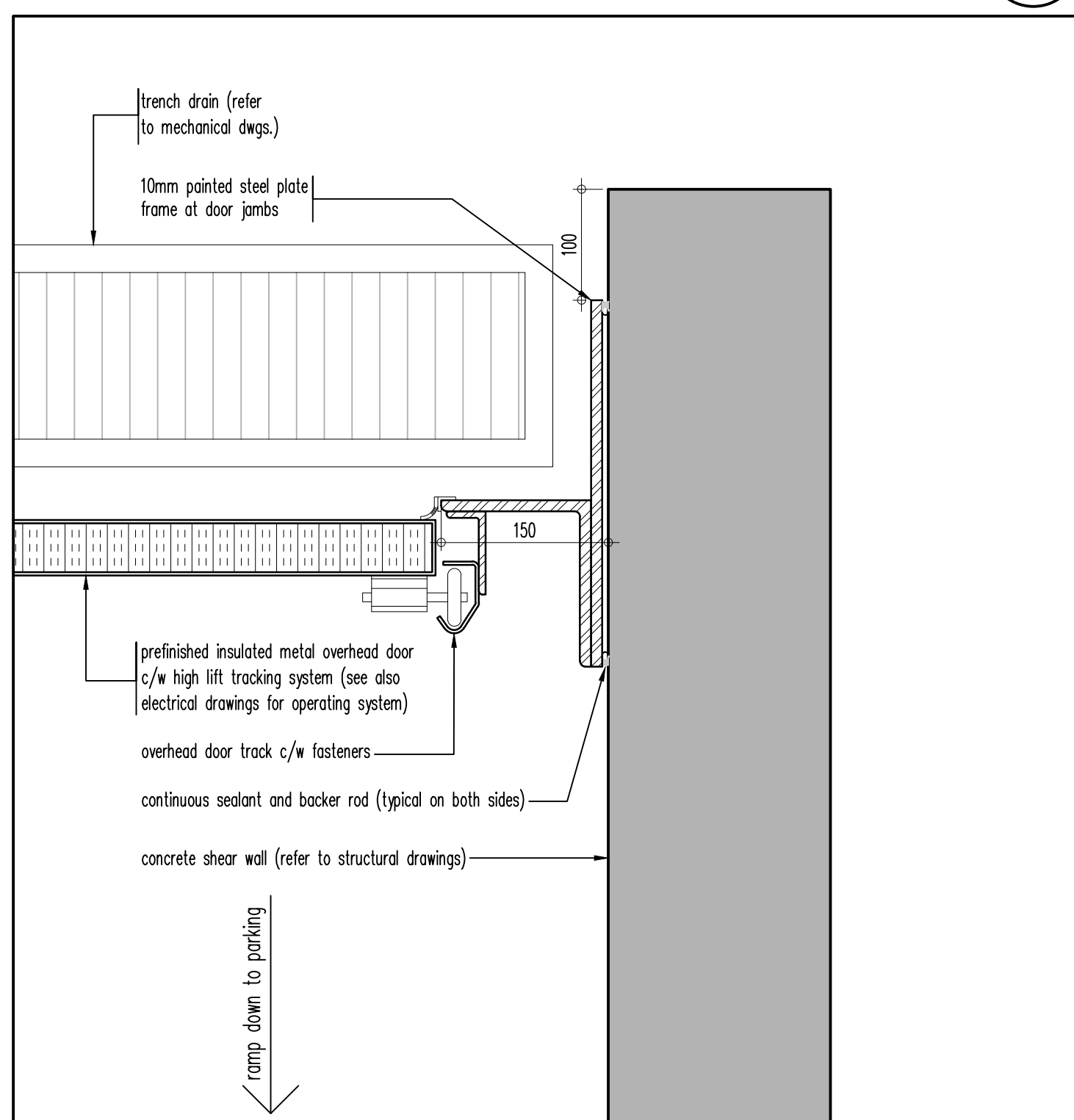
accessible deck drain of garage roof 7



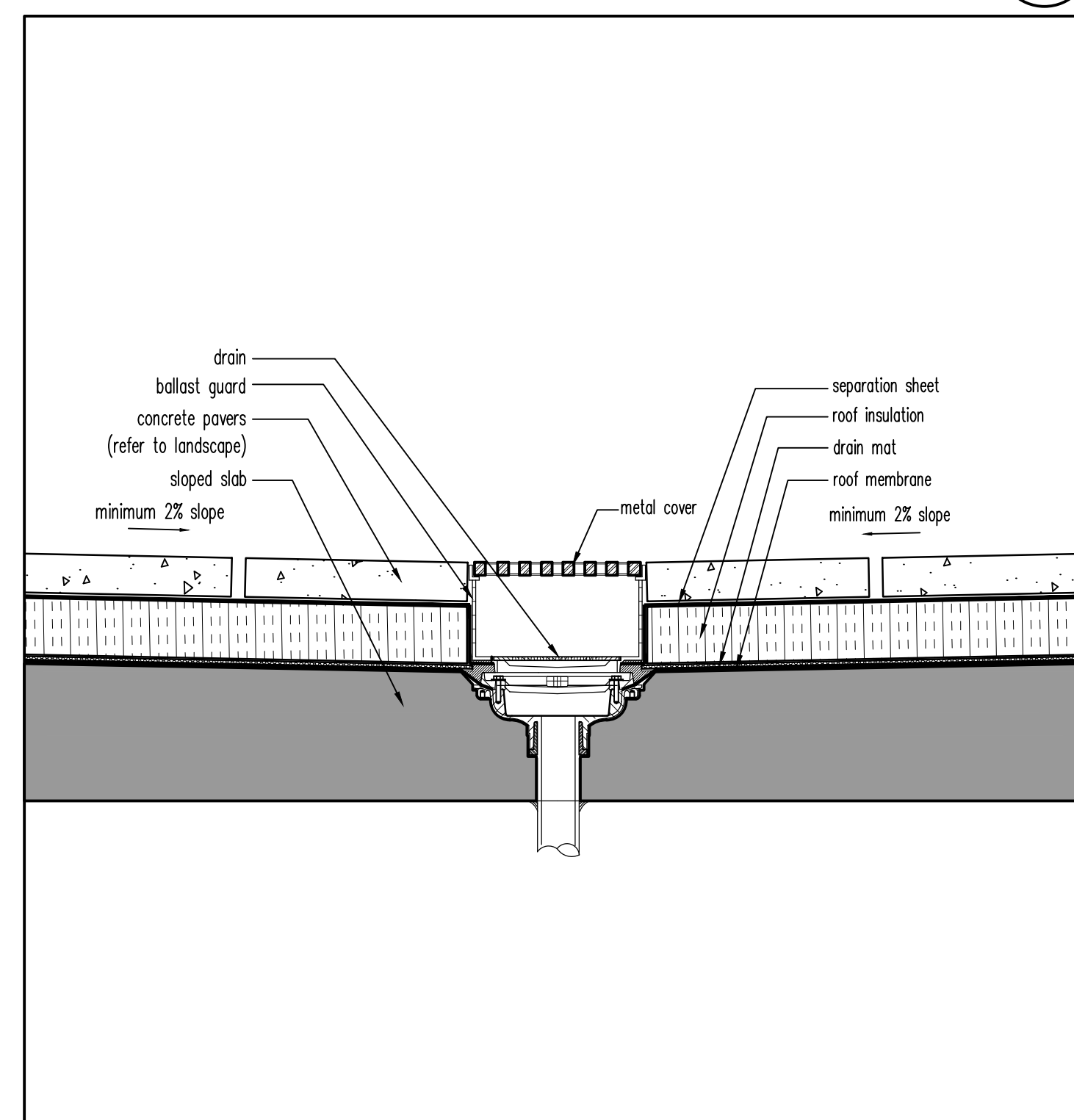
garage roof slab and wall detail 2



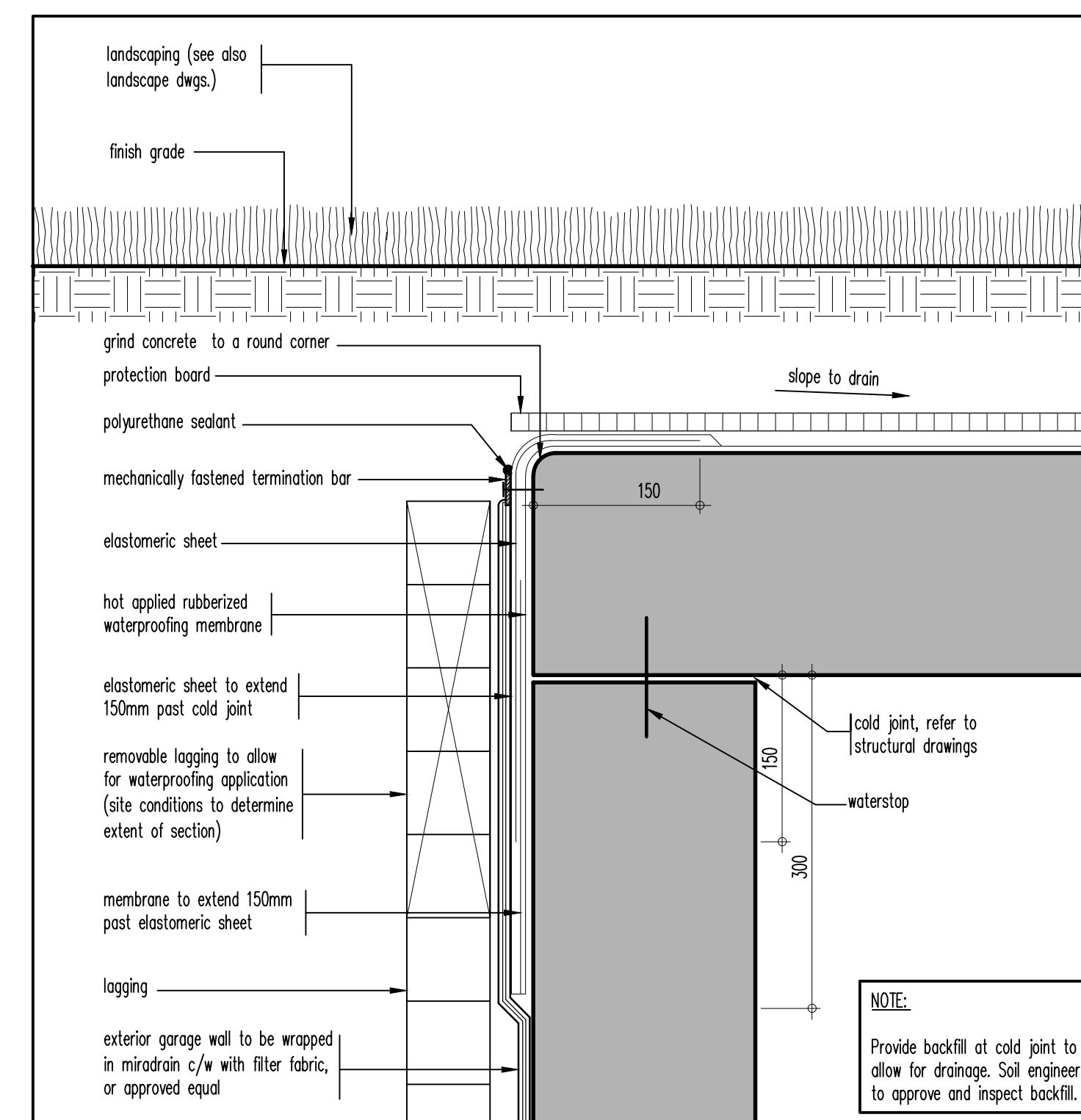
mechanical penetration thru roof 14



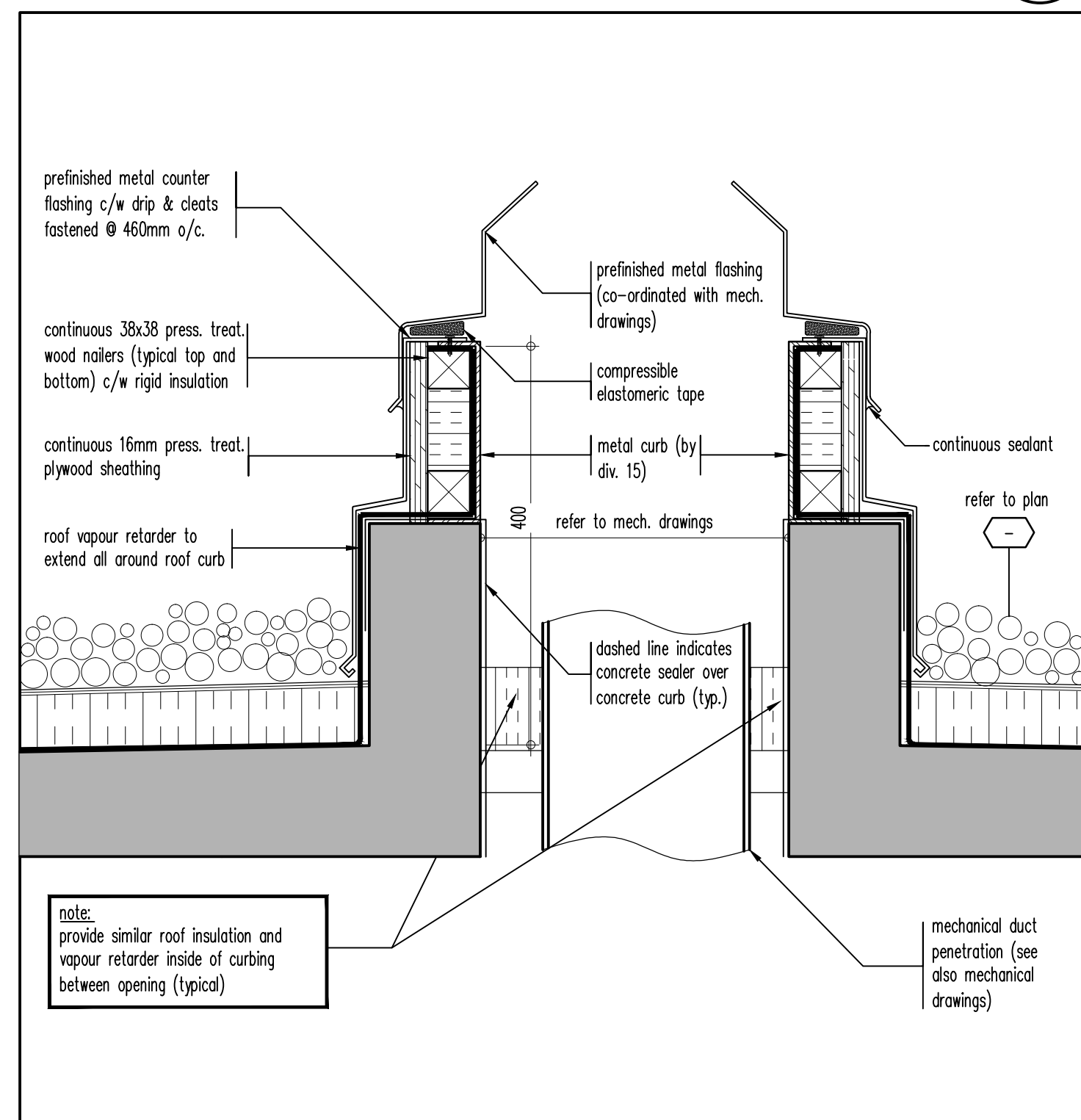
plan detail @ o.h. door at parking ramp 10



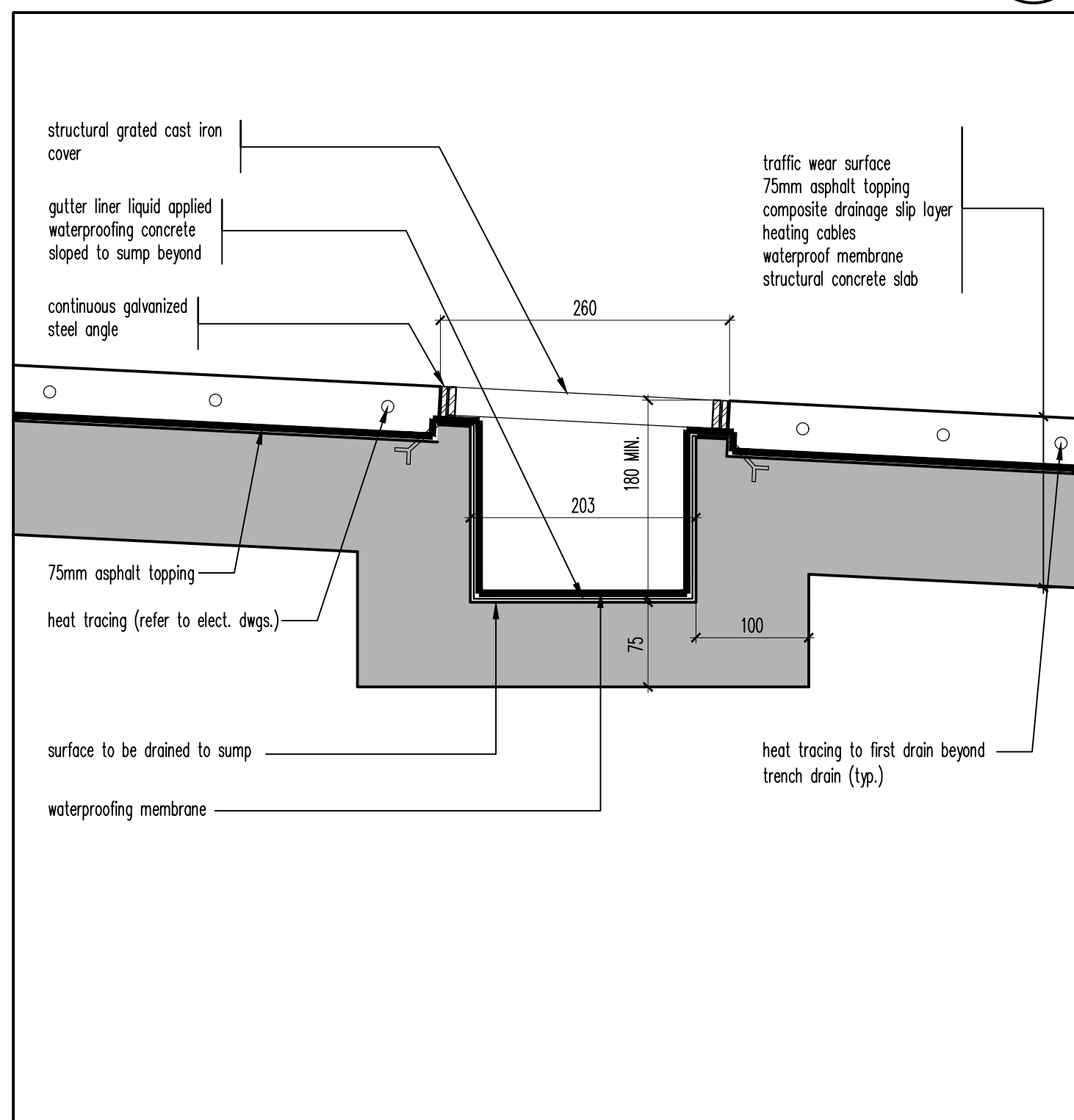
typical detail @ terrace drain 6



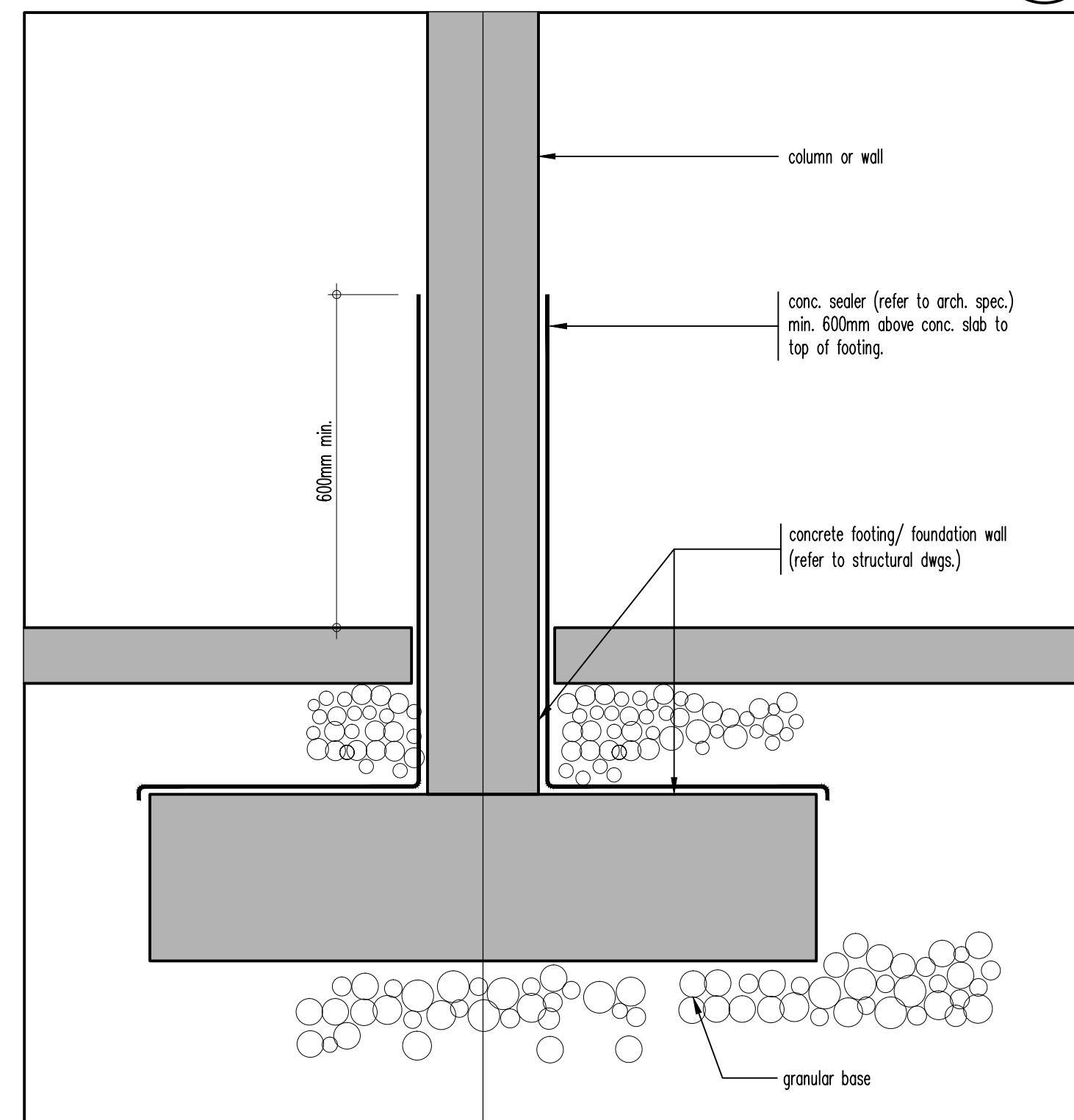
section of construction joint at slab wall 4



