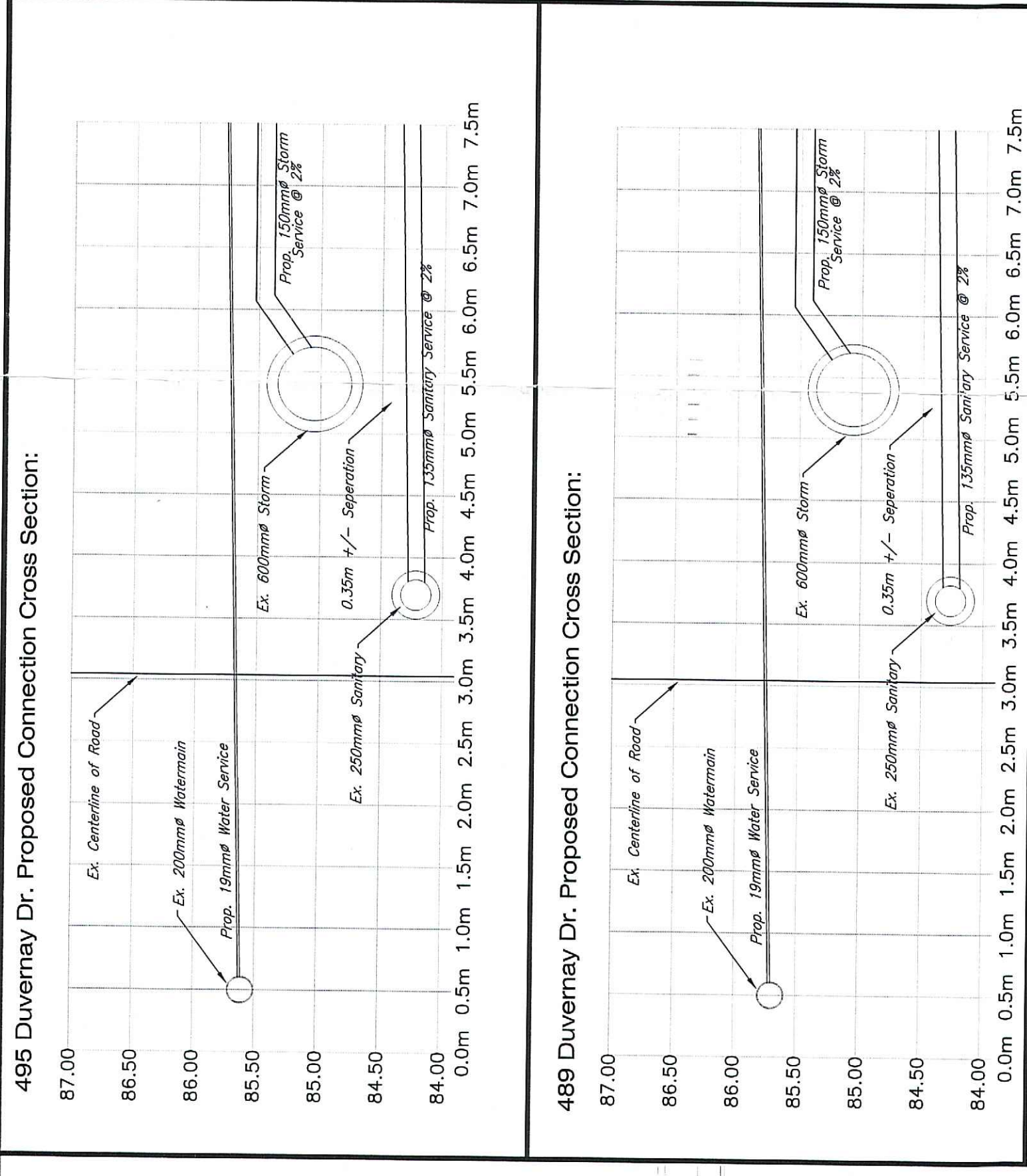
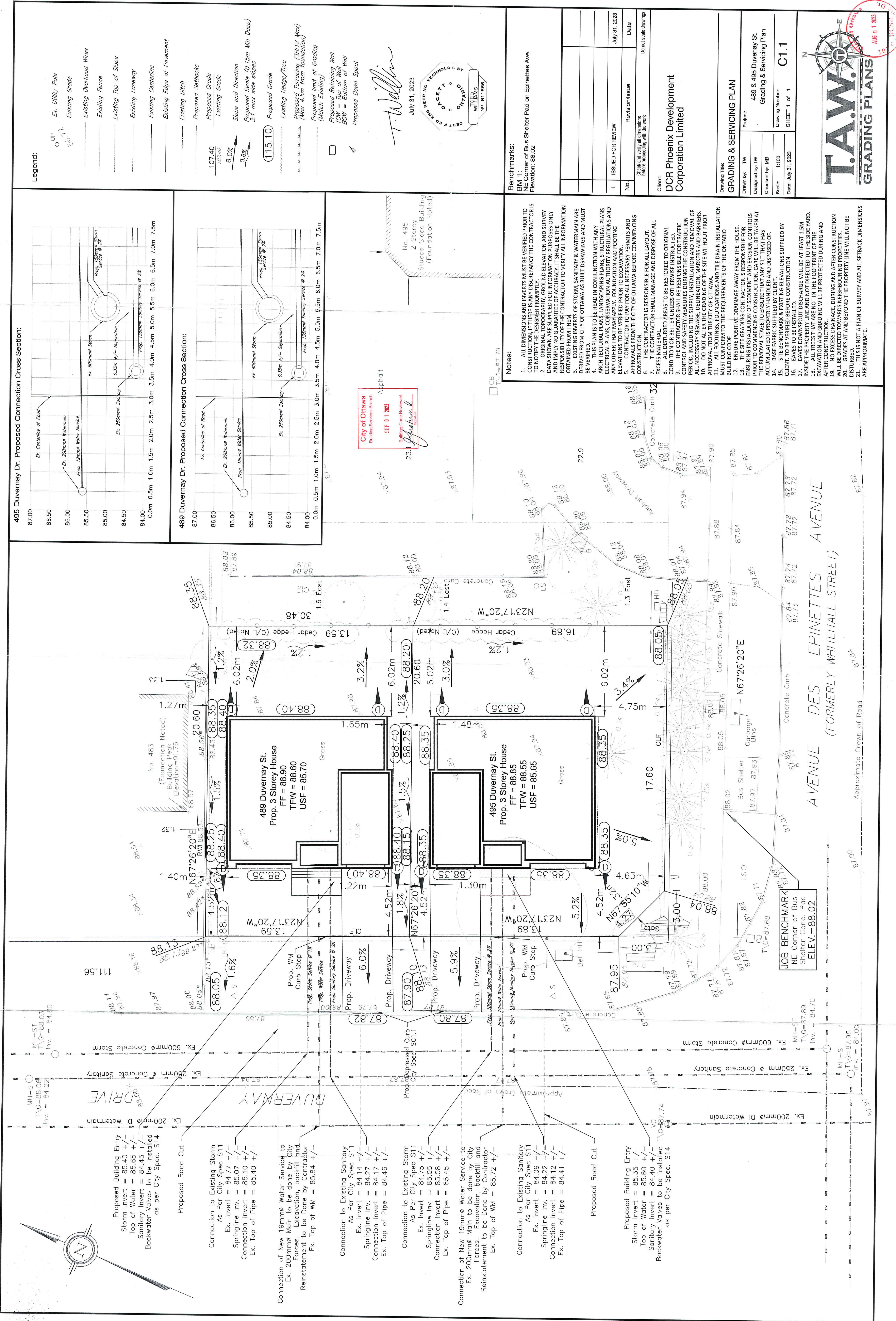




Legend:

UP	Ex. Utility Pole
5.0%	Existing Grade
---	Existing Overhead Wires
---	Existing Fence
---	Existing Top of Slope
---	Existing Laneway
---	Existing Centerline
---	Existing Edge of Pavement
---	Existing Ditch
---	Proposed Setbacks
---	Proposed Grade
---	Existing Grade
6.0%	Slope and Direction
0.8%	Proposed Swale (0.15m Min Deep) 3:1 max side slopes
(115.10)	Proposed Grade
~~~~~	Existing Hedge/Tree
~~~~~	Proposed Terracing (34:1V Max) (Max 4.5m from Foundation)
~~~~~	Proposed limit of Grading (Match Existing)
□	Proposed Retaining Wall TOW = Top of Wall BOW = Bottom of Wall
⚡	Proposed Down Spout

City of Ottawa  
Building Services Branch  
SEP 01 2023  
Building Code Reviewed  
SEP 01 2023

July 31, 2023

CERTIFIED ENGINEER  
ONTOARIO  
WILLIAM T. WILSON  
NO. 811665

Notes:

1. ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE DESIGNER PROMPTLY.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.

