

REVIEWED

By Doug at 2:58 pm, Nov 16, 2022

Adverse Soils Conditions

Address(&lot): 1500 Thomas Argue

Subdivision, Phase, Builder: Carp Rd Phase 2A Phoenix Homes

Geotechnical Memo (s) & Report (s): PG2450-MEMO.12

Notes:

Date:

Permit Approvals - requirements at permit application	
Site Class A,B,C,D,E or F	A, B, C, D - Standard Procedure unless dictated by other factors
Bearing Capacity Kpa	75 kPa or greater, part 9 fdtm - Standard Procedure unless dictated by other factors
Maximum Permissible Grade Raise Identified Part 4/9	Part 9 & 4 Foundation Requirements Geotechnical Engineer • Confirmation of part 9/4 foundation • Part 9 only - Lot specific bearing capacity values at the USF as a function of founding elevation, including footing restrictions • Part 4 only - Soil design bearing capacity, SLS and ULS at USF as a function of founding elevation, including footing restrictions • Footing sizes and the effects of long term groundwater lowering accounted for • Existing grade elevation, proposed finished grade elevation, maximum allowable grade raise, actual grade raise, proposed USF elevation • Calculated post construction settlements (include special requirements for foundation construction where calculated settlements are more than 25mm total and 20mm differential)
Additional for part 4	Part 4 Foundation Additional Requirements Note: Requirements are in addition to geotechnical engineer where part 4 foundation design required. Structural Engineer • Lot specific foundation design in accordance with current OBC, part 4 • Confirm foundation design is in accordance with recommendations provided by geotechnical engineer (indentify report and date) to limit the post construction settlements to within acceptable limits • Footing, foundation wall details including reinforcing requirements • Foundation design to include concrete compressive strength, footing, including reinforcing requirements.
Light Weight Fill Required	Part 9&4 Foundation Requirements Geotechnical Engineer • Confirmation of part 9 Foundation (site conditions may dictate part 4 design as determined by geotechnical engineer) • Lot Specific, backfill, engineered fill details • Calculated post construction settlements, (include special requirements for footing and foundation wall construction where calculated settlements are more than 25mm total and 20mm differential).



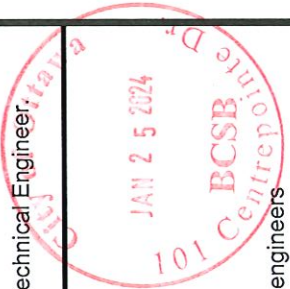
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Adverse Soils Conditions

Address(&lot): 1500 Thomas Argue
Subdivision, Phase, Builder: Carp Rd Phase 2A Phoenix Homes
Geotechnical Memo (s) & Report (s): PG2450-MEMO.12
Notes:

Date:

Building Inspection - requirements at key inspection stages	
Site Class A,B,C,D,E or F	A, B, C, D - Standard Procedure unless dictated by other factors
Bearing Capacity Kpa	75 kPa or greater, part 9 fdtm - Standard Procedure unless dictated by other factors
Maximum Permissible Grade Raise Identified	Part 4/9 Excavation Inspection - Geotechnical Engineer Confirm bearing capacity at USF meets/exceeds minimum design requirements. Final Inspection - Geotechnical Engineer • Lot specific letter signed under professional seal confirming that the grade raise, is as recommended (reference all geotechnical reports) • Expected post construction settlement limits of 25 mm total and 20 mm differential will not be exceeded.
	Additional for part 4 Part 4 foundation additional requirements Framing Inspection - Structural Engineer/designate Lot specific site review memo confirming foundation materials, reinforcing and construction is in accordance with the permit drawings and current OBC part 4. Final Inspection - Structural Engineer • Lot specific letter signed under professional seal confirming foundation materials, reinforcing and construction is in accordance with permit drawings and current OBC part 4, • Constructed to accommodate post construction settlement limits of 25 mm total and 20 mm differential to minimize foundation cracking, • Constructed in accordance with the geotechnical recommendations (reference all reports). • Confirm that the design SLS and ULS bearing pressure at USF does not exceed those specified by Geotechnical Engineer.
Light Weight Fill Required	Part 9 or 4 foundation design Excavation Inspection - Geotechnical Engineer Confirm bearing capacity at USF meets/exceeds minimum design requirements. Framing Inspection - Geotechnical Engineer/Designate Lot specific site review memo confirming light weight fill has been placed in accordance with geotechnical engineers recommendations. Final Inspection - Geotechnical Engineer • Lot specific letter signed under professional seal confirming that the installed backfill, lightweight fill, granular fill are installed as recommended (reference all geotechnical reports) • Expected post construction settlement limits of 25 mm total and 20 mm differential will not be exceeded.



