

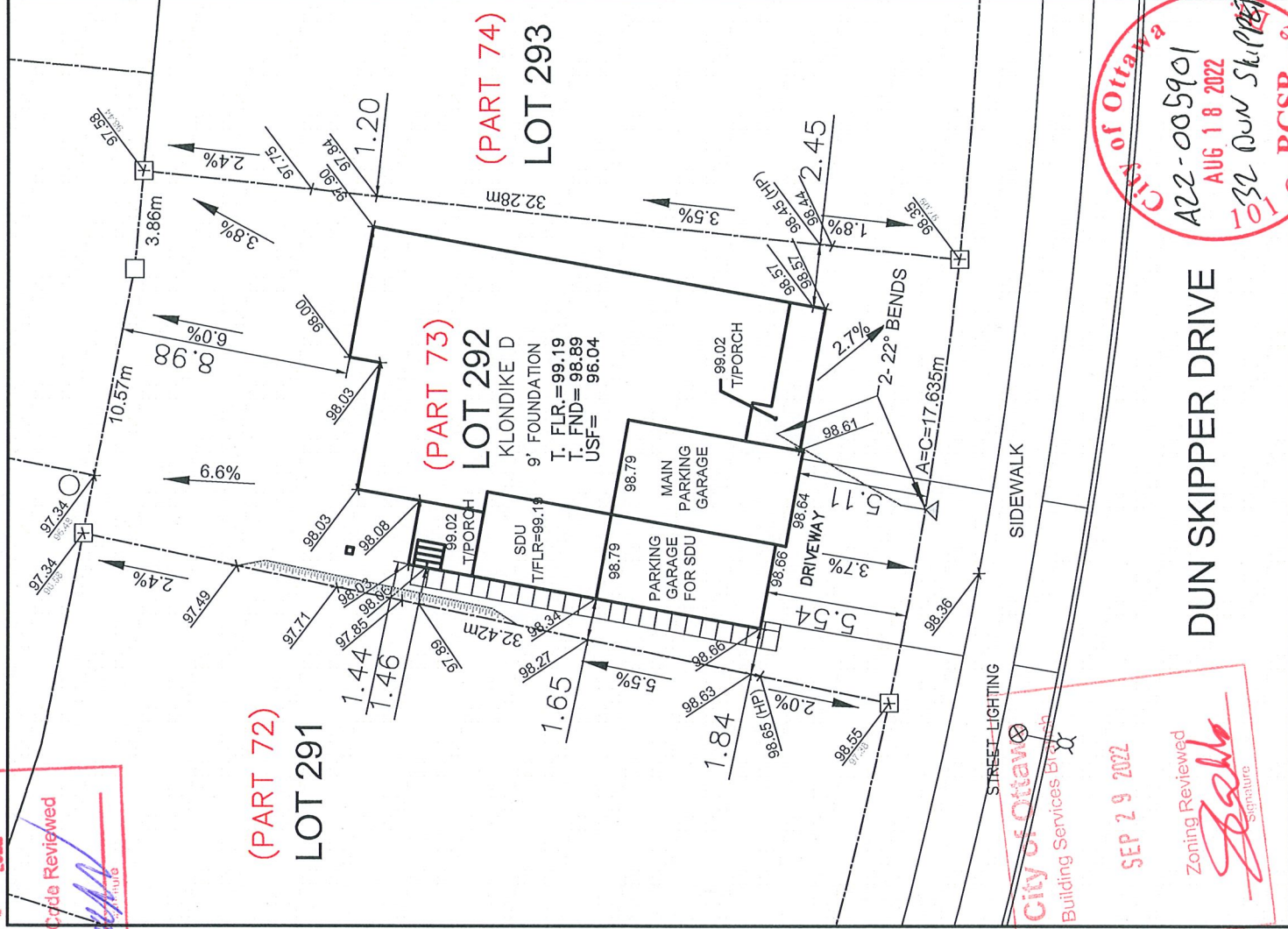
NOTE: UTILITIES/SERVICES/MAILBOXES/EASEMENT PLANS HAVE NOT BEEN FINALIZED – THIS PLAN SUBJECT TO FURTHER CHANGES.

City of Ottawa
Building Services Branch

SEP 1 2022

Building Code Reviewed

[Signature]



City of Ottawa
A22-005901
AUG 18 2022
132 Dun Skipper
BCSB
Centrepointe

DUN SKIPPER DRIVE

Owner/Applicant

DCR/PHOENIX HOMES

Telephone # 723-9227

Plan # 4M- 1618

Project name:PATHWAYS

Civic Address:32 DUN SKIPPER DRIVE

House model:KLONDIKE D

Bldg. Ht. _____ m

Lot coverage _____ 41.5 %

Scale _____ 1:250

Sod Area _____ 343.48 m²

Asphalt Area _____ 77.45 m²

CHECKED/APPROVED BY: T.L.MAK ENG.



