



PERMIT REVISION

RÉVISION À UN PERMIS

Date of Issuance: **28-Nov-2023**
Date de délivrance:

Application No / Demande n° : **A23-006733**
Permit No / Permis n° : **2306744**

Permission is Hereby Given To / Le présent permis est délivré à

Property Owner(s) / Propriétaire(s) **DCR/PHOENIX DEVELOPMENT**

Location / Lieu : **122 CHANDELLE PRIV West Carleton**

Lot Number / Numéro du lot : **115**

Permit Type / Type de permis : **Revised**

Project Description /
Description du projet : **Revision to BP# 2306744: Relocate fireplace**

Please contact the Inspector noted below prior to commencing construction /
Veuillez communiquer avec l'inspecteur mentionné ci-dessous avant de commencer les travaux

Building Inspector/ Inspecteur en bâtiment	BOND, ANDREW	613-580-2424	Ext./Poste 23575
Mechanical Inspector/ Inspecteur en mécanique	BOND, ANDREW	613-580-2424	Ext./Poste 23575
Plumbing Inspector/ Inspecteur en plomberie	BOND, ANDREW	613-580-2424	Ext./Poste 23575

In addition to complying with the attached permit, please remember that it is the permit holder's responsibility to comply with all other applicable laws, as well as any Provincial Orders restricting work including Ontario Regulation 82/20, as amended.
Questions related to Provincial Orders can be made to the Stop the Spread hotline at 1-888-444-3659.

Issued under the authority of /
Délivrance autorisée par

John Buck Chief Building Official /
Chef du service du bâtiment

The owner hereby, covenants and agrees with the Corporation of the City of Ottawa, that the owner will abide by and conform to the conditions and stipulations, in consideration of the above Permit. The owner hereby agrees to indemnify and save harmless the said Corporation of the City of Ottawa, and all the Officers, Servants and Agents thereof, from all claims, demands and damages, arising out of or incurred by reason of the execution of the work above referred to, or by reason of Permit above granted.

Le propriétaire soussigné, arrête et conviens avec la Ville d'Ottawa de se conformer aux conditions et aux clauses du permis ci-dessus, en contrepartie de sa délivrance. Le propriétaire conviens également d'indemniser la Ville d'Ottawa et ses dirigeants, employés et mandataires des réclamations, exigences et poursuites en dommages-intérêts liés à l'exécution des travaux mentionnés ci-dessus ou à la délivrance dudit permis.

Witness my hand this date:

November 28, 2023

Ce dont atteste ma signature en date du:

28 novembre, 2023

Issued To:
Délivré à:

Approved Online/Approuvé en ligne

(Please Print / En caractères d'imprimerie)

Signature of owner or authorized agent
Signature du propriétaire ou de l'agent autorisé

POST THIS PERMIT IN A CONSPICUOUS PLACE

PRIÈRE D'AFFICHER EN UN ENDROIT BIEN EN VUE

Original / Original



Kollaard Associates

Engineers

210 Prescott Street
P.O. Box 189
Kemptville, Ontario K0G 1J0

Civil • Geotechnical •
Structural • Environmental •
Hydrogeology •

(613) 860-0923

FAX: (613) 258-0475

September 19, 2023

Kollaard File # 230021 – LOT115

Phoenix Homes
18A Bentley Avenue
Ottawa, Ontario
K2E 6T8

Attn: Sandy Pollock
Tel: 613-723-9227 x 165
Email: spollock@phoenixhomes.ca



**SITE
COPY**
City of Ottawa

Re: Proposed Single Family Dwelling, Lot # 115 Chandelie Private, Diamondview Estates, Carp, City of Ottawa, Kollaard Associates File # 230021

With regard to the site specific structural revisions to the model building drawings only, Kollaard Associates has reviewed the following drawings:

- Phoenix Homes, 122 Chandelie Private, Pages # 2, 3, 6 & 7, Dated 28/08/2023
- Grandor Lumber Inc., 2nd Floor Joist Layout, DV3-115, Rutherford R, Dated 2023/09/12
- Grandor Lumber Inc., 1st Floor Joist Layout, DV3-115, Rutherford R, Dated 2023/09/12

Kollaard Associates offers the following comments:

Ground Floor Plan – Pages # 3:

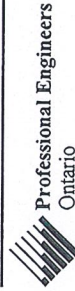
1. It is the opinion of Kollaard Associates that the proposed steel beam and steel posts shown on Phoenix Homes Pages # 3 are adequate.
2. It is the opinion of Kollaard Associates that the fireplace lintel and posts shown on Phoenix Homes Pages # 3 are adequate.
3. Floor joist design and flush LVL beams within the floor structure are by the manufacturer.

Basement Plan – Pages # 2:

4. It is the opinion of Kollaard Associates that the proposed steel beams, steel posts and pad footings shown on Phoenix Homes Pages # 2 are adequate.

General Notes:

5. All gravity loads to be carried to foundation through solid blocking.



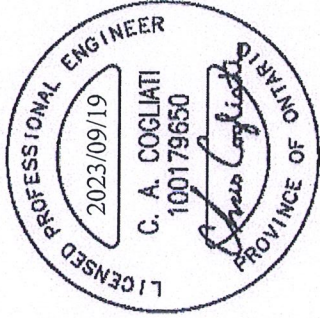
Professional Engineers
Ontario

Authorized by the Association of Professional Engineers
of Ontario to offer professional engineering services.

