



Site Instruction

Royal Pine Homes
3550 Langstaff Road, Suite 200
Woodbridge, Ontario
L4L 9G3

SI 02

PROJECT	: Hampton Manor
PROJECT No	: 1136.13
DATE	: August 18, 2017

Attn: Vince Staffieri

Site instructions/memos and Addendums are issued only for the purpose of recording any clarification or interpretation of the contract documents or giving direction on problems resulting from field conditions. These memos are subject to the provisions of the contract documents and unless reviewed with and authorized by the Client, will not affect the contract. Should the Contractor require a change in the contract price or project schedule, he shall submit to the Client, prior to commencement of work outlined in this memo, an itemized proposal for approval.

Title: Suite Number Revision.

A303, A303a : 3rd Floor Plan

- Re-numbering suites due to combining two suites into one.

A304 : 4th Floor Plan

- Re-numbering suites due to combining two suites into one.

A305 : 5th Floor Plan

- Re-numbering suites due to combining two suites into one.

Reason: **As per Client Request**

References: **A303, A303a, A304 & A305.**

GRAZIANI + CORAZZA
ARCHITECTS INC

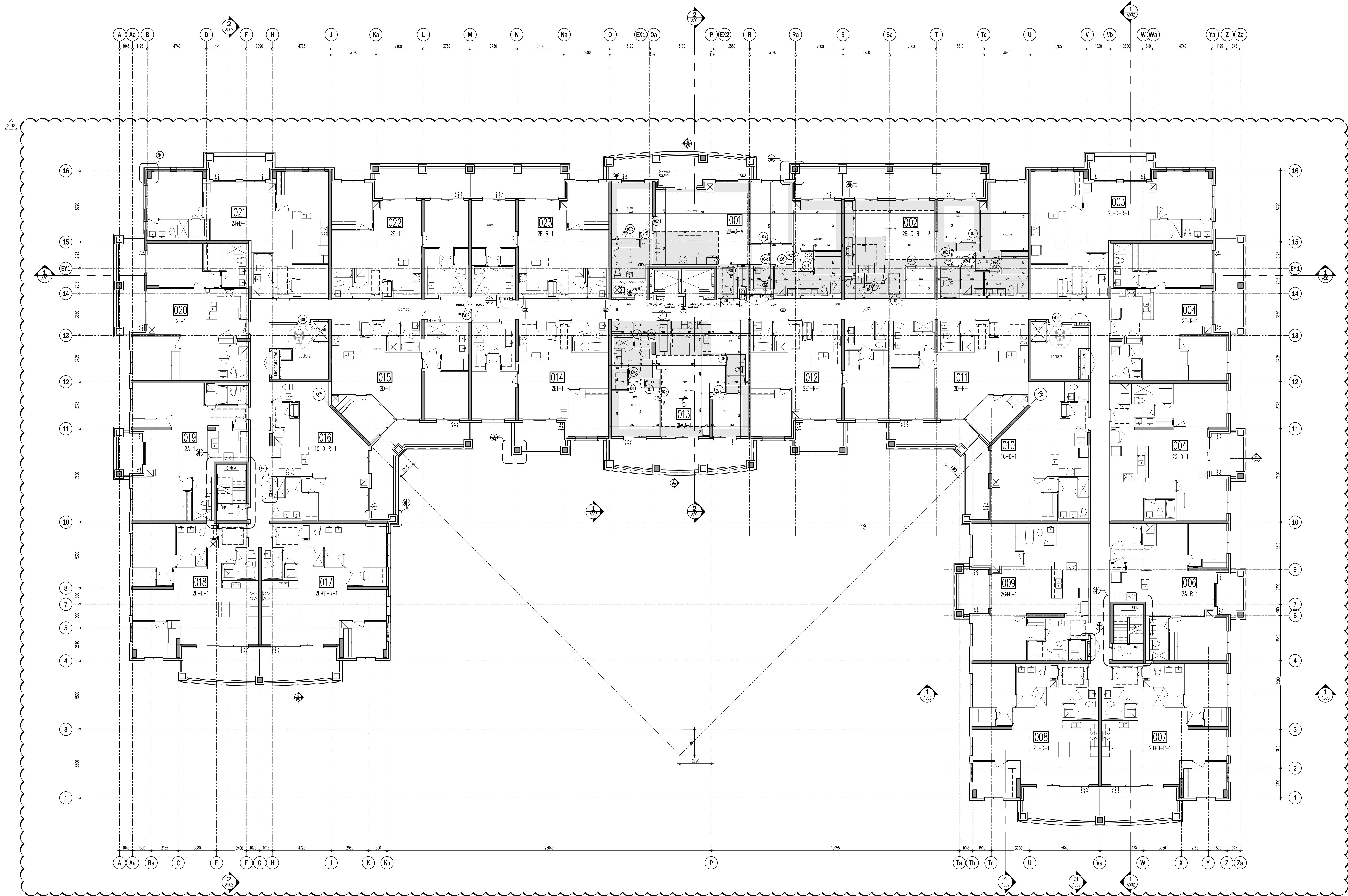
G. Colangelo Diploma Arch. Technology
Associate. Director of Contract Documents

