



## Site Instruction

Royal Pine Homes  
3550 Langstaff Road, Suite 200  
Woodbridge, Ontario  
L4L 9G3

SI 02-R1

PROJECT	: Hampton Manor
PROJECT No	: 1136.13
DATE	: August 24, 2017

Attn: Vince Staffieri

Site instructions/memos and Addendums are issued only for the purpose of recording any clarification or interpretation of the contract documents or giving direction on problems resulting from field conditions. These memos are subject to the provisions of the contract documents and unless reviewed with and authorized by the Client, will not affect the contract. Should the Contractor require a change in the contract price or project schedule, he shall submit to the Client, prior to commencement of work outlined in this memo, an itemized proposal for approval.

Title: Suite Number Revision.

### A303, A303a : 3rd Floor Plan

- Indicating both unit numbers for combined suites on plans.

### A304 : 4th Floor Plan

- Indicating both unit numbers for combined suites on plans.

### A305 : 5th Floor Plan

- Indicating both unit numbers for combined suites on plans.

Reason: **As per Client Request**

References: **A303, A303a, A304 & A305.**

GRAZIANI + CORAZZA  
ARCHITECTS INC

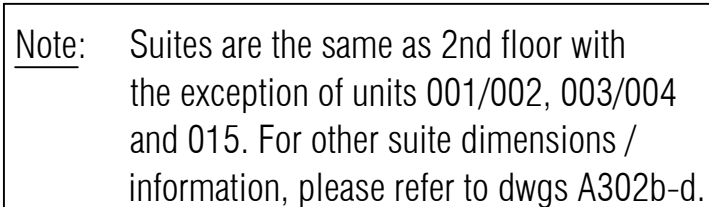
**G. Colangelo** Diploma Arch. Technology  
Associate. Director of Contract Documents


### Distribution:

Royal Pine Homes  
ReXcon Construxion  
ReXcon Construxion  
Graziani + Corazza

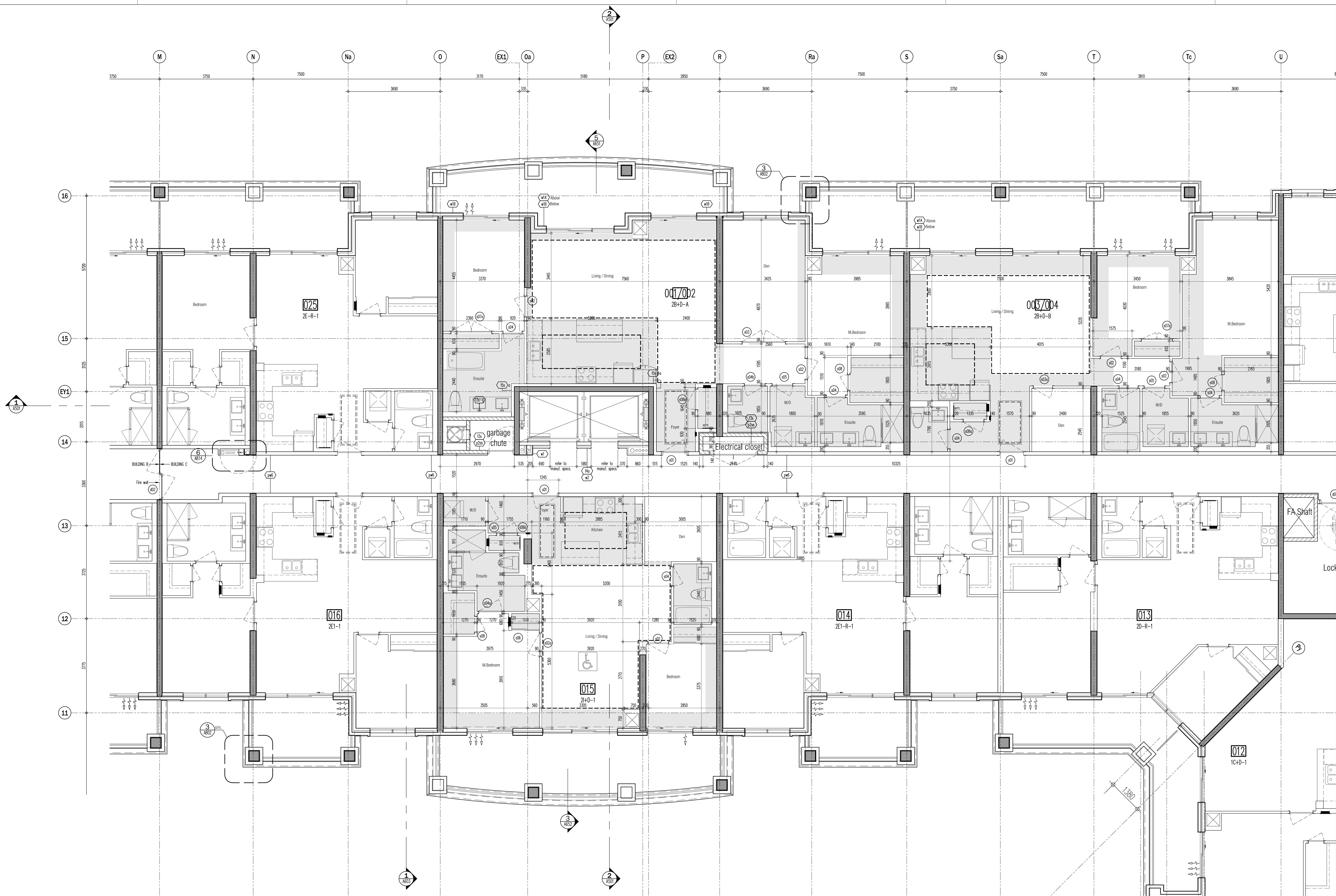
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1:100
A303

