



Municipality of Mississippi Mills

3131 Old Perth Road, PO Box 400, Almonte ON, K0A 1A0

613-256-2064 ext. 260

Application for a Permit to Construct, Change of Use, Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority				
Application/File Number: A22-1283		Permit number (if different): 22-337		
Date received: September 29, 2022		Roll/Tax Number:		
Application submitted to: THE CORPORATION OF THE MUNICIPALITY OF MISSISSIPPI MILLS				
A. Your Project location and information:				
Building project civic address number & street name 332 Antler Court			Lot/con. 58	Unit/Apt.
Municipality Mississippi Mills	Postal Code	Plan number/other description 27M-47		
Will this project require an additional driveway/ ☐ Yes ☒ No		Is this a vacant lot/ ☒ Yes ☐ No		
Area of work (ft ²) - Existing N/A		Area of work (ft ²) - New 3438		
Height of Building (ft.) 29'1"	Length (ft.) 62'	Width (ft.) 42'		
Project value Est \$ 421980	<i>Project value estimate: means the value of the proposed work including value of land, work, labour, equipment, materials, and design services where applicable. This information is required to be sent to Statistics Canada. This information does not impact where there is a set fee.</i>			
B. Purpose of application				
☒ New Construction ☐ Addition ☐ Renovate/Alter/Repair ☐ Demolition ☐ Change of Use ☐ Solar Panel (Roof) ☐ Other _____				
Current use of Building	Proposed use of Building Residential	<i>Use of building: means , residential, office, mercantile, assembly, industrial, institutional, etc.</i>		
Description of proposed work Two storey single family home				
Two car attached garage				
C. Applicant is: ☐ Owner or ☒ An authorized agent of owner (Authorized Agent Form Required)				
Last name Buck		First name Catherine	Corporation or partnership (If applicable) DCR Phoenix Homes	
Street address 18 Bentley Avenue				Unit/Apt. # A
Municipality Nepean	Postal code K2E 6T8	Province ON	E-mail (All reports are sent to owner's email) cbuck@phoenixhomes.ca	
Telephone number (613) 723-9227 ext. 191		Cell ()	Other ()	
D. Owner (if different from applicant)				
Last name		First name	Corporation or partnership (If applicable) DCR Phoenix Homes	
Street address 18 Bentley Avenue				Unit/Apt. # A
Municipality Nepean	Postal code K2E 6T8	Province ON	E-mail (All reports are sent to owner's email) cbuck@phoenixhomes.ca	
Telephone number (613) 723-9227		Cell ()	Other ()	



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E. Builder (optional)			
Last name		First name	
Corporation or partnership (if applicable)			
Street address			Unit/Apt. #
Municipality	Postal code	Province	E-mail (All reports are sent to owner's email)
Telephone number ()	Cell ()	Other ()	
F. Tarion Warranty Corporation (Ontario New Home Warranty Program) (Applicable to all new homes - reported to			
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.		☒ Yes	☐ No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?		☒ Yes	☐ No
iii. If yes to (ii) provide registration number(s): <u>35002</u>			
G. Required Schedules			
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities. ii) Attach Schedule 2 where application is to construct on-site, install or repair a			
H. Completeness and compliance with applicable law – Yes is default answer.			
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted).		☒ Yes	☐ No
All payments will be made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when called for by the Chief Building Official. The minimum fee of \$125.00 will be submitted with this application.		☒ Yes	☐ No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .		☒ Yes	☐ No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.		☒ Yes	☐ No
iv) This proposed building, construction or demolition will not contravene any applicable law.		☒ Yes	☐ No
I. Declaration of applicant			
I, <u>Catherine Buck</u> declare that: (Owner or Agent Print Name)			
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.			
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.			
<u>SEP 29, 2022</u> Date		 Signature of applicant	

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to which this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor, Toronto, Ontario M5S 2E5 (416) 585-6666.