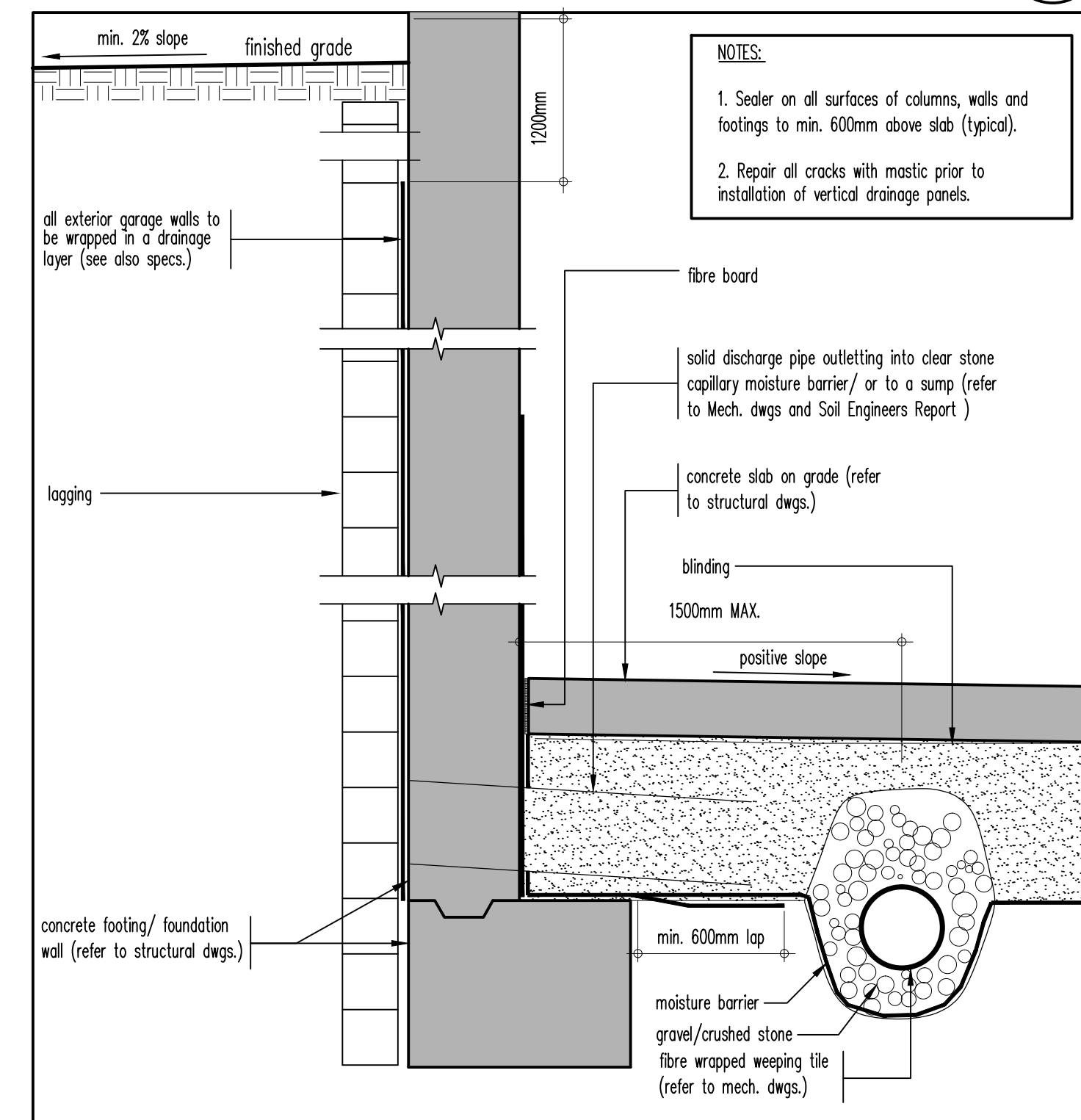
curb detail @ roof top units 13



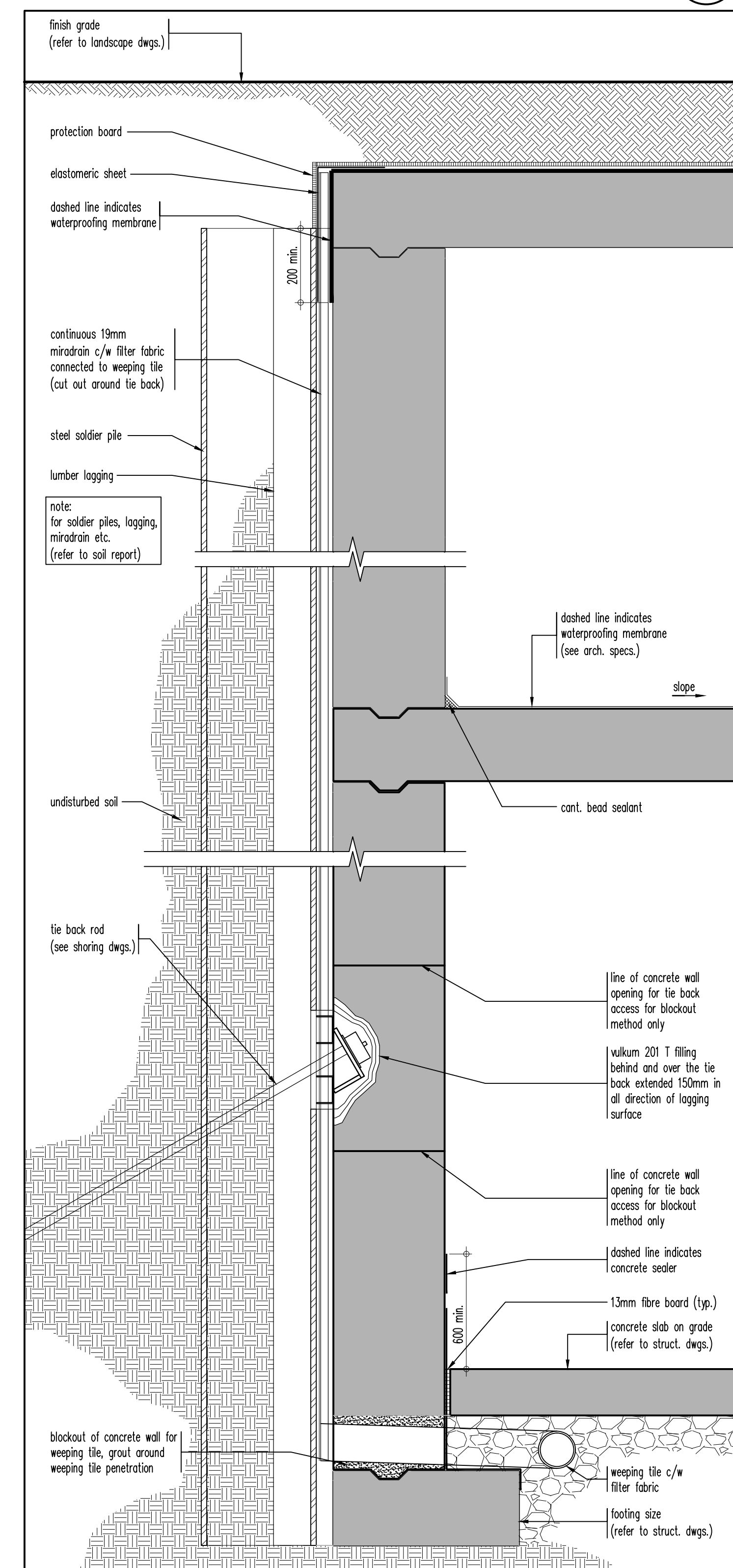
trench drain detail 09



protection of vertical element @ slab on grade junction 5



exterior drainage against shoring system 3



garage roof slab and wall detail 1

issued for revisions

GRAZIANI + CORAZZA
ARCHITECTS INC.

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

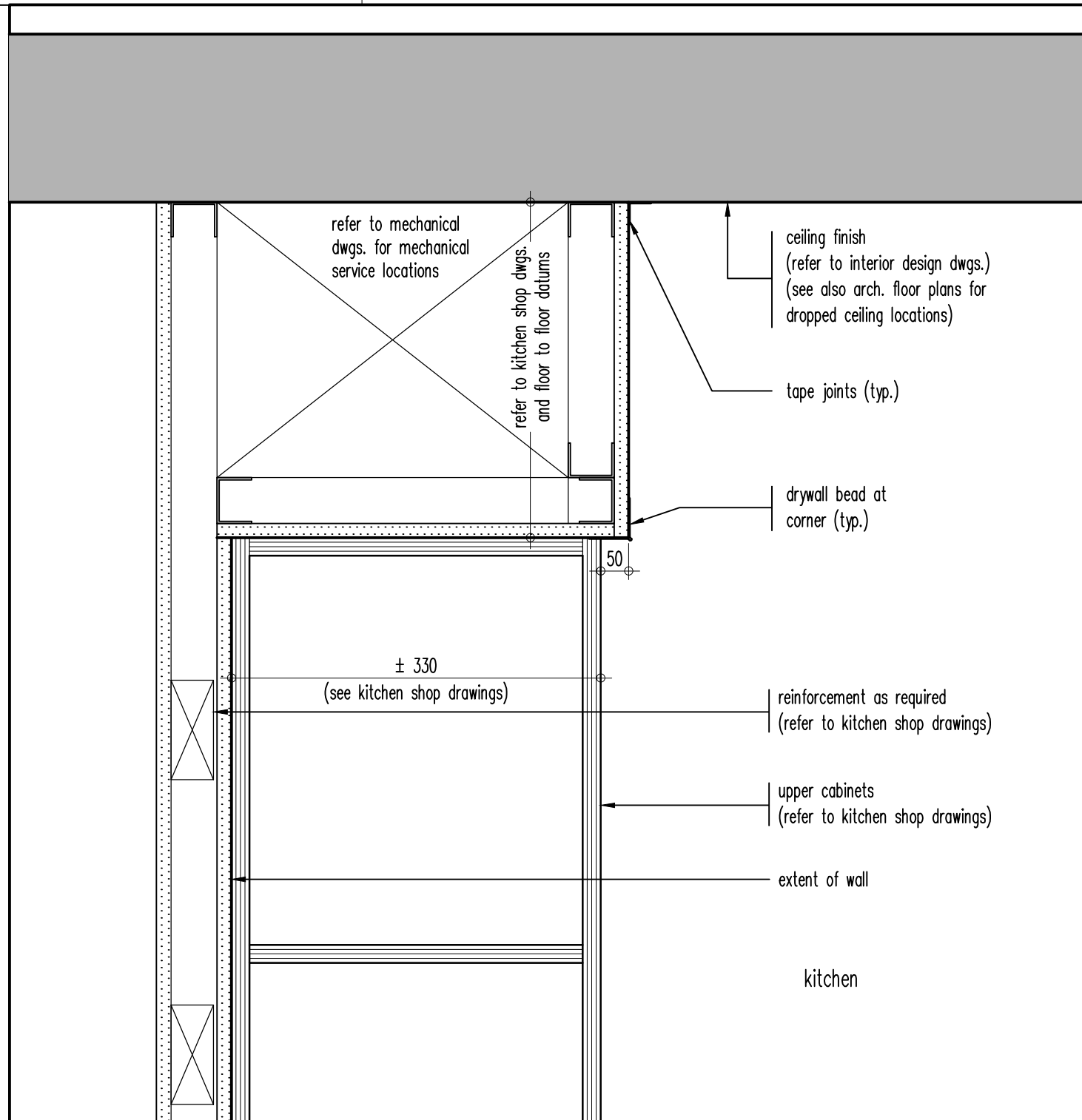
STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D. BIASE
Plot Date: Apr. 4, 2018
Job #: 1136.13