3. EXISTING INVERTS OF STORM, SANITARY & WATERMAIN ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.

8. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE INSTRUCTED.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATION, MARKERS AND BARRIERS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.

11. ALL FOOTINGS, FOUNDATIONS AND TILE DRAIN INSTALLATION MUST CONFORM TO THE REQUIREMENTS OF THE DRAINAGE BUILDING CODE.

12. ENSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.

13. THE SITE GRADING CONTRACTOR IS RESPONSIBLE FOR ENSURING INSTALLATION OF SEDIMENT AND EROSION CONTROLS PRIOR TO COMMENCING CONSTRUCTION. CARE WILL BE TAKEN AT THE REMOVAL OF ANY SILT THAT HAS ACCUMULATED IS PROPERLY HANDLED AND DISPOSED OF.

14. SITE BENCHMARK & EXISTING ELEVATIONS SUPPLIED BY CLIENT. TO BE VERIFIED BEFORE CONSTRUCTION.

15. EAVES DOWNSPOUT DISCHARGE WILL BE AT LEAST 1.5M INSIDE THE PROPERTY LINE AND NOT DIRECTED TO THE SIDE YARD.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.

17. NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION WILL BE DIRECTED TOWARDS NEIGHBOURING PROPERTIES.

18. GRADES AT AND BEYOND THE PROPERTY LINE WILL NOT BE DISTURBED.

19. THIS IS NOT A PLAN OF SURVEY AND ALL SETBACK DIMENSIONS ARE APPROXIMATE.

Benchmarks:

BM 1:  