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Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Location Information			
Building civic address number, street name: 332 Antler Court			Unit/Apt. Number
Municipality: Mississippi Mills	Postal code	Plan number/ other description (if applicable) 27M-47	
B. Individual who reviews and takes responsibility for design activities			
Name: Catherine Buck		Firm: DCR Phoenix Homes	
Street address 18 Bentley Avenue			Unit/Apt. Number A
Municipality Nepean	Postal code K2E 6T8	Province ON	E-mail cbuck@phoenixhomes.ca
Telephone number (613) 723-9227 ext. 191	Fax number ()	Cell number ()	
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]			
☒ House ☐ HVAC – House ☐ Building Structural ☐ Small Buildings ☐ Building Services ☐ Plumbing – House ☐ Large Buildings ☐ Detection, Lighting and Power ☐ Plumbing – All Buildings ☐ Complex Buildings ☐ Fire Protection ☐ On-site Sewage Systems			
Description of designer's work General design review			
D. Declaration of Designer			
I <u>Catherine Buck</u> declare that (choose one as appropriate): (print name) ☐ I have reviewed and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories. Individual BCIN: _____ Firm BCIN: _____ ☒ I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code. Individual BCIN: <u>46674</u> Basis for exemption from registration: <u>Designer for Tarion Builder</u> ☐ The design work is exempt from the registration and qualification requirements of the Building Code. Basis for exemption from registration and qualification: _____ or ☐ The Applicant is the OWNER. I certify that: - The information contained in this schedule is true to the best of my knowledge. - I have submitted this application with the knowledge and consent of the firm. - The plans have the project location, date and is signed by the designer or owner as being their design. <u>SEP 29, 2022</u> Date Signature of Designer or Owner			

NOTE:

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is to be completed by a holder of a license to practice, a limited license to practice, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.



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Kollaard Associates

Engineers

210 Prescott Street
P.O. Box 189
Kemptville, Ontario K0G 1J0

Civil • Geotechnical •
Structural • Environmental •
Hydrogeology •

(613) 860-0923

FAX: (613) 258-0475

September 28, 2022

Kollaard File # 220020 – LOT58

Phoenix Homes
18A Bentley Avenue
Ottawa, Ontario
K2E 6T8

Attn: Catherine Buck
Tel: 613-723-9227 x 191
Email: CBuck@phoenixhomes.ca

Re: Proposed Single Family Dwelling, 332 Antler Court, Lot # 58 White Tail Ridge, Arnprior, Kollaard Associates File # 220020

With regard to structural issues only, Kollaard Associates has reviewed the following drawings:

- Phoenix Homes, Lot # 58, White Tail Ridge, Pages # 1 to 8, Dated 28/09/2022
- Grandor, High Roof Truss Layout, Newington 'A', WTR3-57, Dated 07/18/2022
- Grandor, Low Roof Truss Layout, Newington 'A', WTR3-57, Dated 07/18/2022
- Grandor, 2nd Floor Joist Layout, WTR3-58, Dated 09/28/2022
- Grandor, 1st Floor Joist Layout, WTR3-58, Dated 09/28/2022

Kollaard Associates offers the following comments:

Second Floor Plan – Pages # 4:

1. It is the opinion of Kollaard Associates that the proposed lintels and supporting posts shown on Phoenix Homes Pages # 4 are adequate.
2. The proposed tall wall noted on Phoenix Homes Pages # 1 is adequate.
3. Posts supporting girders may consist of built up 2x6 posts as indicated on Phoenix Homes Pages # 4 and are laterally supported by plywood or OSB sheathing (i.e. posts form part of sheathed exterior walls unless noted).
4. Truss design is by others.

Ground Floor Plan – Pages # 3:

5. It is the opinion of Kollaard Associates that the proposed lintels, beams and supporting posts shown on Phoenix Homes Pages # 3 are adequate

6. Ramset a 2x6 to the top flange of all steel beams to attach the above framing, floor joists and flush LVL beams.
7. The proposed web packing of the steel beam detailed on Phoenix Homes Sheet # 8 is adequate.
8. Truss design is by others.
9. Floor joist design and flush LVL beams within the floor structure are by the manufacturer.

Basement Plan – Pages # 2:

10. It is the opinion of Kollaard Associates that the proposed steel beams steel posts shown on Phoenix Homes Sheet # 2 are adequate.
11. It is the opinion of Kollaard Associates that the proposed deck beams, posts, joists, sonotubes and ledger connection shown on Phoenix Homes Sheet # 2 are adequate.
12. The front porch slab reinforcement described on Phoenix Homes Sheet # 1 is adequate.
13. As noted on Phoenix Homes Sheet # 2, the framed walls supporting the intermediate landing may be supported by the basement slab.
14. The foundation walls at the bottom of the window openings that exceed 47¼" in width (or the sum of the widths of the window openings exceed 25% of the length of the wall) are considered to be laterally unsupported as per 2012 OBC 9.15.4.3. The reinforcement around the window openings noted on Phoenix Homes Sheets # 2 is adequate to withstand the lateral earth pressures.
15. The remaining proposed foundation walls conform to 2012 OBC Table 9.15.4.2.A. ensuring that the grade difference between the basement slab and the exterior grade (including the garage slab) does not exceed 7'-6½" for the full height 7'-10" foundation walls and does not exceed 3'-11" for stepped down foundation walls.
16. The proposed strip footings, interior pad footings and exterior pad footings shown on Phoenix Homes Page # 2 and noted on Phoenix Homes Sheet # 1 are adequate.
17. Floor joist design, flush LVL beams within the floor structure and LVL lintels are by the manufacturer. The posts supporting the flush LVL lintels shown on Phoenix Homes Sheet # 2 are adequate.