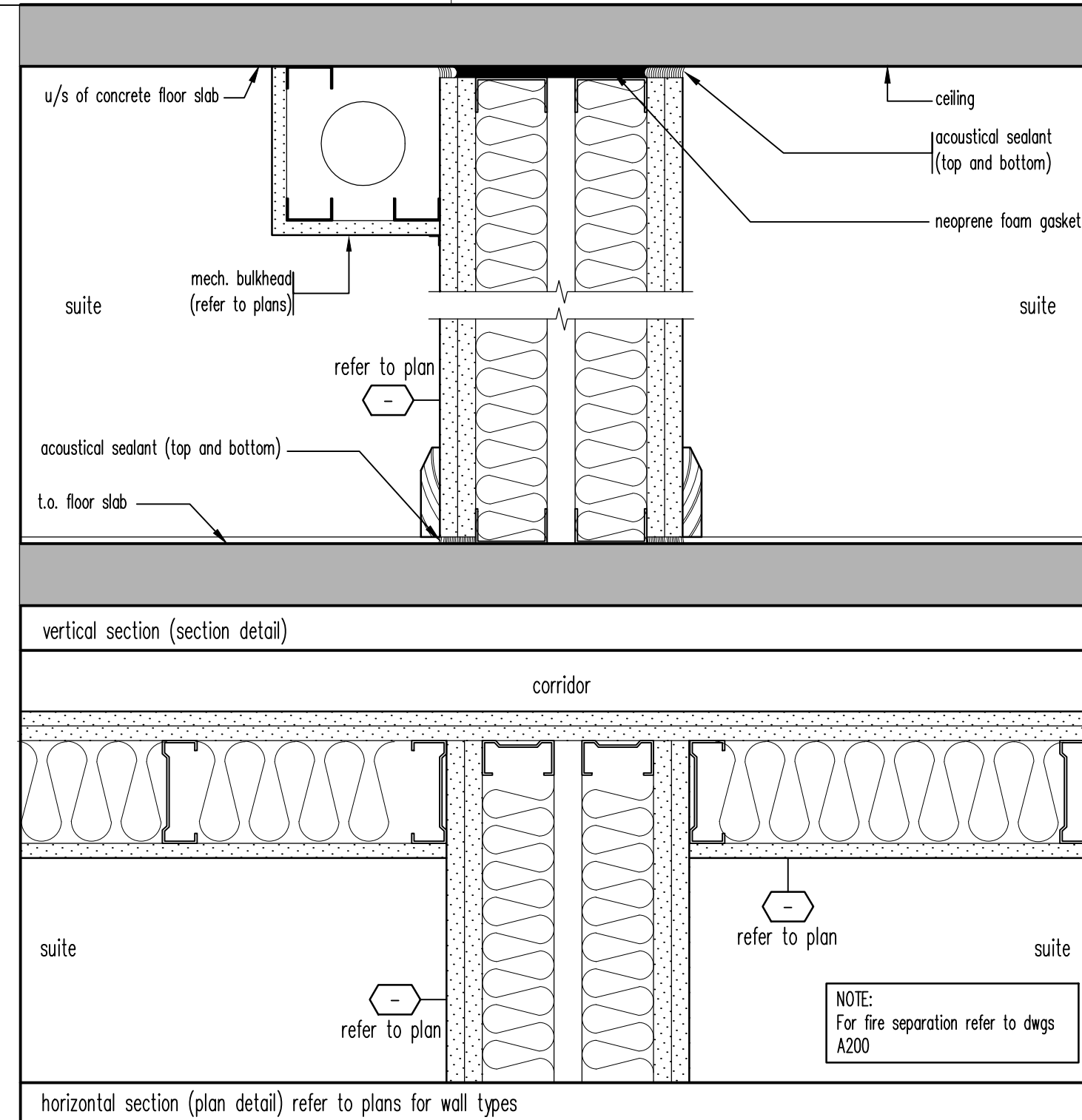
Typical Details

as noted A811

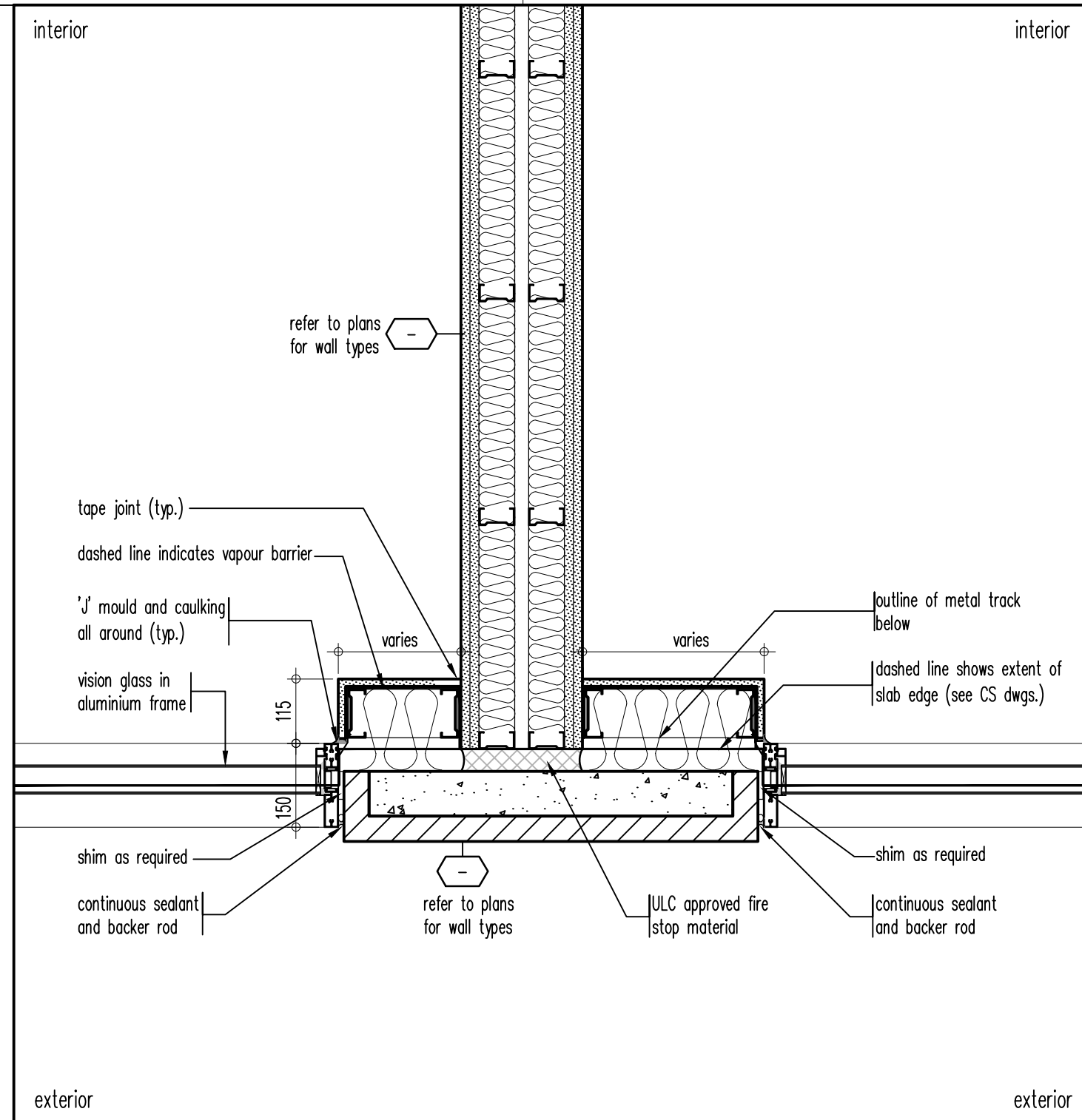
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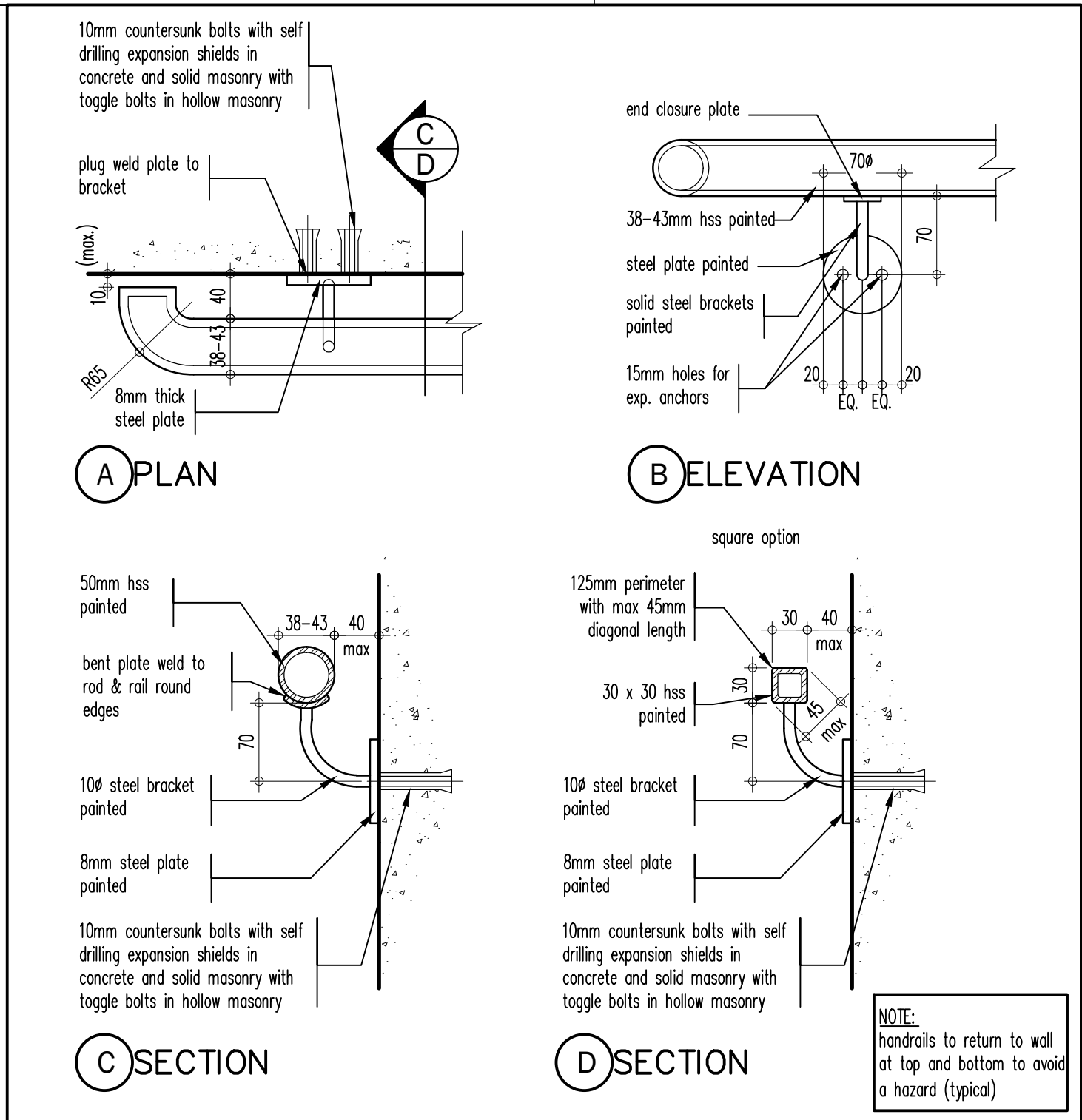
bulkhead above upper kitchen cabinets **16**
SCALE - 1:5 A812



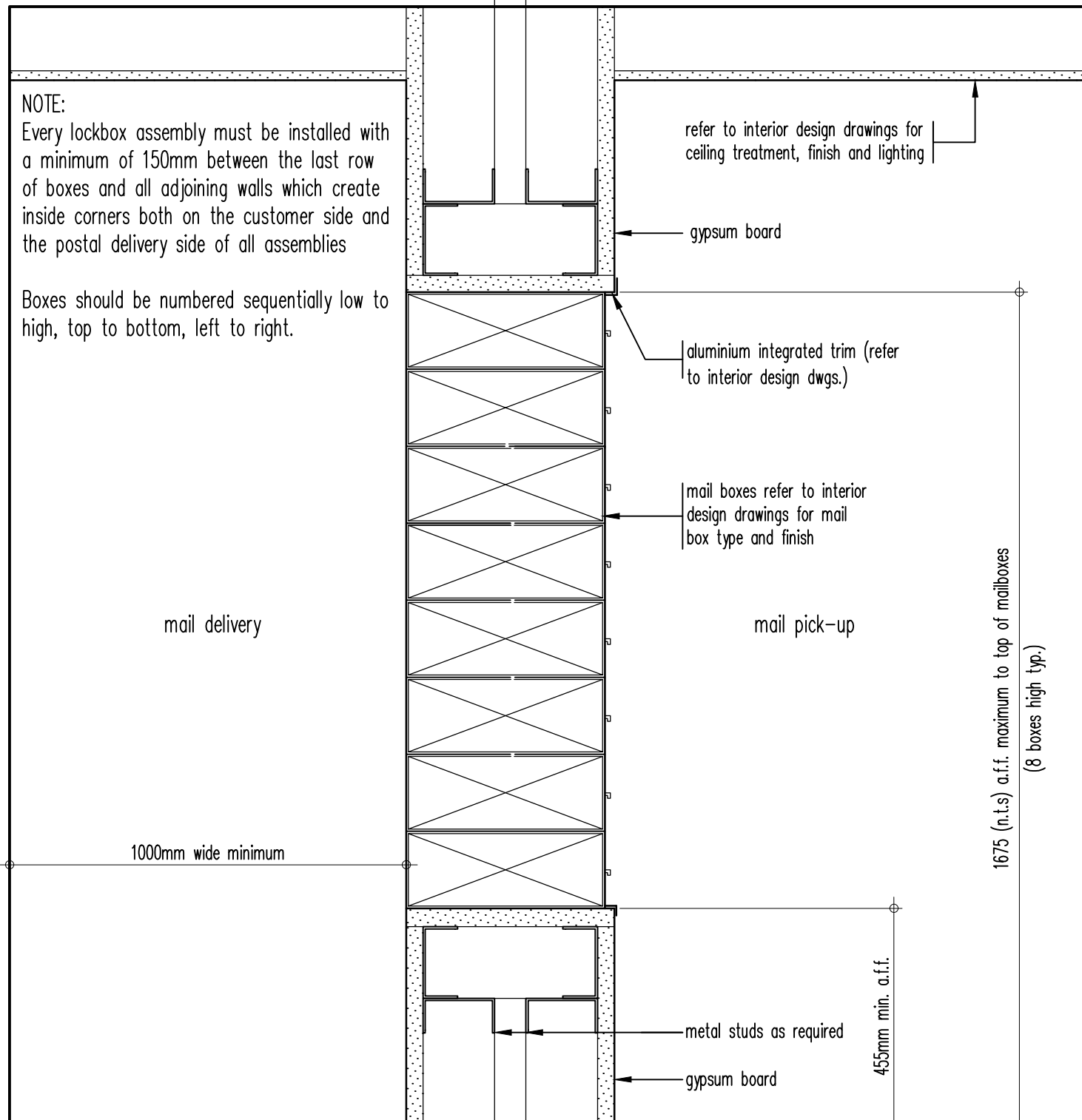
typical plan and section detail @ party wall **12**
SCALE - 1:5 A812



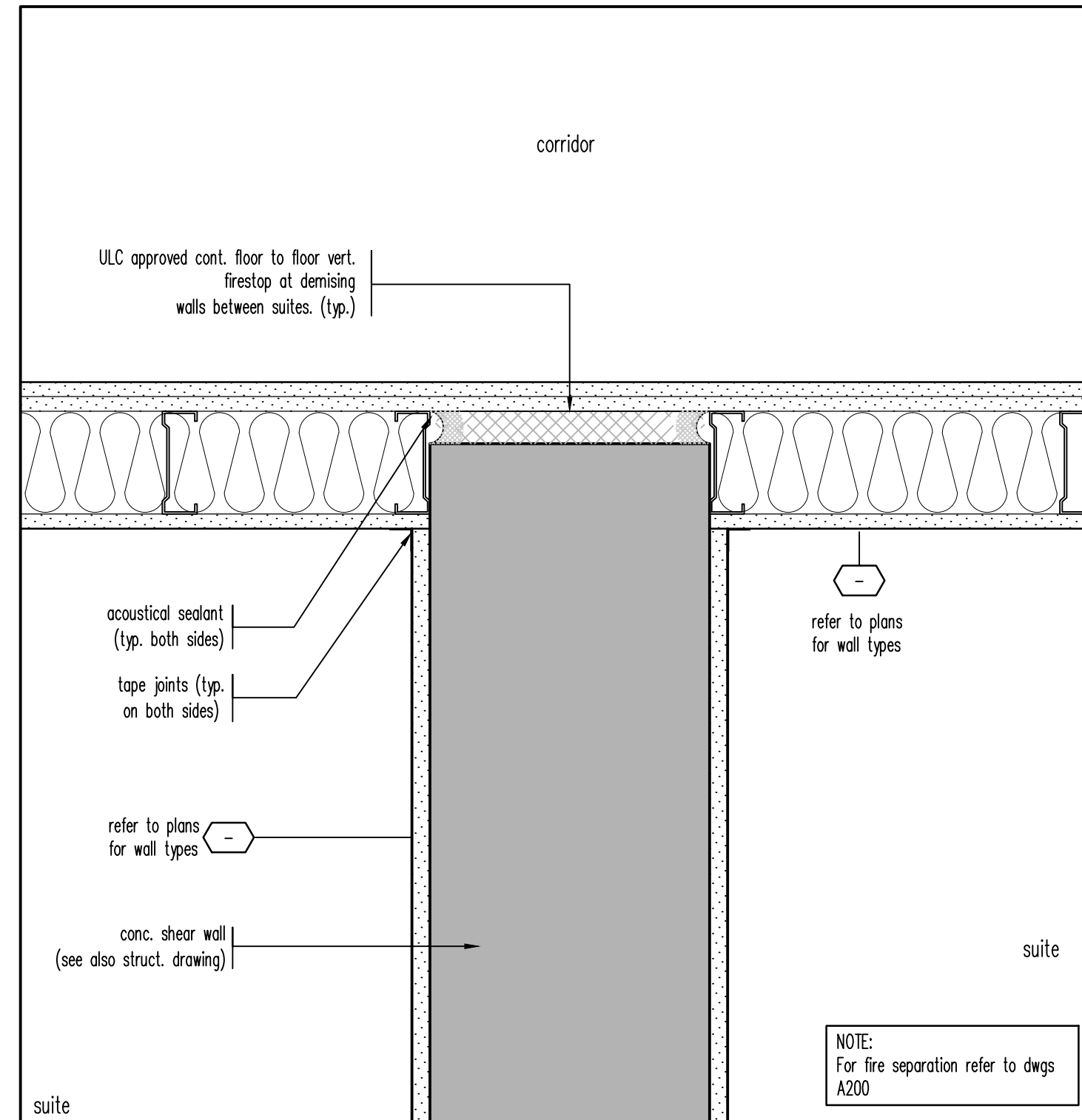
typical detail @ party wall **8**
SCALE - 1:10 A812



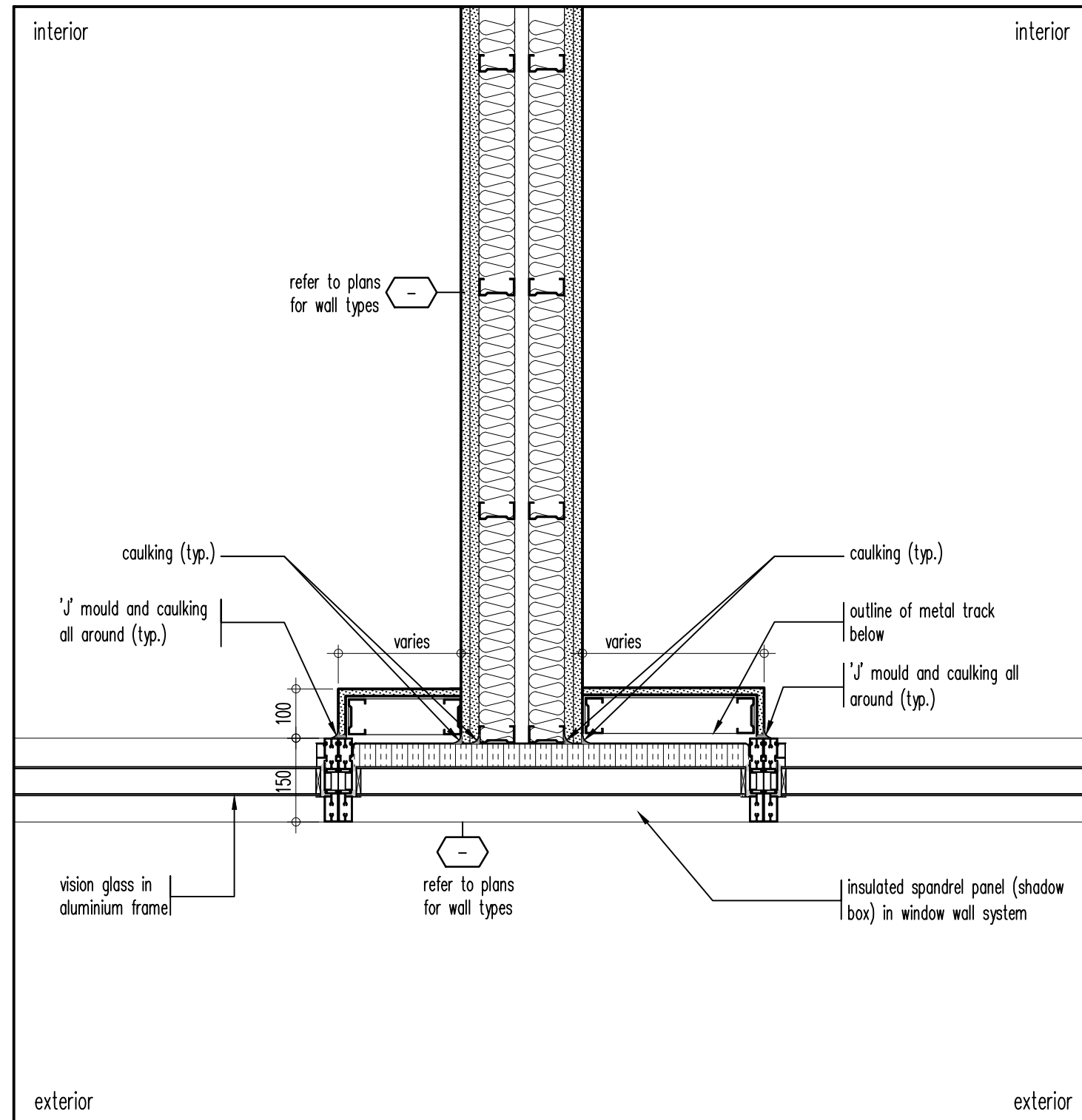
wall mounted steel handrail details **4**
SCALE - 1:5 A812



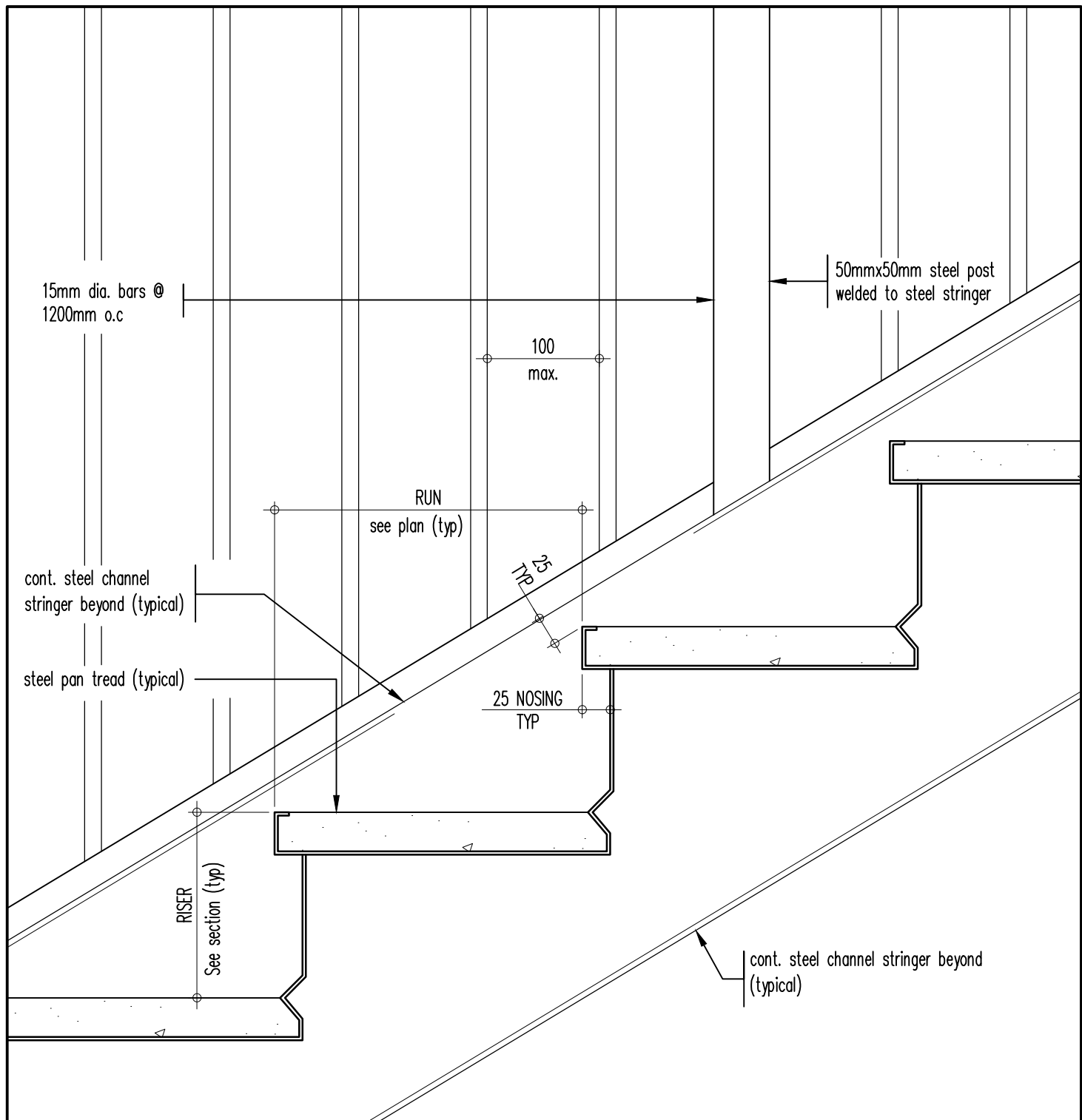
section at mailbox wall **15**
SCALE - 1:5 A812