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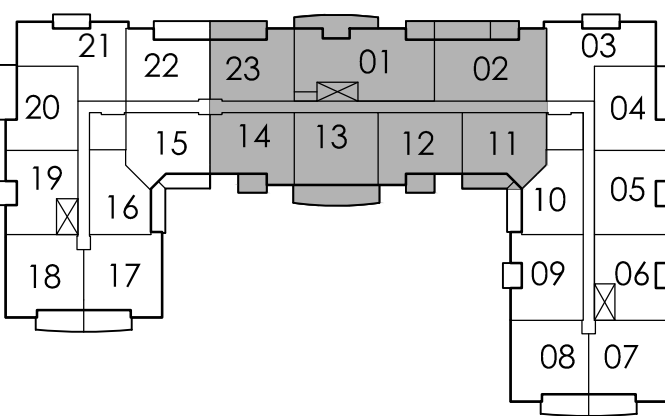


Note: Suites are the same as 2nd floor with the exception of unit 013.
For other suite dimensions / information, please refer to dwgs A302b-d.

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

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- This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.
- | | | |
|------------------|---|------|
| 01. FEB.28.2014 | issued to city for SPA | B.G. |
| 02. JUL.9.2014 | re-issued to city for SPA | B.G. |
| 03. SEP.11.2014 | re-issued to city for SPA | B.G. |
| 04. JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. MAR.15.2015 | issued for tender | B.G. |
| 06. DEC.28.2016 | issued for building permit | B.G. |
| 07. MAY.10.2017 | re-issued for building permit | B.G. |
| 08. MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 10. JULY.19.2017 | Progress for Construction | B.G. |
| 11. AUG.09.2017 | Issue for Construction | B.G. |



01. AUG.18.2017 S102 REVISION TO DATE NUMBERS B6
issued for revisions

GRAZIANI + CORAZZA ARCHITECTS INC.
1102 Denison Street, Suite 101, Mississauga, Ontario L4Y 1C1
Phone: 905.565.2601 Fax: 905.565.2604 www.graziani.ca

25 BAKER HILL BLVD.
ROYAL PINES HOMES
STONEYVILLE ONTARIO
Project Architect: B. GRAZIANI
Assistant Designer: R. LINCOLN
Drawn By: S.G.
Checked By: D. BIASE
Plot Date: Aug. 16, 2017
Job #: 1136.13

**3rd FLOOR PLAN
OVERALL PLAN**
1:100 A303
TITLEBLOCK SIZE: 915 x 1400

This drawing is not to be scaled. All architectural symbols indicated on this drawing are graphic representations only.