LOT SITE/GRADING PLAN
292 PATHWAYS PHASE 2

INDIVIDUAL LOT GRADING REVIEW SUMMARY FOR SITED HOUSE AS COMPARED WITH OVERALL SUBDIVISION PLAN

NOTE: THIS PLAN IS NOT A SURVEY PLAN OR SUBDIVISION PLAN WITHIN THE MEANING OF PLANNING ACT.

Sleeved services required under retaining walls / Top of Foundation to be min. footings / garage, and are recommended under 0.15m above final grade porches, decks, and similar structures USF to have min. 1.5m cover around foundation or abutting properties foundation shall be insulated

Grading to be 2-7%. No excess drainage to be directed towards adjacent properties

Grading over 7% to be terraced (max. 3H:1V)

City of Ottawa

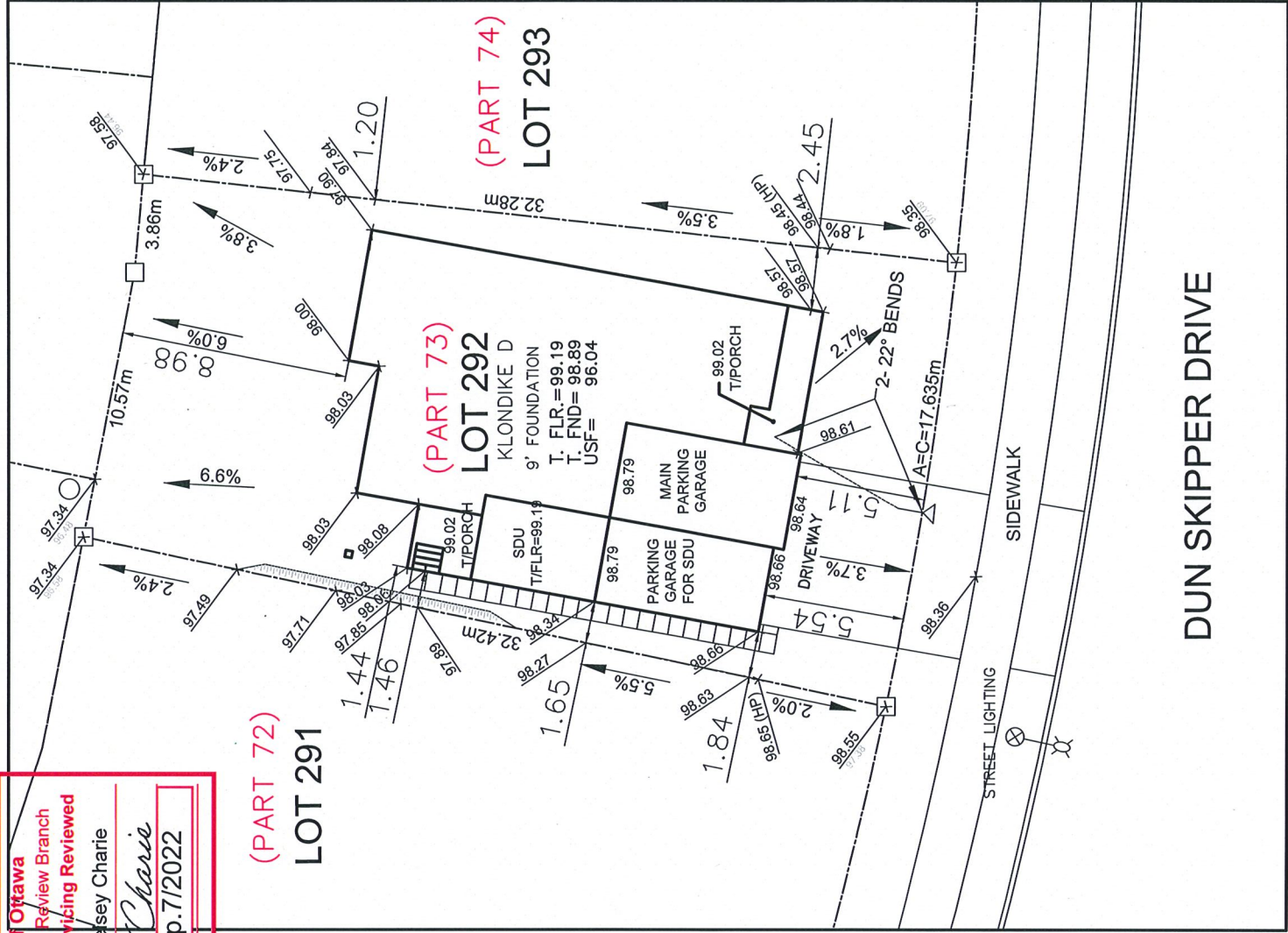
Development Review Branch

Grading & Servicing Reviewed

Name: Kelsey Charlie

Signed: K. Charlie

Date: Sep. 7/2022



Owner/Applicant

DCR/PHOENIX HOMES

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