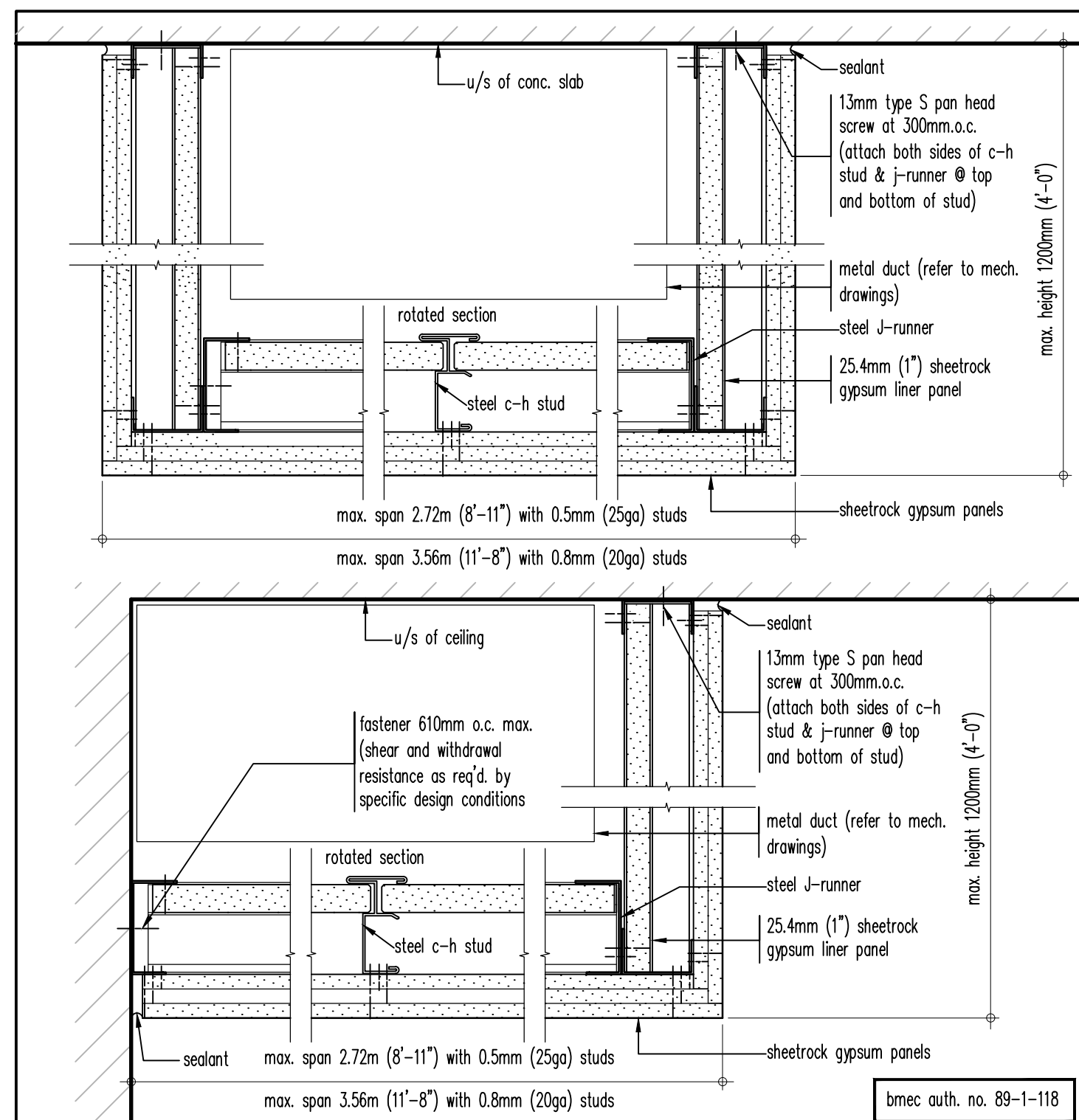
section at shear wall and demising wall intersection **11**
SCALE - 1:5 A812



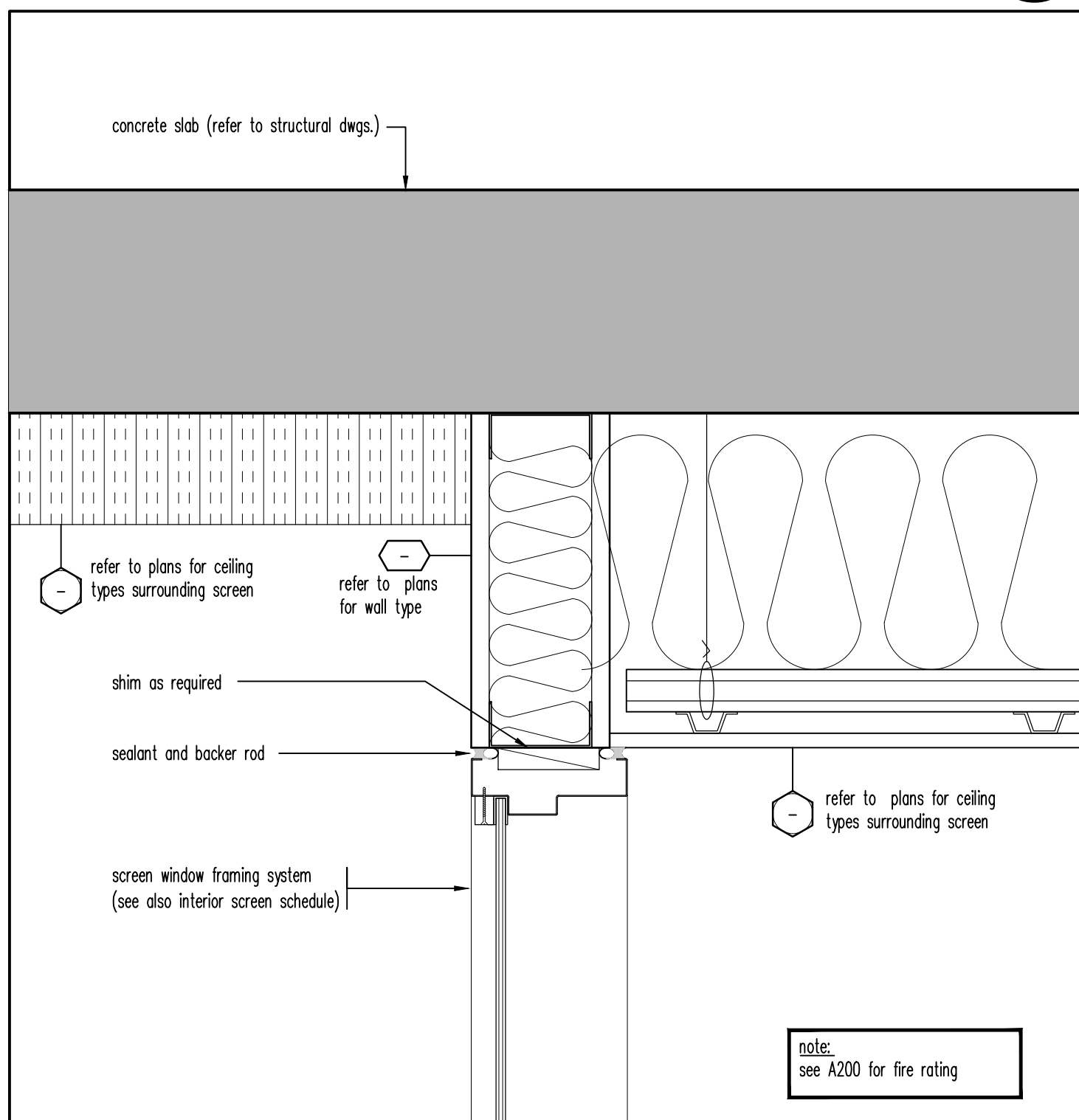
typical detail @ party wall **7**
SCALE - 1:10 A812



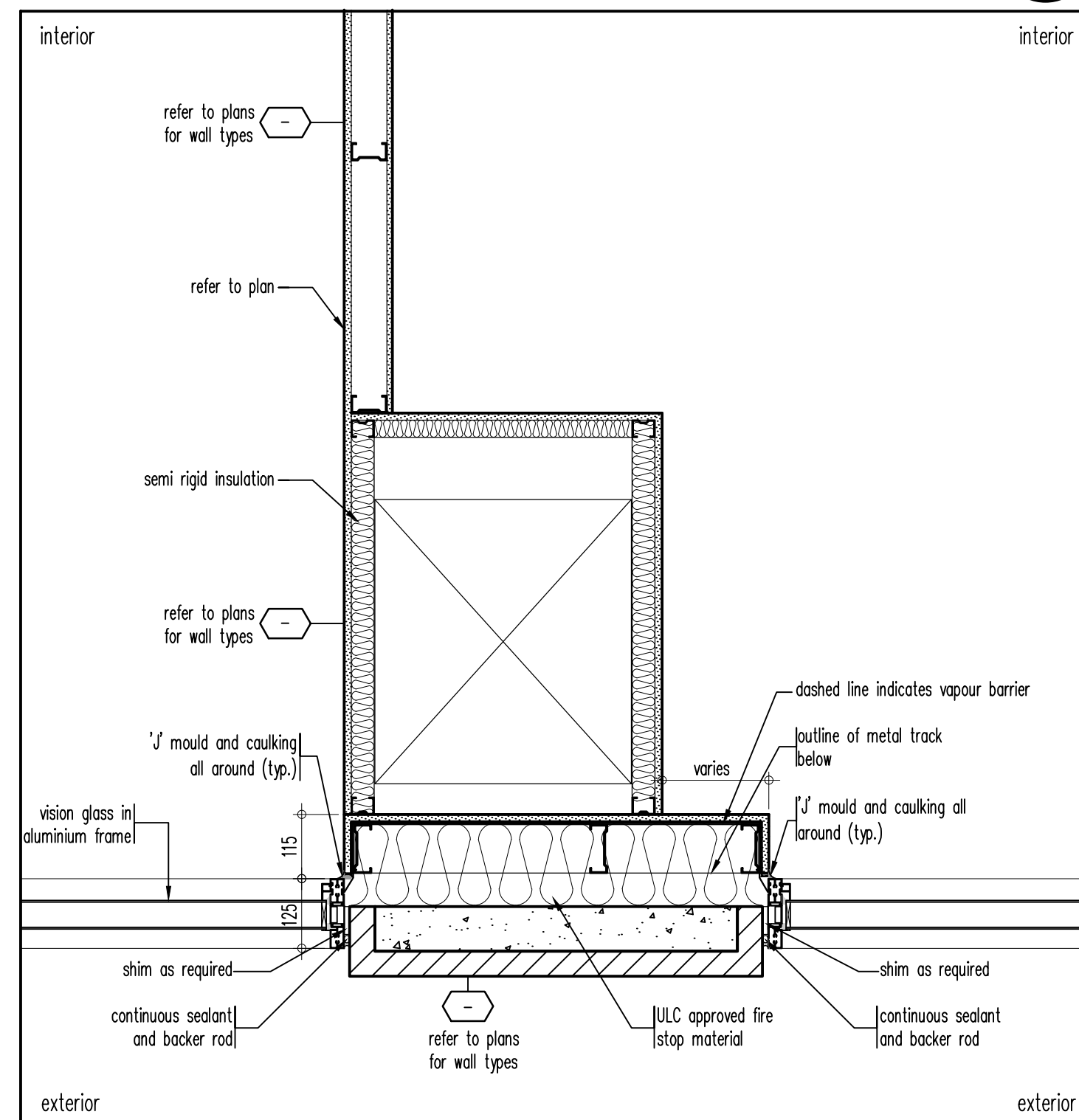
metal pan stair detail **3**
SCALE - 1:5 A812



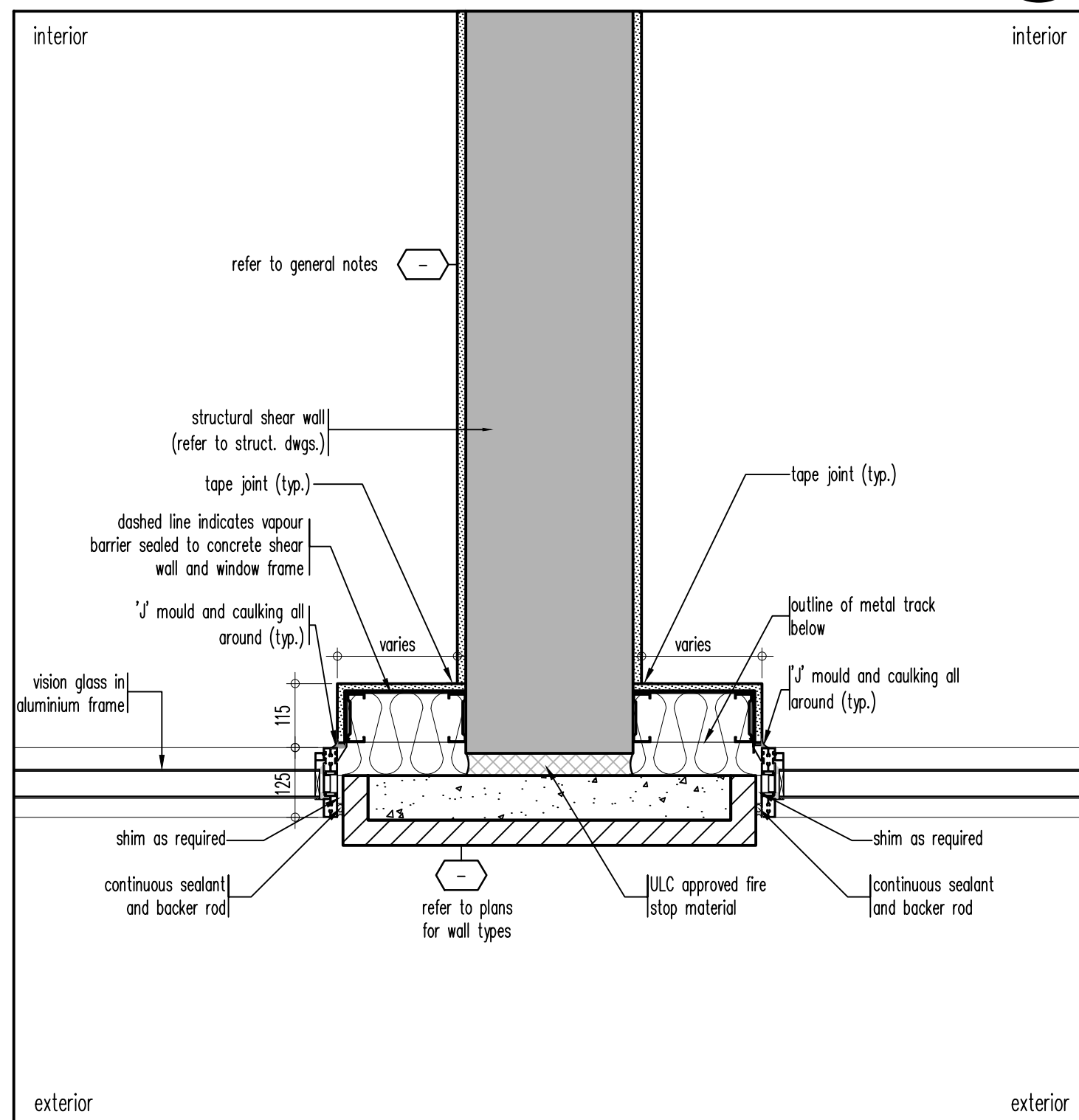
2hr fire rated enclosure **18**
SCALE - 1:5 A812



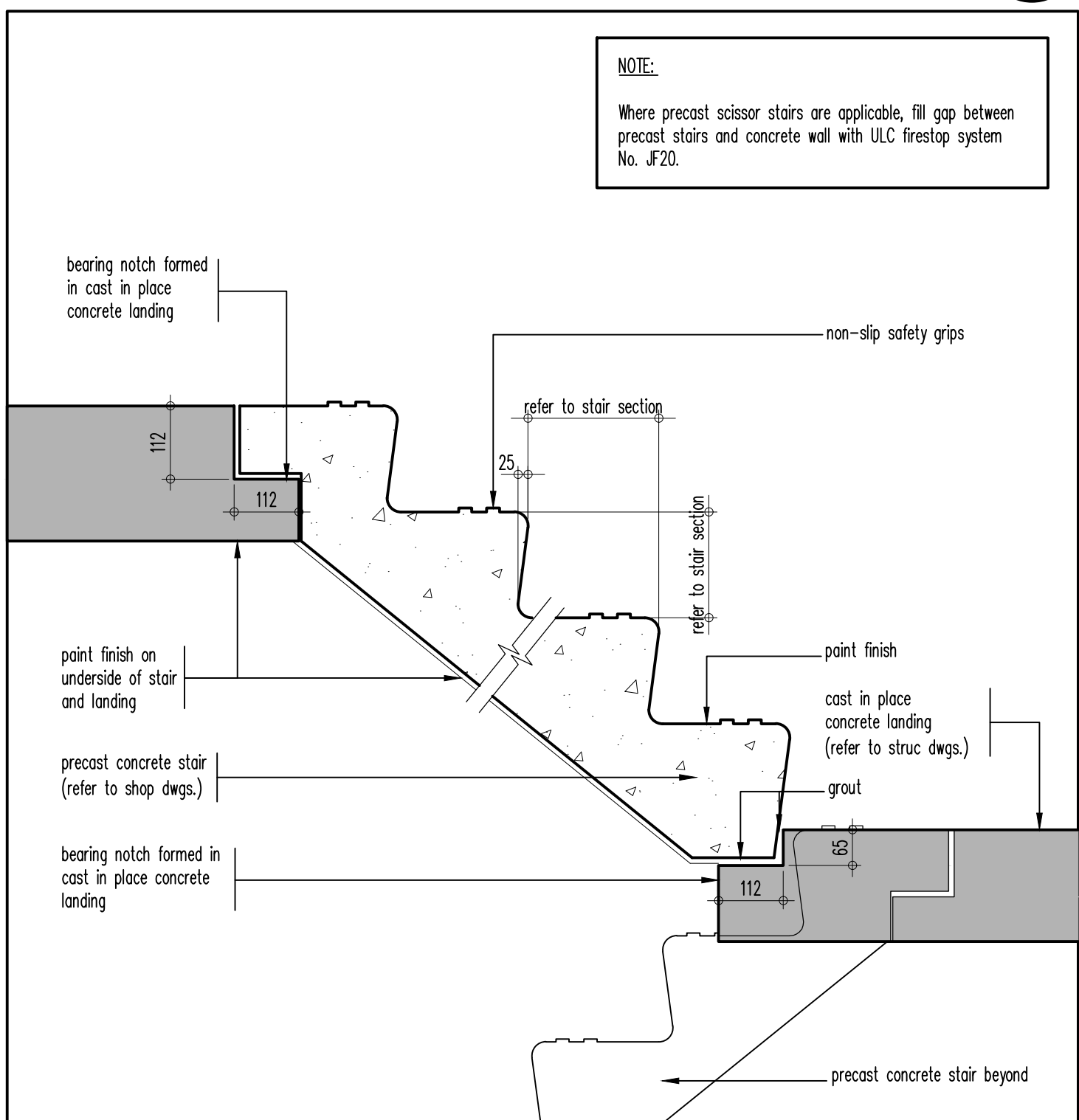
section detail @ window screen fire rated at parking level **14**
SCALE - 1:5 A812



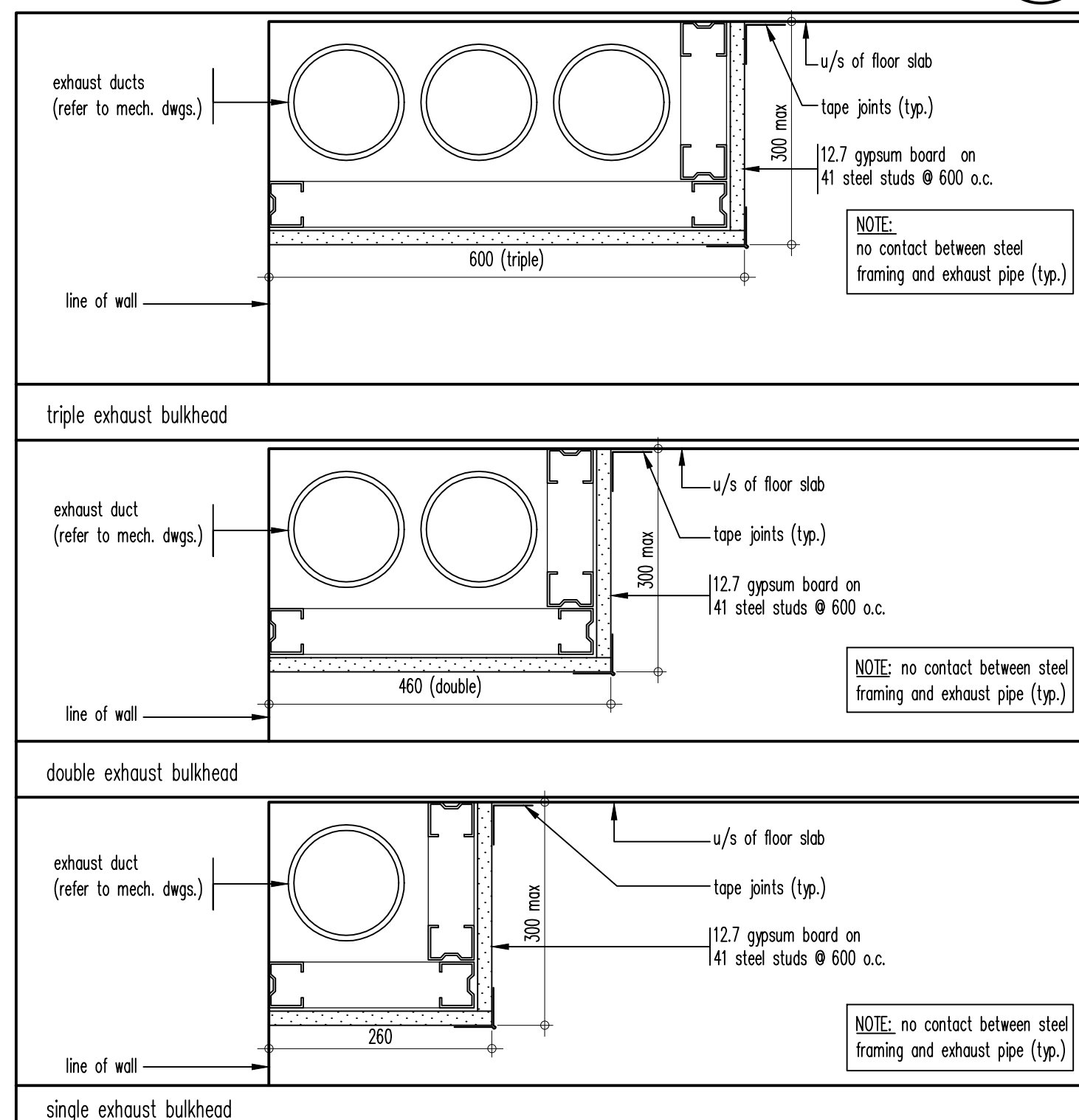
exterior wall @ fan coil unit **10**
SCALE - 1:10 A812



