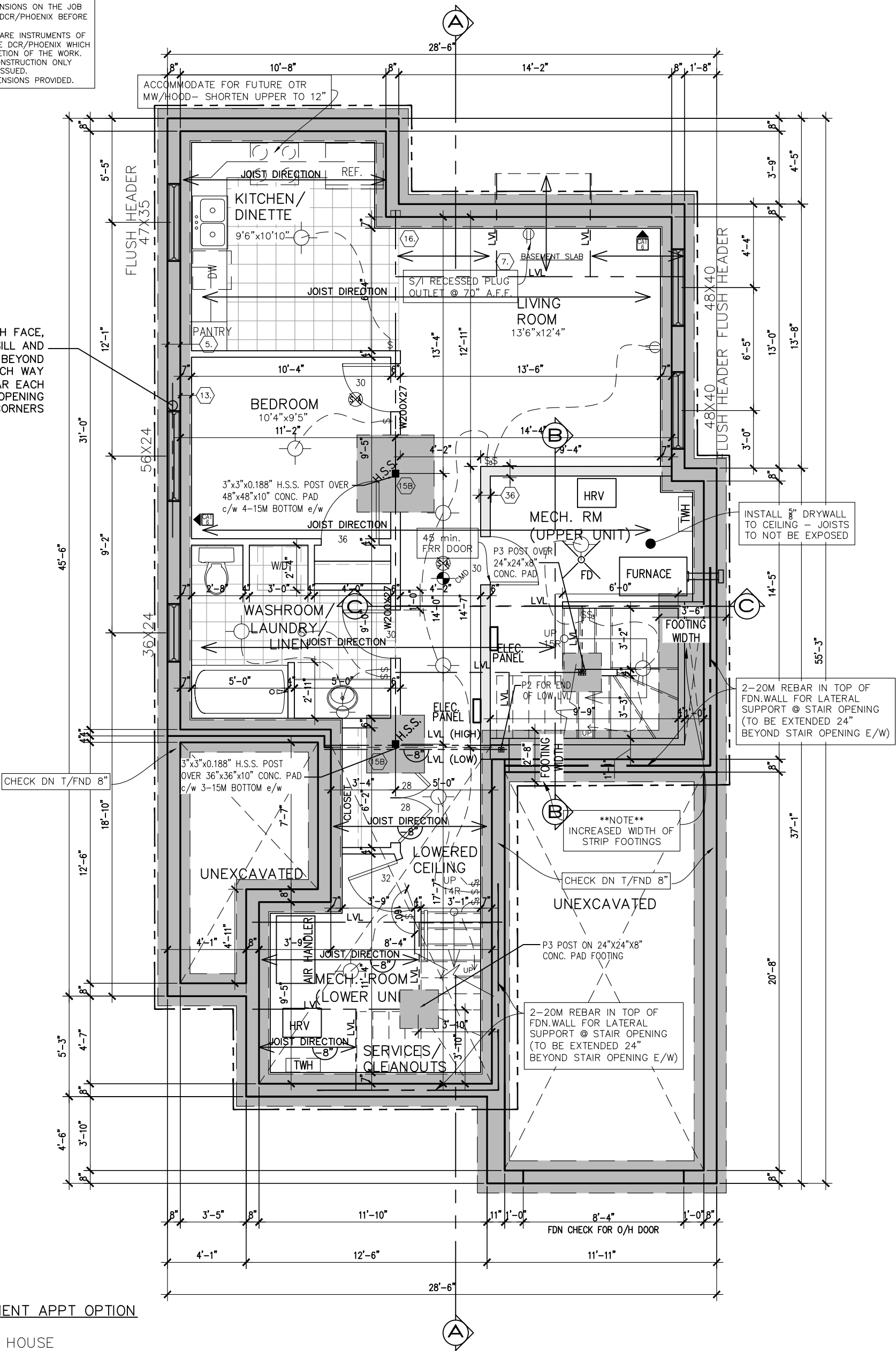


CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO DCR/PHOENIX BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DCR/PHOENIX WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL DRAWINGS TO BE USED FOR CONSTRUCTION ONLY AFTER BUILDING PERMIT HAS BEEN ISSUED. DO NOT SCALE DRAWINGS, USE DIMENSIONS PROVIDED.

ADD 1-15M BAR AT EACH FACE, AT 3" BELOW WINDOW SILL AND EXTEND BAR 2'-0" BEYOND WINDOW OPENING EACH WAY W/ 1-10M DIAGONAL BAR EACH SIDE AT BOTTOM OPENING CORNERS



HOUSE WITH BASEMENT APPT OPTION

2047 SQ. FT. MAIN HOUSE
858 SQ. FT. BASEMENT APPT

SECOND FLOOR OPTIONS

LOFT/BONUS ROOM (ADDS 71 SQ. FT.)
LUXURY ENSUITE OPTION (ADDS 53 SQ. FT.)



