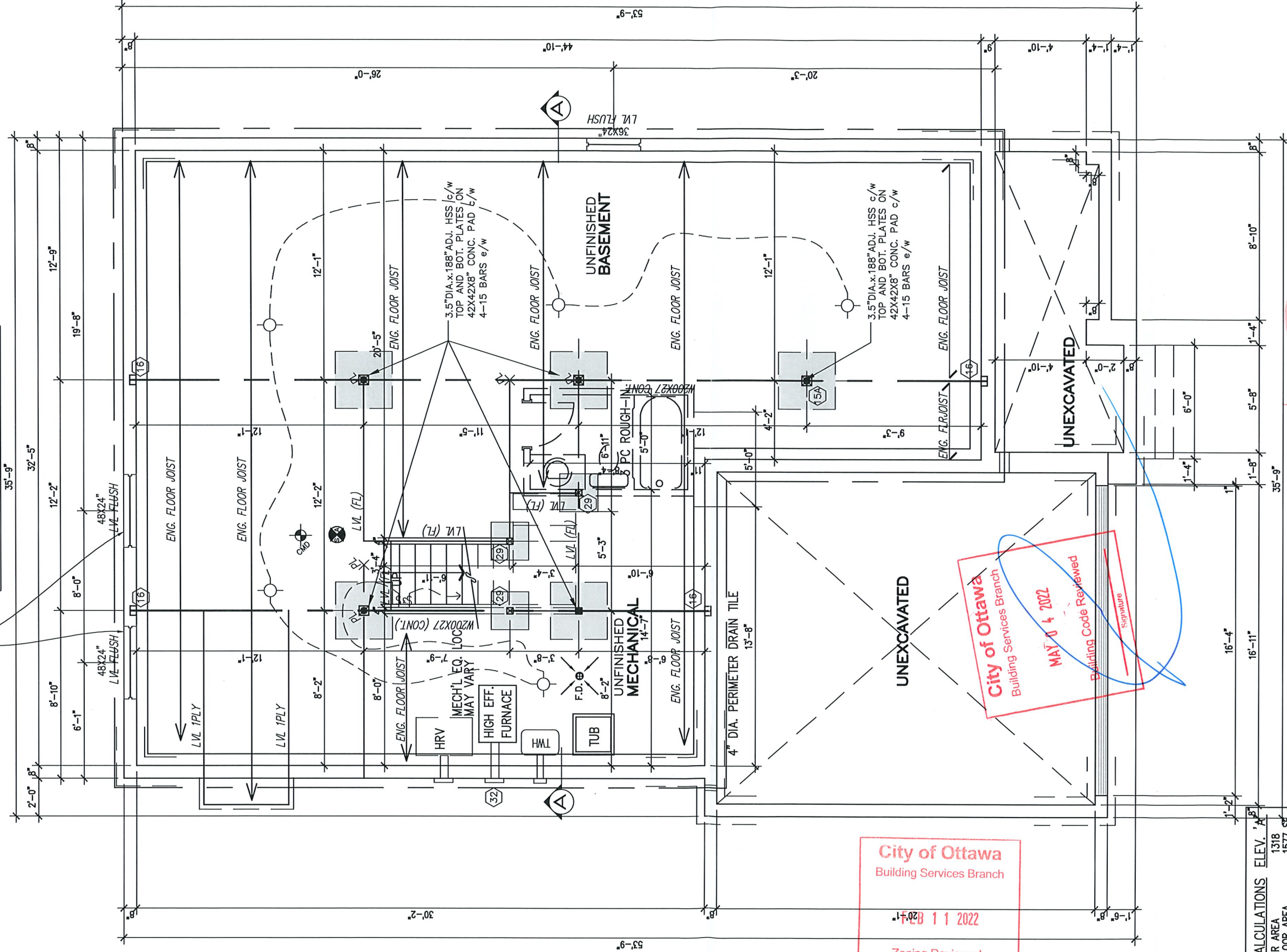


CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO DCR/PHOENIX BEFORE PROCEEDING WITH THE WORK.
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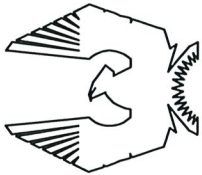
****REQUIRED FOR WINDOWS OVER 47" WIDE****
O.B.C. 9.15.4.3
ADD 2-15M HORIZONTAL BARS BELOW WINDOW
EXTENDING 2'-0" BEYOND EDGE OF OPENING &
2-15M VERTICAL BARS EACH SIDE



NOTE:
ALL LVL'S SUPPORTING FLOOR LOADS ARE FLUSH,
UNLESS NOTED OTHERWISE AND TO BE SPECIFIED
BY THE FLOOR TRUSS MANUFACTURER, SEE
MANUF. LAYOUT.

BASEMENT PLAN-ELEV. A

AREA CALCULATIONS	ELEV. A
MAIN FLOOR AREA	1318
SECOND FLOOR AREA	1577 SF
SUBTOTAL	2895 SF
DEDUCT ALL OPEN AREAS	52 SF
TOTAL NET AREA	2843 SF (264.12 m ²)



PHOENIX HOMES

MADISON - 2020

SITE: PATHWAYS PH2

LOT NUMBER:

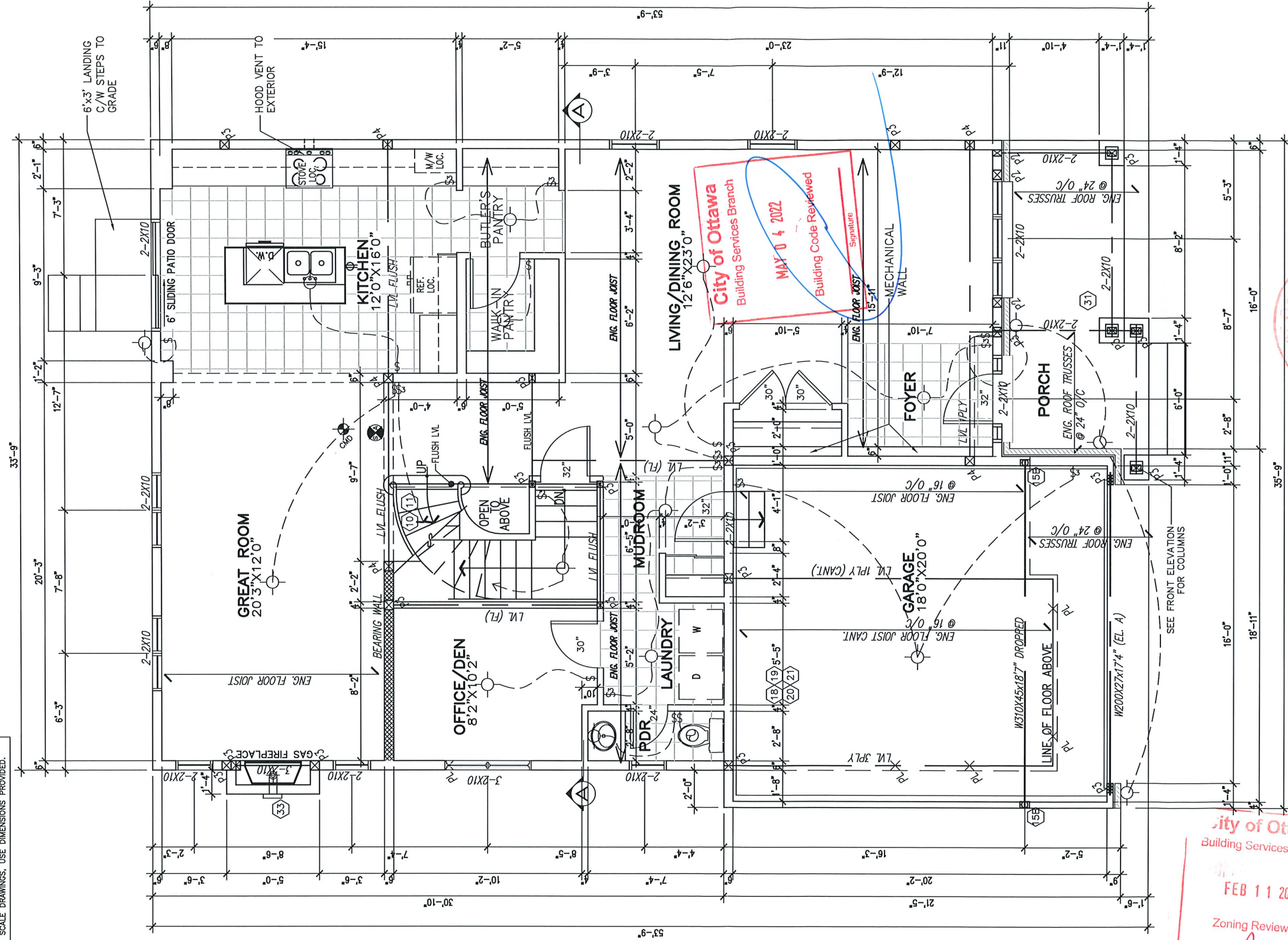
CIVIC ADDRESS:
916 OMAGAKI WAY

271

No.	Description	Date	By
3	ISSUED FOR LAYOUTS	10/01/22	SP
2	BEP BLACKLINES	03/12/21	GK
1	ISSUED FOR PRICING ONLY	DEC-2019	SP
REVISIONS			

footprint:	43-10
drawn by:	SP
date:	NOV/19
scale:	3/16"=1'-0"
sheet no:	2
D.C.L. - 195	8

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MANUF. LAYOUT.

GROUND FLOOR PLAN EL. A
1318 SF

City of Ottawa
Building Services Branch
FEB 11 2022
Zoning Reviewed
Am
Signature

PHOENIX HOMES

MADISON – 2020

SITE: PATHWAYS PH2

122

LOT NUMBER:

CIVIC ADDRESS:
916 OMAGAKI WAY

3	ISSUED FOR LAYOUTS
---	--------------------

2	BEP BLACKLINES
---	----------------

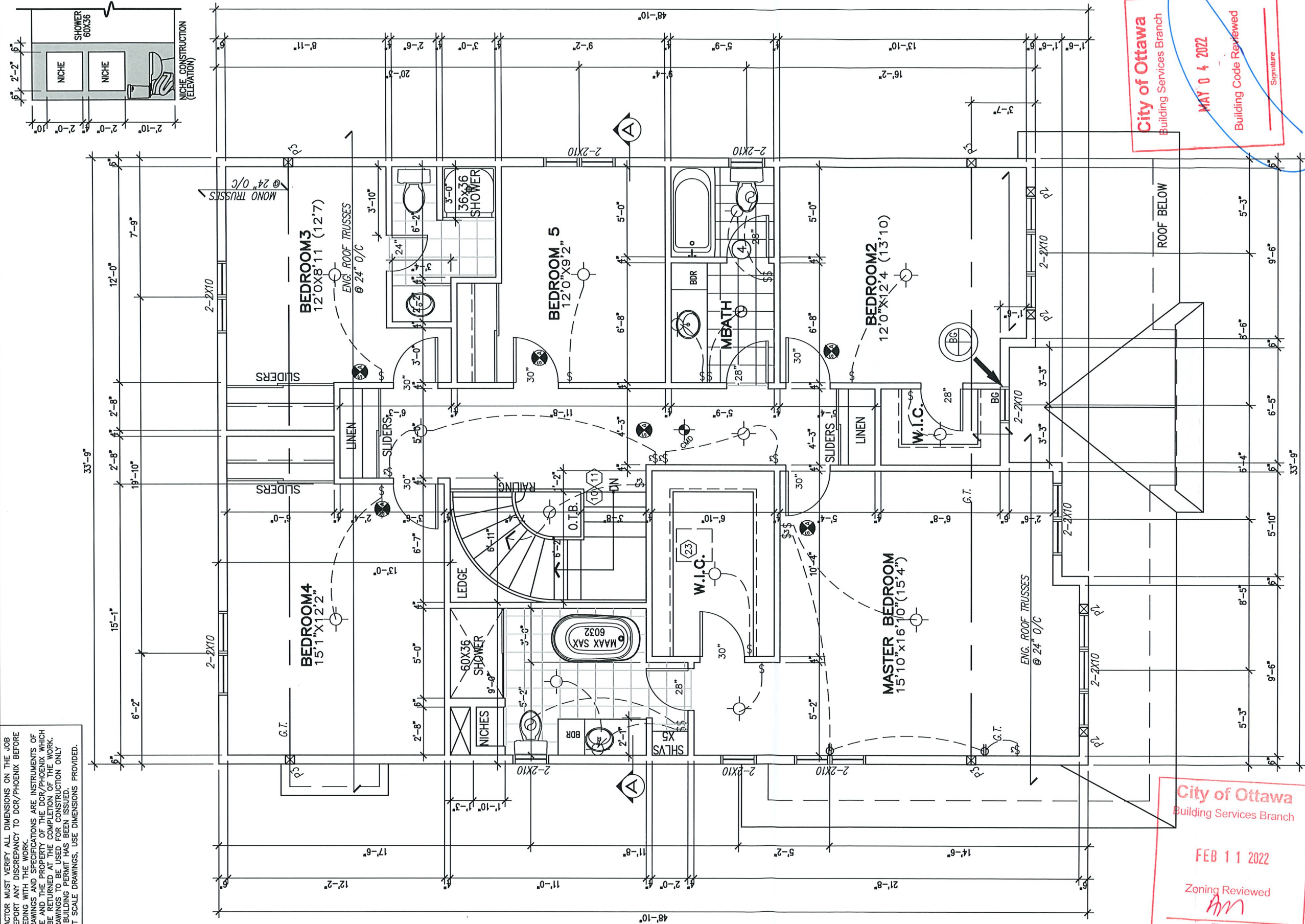
1	ISSUED FOR PRICING ONLY
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No.	Description
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footprint:	43-10	
drawn by:	SP	
date:	NOV/19	
scale:	$3/16"=1'-0"$	
sheet no:		
D.C.L.	- 195	

[illegible]

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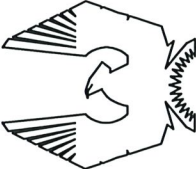
City of Ottawa
Building Services Branch
MAY 04 2022
Building Code Reviewed
Signature

City of Ottawa
Building Services Branch
FEB 11 2022
Zoning Reviewed
Signature

NOTE:
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MANUF. LAYOUT.

City of Ottawa
FEB 04 2022
255 C. BCSP
Centrum

SECOND FLOOR PLAN EL. A
(4 BEDROOM+LOFT)
1525 SF (+52 OTB)