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memorandum

re: **Geotechnical Design Summary Details**
Carp Airport Residential Development – Phase 1B
Diamondview Road – Ottawa

to: West Capital Developments – Mr. Sandy Pollock – spollock@phoenixhomes.ca

date: November 9, 2022

file: PG2450-MEMO.12

Further to your request and authorization, Paterson Group (Paterson) prepared the current memorandum to provide the geotechnical design summary details for the proposed residential development at the aforementioned site. Reference should be made to Paterson Group report PG2450-2 dated July 22, 2013.

Relevant design information is presented in Table 1 – Summary Design Details for the subject blocks and lots. The relevant design and inspection information includes the following:

- ☐ Legal lot/block number and Civic Address
- ☐ Original ground surface elevation
- ☐ Proposed finished grade elevations
- ☐ Maximum allowable grade raise
- ☐ Proposed USF elevation
- ☐ Bearing resistance values at SLS
- ☐ Seismic Site Class
- ☐ Estimated engineered fill thickness beneath footings.
- ☐ Lightweight Fill (LWFF) recommendations

Grading Plan Review

Paterson reviewed the following grading plan prepared by IBI Group for the aforementioned development:

- ☐ Project No. 102085-01 – Grading Plan – Drawing No. 102085-GR2, Revision 15, dated December 1, 2021.

Based on the grading plan provided, the proposed grades are generally in compliance with our permissible grade raise recommendations for the current development phase. Where significant grade raise exceedances have occurred, lightweight fill, such as expanded polystyrene (EPS) geofoam blocks, is recommended for specific areas adjacent to the subject buildings.





Mr. Sandy Pollock
Page 2
PG2450-MEMO.012

Table 1 attached provides a grading summary and lightweight fill (LWF) requirements for the subject buildings based on our grading plan review. LWF material specifications and cover recommendations are provided in Table 1 and Figure 1 attached.

Protection of Footings Against Frost Action

Perimeter footings of heated structures are required to be insulated against the deleterious effect of frost action. A minimum of 1.5 m thick soil cover (or equivalent) should be provided in this regard.

Based on our review of the grading plan, sufficient soil cover was provided to all units. The estimated frost cover for each unit is shown on Table 1 - Summary of Design Details, attached to this memorandum.

We trust that the current submission meets your immediate requirements.

Best Regards,

Paterson Group Inc.

Kevin A. Pickard, EIT



David J. Gilbert, P.Eng.

Attachments

- ☐ Figure 1 – EPS Block Installation Around Residential Buildings
- ☐ Table 1 – Summary of Design Details