MIRAPOSA PLUS

SITE: PATHWAYS PH2

LOT NUMBER: 258

CIVIC ADDRESS: 302 SPREADING WAY

6	FINAL FOR CONSTRUCTION	06/09/22	SP
5	FINAL BLACKLINES	10/01/22	KE
4	BEP BLACKLINES	23/11/21	GK
3	ADDED GARAGE SECTION - ELEVATION M	12/07/19	SP
2	STRUCTURAL REVIEW	29/05/19	SP
1	PRELIMINARY - CONCEPT PROPOSAL	29/10/16	SP
No.	Description	dd/mm/yy	By
REVISIONS			

footprint:	35-33
drawn by:	SP
date:	OCT/16
scale:	3/16"=1'-0"
sheet no:	2 8
DCL-194	

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO DCR/PHOENIX BEFORE PROCEEDING WITH THE WORK.
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****NOTE****
ALL WINDOW LINTELS TO BE 2-2X10 W/ P2 POSTS ON EACH SIDE U.N.O.

ADD LIGHT VALANCE BELOW UPPER CABINETS-2"H PLAIN RECESSED- TO ACCOMMODATE UNDER CABINET LIGHTING(LIGHTS & ELECTRICAL BY BUILDER

S/I WATER LINE

USE P5 FOR EXTENDED LOFT OPTION

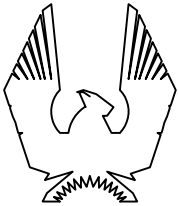
USE 3-1.75"x9.5" LVLs FOR EXTENDED LOFT OPTION AND 'M' ELEVATION c/w P3(2X6) @ EXTERIOR POST

FLOOR ASSEMBLY BETWEEN SECONDARY AND PRIMARY UNIT TO HAVE 60min. F.R.R. (SEE 34A ON 'NOTES' PAGE)

TALL WALL CONSTRUCTION
2X6 @ 12" o/c (c/w BLOCKING)

**FLAT CEILINGS THROUGHOUT
NO STIPPLE**

ELEVATION M GROUND FLOOR PLAN WITH BASEMENT APARTMENT



PHOENIX HOMES

MIRAPOSA PLUS

SITE: PATHWAYS PH2

LOT NUMBER:

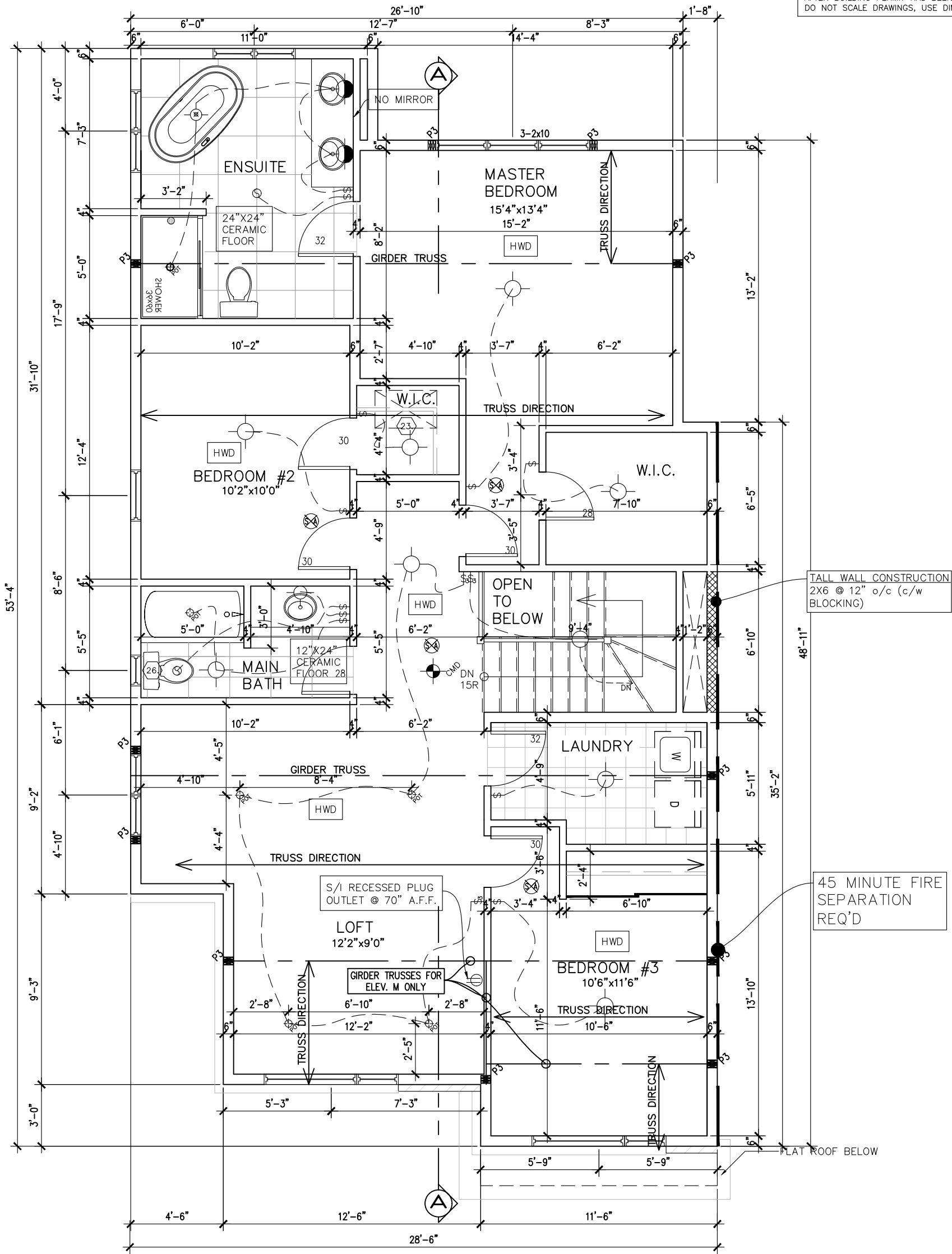
258

CIVIC ADDRESS:
302 SPREADING WAY

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4	BEP BLACKLINES	23/11/21	GK
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2	STRUCTURAL REVIEW	29/05/19	SP
1	PRELIMINARY - CONCEPT PROPOSAL	29/10/16	SP
No.	Description	dd/mm/yy	By
REVISIONS			