PHOENIX HOMES

MADISON - 2020

SITE: PATHWAYS PH2

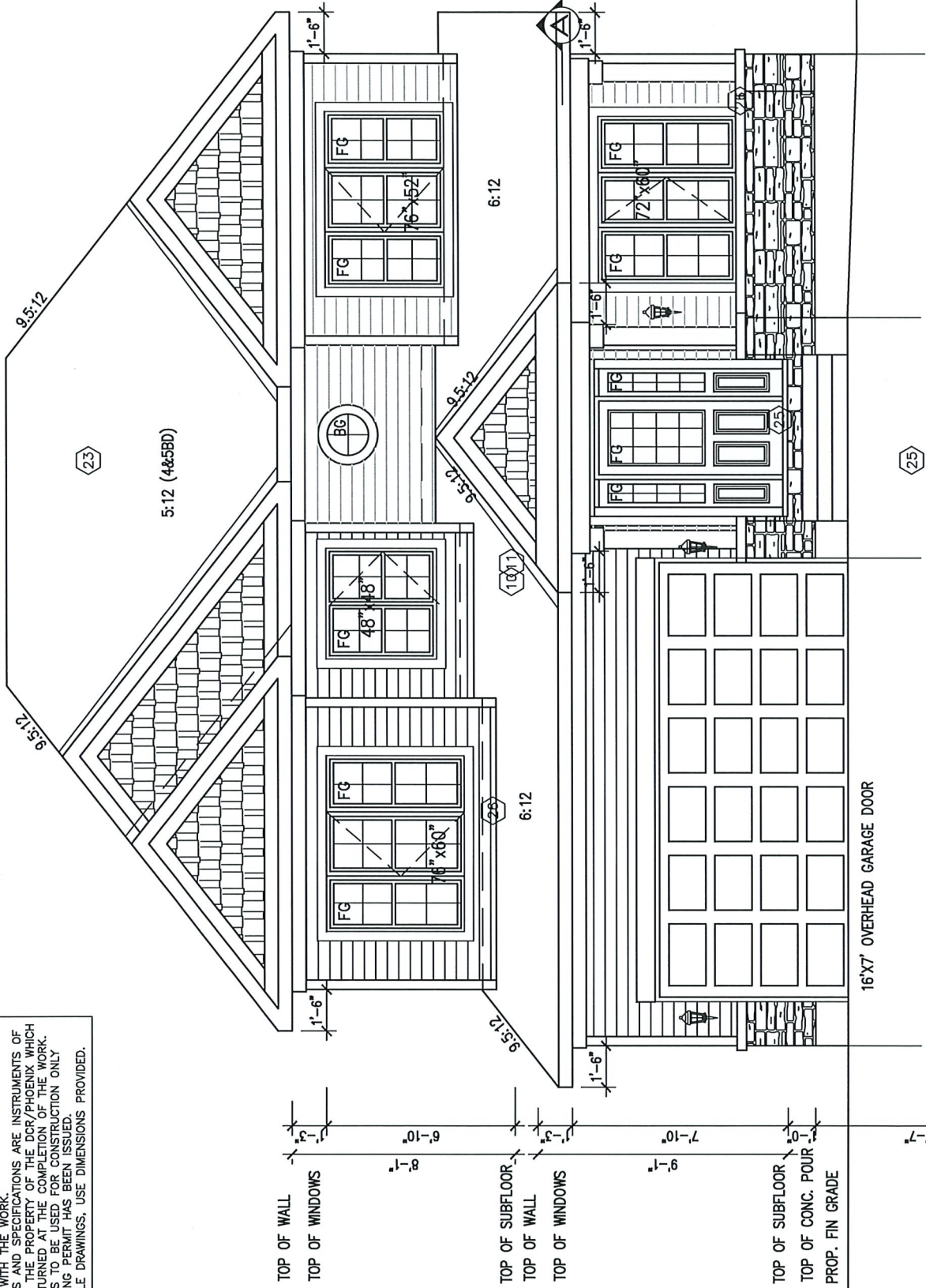
LOT NUMBER: 271

CIVIC ADDRESS:
916 OMAGAKI WAY

footprint: 43-10
drawn by: SP
date: NOV/19
scale: 3/16"=1'-0"
sheet no: 4
D.C.L. - 195 5