NE Corner of Bus Shelter Pad on Epinettes Ave.  
Elevation: 88.02

Client:  
DCR Phoenix Development  
Corporation Limited

Drawing Title:  
GRADING & SERVICING PLAN

Drawn by: TW

Designed by: TW

Checked by: MB

Scale: 1:100

Date: July 31, 2023

Project:  
489 & 495 Duvernay St.  
Grading & Servicing Plan

Drawing Number:  
SHEET 1 of 1

C1.1

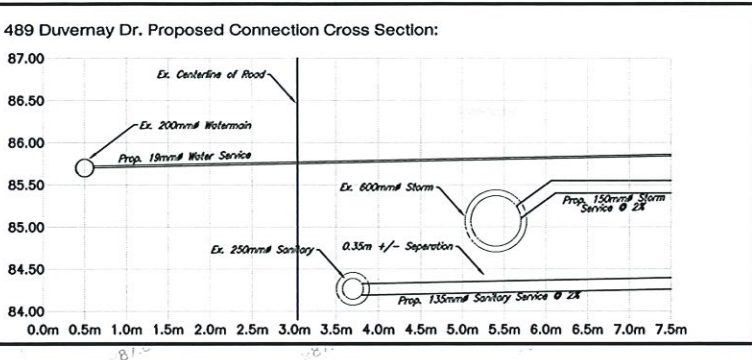
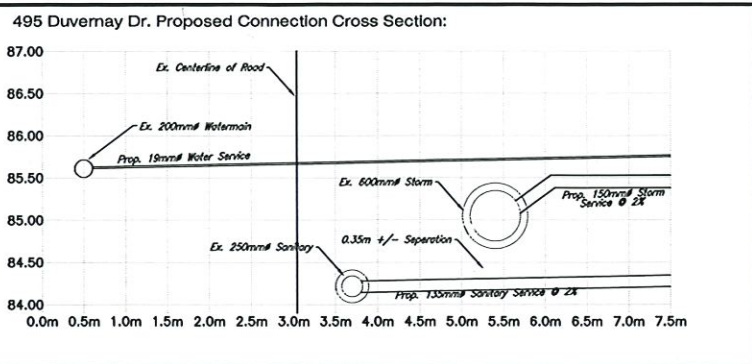
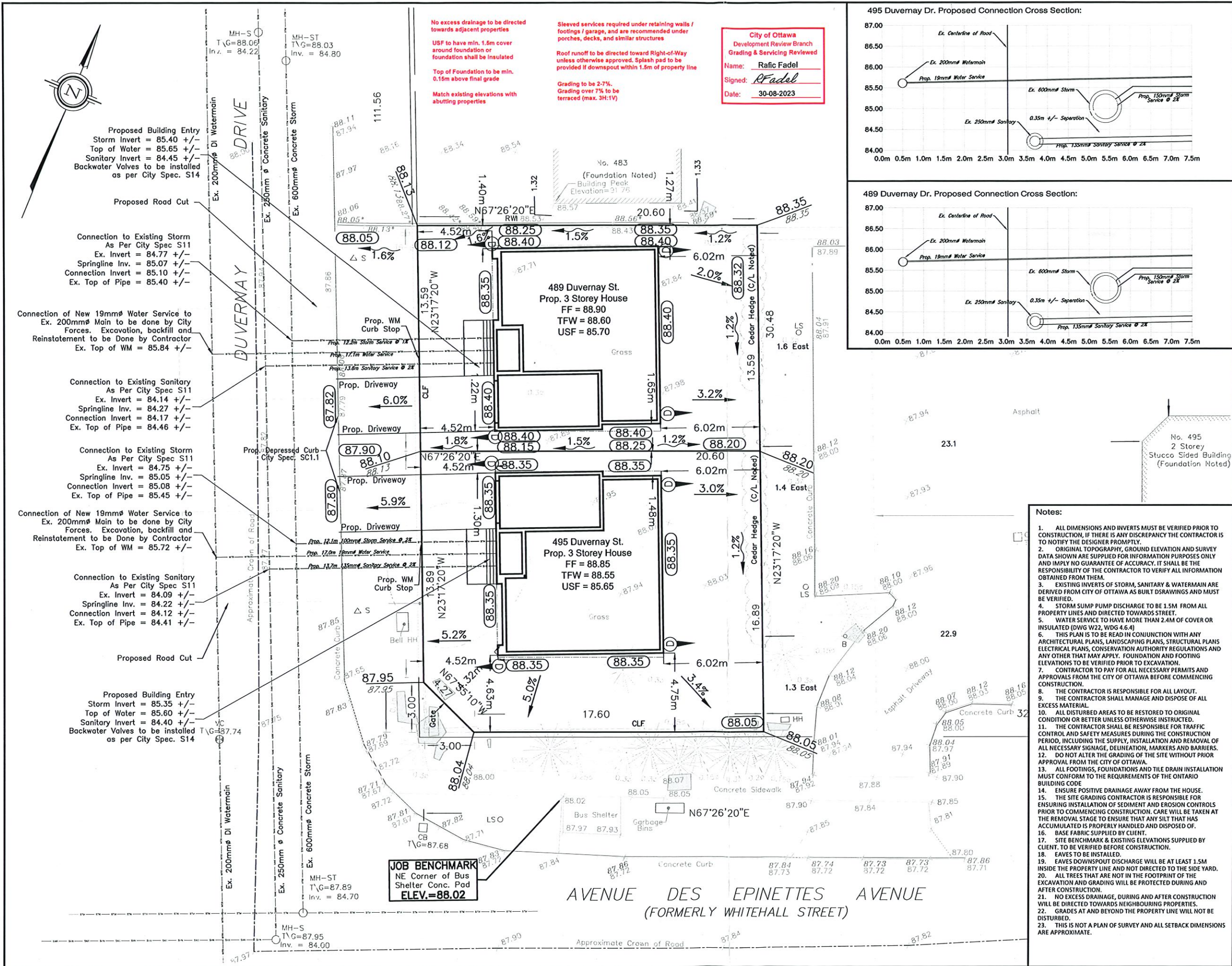
T.A.W. GRADING PLANS

10 AUG 01 2023









**Legend:**

- UP 56.72 Ex. Utility Pole
- Existing Grade
- Existing Overhead Wires
- Existing Fence
- Existing Top of Slope
- Existing Laneway
- Existing Centerline
- Existing Edge of Pavement
- Existing Ditch
- Proposed Setbacks
- Proposed Grade
- Existing Grade
- Slope and Direction
- Proposed Swale (0.15m Min Deep) 3:1 max side slopes
- Proposed Grade
- Existing Hedge/Tree
- Proposed Terracing (3H:1V Max) (Max 4.5m from Foundation)
- Proposed limit of Grading (Match Existing)
- Proposed Retaining Wall
- TOW = Top of Wall
- BOW = Bottom of Wall
- Proposed Down Spout

*T. Williams*  
August 16, 2023

CERT. P. ENG. REG. NO. 10000  
O. C. A. C. T. O.  
ONTARIO  
TODD WILLIAMS  
No. 811666

**Benchmarks:**  
BM 1:  
NE Corner of Bus Shelter Pad on Epinettes Ave.  