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DCL-194	8

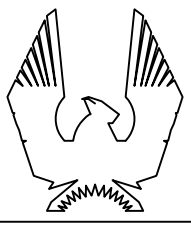
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9' SECOND FLOOR

FLAT CEILINGS THROUGHOUT
NO STIPPLE

ELEVATION M SECOND FLOOR PLAN



PHOENIX HOMES

MIRAPOSA PLUS

SITE: PATHWAYS PH2

LOT NUMBER: 258

CIVIC ADDRESS: 302 SPREADING WAY

6	FINAL FOR CONSTRUCTION	06/09/22	SP
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2	STRUCTURAL REVIEW	29/05/19	SP
1	PRELIMINARY – CONCEPT PROPOSAL	29/10/16	SP
No.	Description	dd/mm/yy	By
REVISIONS			

footprint: 35–33

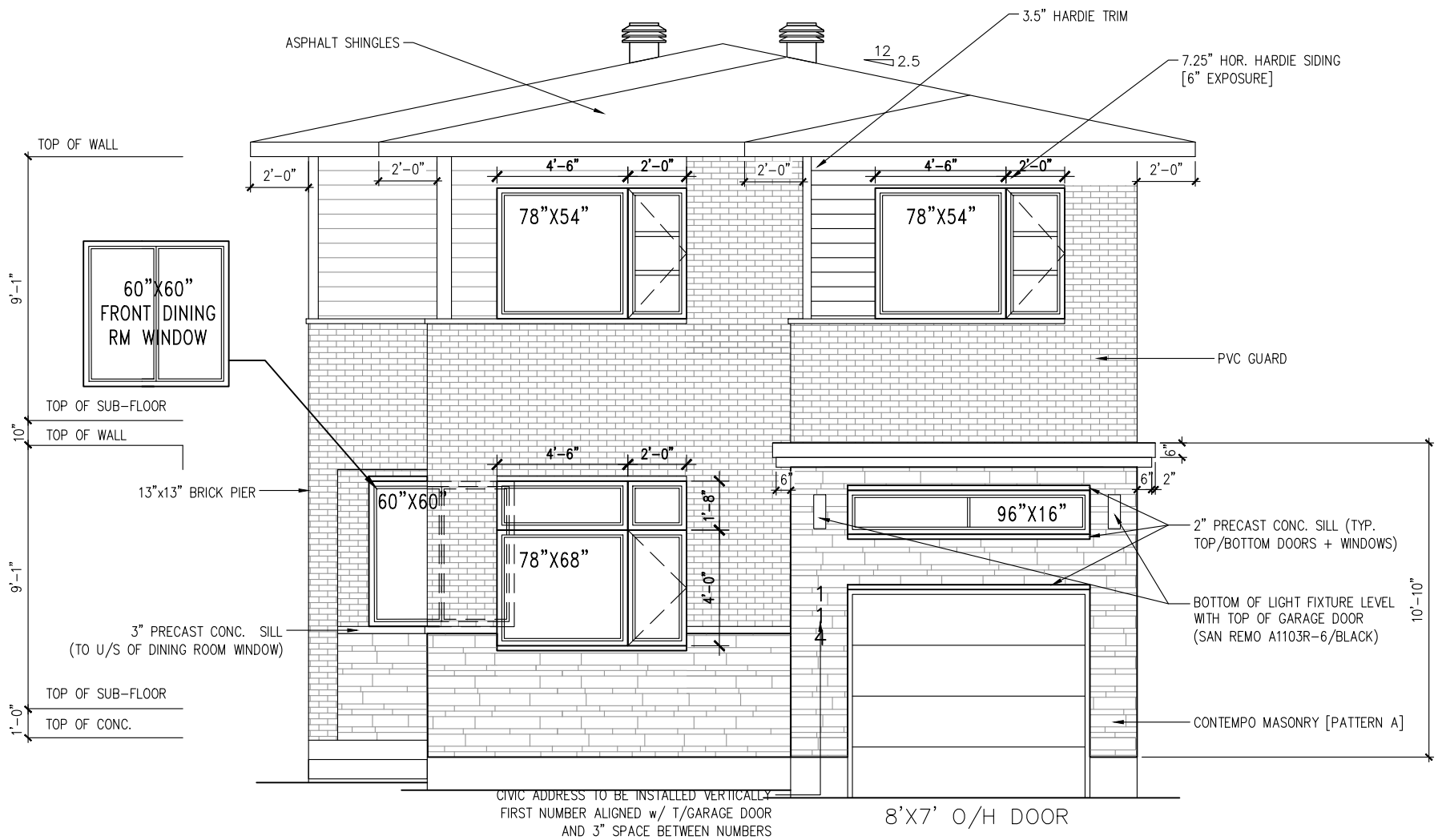
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date: OCT/16

