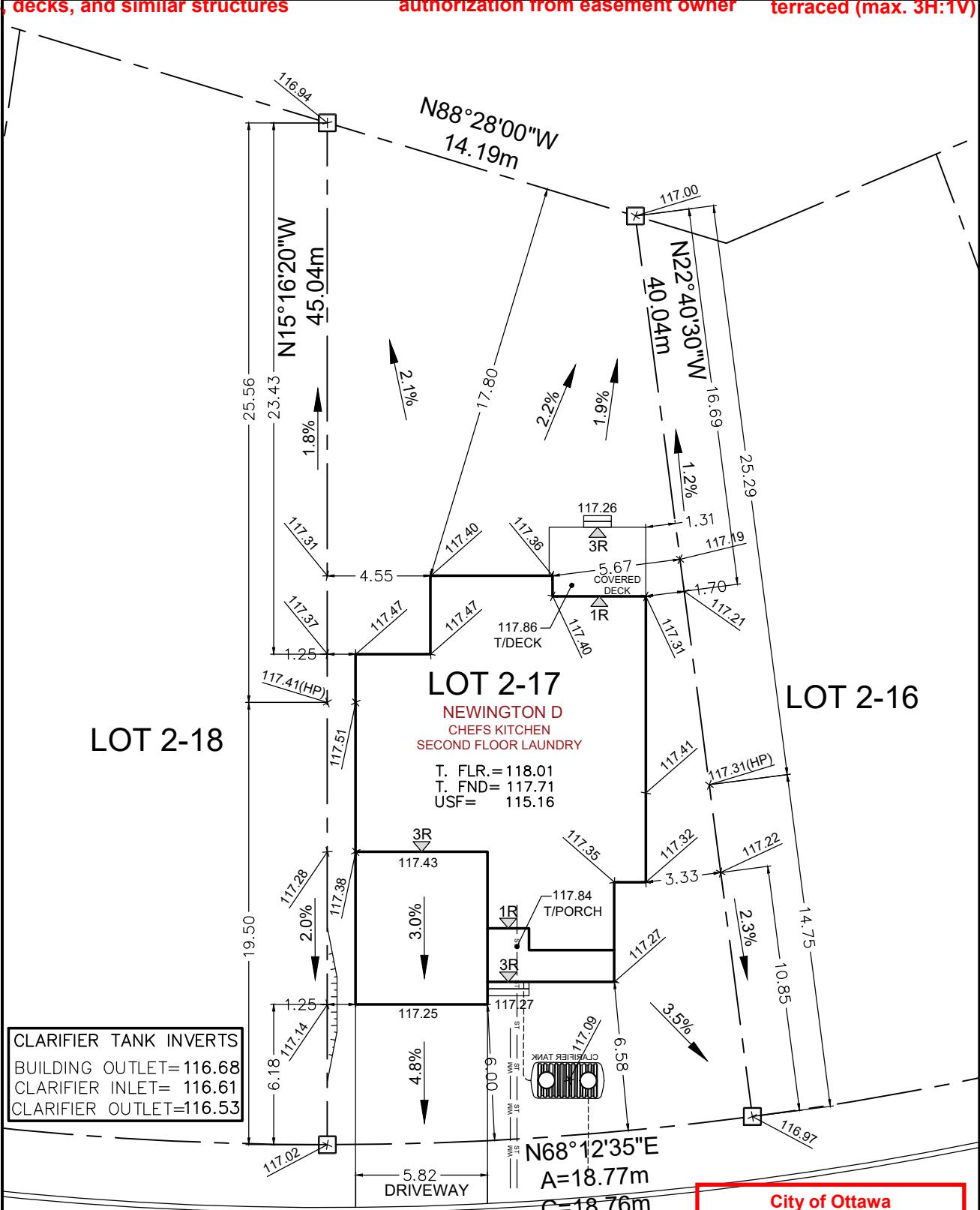


Sleeved services required under retaining walls / Encroachment on or alteration to any footings / garage, and are recommended under easement is not permitted without authorization from easement owner Grading to be 2-7%. Grading over 7% to be terraced (max. 3H:1V)



Maximum 2-22.5 degree horizontal radius bends for each service. Bends must be located on private property, spaced min. 1.0m apart, and 1.0m away from all valves

Top of Foundation to be min. 0.15m above final grade

CESSNA PRIVATE

USF to have min. 1.5m cover around foundation or foundation shall be insulated

City of Ottawa

Development Review Branch

Grading & Servicing Reviewed

Name: Travis Smith

Signed: Travis Smith

Date: August 19, 2021

No excess drainage to be directed towards adjacent properties

Existing grading and drainage patterns must not be altered

Owner/Applicant DCR/PHOENIX HOMES Telephone # 723-9227 Plan # 4M- Project name: DIAMONDVIEW ESTATES Civic Address: 1967 CESSNA PVT House model: NEWINGTON D	 LOT 2-17 SITE/GRADING PLAN DIAMONDVIEW ESTATES
INDIVIDUAL LOT GRADING REVIEW SUMMARY FOR SITED HOUSE AS COMPARED WITH OVERALL SUBDIVISION PLAN	
Bldg. Ht. m Lot coverage 31.2 % Scale 1: 250 Sod Area 473 m² Asphalt Area 52 m²	NOTE: THIS PLAN IS NOT A SURVEY PLAN OR SUBDIVISION PLAN WITHIN THE MEANING OF PLANNING ACT. THIS PLAN IS FOR REFERENCE ONLY AND IS PRELIMINARY IN NATURE, ALL DIMENSIONS SHOWN ARE APPROXIMATE. E.O&E.
CHECKED/APPROVED BY: T.L.MAK ENG.	