General Notes:

18. All gravity loads to be carried to foundation through solid blocking.
19. Truss design is by others.
20. Floor joist design, flush LVL beams within the floor structure and LVL lintels are by the manufacturer.
21. The self supporting stairs are to be designed by the stair manufacturer.
22. All dimension lumber, except non-load bearing 8 ft 2x6 studs to be No.2 grade SPF or better.
23. Non-load bearing 8 ft 2x6 studs to be No.3 or Stud grade SPF or better.
24. All guards to be as per OBC SB-7, unless otherwise mentioned and designed by others.

25. All brick lintels to be as per OBC Table 9.20.5.2.B.
26. Unless otherwise noted, LVL to be 1.8E 3000Fb LVL (Canadian Limit States bending strength of at least 39.5 MPa) with 1¾" nominal width or better.
27. Pemco Steel adjustable posts are designed and approved by the manufacturer. The adjustable steel posts are designed for a maximum allowable load of 106.8 kN at a maximum height of 9'-3".
28. All 3" x 3" x 3/16" HSS posts c/w 6" x 6" x 3/8" top and bottom bearing plates.
29. The assumed soil bearing resistance of 100 kPa is to be verified prior to construction.
30. Note that the truss manufacturer/floor joist supplier has sized the flush LVL beams and girder trusses shown on the building drawings. The comments provided by Kollaard Associates in this report are based in part on the design indicated in the truss and floor layouts. If a different truss and/or floor layout is used in construction, comments made in this report may no longer be valid. Provide Kollaard Associates with the full truss package prior to construction.
31. Comments provided in this report are made in consideration of Part 9 and Part 4 (where applicable) of the 2012 OBC as amended.
32. This report constitutes a review of the structural information indicated on the building plans cited in this report for the client indicated above.

We trust this letter provides sufficient information for your present purposes. If you have any questions concerning this letter please do not hesitate to contact our office.

Sincerely,
Kollaard Associates Inc.



Christopher Cogliati, P.Eng.

MUNICIPALITY OF MISSISSIPPI MILLS

Plumbing Information Sheet

Site Address: 332 Antler Court

Application is to: ✓ **Construct** **Alter** **Repair**

Owner's Name: DCR Phoenix Homes

Owner's Phone: 613-723-9227

Owners Email: cbuck@phoenixhomes.ca

Plumber's Name: Ben Cinnamon

Company Name (if applicable): ABC Plumbing

Plumber's Phone: 613-489-0120

Plumber's License #: 13269183

Total Number of Fixtures ~~25~~ 26

Please fill in total amount of fixtures installed on the corresponding floor level(s).

Fixture Type	Basement	1 st Floor	2 nd Floor	3 rd Floor
Toilet / Bidet	1	2	3	
Bathroom Sink	1	2	5	
Shower		1	3	
Bathtub	1		1	
Kitchen Sink		1		
Washing Machine		1		
Laundry Sink	1			
Floor Drain				
Hot Water Tank				
Water Softener				
Urinal				
Grease Trap				
Oil Interceptor				
Pumps	✈ 2 (sump & sewage lift)			
Backwater Valves	1			
Special Fixture				



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Energy Efficiency Design Summary: Prescriptive Method

(Building Code Part 9, Residential)

This form is used by a designer to demonstrate that the energy efficiency design of a house complies with the building code using the prescriptive method described in Subsection 3.1.1. of SB-12. This form is applicable where the ratio of gross area of windows/sidelights/skylights/glazing in doors and sliding glass doors to the gross area of peripheral walls is not more than 22%.