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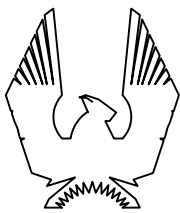
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48



ELEVATION M

9' SECOND FLOOR



PHOENIX HOMES

MIRAPOSA PLUS

SITE: PATHWAYS PH2

LOT NUMBER:

258

CIVIC ADDRESS:
302 SPREADING WAY

6	FINAL FOR CONSTRUCTION	06/09/22	SP
5	FINAL BLACKLINES	10/01/22	KE
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3	ADDED GARAGE SECTION - ELEVATION M	12/07/19	SP
2	STRUCTURAL REVIEW	29/05/19	SP
1	PRELIMINARY - CONCEPT PROPOSAL	29/10/16	SP
No.	Description	dd/mm/yy	By
REVISIONS			

footprint:	35-33
drawn by:	SP
date:	OCT/16
scale:	3/16"=1'-0"
sheet no:	5
DCL-194	8

9' SECOND FLOOR

UPGRADED ENSUITE OPTION	
WALL AREA	1140 SQ.FT.
LIMITING DISTANCE	1.2 M (7%)
OPENINGS ALLOWED	79.8 SQ.FT.
OPENINGS PROVIDED	77.83 SQ.FT.

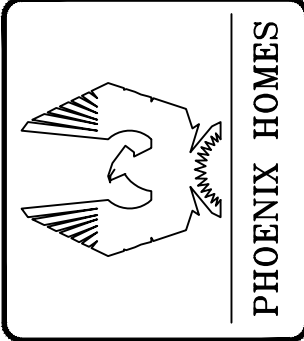


LEFT SIDE ELEVATION M

footprint:	35-33
drawn by:	SP
date:	OCT/16
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sheet no:	DCL-194

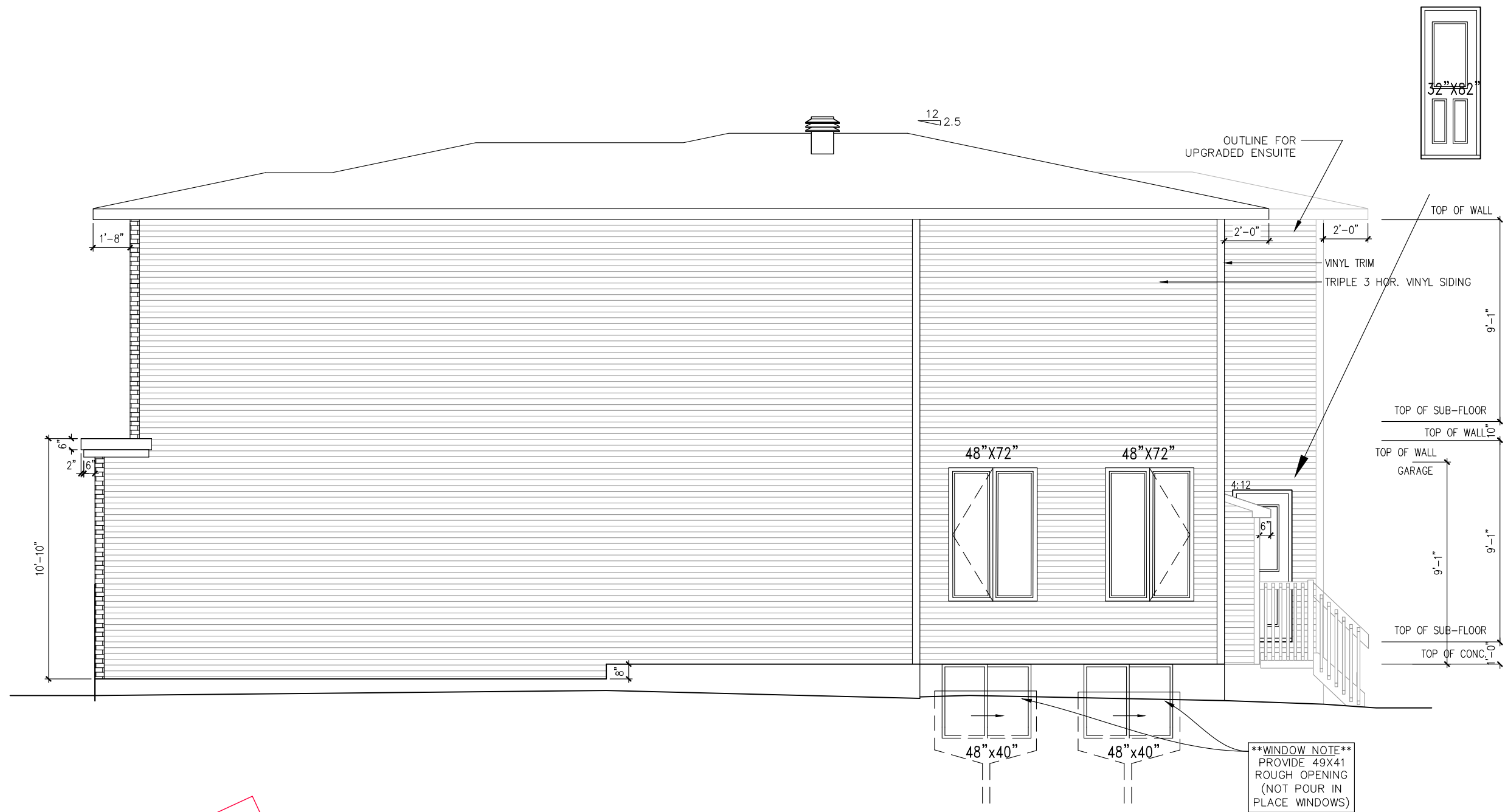
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4	BEP BLACKLINES	23/11/21	GK
3	ADDED GARAGE SECTION - ELEVATION M	12/07/19	SP
2	STRUCTURAL REVIEW	29/05/19	SP
1	PRELIMINARY - CONCEPT PROPOSAL	29/10/16	SP