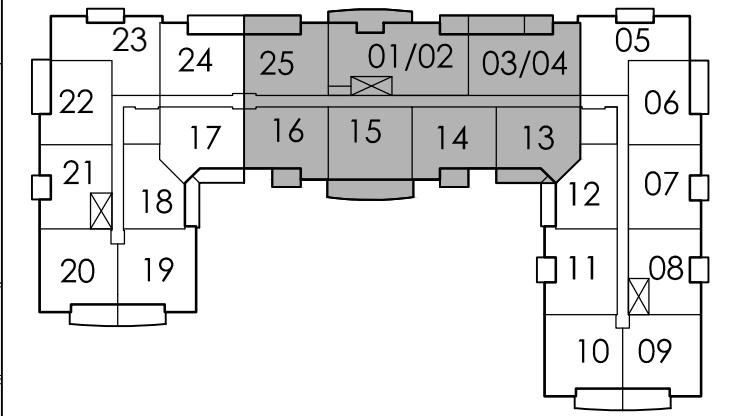
TITLEBLOCK SIZE: 915 x 1400



Note: Suites are the same as 2nd floor with the exception of units 001/002, 003/004 and 015. For other suite dimensions / information, please refer to dwgs A302b-d.

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

- This drawing, as an instrument of service, is provided by and is the property of Grazianni Architects Inc. The architect must verify and accept responsibility for all dimensions and conditions on site and must notify Grazianni Architects Inc. of any variations from the approved information. Grazianni Architects Inc. is not responsible for the accuracy of any structural, mechanical, electrical, etc., engineering information shown on this drawing. The structural engineering drawings are prepared by the engineer. Construction must conform to all applicable codes and requirements of the authorities having jurisdiction. Other drawings noted on this drawing have been submitted or reported on by this office in regard to the environmental condition of this site. This drawing is not to be used for construction purposes until counterchecked by the architect.
- This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.
- |                  |   |      |
|------------------|---|------|
| 01. FEB.20.2014  | issued to city for SPA                    | B.G. |
| 02. JUL.3.2014   | re-issued to city for SPA                 | B.G. |
| 03. SEP.11.2014  | re-issued to city for SPA                 | B.G. |
| 04. JAN.15.2015  | re-issued to city for SPA                 | B.G. |
| 05. MAR.15.2015  | issued for tender                         | B.G. |
| 06. DEC.28.2016  | issued for building permit                | B.G. |
| 07. MAY.10.2017  | re-issued for building permit             | B.G. |
| 08. MAY.10.2017  | issued for Footings and Foundation Permit | B.G. |
| 10. JULY.19.2017 | Progress for Construction                 | B.G. |
| 11. AUG.09.2017  | Issue for Construction                    | B.G. |



