

City of Ottawa

Development Review Branch

Grading & Servicing Reviewed

Name: Kelsey Charie

Signed: KCharie

Date: Jun/30/2022

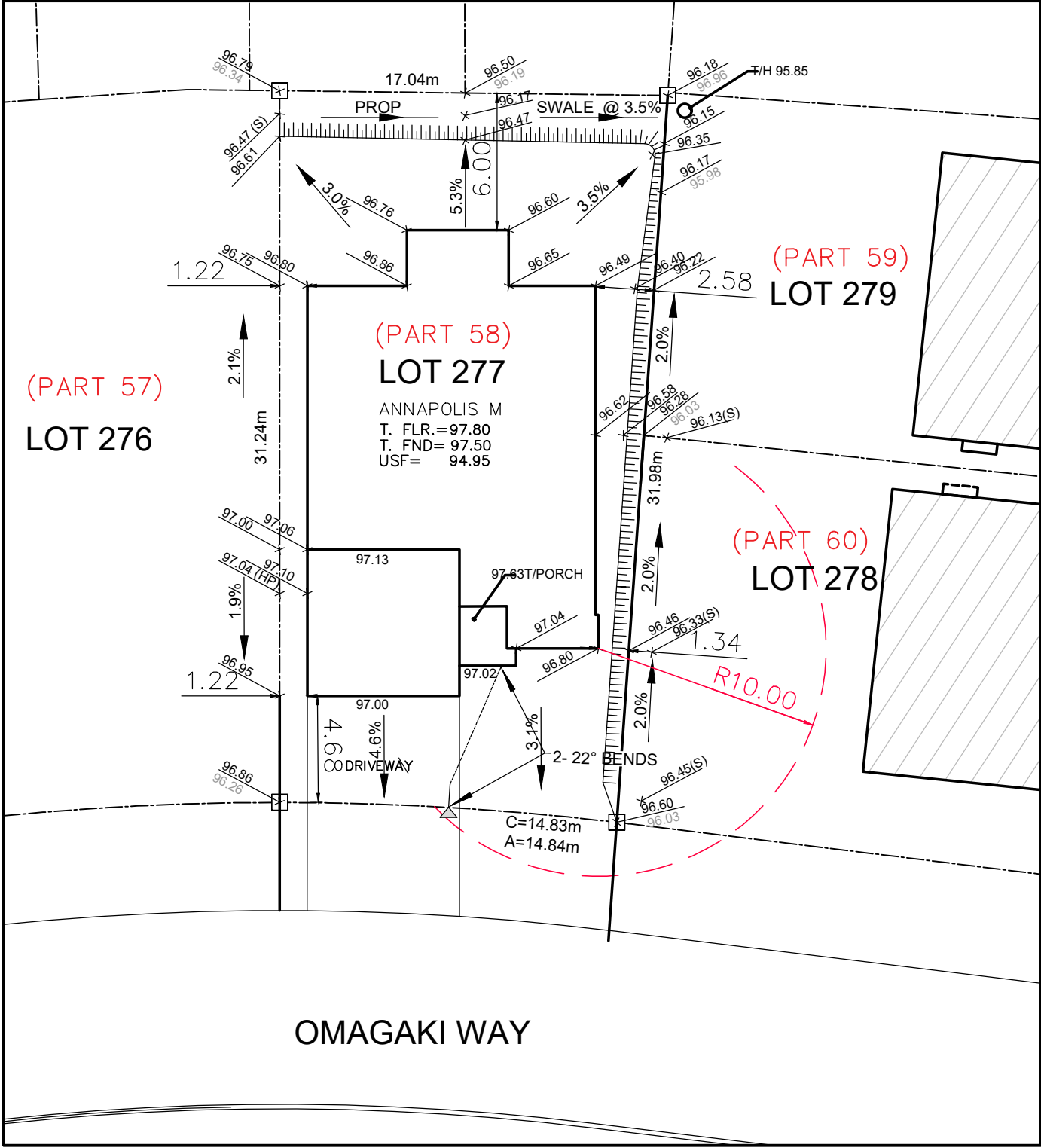
Sleeved services required under retaining walls / footings / garage, and are recommended under porches, decks, and similar structures

No excess drainage to be directed towards adjacent properties

Existing grading and drainage patterns must not be altered

Match existing elevations with abutting properties

Grading to be 2-7%. Grading over 7% to be terraced (max. 3H:1V)



OMAGAKI WAY

|                                                                                                                                                                                                                                 |                                                                                                                                                                                     |                                                                                                            |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|
| <div>Owner/Applicant</div> <div>DCR/PHOENIX HOMES</div> <div>Telephone # 723-9227</div> <div>Plan # 4M- 1618</div> <div>Project name:PATHWAYS</div> <div>Civic Address:904 OMAGAKI WAY</div> <div>House model:ANNAPOLIS M</div> | <div></div> <div><div>LOT 277</div><div>SITE/GRADING PLAN</div><div>PATHWAYS PHASE 2</div></div> | <div>INDIVIDUAL LOT GRADING REVIEW SUMMARY FOR SITED HOUSE AS COMPARED WITH OVERALL SUBDIVISION PLAN</div> |
| <div>Bldg. Ht. m</div> <div>Lot coverage 45.5 %</div> <div>Scale 1: 250</div> <div>Sod Area 278.68 m<sup>2</sup></div> <div>Asphalt Area 63.67 m<sup>2</sup></div>                                                              | <div>NOTE: THIS PLAN IS NOT A SURVEY PLAN OR SUBDIVISION PLAN WITHIN THE MEANING OF PLANNING ACT.</div>                                                                             |                                                                                                            |
| <div>CHECKED/APPROVED BY: T.L.MAK ENG.</div> <div>MAY 17, 2022</div>                                                                                                                                                            |                                                                                                                                                                                     |                                                                                                            |