MIRAPOSA PLUS
SITE: PATHWAYS PH2
LOT NUMBER: 258
CIVIC ADDRESS: 302 SPREADING WAY



9' SECOND FLOOR

RIGHT SIDE ELEVATION M

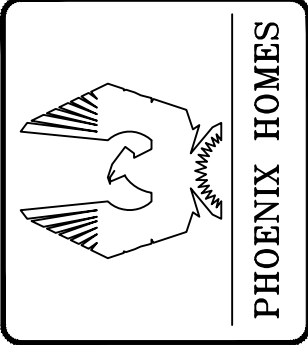


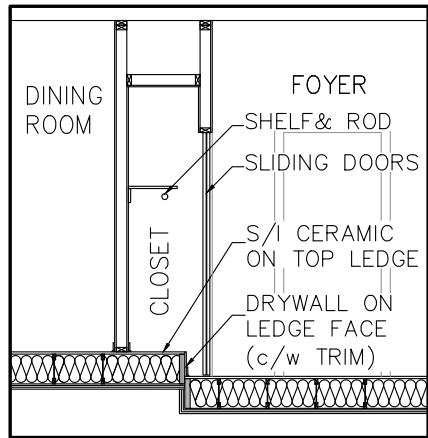
WALL AREA	906.79 SQ.FT.
LIMITING DISTANCE	1.2 M (7%)
OPENINGS ALLOWED	63.48 SQ.FT.
OPENINGS PROVIDED	46.39 SQ.FT.

footprint:	35-33
drawn by:	SP
date:	OCT/16
scale:	3/16"=1'-0"
sheet no:	7/8
DCL-194	

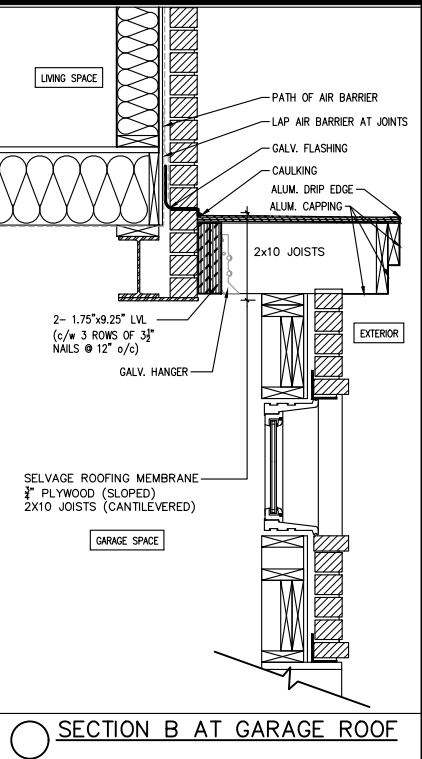
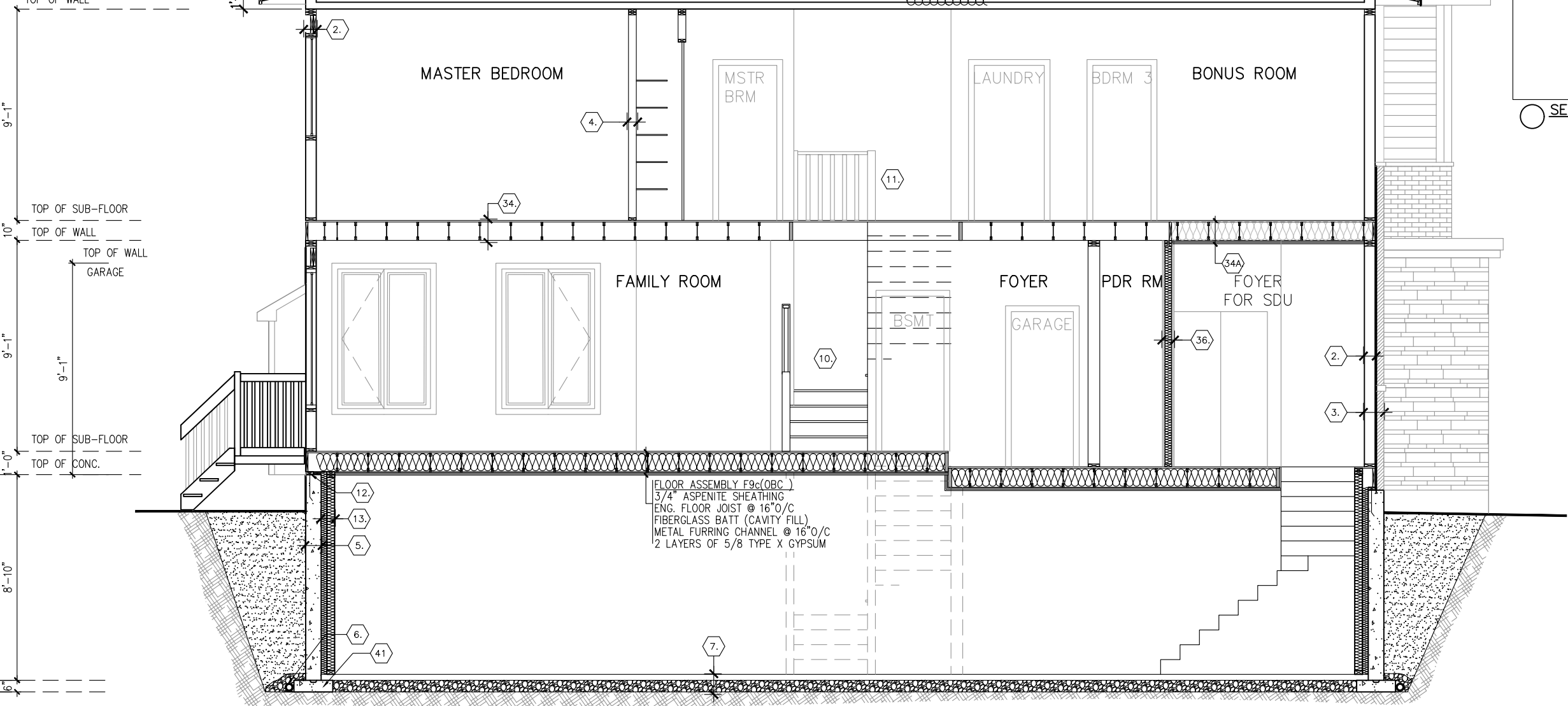
6	FINAL FOR CONSTRUCTION	06/09/22	SP
5	FINAL BLACKLINES	10/01/22	KE
4	BEP BLACKLINES	23/11/21	GK
3	ADDED GARAGE SECTION - ELEVATION M	12/07/19	SP
2	STRUCTURAL REVIEW	29/05/19	SP
1	PRELIMINARY - CONCEPT PROPOSAL	29/10/16	SP
No.	Description	dd/mm/yy	By

