



BUILDING PERMIT
PERMIS DE CONSTRUCTION

Date of Issuance: 03-Dec-2020 Application No / Demande n° : PA20-02568
Date de délivrance: Permit No / Permis n° : 2009699

Permission is Hereby Given To / Le présent permis est délivré à

Property Owner(s) / Propriétaire(s)	DCR PHOENIX DEVELOPMENT CORPORATION LIMITED		
Location / Lieu :	152 MINIKAN ST Gloucester		
Lot Number / Numéro du lot :	163		
Permit Type / Type de permis :	Construction		
Project Description / Description du projet :	Construct a 2 Storey Single with attached garage Model: Strathmore 2018 A		
Model / Modèle :	Strathmore 2018 A		
Please contact the Inspector noted below prior to commencing construction / Veuillez communiquer avec l'inspecteur mentionné ci-dessous avant de commencer les travaux			
Building Inspector/ Inspecteur en bâtiment	KENNEDY, MATTHEW	613-580-2424	Ext./Poste 23541
Mechanical Inspector/ Inspecteur en mécanique	KENNEDY, MATTHEW	613-580-2424	Ext./Poste 23541
Plumbing Inspector/ Inspecteur en plomberie	KENNEDY, MATTHEW	613-580-2424	Ext./Poste 23541

Issued under the authority of /
Délivrance autorisée par


John Buck

Chief Building Official /
Chef du service du bâtiment