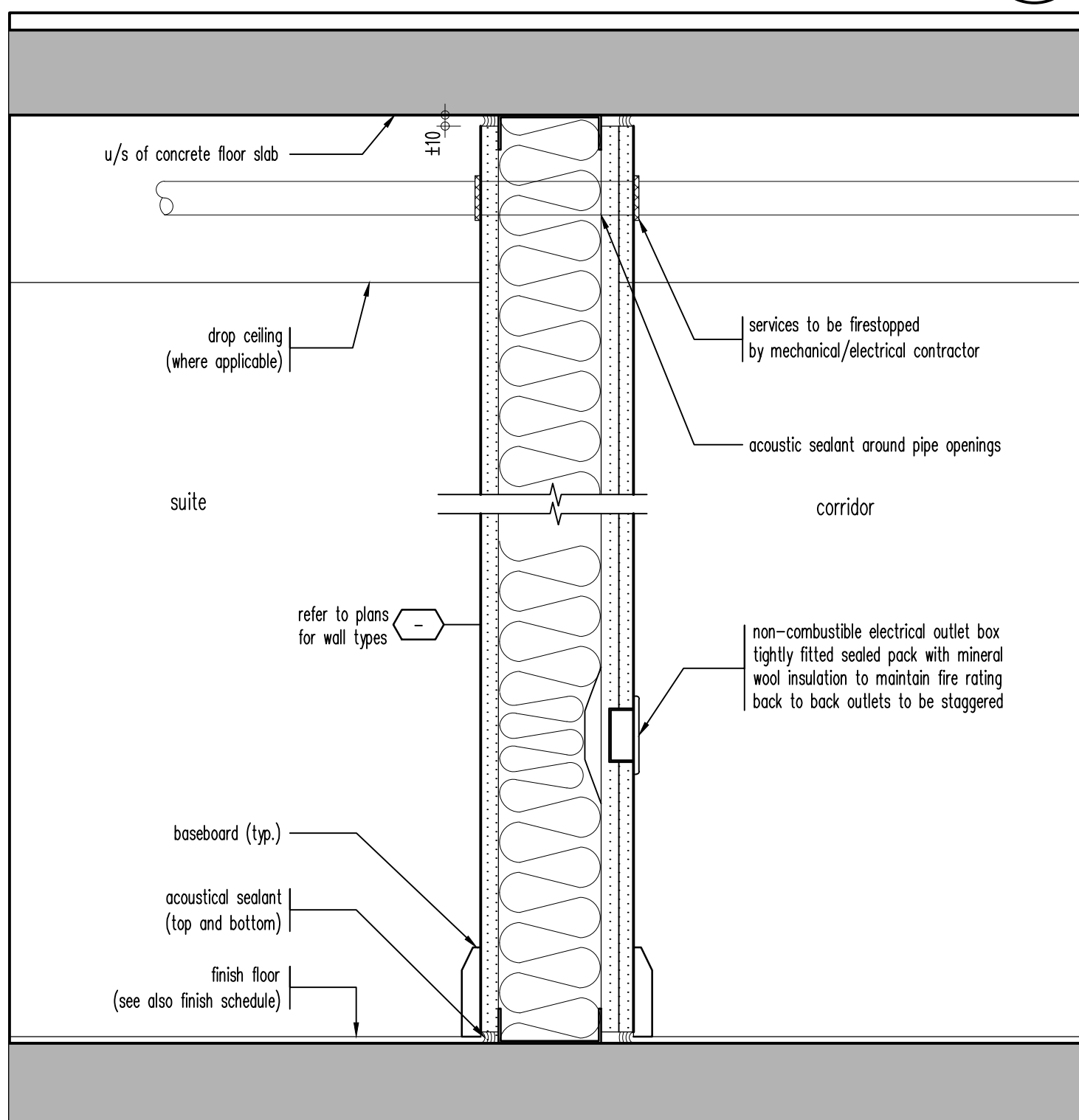
typical detail @ shear wall **6**
SCALE - 1:10 A812



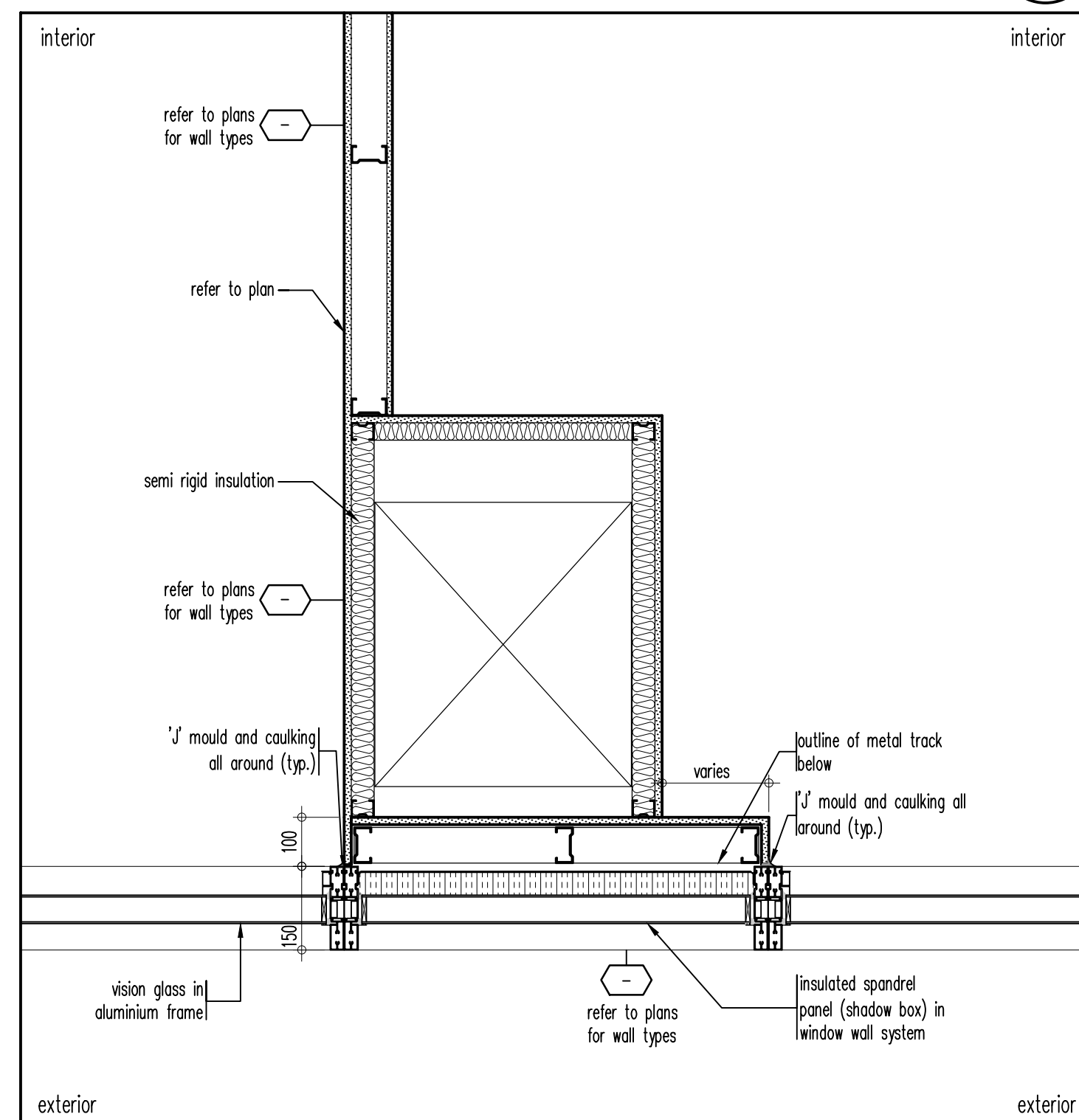
precast concrete stair detail - typical **2**
SCALE - 1:10 A812



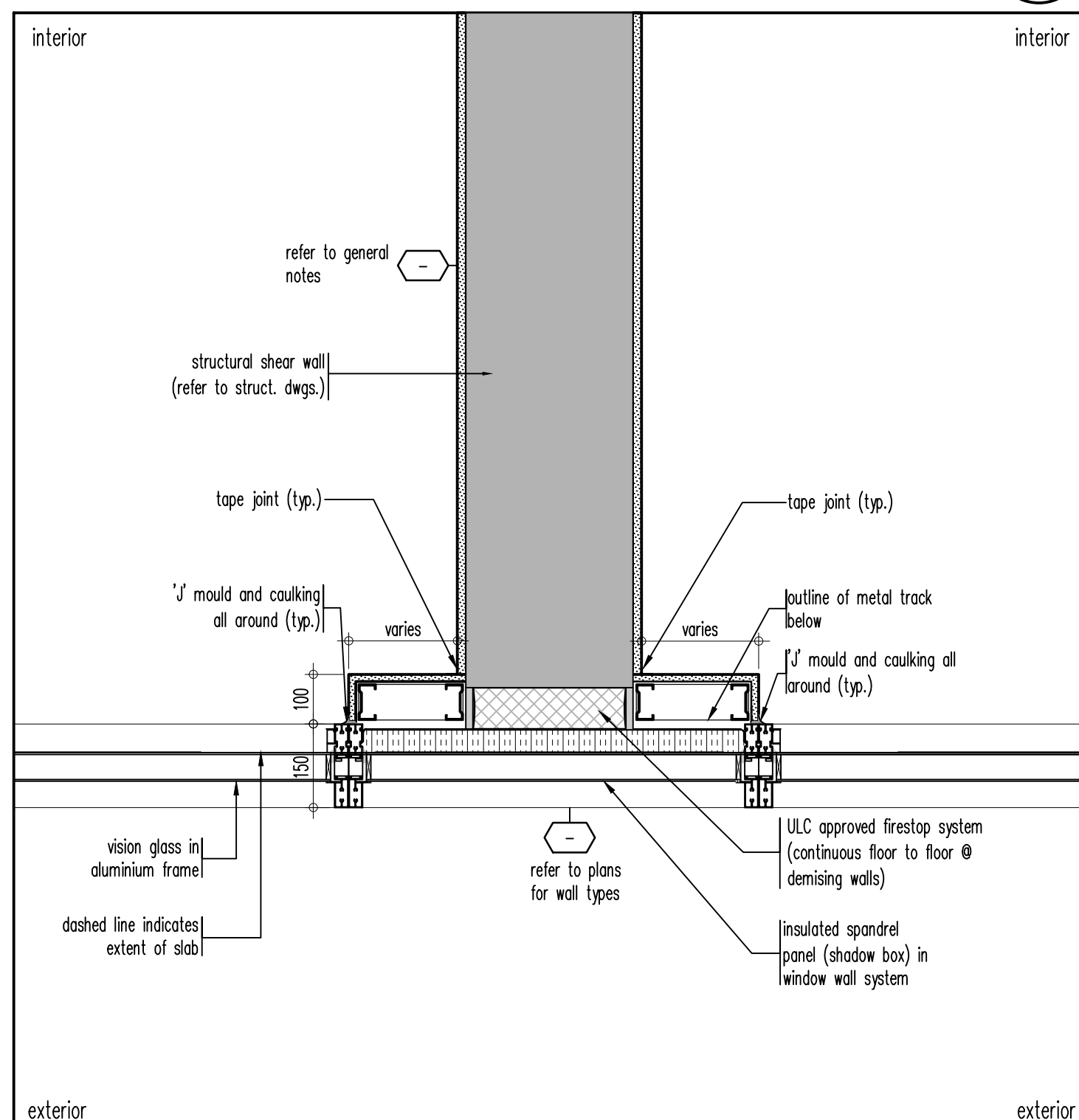
typical bulkhead detail **17**
SCALE - 1:5 A812



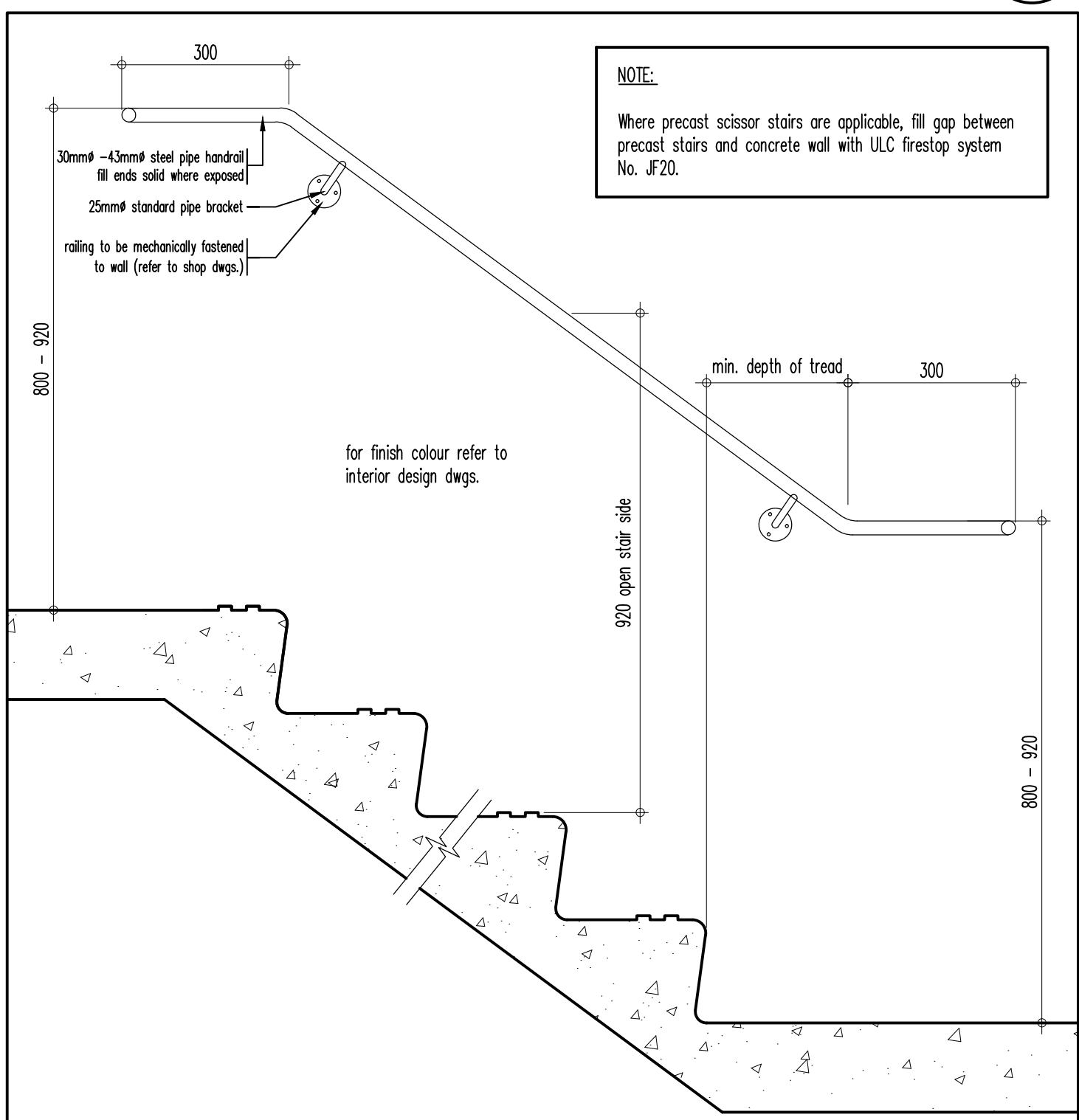
electrical outlet box detail **13**
SCALE - 1:5 A812



exterior wall @ fan coil unit **9**
SCALE - 1:10 A812



typical detail @ shear wall **5**
SCALE - 1:10 A812



stair detail - handrail extension at top & bottom **1**
SCALE - 1:10 A812

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01. FEB.28.2014	issued to city for SPA	B.G.
02. JUL.3.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	issued for tender	B.G.
06. DEC.28.2016	issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	based for Footings and Foundation Permit	B.G.
10. JULY.19.2017	Progress for Construction	B.G.
11. AUG.09.2017	Revised for Construction	B.G.
12. OCT.25.2017	Revised to Envelope	B.G.
13. APR.04.2018	Re-issued for Building Permit	B.G.

issued for revisions

GRAZIANI & CORAZZA ARCHITECTS INC.