MIRAPOSA PLUS
SITE: PATHWAYS PH2
LOT NUMBER: 258
CIVIC ADDRESS: 302 SPREADING WAY





SECTION D
THRU FOYER CLOSET



SECTION B AT GARAGE ROOF

MIRAPOSA PLUS
ELEVATION M
SECTION AA

9' FOUNDATION POUR

footprint:	35-33
drawn by:	SP
date:	OCT/16
scale:	3/16"=1'-0"
sheet no:	8
DCL-194	8

No.	Description	By
6	FINAL FOR CONSTRUCTION	SP
5	FINAL BLACKLINES	KE
4	BEP BLACKLINES	GK
3	ADDED GARAGE SECTION - ELEVATION M	SP
2	STRUCTURAL REVIEW	SP
1	PRELIMINARY - CONCEPT PROPOSAL	SP
REVISIONS		

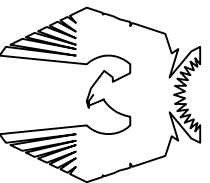
MIRAPOSA PLUS

SITE: PATHWAYS PH2

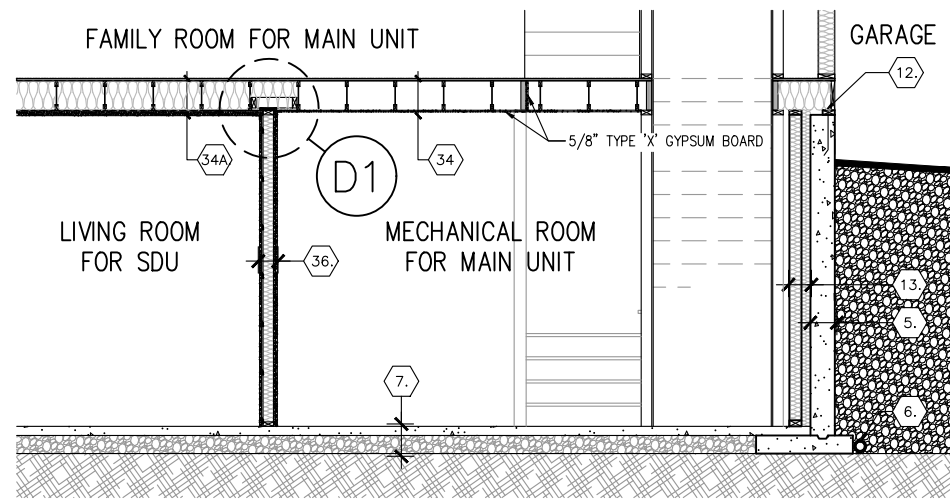
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CIVIC ADDRESS:
302 SPREADING WAY