Ottawa Head Office
9 Auriga Drive
Ottawa – Ontario – K2E 7T9
Tel: (613) 226-7381

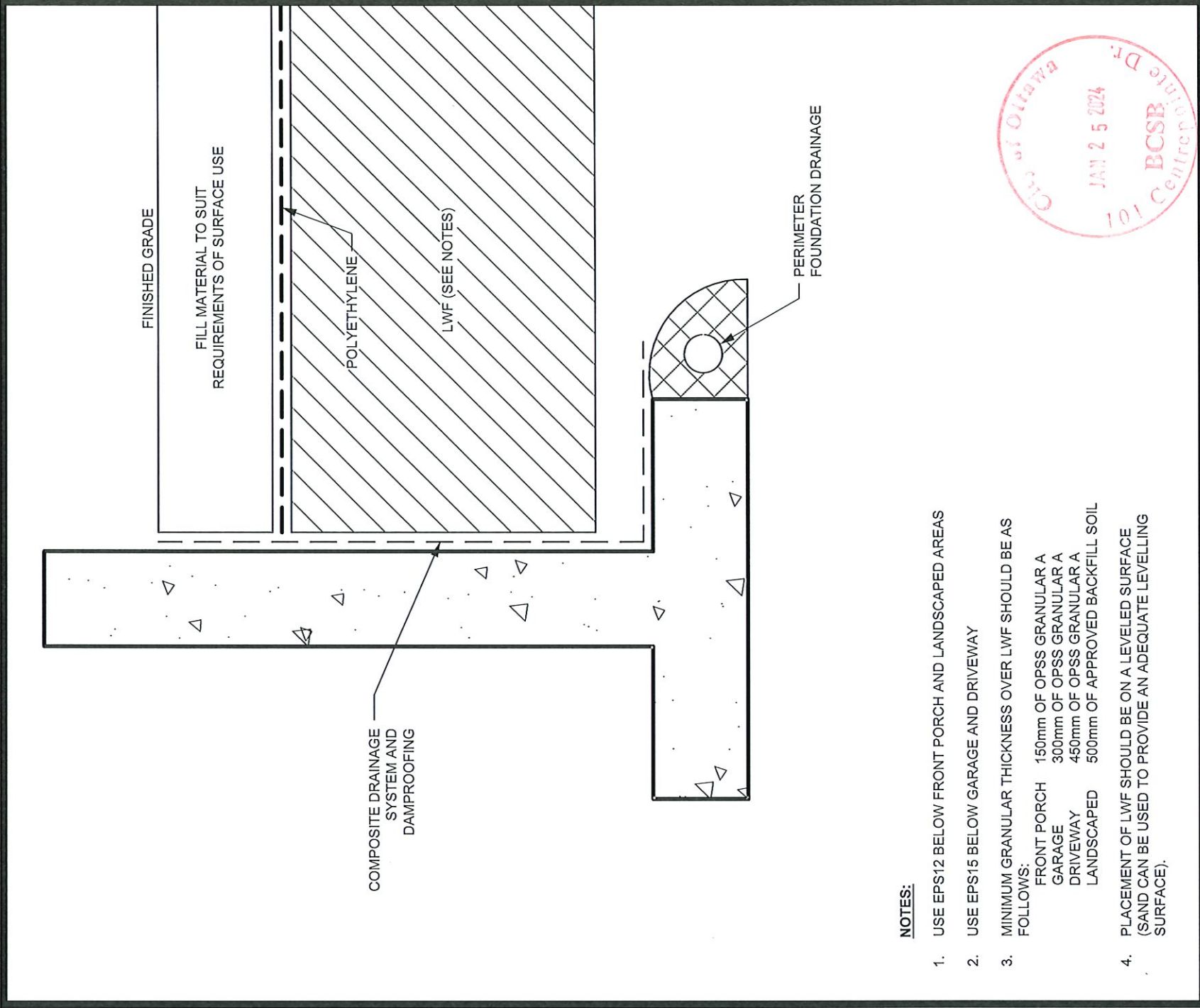
Ottawa Laboratory
28 Concourse Gate
Ottawa – Ontario – K2E 7T7
Tel: (613) 226-7381

Northern Office and Laboratory
63 Gibson Street
North Bay – Ontario – P1B 8Z4
Tel: (705) 472-5331



patersongroup.ca

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 PATERSON GROUP	Title: EPS BLOCK INSTALLATION AROUND RESIDENTIAL BUILDINGS		Scale: N.T.S.	Date: 07/2022
	Drawn by: NFRV	Checked by: FA	Drawing No.: FIGURE 1	