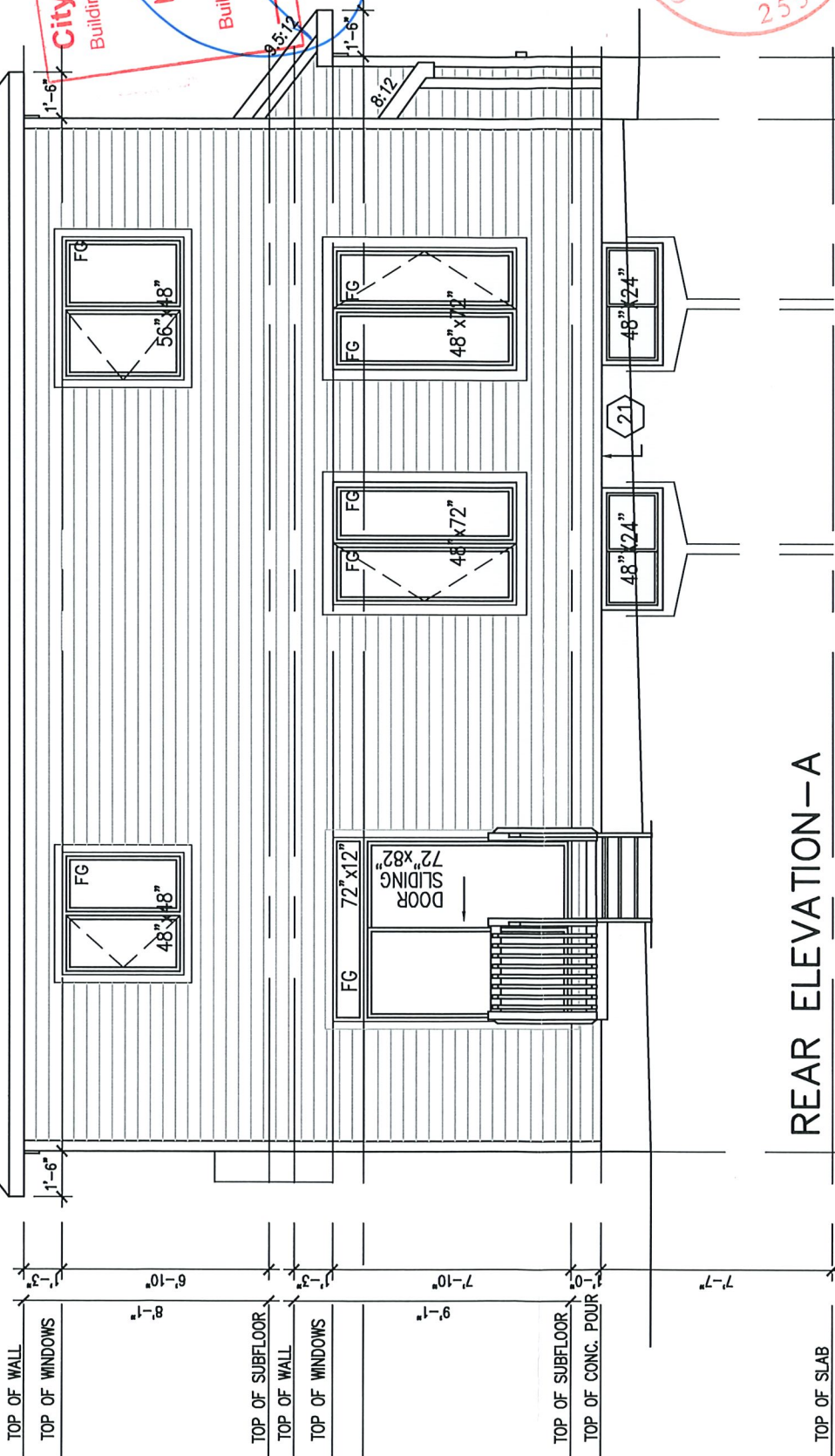
No.	Description	Date	By
3	ISSUED FOR LAYOUTS	10/01/22	SP
2	BEP BLACKLINES	03/12/21	GK
1	ISSUED FOR PRICING ONLY	DEC-2019	SP
REVISIONS			