1032 Sheppard Ave. E. Suite 102, Scarborough, Ontario M1S 1C1
Phone: (416) 762-3431 Fax: (416) 762-3444 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

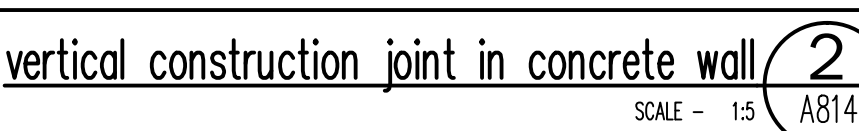
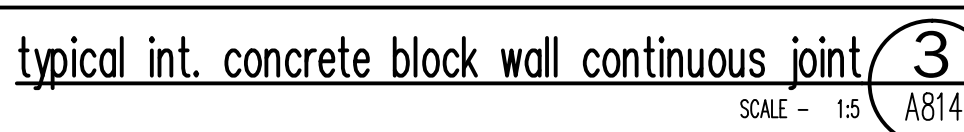
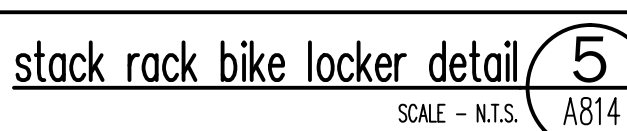
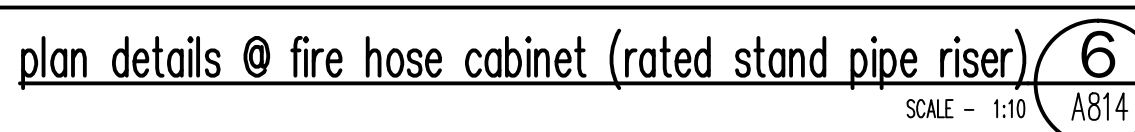
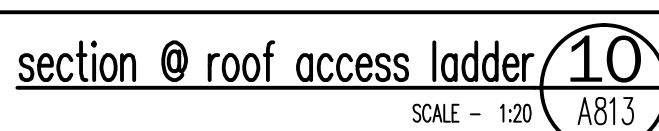
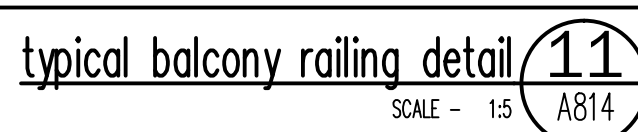
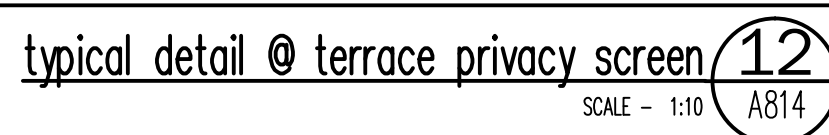
ROYAL PINES HOMES ONTARIO

STOUFFVILLE

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D. BIASE
Plot Date: Apr. 4, 2018
Job #: 1136.13

Typical Details

as noted A812



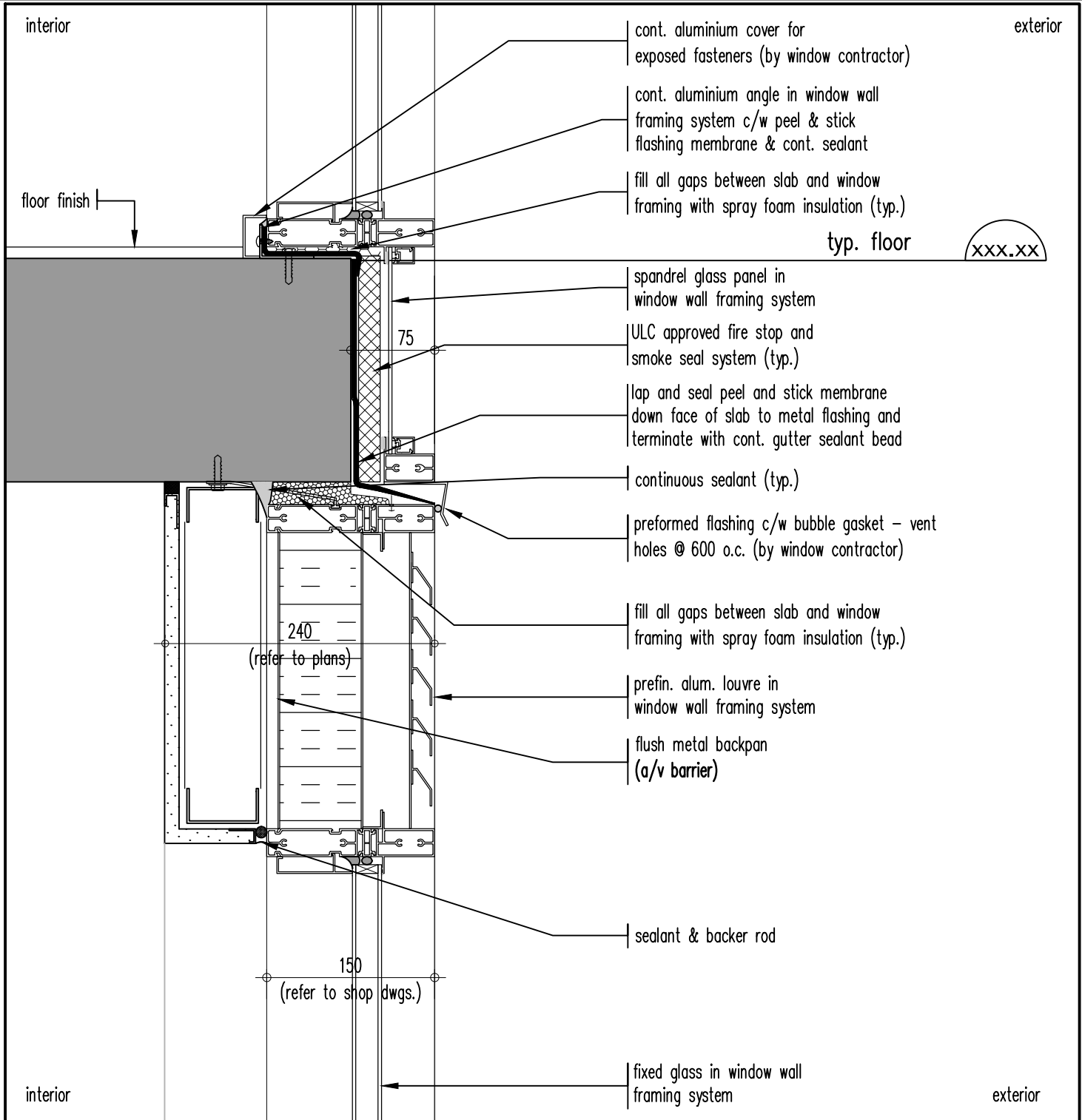
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04.	JAN.15.2015	re-issued to city for SPA	B.G.
05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
09.	MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	AUG.29.2017	Issued for Construction	B.G.
12.	OCT.15.2017	Revision to Envelope	B.G.
13.	APR.04.2018	Re-issued for Building Permit	B.G.

TITLEBLOCK SIZE: 915 x 1400

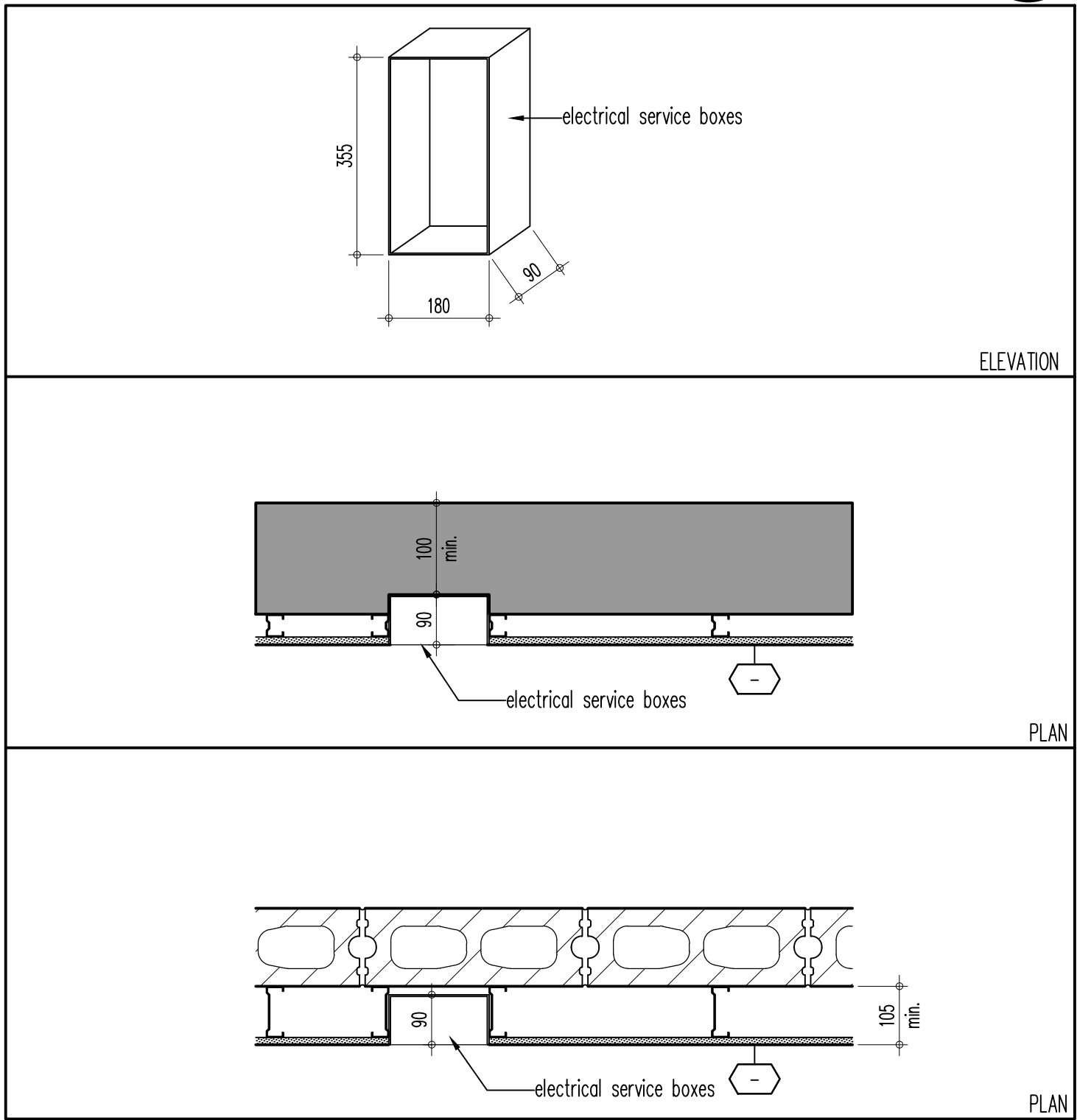
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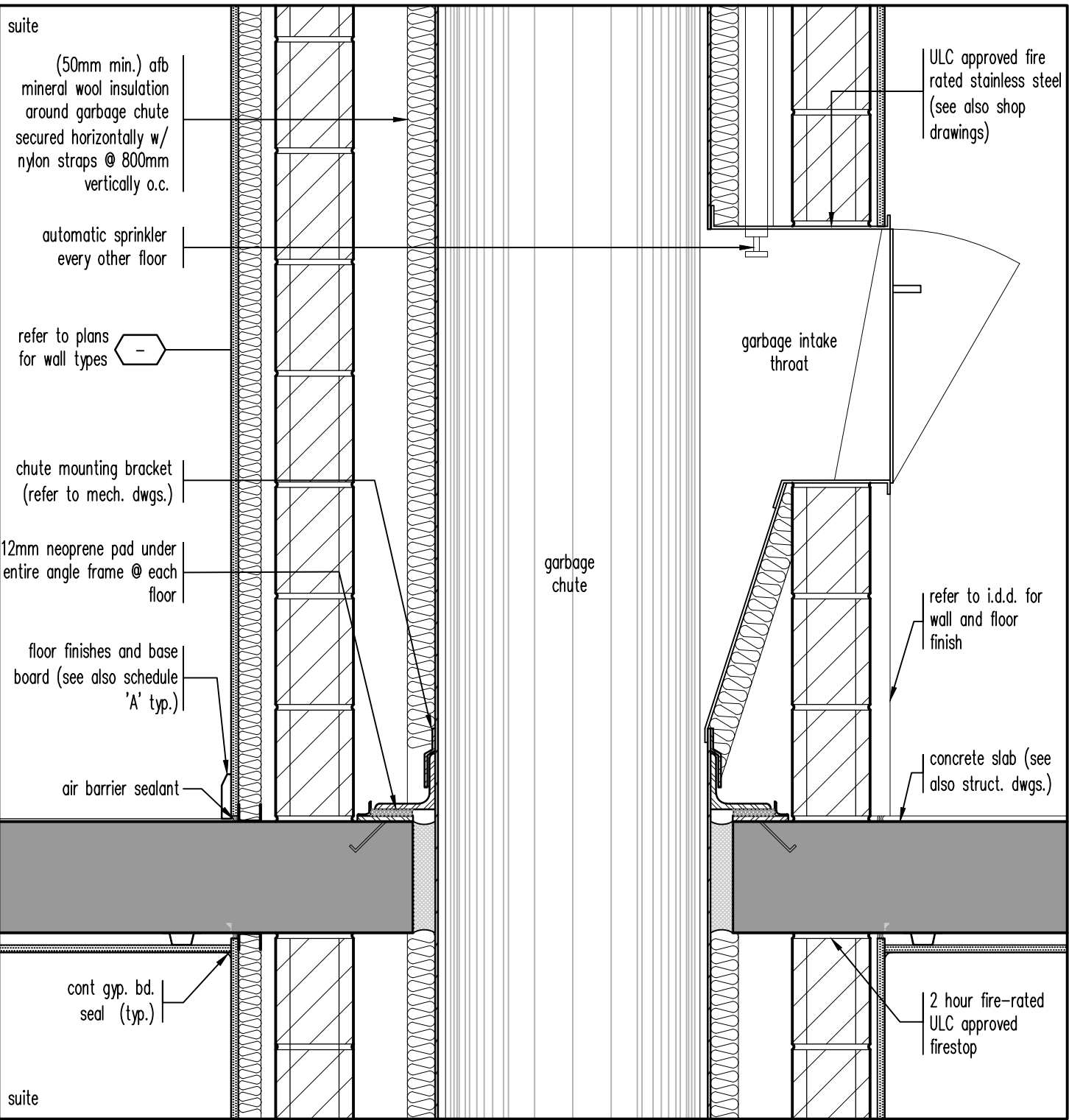
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03.	SEP.11.2014	re-issued to city for SPA	B.C.
04.	JAN.15.2015	re-issued to city for SPA	B.C.
05.	MAR.15.2015	issued for tender	B.C.
06.	DEC.28.2016	issued for building permit	B.C.
07.	MAY.10.2017	re-issued for building permit	B.C.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.C.
10.	JULY.19.2017	Progress for Construction	B.C.
11.	AUG.09.2017	issued for Construction	B.C.
12.	OCT.25.2017	Revision to Envelope	B.C.
13.	APR.04.2018	Re-issued for Building Permit	B.C.



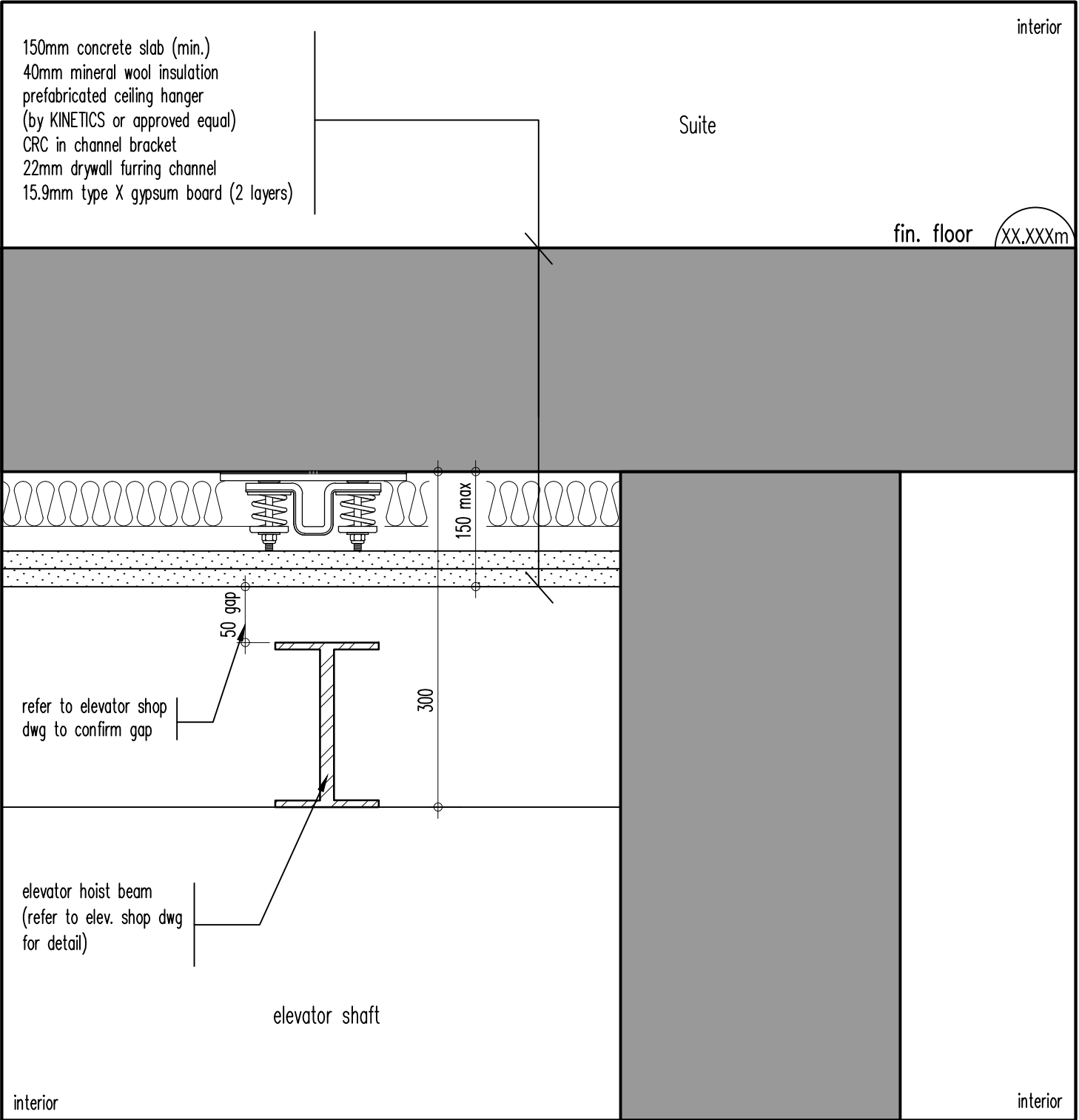
SECTION DETAIL @ WINDOW WALL BAYPASS 8
SCALE - 1/5 A815



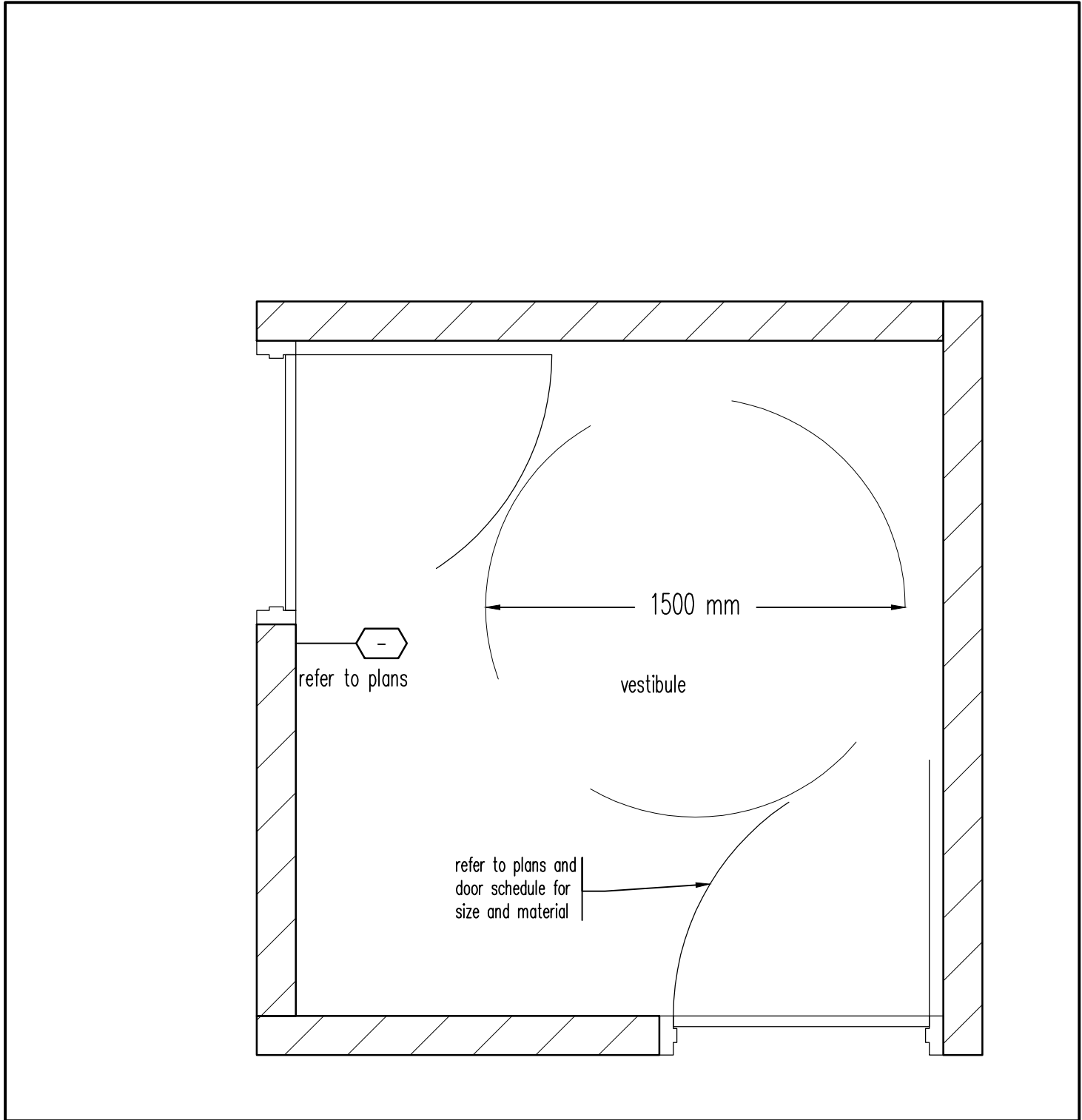
detail @ rated partition with electrical service boxes 7
SCALE - 1/10 A815