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Block Number	Lot Number	Civic Address	Dwelling Type	Original G5 Front (m)	Proposed G5 Front (m)	Original G5 Rear (m)	Proposed G5 Rear (m)	Underfooting Elevation (m)	Underfooting Elevation (m)	Minimum Value at SLS (kPa)	Bearing Resistance at SLS	Seismic Site Class	Frost Protection Front	Frost Protection Rear	Permissible Grade Raise (m)	Above Permissible Grade Raise (m)	Above Permissible Grade Raise (m)	Engineered Thickness (m)	Minimum Thickness LWF in Garage and Front Porch	Minimum Thickness LWF and Extents (m)
n/a	Lot 77	108 Chandelle Private	Single	115.86	116.94	115.32	116.05	114.55	114.25	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 78	106 Chandelle Private	Single	115.92	116.97	115.25	116.08	114.58	114.28	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 79	104 Chandelle Private	Single	116.00	117.15	115.25	116.26	114.76	114.46	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 80	102 Chandelle Private	Single	116.08	117.19	115.20	116.30	114.82	114.50	60	D	2.37	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 81	100 Chandelle Private	Single	116.23	117.33	116.00	116.44	114.94	114.64	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 82	98 Chandelle Private	Single	116.37	117.40	116.00	116.51	115.01	114.71	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 83	96 Chandelle Private	Single	116.50	117.56	115.70	116.67	115.17	114.87	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 84	94 Chandelle Private	Single	116.50	117.59	115.99	116.70	115.20	114.90	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 85	92 Chandelle Private	Single	116.50	117.76	116.17	116.87	115.37	115.07	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 86	90 Chandelle Private	Single	116.58	117.77	116.17	116.88	115.38	115.08	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 87	88 Chandelle Private	Single	116.58	117.96	116.38	117.07	115.57	115.27	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 88	86 Chandelle Private	Single	116.81	117.99	116.38	117.10	115.60	115.30	60	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 89	212 Silver Dart Private	Single	117.00	118.19	116.50	117.30	115.80	115.50	100	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 90	210 Silver Dart Private	Single	116.86	118.41	116.63	117.52	116.02	115.72	100	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 91	208 Silver Dart Private	Single	116.86	118.41	117.00	117.52	116.02	115.72	100	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 92	206 Silver Dart Private	Single	117.02	118.40	117.02	117.51	116.01	115.71	100	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 93	204 Silver Dart Private	Single	117.12	118.53	117.05	117.64	116.14	115.84	100	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 94	202 Silver Dart Private	Single	117.50	118.54	117.50	117.99	116.15	115.85	100	D	2.39	2.14	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 95	200 Silver Dart Private	Single	117.53	118.47	117.64	118.47	116.08	115.78	100	D	2.39	2.69	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 111	114 Chandelle Private	Single	115.59	116.73	115.03	115.84	114.34	114.04	100	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 112	116 Chandelle Private	Single	115.51	116.64	115.13	115.75	114.25	113.95	100	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 113	118 Chandelle Private	Single	115.51	116.50	114.87	115.61	114.11	113.81	100	D	2.39	1.80	1.50	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 114	120 Chandelle Private	Single	115.37	116.40	114.87	115.51	114.01	113.71	100	D	2.39	1.80	1.20	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 115	122 Chandelle Private	Single	115.34	116.26	114.51	115.37	113.87	113.64	100	D	2.39	1.73	1.20	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 116	124 Chandelle Private	Single	115.18	116.19	114.51	115.30	113.80	113.55	100	D	2.39	1.75	1.20	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 117	126 Chandelle Private	Single	114.83	115.99	114.83	115.29	113.60	113.50	100	D	2.39	1.79	1.20	0.00	0.00	0.00	0.00	0.00	n/a
n/a	Lot 118	128 Chandelle Private	Single	114.00	115.89	114.83	115.10	113.50	113.34	100	D	2.39	1.76	1.20	0.69	0.00	0.00	0.00	0.00	0.7m thick LWF along front extending to a max. of 1.2 m or property line, 0.7m thick LWF along sides extending to a max. of 1.2 m or property line
n/a	Lot 119	130 Chandelle Private	Single	113.33	115.78	112.89	114.88	113.38	113.22	100	D	2.40	1.66	1.20	1.25	0.79	0.35	0.35	1.5	1.3m thick LWF along front extending to a max. of 1.2 m or property line, 0.8m thick LWF along rear extending to a max. of 1.2 m or property line, 1.3m thick LWF along sides extending to a max. of 1.2 m or property line

Notes:
- Proposed grade raise information was based on the following grading plan prepared by Novatech Project No. 102085-01 - Grading Plan - Drawing No. 102085-02, Revision 15, dated December 1, 2021.
- Current block and lot numbers assigned based on above noted grading plan.



File: W23/076

May 15, 2023

Rahul Kochar
18A Bentley Avenue
Nepean, ON
K2E 6T8

Dear Mr. Kochar:

**RE: Application Made Under Ontario Regulation 153/06 to Place Fill within Regulation Limit of Wetland
202 Silver Dart Private, City of Ottawa (Huntley)**

Enclosed is your Mississippi Valley Conservation Authority (MVCA) - *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses* permit for the subject work, at the above noted location. Please sign a copy of Page 4 provided with the permit and return it to MVCA to indicate that you have read and accept the conditions of the permit, and acknowledge that the details of the proposal, as described in the permit and schedules, are accurate and complete.