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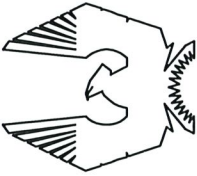


FRONT ELEVATION-A

City of Ottawa
Building Services Branch
FEB 11 2022
Zoning Reviewed
Signature
City of Ottawa
Building Services Branch
MAY 04 2022
Building Code Reviewed
Signature



REAR ELEVATION-A



PHOENIX HOMES

MADISON - 2020

SITE: PATHWAYS PH2

LOT NUMBER:

CIVIC ADDRESS:
916 OMAGAKI WAY

271

footprint:	43-10
drawn by:	SP
date:	NOV/19
scale:	3/16"=1'-0"
sheet no:	5
D.C.L. - 195	11

3	ISSUED FOR LAYOUTS	10/01/22	SP
2	BEP BLACKLINES	03/12/21	GK
1	ISSUED FOR PRICING ONLY	DEC-2019	SP
No.	Description	Date	By

City of Ottawa
FEB 04 2022
BCSB
255
Centrum

PHOENIX HOMES



MADISON - 2020

SITE: PATHWAYS PH2

LOT NUMBER:

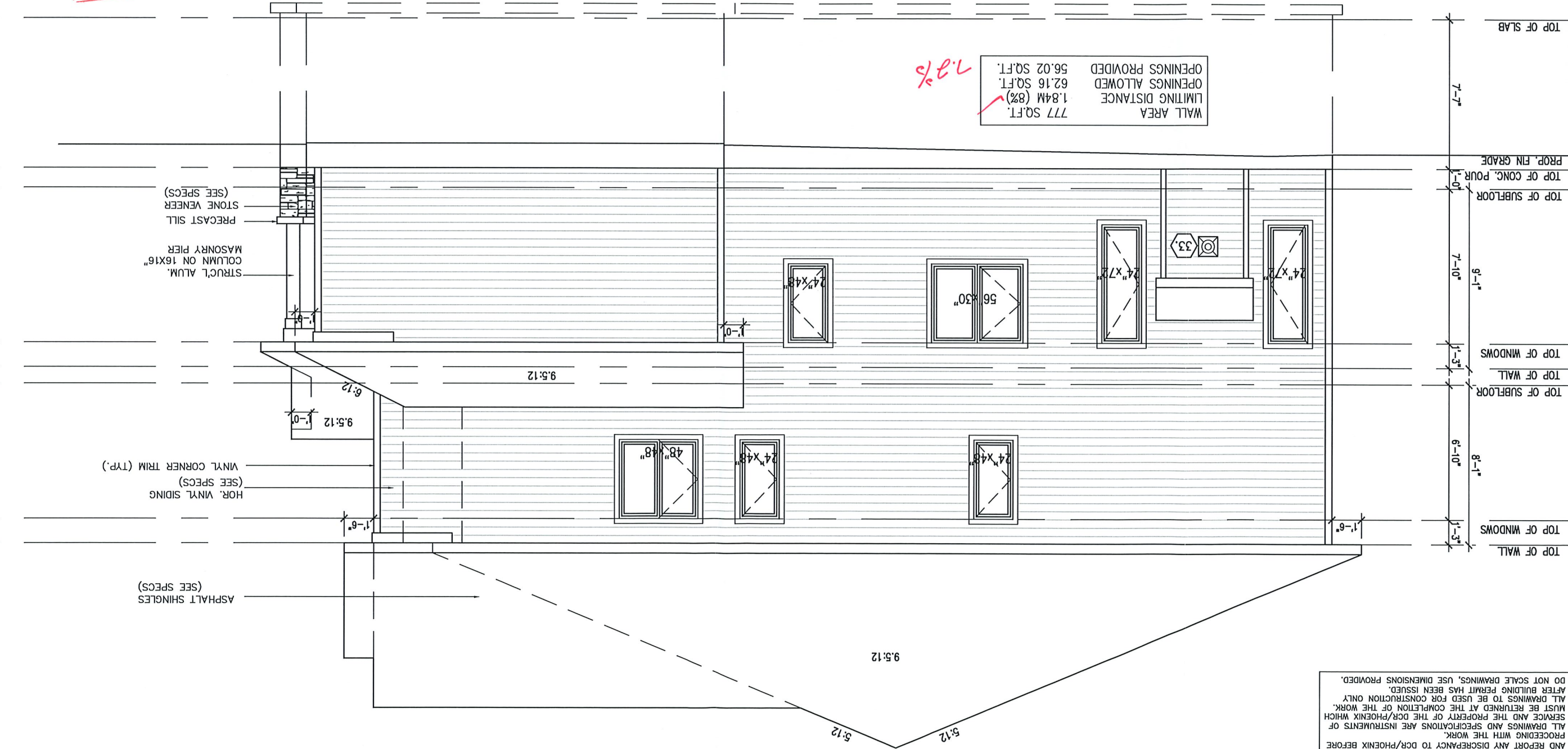
CIVIC ADDRESS:
916 OMAGAKI WAY

271

REVISIONS	
No.	Description
3	ISSUED FOR LAYOUTS
2	BEP BLACKLINES
1	ISSUED FOR PRICING ONLY
By	Date
SP	10/01/22
GK	03/12/21
SP	DEC-2019

footprint: 43-10
drawn by: SP
date: NOV/19
scale: 3/16"=1'-0"
sheet no: 14
D.C.L. - 195
8/6

LEFT SIDE ELEVATION-A
(4&5 BEDROOM)



City of Ottawa
Building Services Branch
FEB 11 2022
Zoning Reviewed
Signature

City of Ottawa
Building Services Branch
MAY 04 2022
Building Code Reviewed
Signature



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271

MADISON - 2020

footprint: 43-10	drawn by: SP	date: NOV/19	scale: 3/16"=1'-0"
sheet no: D.C.L. - 195			

WALL AREA	933.24 SQ.FT.