The owner hereby, covenants and agrees with the Corporation of the City of Ottawa, that the owner will abide by and conform to the conditions and stipulations, in consideration of the above Permit. The owner hereby agrees to indemnify and save harmless the said Corporation of the City of Ottawa, and all the Officers, Servants and Agents thereof, from all claims, demands and damages, arising out of or incurred by reason of the execution of the work above referred to, or by reason of Permit above granted.

Le propriétaire soussigné, arrête et conviens avec la Ville d'Ottawa de se conformer aux conditions et aux clauses du permis ci-dessus, en contrepartie de sa délivrance. Le propriétaire conviens également d'indemniser la Ville d'Ottawa et ses dirigeants, employés et mandataires des réclamations, exigences et poursuites en dommages-intérêts liés à l'exécution des travaux mentionnés ci-dessus ou à la délivrance dudit permis.

Witness my hand this date: December 03, 2020
Ce dont atteste ma signature en date du: 03 décembre, 2020

Issued To: Approved Online / Approuvé en ligne
Délivré à:

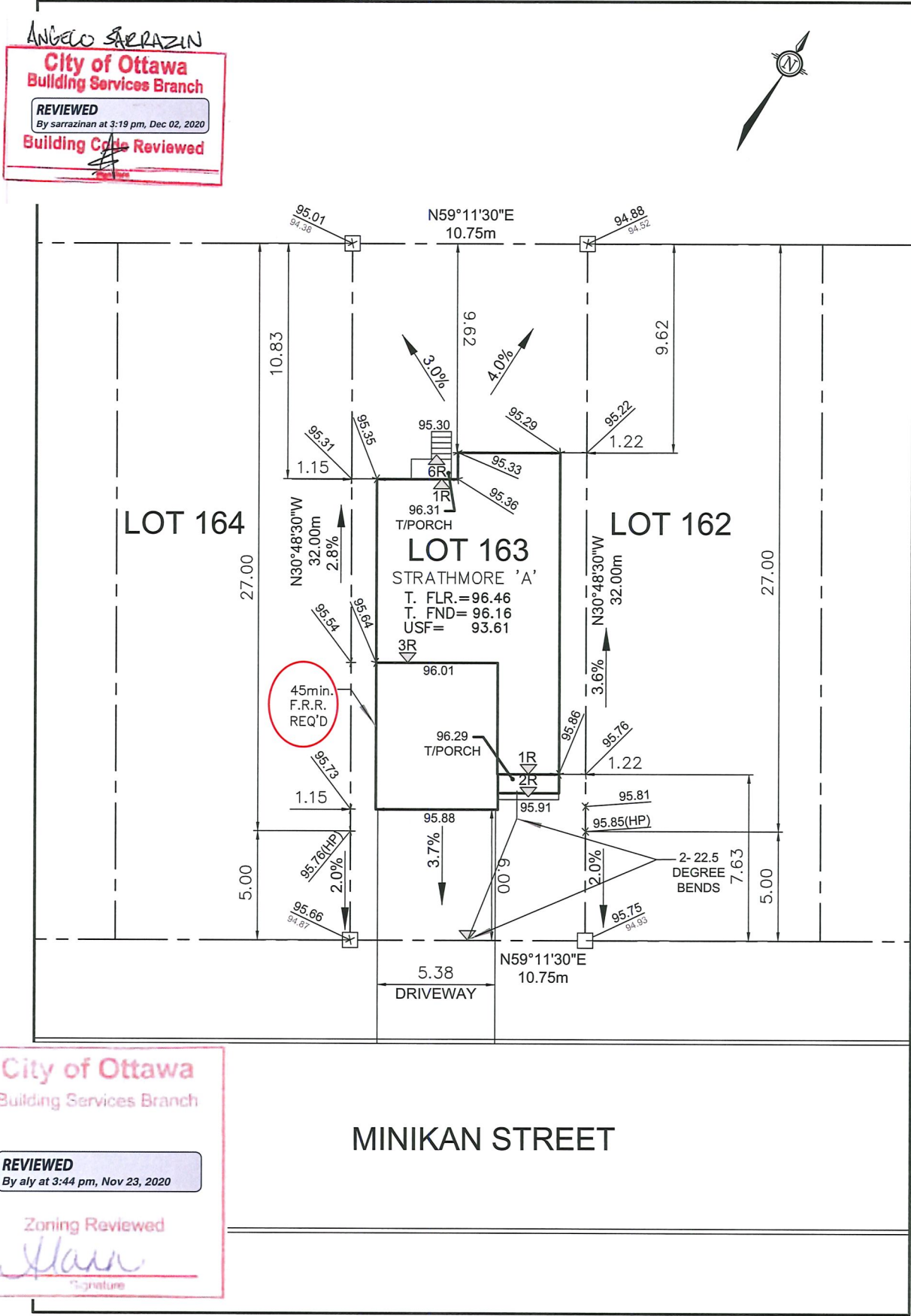
(Please Print / En caractères d'imprimerie)