This permit comes into effect immediately and expires on 2025.

The MVCA Board of Directors requires that all permissions granted by the MVCA be posted. We have included the posting with this permit, to be posted on-site in a visible location.

Pursuant to Section 28 of the Conservation Authorities Act (R.S.O. 1990, as amended) any or all of the conditions of the Permit may be appealed to the Regulations Committee of the Conservation Authority within 30 days of the date of issuance of this permit and prior to commencement of the work approved under this permit.

I trust this is clear. If you have any questions or concerns, please contact the undersigned at extension 259.

Sincerely,

A handwritten signature in blue ink, appearing to read "B Moy", enclosed within a hand-drawn oval.

Brittany Moy
Planning Technician



Member of
**Conservation
ONTARIO**
Conservation Authorities

community • environment • balance

10970 Hwy. 7, Carleton Place, ON K7C 3P1 Tel: 613.253.0006 Fax: 613.253.0122 Email: info@mvc.on.ca mvc.on.ca

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PERMIT
DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO
SHORELINES AND WATERCOURSES
ONTARIO REGULATION 153/06

File: W23/076

May 15, 2023

Rahul Kochar
18A Bentley Avenue
Nepean, ON
K2E 6T8

Dear Mr. Kochar:

RE: Application Made Under Ontario Regulation 153/06 to Place Fill within Regulation Limit of Wetland
202 Silver Dart Private, City of Ottawa (Huntley)

The Mississippi Valley Conservation Authority (MVCA) is in receipt of an application to place fill and complete site grading works. Our mapping indicates that the proposed work is located within the Regulation Limit of a wetland. According to the drawings submitted with this application, the proposed development will not encroach further than the pre-approved building envelope. The proposed development will be located approximately 17 metres from the wetland boundary. The above-mentioned works were reviewed and accepted during the Plan of Subdivision.

For any application, MVCA is required to assess an application based on the *Conservation Authorities Act*, the regulations in force under that act, and our Board-approved policies under those regulations. These requirements apply for any project that involves:

- Straightening, changing, diverting, or interfering in any way with the existing channel of a watercourse.
- Interfering in any way with a wetland.
- Development within the regulated area that may affect the control of flooding, erosion, pollution, or the conservation of land.

This proposal meets the definition of development, as defined under Section 28 of the *Conservation Authorities Act*, within a regulated area that may affect or interfere with a wetland. There will be no clearing or fill placement within the boundaries of the wetland, all works will be completed within a pre-approved building envelope. Accordingly, the impacts to the wetland have been addressed and appropriate mitigation measures have been proposed to address the MVCA's concerns.



Page 1 of 4

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PERMIT

DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES

ONTARIO REGULATION 153/06

Therefore, the Mississippi Valley Conservation Authority hereby grants you permission to undertake the proposal outlined in application W23/076, as shown on Schedule "A" (2 sheets, 1 drawings) attached. Work according to this permit may commence immediately, to be completed by May 15, 2025, subject to the following conditions:

1. The permit holder shall maintain a copy of this permit on site and shall ensure that all individuals involved in carrying out the work are aware of the permit and its conditions.
2. The project shall be carried out as per the plans and reports (Schedule "A") submitted in support of this application as they may be amended through conditions of this permit.
3. No fill other than that shown in Schedule "A", including material excavated for the dwelling, shall be placed within the regulation limit of the wetland.
4. Site disturbance shall be limited to the area required for the dwelling construction. Other than activities allowed under this permit, there shall be no filling nor encroachment of construction equipment or materials into adjacent natural areas, streams, wetlands.
5. A light duty silt fence barrier, installed to OPSD 219.110 specifications, shall be installed between the exposed soil areas and the wetland.
6. It will be the proponent's responsibility to ensure that the sedimentation control measures are inspected daily and that any maintenance, including the removal of accumulated sediment, is carried out as required.
7. All disturbed areas shall be seeded, sodded or stabilized in some other manner acceptable to Authority staff as soon as possible and prior to the expiry of this permit. Once the exposed areas are stabilized, the sediment controls are to be removed from the site.
8. All work, equipment maintenance and refuelling shall be carried out in such a manner that will prevent the release of construction and excavation wastes, overburden soil and any other substances deleterious to aquatic life into the wetland.
9. Natural drainage patterns on the site shall not be substantially altered, such that drainage to the wetland is impacted.