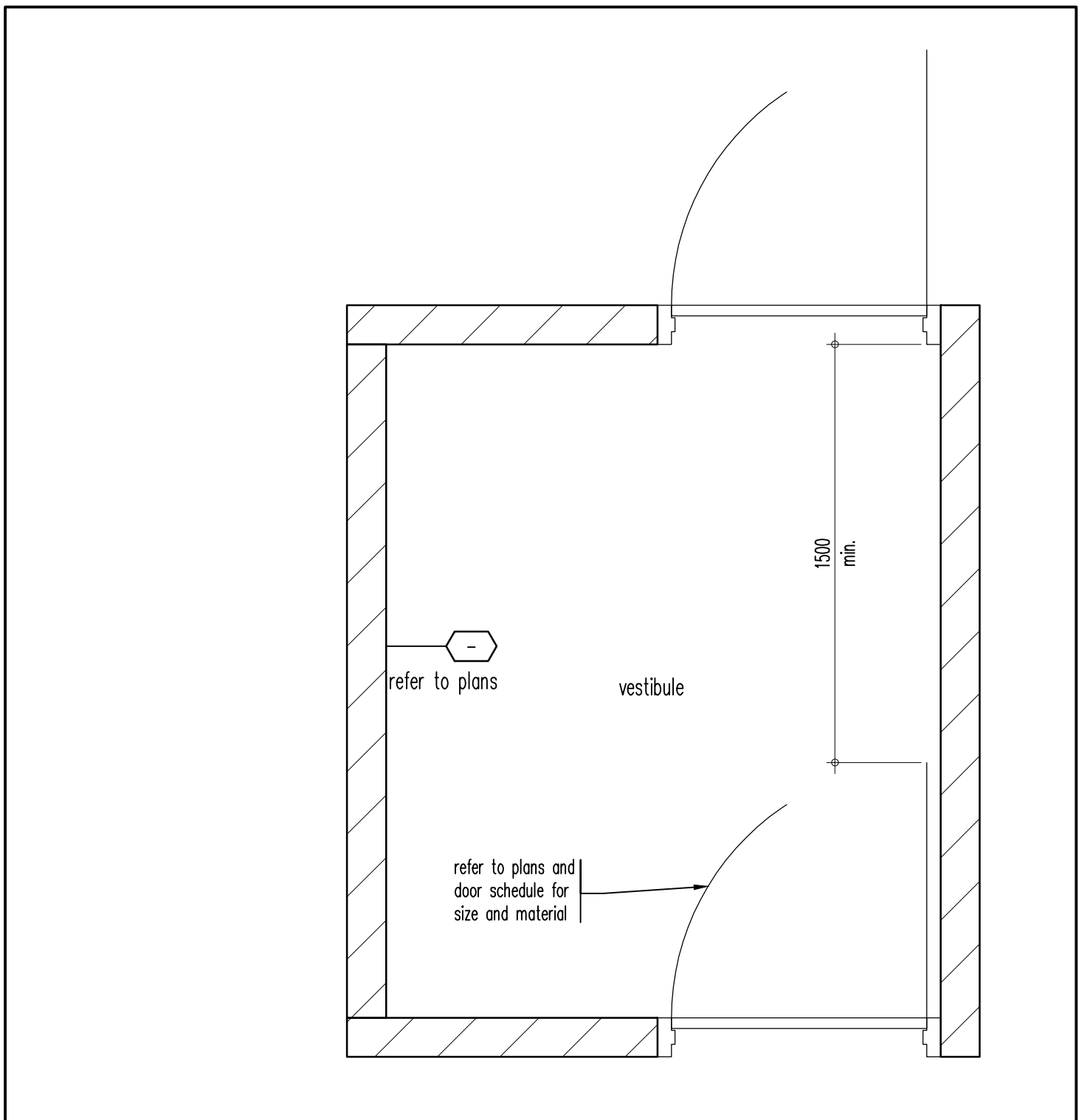
section detail @ garbage chute 3
SCALE - 1/10 A815



shuttle elevator ceiling 10
SCALE - 1/5 A815



vestibule minimum size when doors aren't aligned 6
SCALE - 1/20 A815



vestibule minimum size when doors aligned 5
SCALE - 1/20 A815

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GRAZIANI
CORAZZA
ARCHITECTS INC.

1330 Sheppard Ave. E. Suite 102, Markham, Ontario L3R 9Y1
Phone: 905.765.9670 Fax: 905.765.9544 www.gra-architects.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

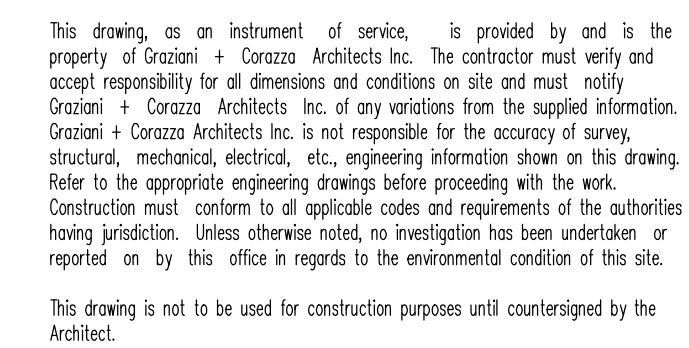
STOUFFVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D. BIASE
Plot Date: Apr. 4, 2018
Job #: 1136.13

Typical Details

as noted A815

TITLEBLOCK SIZE: 915 x 1400



This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

01.	FEB.28.2014	issued to city for SPA	B.G.
02.	JUL.3.2014	re-issued to city for SPA	B.G.
03.	SEP.11.2014	re-issued to city for SPA	B.G.
04.	JAN.15.2015	re-issued to city for SPA	B.G.
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07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
09.	JULY.07.2017	Issued for Construction	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	OCT.25.2017	Revision to Envelope	B.G.
12.	NOV.08.2017	Added Dimensions	B.G.

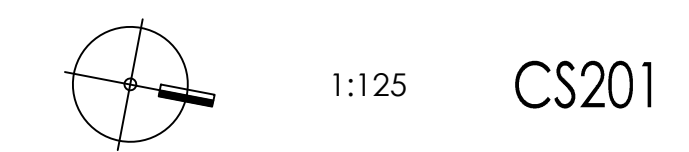
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02.	SEPT.08.2017	SI07 UNDER STAIR ACCESS	BG
01.	AUG.13.2017	SI05 SHAFT CURBS & DOOR	BG

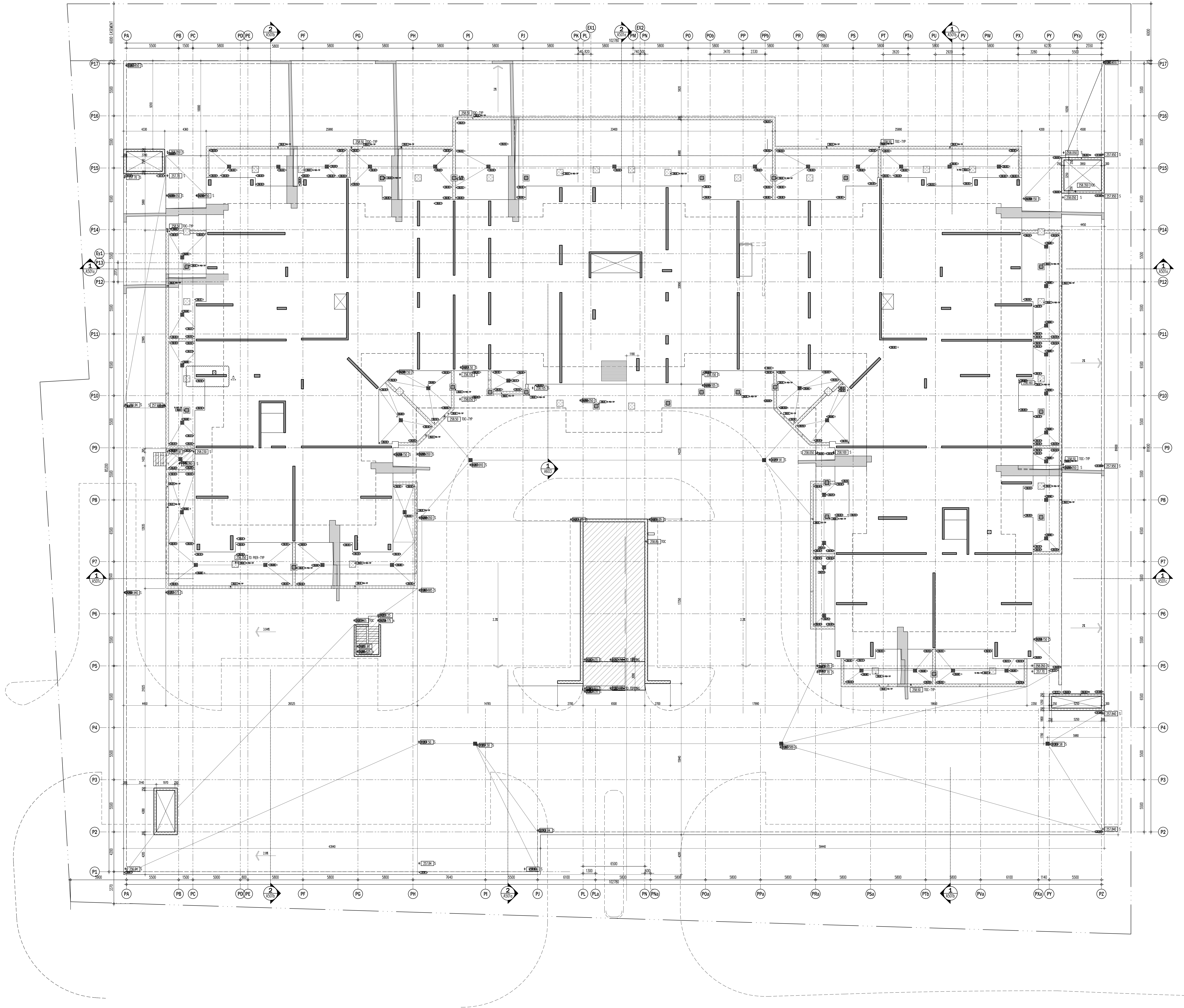
issued for revisions



ROYAL PINES HOMES		ONTARIO
STOUFFVILLE		
Project Architect:	B. GRAZIANI	
Assistant Designer:	R. LINCOLN	
Drawn By:	S.G.	
Checked By:	G. COLANGELO/D. BIASE	
Plot Date:	Nov. 8, 2017	
Job #	1136.13	

PARKING PLAN

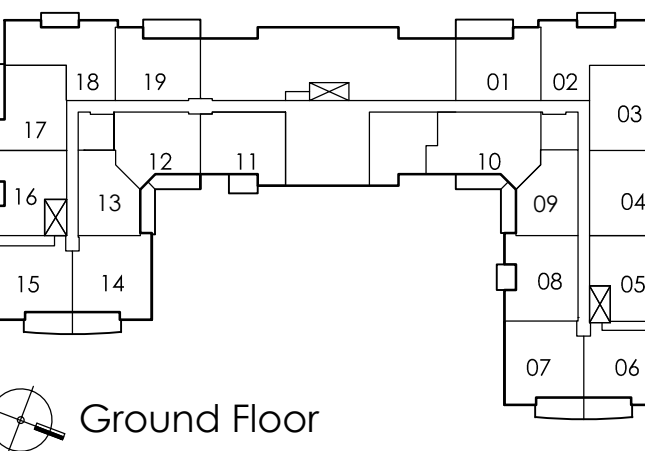




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This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

- | | | | |
|-----|--------------|---|------|
| 01. | FEB.28.2014 | issued to city for SPA | B.G. |
| 02. | JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. | SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. | JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. | MAR.15.2015 | issued for tender | B.G. |
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| 07. | MAY.10.2017 | re-issued for building permit | B.G. |
| 08. | MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 09. | JULY.07.2017 | issued for Construction | B.G. |
| 10. | JULY.19.2017 | Progress for Construction | B.G. |
| 11. | OCT.25.2017 | Revision to Envelope | B.G. |
| 12. | NOV.08.2017 | Added Dimensions | B.G. |



- | | | | |
|-----|--------------|-------------------------------------|------|
| 04. | FEB.21.2018 | 314 COLUMN CURB HEIGHT CHANGE | B.G. |
| 05. | NOV.23.2017 | 306 TERRACE/PATIO & STEP REVISION | B.G. |
| 02. | SEPT.06.2017 | 306 TRANSOM/BULKHEADS REVISION | B.G. |
| 01. | AUG.25.2017 | 304 EXTENDED GRD. STRUCTURAL SOFFIT | B.G. |

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Phone: 905.705.2631 Fax: 905.705.3544 www.gra-architect.com

PROPOSED RESIDENTIAL DEVELOPMENT
25 BAKER HILL BLVD.

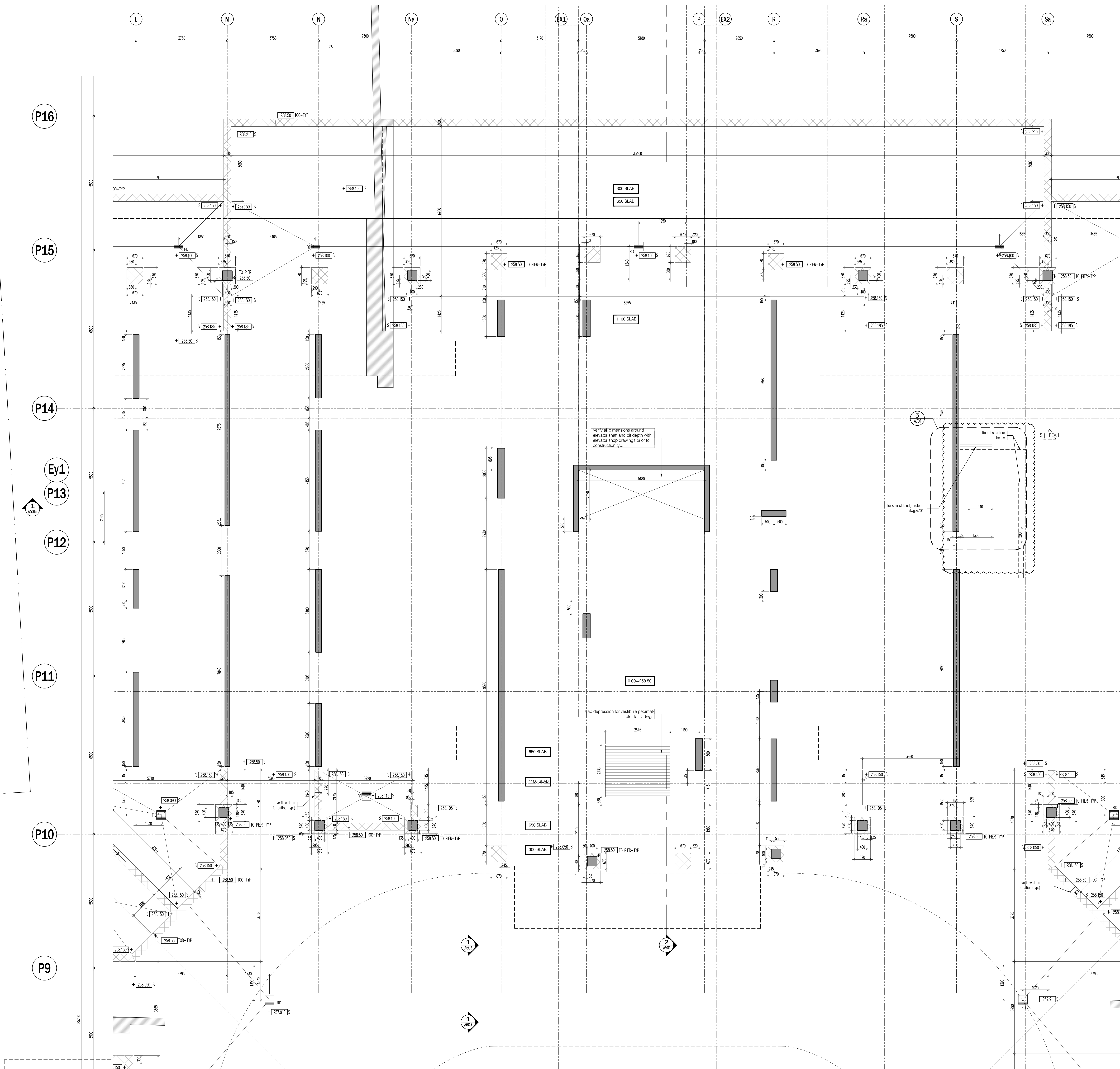
ROYAL PINES HOMES

STONEYVILLE ONTARIO
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Nov. 8, 2017
Job #: 1134.13

GROUND FLOOR PLAN
CS PLAN

1:125 **CS301**

TITLEBLOCK SIZE: 915 x 1400



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10.	JULY.19.2017	Progress for Construction	B.G.
11.	OCT.25.2017	Revision to Envelope	B.G.
12.	NOV.08.2017	Added Dimensions	B.G.

Ground Floor

04.	FEB.21.2018	314 COLUMN CURB HEIGHT CHANGE	B.G.
05.	DEC.13.2017	311 REV.1 - STAIR C	B.G.
06.	NOV.23.2017	308 TERRACE/PATIO & STEP REVISION	B.G.
07.	AUG.25.2017	304 EXTENDED GRID, STRUCTURAL, SOFFIT	B.G.

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PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

STUFFVILLE ONTARIO

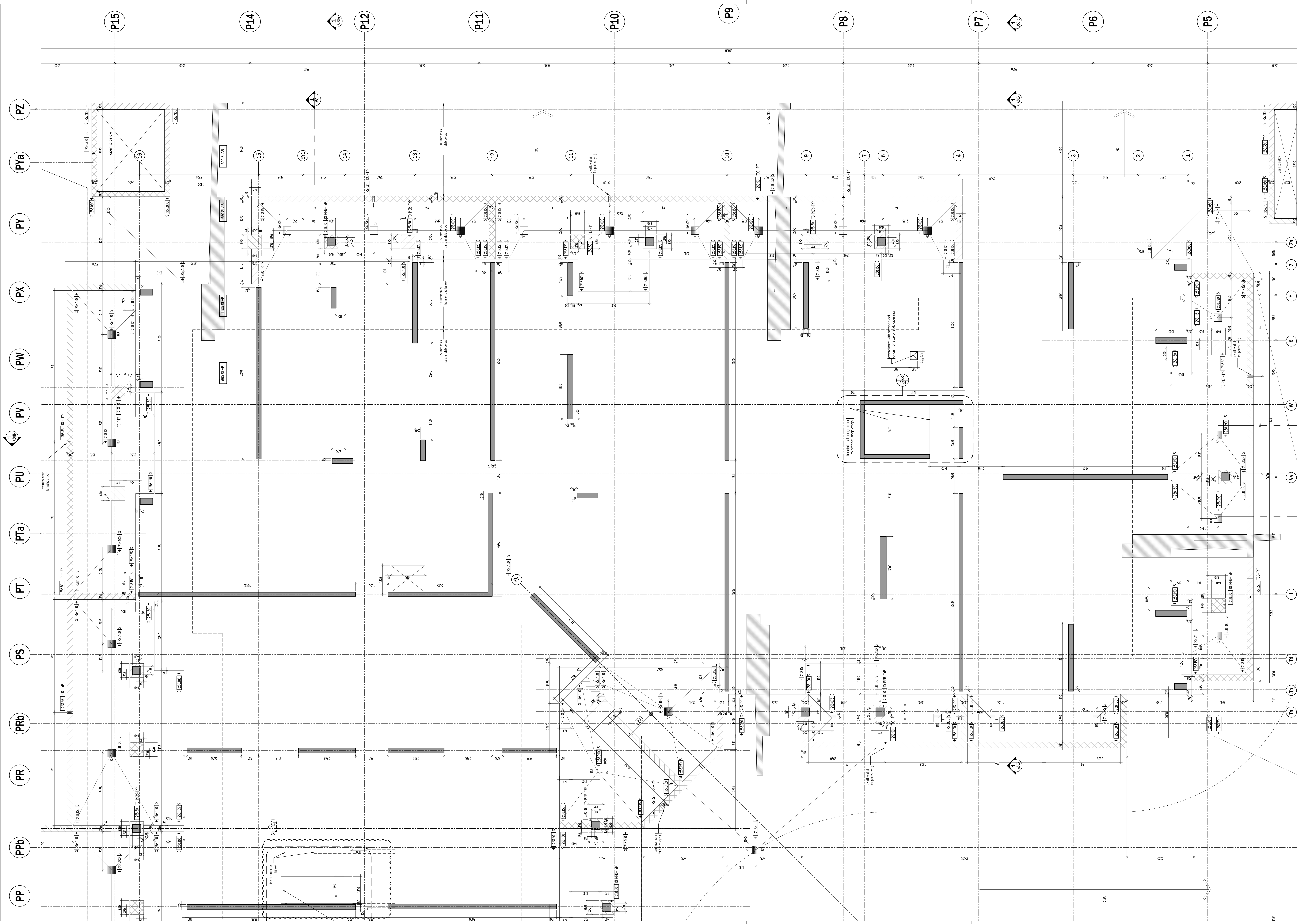
ROYAL PINES HOMES

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Nov. 8, 2017
Job #: 1134.1.3

GROUND FLOOR PLAN ENLARGED CS PART PLAN

1:50 CS301b

TITLEBLOCK SIZE: 915 x 1400



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01.	FEB.28.2014	Issued to city for SPA	B.G.
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06.	DEC.28.2016	Issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	Issued for Footings and Foundation Permit	B.G.
09.	JULY.07.2017	Issued for Construction	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	OCT.25.2017	Revision to Envelope	B.G.
12.	NOV.08.2017	Add Dimensions	B.G.