Signature of owner or authorized agent
Signature du propriétaire ou de l'agent autorisé

POST THIS PERMIT IN A CONSPICUOUS PLACE
PRIÈRE D’AFFICHER EN UN ENDROIT BIEN EN VUE

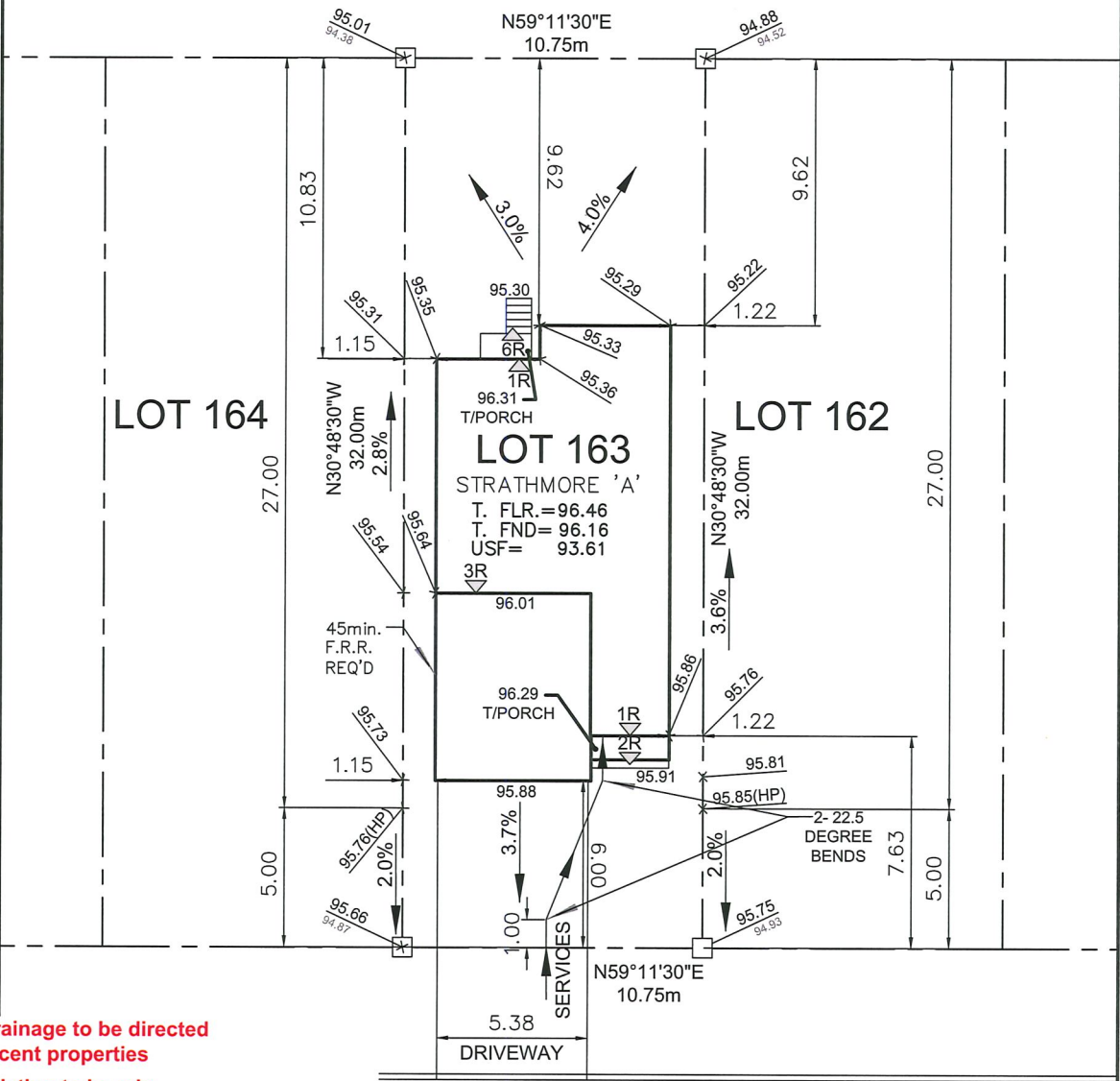
Original / Originale

PLANS TO BE READ WITH MASTER FOOTPRINTED PLANS.



Owner/Applicant <u>DCR/PHOENIX HOMES</u>			LOT 163 SITE/GRADING PLAN PATHWAYS
Telephone # <u>723-9227</u> Plan # <u>4M- 1617</u> Project name: <u>PATHWAYS</u> Civic Address: <u>152 MINIKAN STREET</u> House model: <u>STRATHMORE 'A'</u>			
Bldg. Ht. <u> </u> m Lot coverage <u>38</u> % Scale <u>1:250</u> Sod Area <u>206</u> m² Asphalt Area <u>57</u> m²		INDIVIDUAL LOT GRADING REVIEW SUMMARY FOR SITED HOUSE AS COMPARED WITH OVERALL SUBDIVISION PLAN	
		NOTE: THIS PLAN IS NOT A SURVEY PLAN OR SUBDIVISION PLAN WITHIN THE MEANING OF PLANNING ACT.	
		THIS PLAN IS FOR REFERENCE ONLY AND IS PRELIMINARY IN NATURE, ALL DIMENSIONS SHOWN ARE APPROXIMATE. E.O&E.	

There are red notes on these plans,
acceptance of the Building Permit
includes acceptance of these red notes



No excess drainage to be directed
towards adjacent properties

Top of Foundation to be min.
0.15m above final grade

Existing grading and drainage
patterns must not be altered

USF to have min. 1.5m cover
around foundation or
foundation shall be insulated

Match existing elevations with
abutting properties

Sleeved services required under retaining walls /
footings / garage, and are recommended under
porches, decks, and similar structures