Any deviation from the approved criteria without prior written approval from the Mississippi Valley Conservation Authority will constitute a violation of the approved permit. This could result in the permit being revoked in accordance with Section 8 of Ontario Regulation 153/06, which states:

- 8 (1) The Authority may cancel a permission if it is of the opinion that the conditions of the permission have not been met.





PERMIT

DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO
SHORELINES AND WATERCOURSES
ONTARIO REGULATION 153/06

Please be reminded that this permission does not relieve you of your obligation to secure any other necessary approval.





PERMIT
DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO
SHORELINES AND WATERCOURSES
ONTARIO REGULATION 153/06

By this letter, the Mississippi Valley Conservation Authority assumes no responsibility or liability for any flood, erosion, or slope failure damage which may occur either to your property or the structures on it or if any activity undertaken by you adversely affects the property or interests of adjacent landowners. This letter does not relieve you of the necessity or responsibility for obtaining approval from the municipality or for acquiring any other federal or provincial permits (including, but not limited to, *Ontario Planning Act* zoning, site plan approvals and/or *Building Code Act* permits) or compliance with the *Endangered Species Act*. This permission does not give you approval to conduct work on land that you do not own.

NOTE: The information on this form is being collected for the purpose of administering a regulation made pursuant to Section 28, *Conservation Authorities Act*, R.S.O. 1990, Chapter 27. This application and supporting documents and any other documentation received relating to this application, may be released, in whole or in part, to other persons in accordance with the *Municipal Freedom of Information and Protection of Privacy Act*, R.S.O. 1990c. M.56, as amended.

A handwritten signature in blue ink, appearing to read "Matt Craig".

Matt Craig
Manager, Planning and Regulations

Dated at Carleton Place, Ontario, this 15 day of May, 2023.

By signing this permit, and returning a copy to the Mississippi Valley Conservation Authority, I, as the owner or agent of the owner, agree to the conditions herein.

A handwritten signature in blue ink, appearing to read "Catharine Buck".

Signed on behalf of Owner

Catharine Buck

Print Name

May 16, 2023

Date

Permit: W23/076
Staff Contact: Brittany Moy
CAID: RHTPM-220



NOTICE of PERMISSION GRANTED UNDER
ONTARIO REGULATION 153/06 –

DEVELOPMENT, INTERFERENCE WITH WETLANDS AND
ALTERATIONS TO SHORELINES AND WATERCOURSES

PERMIT
#W23/076

Date Issued: May 15, 2023
Expiry Date: May 15, 2025

Property Location: 202 Silver Dart Private

Please post this page in a visible location.



10970 Hwy 7, Carleton Place, ON K7C 3P1 • Tel. (613) 253-0006 • Fax (613) 253-0122 • info@mvc.on.ca

MVCA is a member of Conservation Ontario~Natural Champions

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SCHEDULE "A"

MVCA Use Only
Date Rec'd:
File No.:

PERMIT APPLICATION FORM

Development, Interference with Wetlands and Alterations to Shorelines and Watercourses Pursuant to Ontario Regulation 153/06

A permit must be obtained prior to construction, placement of fill, or alteration to wetlands, shorelines, and watercourses in any area covered by this regulation. Violations of this regulation could result in FINES and an ORDER TO REMOVE the offending works or structures. PLEASE FILL ELECTRONICALLY OR PRINT CLEARLY.

Landowner and /or Agent Details

Owner's Name (Last, First) Kochar, Rahul Phone 613-723-9227

Street 18A Bendley Avenue Cell _____

Town/City Nepean Fax 613-723-2235

Province ON Postal Code K2E 6T8 Email rkochar@phoenixhomes.ca

If using an Agent to complete work:

Agent's Name (Last, First) Buck, Catherine Phone 613-723-9227 ext. 191

Street 16A Bendley Avenue Cell _____

Town/City Nepean Fax 613-723-2235

Province ON Postal Code K2E 6T8 Email cbuck@phoenixhomes.ca

Property Details

Lot 94 Concession Part of Lot 14 Concession 4

Municipality City of Ottawa Former Ward Huntley

Civic Address 202 Silver Dart Private Existing Land Use Vacant
(vacant, residential, etc.)