01. FEB.21.2018 304 COLUMN CURB HEIGHT CHANGE B.G.

02. NOV.23.2017 308 TERRACE/PATIO & STEP REVISION B.G.

03. AUG.25.2017 304 EXTENDED GRD. STRUCTURAL SOFFIT B.G.

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CG

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CORAZZA
ARCHITECTS INC.

1337 Denison Ave. Suite 102, Richmond Hill, ON L4B 1C1
Phone: 905.705.2621 Fax: 905.705.2644 www.grazzianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STOUFFVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Nov. 8, 2017
Job #: 1136.1.3

GROUND FLOOR PLAN ENLARGED
CS PART PLAN

1:50 CS301c

TITLEBLOCK SIZE: 915 x 1400

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ARCHITECTS

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ARCHITECTS INC.

720 S. Dearborn
Phone: 862.799.2321

134 N. Dearborn
Phone: 862.799.2626

www.g-z.com

www.corazza.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

STOUFFVILLE **ROYAL PINES HOMES** **ONTARIO**

Project Architect: **B. GRAZIANI**

Assistant Designer: **R. LINCOLN**

Drawn By: **S.G.**

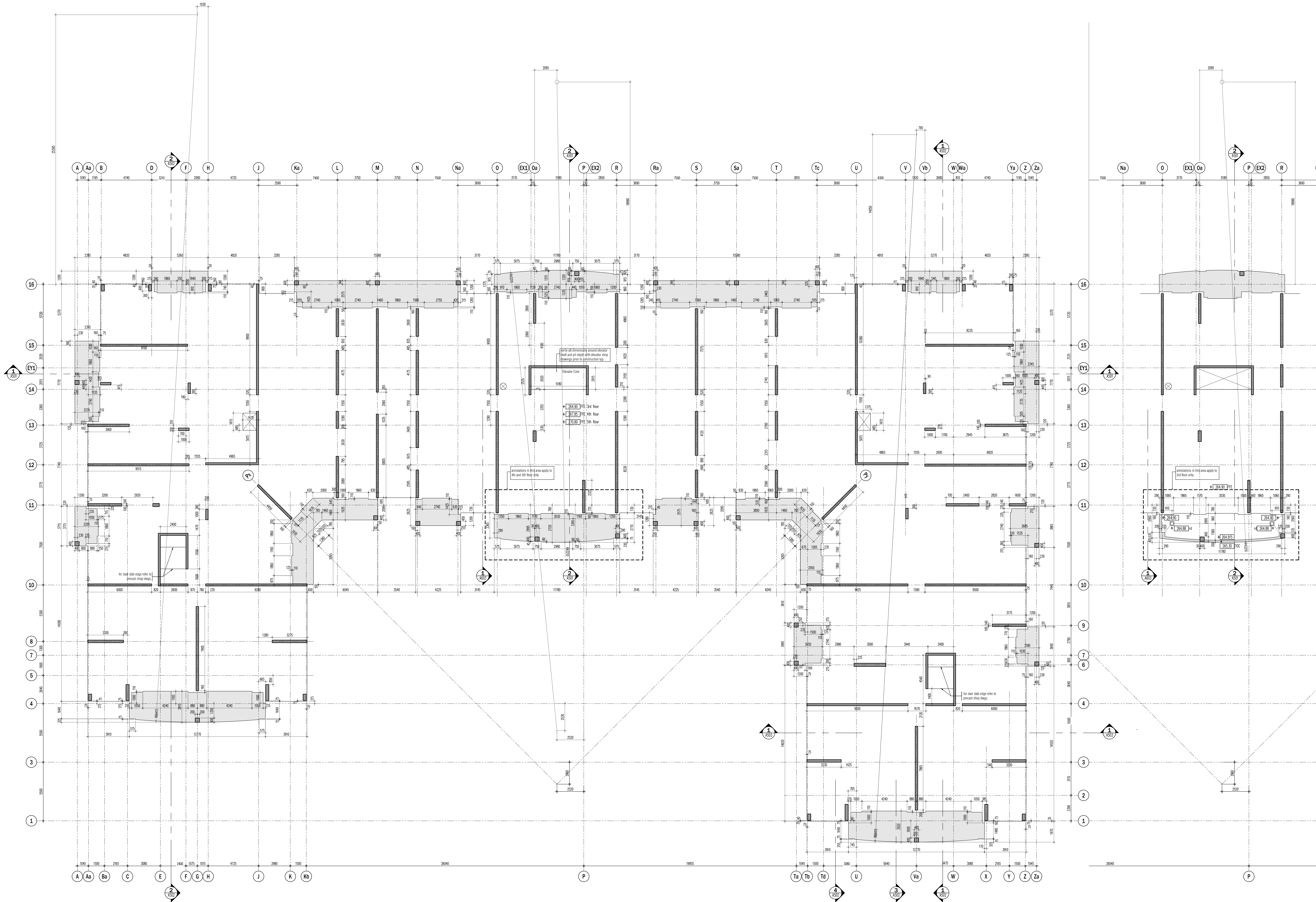
Checked by: **G. COLANGELO/D.BIASE**

Plot Date: **Nov. 8, 2017**

job #: **1136.13**

2nd FLOOR CS PLAN





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02. JUL.3.2014	re-issued to city for SPA	B.G.
03. SEP.11.2014	re-issued to city for SPA	B.G.
04. JAN.15.2015	re-issued to city for SPA	B.G.
05. MAR.15.2015	issued for tender	B.G.
06. DEC.28.2016	issued for building permit	B.G.
07. MAY.10.2017	re-issued for building permit	B.G.
08. MAY.10.2017	issued for Footings and Foundation Permit	B.G.
09. JUL.14.2017	issued for Construction	B.G.
10. JUL.19.2017	Progress for Construction	B.G.
11. OCT.25.2017	Revision to Envelope	B.G.
12. NOV.08.2017	Added Dimensions	B.G.

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Phone: 905.765.2671 Fax: 905.765.3944 www.gca-architect.com

PROPOSED RESIDENTIAL DEVELOPMENT

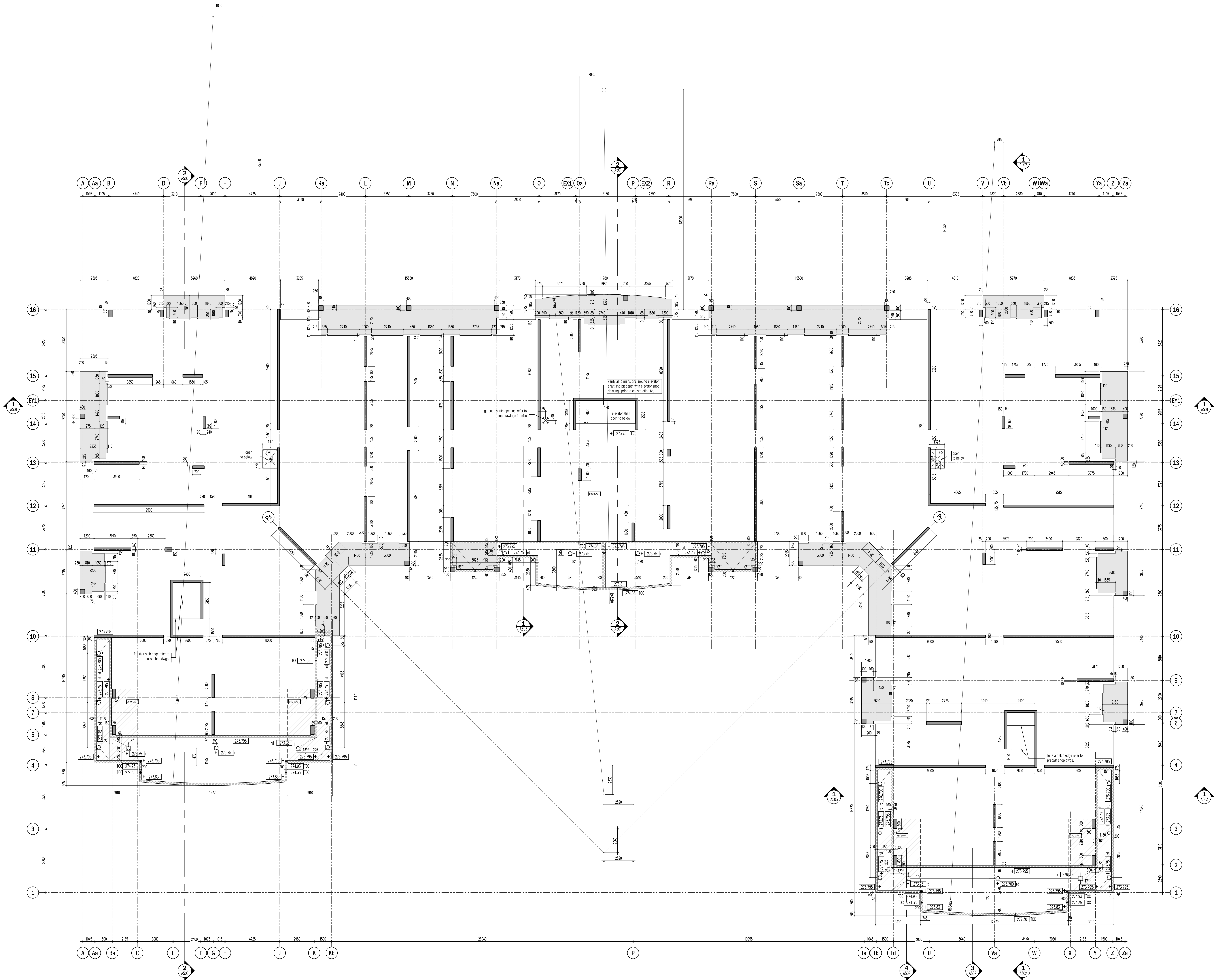
25 BAKER HILL BLVD.

ROYAL PINES HOMES

STUFFVILLE ONTARIO

Project Architect: B.GHAZIANI
Assistant Designer: R.LINCOLN
Drawn By: S.G.
Checked By: G.COLANGELO/D.BIASE
Plot Date: Nov. 8, 2017
Job #: 1134.13

3rd-5th FLOOR CS PLAN



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This drawing is not to be used for construction purposes until counterchecked by the architect.

01.	FEB.20.2014	issued to city for SPA	B.G.
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05.	MAR.15.2015	issued for tender	B.G.
06.	DEC.28.2016	issued for building permit	B.G.
07.	MAY.10.2017	re-issued for building permit	B.G.
08.	MAY.10.2017	issued for Footings and Foundation Permit	B.G.
09.	JULY.14.2017	issued for Construction	B.G.
10.	JULY.19.2017	Progress for Construction	B.G.
11.	OCT.25.2017	Revision to Envelope	B.G.
12.	NOV.08.2017	Add Dimensions	B.G.

issued for revisions

GRAZIANI
CORAZZA
ARCHITECTS INC.

1337 Denison Street, Suite 101, Westborough, Ontario N4V 1C1
Phone: 905.765.2621 Fax: 905.765.2644 www.g-a-i.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STOUFFVILLE ONTARIO

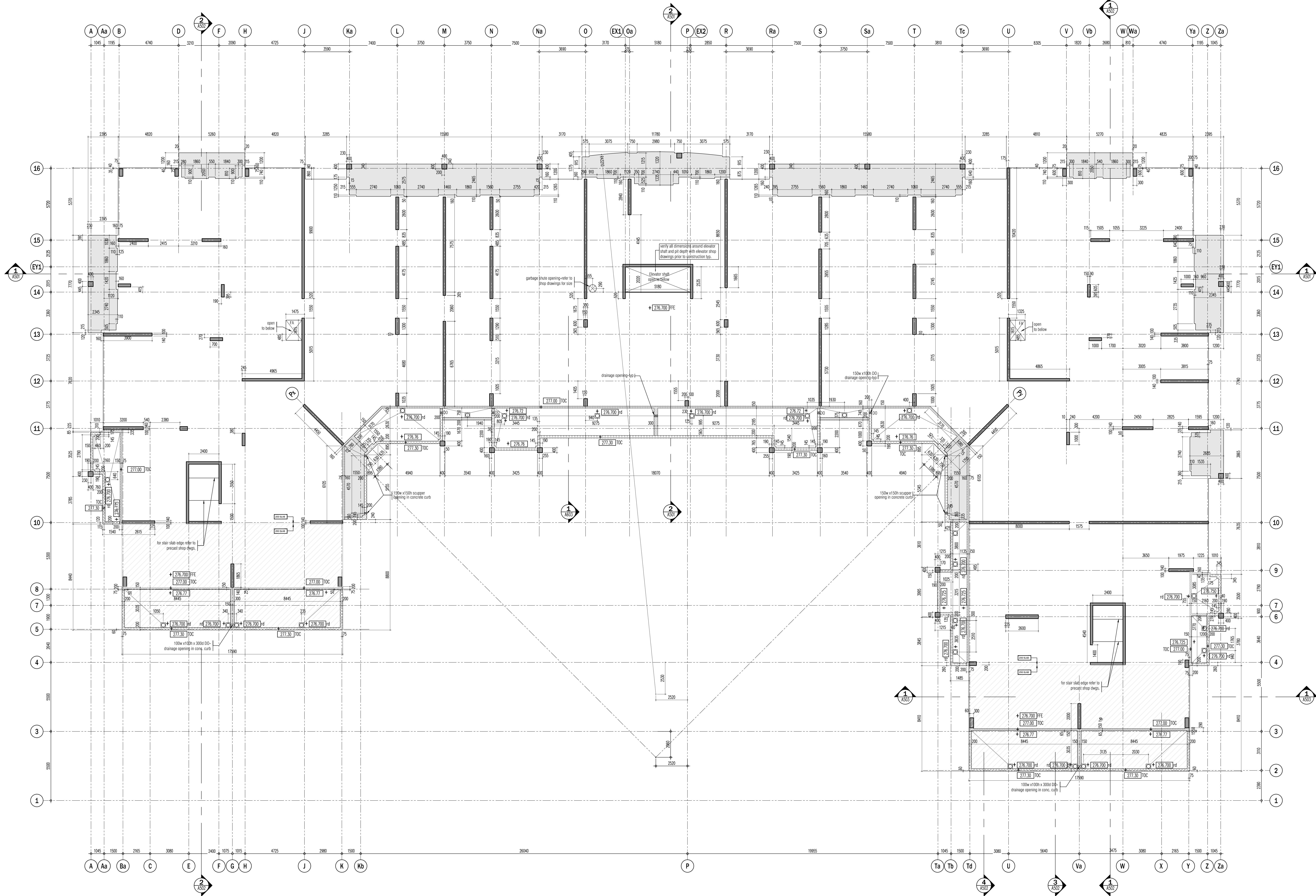
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.BIASE
Plot Date: Nov. 8, 2017
Job #: 1136.13

6TH FLOOR CS PLAN

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- | | | | |
|-----|--------------|---|------|
| 01. | FEB.28.2014 | issued to city for SPA | B.G. |
| 02. | JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. | SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. | JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. | MAR.15.2015 | issued for tender | B.G. |
| 06. | DEC.28.2016 | issued for building permit | B.G. |
| 07. | MAY.10.2017 | re-issued for building permit | B.G. |
| 08. | MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 09. | JULY.14.2017 | issued for Construction | B.G. |
| 10. | JULY.19.2017 | Progress for Construction | B.G. |
| 11. | OCT.25.2017 | Revision to Envelope | B.G. |
| 12. | NOV.08.2017 | Added Dimensions | B.G. |



issued for revisions

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ARCHITECTS INC.
1333 Denison Street, Suite 101, Mississauga, Ontario L4Y 1C1
Phone: 905.765.2621 Fax: 905.765.2644 www.grazianni.com

PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI

Assistant Designer: R. LINCOLN

Drawn By: S.G.

Checked By: G. COLANGELO/D. BIASE

Plot Date: Nov. 8, 2017

Job #: 1134.1.3

7TH FLOOR CS PLAN

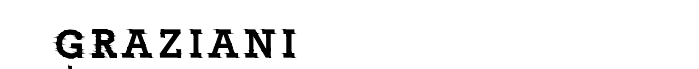
1:100 CS 305

TITLEBLOCK SIZE: 915 x 1400

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02.	JAN.30.2018	SI 12 Revised perimeter curb wall	EG
01.	AUG.18.2017	SI 01 Revised flooring slab and elec. curb	EG

issued for revisions



1320 Sheverson Drive, Suite 100 Woodstock, Ontario L4W 1A1

25 BAKER HILL BLVD.

STOUFFVILLE ONTARIO

Assistant Designer: R. LINCOLN
 Designer: B. S. G.

Plot Date: Nov. 8, 2017

MECHANICAL PENTHOUSE

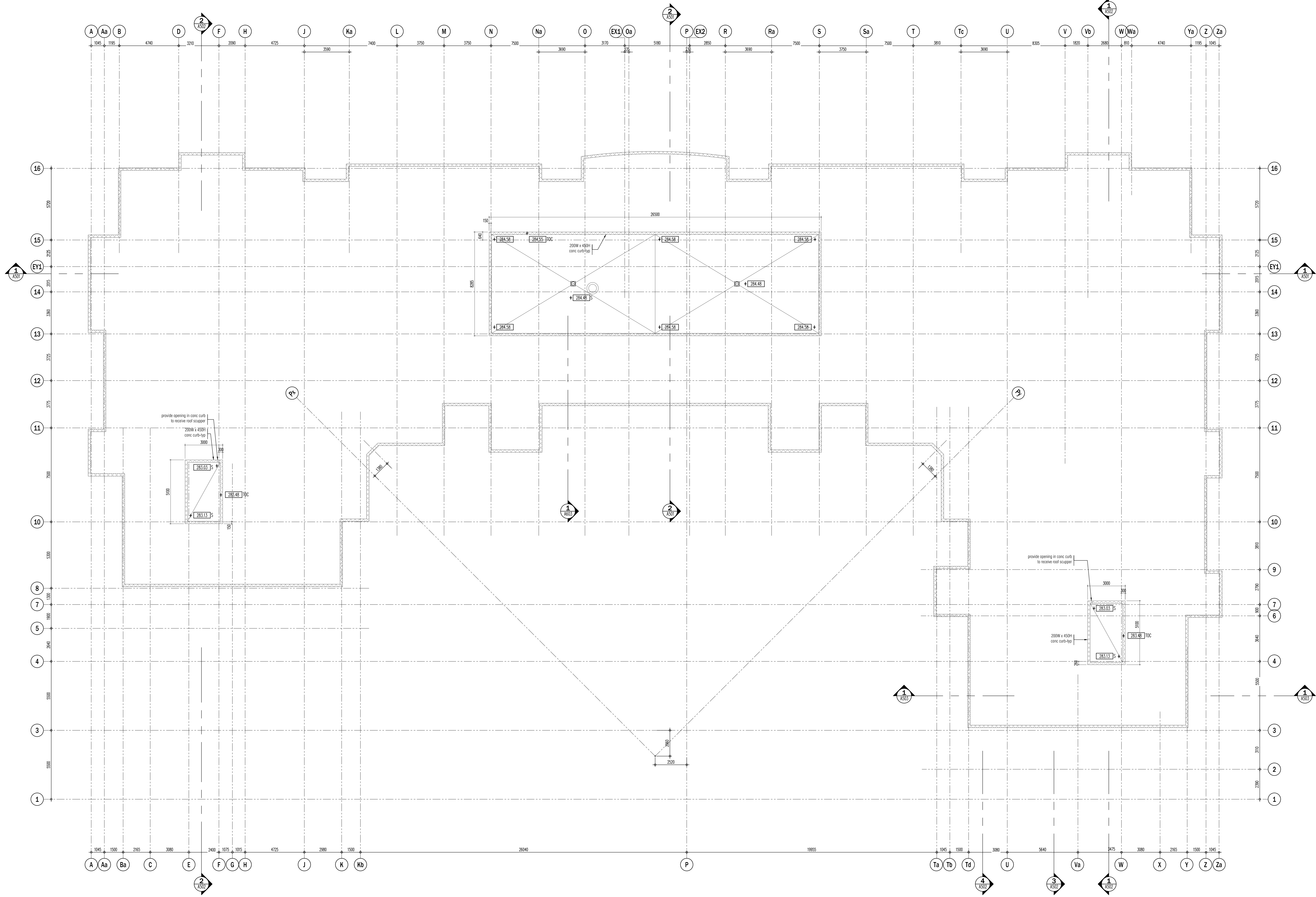
ROOF CS PLAN

TITLEBLOCK SIZE: 915 x 1400

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G

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PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.

ROYAL PINES HOMES

STONEYVILLE ONTARIO

Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: G. COLANGELO/D.B.I.A.S.E.
Plot Date: Nov. 8, 2017
Job #: 1136.1.3

ROOF CS PLAN