- |                 |                                    |      |
|-----------------|------------------------------------|------|
| 03. AUG.24.2017 | 3102-R1 REVISION TO SUITE NUMBERS  | B.G. |
| 02. AUG.21.2017 | 3103 SHIMBLAST PRECAST ON BALCONES | B.G. |
| 01. AUG.18.2017 | 3102 REVISION TO SUITE NUMBERS     | B.G. |
- issued for revisions

**GRAZIANI**  
**CORAZZA**  
ARCHITECTS INC.

1337 Denison Street, Suite 101, Mississauga, Ontario L4Y 1C1  
Phone: 905.765.2621 Fax: 905.765.3544 [www.grazianni.com](http://www.grazianni.com)

PROPOSED RESIDENTIAL DEVELOPMENT

**25 BAKER HILL BLVD.**

STUFFVILLE ONTARIO

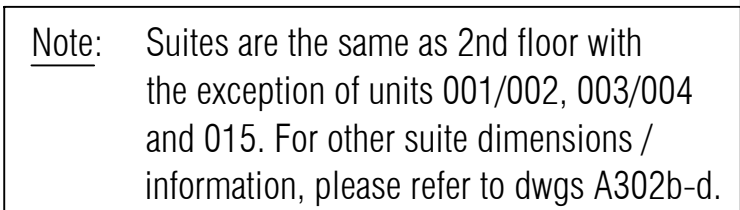
ROYAL PINES HOMES

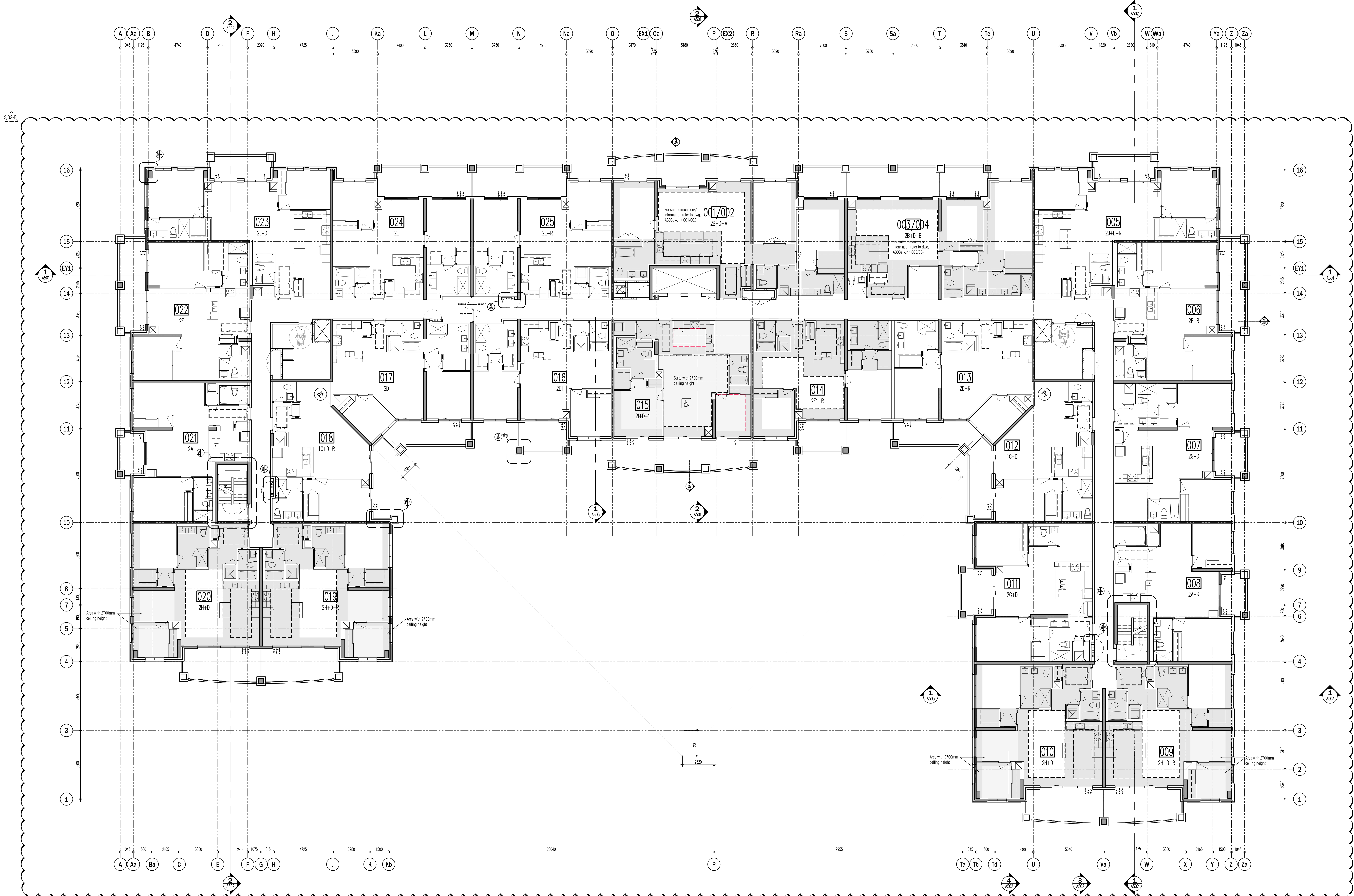
Project Architect: B. GRAZIANI  
Assistant Designer: R. LINCOLN  
Drawn By: S.G.  