Roll No. N/A



Additional Information

Previous MVCA Application for this property?	☐ Yes ☐ If yes, when?	<u>4M-1593 reg. 18-Sep-17</u>
Planning Approval Required from Municipality? (e.g. site plan, approval, rezoning)	☐ Yes ☐ If yes, when?	<u>April 20, 2023</u>
Applications made to other agencies? (i.e. MNR, MOE, DFO)	☐ No ☐ If yes, when?	_____

MVCA Permit Application Form Page 1 of 2

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Description of Type of Development/Work(s) Proposed

(attach separate sheet if more space is required)

- ☐ Place or Remove Fill ☐ Alter Existing watercourse ☐ Construct Retaining Wall, Erosion Control
- ☒ Construct New Building ☐ Add to, Alter or Renovate Building ☐ Construct /Alter/Repair Dock or Boat Ramp
- ☐ Construct Pond, Reservoir ☒ Install Sewage Disposal System ☐ Other:

Detailed Description with reference to sketch -If your description exceeds the depth of the box (650 characters) please send as a separate text file.

Single family home with attached garage. Clarifier tank for sewage.

Proposed Start Date: June 2023

Proposed Finish Date: April 2024

NOTE: Insufficient information may delay the processing of the application. A written response will be provided within 30 days of receipt of ALL necessary information. This application does not relieve the applicant of the obligation to secure any other necessary approval.

Checklist of Application Requirements

- ☐ Pre consultation with MVCA
- ☐ Municipal permission or consultation (required for realignment of watercourses)
- ☐ Completed Permit Application Form
- ☐ Application Processing Fee (application will not be fully processed until fee is received)
- ☐ Directions to work site/location map
- ☐ Site Plan - Attach drawings and/or plans to application
If plans exceed 11" by 14" please provide both a digital copy and a paper copy
- ☐ Signature or written authorization from landowner
Detailed Professional Drawings such as grading and survey plans from, e.g. Engineer, Contractor, are required for the following work(s):
New Dwellings and/or structures in the floodplain
Additions greater than or equal to 50% of the existing dwelling and/or structure in the floodplain
Retaining Walls greater than 1 metre high
Fill depths greater than 1.5 metres (may be required for fill depths less than 1.5 metres)
Finished crawl spaces

See next page for a detailed
breakdown of permit fee costs.

I, Rahul Kochar

declare that I am the landowner/agent and that the above information is correct to the best of my knowledge. I permit MVCA staff to undertake inspections of the work site.

If applicable:

I authorize (Agent):

Catherine Buck

to apply for a permit and the associated site inspections on my behalf.

Signature of Owner:

Date:

May 2, 2023

Signature of Agent:

Date:

May 1, 2023

Signature or written authorization from the owner is mandatory. (Digital signatures are accepted)

Save as a PDF and email to info@mvc.on.caPrint Form

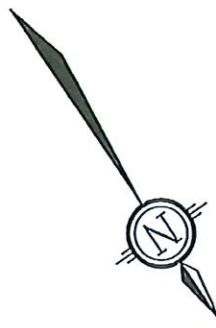
MVCA Permit Application Form Page 2 of 2