LIMITING DISTANCE	1.43m (7%)
OPENINGS ALLOWED	65.32 SQ.FT.
OPENINGS PROVIDED	40.25 SQ.FT.

4.3%

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HOR. VINYL SIDING
(SEE SPECS)
VINYL CORNER TRIM (TYP.)

STRUC'L ALUM.
COLUMN ON 16X16"
MASONRY PIER

PRECAST SILL
- STONE VENEER -
(SEE SPECS)

[illegible]



LOT NUMBER:

SITE: PATHWAYS PH2

MADISON - 2020

footprint:	43-10
drawn by:	SP
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sheet no:	D.C.L. - 195
	17

Architectural floor plan of the first floor of a house. The plan shows a front porch with a gabled roof supported by trusses, with dimensions 9.5:12. The main living area includes a living/dining space, a kitchen, a mudroom, an ensuite, and three bedrooms. A central hallway connects the rooms. The plan includes various annotations such as 'UNFINISHED BASEMENT', 'PROP. FIN GRADE', 'O.T.B. ONLY (SEE PLAN)', 'RAILINGS FOR 3 BEDROOMS', 'VENTED ALUM. SOFFIT', and 'NOTE: SEE TYPICAL AIR BARRIER AND VAPOR BARRIER DETAIL ON SEPARATE SHEET'. Dimensions for room sizes and overall building dimensions are provided. The plan is oriented with the front porch at the top.

Technical drawing of a mechanical part, likely a bracket or support, showing a top view and a side view. The top view is a rectangle with a central hexagonal cutout. The side view shows the profile of the part, including a vertical support and a horizontal base. Dimensions are indicated by dashed lines and arrows.