01. AUG.18.2017 S102 REVISION TO SUITE NUMBERS BG
issued for revisions



Design Architects: R. GRADIANI

Designation:	REG-10001
Designated By:	SG

Hot Date:	Aug. 16, 2017
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APPENDIX

PARTIAL PLAN

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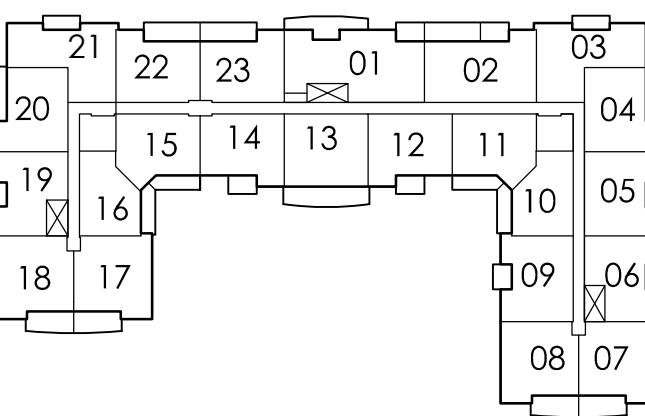
Illustration: 2000 x 1400

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
2ND	2600	2450	SLAB AT 2750
3RD	2600	2450	SLAB AT 2750
4TH	2600	2450	SLAB AT 2750
5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

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| 04. | JAN.15.2015 | re-issued to city for SPA | B.G. |
| 05. | MAR.15.2015 | re-issued to lender | B.G. |
| 06. | DEC.28.2016 | issued for building permit | B.G. |
| 07. | MAY.10.2017 | re-issued for building permit | B.G. |
| 08. | MAY.10.2017 | issued for Footings and Foundation Permit | B.G. |
| 10. | JULY.19.2017 | Progress for Construction | B.G. |
| 11. | AUG.09.2017 | Issue for Construction | B.G. |



01. AUG.18.2017 SITE02 REVISION TO DATE NUMBERS
issued for revisions

GRAZIANI CORAZZA ARCHITECTS INC.
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PROPOSED RESIDENTIAL DEVELOPMENT

25 BAKER HILL BLVD.
ROYAL PINES HOMES

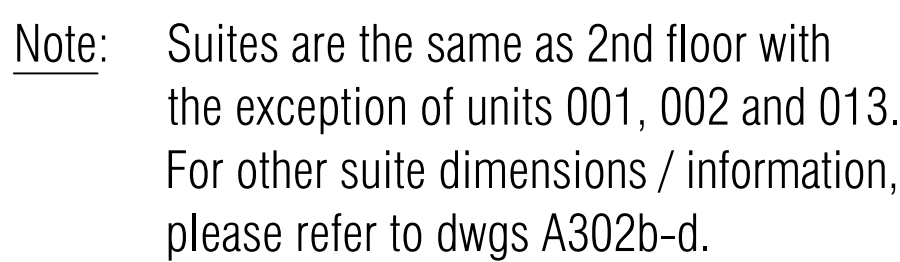
STONEYVILLE ONTARIO


Project Architect: B.GRAZIANI
Assistant Designer: R.LINCOLN
Drawn By: S.G.
Checked By: D.BIASE
Plot Date: Aug. 16, 2017
Job #: 1134.13

Note: Suites are the same as 2nd floor with the exception of units 001, 002 and 013. For other suite dimensions / information, please refer to dwgs A302b-d.

CEILING HEIGHTS			
FLOOR	FOYER & KITCHEN	BULKHEADS	LIVING/ DINING/DEN/BEDROOM
GRD	2950	2750	2950
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5TH	2600	2450	SLAB AT 2750 / 2700
6TH	2600	2450	SLAB AT 2750 / 2700
7TH	2900	2750	3050

1:100 A304
TITLEBLOCK SIZE: 915 x 1400



 1:100 **A305**

TITLEBLOCK SIZE: 915 x 1400