Elevation: 88.02

2	As Per City Comments	Aug 16, 2023
1	ISSUED FOR REVIEW	July 31, 2023
No.	Revision/Issue	Date
Check and verify all dimensions before proceeding with the work. Do not scale drawings		

Client:  
**DCR Phoenix Development Corporation Limited**

Drawing Title:  
**GRADING & SERVICING PLAN**

Drawn by: TW	Project:
Designed by: TW	489 & 495 Duvernay St.
Checked by: MB	Grading & Servicing Plan
Scale: 1:100	Drawing Number:
Date: July 31, 2023	SHEET 1 of 1

**TAW**  
GRADING PLANS

- Notes:**
1. ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE DESIGNER PROMPTLY.
  2. ORIGINAL TOPOGRAPHY, GROUND ELEVATION AND SURVEY DATA SHOWN ARE SUPPLIED FOR INFORMATION PURPOSES ONLY AND IMPLY NO GUARANTEE OF ACCURACY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL INFORMATION OBTAINED FROM THEM.
  3. EXISTING INVERTS OF STORM, SANITARY & WATERMAIN ARE DERIVED FROM CITY OF OTTAWA AS BUILT DRAWINGS AND MUST BE VERIFIED.
  4. STORM SUMP PUMP DISCHARGE TO BE 1.5M FROM ALL PROPERTY LINES AND DIRECTED TOWARDS STREET.
  5. WATER SERVICE TO HAVE MORE THAN 2.4M OF COVER OR INSULATED (DWG W22, WDS 4.6.4)
  6. THIS PLAN IS TO BE READ IN CONJUNCTION WITH ANY ARCHITECTURAL PLANS, LANDSCAPING PLANS, STRUCTURAL PLANS ELECTRICAL PLANS, CONSERVATION AUTHORITY REGULATIONS AND ANY OTHER THAT MAY APPLY. FOUNDATION AND FOOTING ELEVATIONS TO BE VERIFIED PRIOR TO EXCAVATION.
  7. CONTRACTOR TO PAY FOR ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OTTAWA BEFORE COMMENCING CONSTRUCTION.
  8. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT.
  9. THE CONTRACTOR SHALL MANAGE AND DISPOSE OF ALL EXCESS MATERIAL.
  10. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE INSTRUCTED.
  11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, DEUNEATION, MARKERS AND BARRIERS.
  12. DO NOT ALTER THE GRADING OF THE SITE WITHOUT PRIOR APPROVAL FROM THE CITY OF OTTAWA.
  13. ALL FOOTINGS, FOUNDATIONS AND TILE DRAIN INSTALLATION MUST CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
  14. ENSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
  15. THE SITE GRADING CONTRACTOR IS RESPONSIBLE FOR ENSURING INSTALLATION OF SEDIMENT AND EROSION CONTROLS PRIOR TO COMMENCING CONSTRUCTION. CARE WILL BE TAKEN AT THE REMOVAL STAGE TO ENSURE THAT ANY SILT THAT HAS ACCUMULATED IS PROPERLY HANDLED AND DISPOSED OF.
  16. BASE FABRIC SUPPLIED BY CLIENT.
  17. SITE BENCHMARK & EXISTING ELEVATIONS SUPPLIED BY CLIENT. TO BE VERIFIED BEFORE CONSTRUCTION.
  18. EAVES TO BE INSTALLED.
  19. EAVES DOWNSPOUT DISCHARGE WILL BE AT LEAST 1.5M INSIDE THE PROPERTY LINE AND NOT DIRECTED TO THE SIDE YARD.
  20. ALL TREES THAT ARE NOT IN THE FOOTPRINT OF THE EXCAVATION AND GRADING WILL BE PROTECTED DURING AND AFTER CONSTRUCTION.
  21. NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION WILL BE DIRECTED TOWARDS NEIGHBOURING PROPERTIES.
  22. GRADES AT AND BEYOND THE PROPERTY LINE WILL NOT BE DISTURBED.
  23. THIS IS NOT A PLAN OF SURVEY AND ALL SETBACK DIMENSIONS ARE APPROXIMATE.