MINIKAN STREET

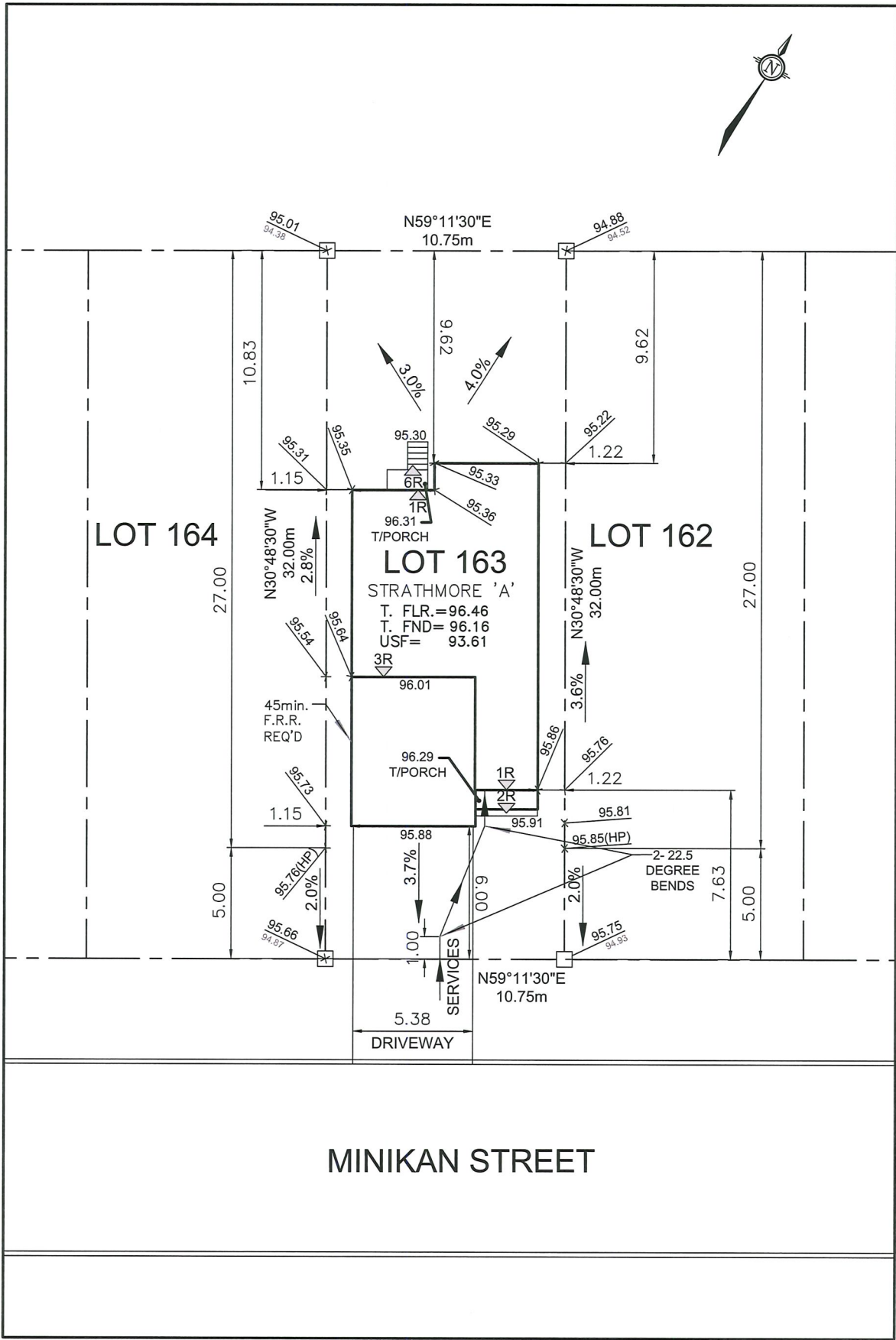
City of Ottawa
Development Review Branch
Grading & Servicing Reviewed

Name: Bruce Bramah, EIT

Signed:

Date: 12/01/2020

Owner/Applicant DCR/PHOENIX HOMES Telephone # 723-9227 Plan # 4M- 1617 Project name: PATHWAYS Civic Address: 152 MINIKAN STREET House model: STRATHMORE 'A'	 LOT 163 SITE/GRADING PLAN PATHWAYS
Bldg. Ht. _____ m Lot coverage 38 % Scale 1: 250 Sod Area 206 m² Asphalt Area 57 m²	INDIVIDUAL LOT GRADING REVIEW SUMMARY FOR SITED HOUSE AS COMPARED WITH OVERALL SUBDIVISION PLAN NOTE: THIS PLAN IS NOT A SURVEY PLAN OR SUBDIVISION PLAN WITHIN THE MEANING OF PLANNING ACT. THIS PLAN IS FOR REFERENCE ONLY AND IS PRELIMINARY IN NATURE, ALL DIMENSIONS SHOWN ARE APPROXIMATE. E,O&E.



Owner/Applicant DCR/PHOENIX HOMES Telephone # <u>723-9227</u> Plan # <u>4M- 1617</u> Project name: <u>PATHWAYS</u> Civic Address: <u>152 MINIKAN STREET</u> House model: <u>STRATHMORE 'A'</u>	 LOT 163 SITE/GRADING PLAN PATHWAYS INDIVIDUAL LOT GRADING REVIEW SUMMARY FOR SITED HOUSE AS COMPARED WITH OVERALL SUBDIVISION PLAN
Bldg. Ht. <u> </u> m Lot coverage <u>38</u> % Scale <u>1:250</u> Sod Area <u>206</u> m² Asphalt Area <u>57</u> m²	NOTE: THIS PLAN IS NOT A SURVEY PLAN OR SUBDIVISION PLAN WITHIN THE MEANING OF PLANNING ACT. THIS PLAN IS FOR REFERENCE ONLY AND IS PRELIMINARY IN NATURE, ALL DIMENSIONS SHOWN ARE APPROXIMATE. E.O&E. REV.1