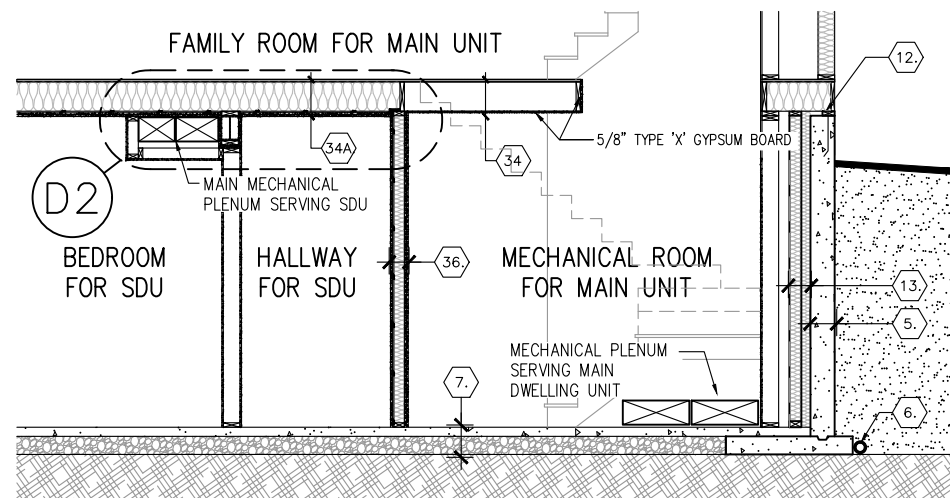
258



PHOENIX HOMES

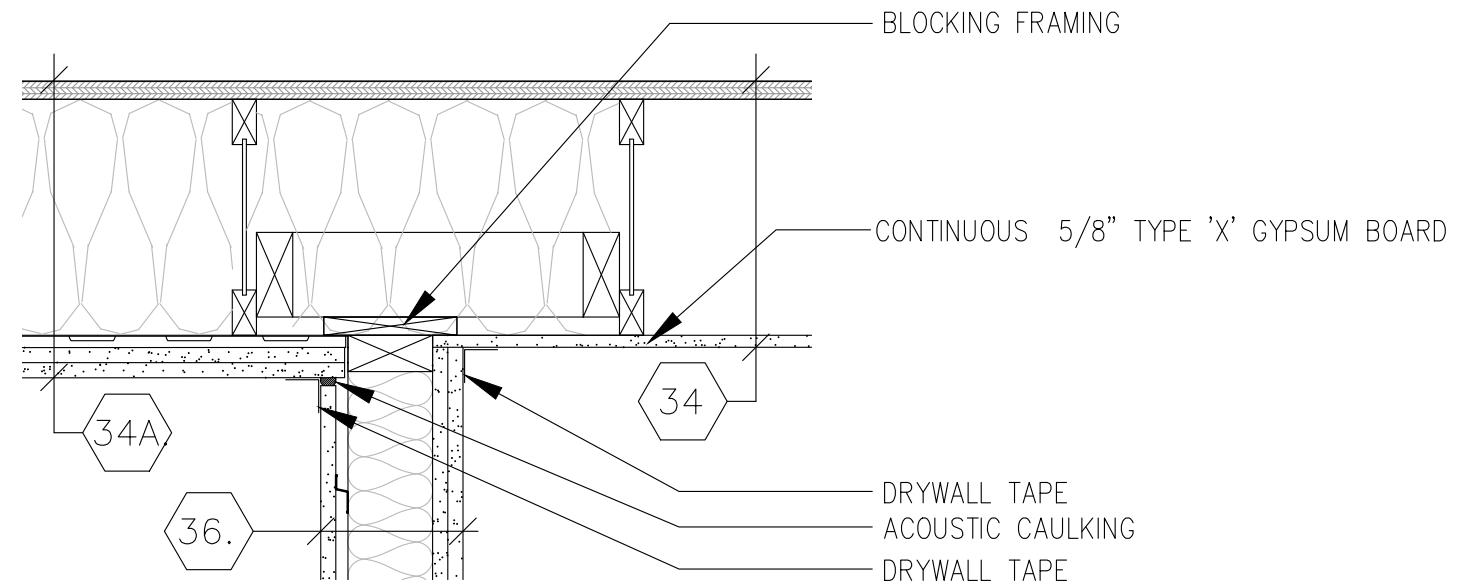


B-B PARTIAL SECTION
2 SCALE: $\frac{3}{16}'' = 1'-0''$

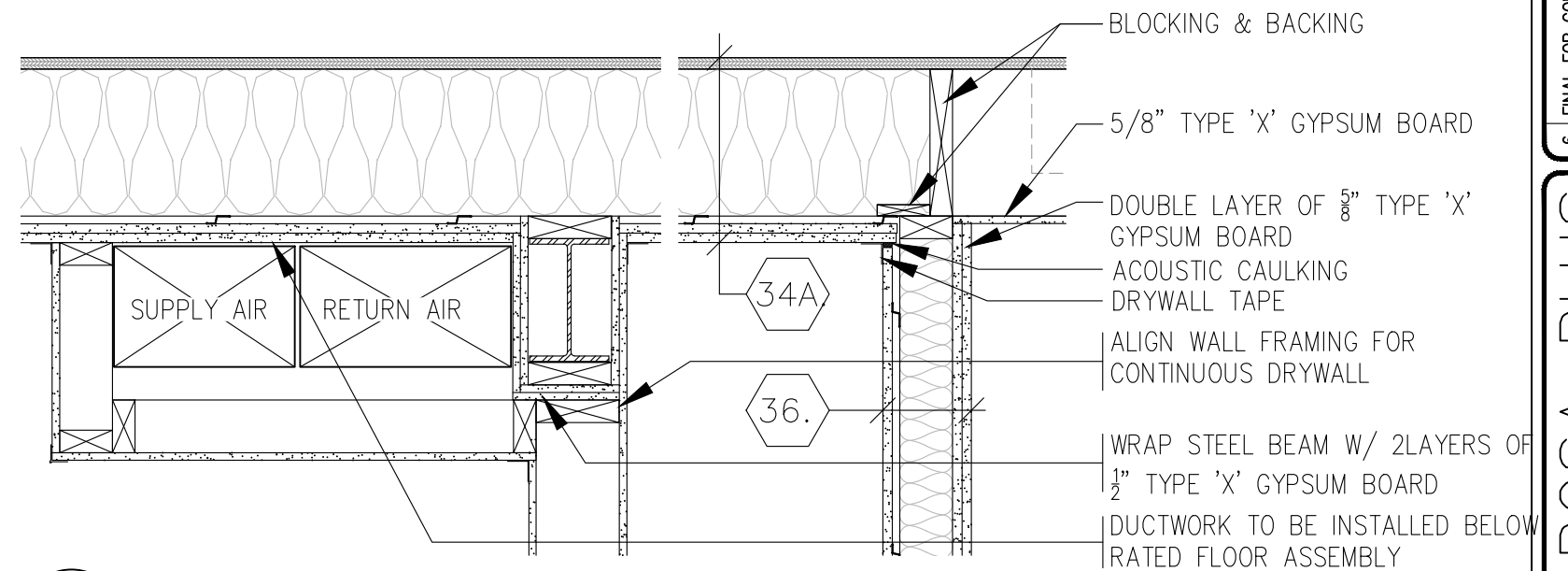


C-C PARTIAL SECTION
2 SCALE: $\frac{3}{16}'' = 1'-0''$

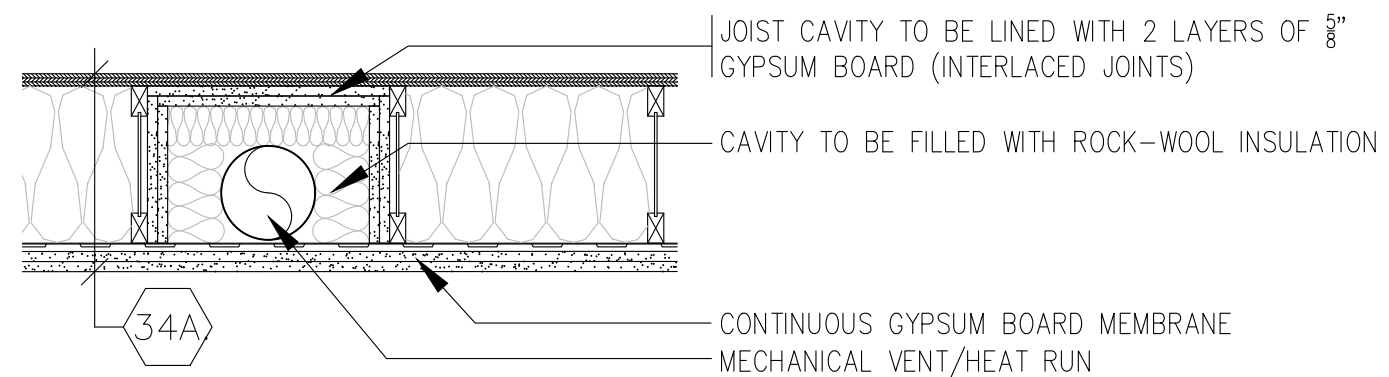
D3 DETAIL SECTION (JOIST CAVITY AS DUCT CHASE)
FD-1 SCALE: $1'' = 1'-0''$



D1 DETAIL SECTION (RATED WALL PARALLEL TO JOISTS)
FD-1 SCALE: $1\frac{1}{2}'' = 1'-0''$



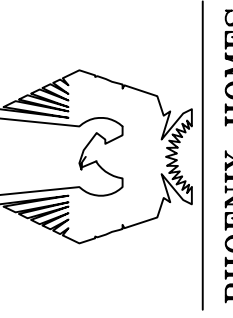
D2 DETAIL SECTION (RATED WALL PERPENDICULAR TO JOISTS)
FD-1 SCALE: $1'' = 1'-0''$



footprint:	35-33
drawn by:	SP
date:	OCT/16
scale:	$3/16'' = 1'-0''$
sheet no:	FD-1
DCL-162	

SP	06/09/22
KE	10/01/22
GK	23/11/21
SP	12/07/19
SP	29/05/19
SP	29/10/16

6	FINAL FOR CONSTRUCTION
5	FINAL BLACKLINES
4	BEP BLACKLINES
3	ADDED GARAGE SECTION - ELEVATION M
2	STRUCTURAL REVIEW
1	PRELIMINARY - CONCEPT PROPOSAL



MIRAPOSA PLUS

SITE: PATHWAYS PH2

LOT NUMBER:

2508