For use by Principal Authority	
Application No:	Model/Certification Number

A. Project Information

Building number, street name 332 Antler Court		Unit number	Lot/Con 58
Municipality Mississippi Mills	Postal code	Reg. Plan number / other description 27M-47	

B. Prescriptive Compliance [indicate the building code compliance package being employed in this house design]

SB-12 Prescriptive (input design package): Package: <u>A1</u> Table: <u>3.1.1.2.A(IP)</u>

C. Project Design Conditions

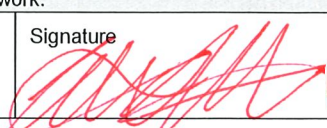
Climatic Zone (SB-1):	Heating Equipment Efficiency	Space Heating Fuel Source
☒ Zone 1 (< 5000 degree days)	☒ ≥ 92% AFUE	☒ Gas ☐ Propane ☐ Solid Fuel
☐ Zone 2 (≥ 5000 degree days)	☐ ≥ 84% < 92% AFUE	☐ Oil ☐ Electric ☐ Earth Energy
Ratio of Windows, Skylights & Glass (W, S & G) to Wall Area		Other Building Characteristics
Area of walls = _____ m ² or 4464 ft ²	W, S & G % = 13.8	☐ Log/Post&Beam ☐ ICF Above Grade ☐ ICF Basement
Area of W, S & G = _____ m ² or 617 ft ²	Utilize window averaging: ☐ Yes ☒ No	☐ Slab-on-ground ☐ Walkout Basement
		☐ Air Conditioning ☐ Combo Unit
		☐ Air Sourced Heat Pump (ASHP)
		☐ Ground Sourced Heat Pump (GSHP)

D. Building Specifications [provide values and ratings of the energy efficiency components proposed]

Energy Efficiency Substitutions				
☐ ICF (3.1.1.2.(5) & (6) / 3.1.1.3.(5) & (6))				
☐ Combined space heating and domestic water heating systems (3.1.1.2.(7) / 3.1.1.3.(7))				
☐ Airtightness substitution(s)				
Airtightness test required (Refer to Design Guide Attached)		Required: _____ Permitted Substitution: _____		
		Required: _____ Permitted Substitution: _____		
		Required: _____ Permitted Substitution: _____		
Building Component	Minimum RSI / R values or Maximum U-Value ⁽¹⁾		Building Component	Efficiency Ratings
Thermal Insulation	Nominal	Effective	Windows & Doors	Provide U-Value ⁽¹⁾ or ER rating
Ceiling with Attic Space	R60		Windows/Sliding Glass Doors	25
Ceiling without Attic Space	R31		Skylights/Glazed Roofs	0.49
Exposed Floor	R31		Mechanicals	
Walls Above Grade	R22		Heating Equip.(AFUE)	96%
Basement Walls		R21.12	HRV Efficiency (SRE% at 0°C)	75%
Slab (all >600mm below grade)	--		DHW Heater (ER)	0.8
Slab (edge only ≤600mm below grade)	R10		DWHR (CSA B55.1 (min. 42% efficiency))	# Showers <u>5</u>
Slab (all ≤600mm below grade, or heated)	R10		Combined Heating System	No

(1) U value to be provided in either W/(m²·K) or Btu/(h·ft²·F) but not both.

E. Designer(s) [name(s) & BCIN(s), if applicable, of person(s) providing information herein to substantiate that design meets the building code]

Qualified Designer Declaration of designer to have reviewed and take responsibility for the design work.		
Name Catherine Buck	BCIN 46674	Signature 

Form authorized by OHBA, OBOA, LMCBO. Revised December 1, 2016.

PROVIDE A MIN. 42% EFFICIENT DRAIN WATER HEAT RECOVERY UNIT CONNECTED TO ALL SHOWERS (OR AT LEAST 2 SHOWERS WHEN MORE THAN 1 UNIT IS INSTALLED)



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SYSTEM DESIGN PARAMETERS

EQUIPMENT DESIGN REQUIREMENTS

VENTILATION EQUIPMENT



Exhaust Fans					
	Location	Model	L/s	Sones	Principal or Supplemental
1	PDRM	DX90	45	2.5	PRINCIPAL
2	ENSUITE	EC50	25	3.	SUPPLEMENTAL
3	BATH/BATH 2	EC50/EC50	25/25	3./3.	SUPPLEMENTAL
4	GUEST BATH	EC50	25	3.	SUPPLEMENTAL

EQUIPMENT EFFICIENCIES (Please also refer to Energy Efficiency Design Summary)

Heating system:

Cooling system (if applicable):

Water heater:

HRV: 75 % sensible efficiency at 0 degrees:

60 % sensible efficiency at -25 degrees:

DESIGNER CERTIFICATION

I hereby certify that this ventilation system has been designed in accordance with the 2012 Ontario Building Code.

Name: LINDA MCPARLAN Company Name: HARDING MECHANICAL

Signature: Linda McParlan Date: MAY 3/21 BCIN 24379 HRAI # 6080