Checked By: D. BIASE  
Plot Date: Aug. 16, 2017  
Job #: 1134.13

**3rd FLOOR PLAN**  
**PARTIAL PLAN**

1:50 A303a

TITLEBLOCK SIZE: 915 x 1400



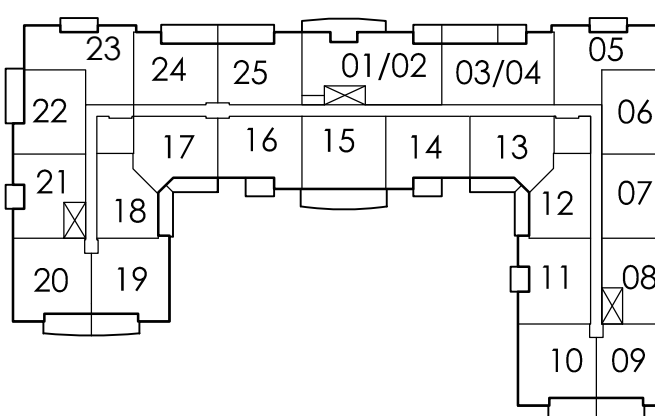


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| 04. JAN.15.2015 | re-issued to city for SPA                 | B.G. |
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- |                 |         |                           |      |
|-----------------|---------|---------------------------|------|
| 02. AUG.24.2017 | 5102-RF | REVISION TO SUITE NUMBERS | B.G. |
| 01. AUG.18.2017 | 5102    | REVISION TO SUITE NUMBERS | B.G. |
- issued for revisions

**GRAZIANI + CORAZZA ARCHITECTS INC.**

1322 Sheppard Ave. E. Suite 101, Willowdale, Ontario M2H 1C1  
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