6. Floor joist design, flush LVL beams within the floor structure and LVL lintels are by the manufacturer.
7. All dimension lumber to be No.2 grade SPF or better.
8. Pemco Steel adjustable posts are designed and approved by the manufacturer. The adjustable steel posts are designed for a maximum allowable load of 106.8 kN at a maximum height of 9'-3".
9. The assumed soil bearing resistance of 100 kPa is to be verified prior to construction.
10. Comments provided in this report are made in consideration of Part 9 and Part 4 (where applicable) of the 2012 OBC as amended.
11. This report does not constitute a full structural review of the building drawings and only address the structural items listed above as requested by the client. Refer to Kollaard Associates Report # 220021-RUTHERFORD (Dated July 18, 2022) and the Rutherford, Elevation R model drawings for additional structural information.

We trust this letter provides sufficient information for your present purposes. If you have any questions concerning this letter please do not hesitate to contact our office.

Sincerely,
Kollaard Associates Inc.



**SITE
COPY**
City of Ottawa

Christopher Cogliati, P.Eng.

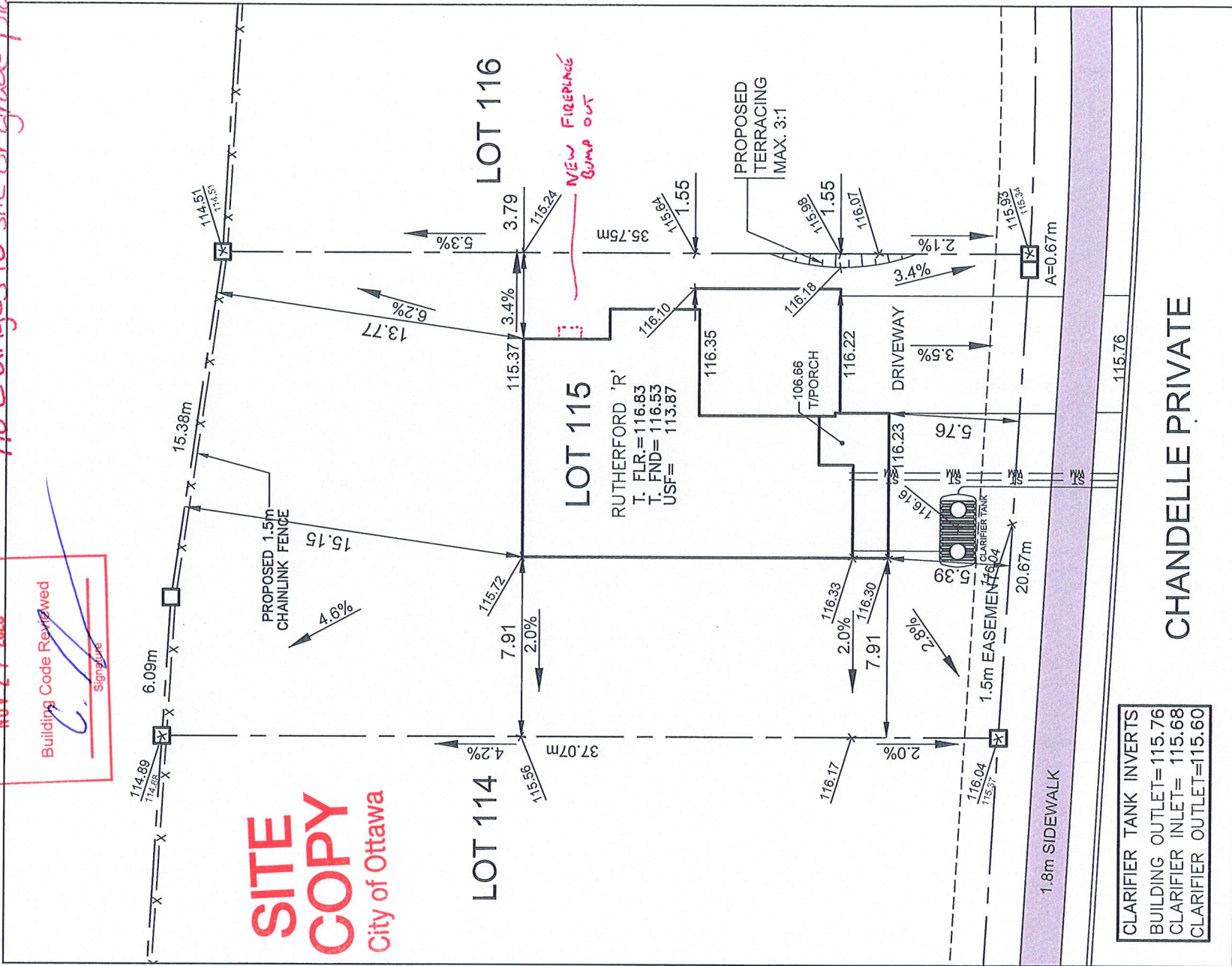




no changes to site or grade plan.

City of Ottawa
Building Services Branch
NOV 27 2023
Building Code Reviewed
Signature

SITE COPY
City of Ottawa



CLARIFIER TANK INVERTS
BUILDING OUTLET= 115.76
CLARIFIER INLET= 115.68
CLARIFIER OUTLET= 115.60

Owner/Applicant

DCR/PHOENIX HOMES

Telephone # 723-9227

Plan # 4M-1593

Project name: DIAMONDVIEW



LOT 115
SITE/GRADING PLAN
DIAMONDVIEW PHASE 3
City of Ottawa