SITE

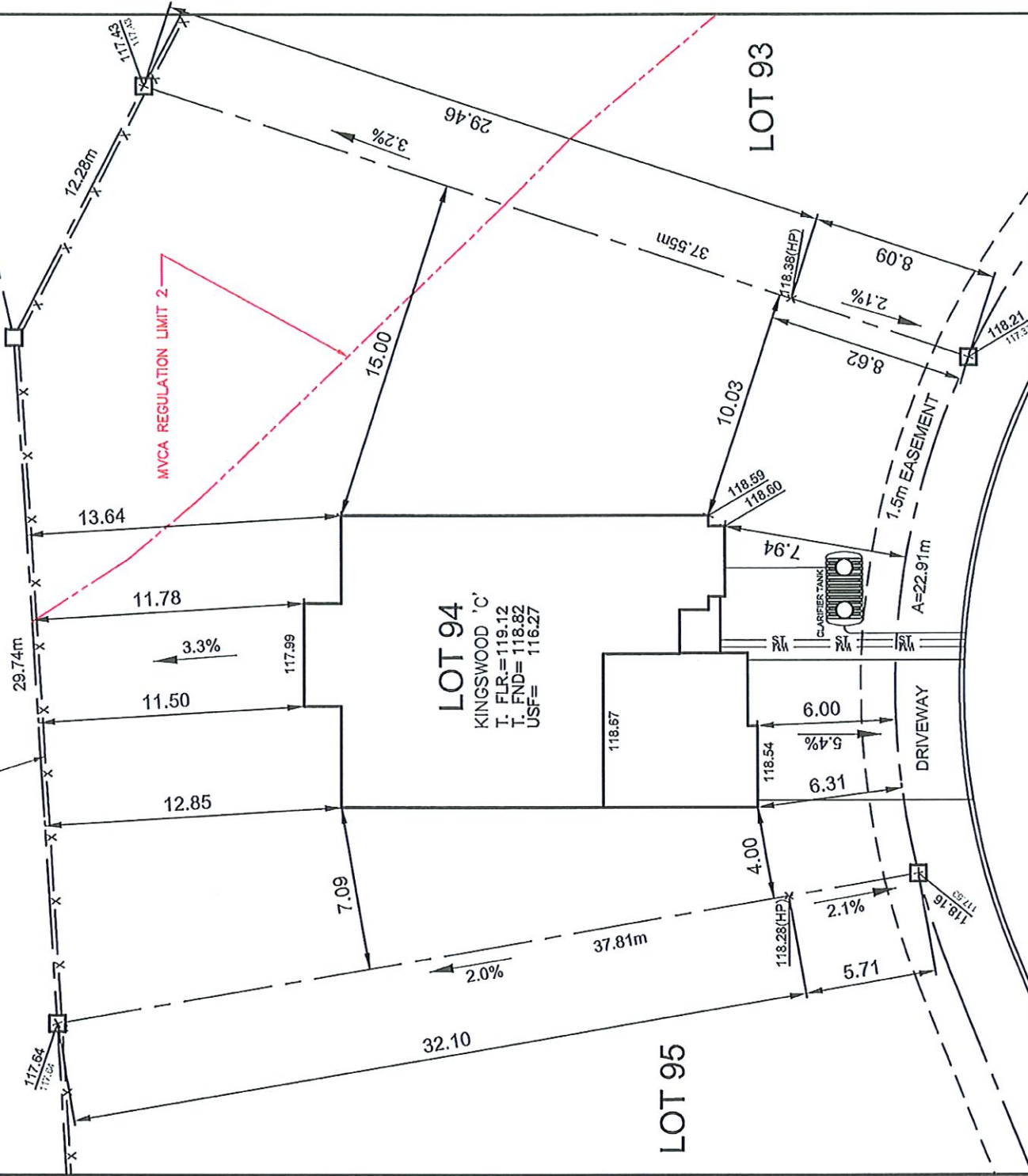
COPY

City of Ottawa

SCHEDULE "A"



PROPOSED 1.5m CHAINLINK FENCE



NOTE: HOUSE TYPE/GRADING HAVE NOT BEEN FINALIZED - THIS PLAN SUBJECT TO FURTHER CHANGES.

Owner/Applicant

DCR/PHOENIX HOMES

Telephone # 723-9227

Plan # 4M-1593

Project name: DIAMONDVIEW

Civic Address: 202 SILVER DART PR

House model: KINGWOOD 'C'

Bldg. Ht. _____ m

Lot coverage _____ %

Scale 1:250

Sod Area _____ m²

Asphalt Area _____ m²

CHECKED/APPROVED BY: T.L.MAK ENG.



LOT SITE/GRADING PLAN

DIAMONDVIEW PHASE 3

94

INDIVIDUAL LOT GRADING REVIEW SUMMARY FOR SITED HOUSE AS COMPARED WITH OVERALL SUBDIVISION PLAN

NOTE: THIS PLAN IS NOT A SURVEY PLAN OR SUBDIVISION PLAN WITHIN THE MEANING OF PLANNING ACT.
THIS PLAN IS FOR REFERENCE ONLY AND IS PRELIMINARY IN NATURE. ALL DIMENSIONS SHOWN ARE APPROXIMATE. E.O&E.